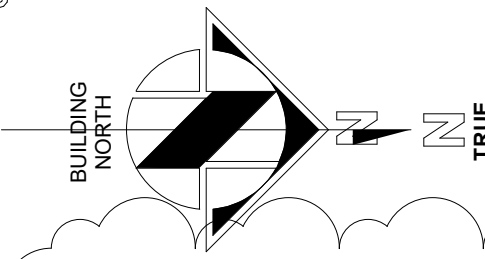
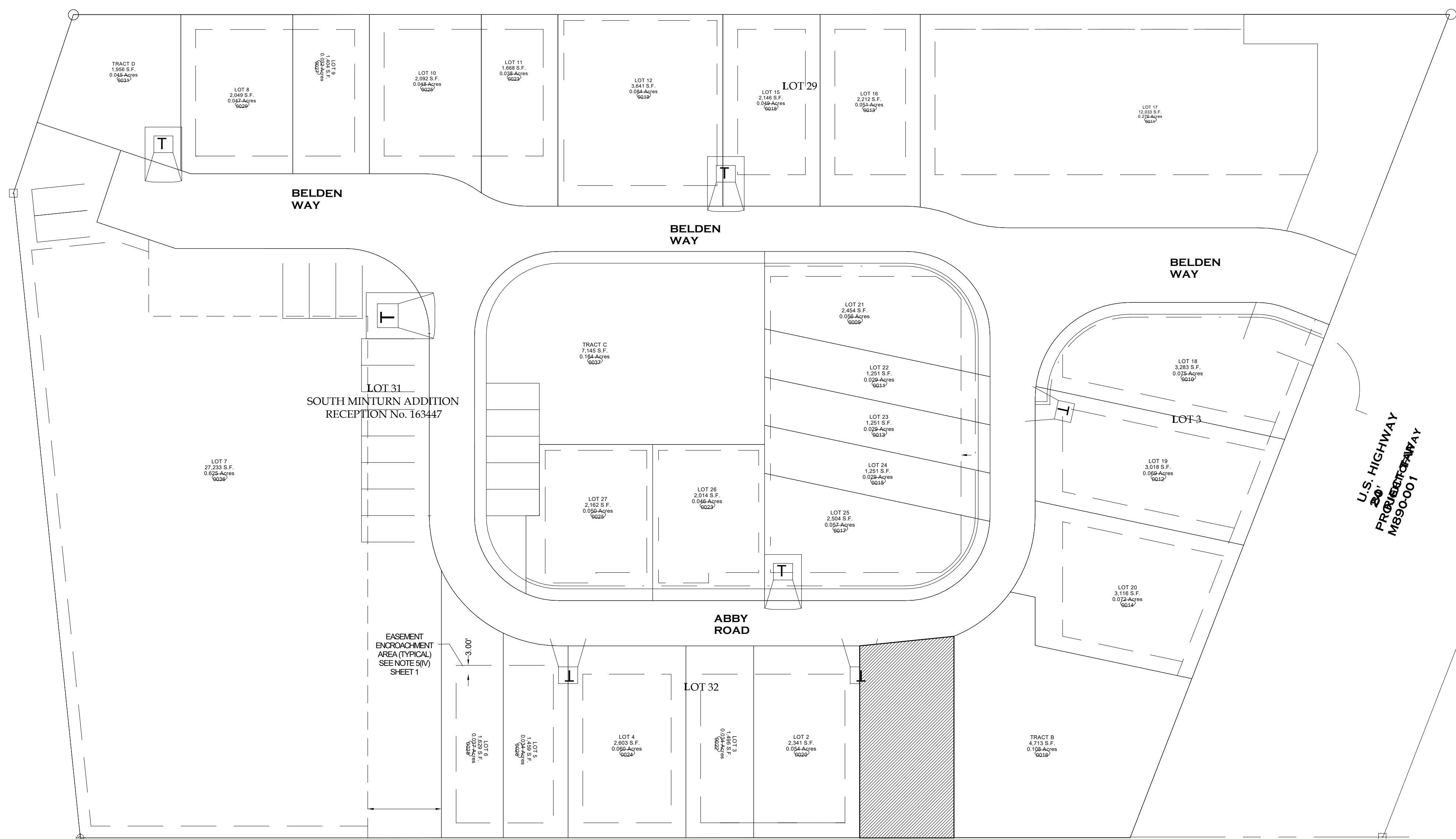


BELDEN PLACE

Lot 1 - 0018 Abby Road

Single Family

Minturn, CO 81645



DESIGN REVIEW BOARD - REVISED
03/17/2025

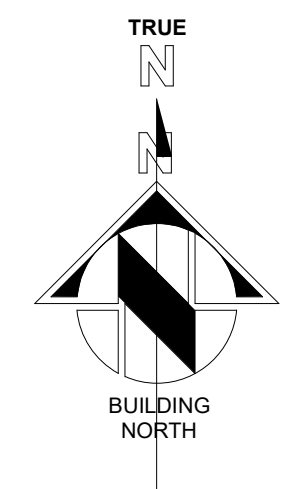


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A4.1	BUILDING SECTIONS
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A5.3	DETAILS



VICINITY MAP

TAB Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
email: tab@tab.net
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Timberline Engineering
(970) 963-9669
Structural Engineer
KRM Consultants, Inc.
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Mechanical Engineer
Electrical Engineer

Seal

Belden Place-Single Family
Lot 01 - 0018 Abby Road
Minturn, Colorado

Revisions:		
No.	Description	Date
1	Revision 1	Date 1

Issue Dates:
DRB - 02/14/2025

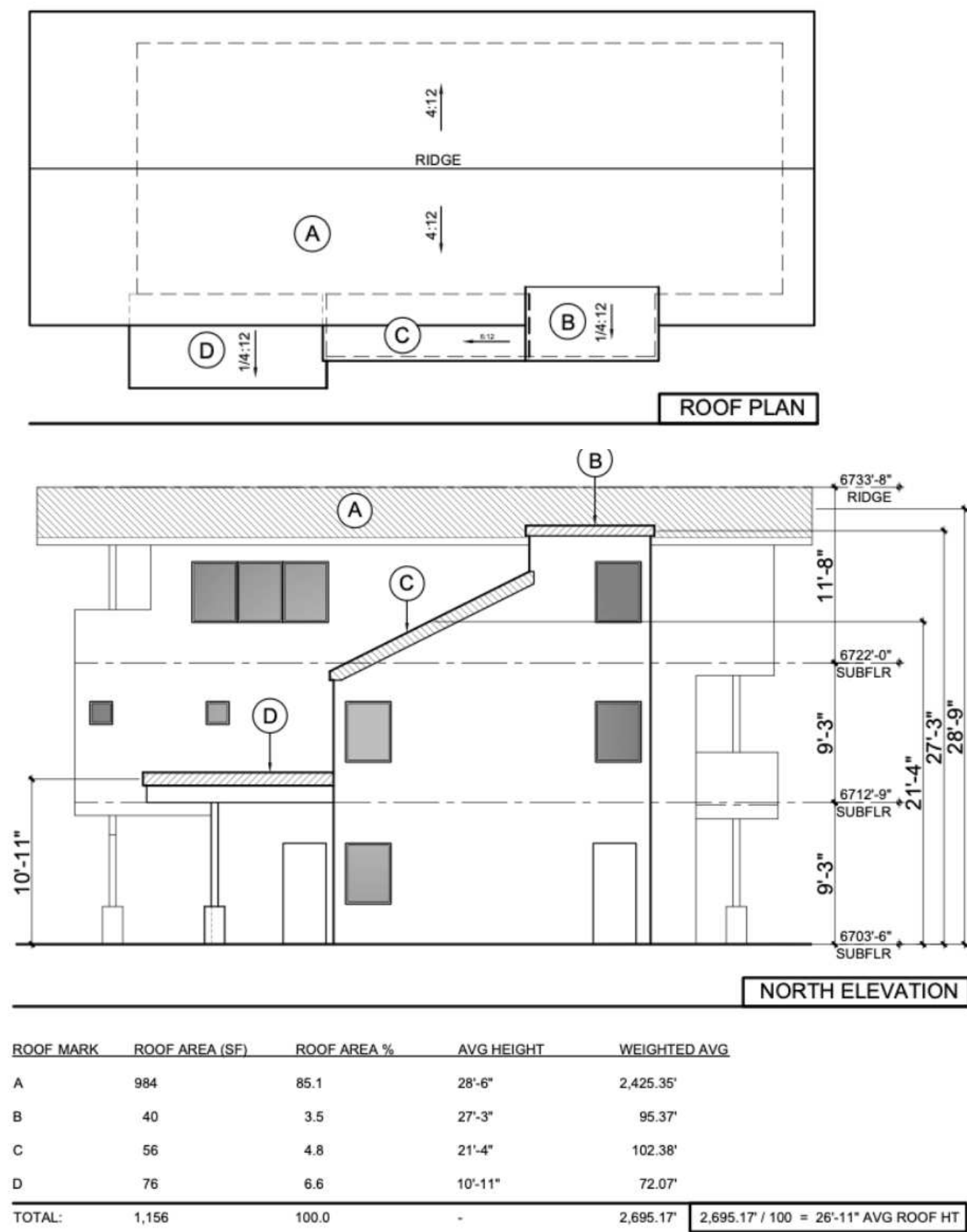
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Project No:
2215

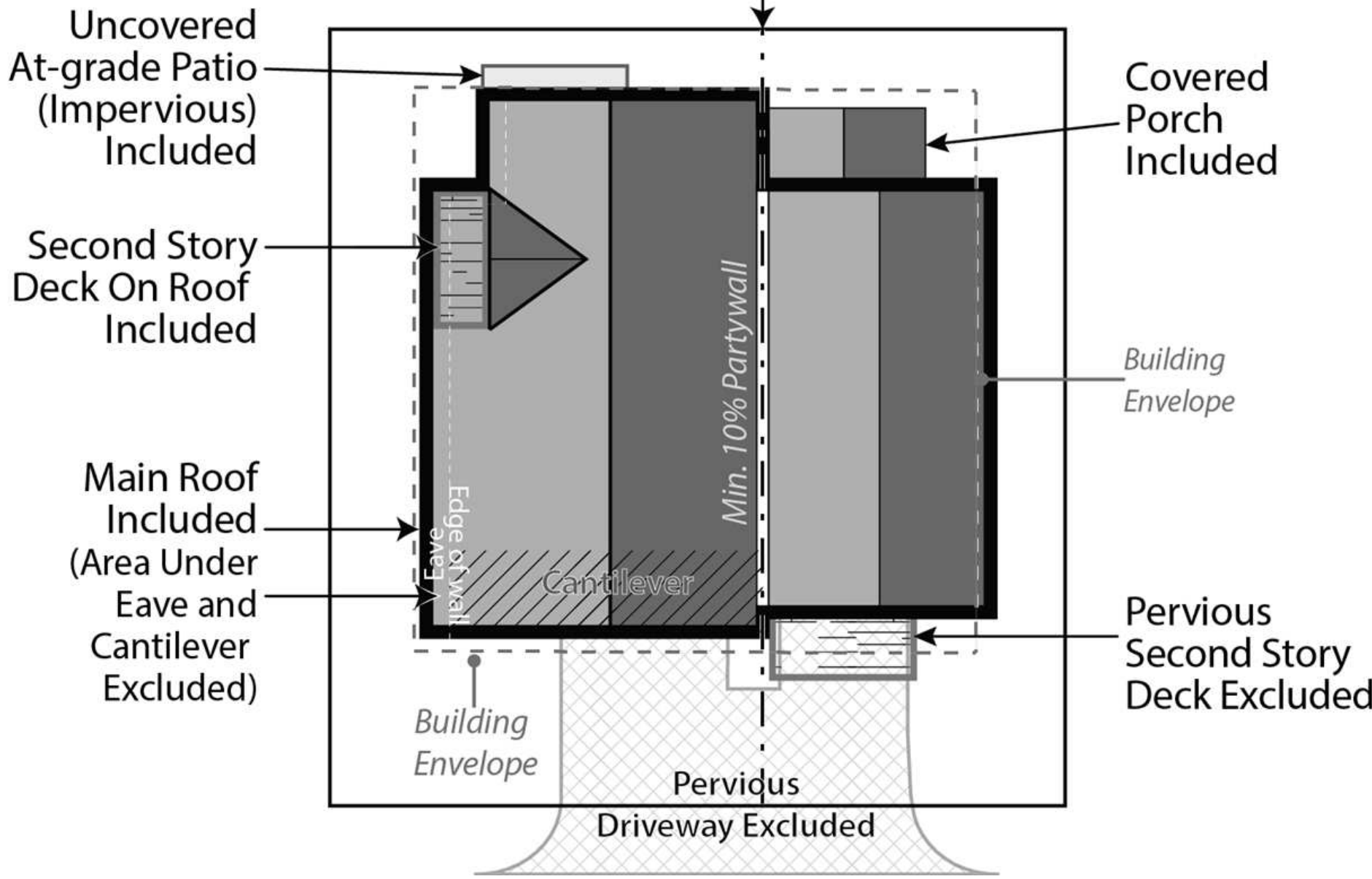
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BELDEN PLACE PUD GUIDE INFORMATION
The following is an abreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches; patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- a. Style
- (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - i. Roof forms/lines and profiles
 - ii. Varied window and door styles
 - iii. Varied entry treatments and locations including porches, columns, etc.
 - iv. Two or three story homes
 - v. Second or third story decks or balconies
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- a. Style
- (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
 - (2) Units may be multi-stories.
 - (3) Units may be divided horizontally (townhomes) or vertically (flats).
 - (4) Second story decks or balconies permitted.
 - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

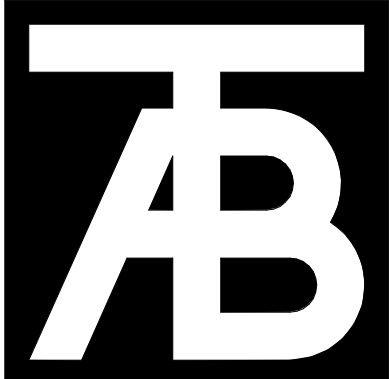
- a. Roofing materials are limited to the following:
- (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - (2) Standing seam metal.
 - (3) Asphalt shingles.
 - (4) Imitation (composite or similar); or, real slate tiles.
 - (5) Non-reflective solar tiles that mimic the above-mentioned products
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
- (1) Metal
 - (2) Wood
 - (3) Composite siding
 - (4) Fiber cement board (commonly known as "Hardie Board")
 - (5) Stucco.
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
 - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
- (1) Structures with multiple garage doors must always have identical, matching doors.
 - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

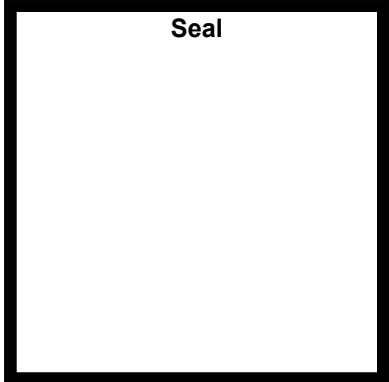
Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. *See also official Landscaping Plan for Belden Place.*
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



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Civil Engineer
Timberline Engineering
(970) 963-9869
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer
Electrical Engineer



Belden Place- Single Family
Lot 01 - 0018 Abby Road
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
DESIGN REVIEW -
02/10/25

Sheet Title:
PUD GUIDE

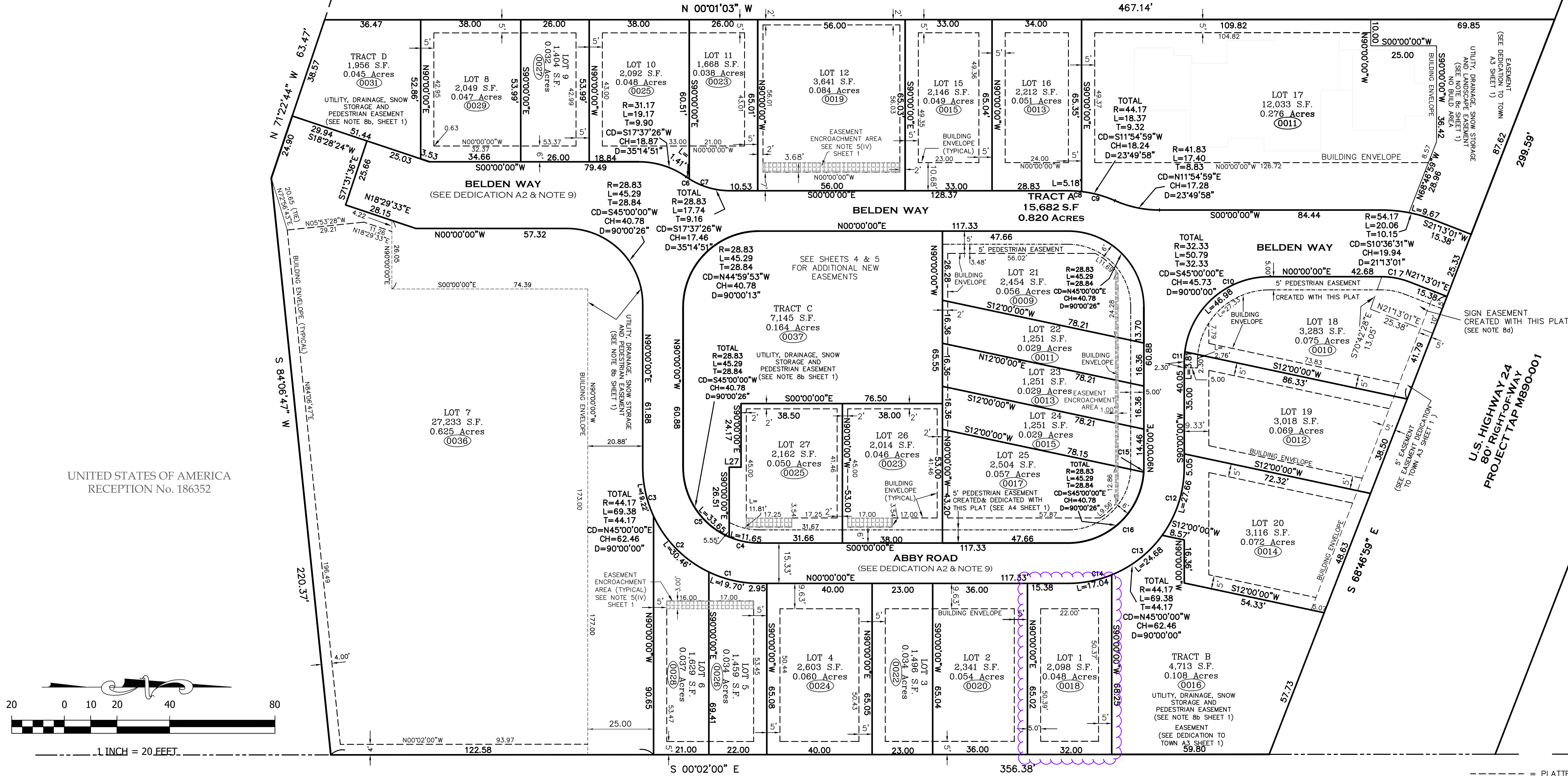
Project No:
2215

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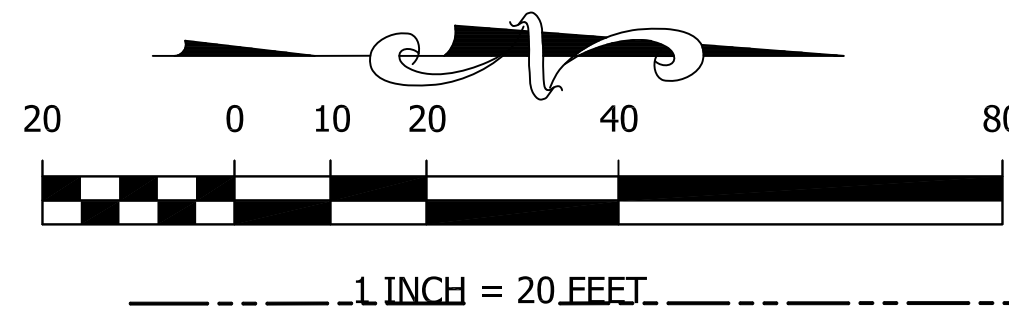
FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



UNITED STATES OF AMERICA
RECEPTION No. 186352



CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA
RECEPTION No.246983

THIS SHEET IS A PORTION OF
THE FINAL PLAT, REFER TO
COMPLETE - FINAL PLAT,
BELDEN PLACE PUD



Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

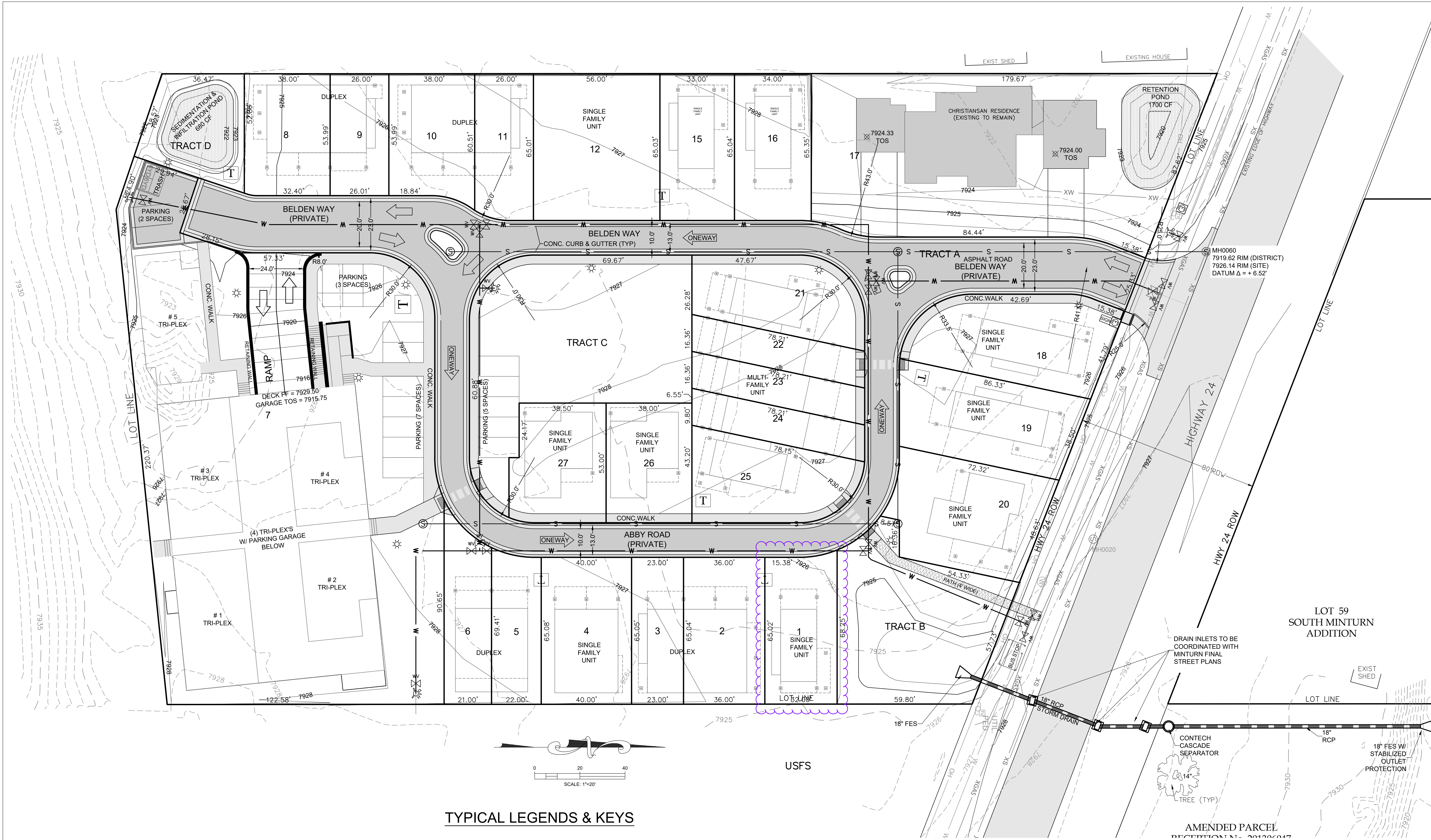


SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



TYPICAL LEGENDS & KEYS

AD = AREA DRAIN
CFS = CUBIC FEET PER SECOND
CONC = CONCRETE
EC = EDGE OF CONCRETE
EOA = EDGE OF ASPHALT
EP = EDGE OF PAVEMENT
EX = EXISTING
FF = FINISHED FLOOR
FG = FINISHED GRADE
FL = FLOW LINE
GD = GRADE/GROUND
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TD = TRENCH DRAIN
TOS = TOP OF SLAB
TOW = TOP OF WALL
TYP = TYPICAL
WH = WALL HEIGHT
TOW = TOP BACK OF WALK
EL = ELEVATION
TOP = TOP OF PIPE

CONTOUR LEGEND:

EXISTING 1' CONTOUR --- 7929 ---
EXISTING 5' CONTOUR --- 7930 ---
PROPOSED 1' CONTOUR --- 7929 ---
PROPOSED 5' CONTOUR --- 7930 ---

EXISTING UTILITIES LINE KEY:

WATER --- XW ---
SEWER --- XS ---
OVERHEAD ELEC, TELE, CATV --- OH ---
GAS --- XGAS ---

EXISTING UTILITIES SYMBOL KEY:

Water Vault, Water Valve, Fire Hydrant, Sewer Manhole, Utility Pole, Electric Transformer, Cable TV Pedestal

PROPOSED UTILITY SYMBOL KEY:

Water Vault, Water Valve, Fire Hydrant, Sewer Manhole, Utility Pole, Electric Transformer, Cable TV Pedestal, Electric Splice Vault

INDICATES DIRECTION OF TRAFFIC FLOW

LINE KEY:
WATER --- W ---
SEWER --- S ---

PARKING NOTES:
PARKING SPACES 9' X 18' MIN.

REFER TO COMPLETE - FINAL PLAT, BELDEN PLACE PUD

EARTHWORK:
5175 CYD CUT
8130 CYD FILL
2955 CYD NET <FILL>
(DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)

TIMBERLINE
ENGINEERING
CIVIL STRUCTURAL
218 E. Valley Rd.
STE 104 PMB 177
Carbondale, Colorado 81623
p 970.963.9869
timberlineengineering@gmail.com

COLORADO REGISTERED PROFESSIONAL ENGINEER
39776

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Belden Place- Single Family
Lot 01 - 0018 Abby Road
Minturn, Colorado

NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

PROPOSED SITE PLAN

Sheet:

C.111



PROJECT LOCATION MAP

LINE KEY:

WATER	W
SEWER	S
ELECTRIC	UEL
GAS	GAS
TELEPHONE	TEL
CATV	CTV
PROPERTY LINE	PL

CONTOUR LEGEND:

EXISTING 1' CONTOUR	7929
EXISTING 5' CONTOUR	7930
PROPOSED 1' CONTOUR	7929
PROPOSED 5' CONTOUR	7930

PROPOSED UTILITY SYMBOL KEY:

W	WATER VAULT	SL	STREET LIGHT
WV	WATER VALVE		
FD	FIRE HYDRANT		
SM	SEWER MANHOLE		
UP	UTILITY POLE		
ET	ELECTRIC TRANSFORMER		
CTV	CABLE TV PEDESTAL		
ESV	ELECTRIC SPURCE VAULT		
WSCS	WATER SERVICE CURB STOP		
SSC	SANITARY SEWER CLEANOUT		

ABBREVIATION KEY

AD	= AREA DRAIN
CFS	= CUBIC FEET PER SECOND
CONC	= CONCRETE
EC	= EDGE OF CONCRETE
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TOW	= TOP OF WALL
TYP	= TYPICAL
WH	= WALL HEIGHT
TOW	= TOP BACK OF WALK
EL	= ELEVATION
TOP	= TOP OF PIPE
WV	= WATER VALVE
WW	= WINDOW WELL

CONTACTS
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Brian Claydon
970 390-3489

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56 Edwards Village Boulevard
Edwards, CO 81632
970 766-1470

Structural Engineer: KRM Consultants, Inc.
PO Box 4572
Vail, CO 81658
970 949-9391

Geotechnical Engineer: Kumar & Associates, Inc.
5020 County Road 154
Glenwood Springs, CO 81601
970 345-7988

Water: Town of Minturn Public Works
Arnold Martinez
970 445-2416

Sewer: Eagle River Water & Sanitation District
970 477-5451

Electric & Gas: Excel Energy
Electrical Emergency 800 895-1999
Gas Emergency 800 895-2999

Call before you dig: 811

UNIT 1

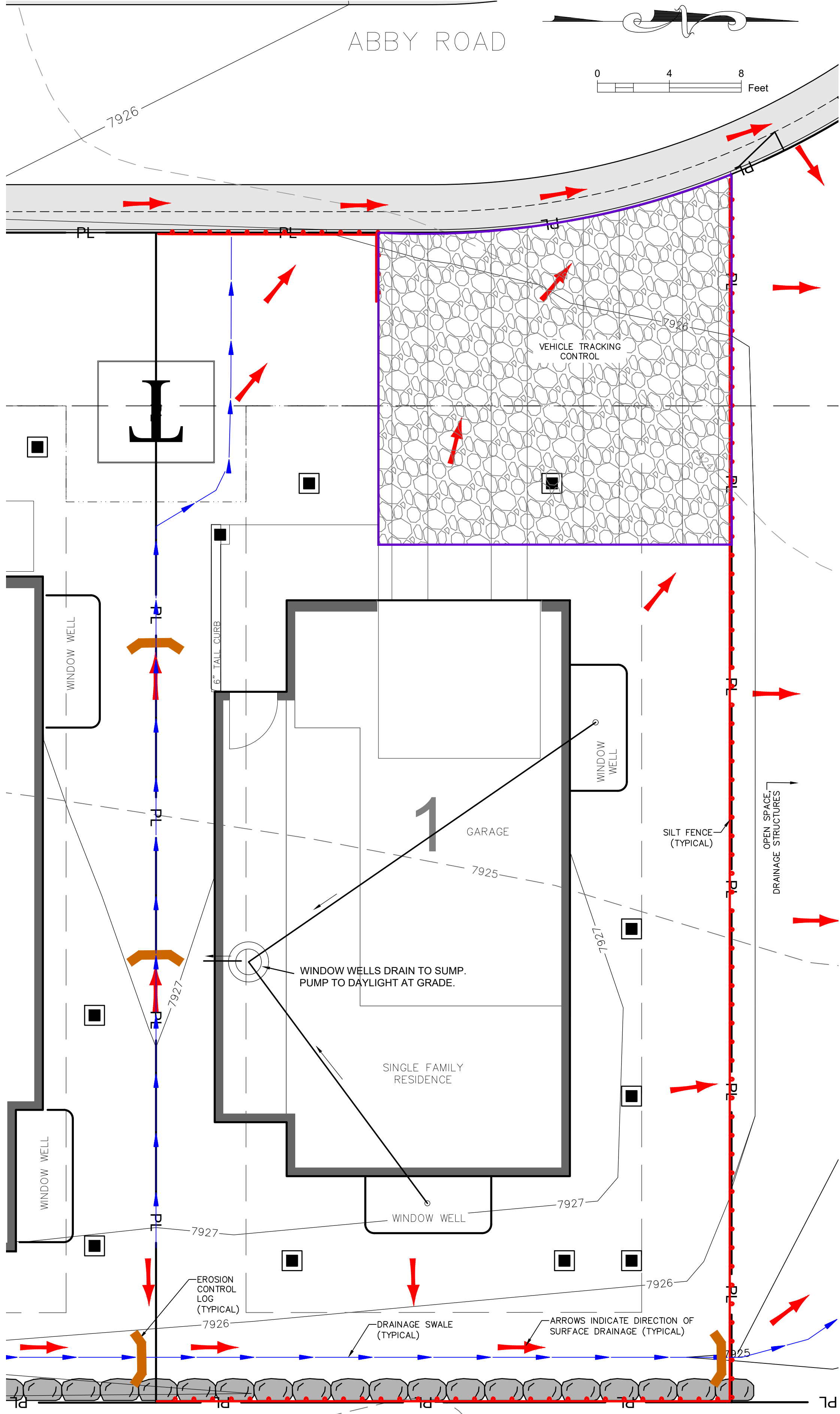
SHEET INDEX:

C.1 SITE PLAN
C.2 EROSION CONTROL DETAILS

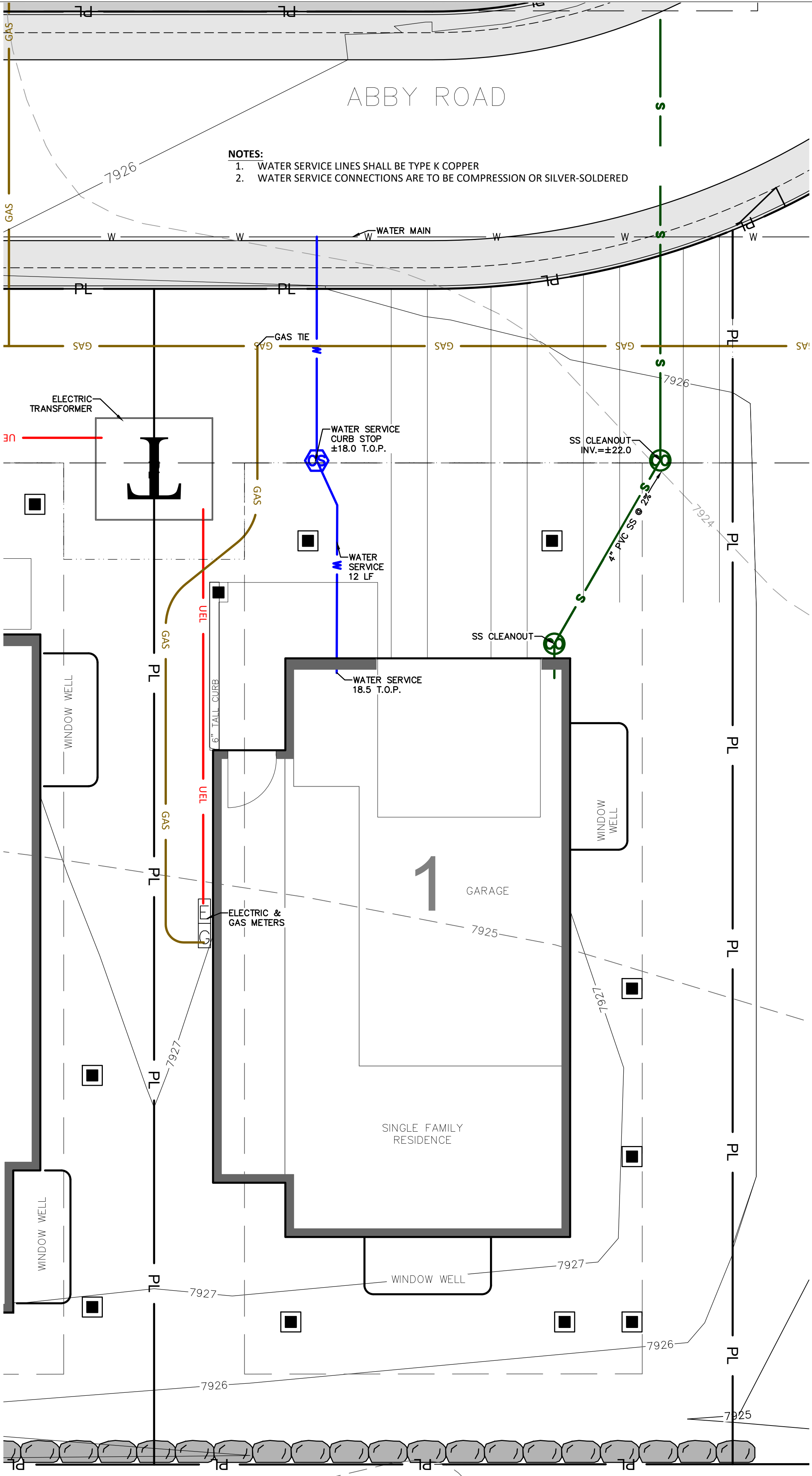
TIMBERLINE ENGINEERING, LLC
CIVIL/STRUCTURAL
218 E. Valley Rd.
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Colorado, Colorado
81623
timberlineengineering@gmail.com

PROFESSIONAL ENGINEER
19976

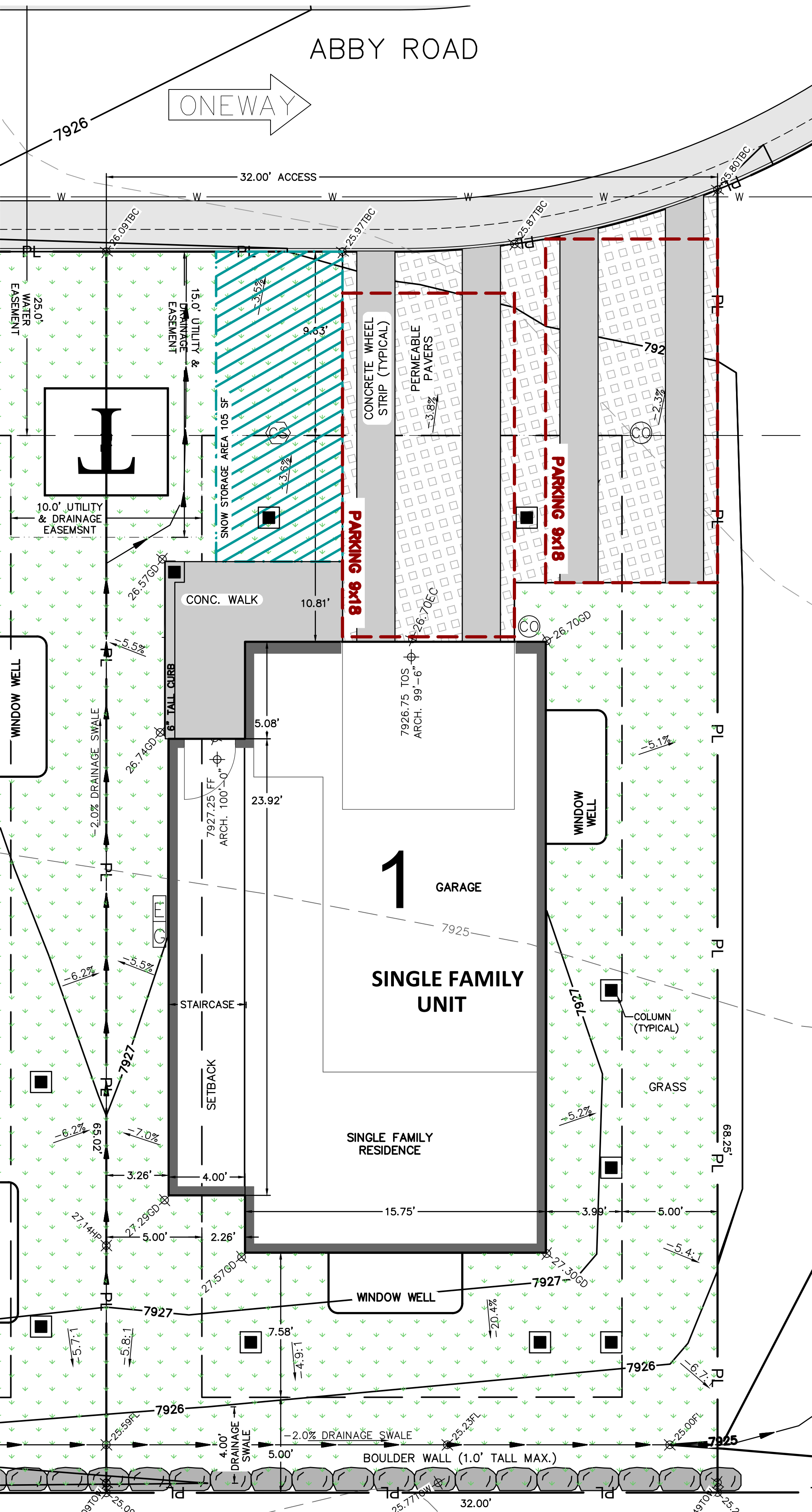
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EROSION CONTROL PLAN



UTILITY PLAN



SITE PLAN W/ GRADING

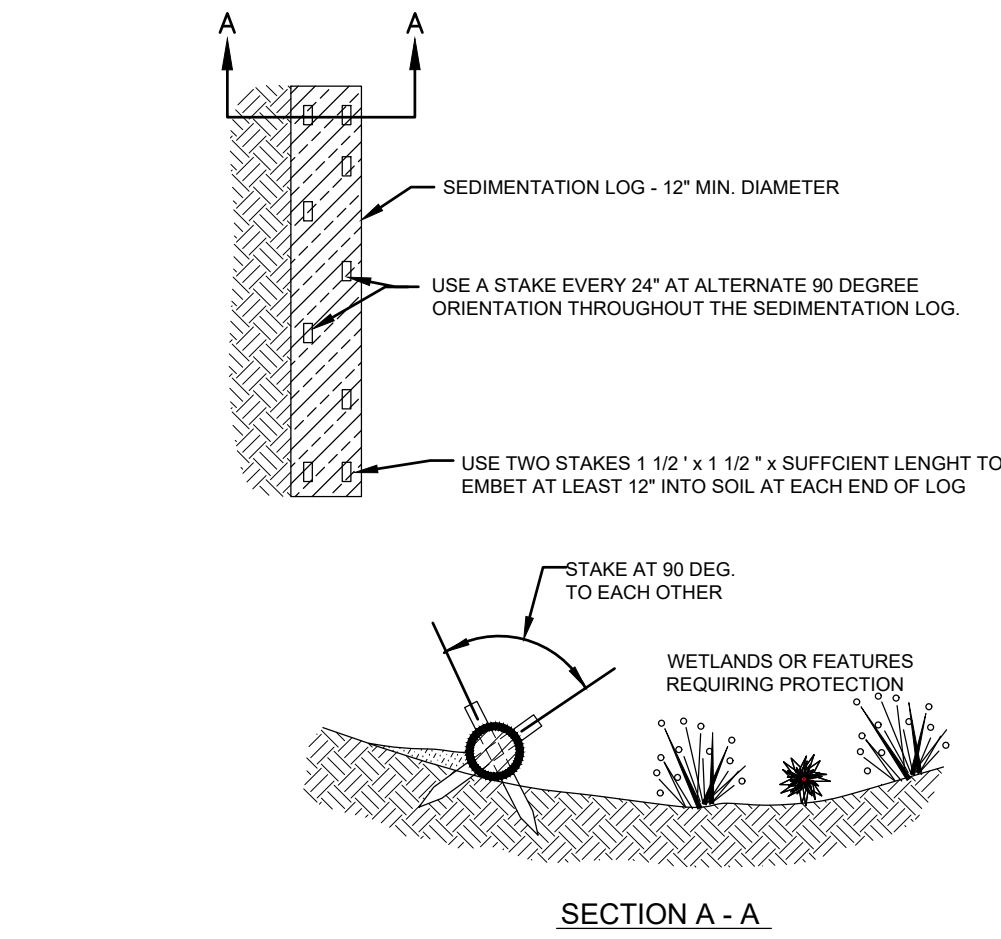
Belden Place
UNIT 1 - SINGLE FAMILY RESIDENCE
Minturn, Colorado

NOT FOR CONSTRUCTION

DATE	REVISION
1/15/25	DRB Coordination
3/12/25	DRB Updates

Title: SITE PLAN

Sheet: C.1



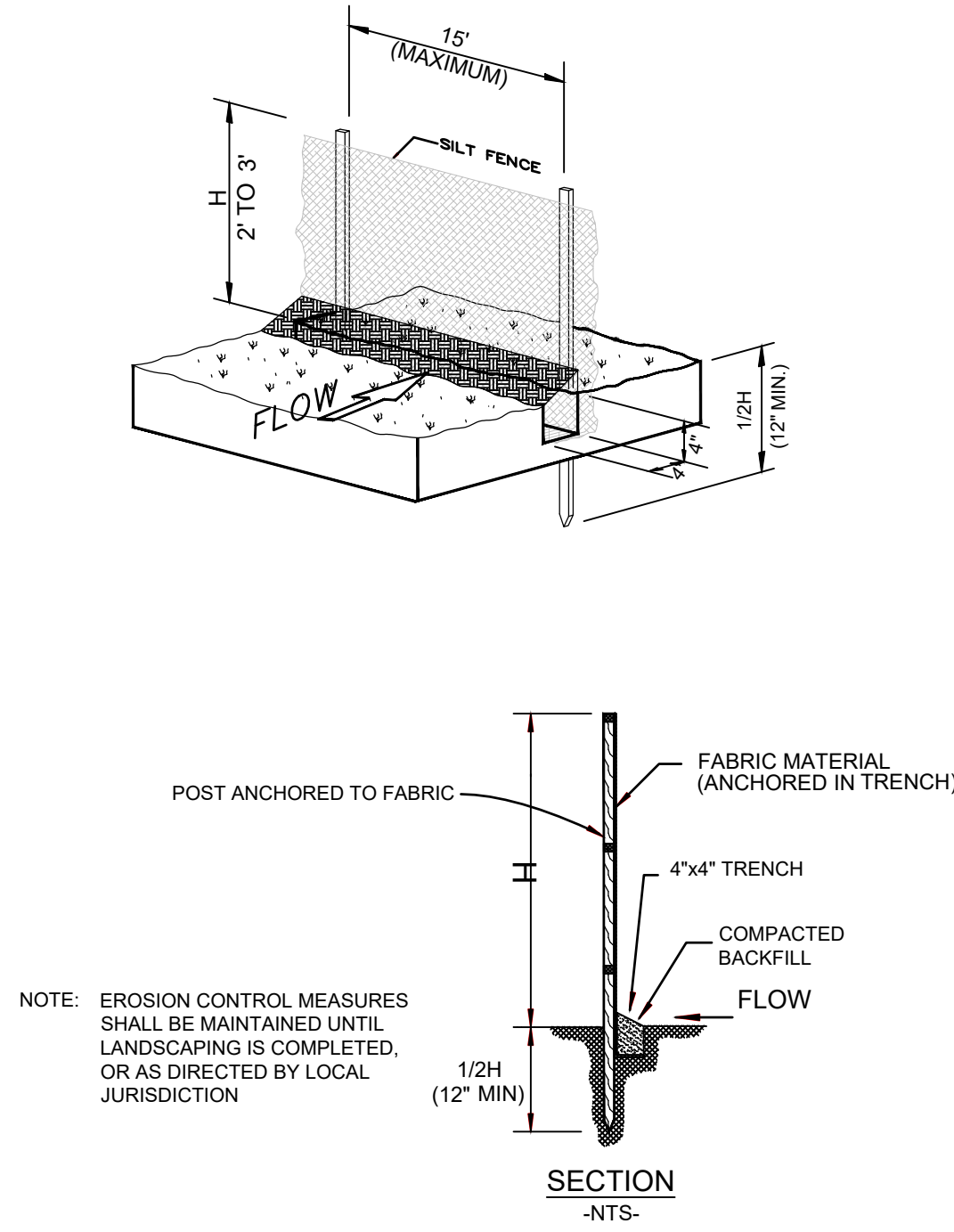
SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

SEDIMENT CONTROL LOG MAINTENANCE NOTES

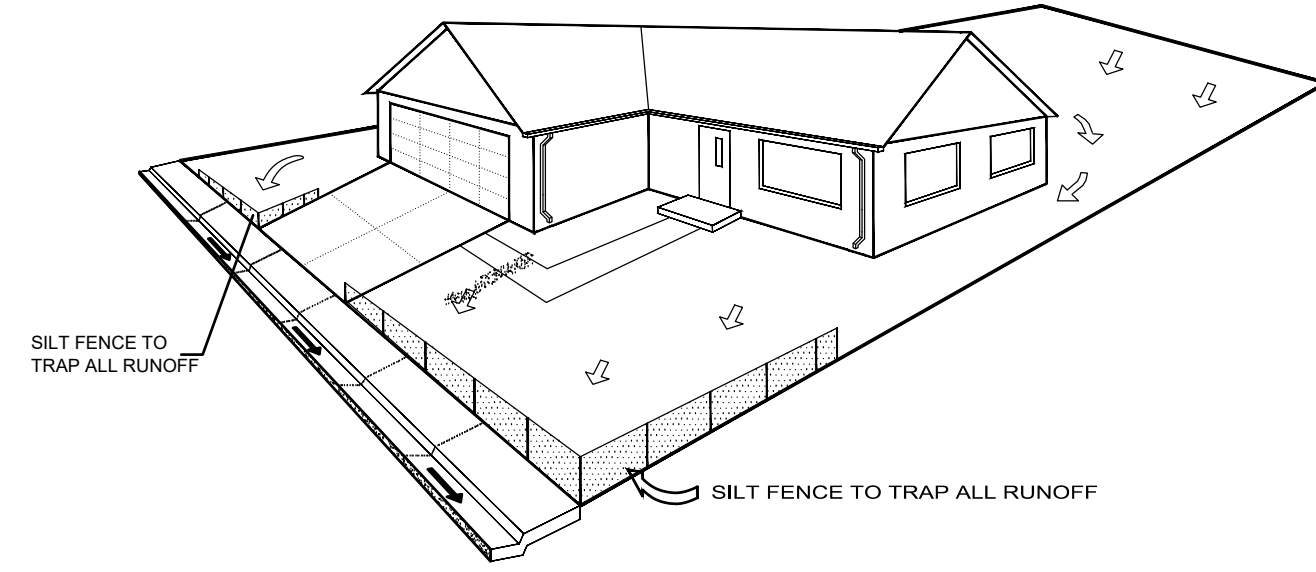
1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDED AND CRAMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

EROSION CONTROL LOG
DETAIL



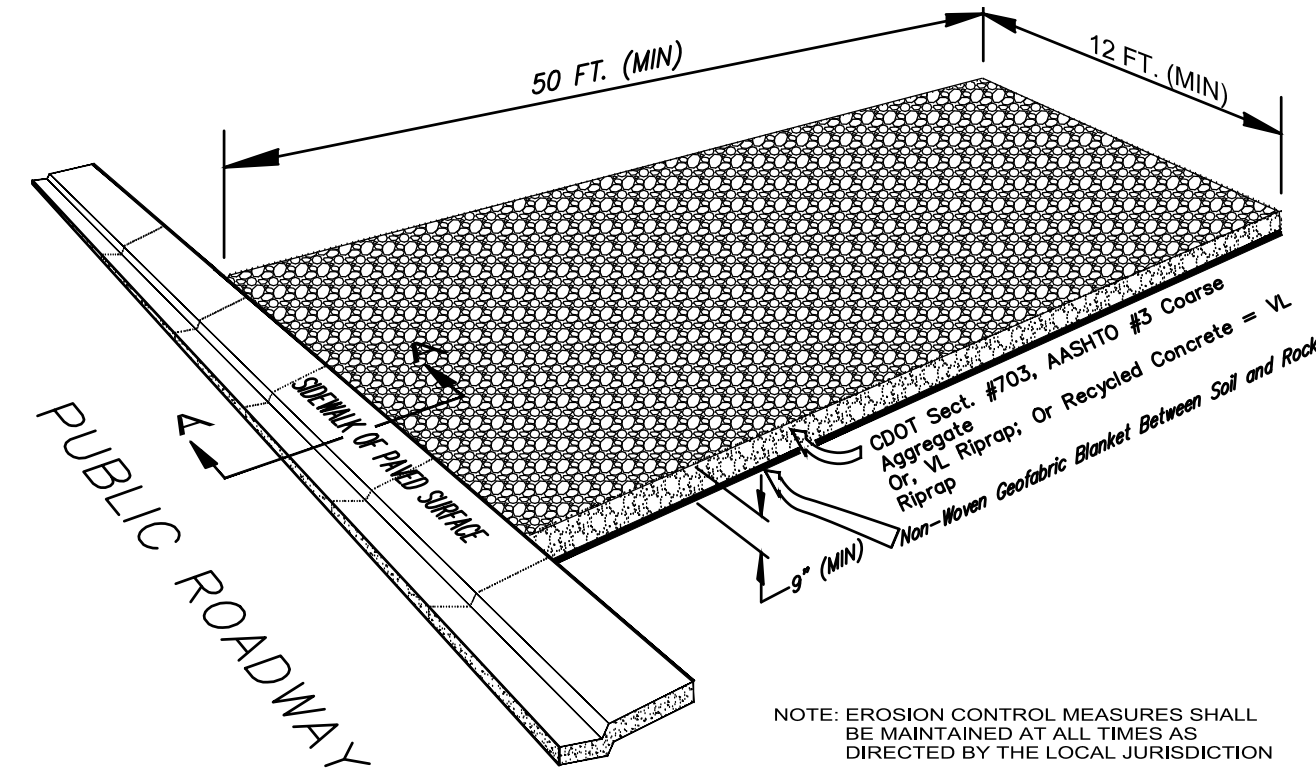
NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED, OR AS DIRECTED BY LOCAL JURISDICTION

SILT FENCE INSTALLATION
DETAIL

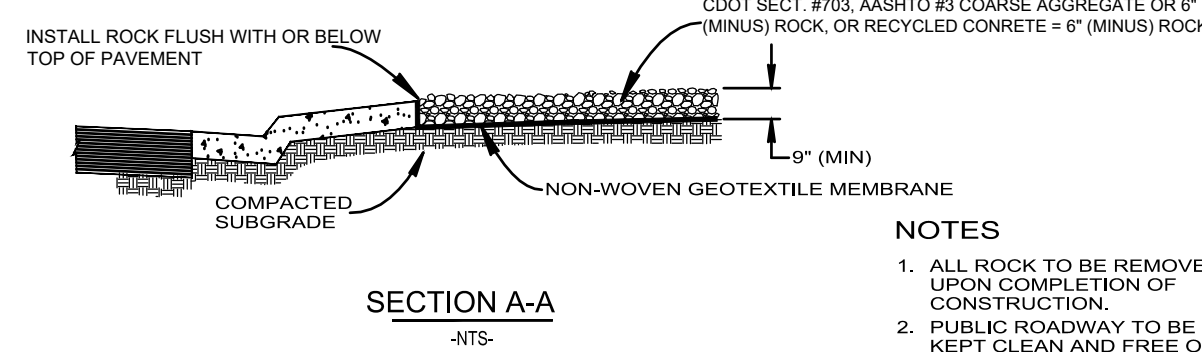


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION

SILT FENCE PLACEMENT
DETAIL



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE LOCAL JURISDICTION



NOTES

1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.

TEMPORARY VEHICLE TRACKING CONTROL
DETAIL

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NOT FOR CONSTRUCTION

DATE	REVISION
1/15/25	DRB Coordination
3/12/25	DRB Updates




Title:


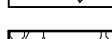


EROSION
CONTROL
DETAILS

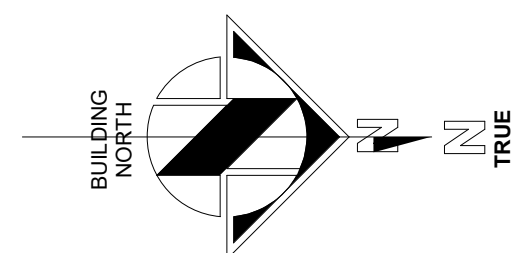
Sheet:

C.2



DECIDUOUS SHRUBS						
	ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
	SAR	<i>Salix repens</i>	Creeping Willow	as shown	5 Gal.	9
	SOS	<i>Sorbaria sorbifolia</i>	Ash-leaf Spirea	as shown	5 Gal.	6
	SPM	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	as shown	5 Gal.	9
	SYO	<i>Symphoricarpos occidentalis</i>	Western Snowberry	as shown	5 Gal.	4

	NATIVE GRASS	<u>SITE CALCULATIONS</u>	
		SITE SOFT	2,098 SOFT
	2" GRAVEL DRIP LINE MULCH	BUILDING COVERAGE	887 SOFT
		IMPERVIOUS COVERAGE (Includes Building)	1,081 SOFT
	CONCRETE	SITE COVERAGE ALLOWED	60%
		SITE COVERAGE	51.5%
	PERMEABLE PAVERS		

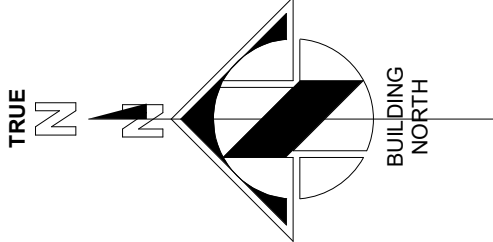


1. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
3. CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

1. CONTRACTOR SHALL VERIFY FINAL BOUNDARIES OF TPZ PRIOR TO COMMENCEMENT OF CONSTRUCTION/DEMOLITION ACTIVITIES. EXCESSIVE BRANCH PRUNING ON EXISTING TREES FOR CONSTRUCTION CLEARANCE WILL NOT BE PERMITTED. PRUNING FOR BUILDING CLEARANCE SHALL BE MINIMIZED. DUE TO SCOPE OF CONSTRUCTION AND SIZE OF EX. ROW TREES, USE CHAIN LINK FENCING TO ESTABLISH TPZ.
2. THE TREE LAWN WITHIN THE BOUNDARY OF THE TREE DRIPLINE SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINE WHERE CONCRETE & HARDSCAPE ARE REMOVED.

1. ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
2. PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
3. ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
4. TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
5. ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
6. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
7. TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
8. WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- 8.1. NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- 8.2. ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- 8.3. CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
9. FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.

4. AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO DEPTH OF 6" MINIMUM UNTIL SOIL IS WELL PULVERIZED AND THOROUGHLY MIXED.



TRUSS
RIDGE
● R.O. RIDGE +20'-2 5/8"
120'-2 5/8" (8359.22')
T.O. RIDGE 8360.68'

T.O. WALL
PLATE
● T.O. PLATE
+10'-0"
110'-0"

FLOOR
SPOT ELEV
● MAIN LEVEL
T.O. PLYWOOD CONC/GYP
100'-0" (8466.5')

NOTES:

CLOSET NOTES:

- 1 SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
- 2 DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
- 3 SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
- 4 LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
- 5 STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

- 1 ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
- 2 CLEATS TO BE 1/2" CLEAR PINE.
- 3 PROVIDE ROD SUPPORTS @ 36" OC MAX.
- 4 ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

GENERAL NOTES:

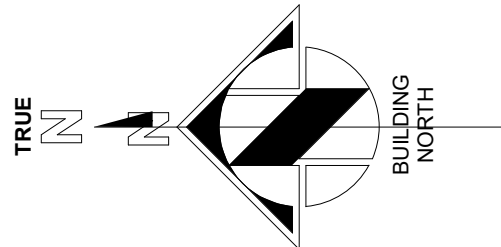
1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO, TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXXXX ON CIVIL DRAWINGS
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

ROOF FINISH LEGEND

NOTES:

1. HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE: STRUCTURAL
2. ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH. RE: DIAGRAM ON ELECTRICAL PLANS
3. T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
4. CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURER'S REQUIREMENTS

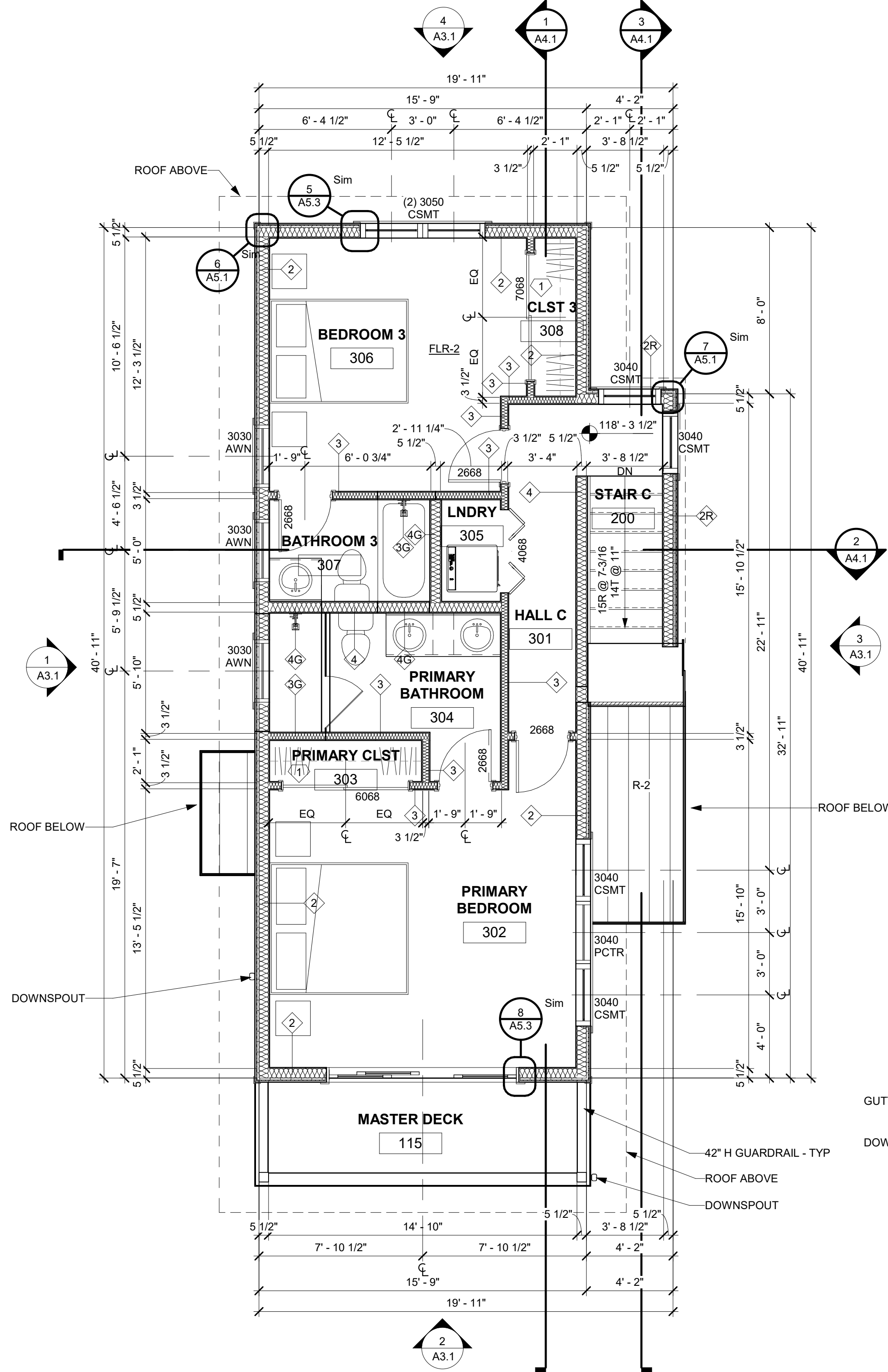
- R-1 RANDOM ASPHALT SHINGLES, SEE SYSTEM NOTES SHEET A0.1
- R-2 60 MIL EPDM ROOF SEE SYSTEM NOTES SHEET A0.1
- R-3 COIL COATED MTL STANDING SEAM ROOF SEE SYTEM NOTES SHEET A0.1
- COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 1'-6" FROM FACE OF FRAMINGS TYP, U.N.O.
- ROOF BEAMS - ROUGH SAWN TIMBER



PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

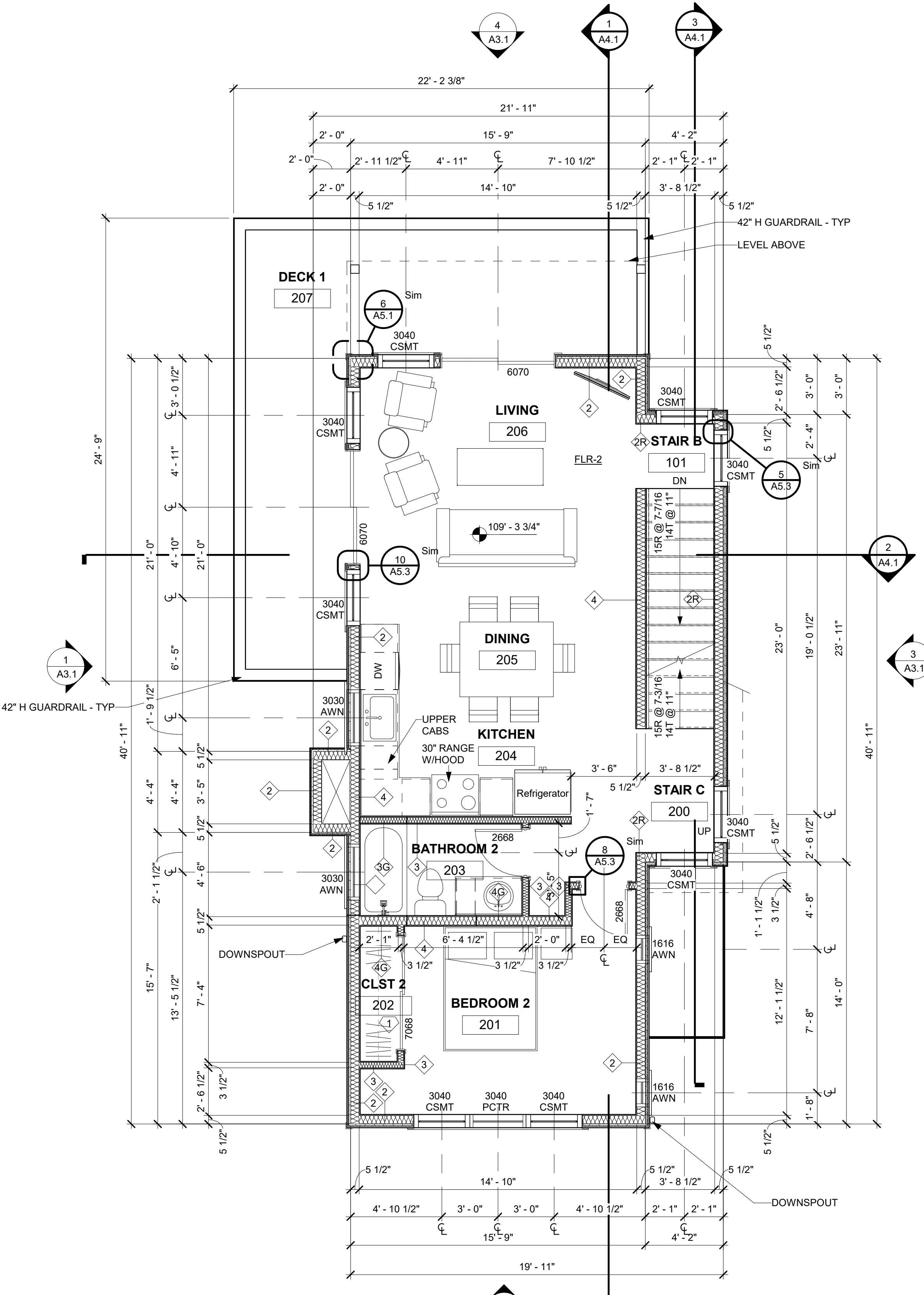
3 ROOF PLAN

A2.2 1/4" = 1'-0"



2 UPPER LEVEL

A2.2 1/4" = 1'-0"



1 MAIN LEVEL

A2.2 1/4" = 1'-0"

CONTRACTOR TO PROVIDE THE FOLLOWING AS DEFERRED SUBMITTALS FOR BUILDING PERMIT

MECHANICAL

- M1. PLEASE PROVIDE THE REQUIRED MANUAL J AND S, M1401.2
- M2. PLEASE PROVIDE THE REQUIRED MANUAL D, M1601.1
- M3. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED WHOLE HOUSE VENTILATION SYSTEM, M1505.4
- M4. SHEET A2.1: IF ALL THE GAS FIRED APPLIANCES ARE NOT SEALED COMBUSTION AND THE KITCHEN EXHAUST HOOD IS GREATER THAN 400 CFM A MAKEUP AIR SYSTEM WILL BE REQUIRED. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED MAKEUP AIR SYSTEM IF NEEDED.

PLUMBING

- P1. SHEET A2.1: LOWER FLOOR. PLEASE INDICATE HOW THE WATER HEATER AND ASSOCIATED PIPING WILL BE PROTECTED FROM FREEZING. P2603.5
- PLEASE INDICATE THE REQUIRED 3' X 3' X 7' HIGH CLEAR SPACE AT THE WATER HEATER, R403.5.4 AS AMENDED
- B. INDICATE THE REQUIRED CONDENSATE DRAIN AT THE WATER HEATER THAT WILL ALLOW NATURAL DRAINAGE, R403.5.4 AS AMENDED
- PLEASE NOTE THAT THAT THESE TWO COMMENTS ARE INTENDED TO PROVIDE SPACE AND DRAINAGE FOR A HEAT PUMP WATER HEATER. WE ARE NOT AWARE THAT HEAT PUMP WATER HEATERS CAN BE INSTALLED IN AN UNCONDITIONED OR CONDITIONED GARAGE.

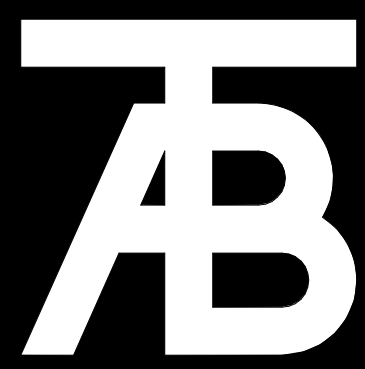
CONTRACTOR TO PROVIDE THE FOLLOWING FOR IECC REQUIREMENTS AND COMPLETION

REQUIRED BLOWER DOOR TEST AT 3-Ach50, R402.4.1.3

A. REQUIRED DUCT TIGHTNESS TEST, R403.3.5

IV. REQUIRED DOMESTIC HOT WATER PING INSULATION, R403.5.2

VI. THE REQUIRED ITEMS THAT ARE TO BE LISTED ON THE COMPLIANCE CERTIFICATE, R401.3 AS AMENDED



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Revisions:		
No	Description	Date

Issue Dates:
DRB - 02/14/2025

Sheet Title:

Main,
Upper, &
Roof
Plans

Project No:
2215

Sheet No:

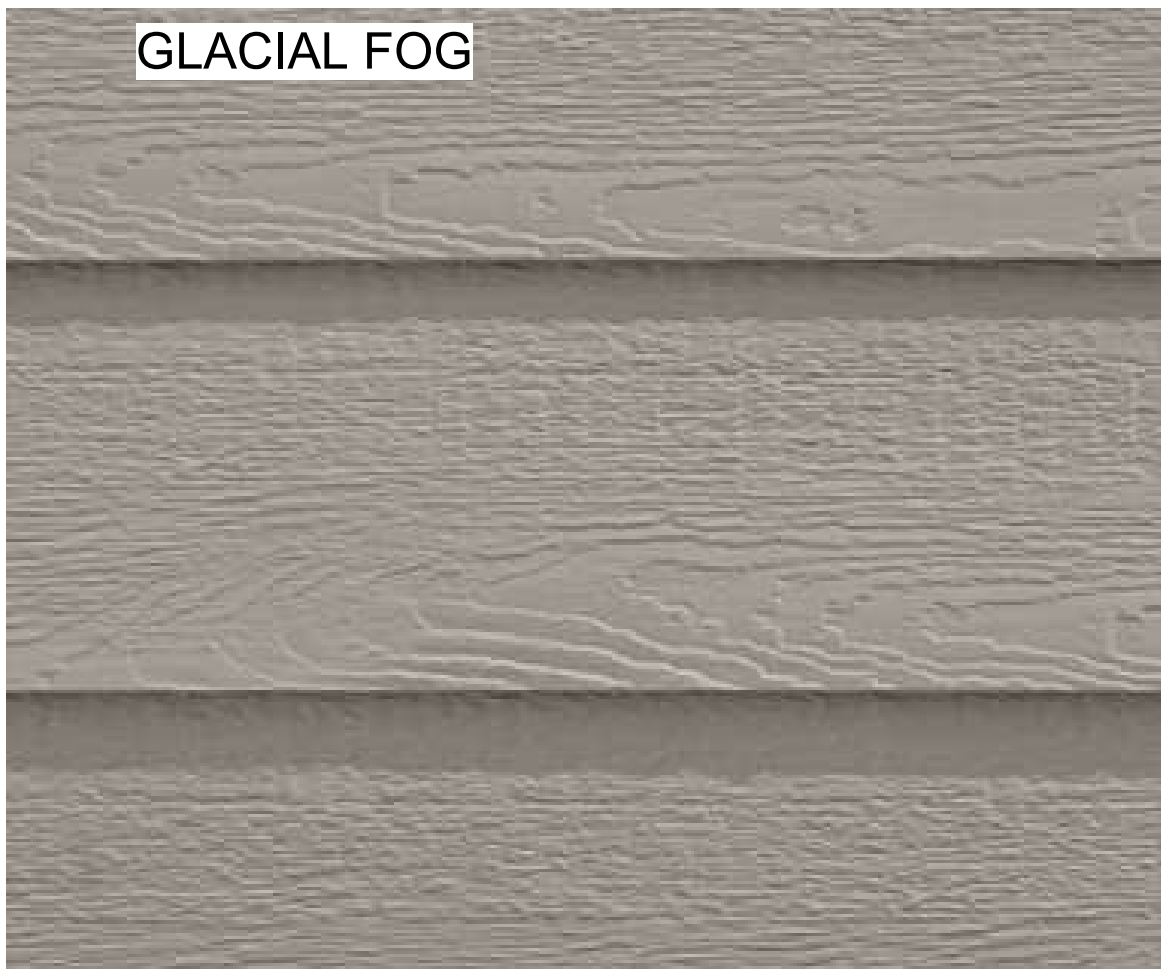
A2.2

27'-3 15/32"

Sheet No:
A3.1



X-1 - VERTICAL SIDING COLOR



X-2 - LAP SIDING COLOR



#366 Courtland Low Rise TV

X-4 STONE VENEER
SIMILAR TO GALLEGOS - #366
COURTLAND LOW RISE

SW 7069
Iron Ore
Interior / Exterior

PAINTED ITEMS:
SHERWIN WILLIAMS 7069 IRON ORE
TRIM, CORNER TRIM, WINDOW AND
DOOR TRIM, WOOD BEAMS, GUTTERS
AND OTHER METALS



GARAGE DOORS:
SIMILAR TO RAYNOR - ASPEN SERIES
RECESSED RANCH GROOVED PANELS
COLOR: WALNUT

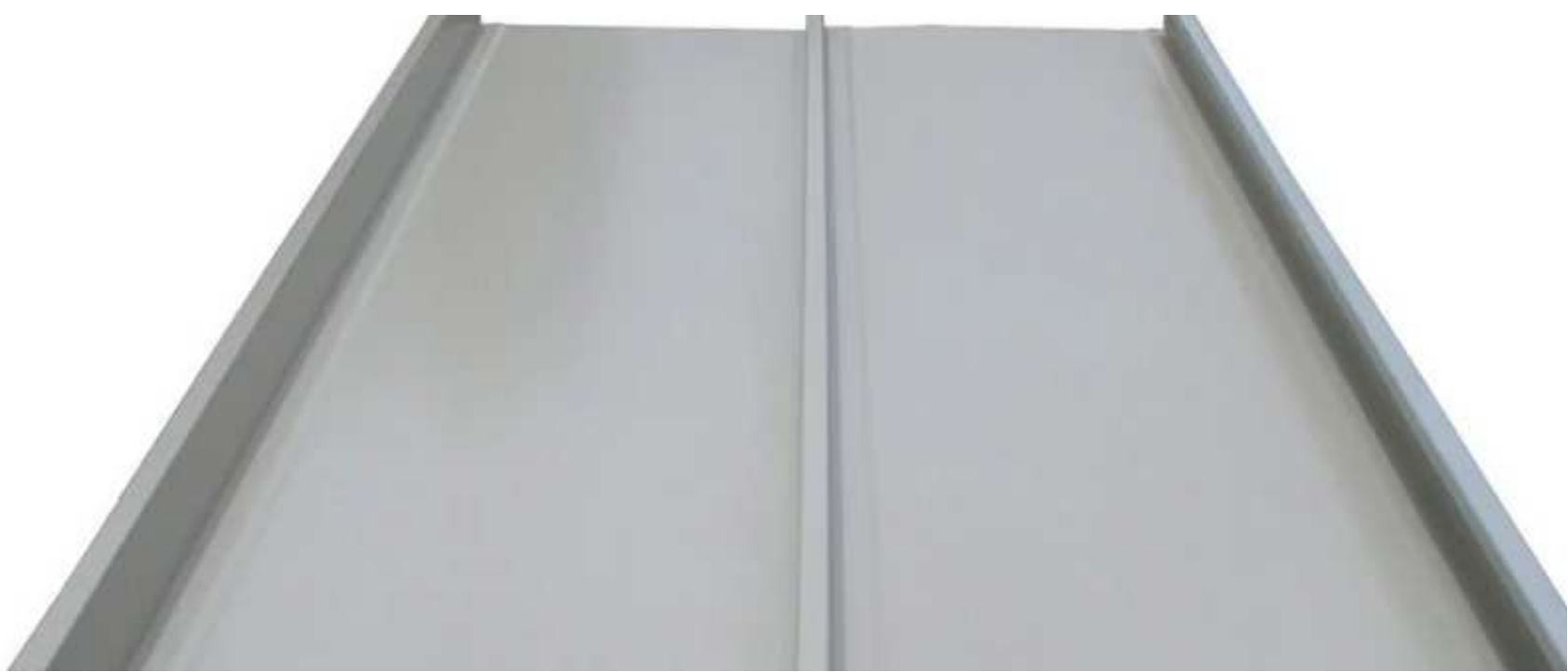
EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - GLACIAL FOG
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - GLACIAL FOG
X-3 VERTICAL CORRUGATED METAL SIDING
COLOR - CHARCOAL GREY
X-4 STONE VENEER
R-1 ASPHALT SHINGLE ROOF
R-2 STANDING SEAM METAL ROOF

WINDOWS:
SIMILAR TO SIERRA PACIFIC "BLACK"
WOOD CLAD WINDOWS



R-1 ROOFING
SIMILAR TO GAF DESIGNER SHINGLES
WOODLAN 'CASTLEWOOD GRAY'



R-2 ROOFING
SIMILAR TO WESTERN STATES
2" STANDING SEAM - 12" WIDTH
COLOR: GALVANIZED TO MATCH
GALVALUME PANELS



Collection: Barn Light

Featured in the decorative Barn Light collection

1 A19 Medium 75 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #:785652069352

Finish: Black (12)

Dimensions:

Diameter: 12"

Width: 12"

Height: 10 5/8"

Weight: 1.8 lbs.

Extends: 17 1/8"

Extends Max: 23 1/8"

Wire: 6 1/2" (color/Black/White)

Mounting Proc.: Cap Nuts

Connection: Mounted To Box

Bulbs:

1 - Medium A19 75w Max. 120v - Not included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with listed Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminum - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

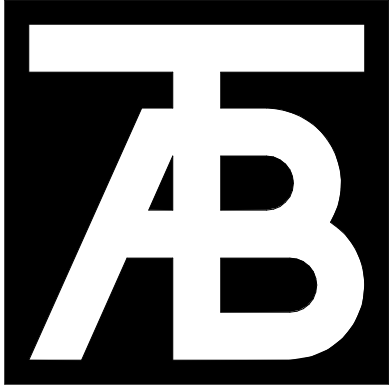
Trilingual (English, Spanish, and French) (060WR_37401-BRL)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate		1 1/4	5		4 1/8	6 1/2

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8637401TENS-12	1	785652069352	16.75	14.58	13.25	1.873	4.1	250	Yes
NZ Pallet		40		48	40	77	85.556	164		No
NV Pallet		40		48	40	77	85.556	160		No



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Mechanical Engineer
Electrical Engineer

Seal

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Revisions:		
No	Description	Date

Issue Dates:
DRB - 02/14/2025

Sheet Title:
Materials

Project No:
2215

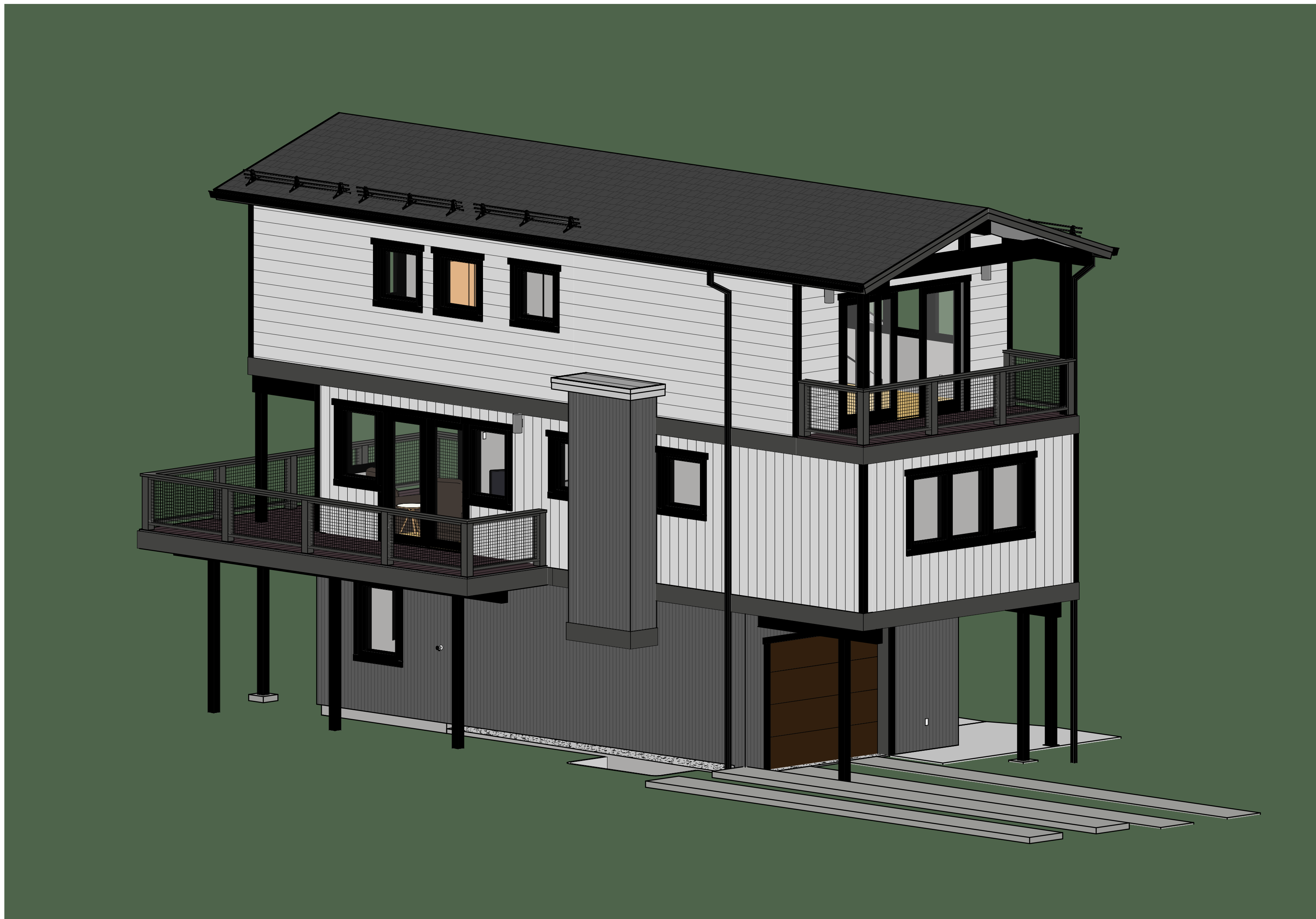
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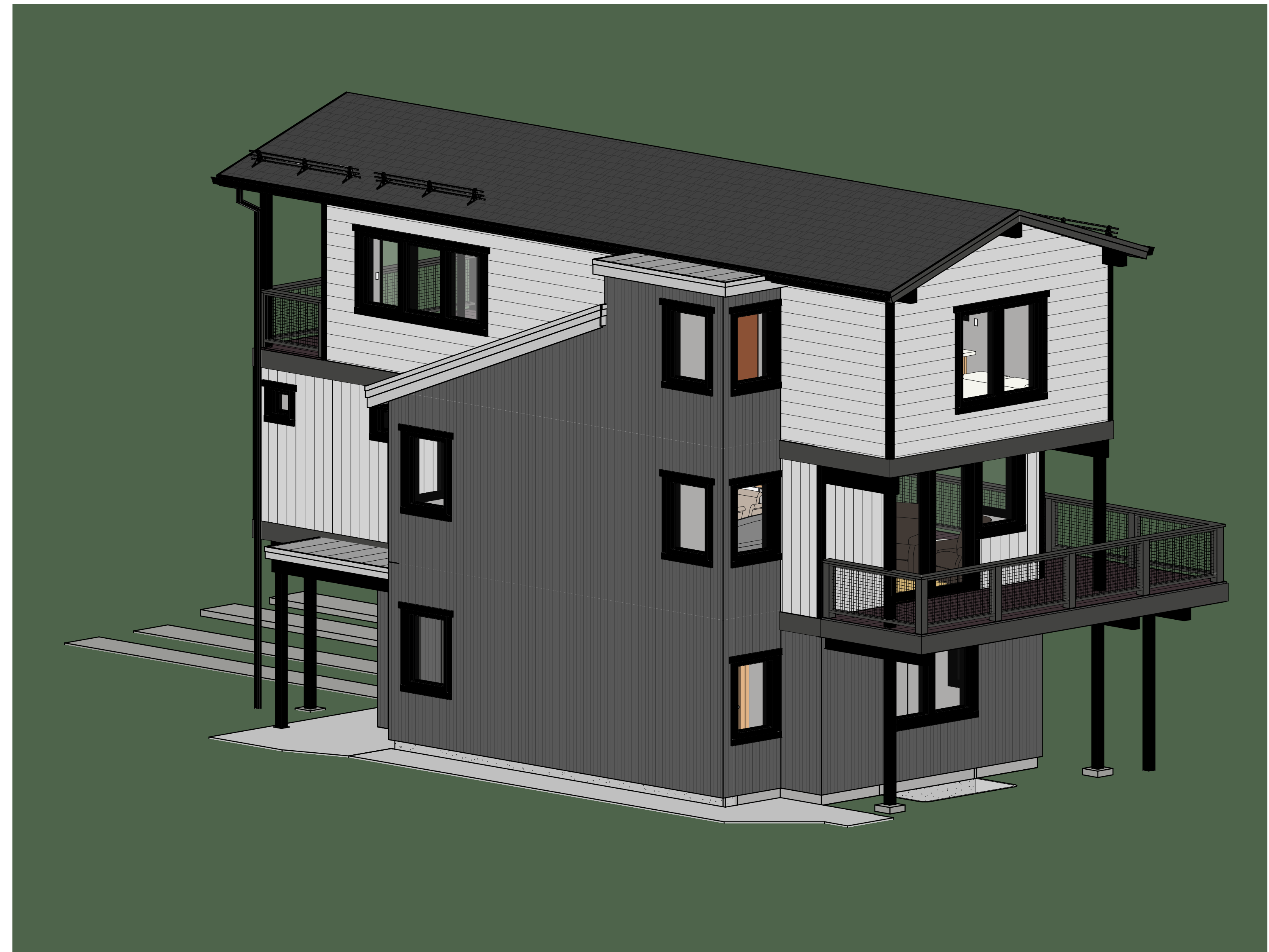
1 NORTH WEST ELEVATION
A3.3



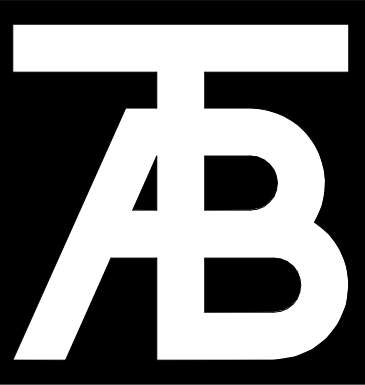
2 SOUTH WEST ELEVATION
A3.3



3 NORTH EAST ELEVATION
A3.3



4 SOUTH EAST ELEVATION
A3.3



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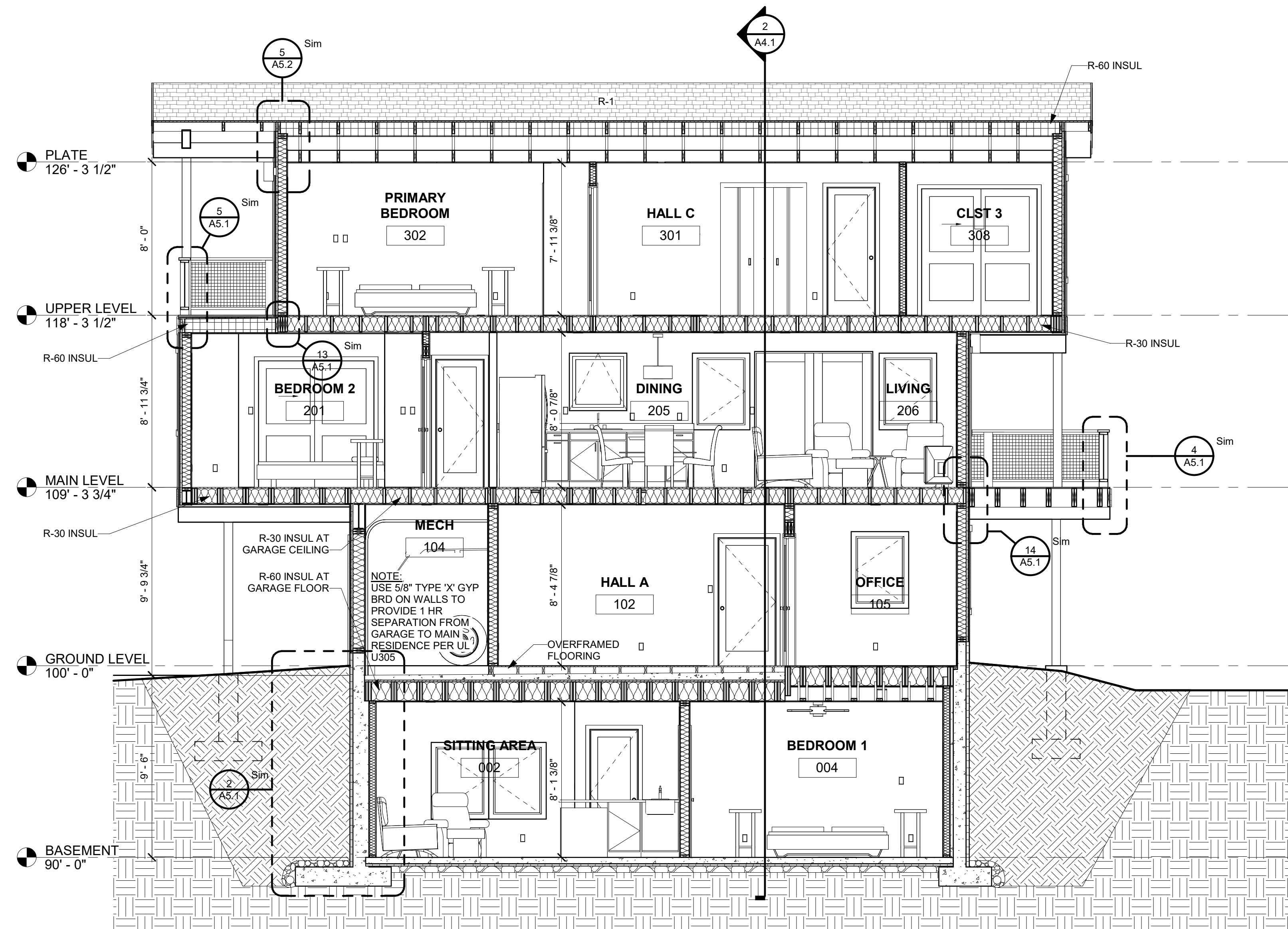
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No	Description	Date

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DRB - 02/14/2025

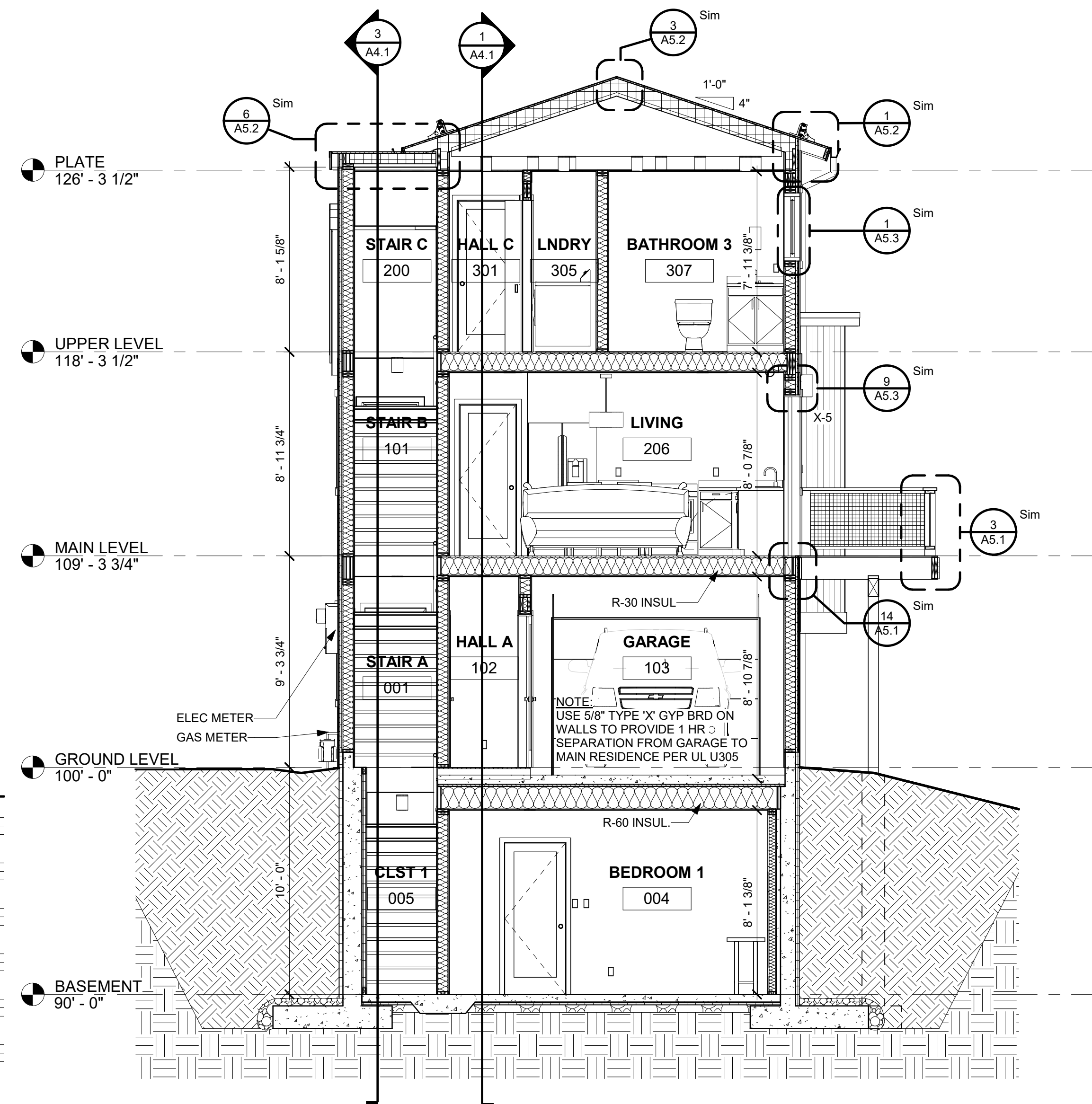
Sheet Title:
**Exterior
Color
Elevations
& 3D**

Project No:
2215

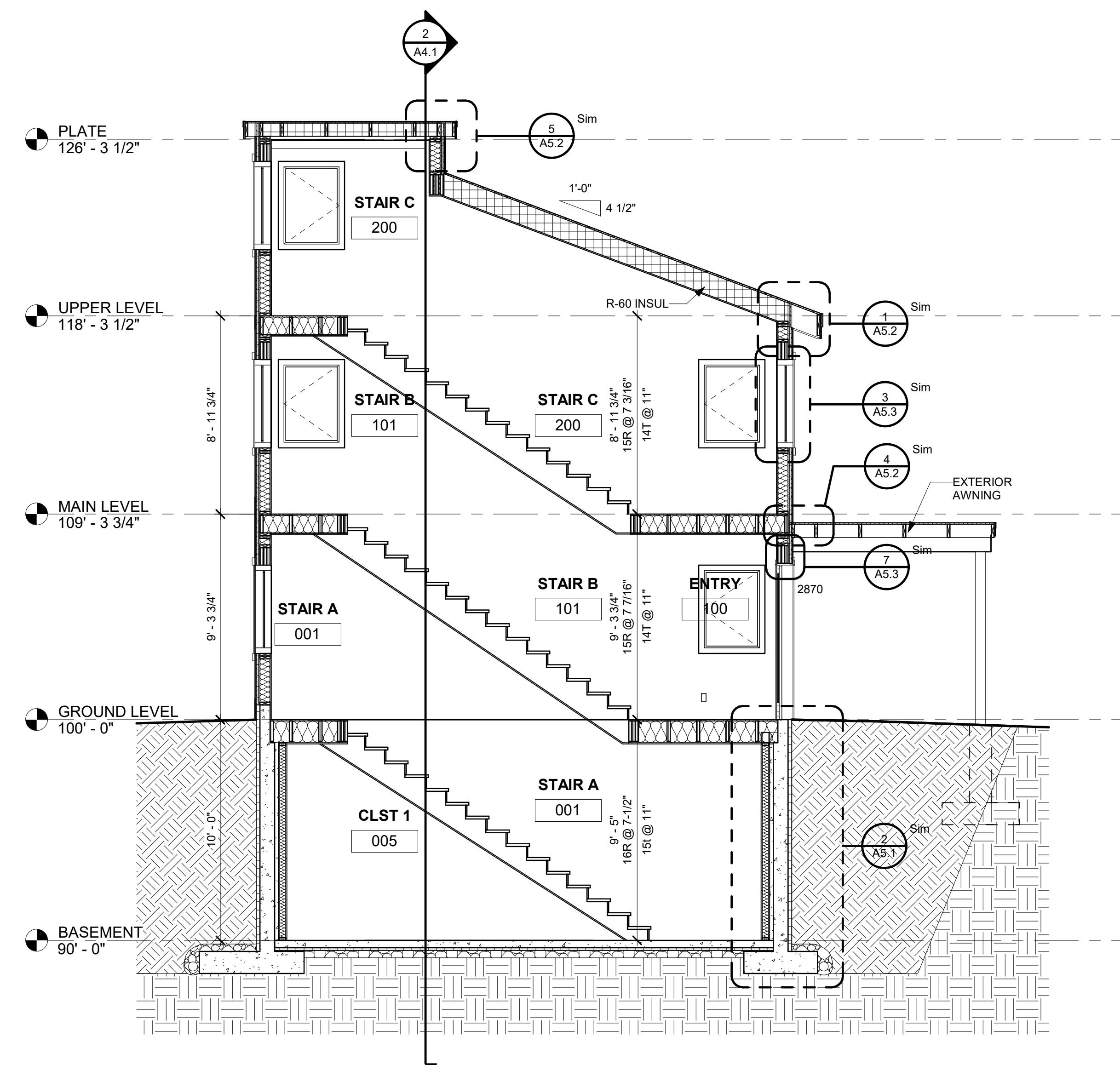
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A3.3



1 LONG SECTION
A4.1 1/4" = 1'-0"



2 SHORT SECTION
A4.1 1/4" = 1'-0"



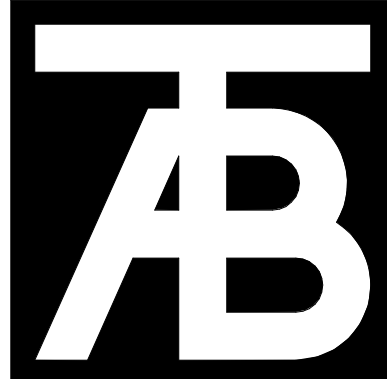
3 STAIR SECTION
A4.1 1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

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COLOR - GLACIAL FOG
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - GLACIAL FOG
- X-3 VERTICAL CORRUGATED METAL SIDING
COLOR - CHARCOAL GREY
- X-4 STONE VENEER

- R-1 ASPHALT SHINGLE ROOF
- R-2 STANDING SEAM METAL ROOF



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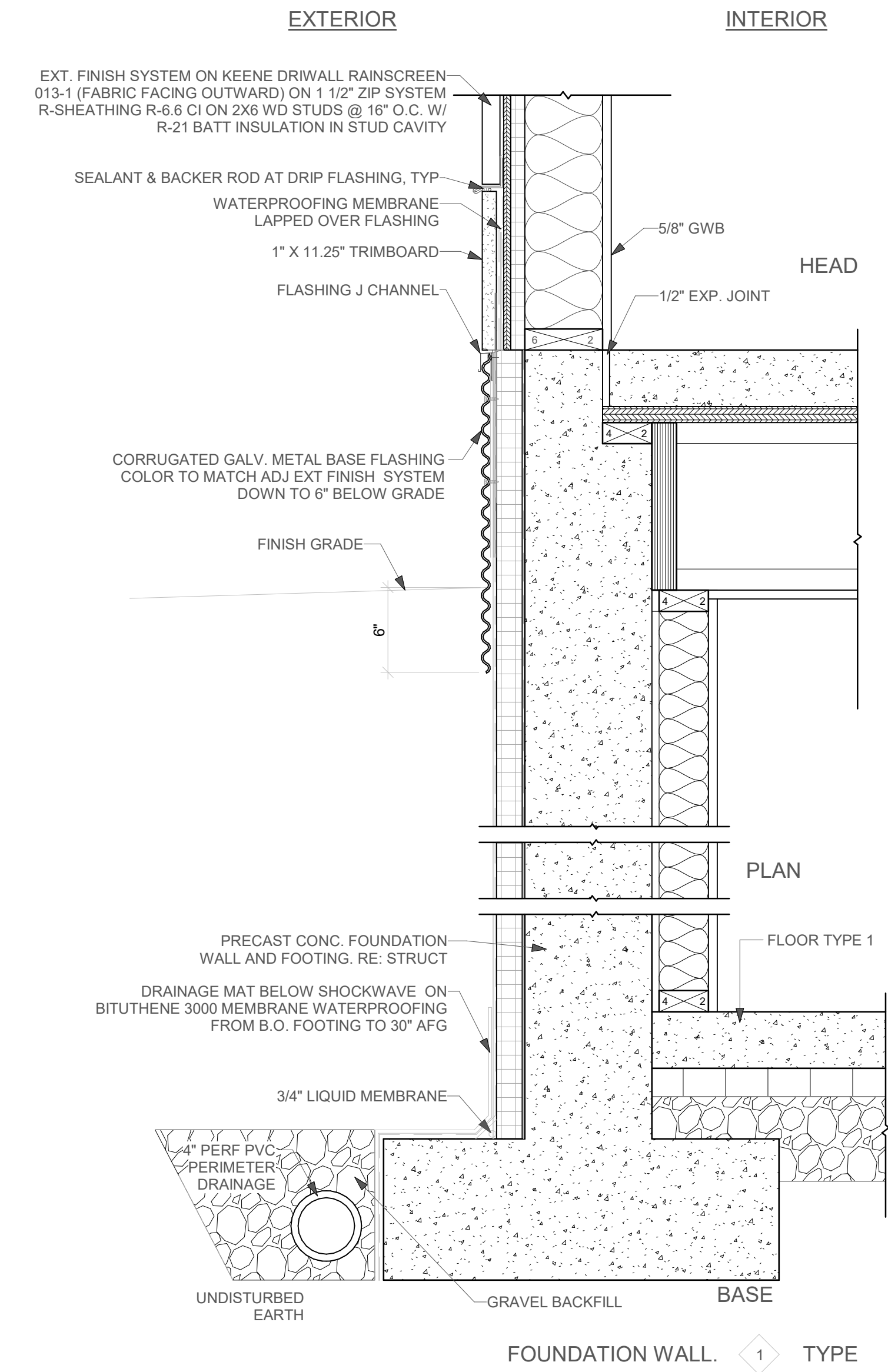
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No	Description	Date

Issue Dates:
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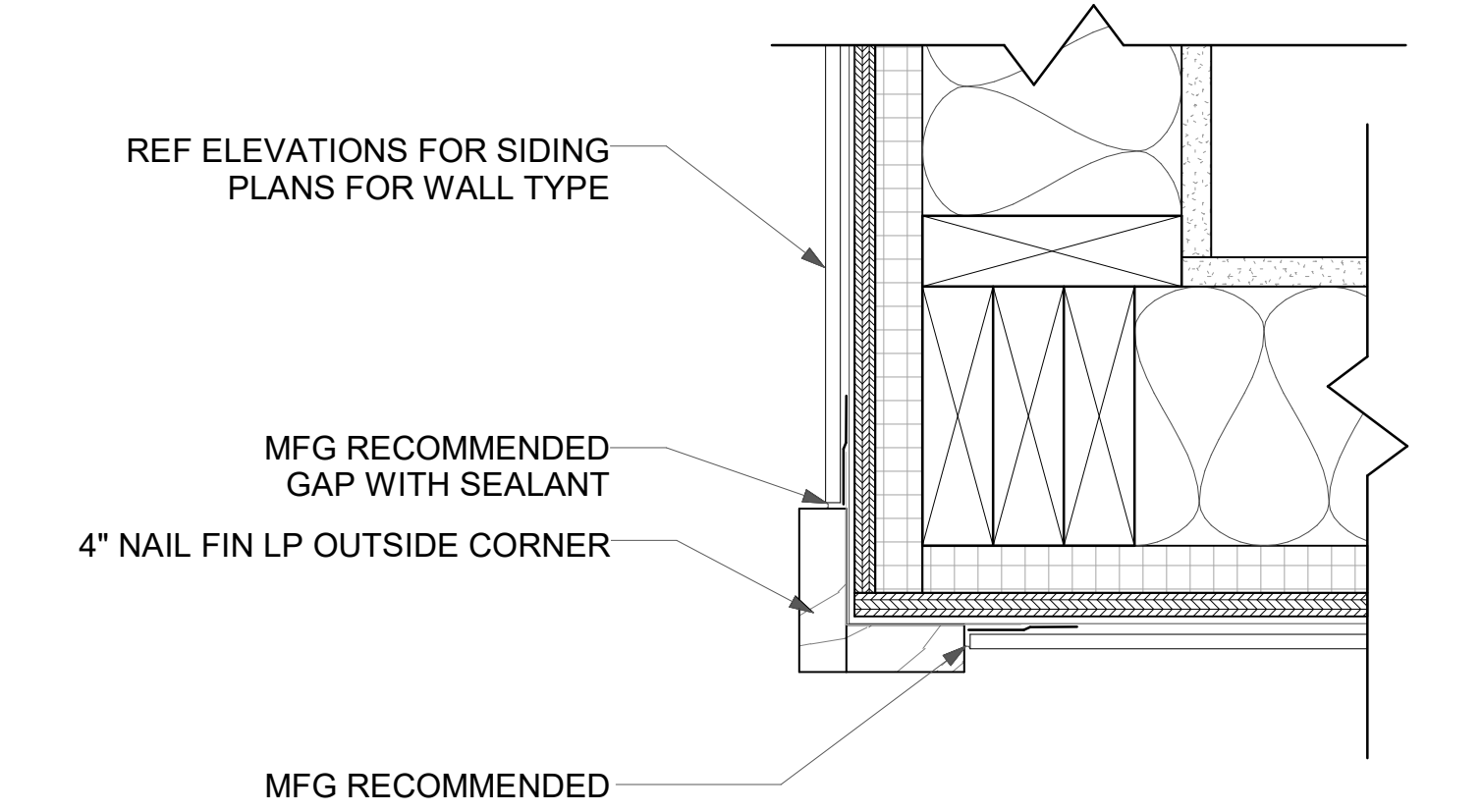
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Building Sections

Project No:
2215

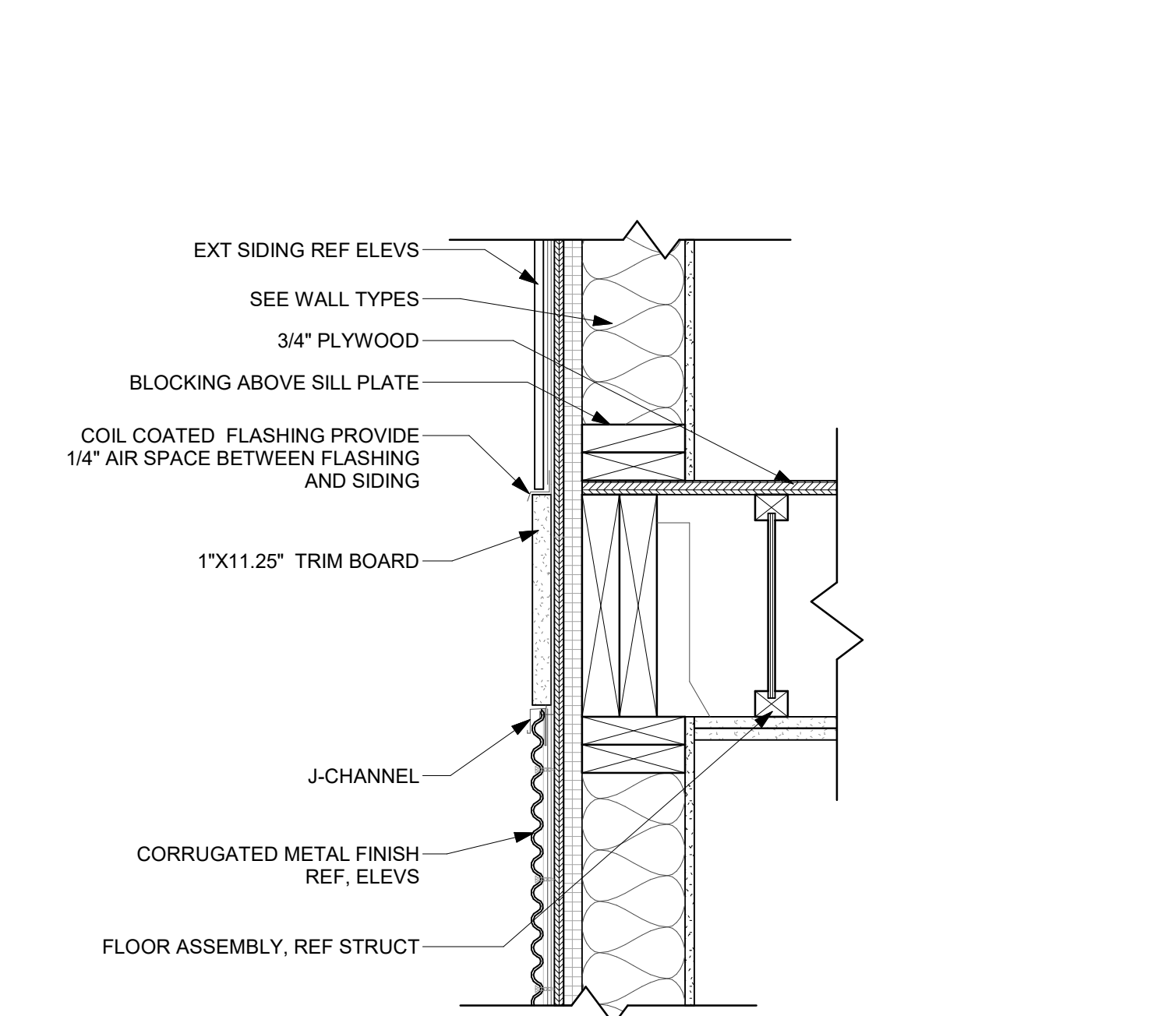
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A4.1



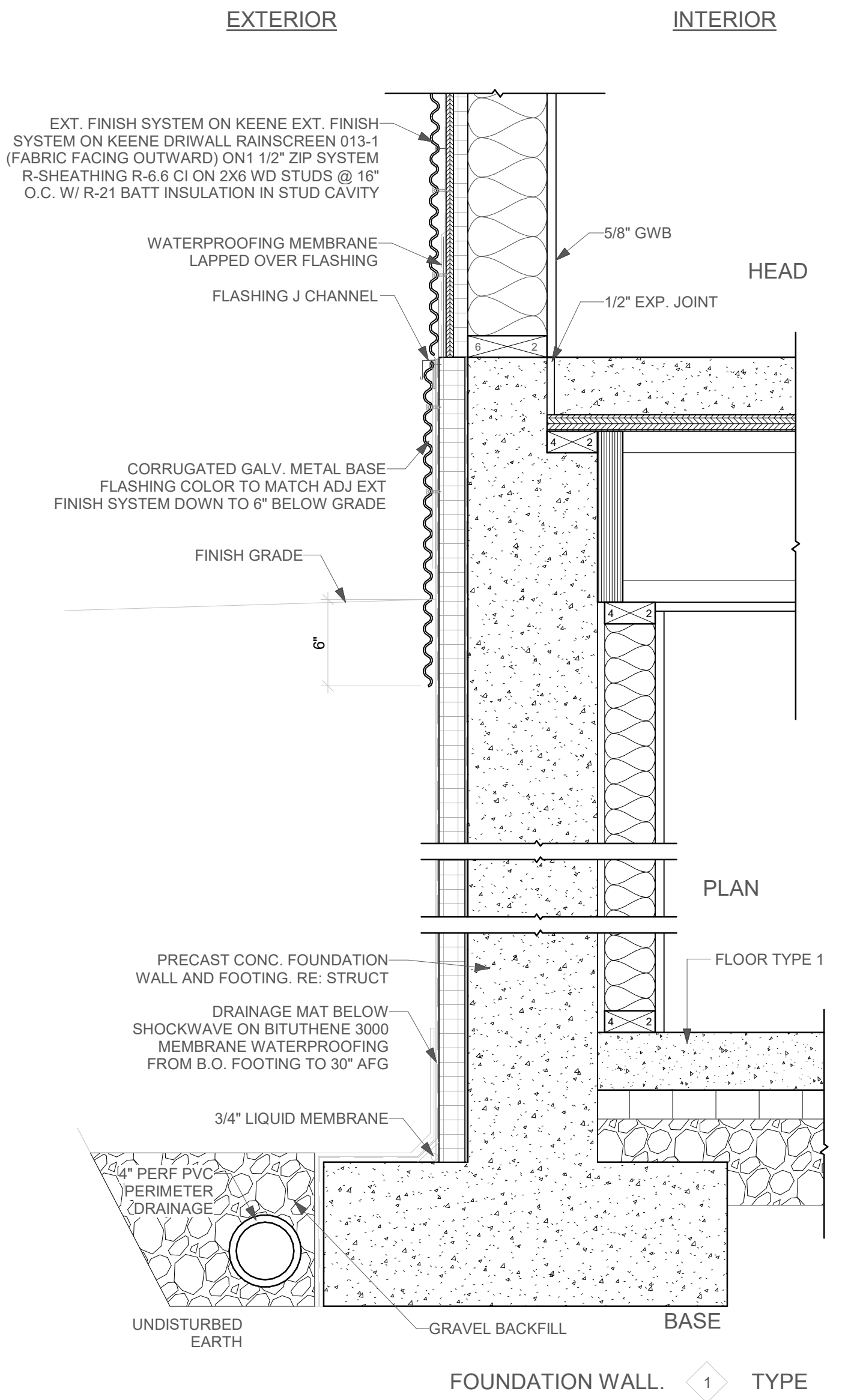
1 FOUNDATION DETAIL - WOOD SIDING
A5.1 1 1/2" = 1'-0"



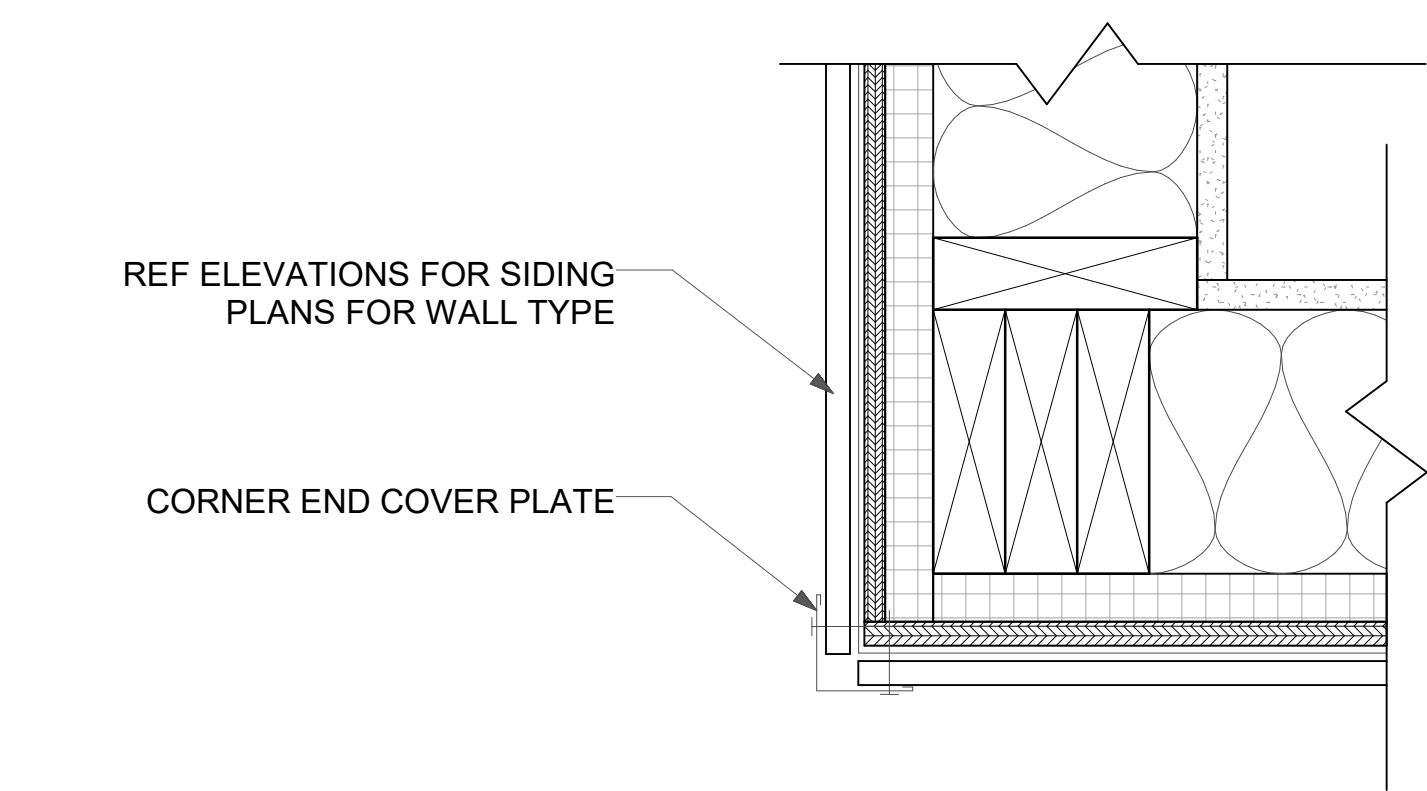
6 PLAN DETAIL - CORNER TRIM
A5.1 3" = 1'-0"



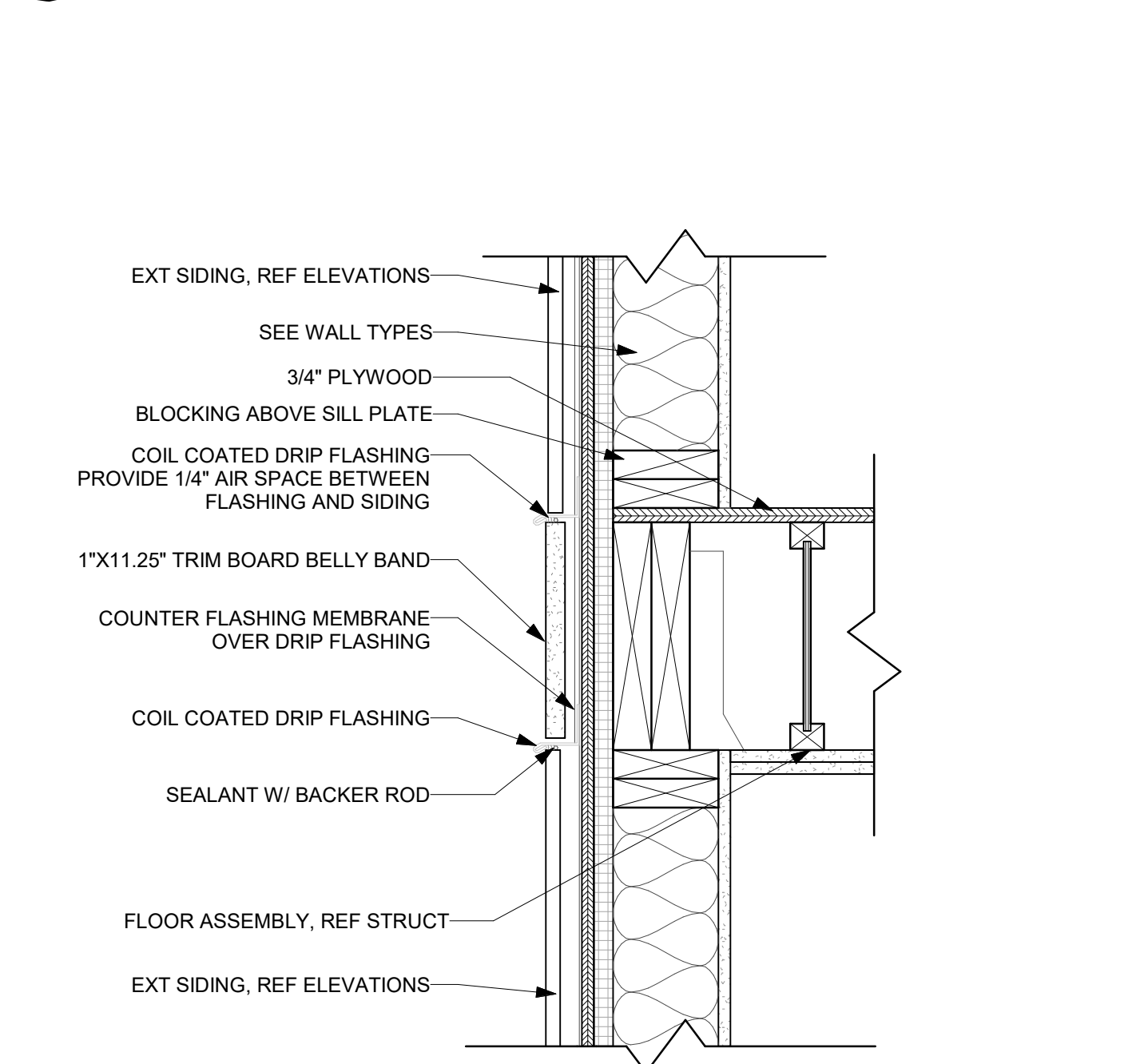
11 FLOOR TRANSITION MTL
A5.1 1 1/2" = 1'-0"



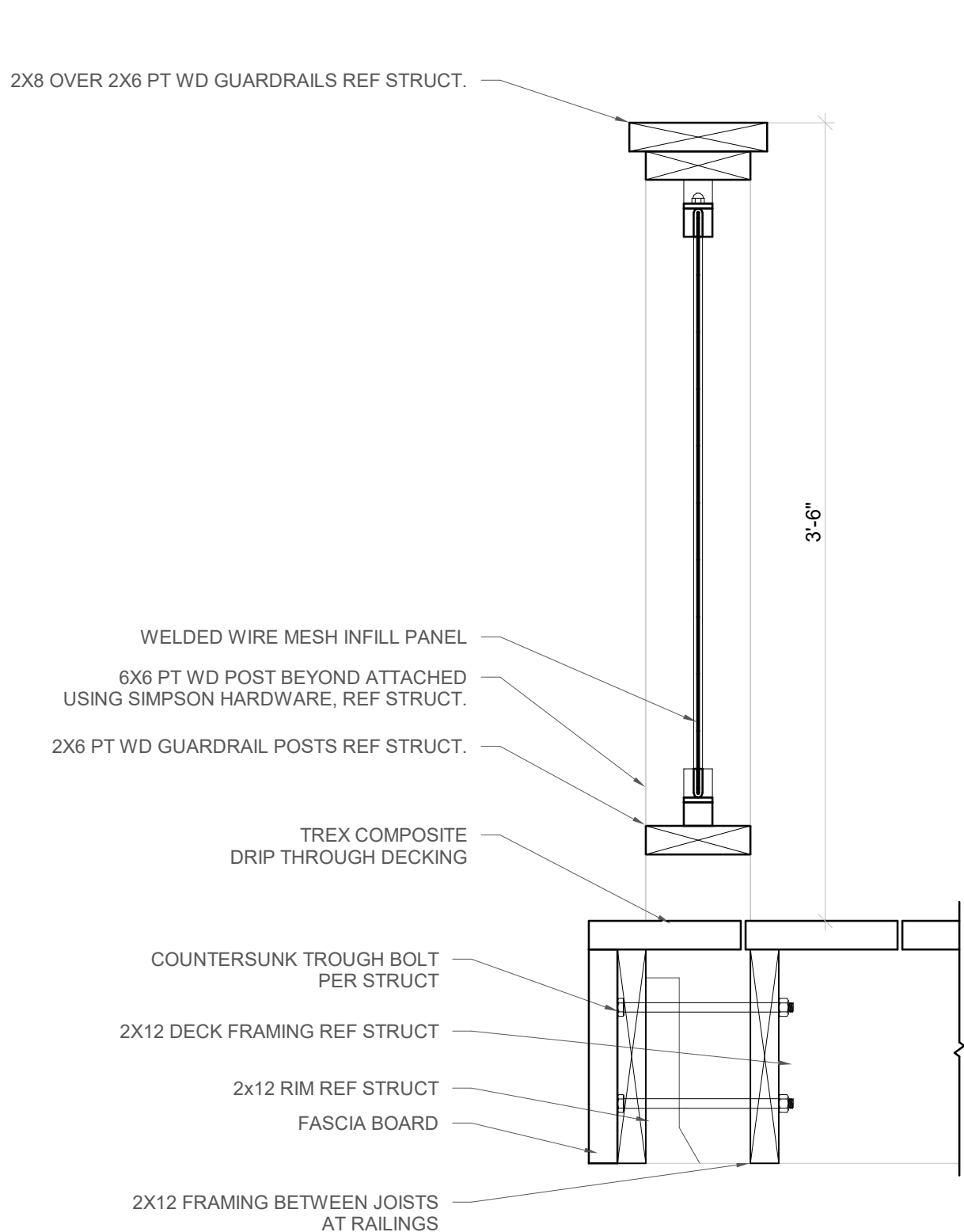
2 FOUNDATION DETAIL - CORRUGATED SIDING
A5.1 1 1/2" = 1'-0"



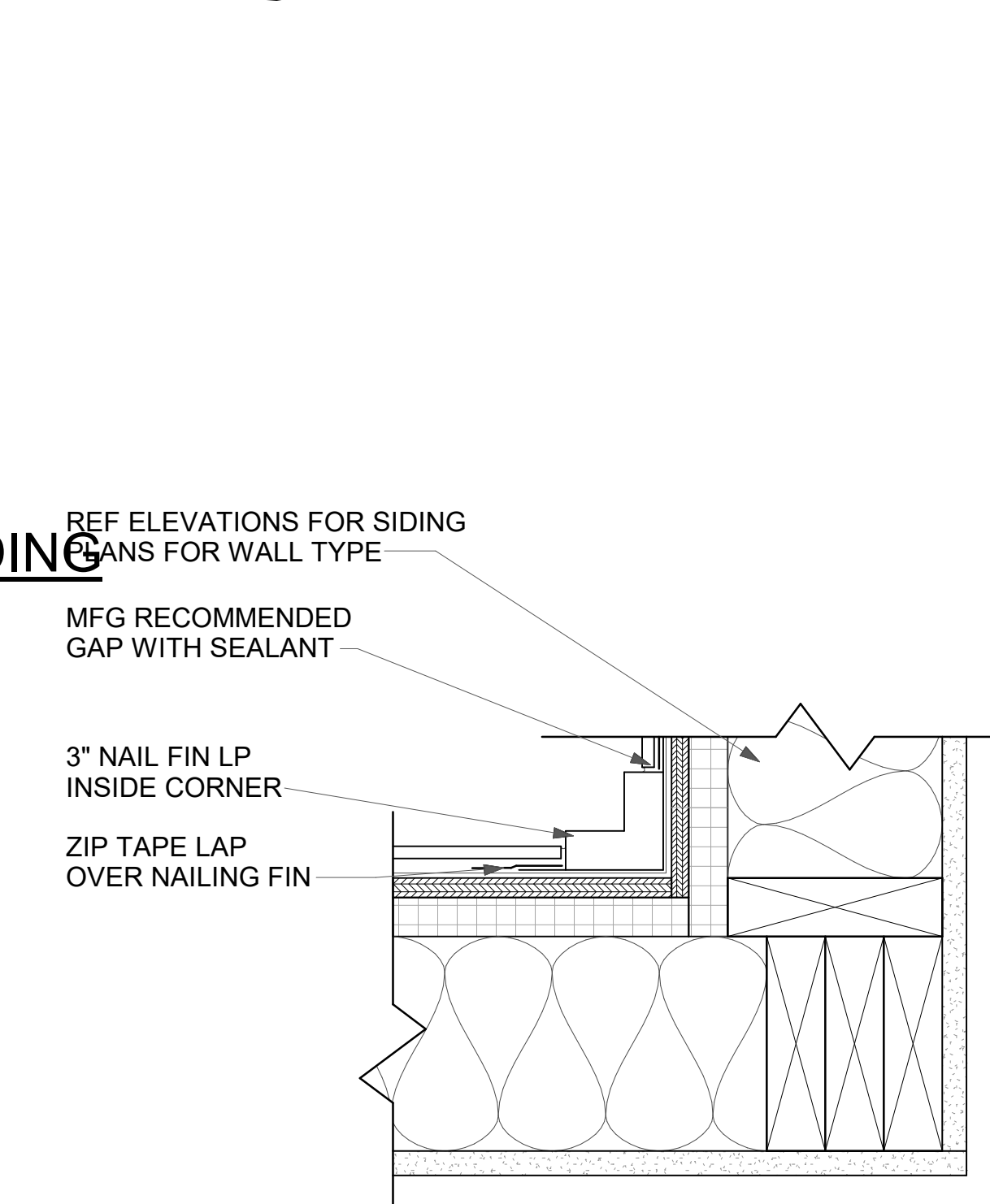
7 PLAN DETAIL - CORNER TRIM MTL
A5.1 3" = 1'-0"



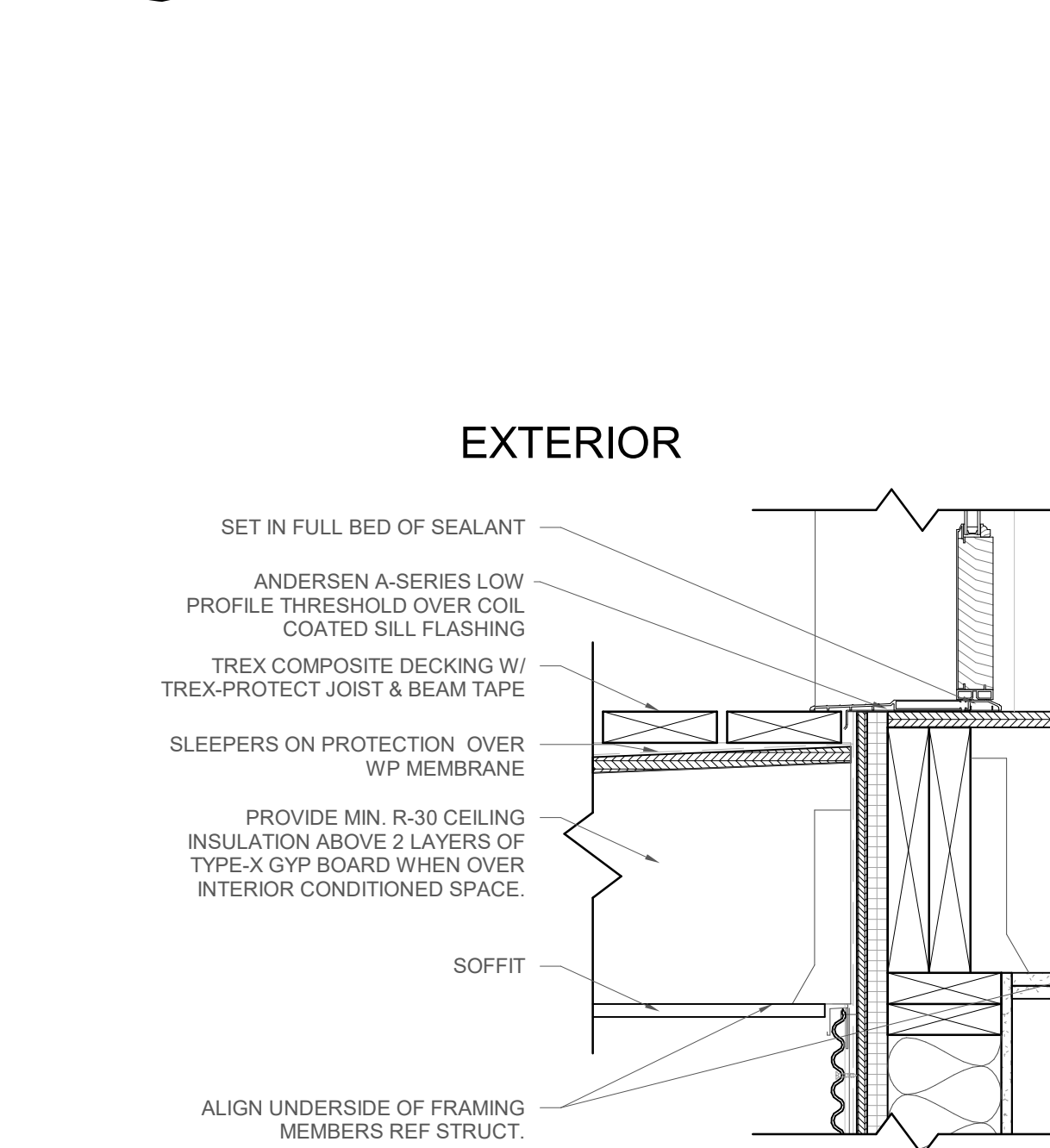
12 FLOOR TRANSITION
A5.1 1 1/2" = 1'-0"



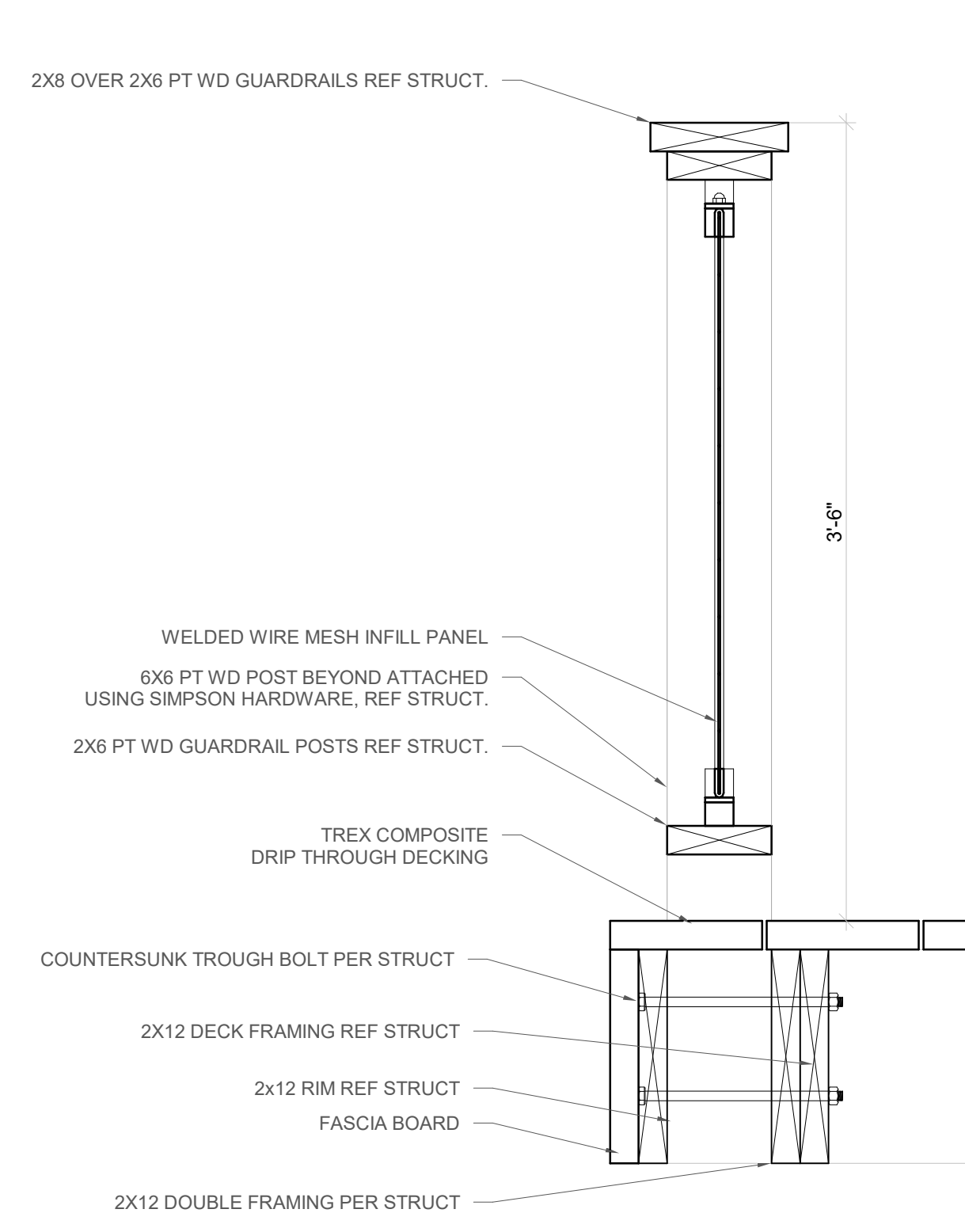
3 DRIP THROUGH DECK - PERP STRUC
A5.1 1 1/2" = 1'-0"



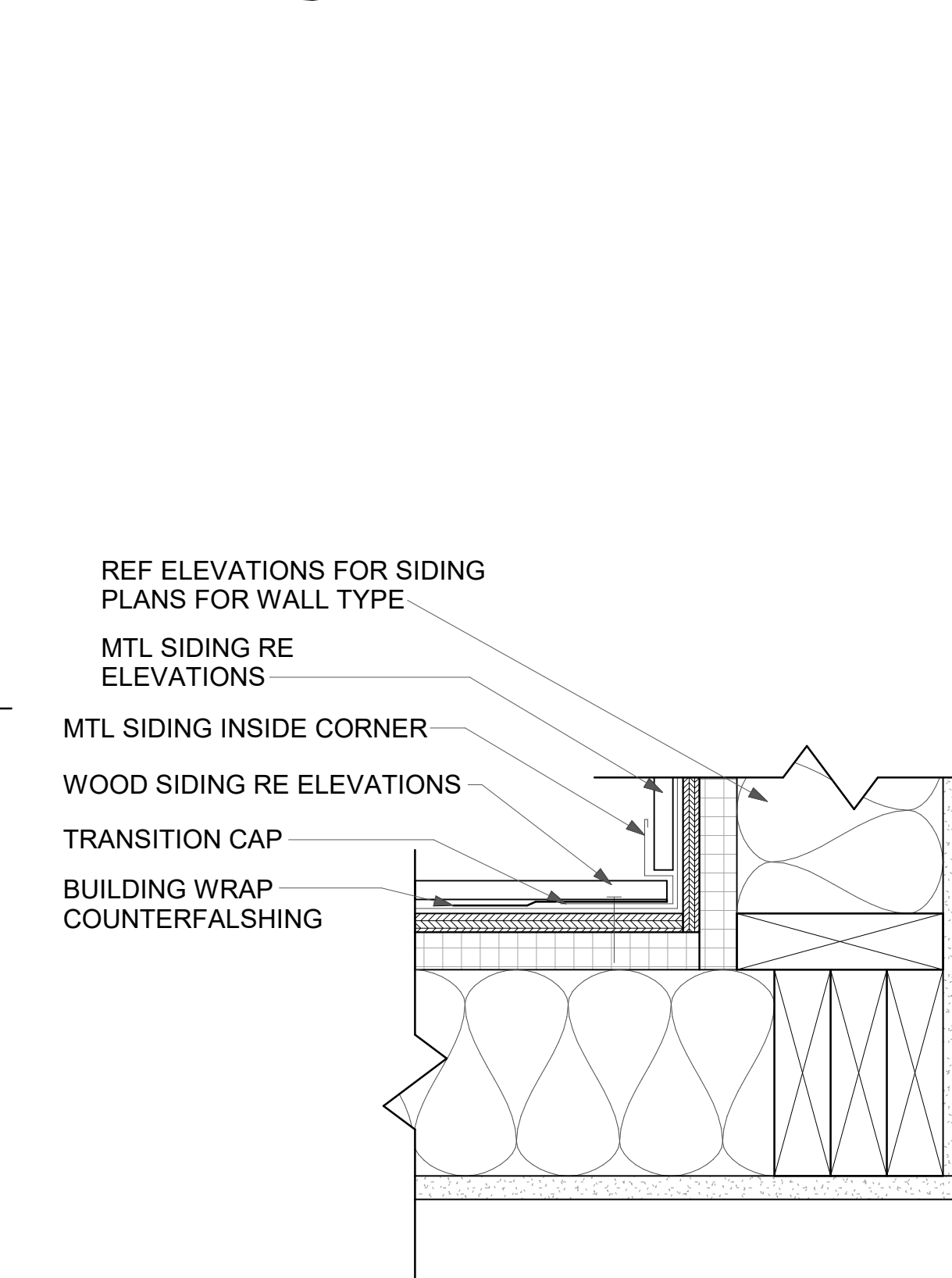
8 PLAN DETAIL - INSIDE TRIM
A5.1 3" = 1'-0"



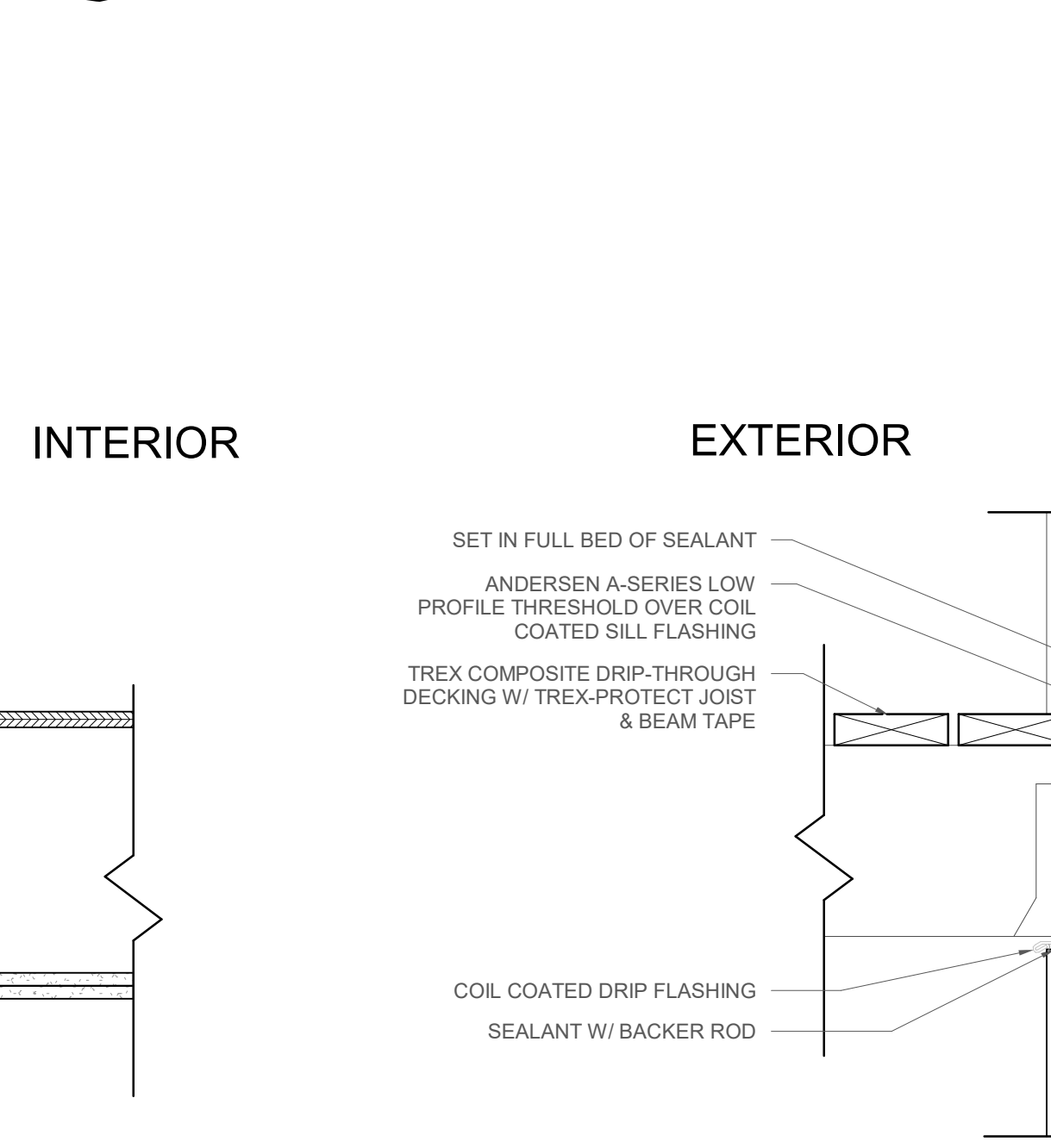
13 DOOR THRESHOLD @ WP DECK
A5.1 1 1/2" = 1'-0"



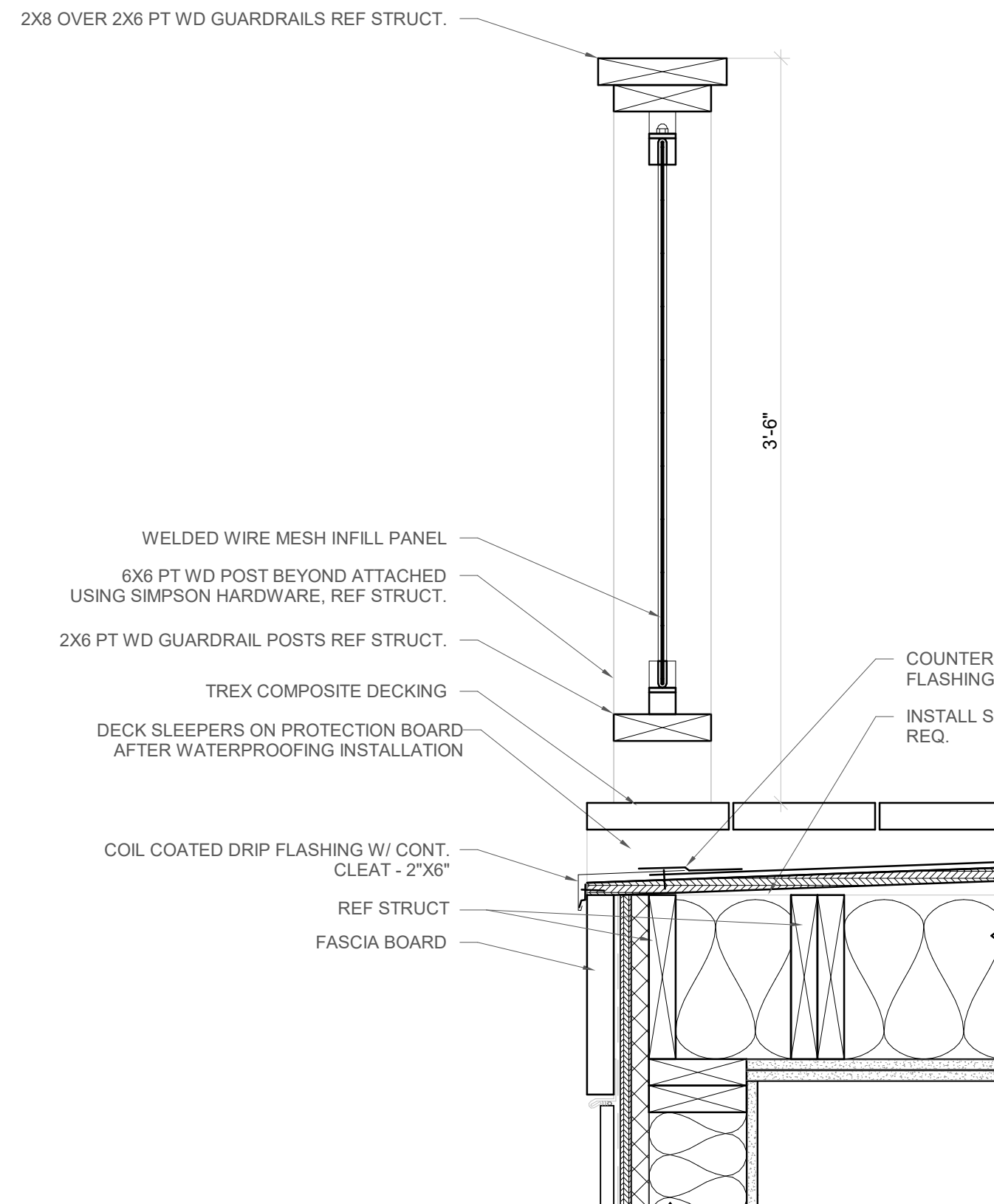
4 DRIP THROUGH DECK - PARA STRUC
A5.1 1 1/2" = 1'-0"



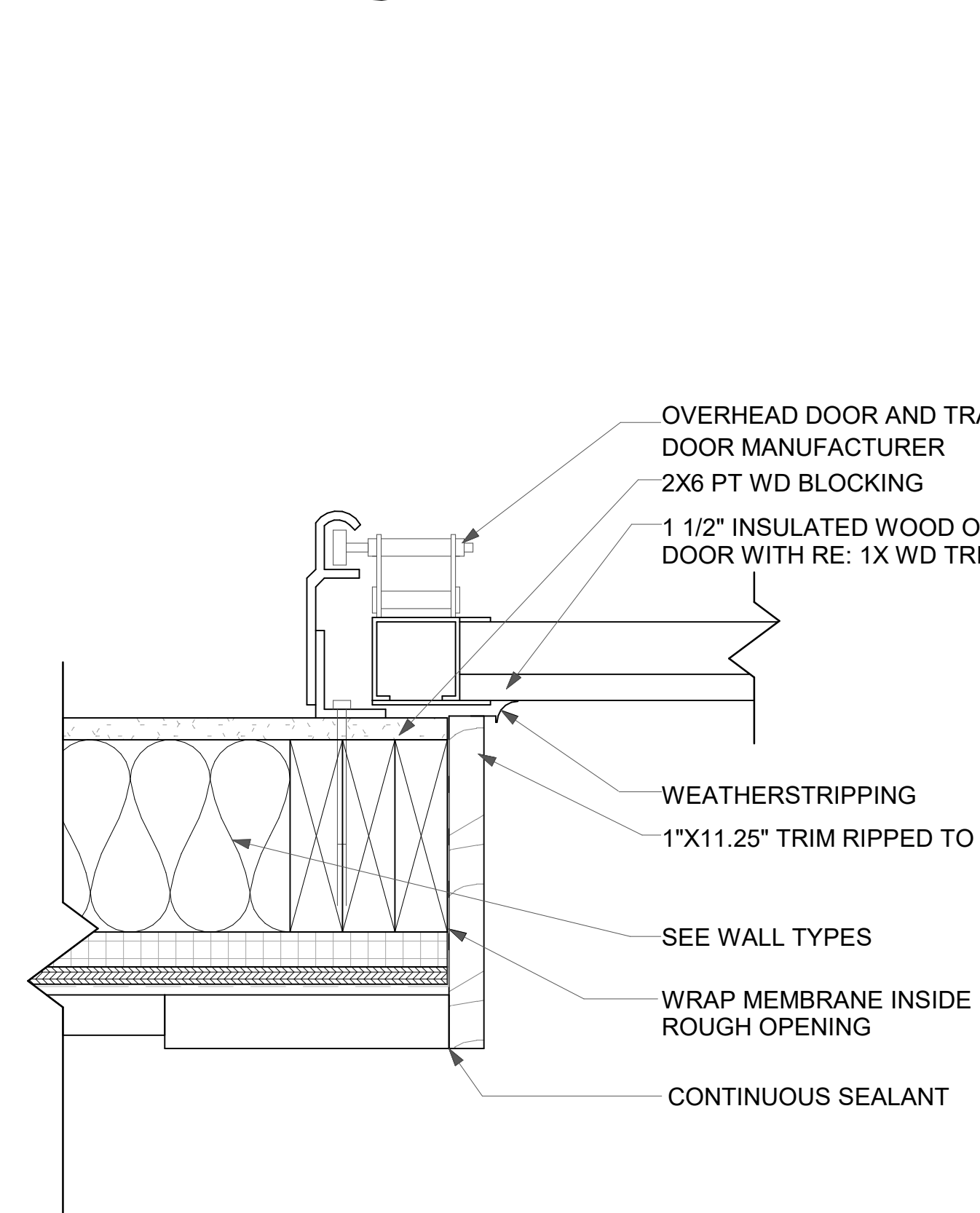
9 PLAN DETAIL - INSIDE TRIM MTL
A5.1 3" = 1'-0"



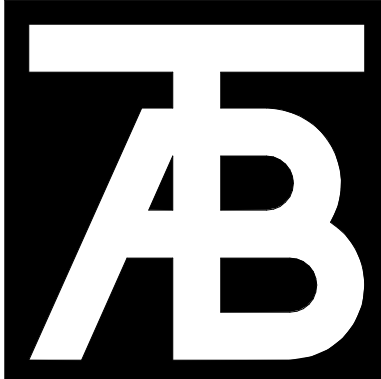
14 DOOR THRESHOLD @ DECK
A5.1 1 1/2" = 1'-0"



5 WATERPROOF DECK
A5.1 1 1/2" = 1'-0"



10 GARAGE DOOR JAMB
A5.1 3" = 1'-0"



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Seal

Belden Place-Single Family
Lot 01 - 0018 Abby Road
Minturn, Colorado

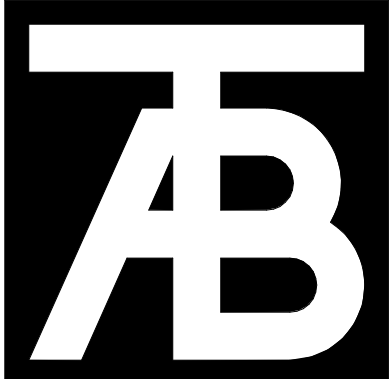
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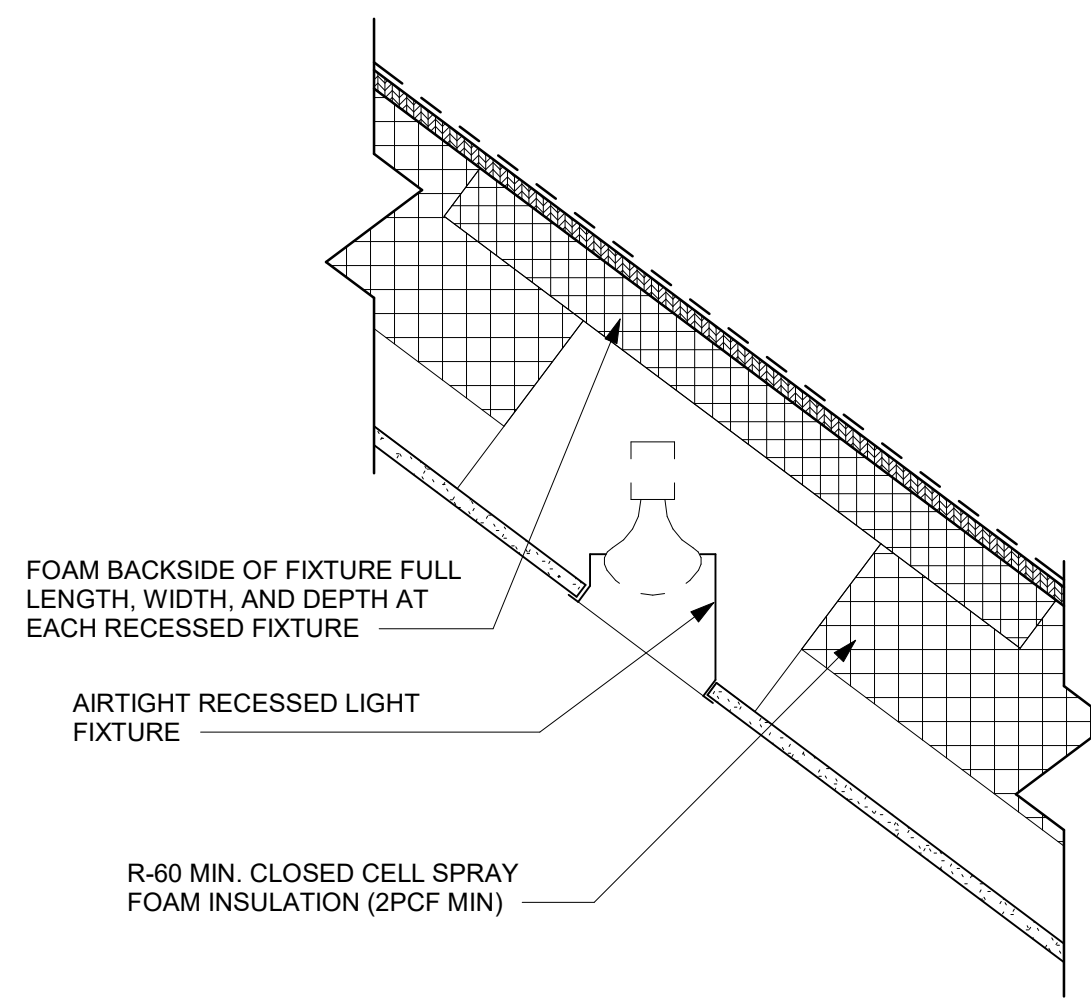
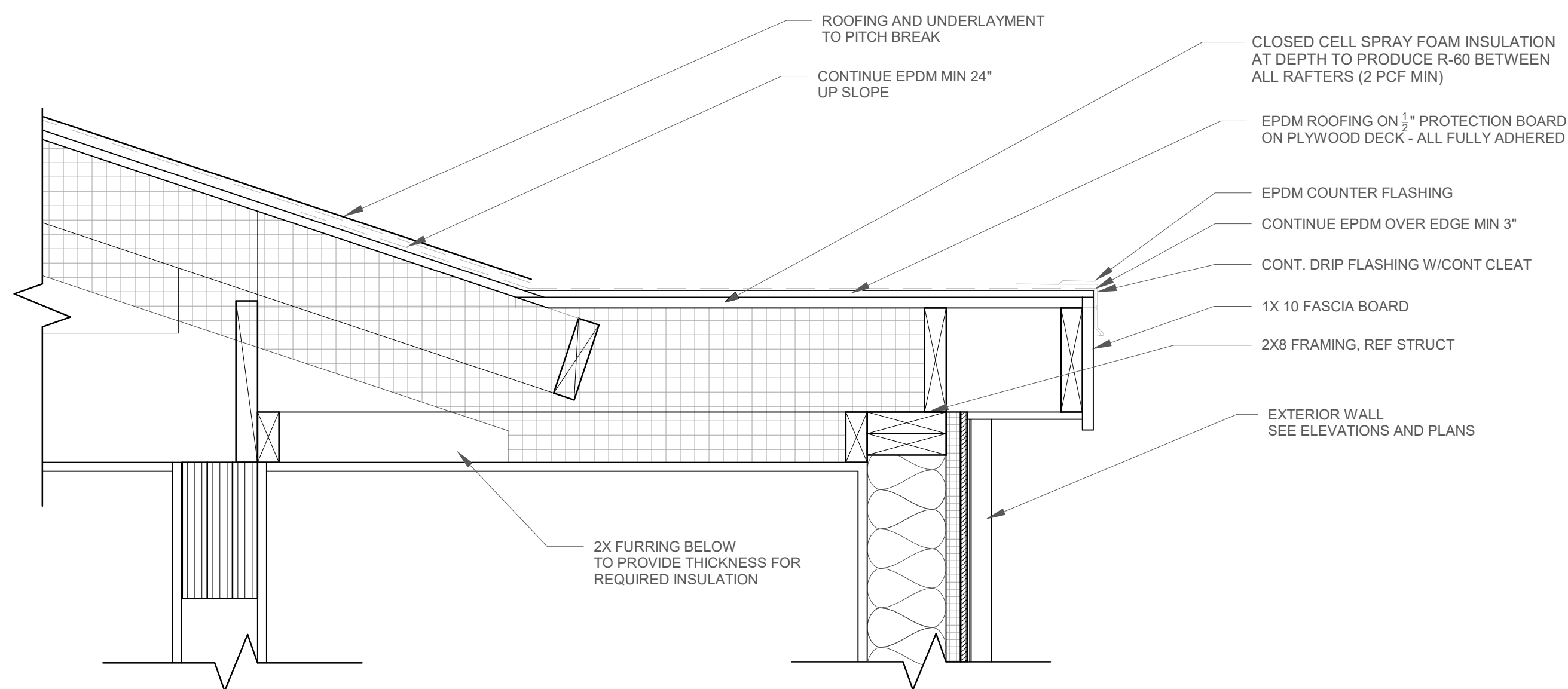
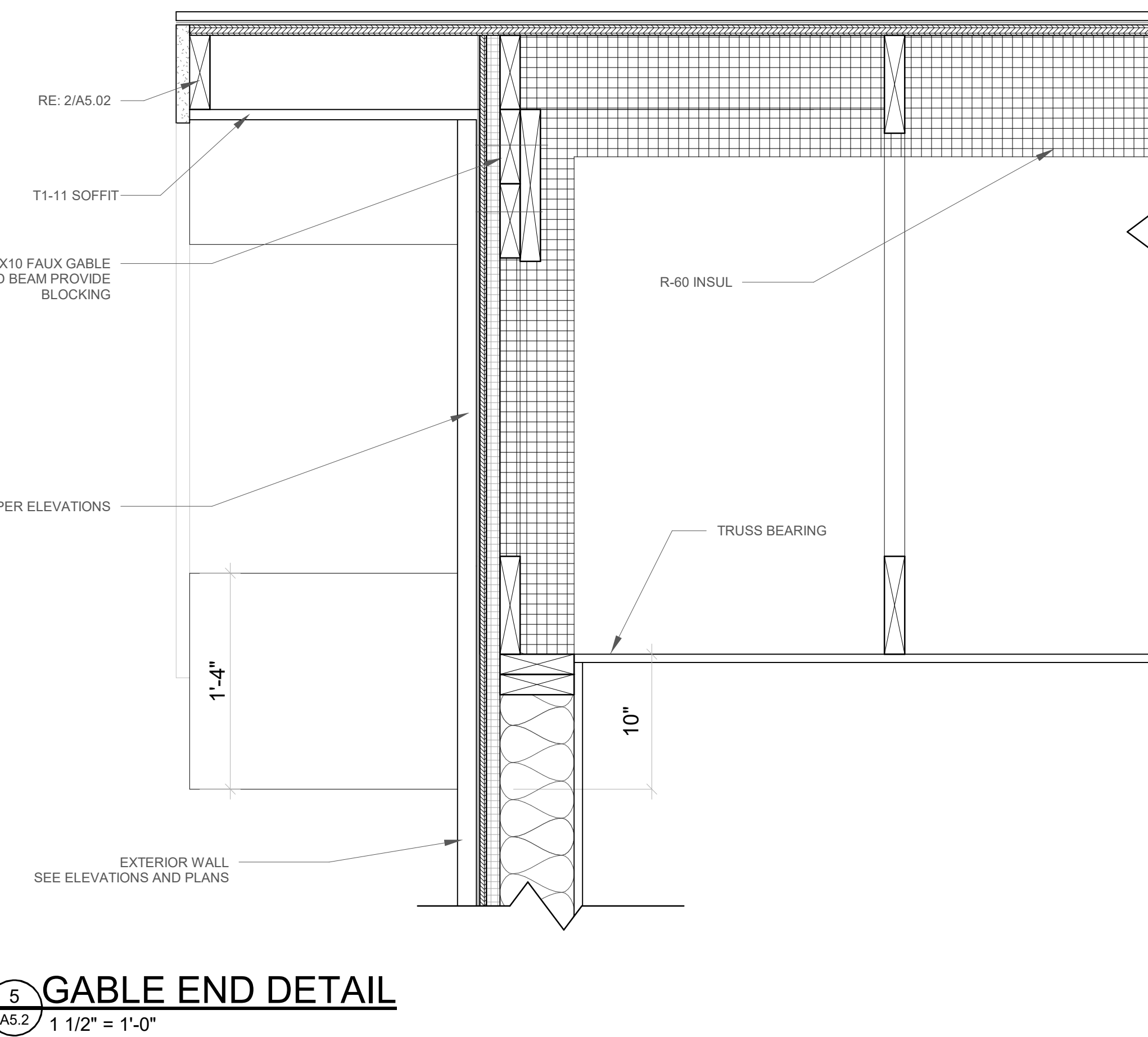
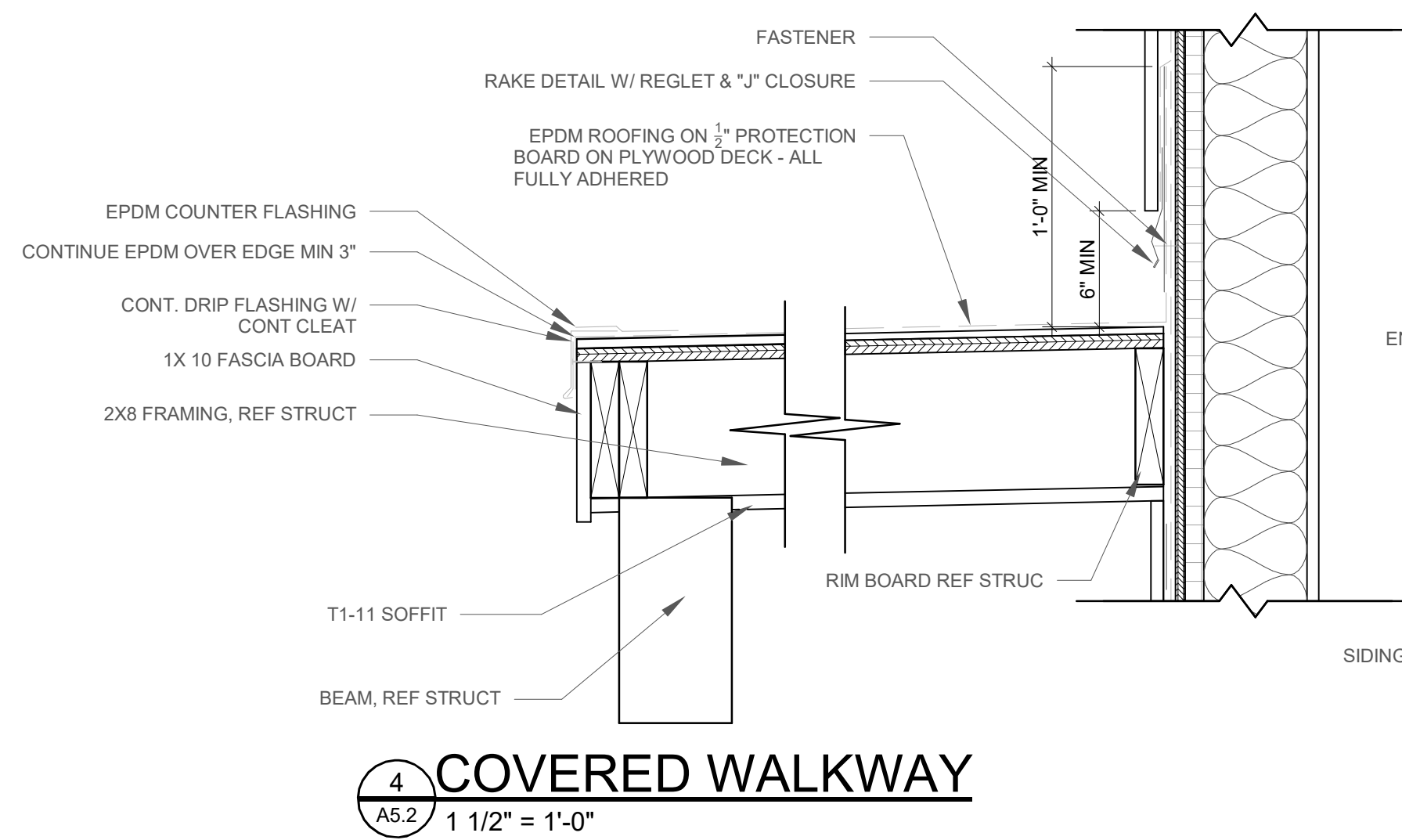
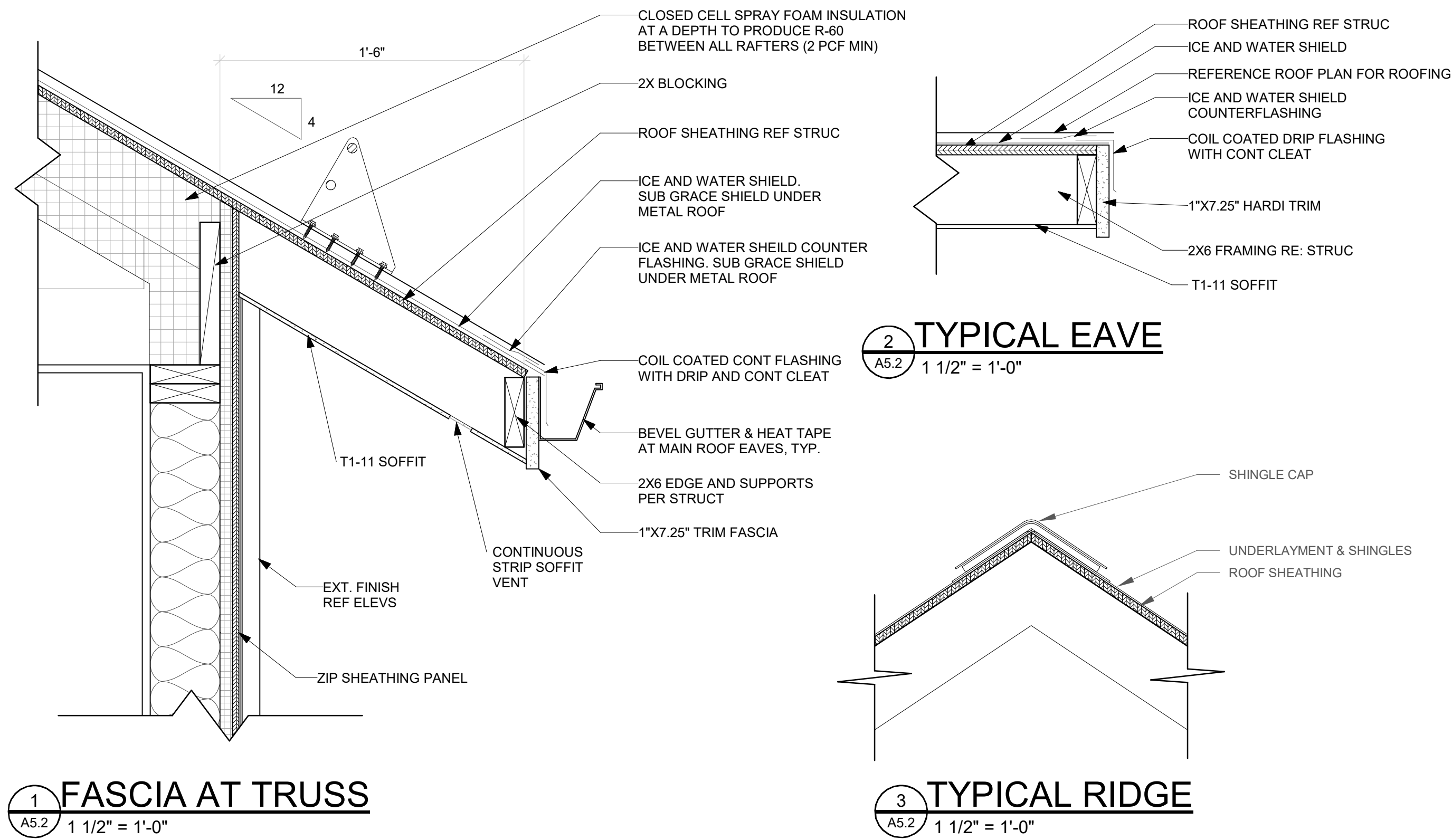
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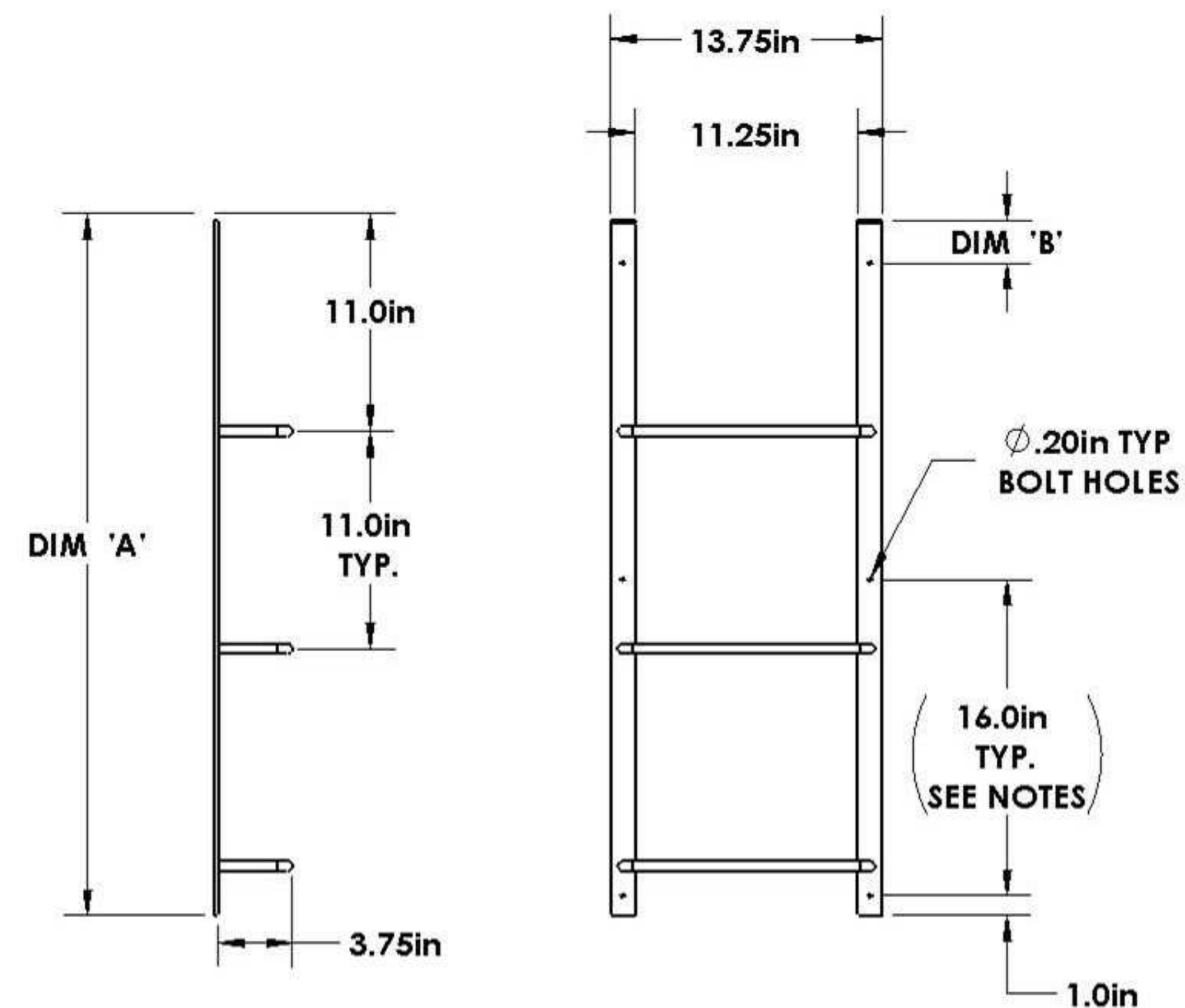
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WINDOW WELL SUPPLY™

STEEL EGRESS LADDER BOLT MOUNT



Ladder Size	Dim 'A' [in]	Dim 'B' [in]
3 Rung	35.0	2.0
4 Rung	46.0	1.0
5 Rung	57.0	8.0
6 Rung	68.0	3.0
7 Rung	79.0	1.0

Material: Powder-coated Steel

Rung Spacing: 11.0in

Hole Spacing: 16.0in, hole spacing may vary

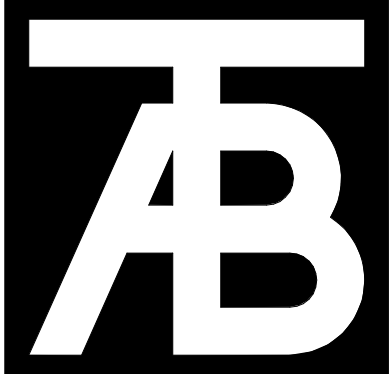
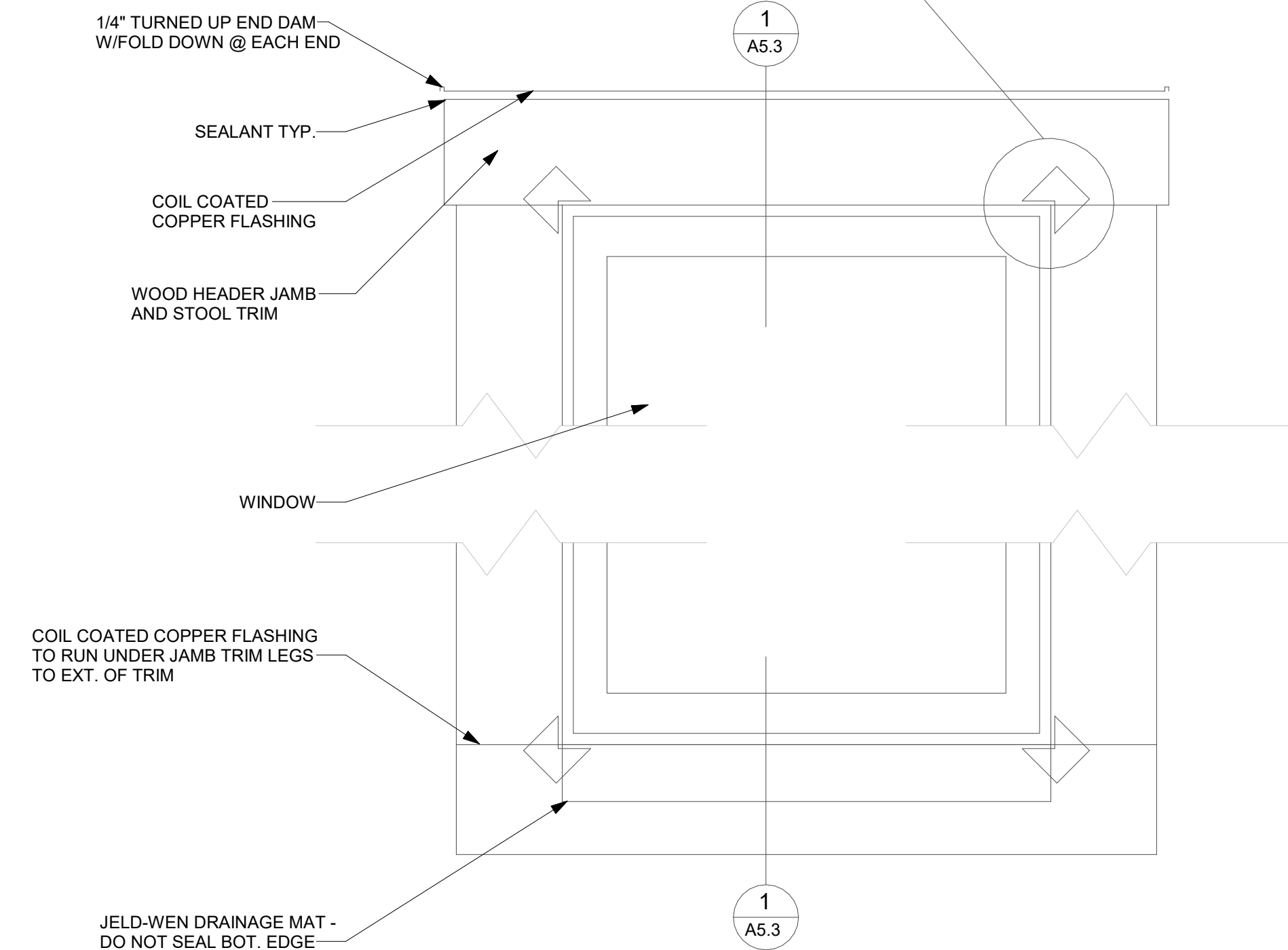
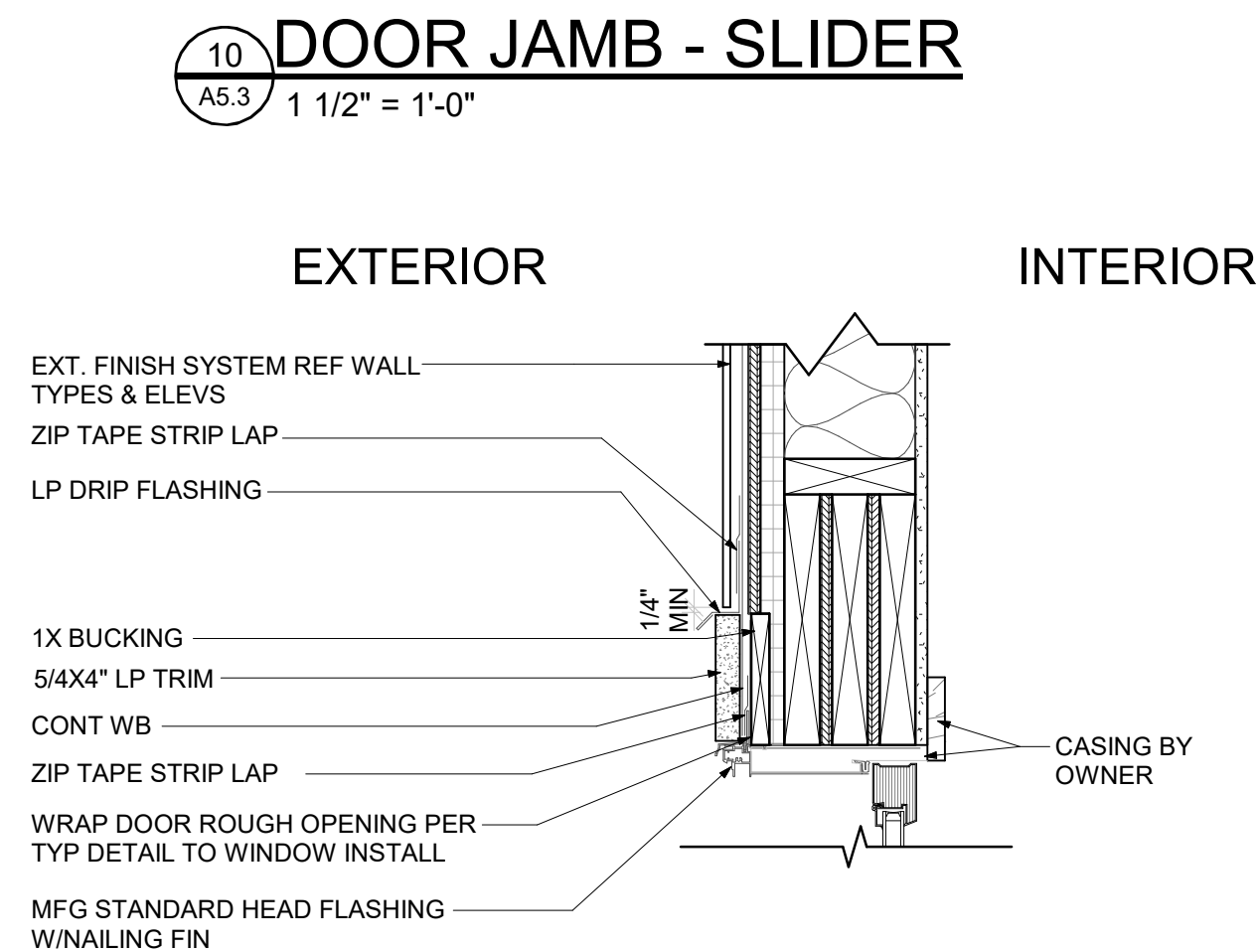
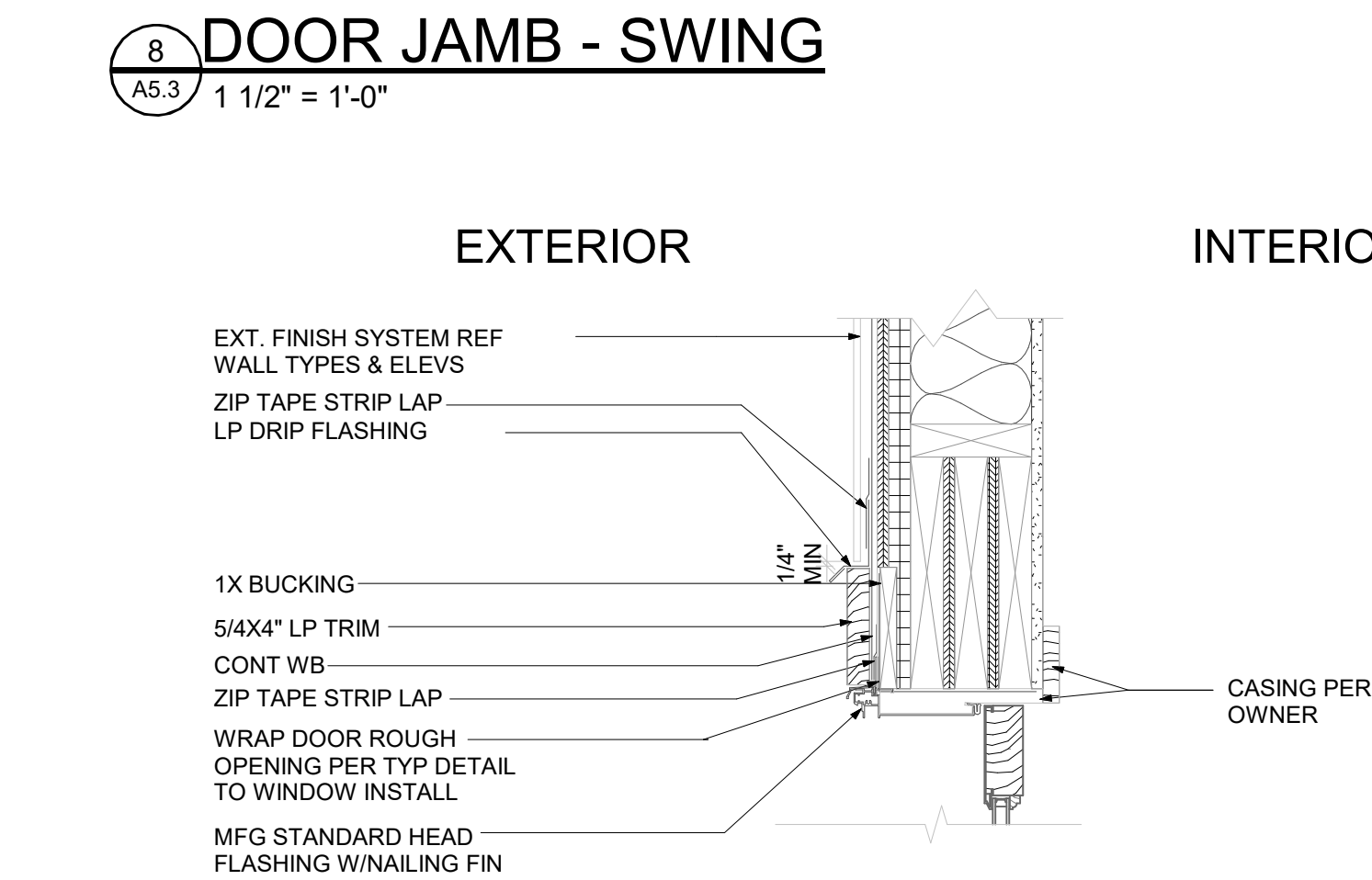
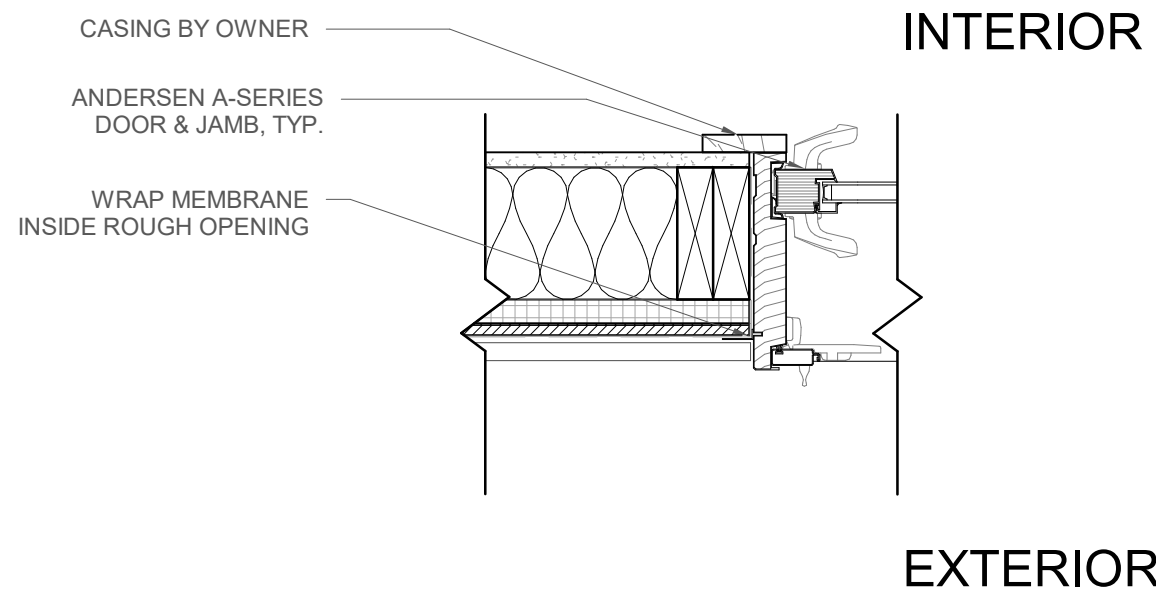
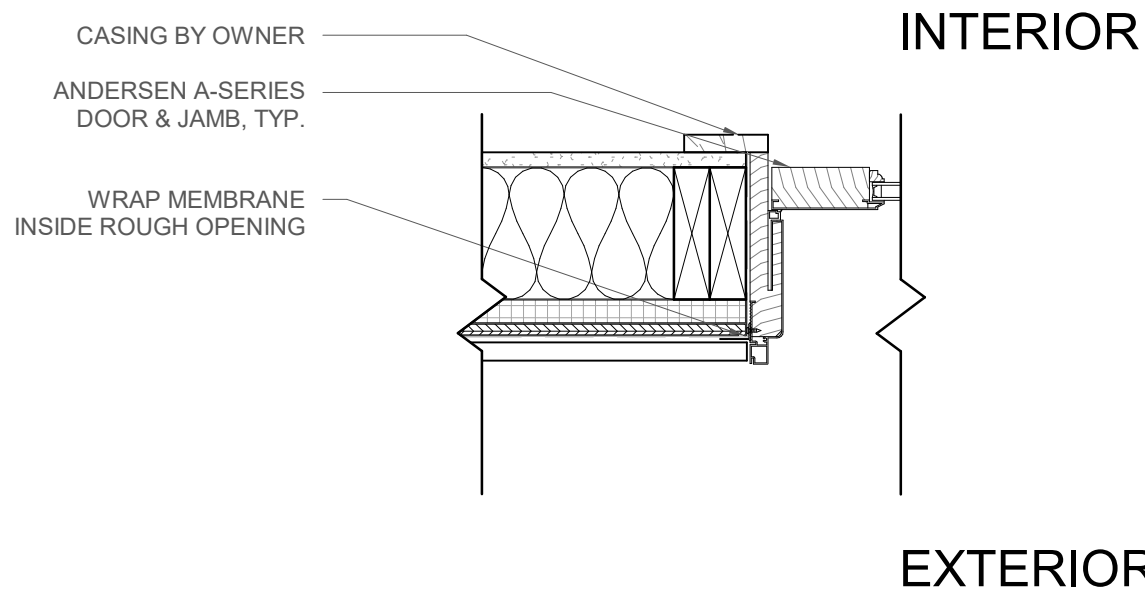
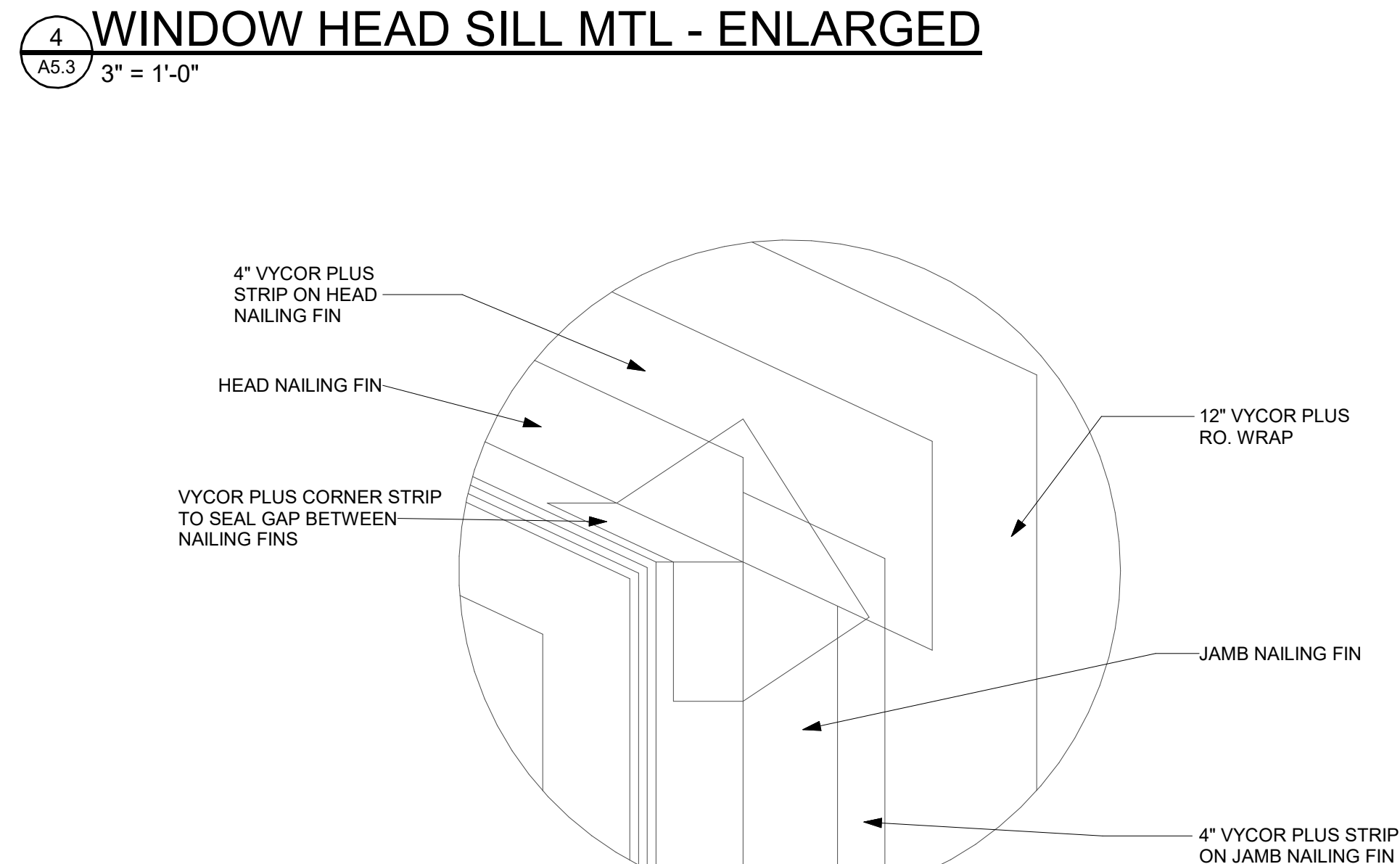
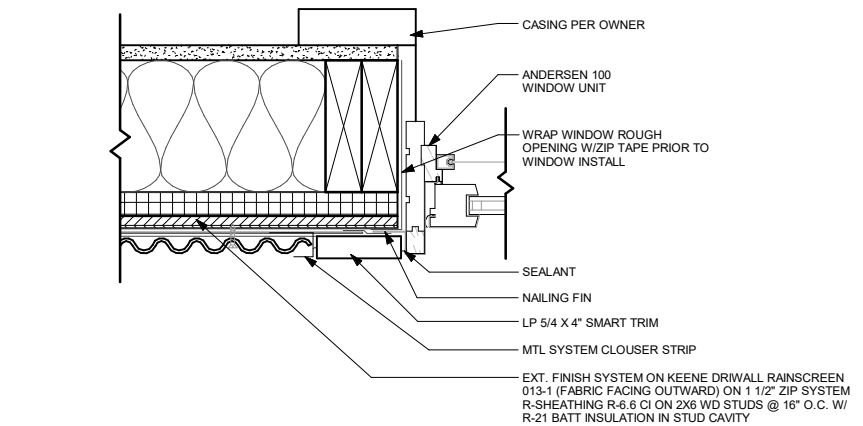
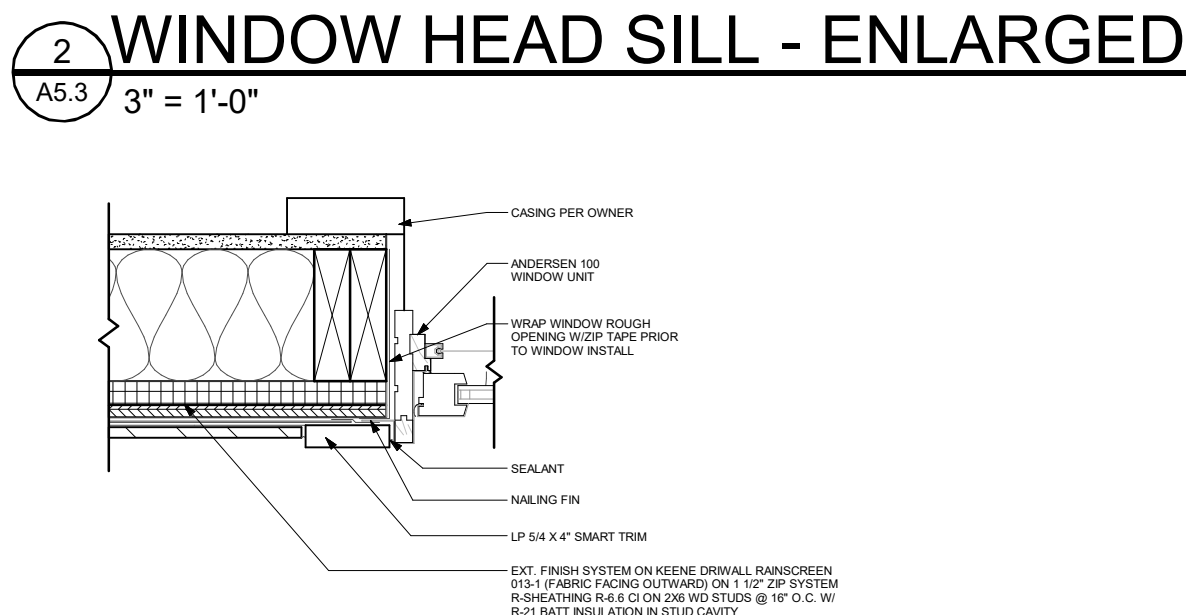
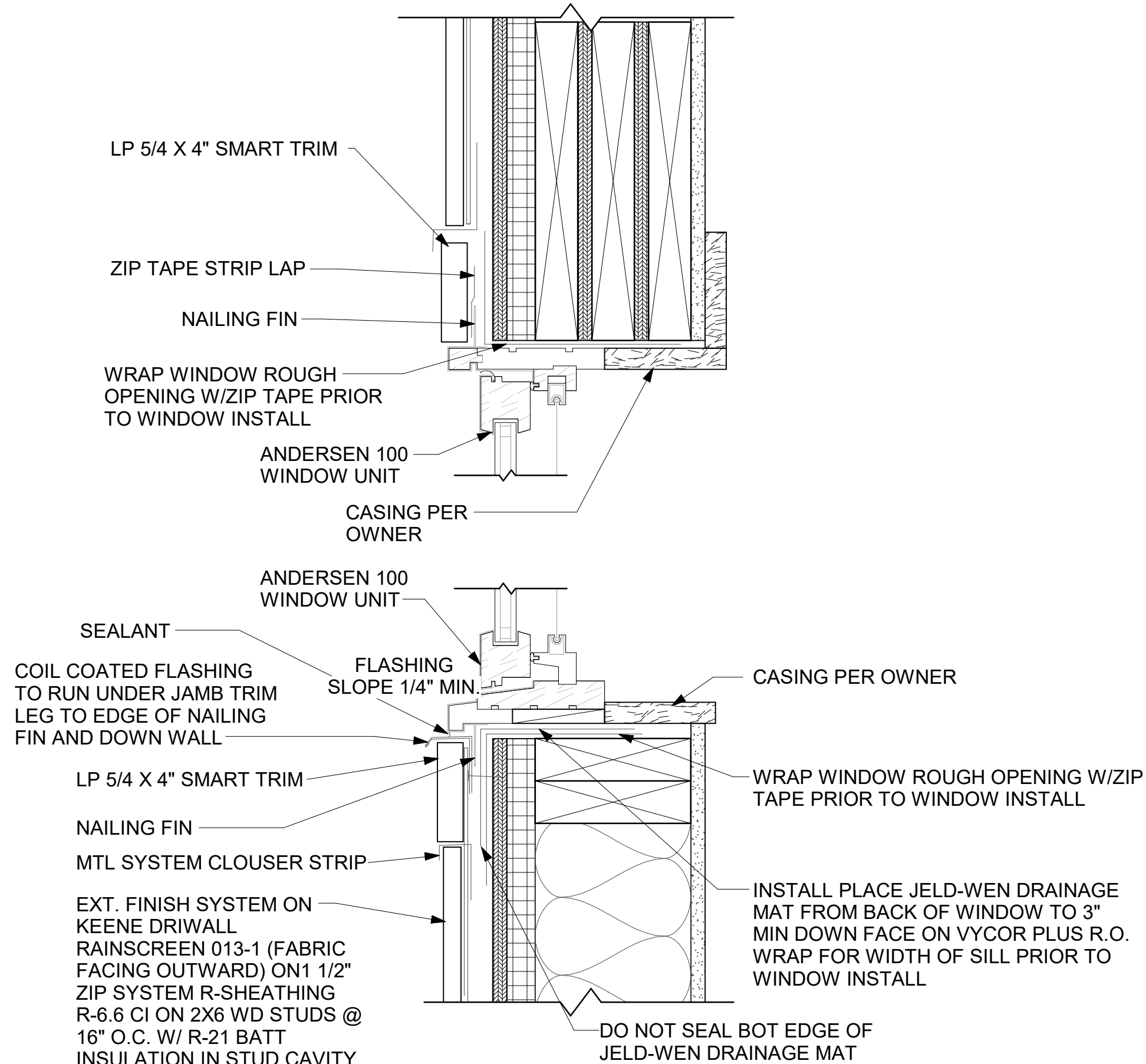
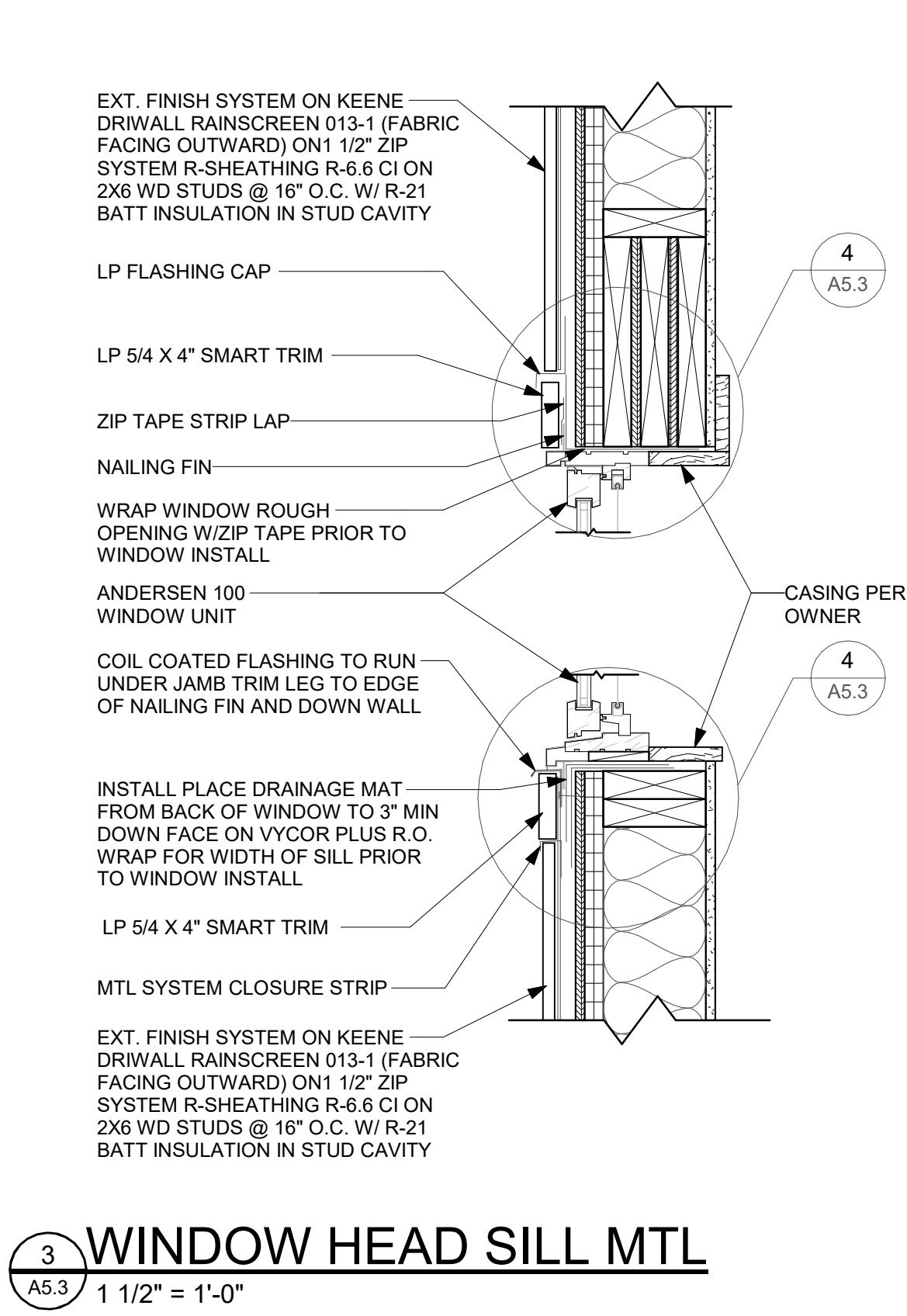
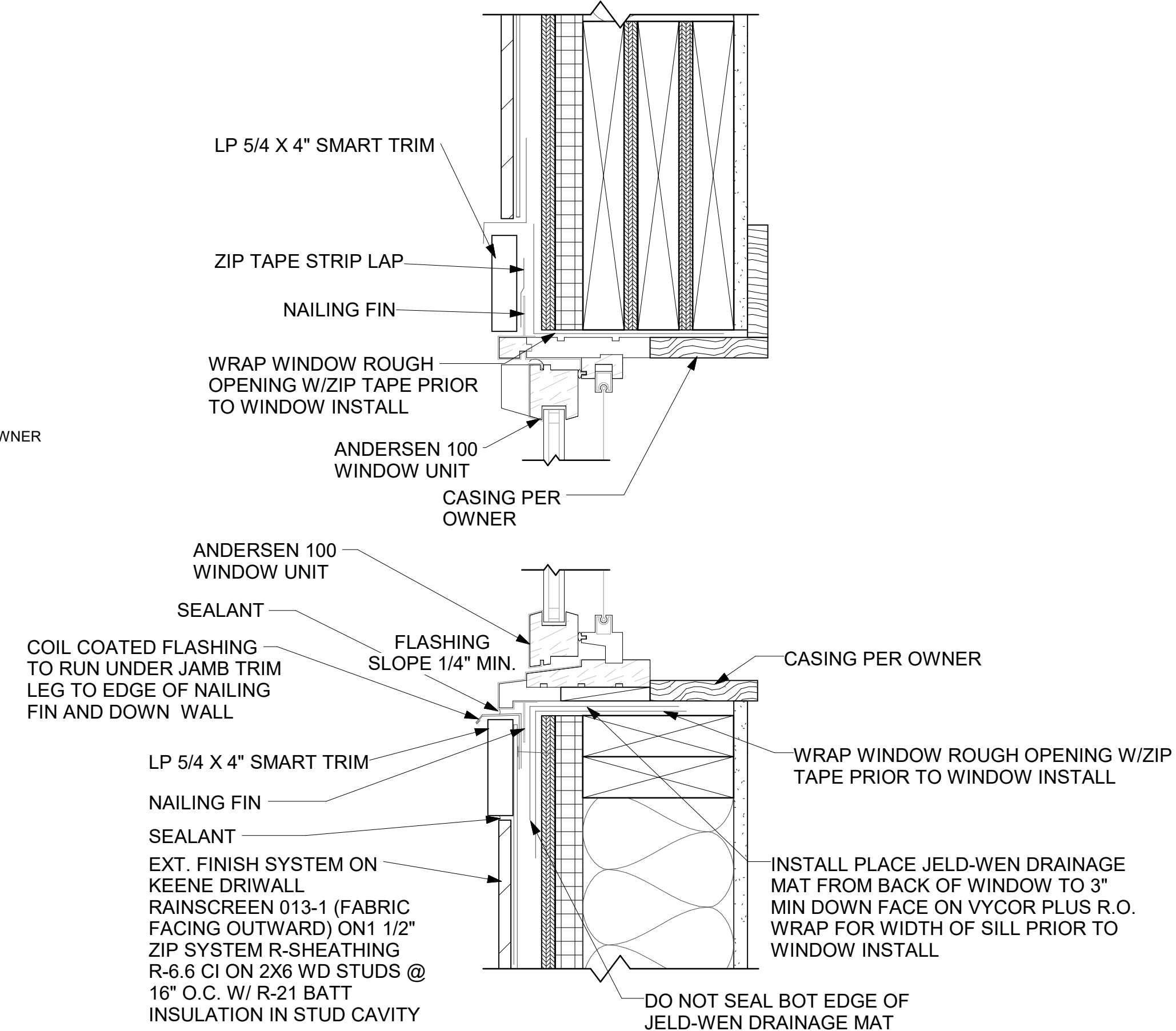
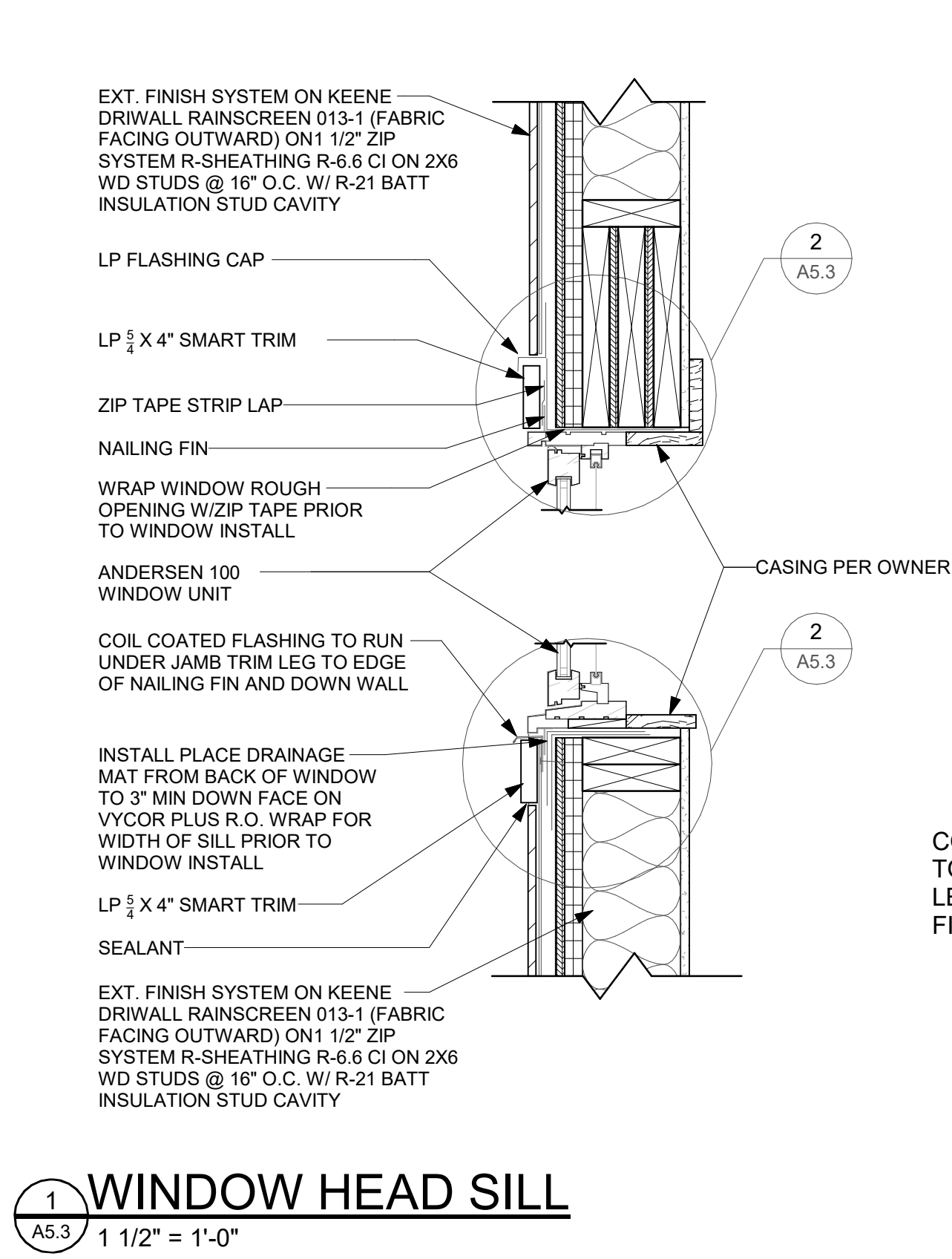
Hole Diameter: 0.20in

Screw Size*: #10 (3/16in)

8 EGRESS LADDER
A5.2 1/4" = 1'-0"

PERMANENTLY FIXED LADDER

REV A



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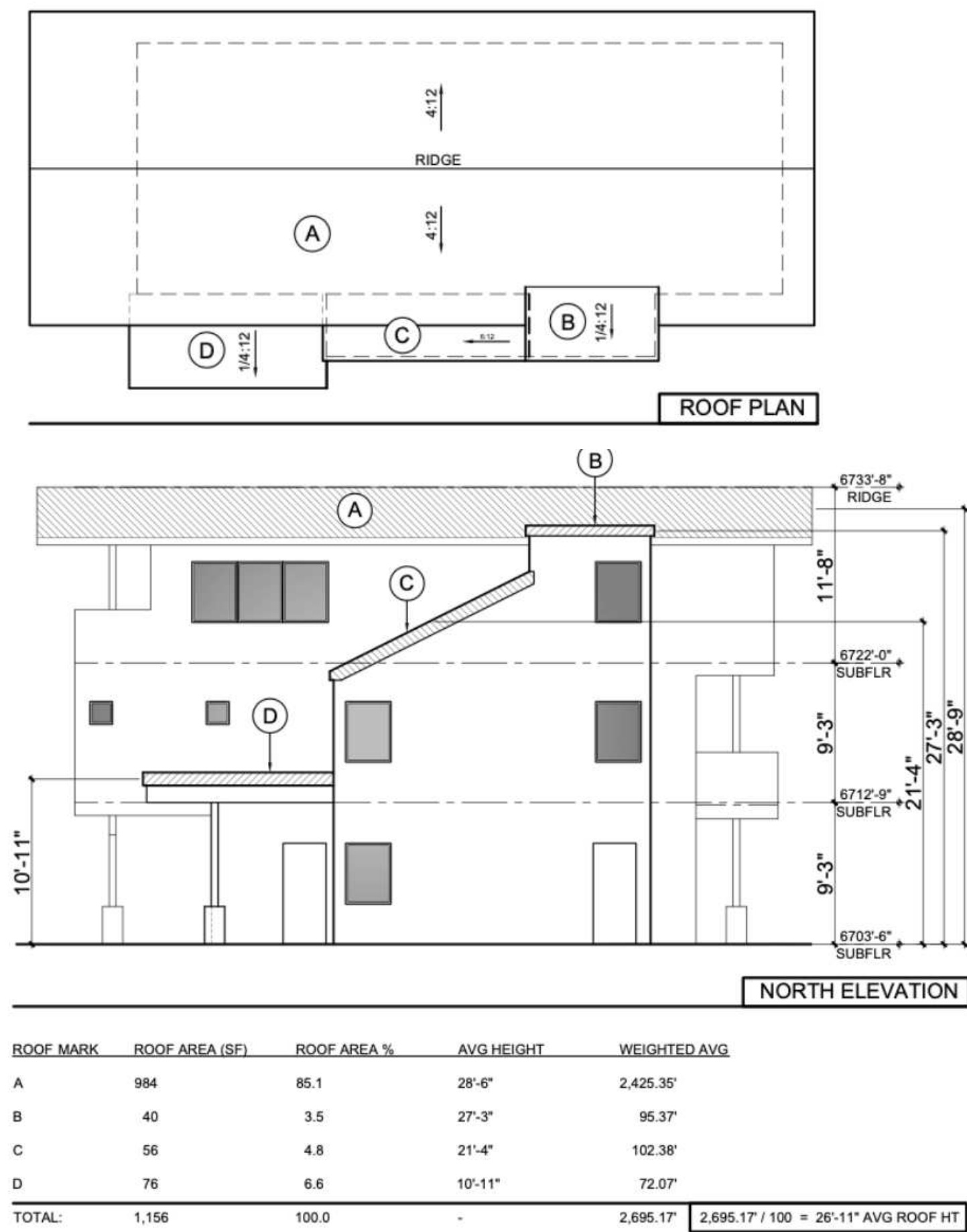
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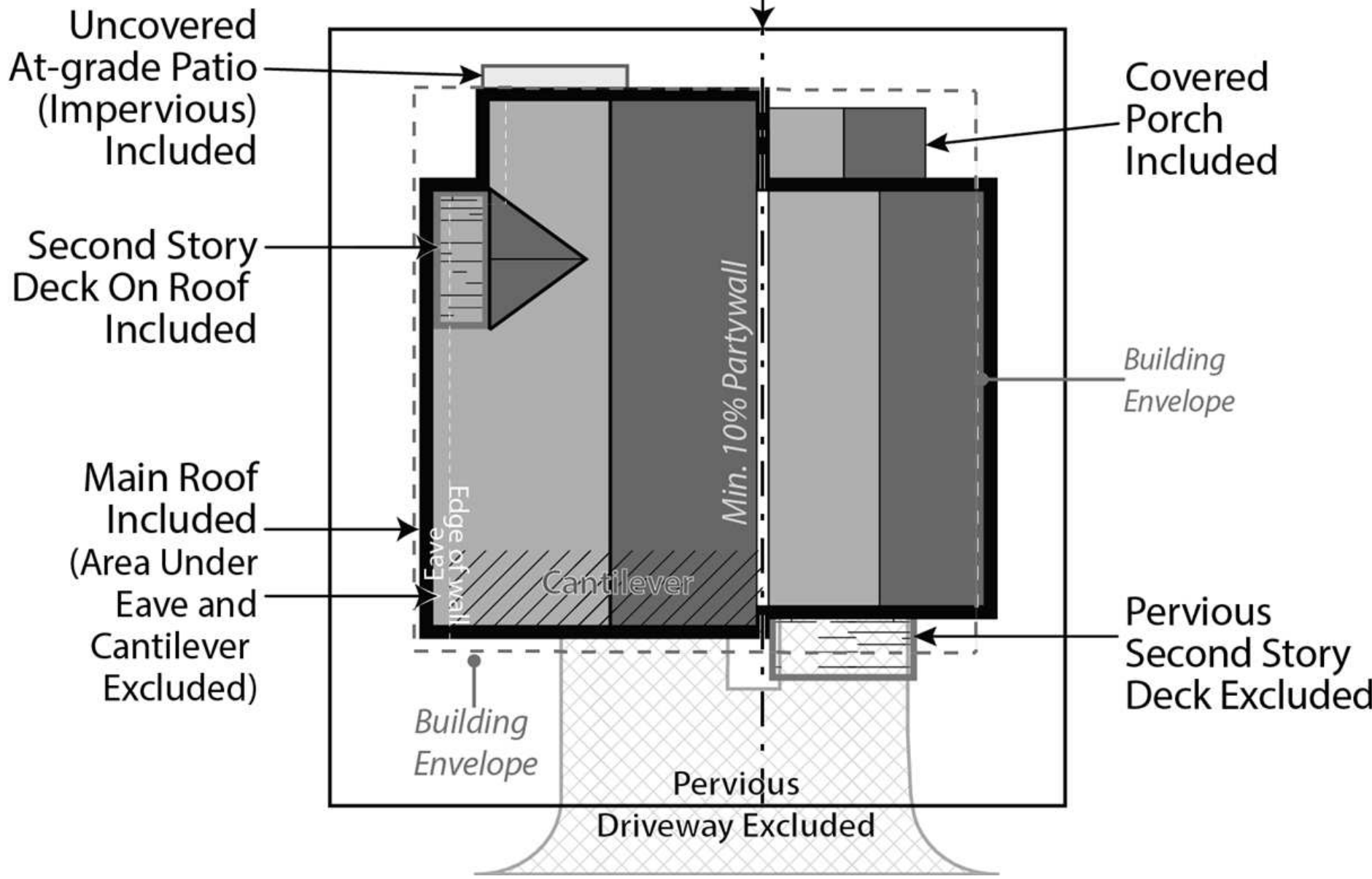
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BELDEN PLACE PUD GUIDE INFORMATION
The following is an abbreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches; patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- a. Style
- (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - i. Roof forms/lines and profiles
 - ii. Varied window and door styles
 - iii. Varied entry treatments and locations including porches, columns, etc.
 - iv. Two or three story homes
 - v. Second or third story decks or balconies
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- a. Style
- (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
 - (2) Units may be multi-stories.
 - (3) Units may be divided horizontally (townhomes) or vertically (flats).
 - (4) Second story decks or balconies permitted.
 - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

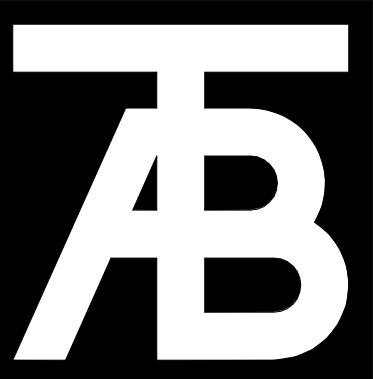
- a. Roofing materials are limited to the following:
- (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - (2) Standing seam metal.
 - (3) Asphalt shingles.
 - (4) Imitation (composite or similar); or, real slate tiles.
 - (5) Non-reflective solar tiles that mimic the above-mentioned products
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
- (1) Metal
 - (2) Wood
 - (3) Composite siding
 - (4) Fiber cement board (commonly known as "Hardie Board")
 - (5) Stucco.
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
 - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
- (1) Structures with multiple garage doors must always have identical, matching doors.
 - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

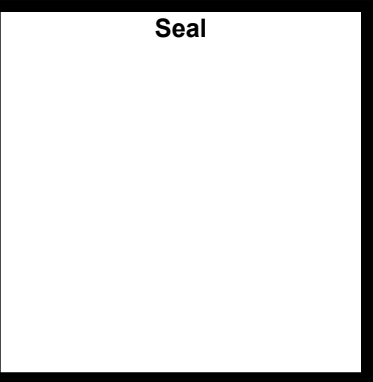
Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



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A0.2