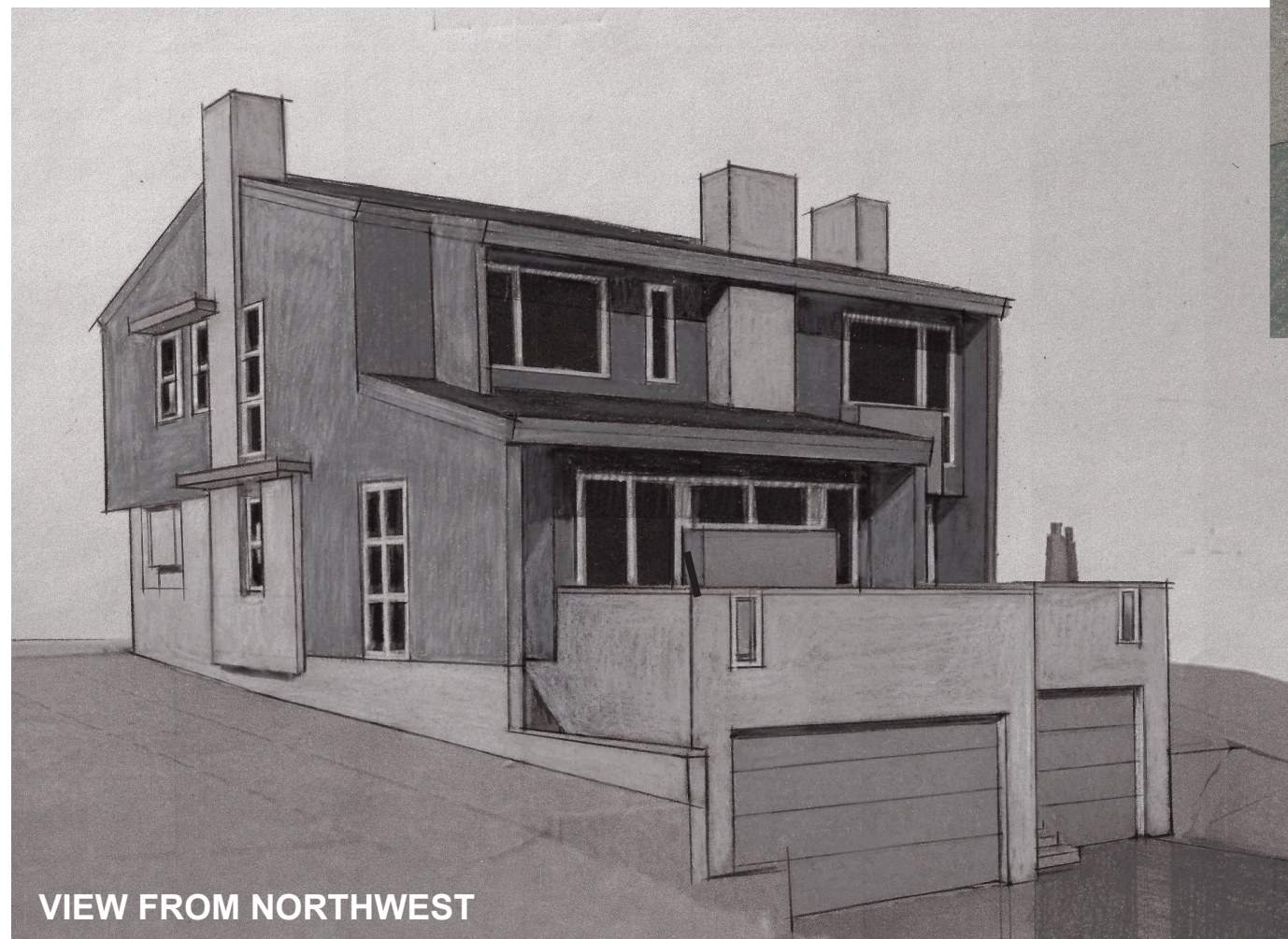


VIEW FROM NORTHEAST

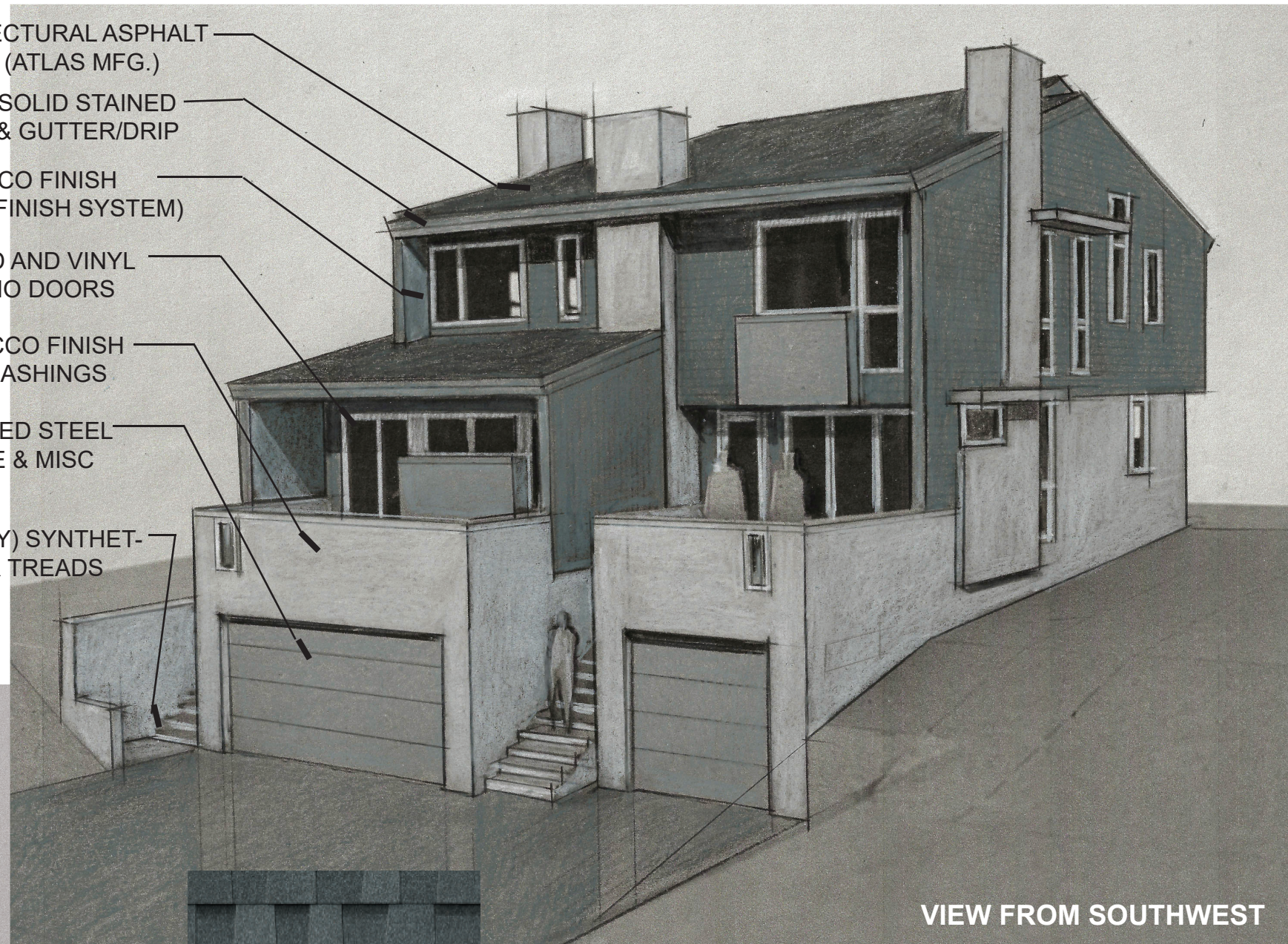
OPTIONAL RECESS FOR HEAT PUMP UNIT (T.B.D.)

THICKENED WALL AT CHASES FOR PLUMB/MECH VENTS (TYP.)

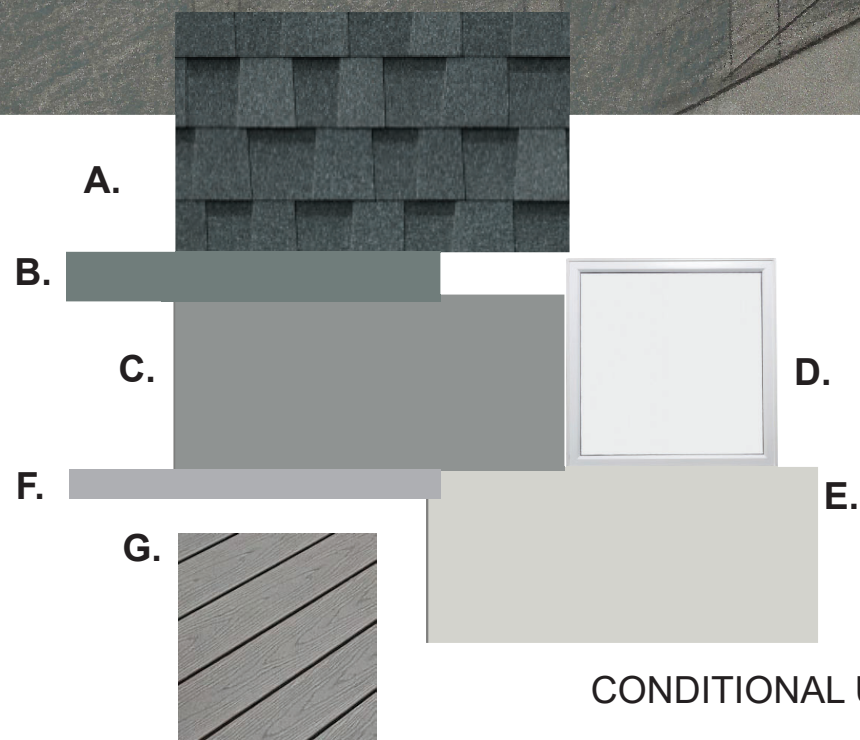


VIEW FROM NORTHWEST

- A. "PEWTER" ARCHITECTURAL ASPHALT SHINGLE ROOFING (ATLAS MFG.)
- B. "OLD TOWN GREY" SOLID STAINED 2X CEDAR FASCIA & GUTTER/D RIP
- C. "BURNT ASH" STUCCO FINISH (EXTERIOR INSUL. FINISH SYSTEM)
- D. "WHITE" ALUM CLAD AND VINYL WINDOWS AND PATIO DOORS
- E. "PEARL GRAY" STUCCO FINISH (E.I.F.S.) & METAL FLASHINGS
- F. "LIGHT GRAY" PAINTED STEEL INSULATED GARAGE & MISC METAL FLASHING
- G. "CLAM SHELL" (GREY) SYNTHETIC DECKING & STAIR TREADS



VIEW FROM SOUTHWEST



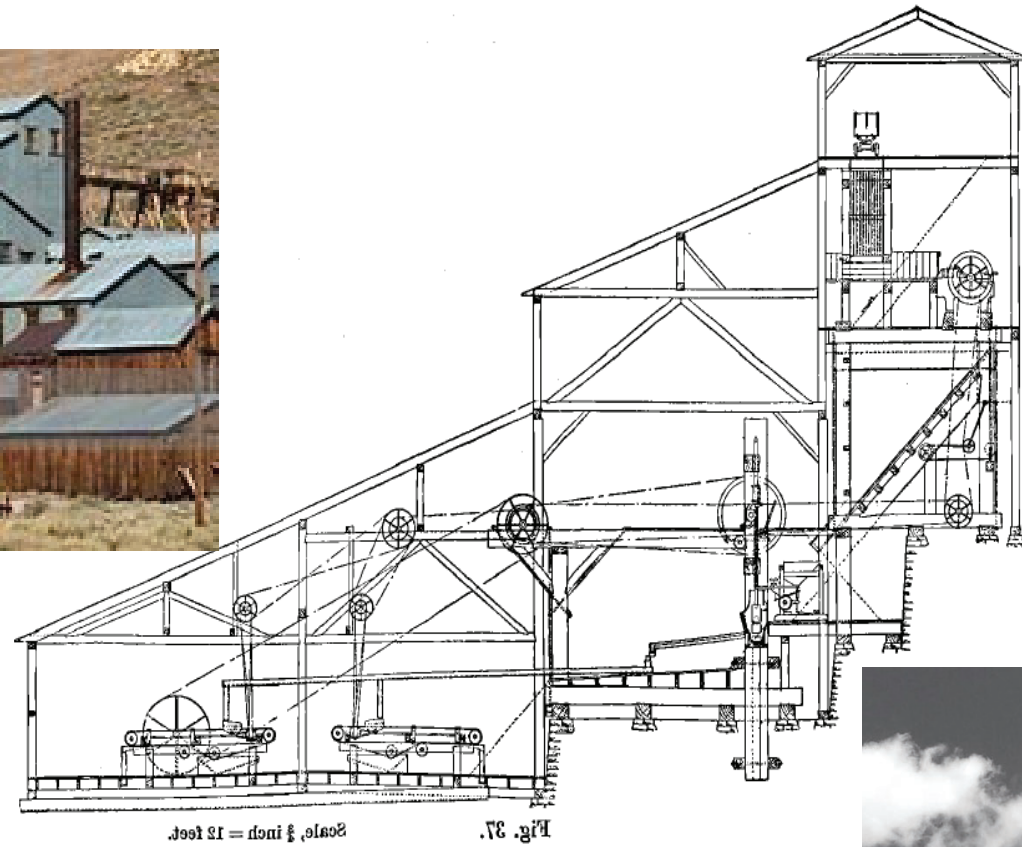
Karl Krueger / Architect

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 www.karlkruegerarchitect.com

CONDITIONAL USE & DESIGN REVIEW SUBMITTAL 11-30-2023

DUPLEX @ 362 TAYLOR AVE

EXTERIOR RENDERINGS & COLOR BOARD

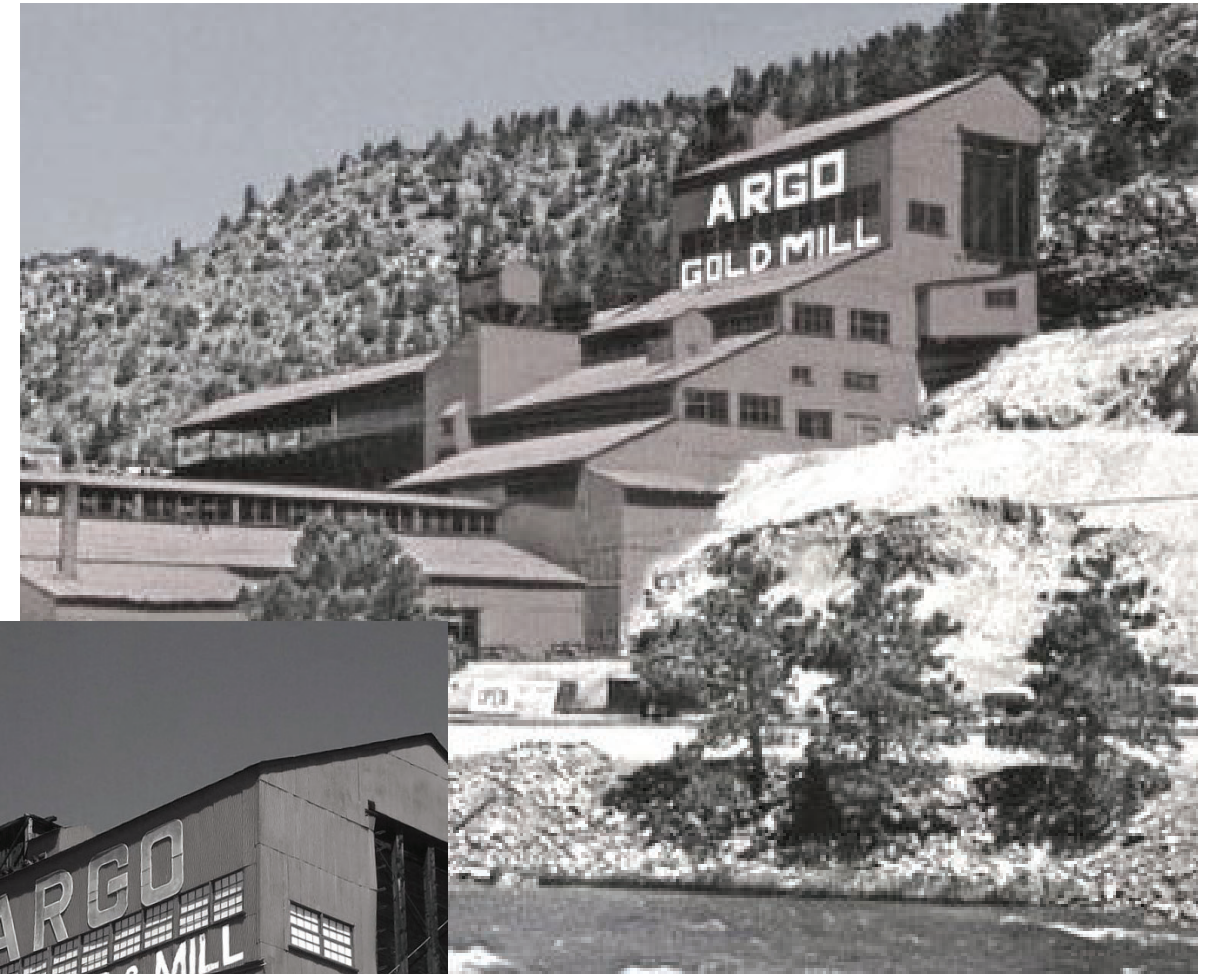


STAMP MILL BLDG. DIAGRAM

USING SHEDS, SALTBOX AND GABLE ROOFS TO COVER EQUIPMENT, THE WORKINGS OF THE STAMP MILL PROCEED FROM HIGH (WHERE THE ORE OFTEN NATURALLY CAME FROM) TO LOW IN A PROCESS OF CRUSHING AND REFINING ORE TO A POINT WHERE IT COULD BE LOADED ON RAIL CARS AT THE LOW POINT OF THE LANDSCAPE.

EAGLE MINE, GILMAN CO

IT APPEARS, PRIOR TO THE MILL BEING RELOCATED INSIDE A CAVERN CARVED INTO BATTLE MOUNTAIN, THE EAGLE MINE HAD SEVERAL BUILDINGS NEAR THE TRACKS THAT HOUSED A STAMP MILL WITH ITS CHARACTERISTIC CASCADING ROOFS.



ARGO GOLD MINE, IDAHO SPRINGS, CO

ROOFS CASCADE DOWN THE HILLSIDE TO HOUSE THE ORE STAMPING AND MILLING PROCESS THAT WAS DESIGNED TO WORK WITH GRAVITY AND THE SLOPED LANDSCAPE. THIS CREATED A DISTINCTIVE BUILDING FORM FOUND IN AREAS IN THE WESTERN UNITED STATES WHERE HARD ROCK MINING OCCURED. THE EAGLE MINE AT GILMAN WAS A HARD ROCK MINE THAT WAS HISTORICALLY SIGNIFICANT TO THE FOUNDING OF MINTURN AS A RAILROAD TOWN



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CONDITIONAL USE & DESIGN REVIEW SUBMITTAL 11-30-2023

DUPLEX @ 362 TAYLOR AVE

HISTORICAL PRECEDENT - MINING BUILDINGS

VIEW OF NORTH PROPERTY LINE AND WILLOW TREES BETWEEN EXISTING HOMES



EXISTING WILLOWS OWNED BY NEIGHBOR MAY BE REMOVED BY NEIGHBOR (T.B.D.)

PROPERTY LINE AT EDGE OF TIMBER

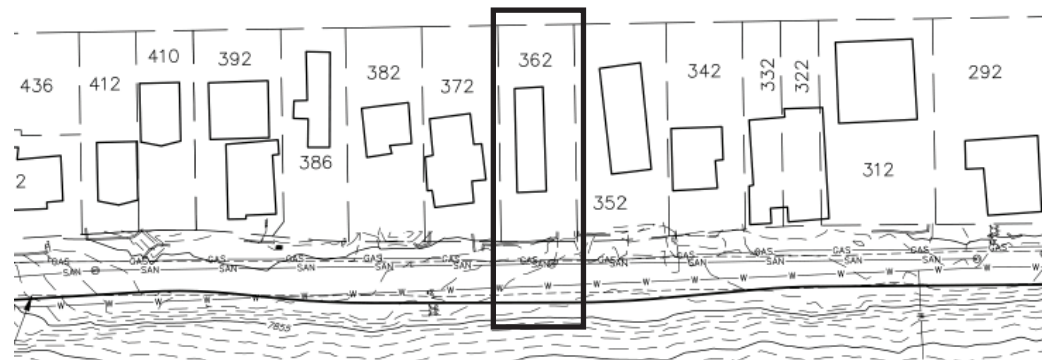
TIMBER CRIBBING AND FRONT LAWN PROPOSED TO BE COMPLETELY REMOVED DOWN TO STREET LEVEL

EXISTING RETAINING WALL IN MINTURN R.O.W. IN FRONT OF NEIGHBORS PROPERTY

PARKING ALREADY EXCAVATED ON NEIGHBORING PROPERTY

PROPERTY LINE (EXTENDED INTO R.O.W. FOR ILLUSTRATION)

AREA OF EXCESS GRADE BETWEEN EXISTING PARKING AT STREET LEVEL AT NEIGHBORS PROPERTY AND PROPOSED NEW PARKING AT STREET LEVEL OF 362 TAYLOR . THIS WILL LIKLY BE REMOVED BY NEIGHBOR WHEN REDEVELOPMENT OF NEIGHBORING PROPERTY OCCURS BECAUSE THIS REMOVAL WOULD LIKLY BE REQUIRED TO ACCOMPLISH SNOW STORAGE, REMOVE WALL FROM MINTURN R.O.W., ELIMINATE UN-NEEDED RETAINING WALLS AND FACILITATE CONSTRUCTION ACCESS.....SHOULD THIS HAPPEN ROCK RETAINING WALLS SHOWN ON PROPOSED UNIT A 362 TAYLOR MAY OR MAY NOT BE REQUIRED (T.B.D.)



VICINITY MAP



VIEW OF 362 TAYLOR:TRAILER ON PERMANENT FOUNDATION AND CRIBBING RETAINING WALLS TO BE REMOVED



EXISTING WILLOW TREES ON NORTH PROPERTY LINE- TREE TRUNKS ARE ALMOST EXCLUSIVLY ON NEIGHBORING PROPERTY. CHAIN-LINK FENCE IS 18 " SOUTH OF PROERTY LINE



VIEW OF EXISTING DRIVEWAY DOWN TO TAYLOR AVENUE WITH VIEWS OF MEADOW MOUNTAIN BEYOND

CONDITIONAL USE & DESIGN REVIEW SUBMITTAL 11-30-2023

DUPLEX @ 362 TAYLOR AVE

EXISTING BUILDING & SITE

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"KARL FOERSTER" ORNAMENTAL GRASS



BOULDER RETAINING WALL (MAY VARY-BOULDERS FROM EXCAVATION OF SITE TO BE USED)

6X6 TREATED TIMBER STAIR AND 2'-0" GARDEN RETAINING WALL

"ARCTIC FIRE" RED TWIG DOGWOOD (MED SHRUB)



"QUAKING ASPEN" AND "NEWPORT PLUM" DECIDUOUS TREES



"RUSSIAN SAGE" (SMALL SHRUB)



"BISHOPS WEED" GROUND COVER

"HIGH MOUNTAIN SEED MIX" NATIVE GRASS



"BUFFALO GRASS" (OR LOW WATER ALTERNATIVE TURF MIXTURE OF FESCUE, BLUEGRASS, RYE)



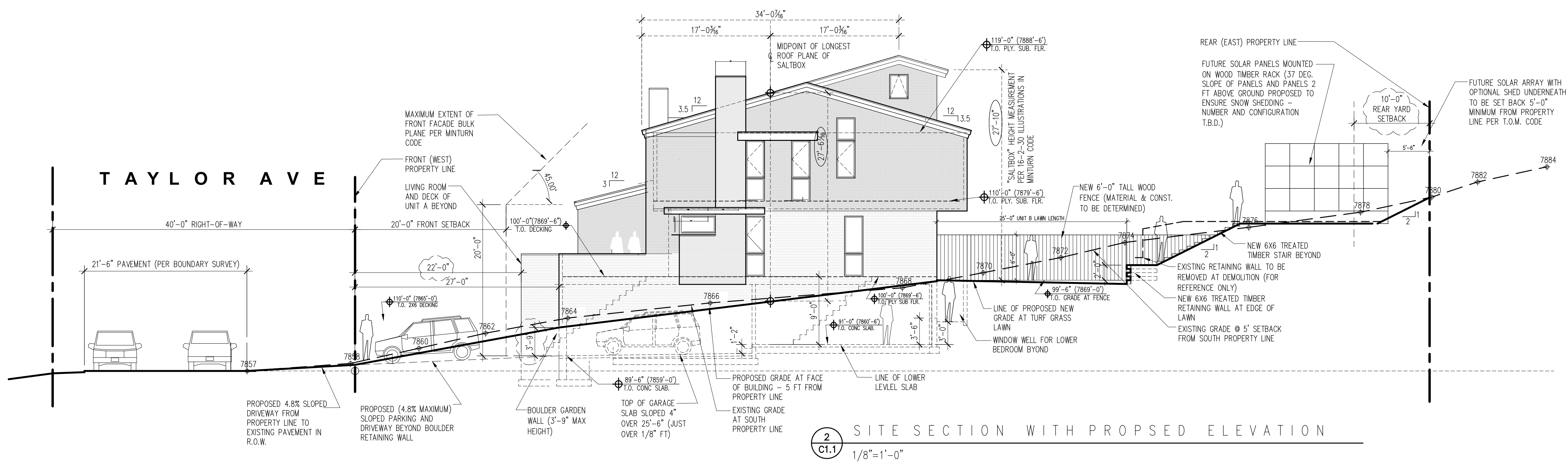
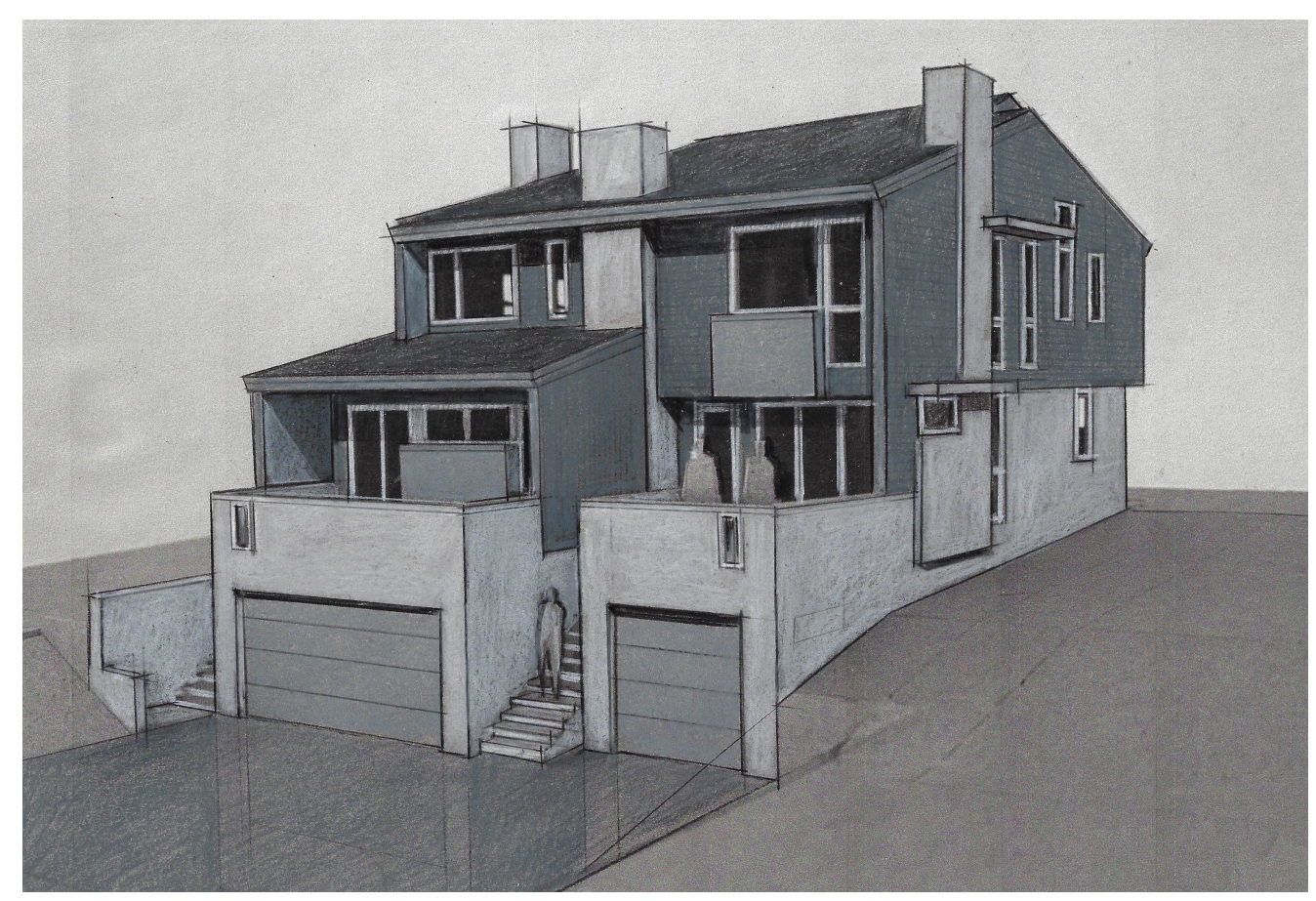
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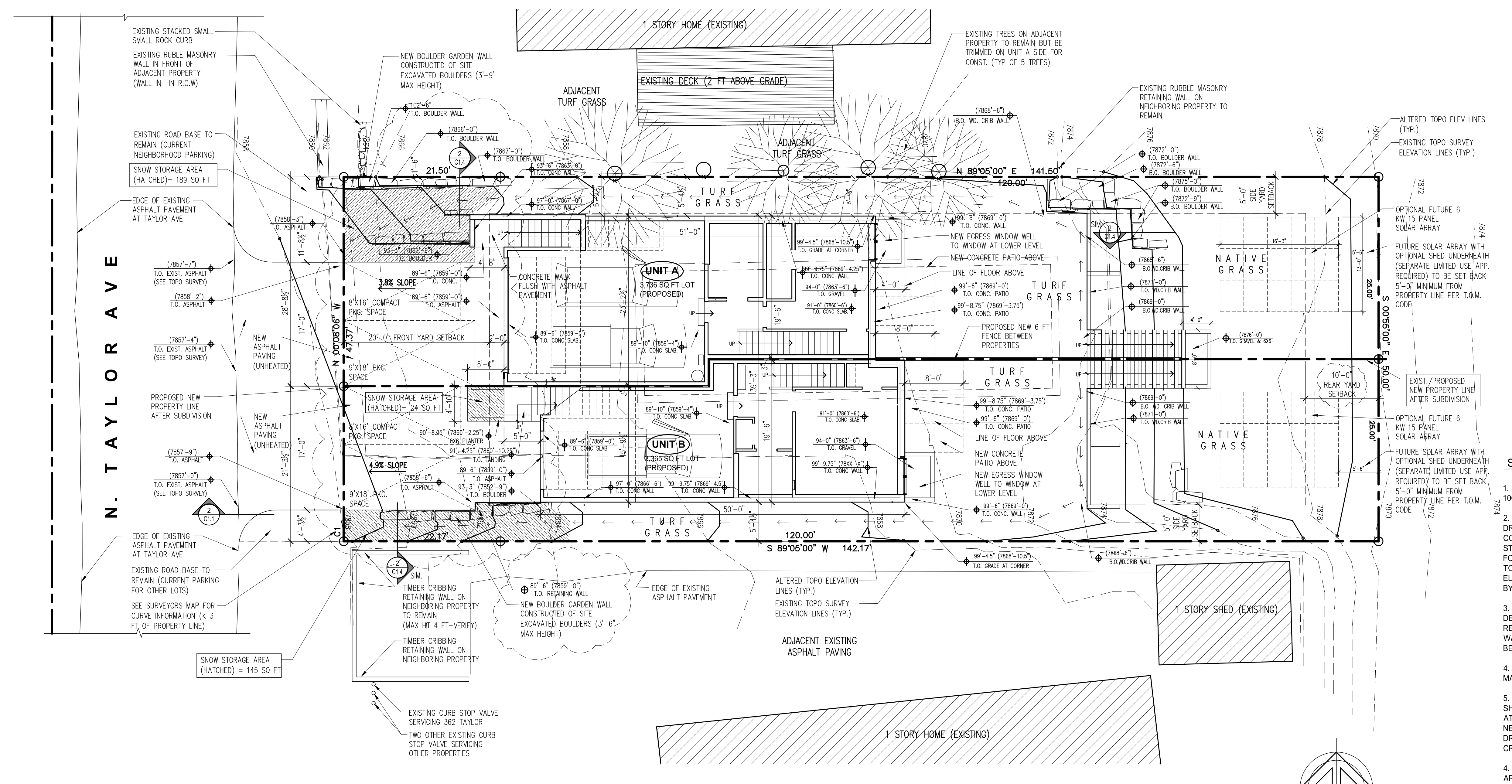
CONDITIONAL USE & DESIGN REVIEW SUBMITTAL 11-30-2023

DUPLEX @ 362 TAYLOR AVE

LANDSCAPE MATERIALS



2 C1.1 SITE SECTION WITH PROPOSED ELEVATION
 1/8"=1'-0"



1 C1.1 SITE PLAN & GRADING PLAN
 (LOWER LEVEL SHOWN W/ MAIN LEVEL BACK PATIOS)
 1/8"=1'-0"

PROJECT INFORMATION

ADDRESS: 362 N TAYLOR AVENUE
 LEGAL ADDRESS: LOTS 1&2 BLOCK C, TAYLORS ADDITION TO THE TOWN OF MINTURN, COLORADO
 PARCEL NO.: 2103-262-03-010 (RESIDENTIAL)
 CLASS OF WK: DEMOLITION / NEW CONSTRUCTION
 LOT AREA: 0.163 Acres (7,100 SQ FT)

UTILITIES: PUBLIC SEWER: 2 LINES FROM WEST SIDE OF UNITS TO S.S. LINE IN TAYLOR AVE - VERIFY WITH E.R.W.S.D.
 PUBLIC WATER: 2 LINES FROM EXIST. AND NEW TAP/VALVE AT STREET VALVE TO LAUNDRY RM SIZED ETC. BY CONTRACTOR (ONE WATER TAP EXISTS FOR CURRENT HOME AND MAY BE RE-USED)
 NATURAL GAS: 2 LINES FROM NEW OR EXIST. GAS STUB OUT AT WEST PROPERTY LINE TO METERS ON NORTH AND SOUTH ELEVATION- VERIFY WITH UTILITY CO.
 ELECTRICAL SERVICE: TBD- CURRENT SUPPLY FROM OVERHEAD LINE

PARKING, HEIGHT, FOOTPRINT, IMPERVIOUS AREA, ST FRONT

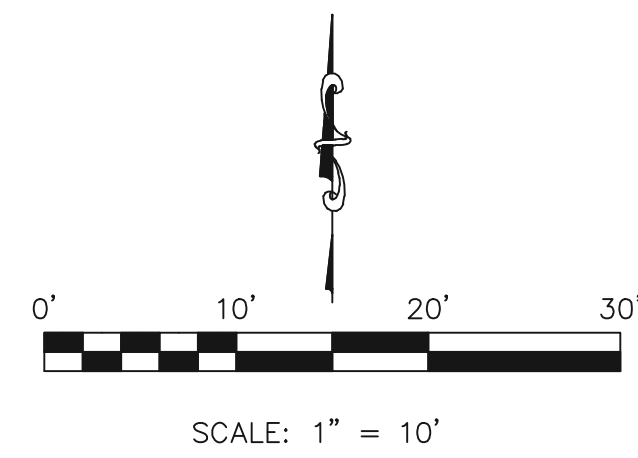
OFF STREET SURFACE PARKING REQUIRED
 UNIT A (4 BEDROOM) = 3 SPACES
 UNIT B (3 BEDROOM) = 2 SPACES
 OFF STREET PARKING SPACES PROVIDED
 UNIT A = 4 SPACES (3 FULL SIZE, 1 COMPACT)
 UNIT B = 3 SPACES (2 FULL SIZE, 1 COMPACT)
 (PER 16-16-70: NON-REQD PKG. CAN BE COMPACT CAR)
 SNOW STORAGE REQUIRED = 5% OF LOT
 UNIT A = 3,736 SQ FT LOT X 5% = 187 SQ FT
 SNOW STORAGE SHOWN = 189 SQ FT
 UNIT B = 3,365 SQ FT LOT X 5% = 169 SQ FT
 SNOW STORAGE SHOWN = 169 SQ FT
 MAXIMUM BUILDING HEIGHT ALLOWED = 28'-0"
 MAX BUILDING HEIGHT (SALTBOX) SHOWN = 27'-10"
 MAXIMUM LOT COVERAGE ALLOWED = 40% OF LOT
 7,100 SQ FT X .40 = 2,840 SQ FT
 LOT COVERAGE SHOWN = 2,152 SQ FT
 (688 SQ FT REMAINS UN-USED)
 MAXIMUM IMPERVIOUS MATERIALS ALLOWED = 50% OF LOT
 7,100 SQ FT X 50% = 3,550 SQ FT ALLOWED
 IMPERVIOUS MATERIAL SHOWN = 3,113 SQ FT
 FUTURE SOLAR UNIT A = 212 SQ FT
 FUTURE SOLAR UNIT B = 212 SQ FT
 TOTAL FUTURE IMPERVIOUS = 3,537 SQ FT
 FIRE AREA (ALL SPACE INSIDE EXTERIOR WALLS)
 UNIT A = 2,900 SQ FT
 UNIT B = 2,511 SQ FT

SITE PLAN GENERAL NOTES

- SITE ELEVATION 7869'-6" = BUILDING ELEVATION 100'-0".
- LOCATION OF BUILDING ON SITE SHALL BE PER DRAWINGS AND CONFIRMED BY ARCHITECT CONFERRING WITH SURVEYOR TASKED WITH STAKING THE FOUNDATION PRIOR TO FOOTING FORMWORK PLACEMENT. ANY PROPOSED CHANGES TO THE BUILDING LOCATION ON SITE OR PLANNED ELEVATION OF LOWER FLOOR MUST BE REVIEWED BY ARCHITECT
- SEE EXISTING/DEMOLITION PLAN FOR DESCRIPTION OF EXISTING BUILDINGS TO BE REMOVED. EXISTING TIMBER AND RUBBLE RETAINING WALLS TO BE REMOVED AND ONE EXISTING TREE TO BE REMOVED.
- SEE LANDSCAPE PLAN FOR LANDSCAPE MATERIALS AND IRRIGATION ETC.
- NEW RETAINING WALLS AND GARDEN WALLS SHALL BE CONSTRUCTED OF BOULDERS EXCAVATED AT SITE AND SHALL NOT EXCEED 3'-9" FT IN HEIGHT. NEW WINDOW WELLS SHALL BE CONSTRUCTED PER DRAWINGS (CONCRETE SIDE WALLS AND TIMBER CRIBBING END WALL)
- AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT COVERED BY BUILDING, PATIOS OR DRIVEWAY OR NOT LANDSCAPED WITH TURF, GRAVEL PLANTING BEDS, OR PERIMETER GRAVEL BEDS, SHALL BE RE-VEGETATED WITH MOUNTAIN NATIVE GRASSES MIX PER LANDSCAPE PLAN
- FOLLOW ALL RECOMMENDATIONS OF SOILS ENGINEER AS REPORTED IN SOILS INVESTIGATION BY KUMAR ASSOC. GEOTECH ENG PROJECT # 23-7-599

REVISED
 2-9-24
 PRELIMINARY
 11-30-23

CONDITIONAL USE & DESIGN REVIEW APPLICATION SUBMITTAL
 DUPLEX AT 362 N. TAYLOR AVE
 LOTS 1&2, BLOCK C, TAYLORS ADDITION TO THE TOWN OF MINTURN, CO



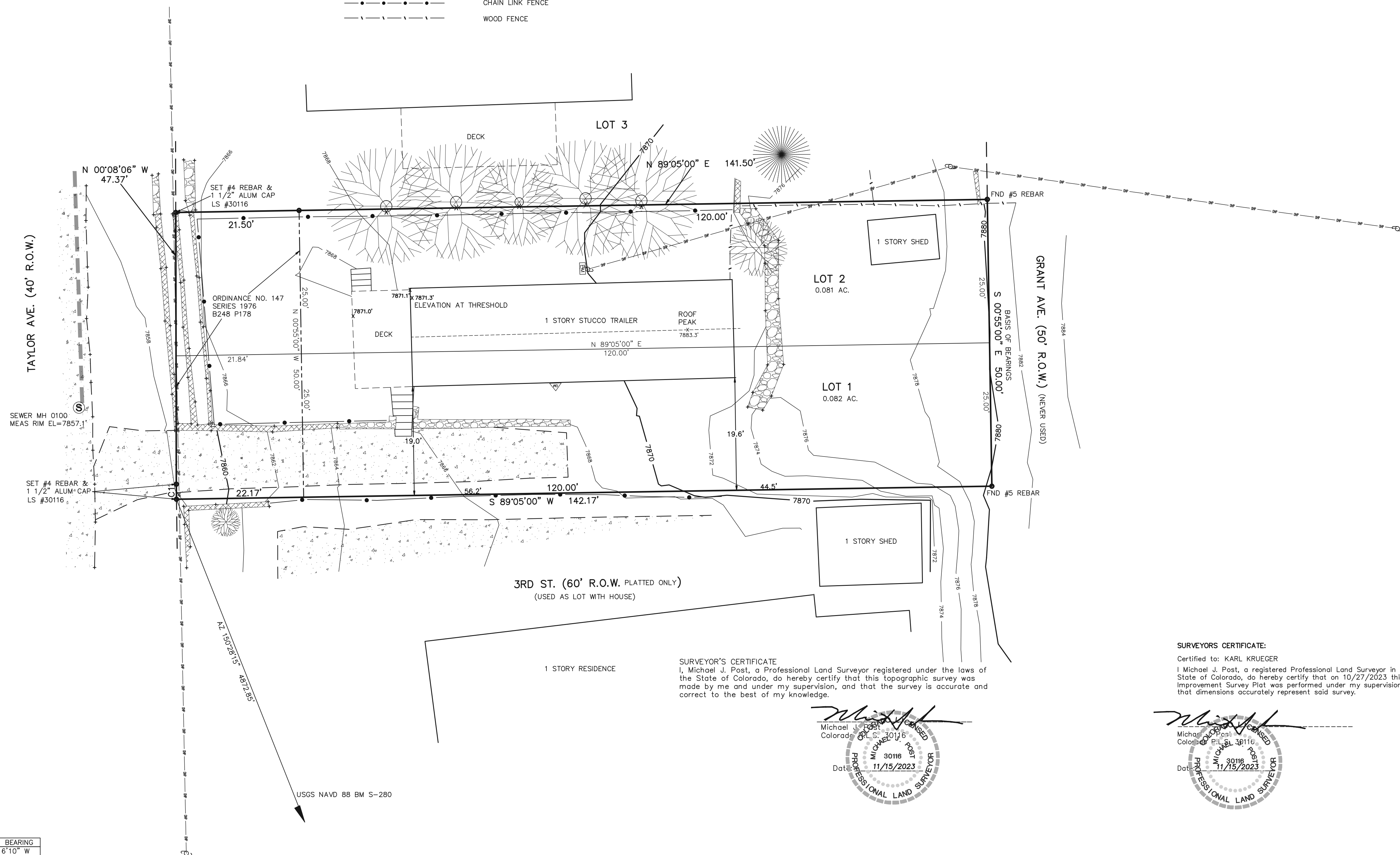
LEGEND

- UTILITY POLE
- ELECTRIC METER
- GAS METER
- SANITARY SEWER MANHOLE
- ASPHALT SURFACE
- ROCK WALL
- WOOD TIE
- OVERHEAD POWER LINE
- BURIED SANITARY SEWER LINE
- CHAIN LINK FENCE
- WOOD FENCE

- DENOTES CONIFEROUS TREE W/ APPROX. 0.5' TRUNK DIAMETER
- DENOTES DECIDUOUS TREE W/ APPROX. 1.5' TRUNK DIAMETER
- DENOTES CONIFEROUS TREE W/ APPROX. 1.0' TRUNK DIAMETER
- DENOTES DECIDUOUS TREE W/ APPROX. 0.5' TRUNK DIAMETER
- DENOTES DECIDUOUS TREE W/ APPROX. 1.0' TRUNK DIAMETER
- DENOTES DECIDUOUS TREE W/ APPROX. 2.0' TRUNK DIAMETER

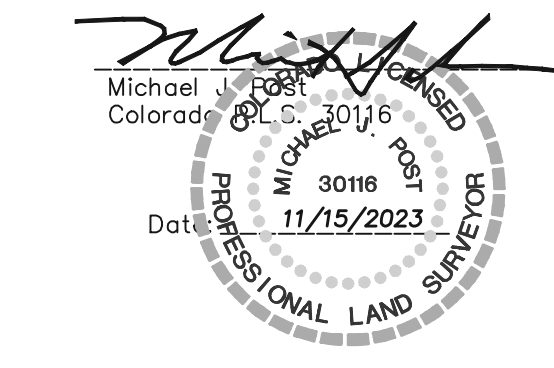
○ DENOTES LOCATION OF TRUNK MEASUREMENT

○ DENOTES LOCATION OF TRUNK MEASUREMENT

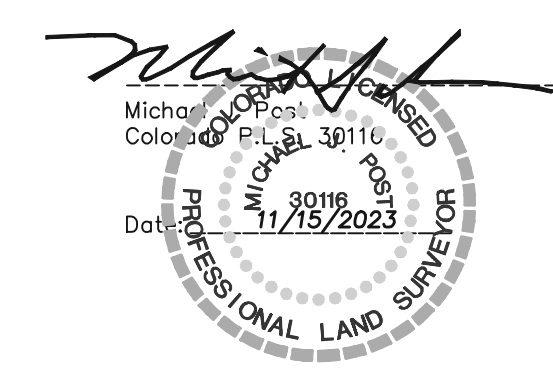


- NOTES:**
- 1) DATE OF SURVEY: 10/27/2023.
 - 2) LAND TITLE GUARANTEE CO. POLICY NO. V50003687 DATED 11/26/2003 WAS RELIED UPON FOR ALL TITLE AND EASEMENT INFORMATION.
 - 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 4) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
 - 5) BASIS OF BEARINGS: MONUMENTS MARKING THE SOUTHEAST CORNER LOT 1 & NORTHEAST CORNER LOT 2.
 - 6) BASIS OF ELEVATION: USGS NAVD 88 BM S-280 EL=7894.20'.
 - 7) THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
 - 8) BUILDING SETBACK INFORMATION IS NOT PLATTED. PRIOR TO ANY DESIGN OR CONSTRUCTION IMPROVEMENTS ON THIS PROPERTY, TOWN OF MINTURN SHOULD BE CONTACTED FOR CORRECT BUILDING SETBACK INFORMATION.
 - 9) BUILDING SHOWN WAS LOCATED AND MEASURED TO TRIM AND VARIOUS EXTERIOR MATERIALS. STRUCTURE AND DIMENSIONS SHOWN SHOULD NOT BE RELIED UPON FOR ADDITION DESIGN.
 - 10) 2' CONTOUR INTERVAL.

SURVEYOR'S CERTIFICATE
 I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



SURVEYOR'S CERTIFICATE:
 Certified to: KARL KRUEGER
 I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 10/27/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.

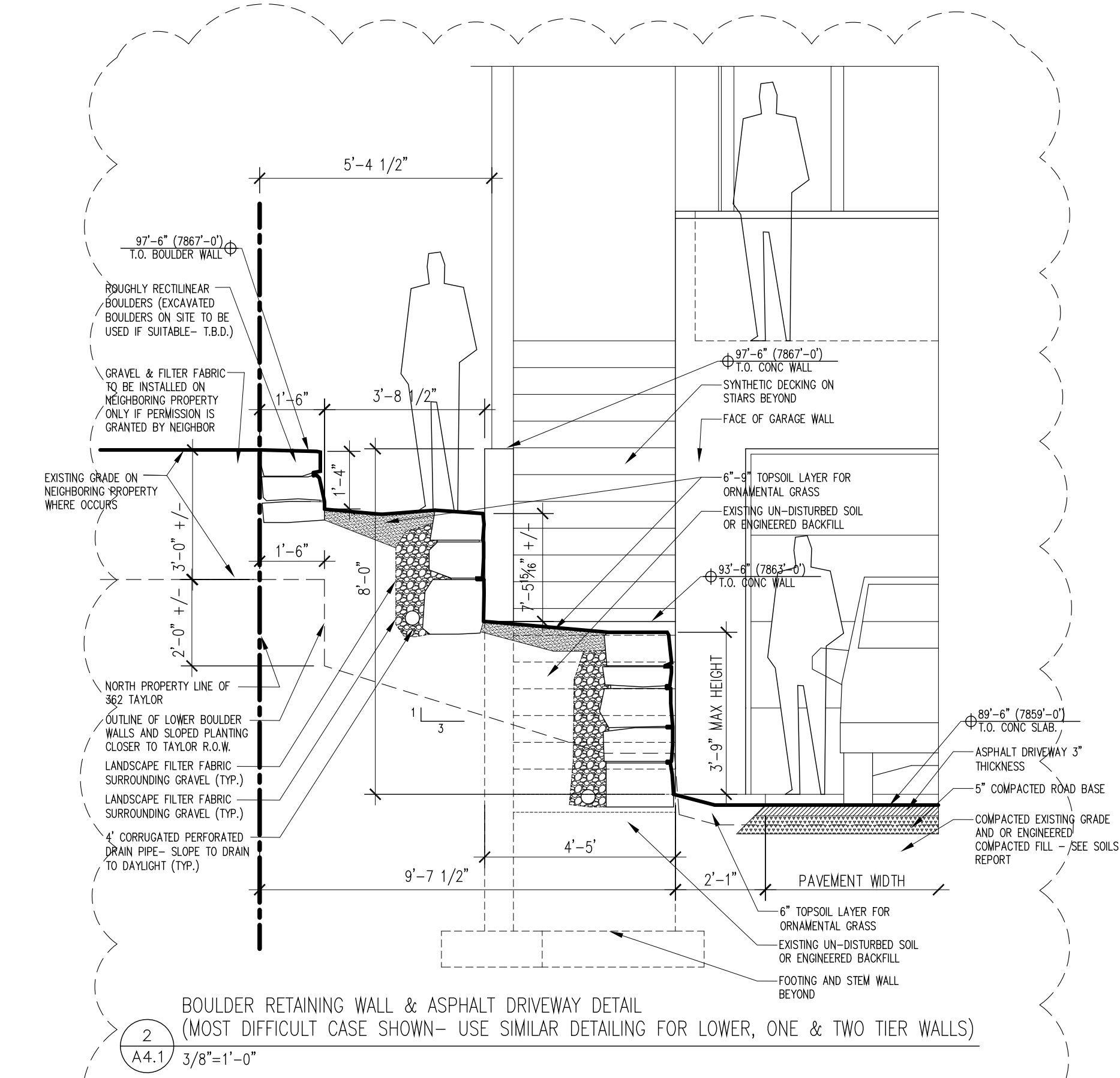


CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	00°16'08"	560.87'	2.63'	1.32'	2.63'	N 00°16'10" W

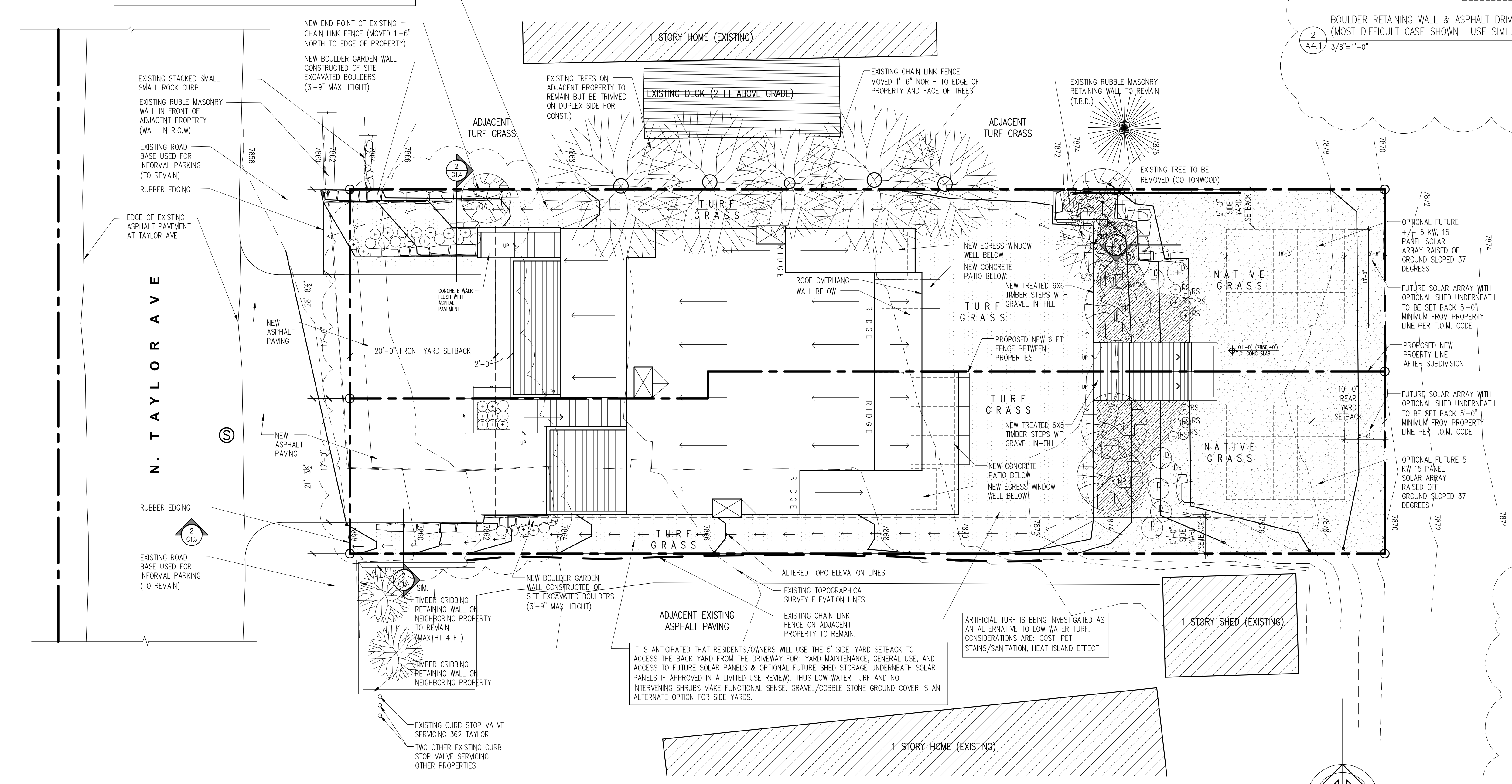
REVISED
2-9-24
PRELIMINARY
11-30-23

CONDITIONAL USE & DESIGN REVIEW APPLICATION SUBMITTAL
DUPLEX AT 362 N. TAYLOR AVE
 LOTS 1 & 2, BLOCK C, TAYLORS ADDITION TO THE TOWN OF MINTURN, CO

C1.4
 4 of 11
11-31-23



IT IS ANTICIPATED THAT RESIDENTS/OWNERS WILL USE THE 5' SIDE-YARD SETBACK TO ACCESS THE BACK YARD FROM THE DRIVEWAY FOR: YARD MAINTENANCE, GENERAL USE, AND ACCESS TO SOLAR PANELS (& OPTIONAL FUTURE SHED STORAGE UNDERNEATH SOLAR PANELS IF APPROVED). THIS LOW WATER TURF AND NO INTERVENING SHRUBS MAKE FUNCTIONAL SENSE. GRAVEL/COBBLE STONE GROUND COVER IS AN ALTERNATE OPTION FOR SIDE YARDS.



1 LANDSCAPE PLAN & ROOF PLAN
 C1.4 1/8"=1'-0"

LANDSCAPE PLAN GENERAL NOTES

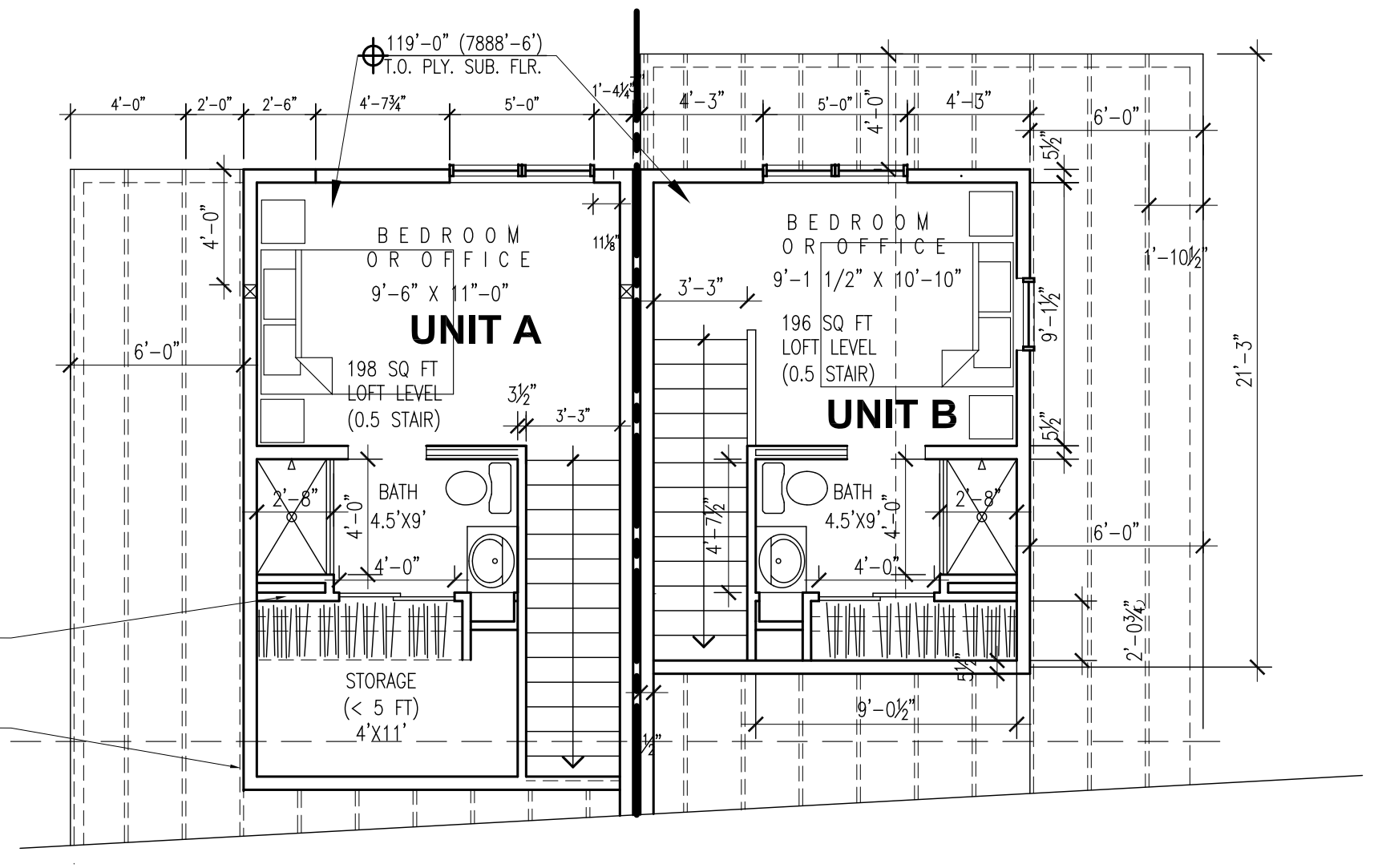
- LANDSCAPE INSTALLATION SHALL FOLLOW SOILS INVESTIGATION RECOMMENDATIONS FOR SLOPING GRADE AWAY FROM BUILDING, PLACEMENT OF ANY LANDSCAPE IRRIGATION ETC. PERIMETER DRAIN LOCATION AND DESIGN SHALL BE AS DESIGNED BY SOILS ENGINEER AND REFERENCED IN SOILS REPORT
- HOSE BIBS SHALL BE FREEZE PROTECTED AND LOCATED WHERE SHOWN ON MAIN LEVEL PLAN UNLESS CIRCUMSTANCE MAKE THE LOCATION SHOWN VULNERABLE TO FREEZE PROTECTION PROBLEMS OR DRAINAGE ISSUES
- NEW TREES AND SHRUBS SHOWN SHALL BE PLANTED IN THE POSITIONS SHOWN UPON SITE VISIT AND FINAL VERIFICATION OF INDIVIDUAL TREE LOCATIONS BY ARCHITECT AFTER BUILDING HAS BEEN CONSTRUCTED.
- LOW WATER TURF GRASS LAWN TO BE IRRIGATED BY PROGRAMMABLE POP-UP IRRIGATION SYSTEM PER MINTURN TOWN CODE AND EAGLE RIVER WATER/ SAN REGULATIONS. SHRUB BEDS SHALL BE IRRIGATED BY PROGRAMMABLE DRIP SYSTEM. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED AND INSTALLED BY LANDSCAPE PROFESSIONAL. NO IRRIGATION OF NATIVE GRASS AREA IS PROPOSED LONG-TERM. HOWEVER, ALL LANDSCAPE TO BE PROVIDED WITH TWO GROWING SEASONS OF WATERING (IRRIGATION SYSTEM OR HOSE) BEFORE REDUCING WATER USE.
- SEE CONSTRUCTION MANAGEMENT PLAN FOR CONST AND EROSION FENCING, TRAILERS, PARKING TRASH, RADON REDUCTION PLAN AND ENERGY PLAN.

LANDSCAPE KEY

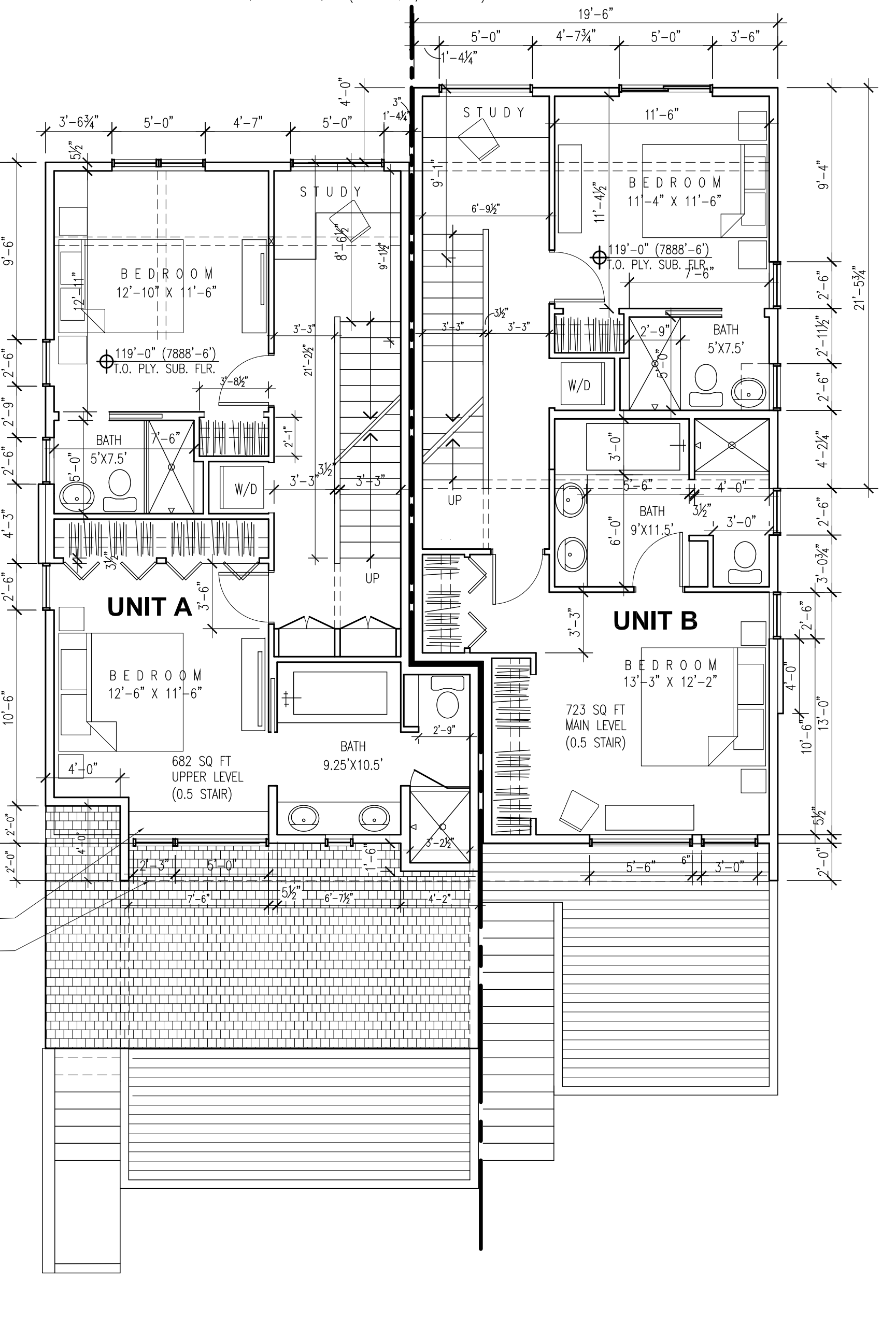
- EXISTING DECIDUOUS TREES (MOST ON ADJACENT PROPERTY) (APPROX.)
- EXISTING EVERGREEN TREES ON ADJACENT PROPERTY (APPROX.)
- NEW DECIDUOUS TREES 1.5" MIN CALIPER: (3) QUAKING ASPEN (3) NEWPORT PLUM LOW/MED WATER, APPROPRIATE FOR HIGH ELEVATION (PLUM PLANTED TO NOT AFFECT SOLAR ACCESS TO SOLAR PANELS)
- NEW MED SHRUBS- (10) ARCTIC FIRE RED TWIG DOGWOOD (3'-4' HT & 3'-4' WIDTH WHEN FULL GROWN, 5 GALLON SIZE)
- NEW SMALL SHRUB - (12) RUSSIAN SAGE (1 GAL SIZE)
- NEW ORNAMENTAL GRASS - (36) KARL FOERESTER CLUMP GRASS (1 GAL SIZE)
- TURF GRASS AREA
 BUFFALO GRASS OR LOW WATER SEED MIX (FESCUE, RYE, BLUEGRASS)
- NATIVE GRASS AREA
 MOUNTAIN SEED MIX: FESCUE, GAMMA, BROMEGRASS, RYE ETC.
- BISHOPS WEEED GROUND COVER BED WITH RUBBER EDGING AT NATIVE GRASS w/ INTERMITTENT PERENNIAL FLOWERS

REVISED
2-9-24
PRELIMINARY
11-30-23

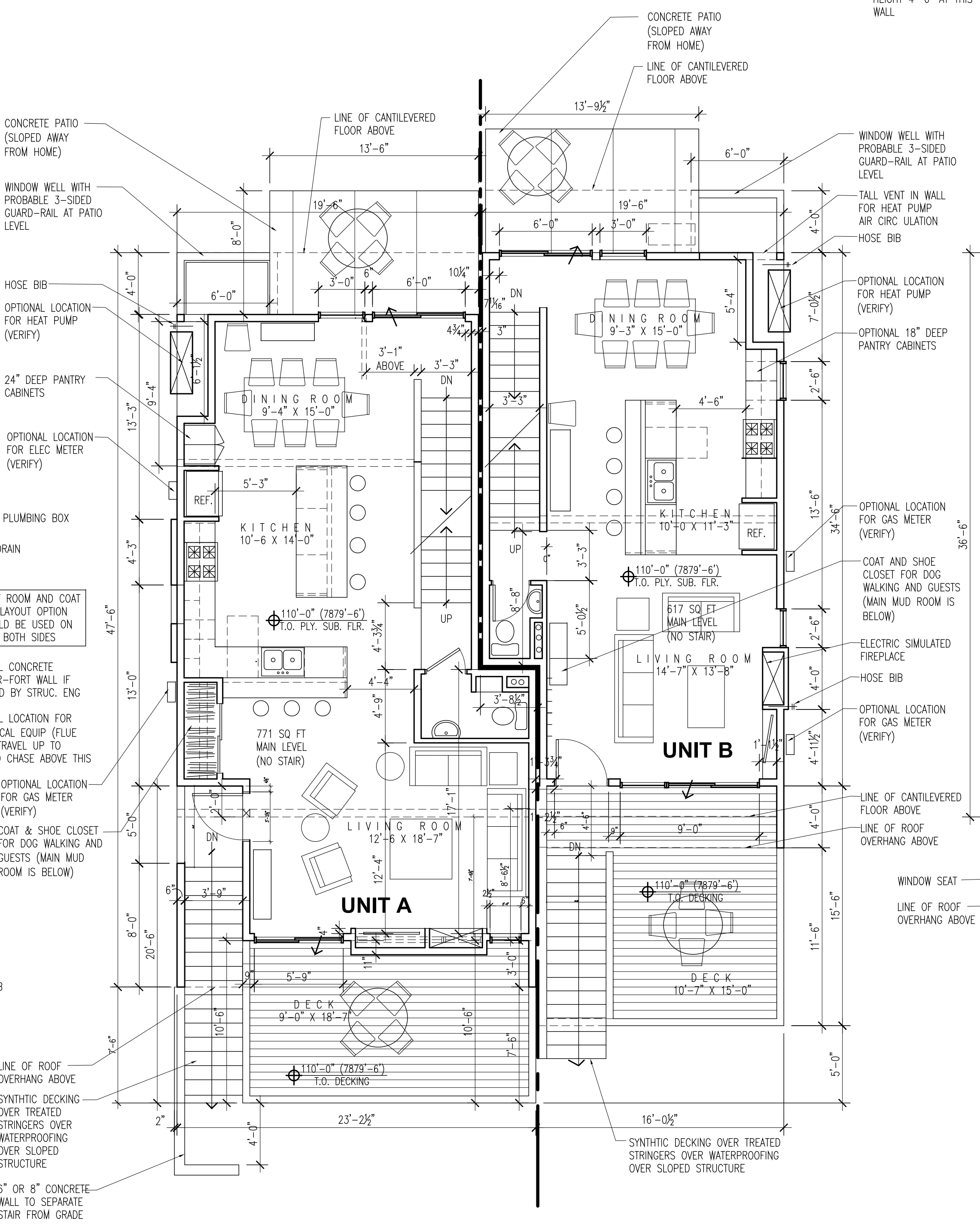
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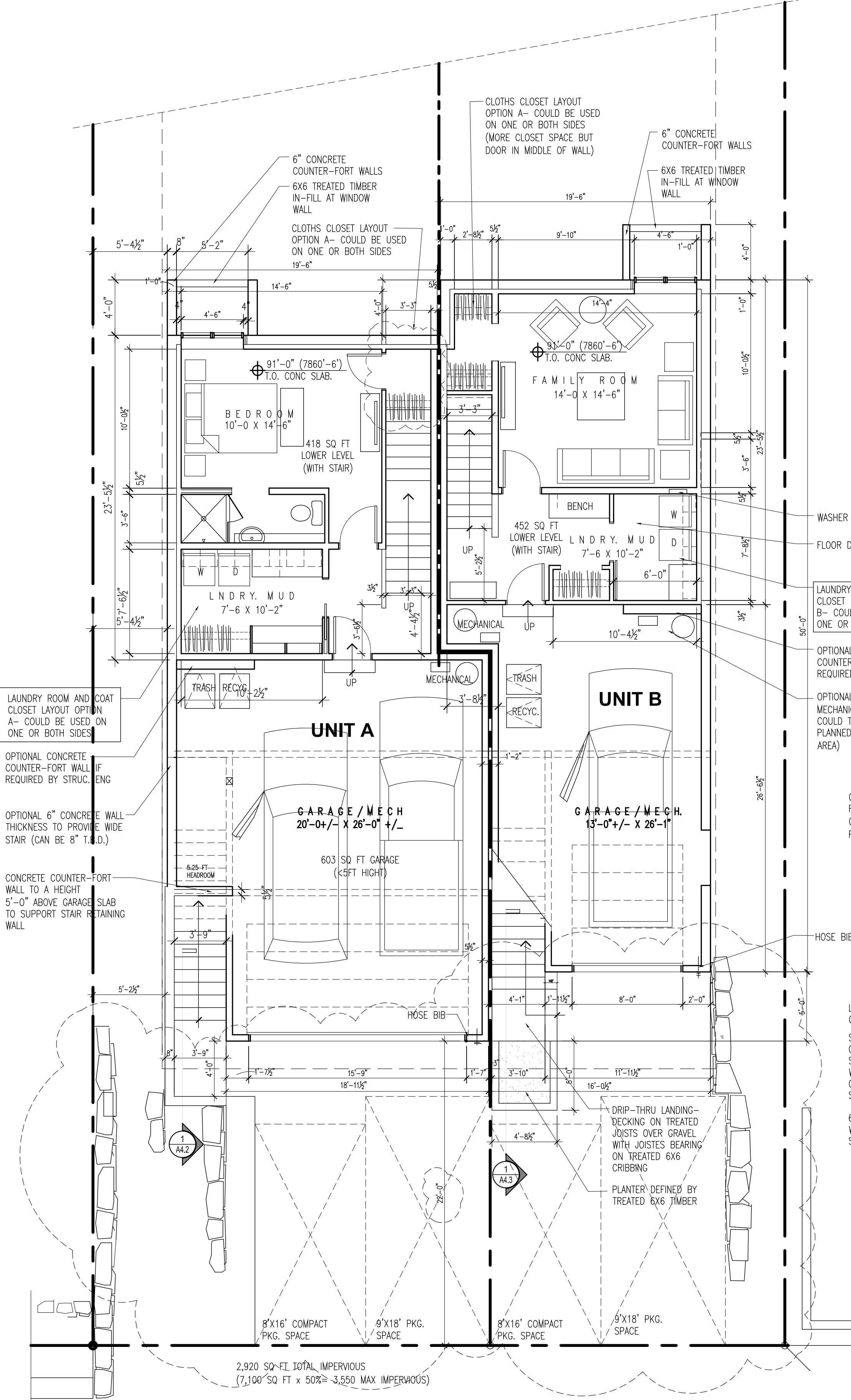
4 LOFT LEVEL FLOOR PLAN & PARTIAL ROOF PLAN
 A1.1 3/16"=1'-0"



3 UPPER LEVEL FLOOR PLAN
 A1.1 3/16"=1'-0"



2 MAIN LEVEL FLOOR PLAN
 A1.1 3/16"=1'-0"



1 LOWER LEVEL FLOOR PLAN
 A1.1 3/16"=1'-0"

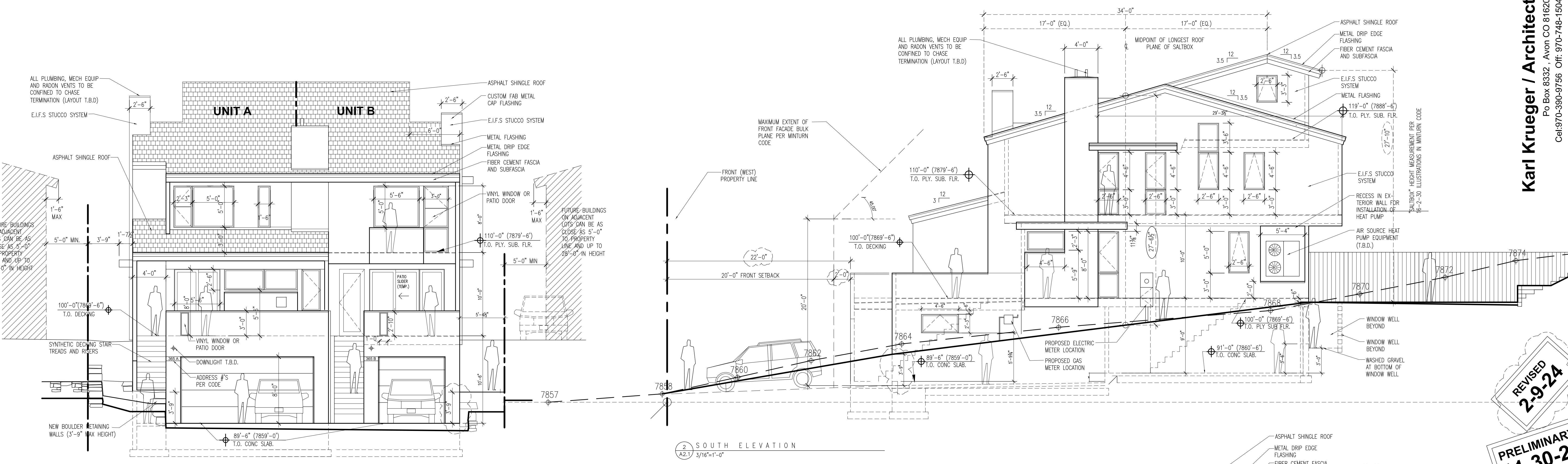
FIRE AREA FOR UNIT A (ALL AREA INSIDE EXTERIOR WALLS INCLUDING EXTERIOR WALLS)		FIRE AREA FOR UNIT B (ALL AREA INSIDE EXTERIOR WALLS INCLUDING EXTERIOR WALLS)	
LOWER LEVEL (ALL LIVING, STAIR, STOR, MECH & GARAGE)	= 1054 SQ FT	LOWER LEVEL (ALL LIVING, STAIR, STOR, MECH & GARAGE)	= 889 SQ FT
MAIN LEVEL (ALL LIVING, STAIR)	= 810 SQ FT	MAIN LEVEL (ALL LIVING, STAIR & STOR)	= 632 SQ FT
UPPER LEVEL (ALL LIVING, STAIR & STOR)	= 746 SQ FT	UPPER LEVEL (ALL LIVING, STAIR & STOR)	= 754 SQ FT
LOFT LEVEL = (ALL LIVING, STAIR & STOR)	= 290 SQ FT	LOFT LEVEL = (ALL LIVING, STAIR & STOR)	= 236 SQ FT
TOTAL	2,900 SQ FT	TOTAL	2,511 SQ FT

LIVING SQ FT FOR UNIT A		LIVING SQ FT FOR UNIT B	
LOWER LEVEL W/ STAIR, NO GARAGE	= 418 SQ FT	LOWER LEVEL W/ STAIR, NO GARAGE	= 452 SQ FT
MAIN LEVEL W/NO STAIR	= 766 SQ FT	MAIN LEVEL W/NO STAIR	= 624 SQ FT
UPPER LEVEL W/ 1/2 STAIR	= 679 SQ FT	UPPER LEVEL W/ 1/2 STAIR	= 714 SQ FT
LOFT LEVEL W/ 1/2 STAIR	= 198 SQ FT	LOFT LEVEL W/ 1/2 STAIR	= 199 SQ FT
TOTAL	2,061 SQ FT	TOTAL	1,989 SQ FT

GARAGE UNIT A (>5 FT) 585 SQ FT GARAGE UNIT A (>5 FT) 400 SQ FT

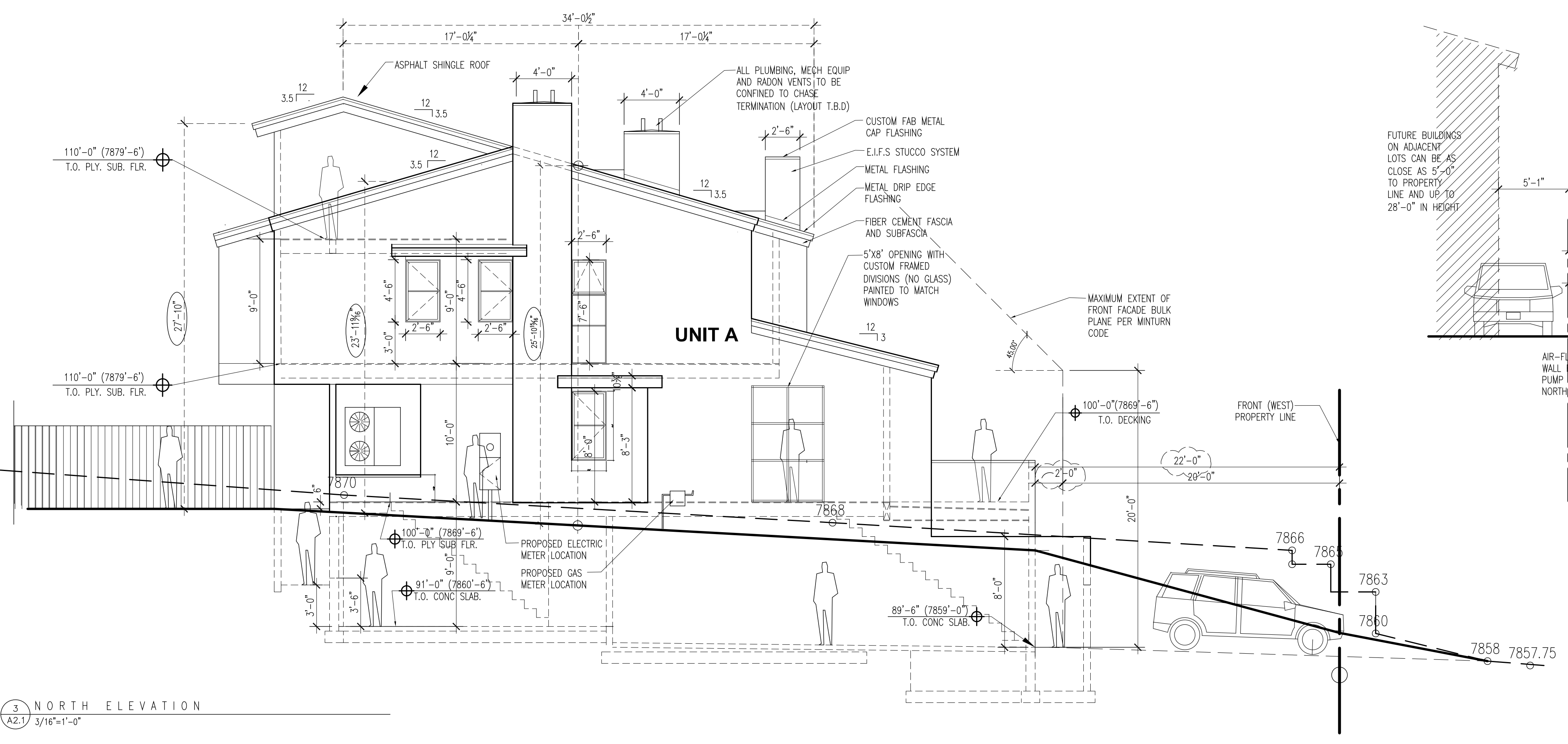
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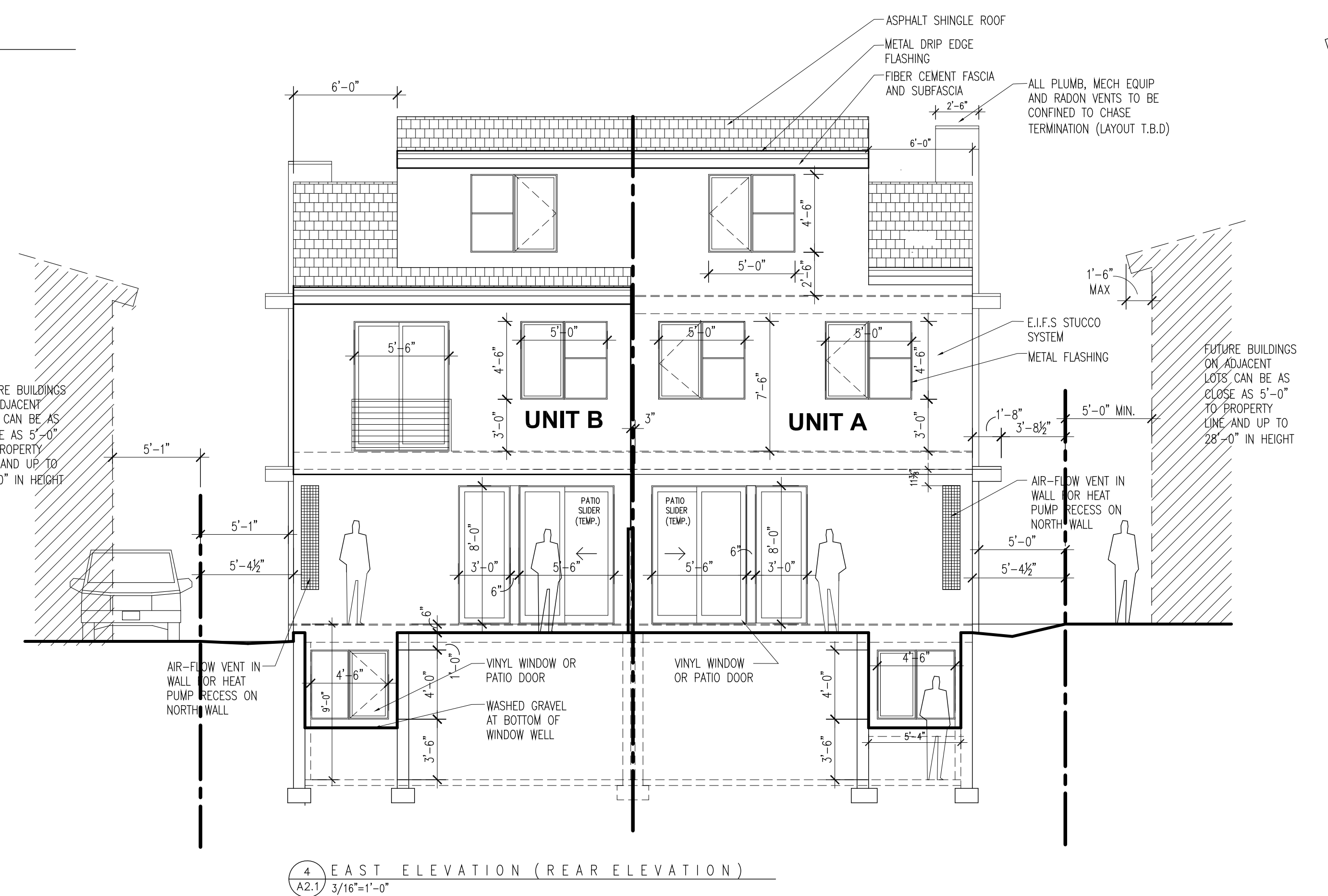


1 WEST ELEVATION (FRONT ELEVATION)
 A2.1 3/16"=1'-0"

2 SOUTH ELEVATION
 A2.1 3/16"=1'-0"



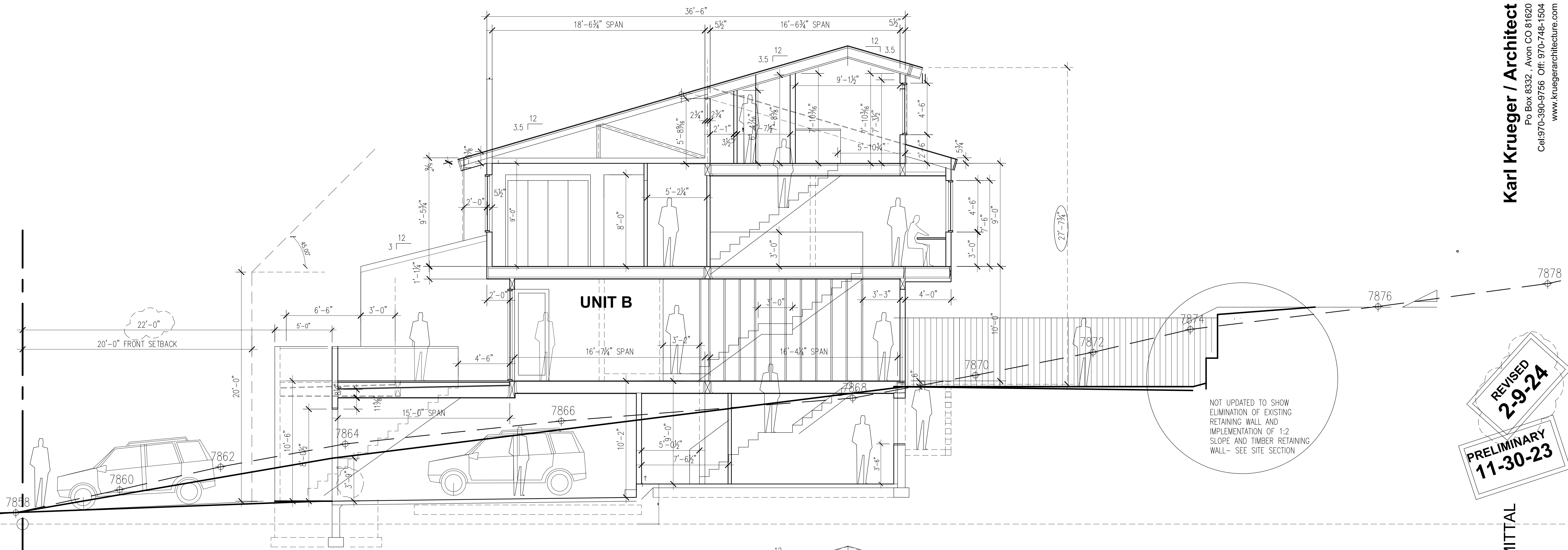
3 NORTH ELEVATION
 A2.1 3/16"=1'-0"



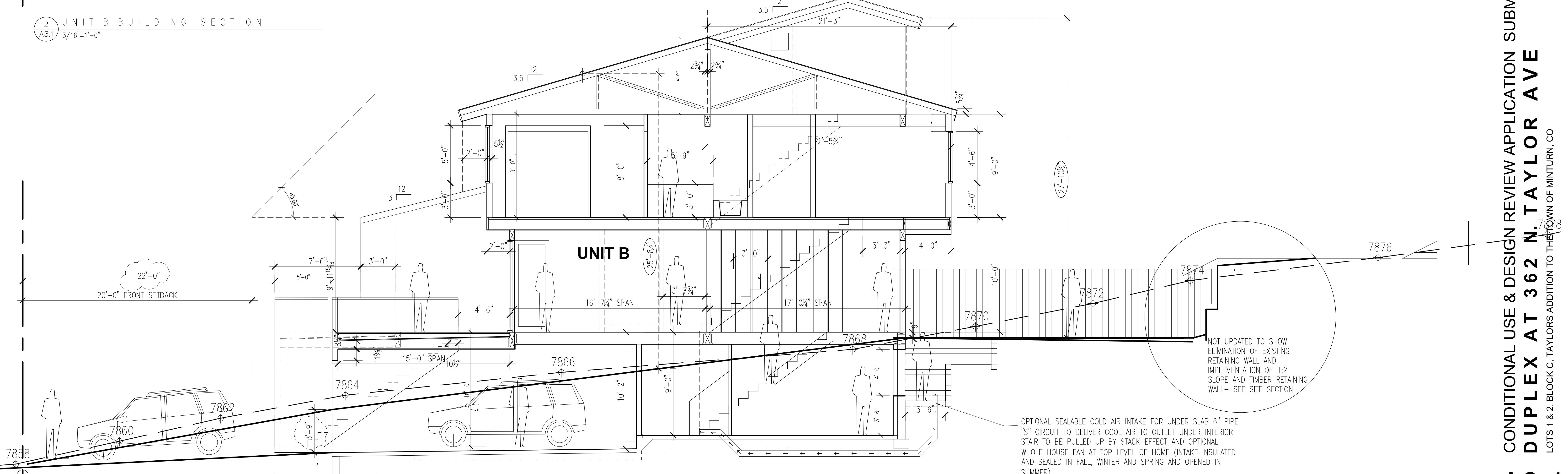
4 EAST ELEVATION (REAR ELEVATION)
 A2.1 3/16"=1'-0"

EXTERIOR MATERIALS OUTLINE SPECIFICATIONS

- ROOFING / EDGE TRIM:**
 - 212 & 312 ROOF: ARCHITECTURAL ASPHALT SHINGLES, 3 TAB PROFILE.
 - CLASS "A" ASSEMBLY MINIMUM "HEARTHSTONE" ARCHITECTURAL SERIES" BY ATLAS. UNDERLAYMENT AS REQUIRED BY MFG. AND PER CONTRACTOR. REDE ASSEMBLY BY CONTRACTOR.
- ACCENT ROOFS, DRIP EDGE AND GUTTERS:** CUSTOM FORMED AND SLOPED STEEL ROOFING AT ACCENT ROOFS, CONTINUOUS DRIP EDGE AT EAVES AND RAKES W/ 2" FACE AND GUTTERS AND DOWNSPOUTS (2) COLORS-SEE APPROVED COLOR CHART.
- LOW SLOPED ROOF @ WATERPROOF DECK:** CLASS B ASSEMBLY SINGLE MEMBRANE PLY OR T.P.O. (MED GREY) COLOR ROOFING OVER SLIP SHEET PER MFG. OVER PLYWOOD DECKING OVER TAPERED JOIST CONSTRUCTION, DRAIN TO ROOF DRAIN AND EMERGENCY SUFFER PER DETAILS.
- FASCIA / SUB-FASCIA / SOFFIT:**
 - TYPICAL FASCIA: 2X8 S3S CEDAR FASCIA OVER 2X8 S3S CEDAR SUB-FASCIA TRIM BOARDS (SMOOTH SIDE OUT), SOLID STAIN OR PAINT (SEE DRC APPROVED COLOR BOARD)
 - TYPICAL NON-STRUCTURAL SOFFIT: 3/8" SMOOTH FINISH FIBER REINFORCED CEMENT SOFFIT PANELS, SOLID TONE PAINT OR STAIN (SEE DRC COLOR BOARD)
- STUCCO FINISH EXTERIOR WALLS**
 - EXTERIOR STUCCO FINISH EXTERIOR INSULATION FINISH SYSTEM: "STO" BRAND OR EQUAL. SYNTHETIC STUCCO WITH INTEGRAL COLOR COAT ON SCRATCH COAT ON REINFORCED FIBER ON 1" XPS FIRM APPLIED WITH RABBED VERTICAL ADHESIVE BEADS OVER CONTINUOUS FLUID APPLIED WATER & AIR BARRIER APPLIED TO EXTERIOR SHEATHING.
 - "STOUT FINISH": TWO TONE COLOR SELECTION (SEE APPROVED COLOR BOARD FOR TEXTURES AND COLORS), "STO" TRIMS: CORNER BEAD, JMETAL AT ALL SIDES OF OPENINGS WITH CALK JOINT GAP AS REQUIRED FOR CALK AT WINDOWS AND DOORS, STUCCO SCORED ABOVE GRADE PER CODE (FACTORY PAINTED METAL FLASHING PER APPROVED COLOR BOARD TO COVER CONC FOUND.)
- CONCRETE PATIO / CONC. WALKS**
 - CONCRETE PATIO / WALKS: REINFORCED CONCRETE SLAB, BROOM FINISH IN VARIED HATCH PATTERN (SEE ARCHITECT), SAW CUT JOINTS AT 4'-0" O.C. TYP. UNLESS OTHERWISE NOTED
- PATIO DECKING**
 - SYNTHETIC DECKING: "CLAM SHELL" (GREY) BY TREX, 1" X 5.5" BOARDS, SCREWED TO REDWOOD SLEEPERS AT 12" O.C. PER MFG., 3/16" GAP BETWEEN BOARDS, NATURAL UNFINISHED CONDITION OR MFG. RECOMMENDED CLEAR SEALER OR PROTECTION.
- WINDOWS, PATIO DOORS & ENTRY DOORS:**
 - WINDOWS, PATIO DOORS: 1/2" MIN VINYL AND ALUM CLAD WINDOWS AND PATIO DOORS, "WHITE" MFG T.B.D. (SEE APPROVED COLOR BOARD) W/ CASEMENT, AWNING, SLIDER AND FIXED WINDOWS WHERE INDICATED, R.O., ACTION AND TEMPERED PER DRAWINGS, NARROW STYLE SLIDING DOORS, ALL SCREENS ON INSIDE, WHITE HARDWARE ON INTERIOR (VERIFY INTERIOR SPECS AT TIME OF ORDERING)
 - ENTRY DOORS: THERMA TRU MFG. ENTRY DOORS, STEEL PANEL WITH FULL LIGHTS AS SHOWN, "WHITE" (SEE APPROVED COLOR BOARD) MFG T.B.D. (NO MFG. BRICK MOLD TO BE USED-SEE DETAILS)
- GARAGE DOORS**
 - OVERHEAD DOORS: FLUSH PRE-PAINTED STEEL (COLOR PER APPROVED COLOR BOARD)



2 UNIT B BUILDING SECTION
 A3.1 3/16"=1'-0"



2 UNIT B BUILDING SECTION
 A3.1 3/16"=1'-0"

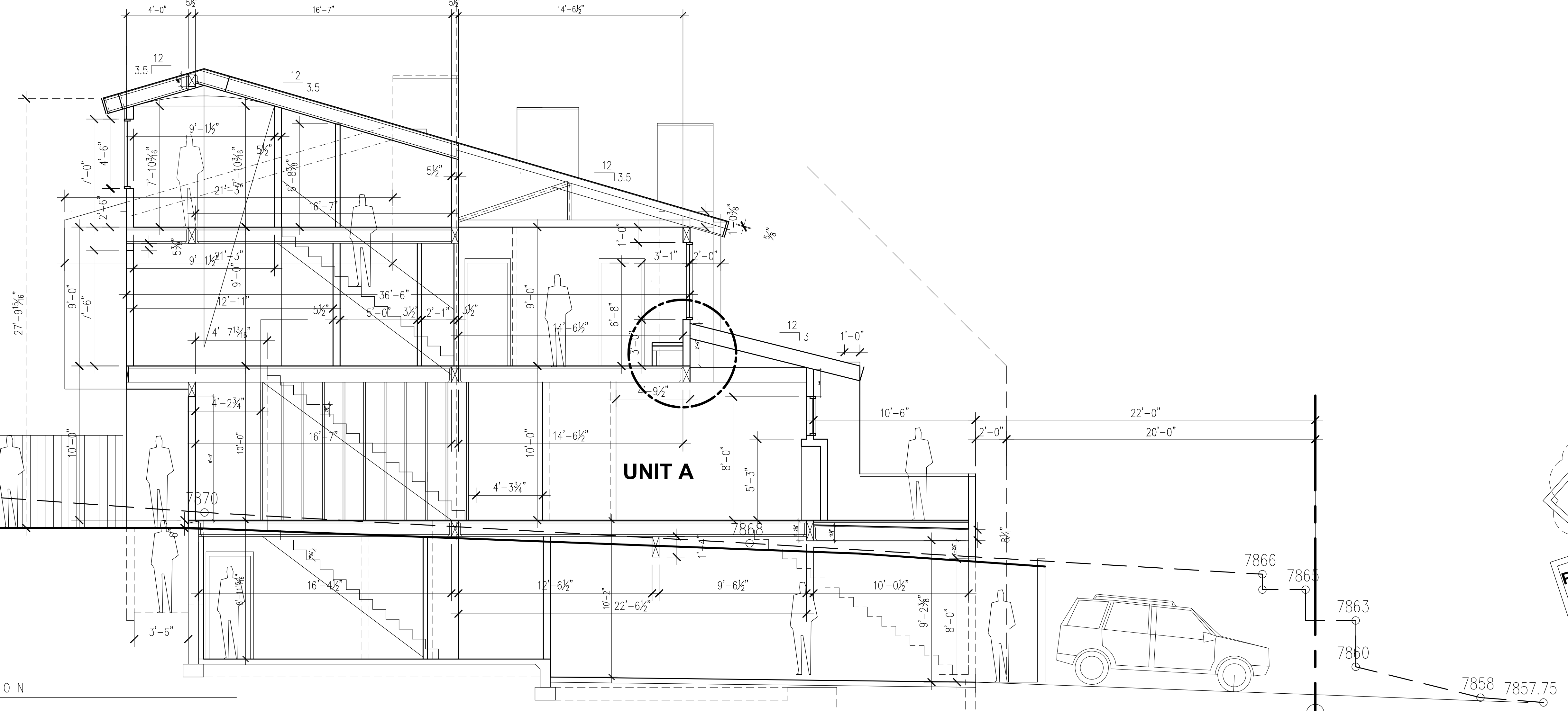
OPTIONAL SEALABLE COLD AIR INTAKE FOR UNDER SLAB 6" PIPE
 "S" CIRCUIT TO DELIVER COOL AIR TO OUTLET UNDER INTERIOR
 STAIR TO BE PULLED UP BY STACK EFFECT AND OPTIONAL
 WHOLE HOUSE FAN AT TOP LEVEL OF HOME (INTAKE INSULATED
 AND SEALED IN FALL, WINTER AND SPRING AND OPENED IN
 SUMMER)

REVISED
 2-9-24
 PRELIMINARY
 11-30-23

CONDITIONAL USE & DESIGN REVIEW APPLICATION SUBMITTAL
 DUPLEX AT 362 N. TAYLOR AVE
 LOTS 1 & 2, BLOCK C, TAYLORS ADDITION TO THE TOWN OF MINTURN, CO

REVISED
2-9-24
PRELIMINARY
11-30-23

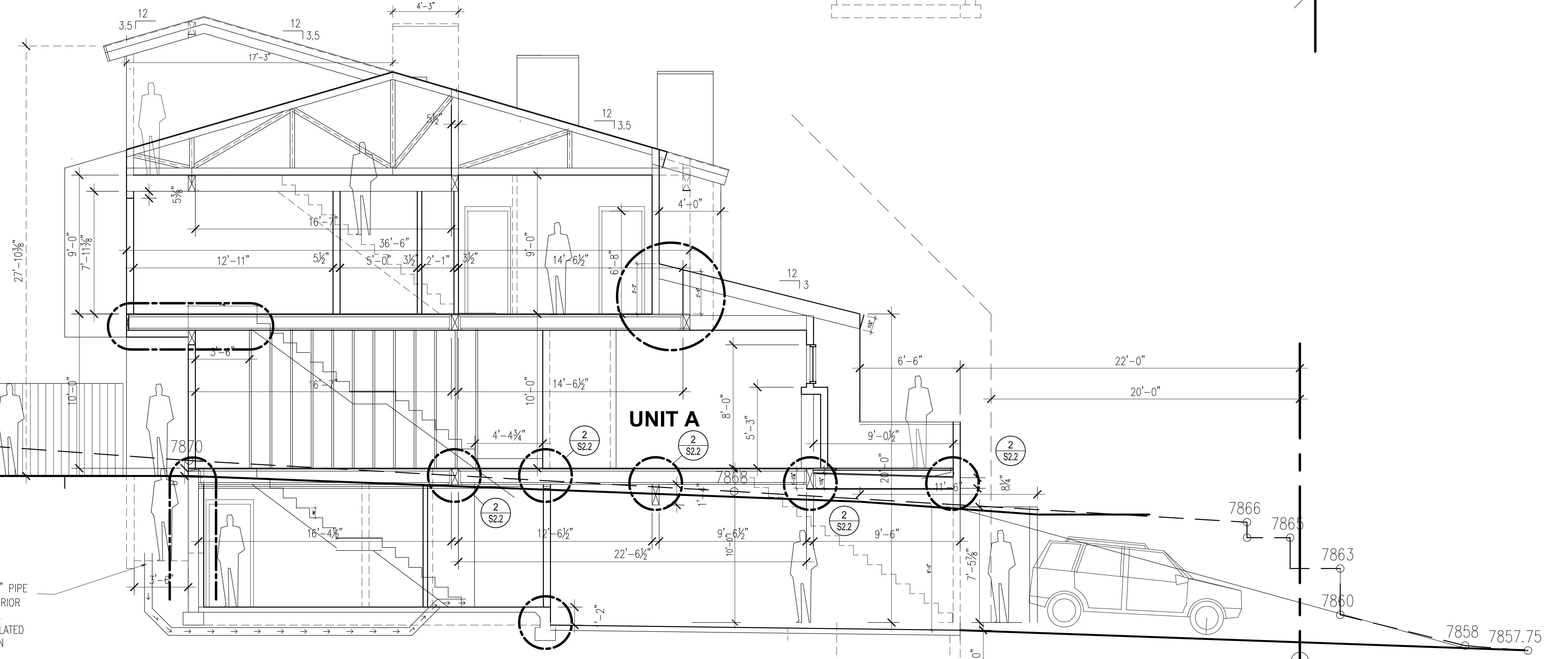
7876.5
 7872
 NOT UPDATED TO SHOW
 ELIMINATION OF EXISTING
 RETAINING WALL AND
 IMPLEMENTATION OF 1:2
 SLOPE AND TIMBER RETAINING
 WALL- SEE SITE SECTION



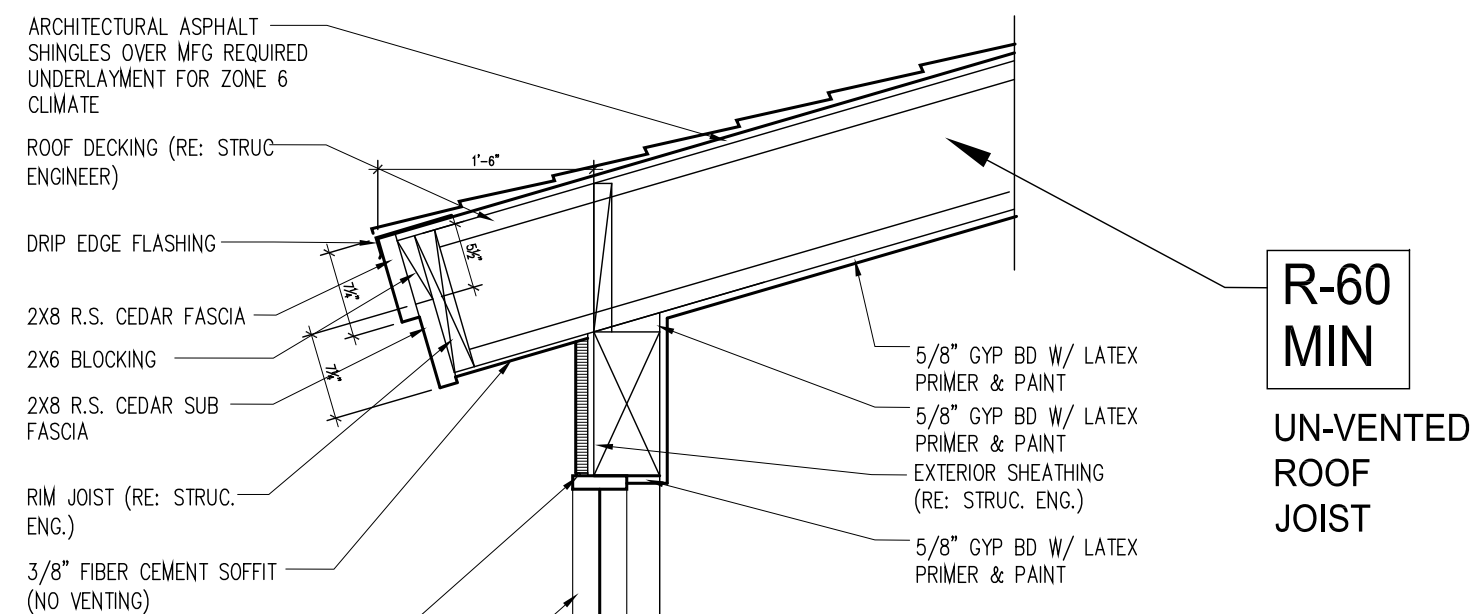
1 NORTH ELEVATION
 A3.2 3/16"=1'-0"

7876.5
 7872
 NOT UPDATED TO SHOW
 ELIMINATION OF EXISTING
 RETAINING WALL AND
 IMPLEMENTATION OF 1:2
 SLOPE AND TIMBER RETAINING
 WALL- SEE SITE SECTION

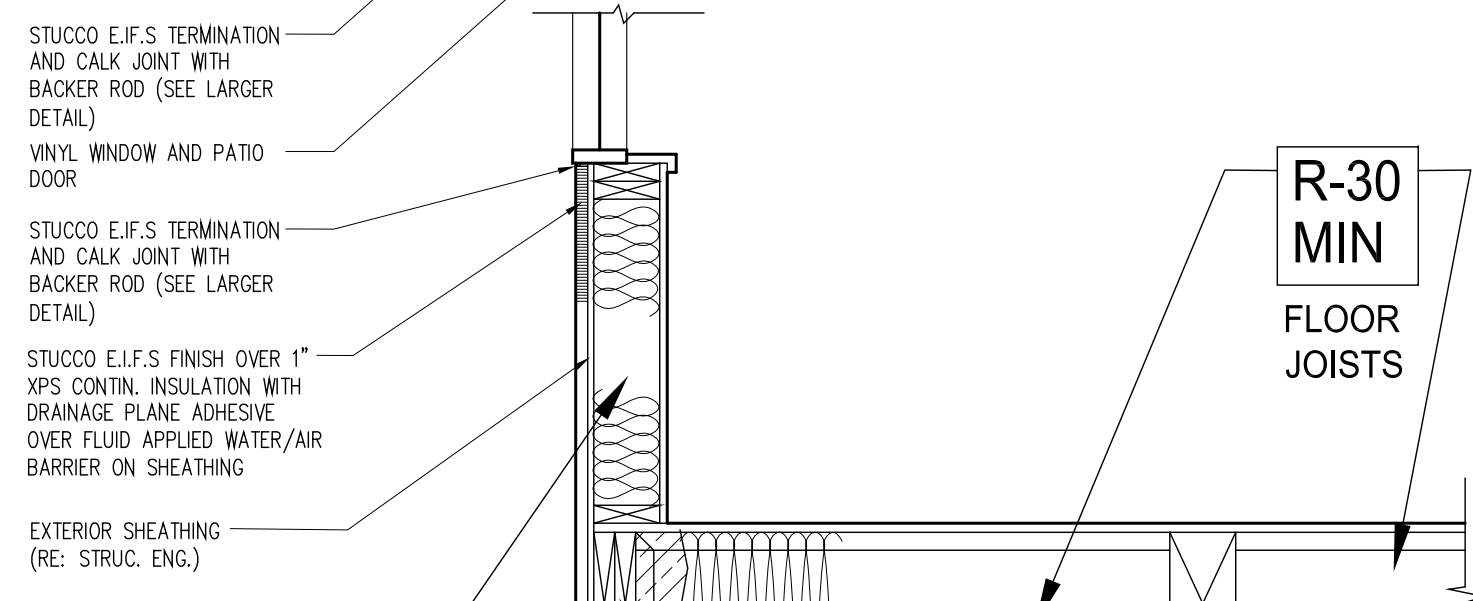
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 SUMMER)



2 NORTH ELEVATION
 A3.2 3/16"=1'-0"

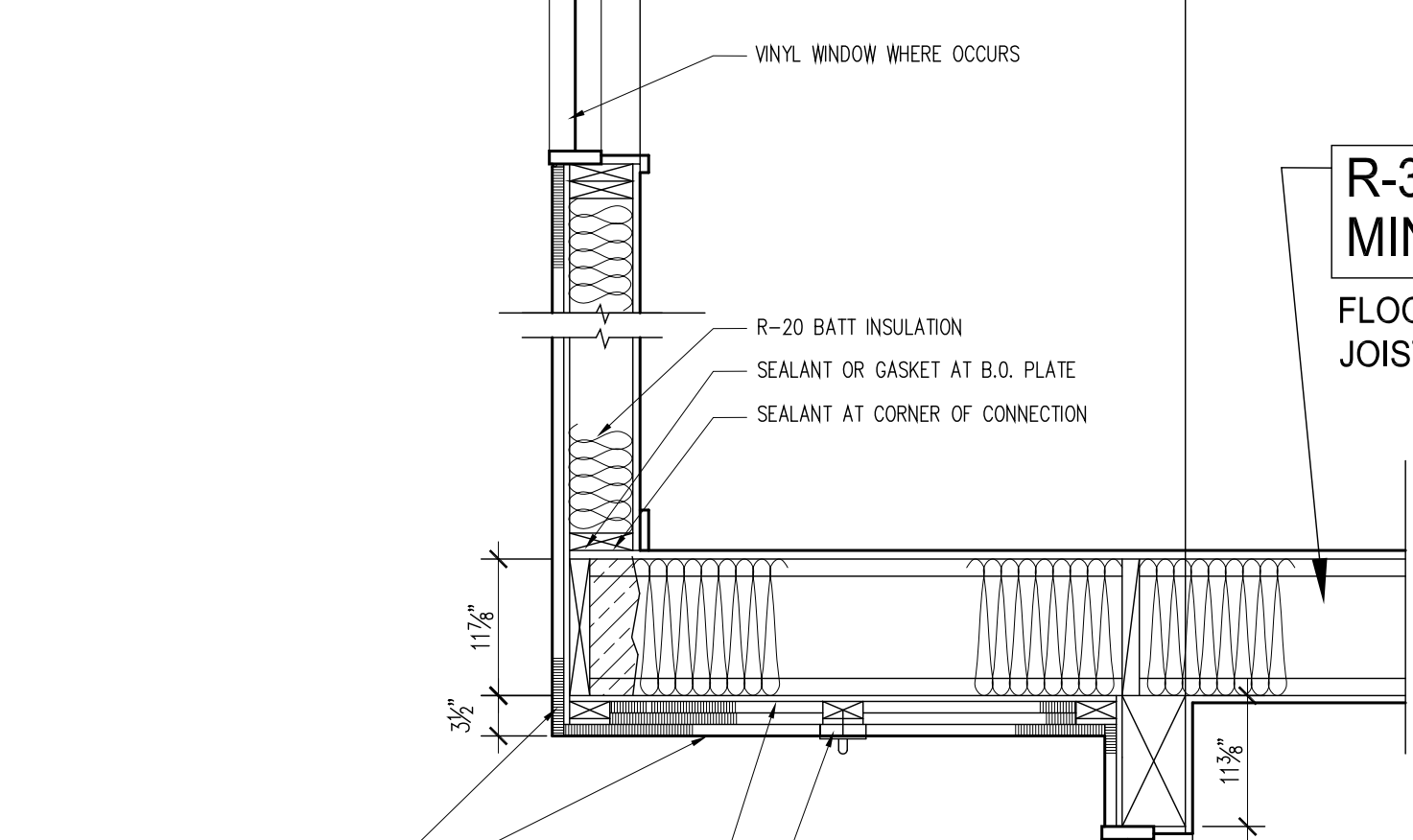


R-60 MIN
UN-VENTED ROOF JOIST

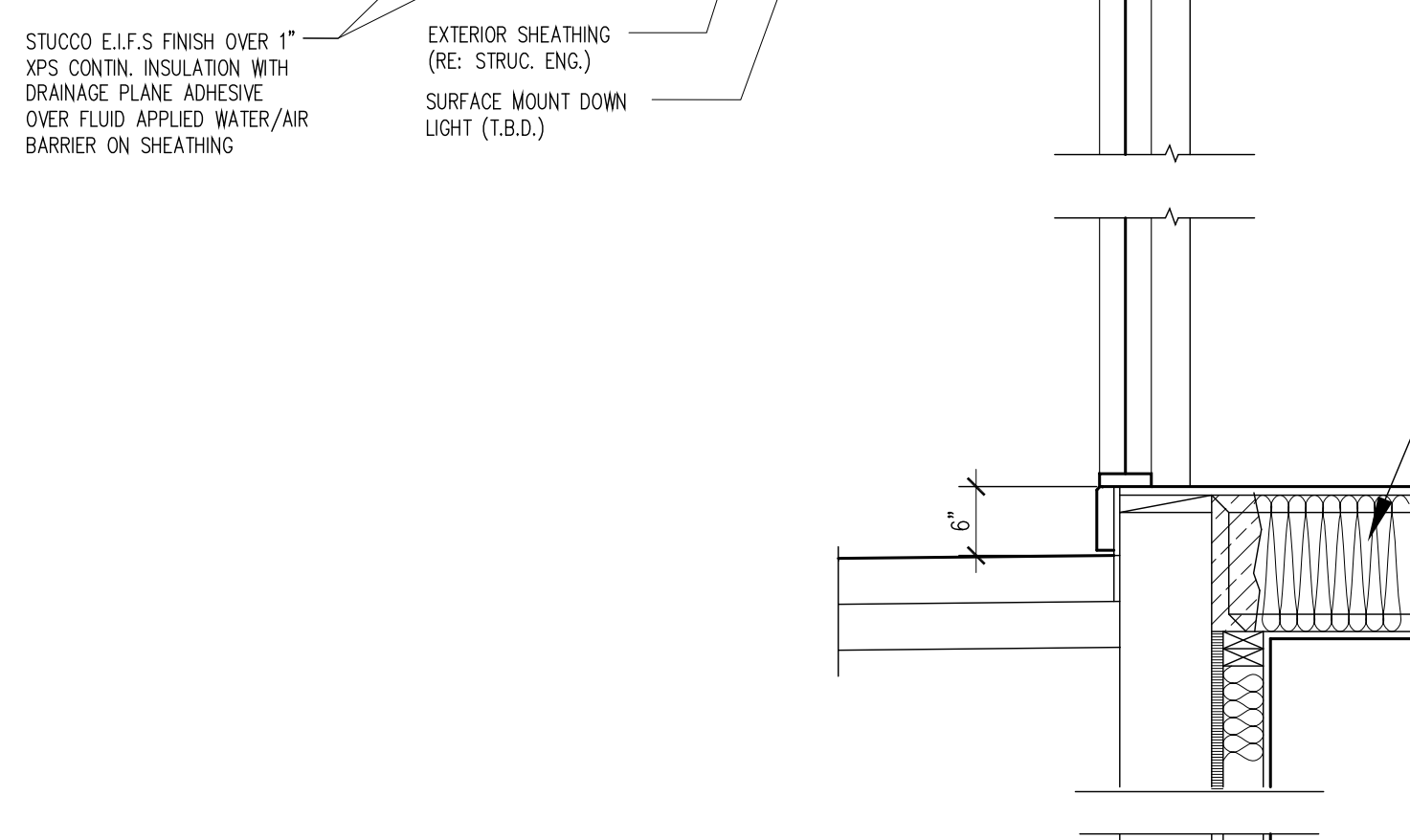


R-30 MIN
FLOOR JOISTS

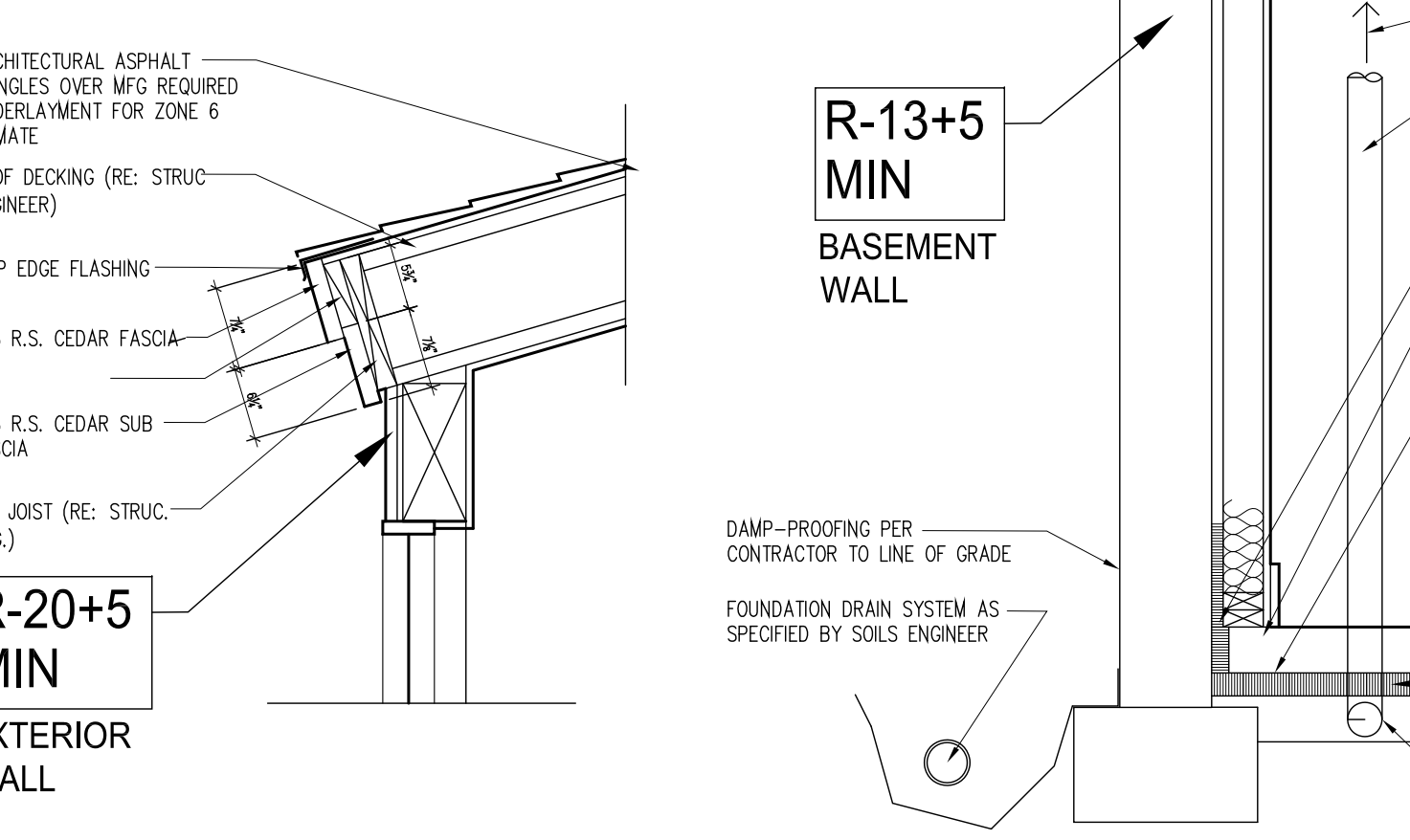
R-20+5 MIN
EXTERIOR WALL



R-30 MIN
FLOOR JOISTS

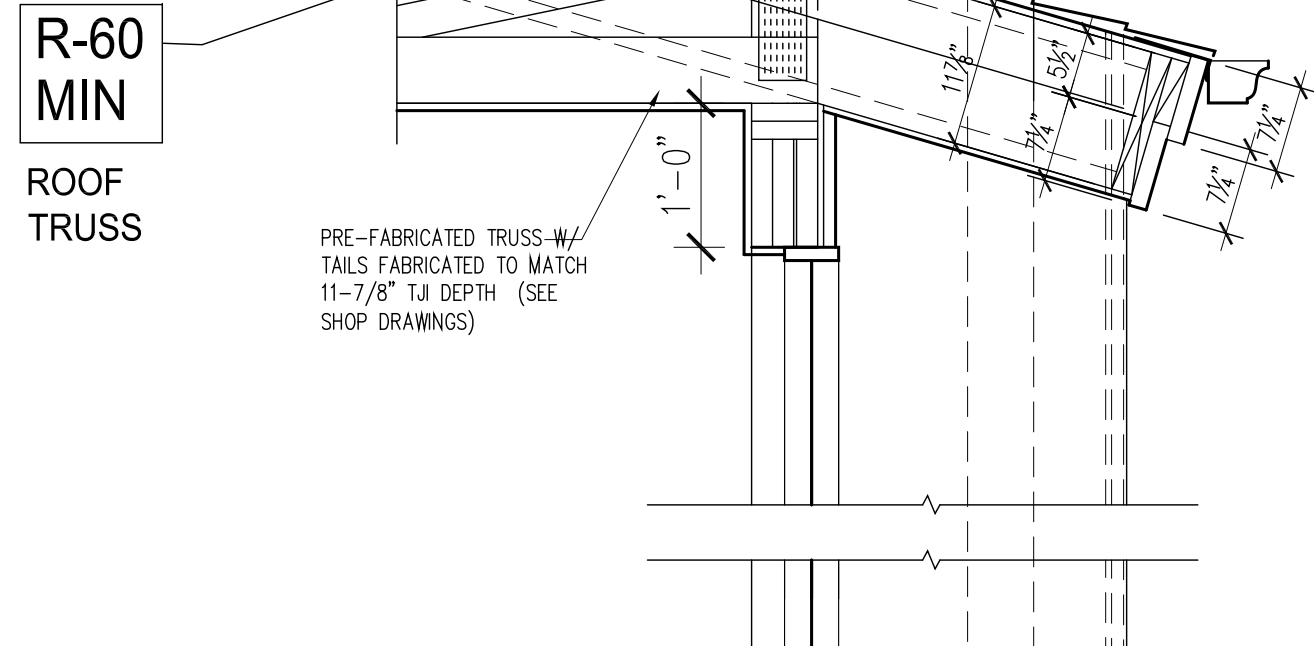


R-30 MIN
FLOOR JOISTS

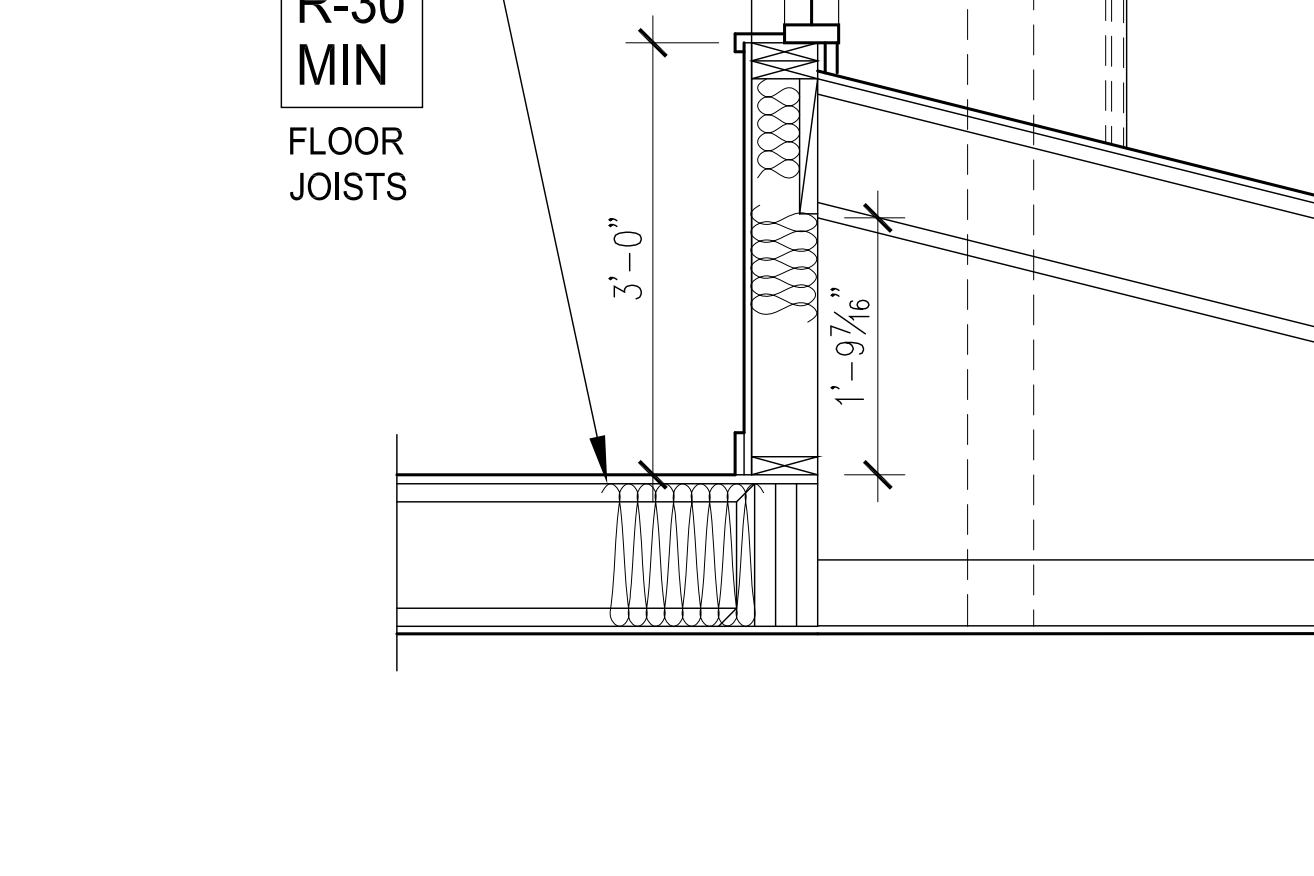


R-13+5 MIN
BASEMENT WALL

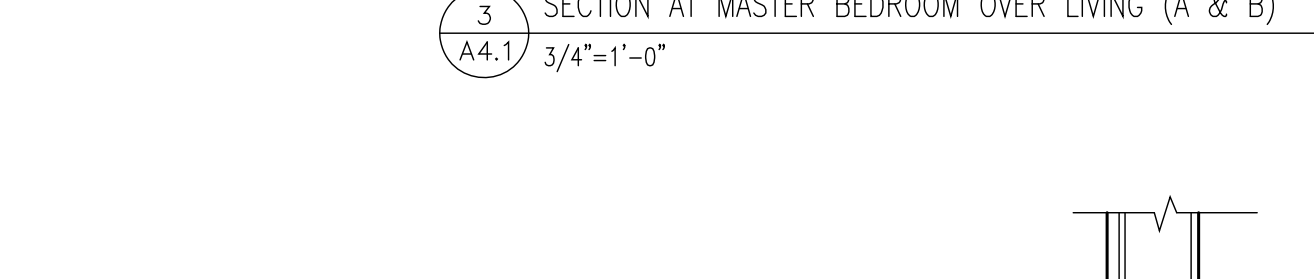
R-10 MIN
FLOOR SLAB



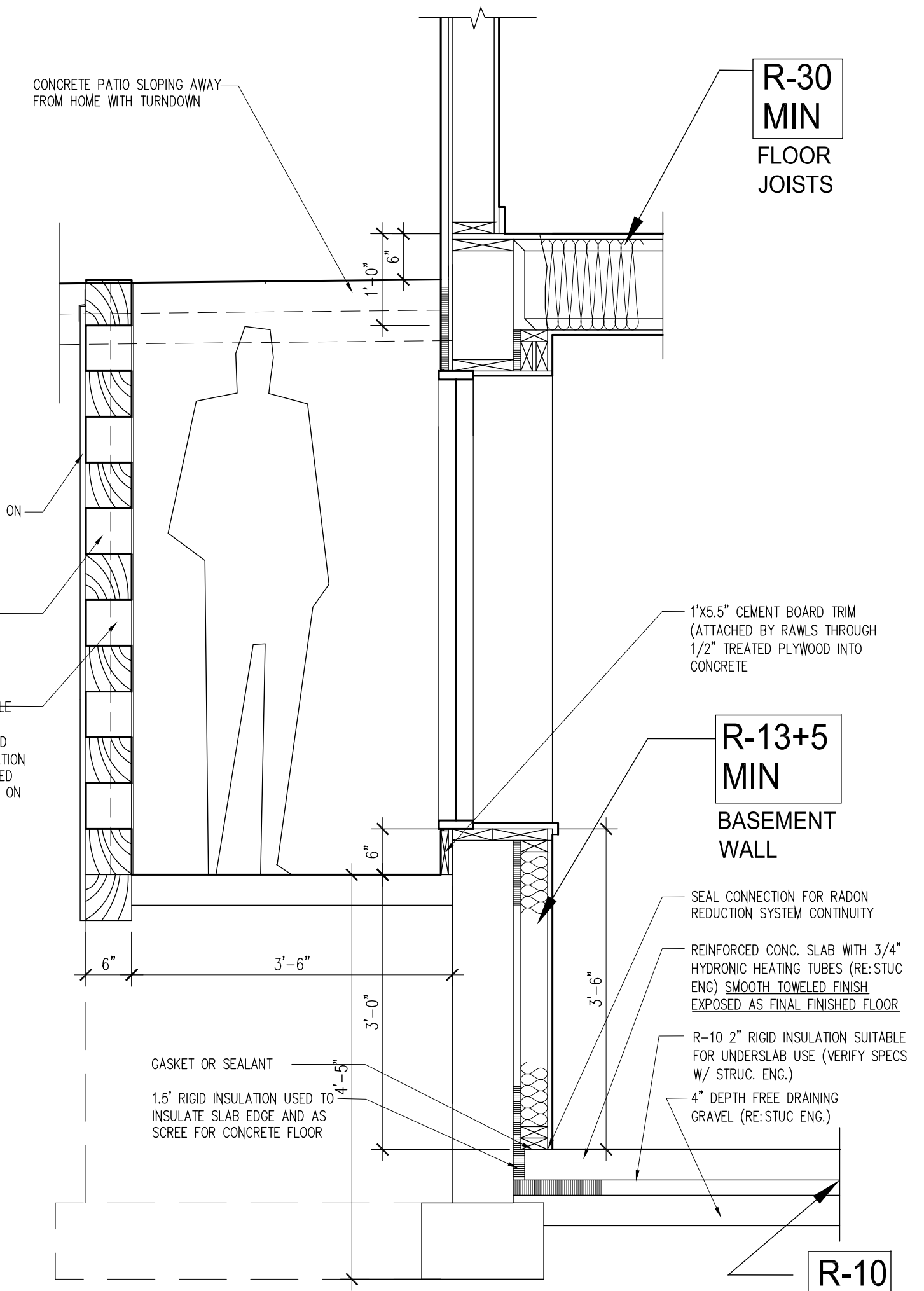
R-60 MIN
ROOF TRUSS



R-30 MIN
FLOOR JOISTS



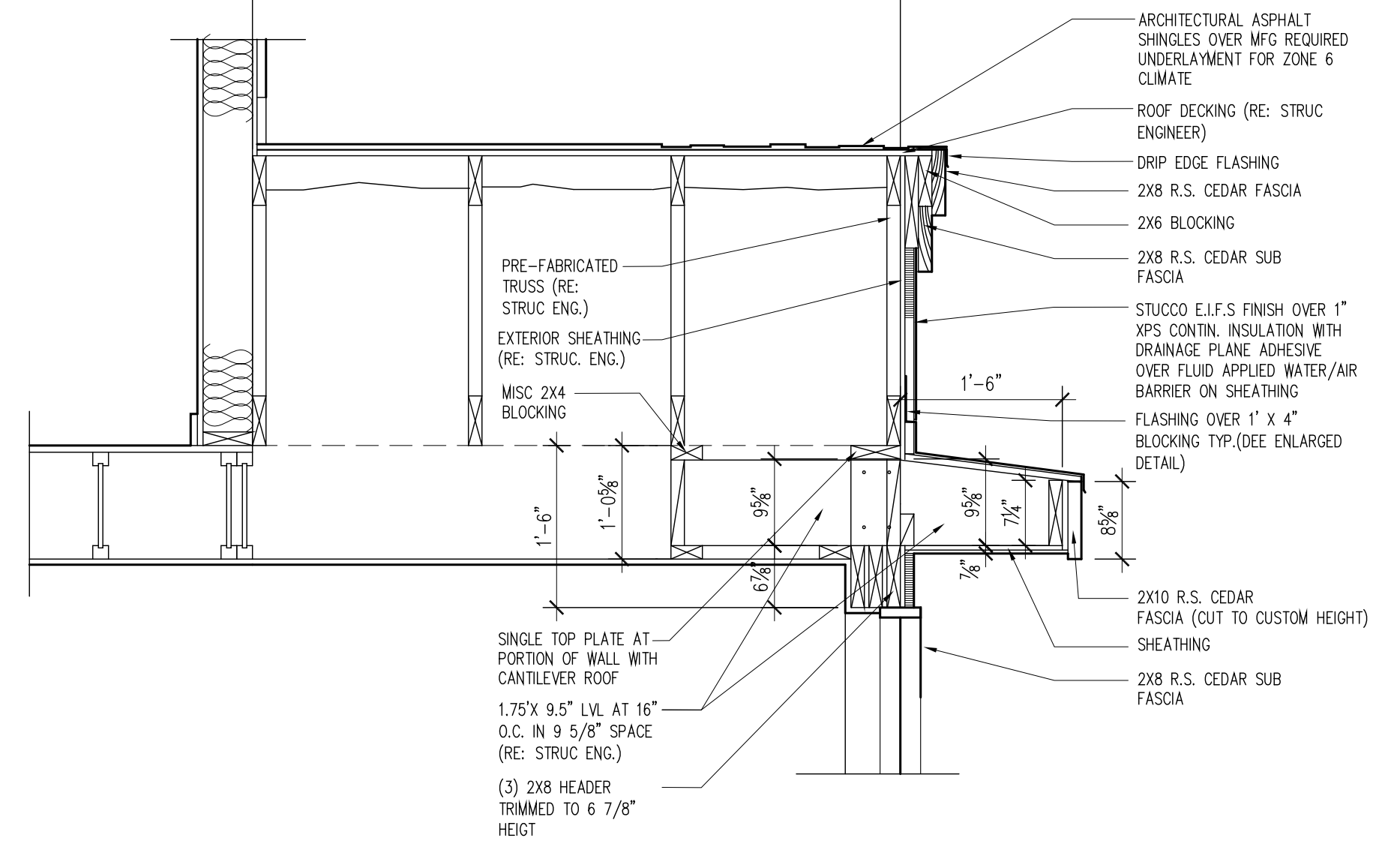
R-30 MIN
FLOOR JOISTS



R-30 MIN
FLOOR JOISTS

R-13+5 MIN
BASEMENT WALL

R-10 MIN
FLOOR SLAB



R-60 MIN
ROOF TRUSS

R-10 MIN
FLOOR SLAB

R-13+5 MIN
BASEMENT WALL

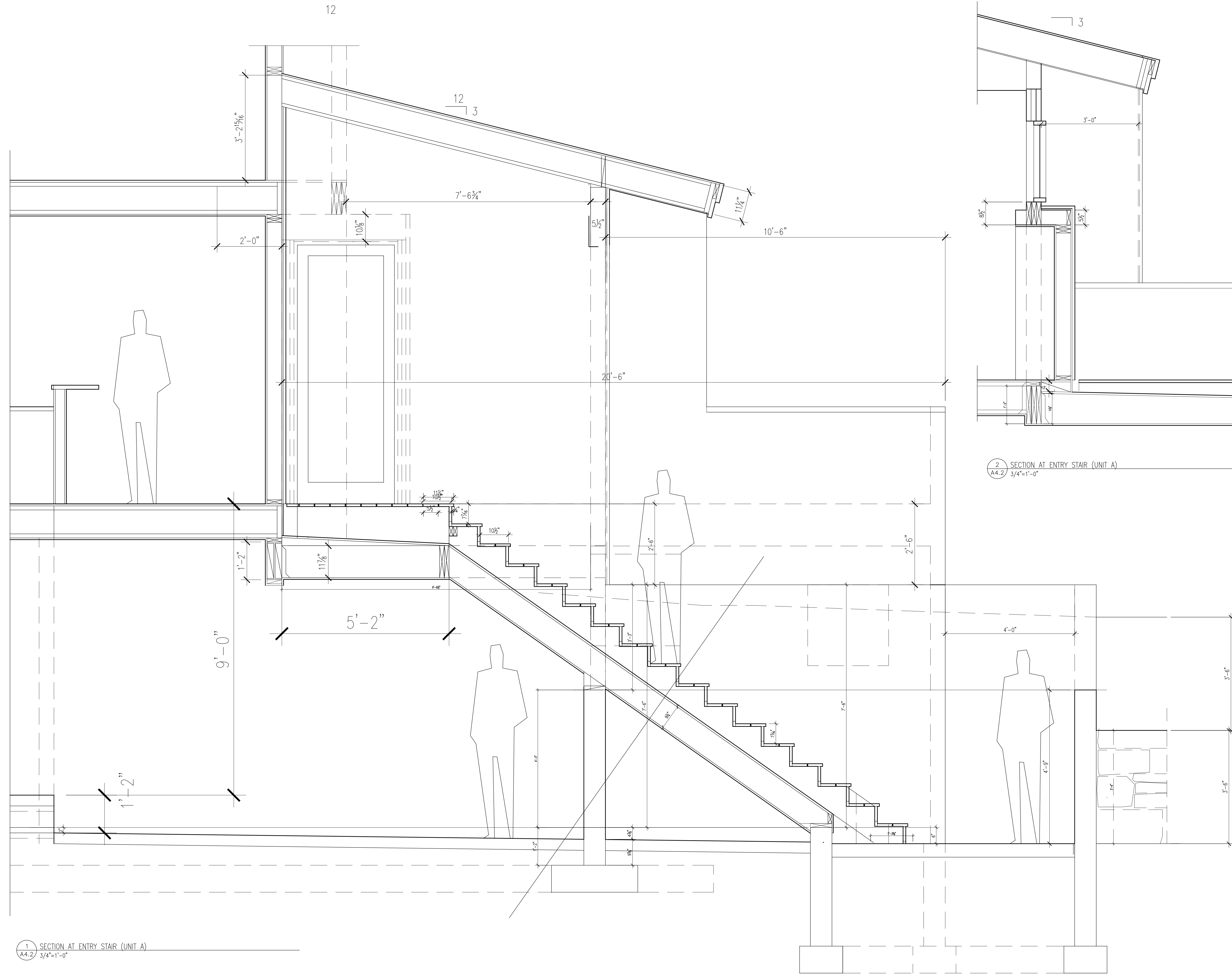
R-10 MIN
FLOOR SLAB

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2-9-24
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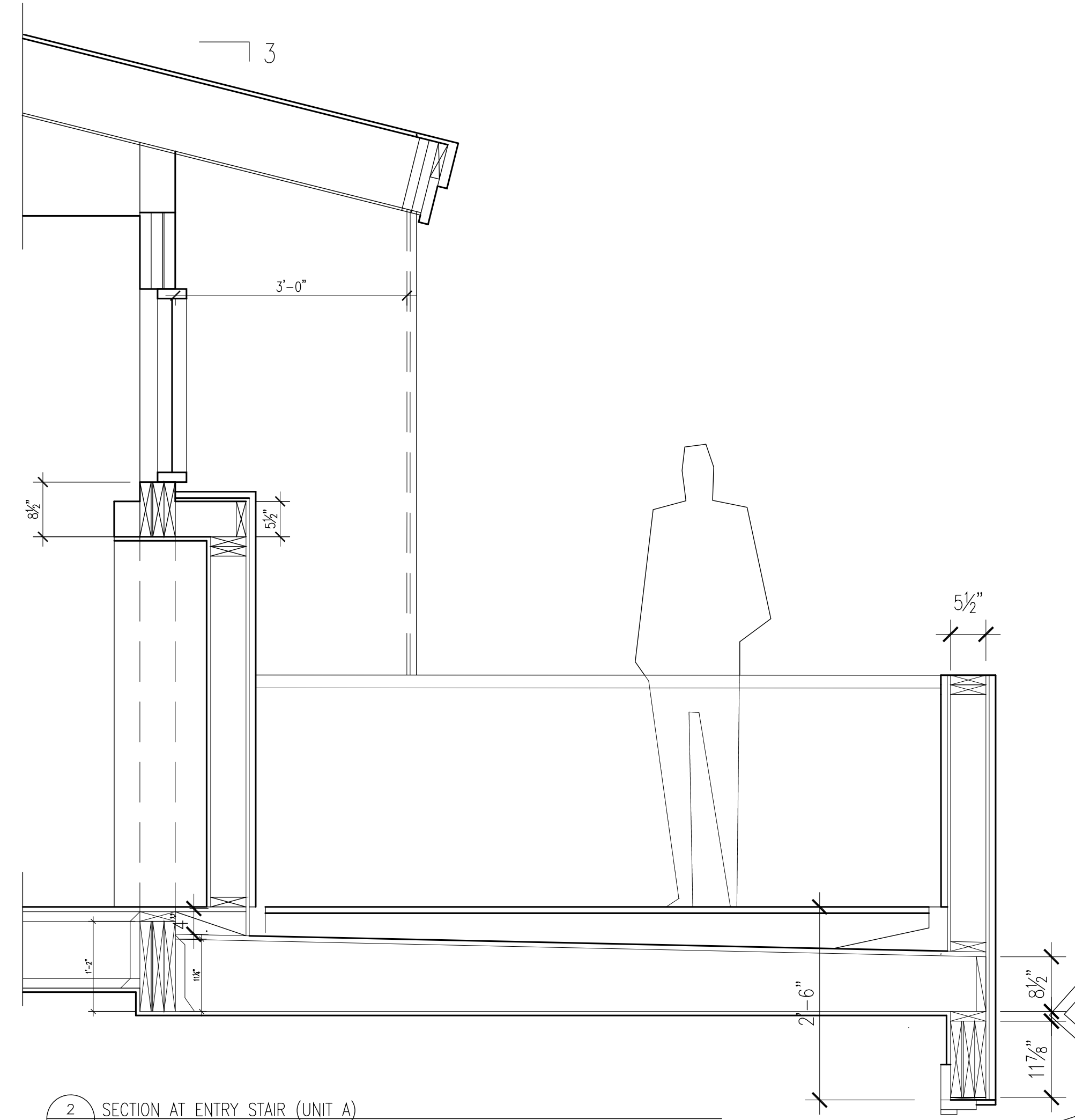
CONDITIONAL USE AND DRC APPLICATION SUBMITTAL
DUPLEX AT 362 N. TAYLOR AVE
LOTS 1 & 2, BLOCK C, TAYLORS ADDITION TO THE TOWN OF MINTURN, CO

A4.1
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11-30-23

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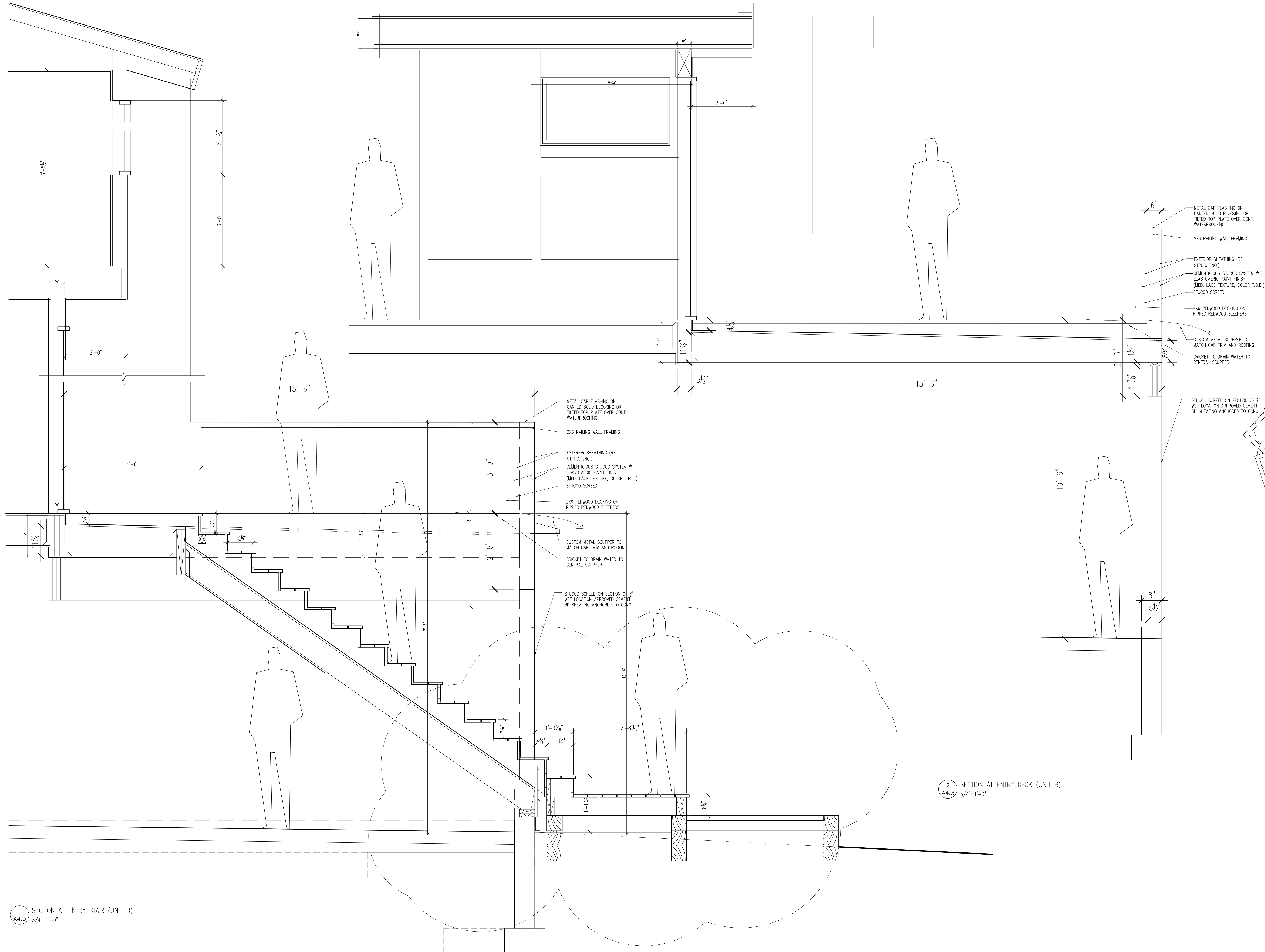


1 SECTION AT ENTRY STAIR (UNIT A)
A4.2 3/4"=1'-0"



2 SECTION AT ENTRY STAIR (UNIT A)
A4.2 3/4"=1'-0"

1/2" REVISION
2-9-24
PRELIMINARY
11-30-23

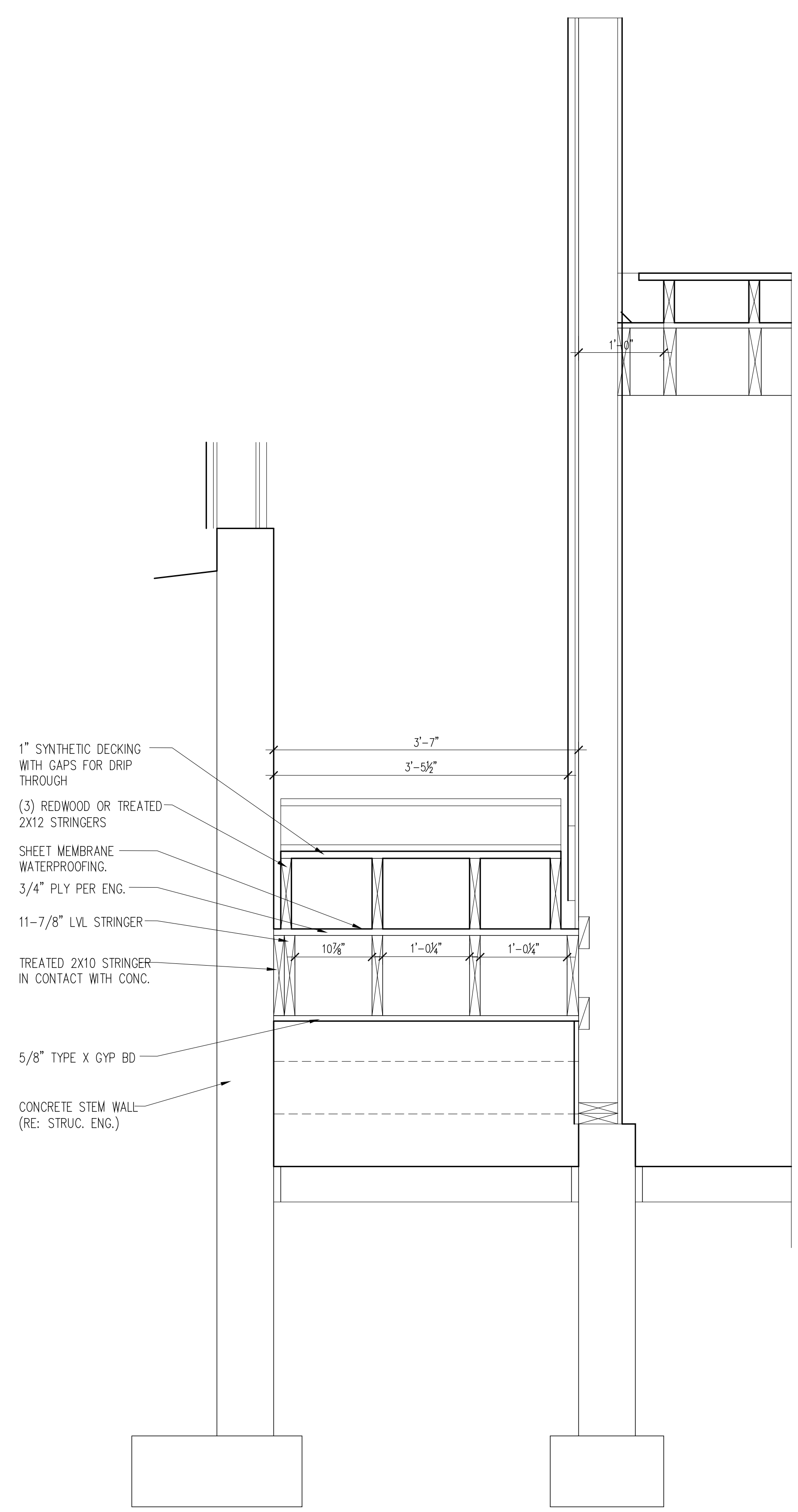


1 SECTION AT ENTRY STAIR (UNIT B)
 A4.3 3/4"=1'-0"

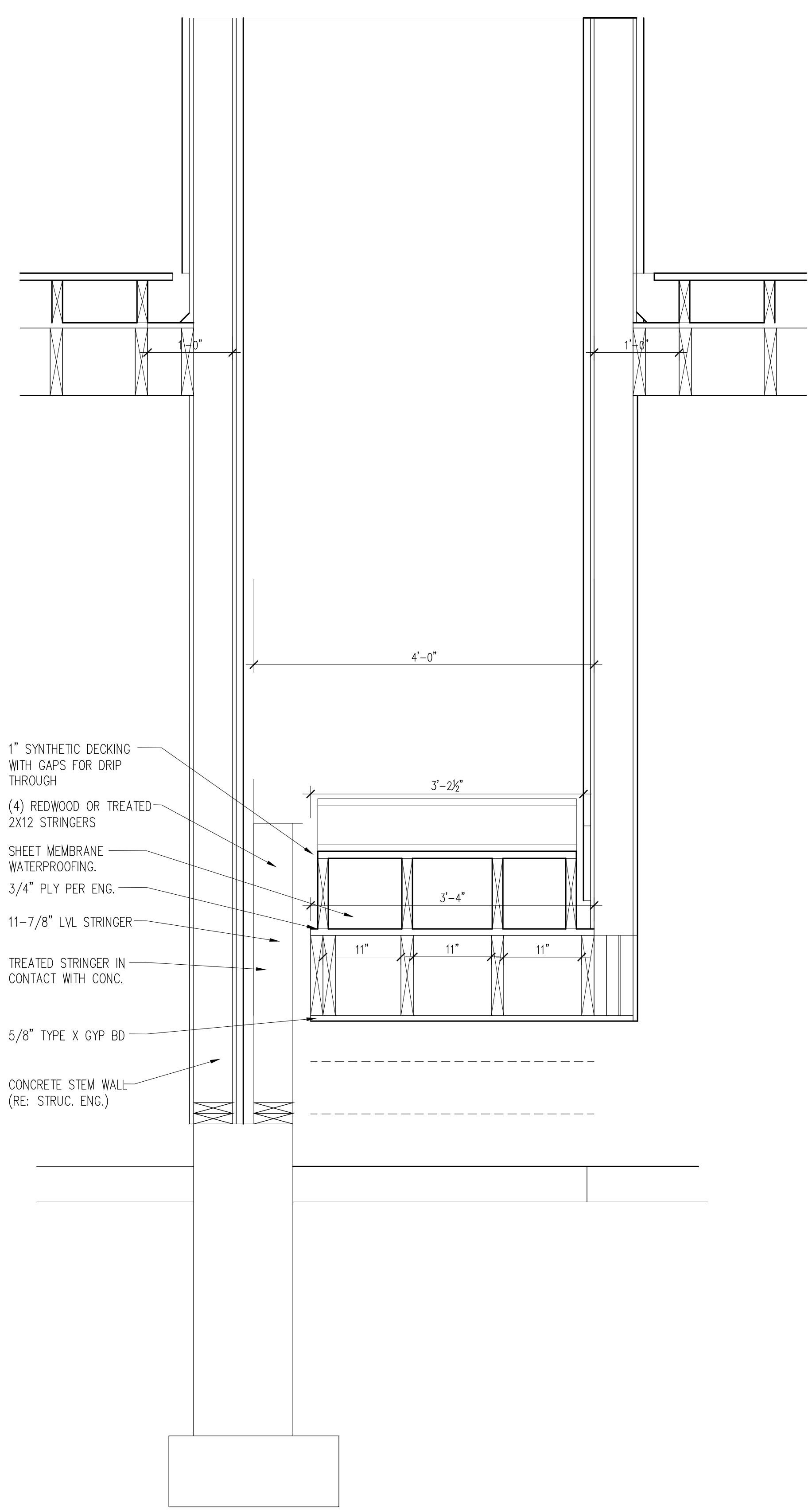
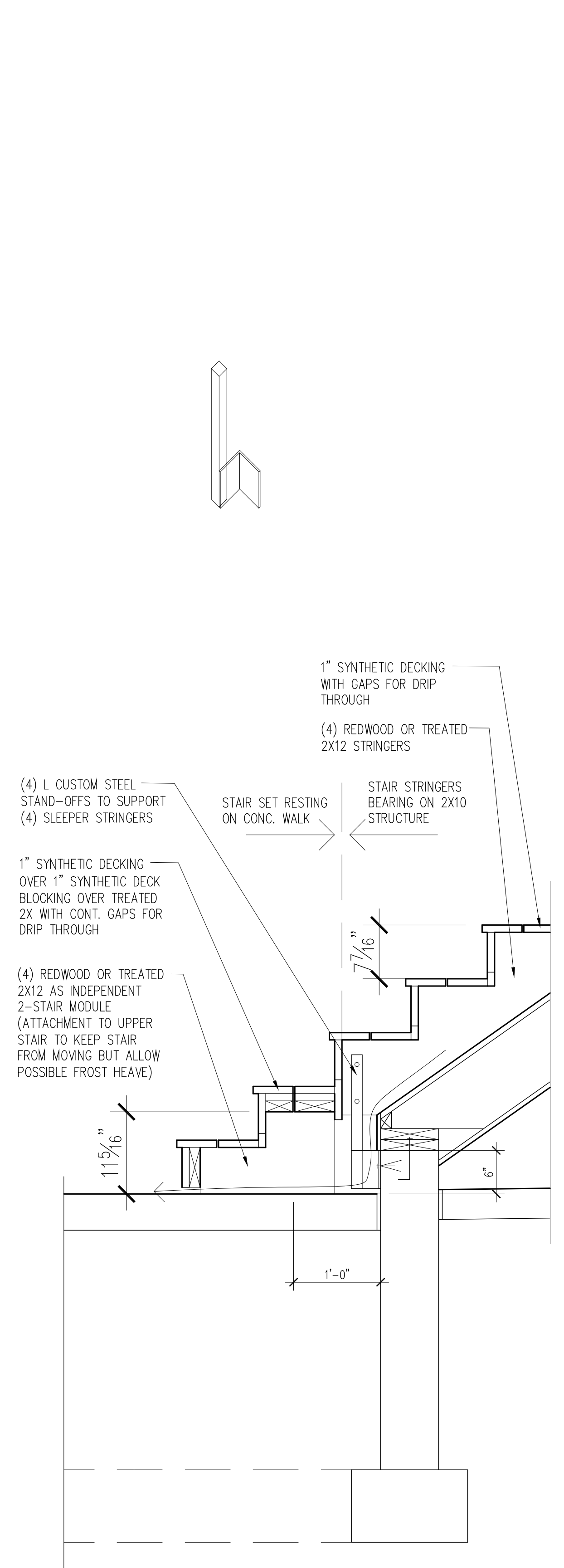
2 SECTION AT ENTRY DECK (UNIT B)
 A4.3 3/4"=1'-0"

REVISED
 2-9-24
 PRELIMINARY
 11-30-23

**REVISED
2-9-24**



7 ENTRY STAIR BASE-NORTH UNIT
 S2.3 1"=1'-0"



7 ENTRY STAIR BASE-NORTH UNIT
 S2.3 1"=1'-0"