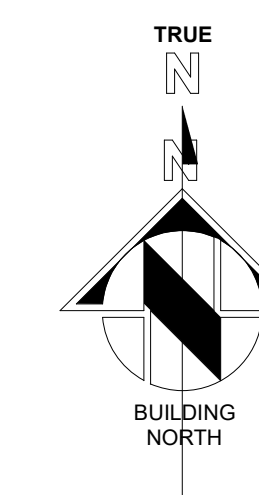


Project No:  
2215

Sheet No:  
A0.0

## VICINITY MAP

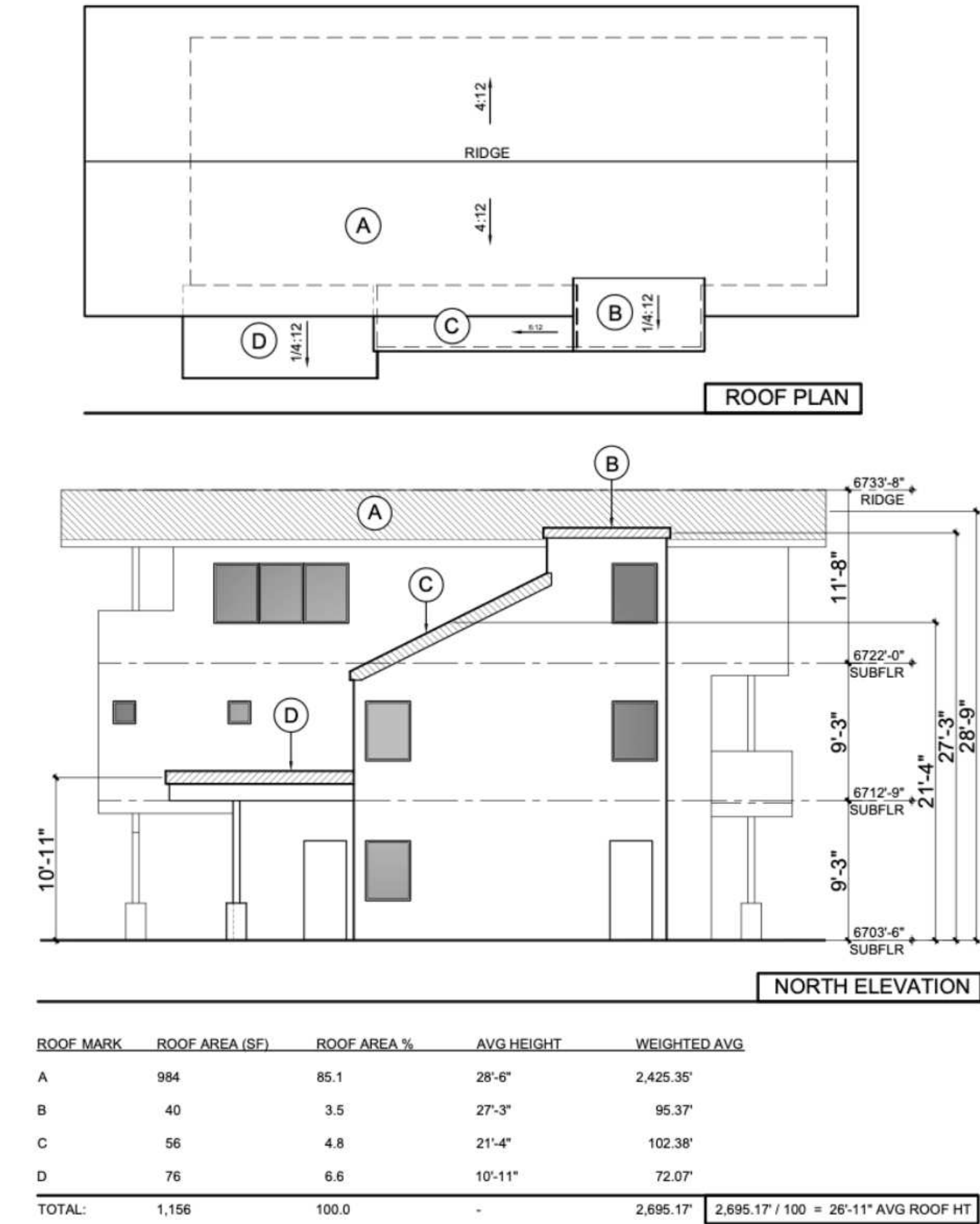


DESIGN REVIEW BOARD REVISED  
03/12/2025

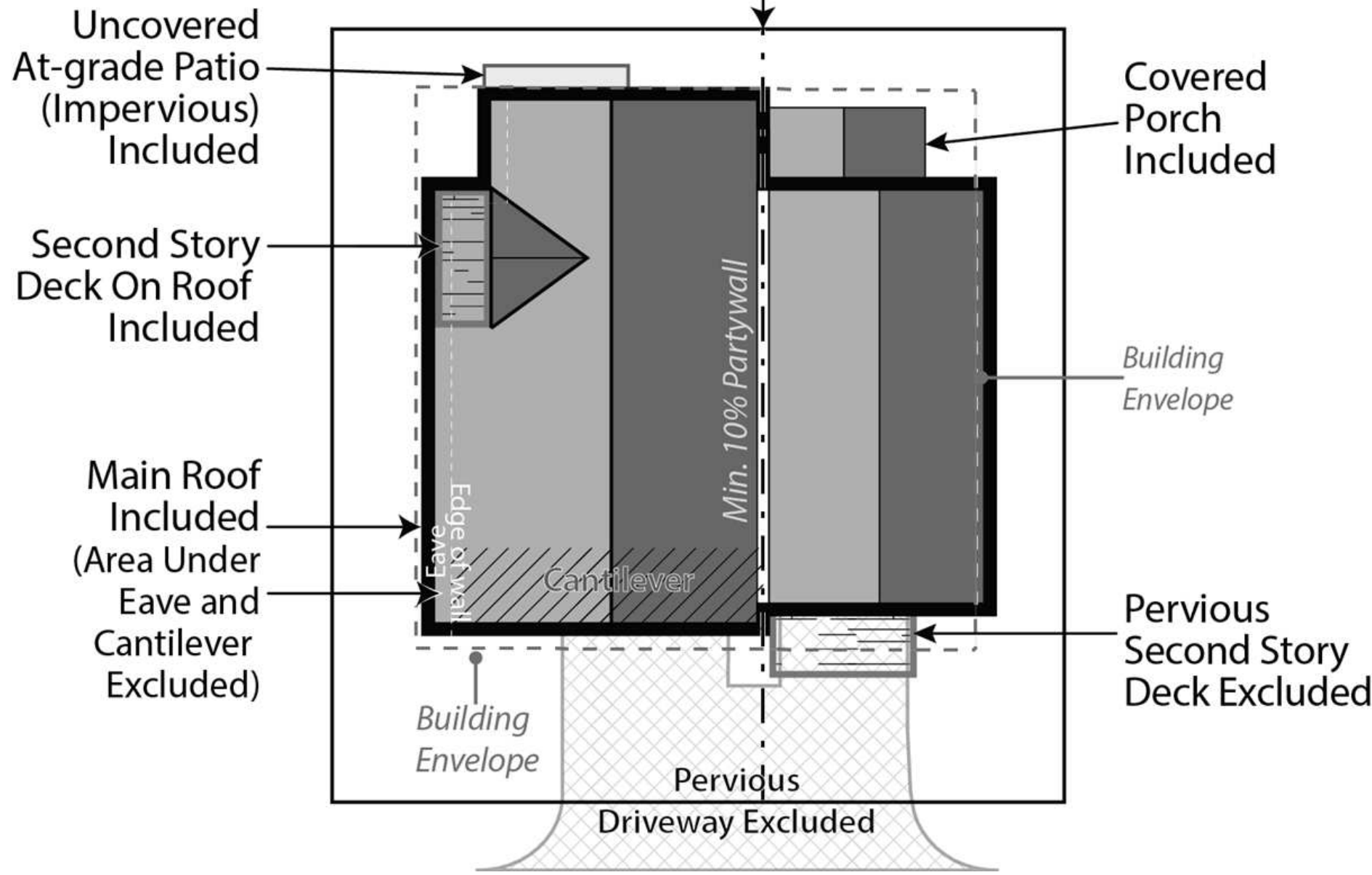


**BELDEN PLACE PUD GUIDE INFORMATION**  
The following is an abbreviated version of information found in the PUD guide.

**Building Height.** Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



**Site Coverage.** Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



**BUILDING PLACEMENT AND ENVELOPES**

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

**1. SINGLE-FAMILY DETACHED**

- a. Style
- (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
  - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
    - i. Roof forms/lines and profiles
    - ii. Varied window and door styles
    - iii. Varied entry treatments and locations including porches, columns, etc.
    - iv. Two or three story homes
    - v. Second or third story decks or balconies
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
  - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
  - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

**2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES**

- a. Style
- (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
  - (2) Units may be multi-stories.
  - (3) Units may be divided horizontally (townhomes) or vertically (flats).
  - (4) Second story decks or balconies permitted.
  - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
  - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
  - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

**3. MATERIALS**

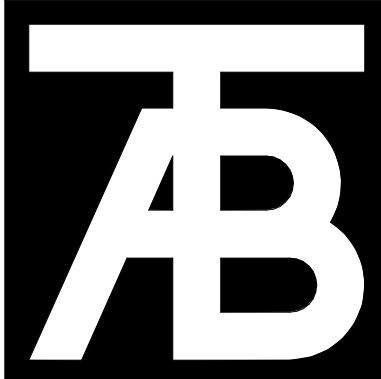
- a. Roofing materials are limited to the following:
- (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
  - (2) Standing seam metal.
  - (3) Asphalt shingles.
  - (4) Imitation (composite or similar); or, real slate tiles.
  - (5) Non-reflective solar tiles that mimic the above-mentioned products
  - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
- (1) Metal
  - (2) Wood
  - (3) Composite siding
  - (4) Fiber cement board (commonly known as "Hardie Board")
  - (5) Stucco.
  - (6) Any other recommended FireWise materials similar to the above-mentioned products.
  - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
- (1) Structures with multiple garage doors must always have identical, matching doors.
  - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
  - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

**I. LANDSCAPING – See also PUD Landscaping Plan**

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. *See also official Landscaping Plan for Belden Place.*
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



**TAB Associates**  
*The Architectural Balance*  
0058 Edwards Village Blvd.  
Suite 210  
Edwards, CO 81832  
(970) 766-1470  
fax: (970) 766-1471  
email: tab@tab.net  
www.tabnet.com  
Civil Engineer  
Timberline Engineering  
(970) 963-9869  
Structural Engineer  
KRM Consultants, Inc.  
(970) 949-9391  
Mechanical Engineer  
Electrical Engineer

Seal

**Belden Place - Singel Family**  
**Lot 18 - 0010 Abby Road**  
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:  
DRB - 02/14/2025

Sheet Title:  
**PUD GUIDE**

Project No:  
2215

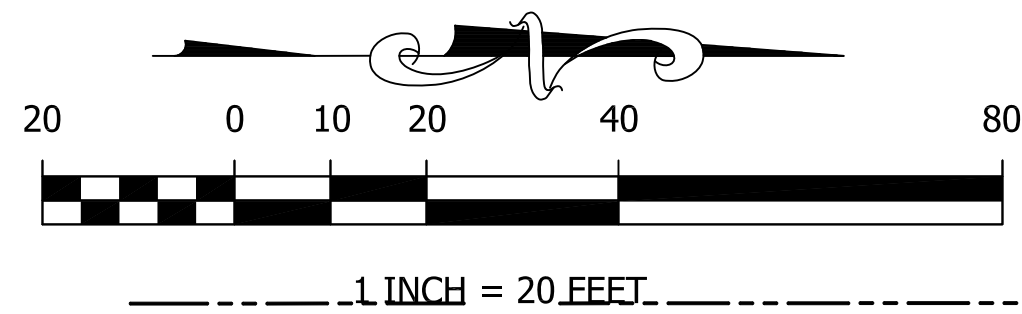
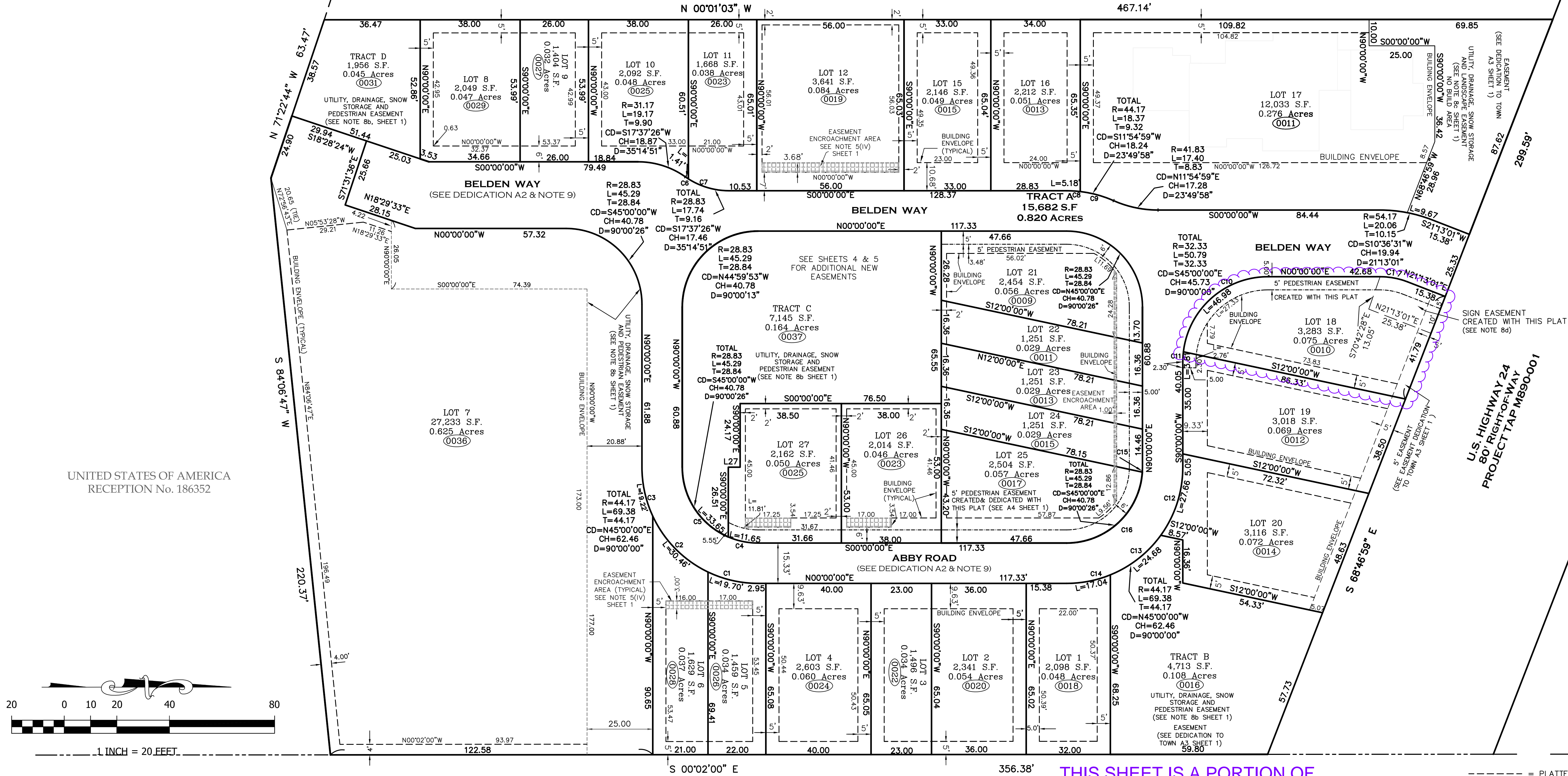
Sheet No:  
**A0.2**



FINAL PLAT  
BELDEN PLACE, P.U.D.  
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5  
SUBDIVISION

LOT 28  
SOUTH MINTURN ADDITION  
RECEPTION No. 163447



CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

UNITED STATES OF AMERICA  
RECEPTION No.246983

THIS SHEET IS A PORTION OF  
THE FINAL PLAT, REFER TO  
COMPLETE - FINAL PLAT,  
BELDEN PLACE PUD



Matthew S. Slagle PLS 34998  
Professional Land Surveyor  
State of Colorado



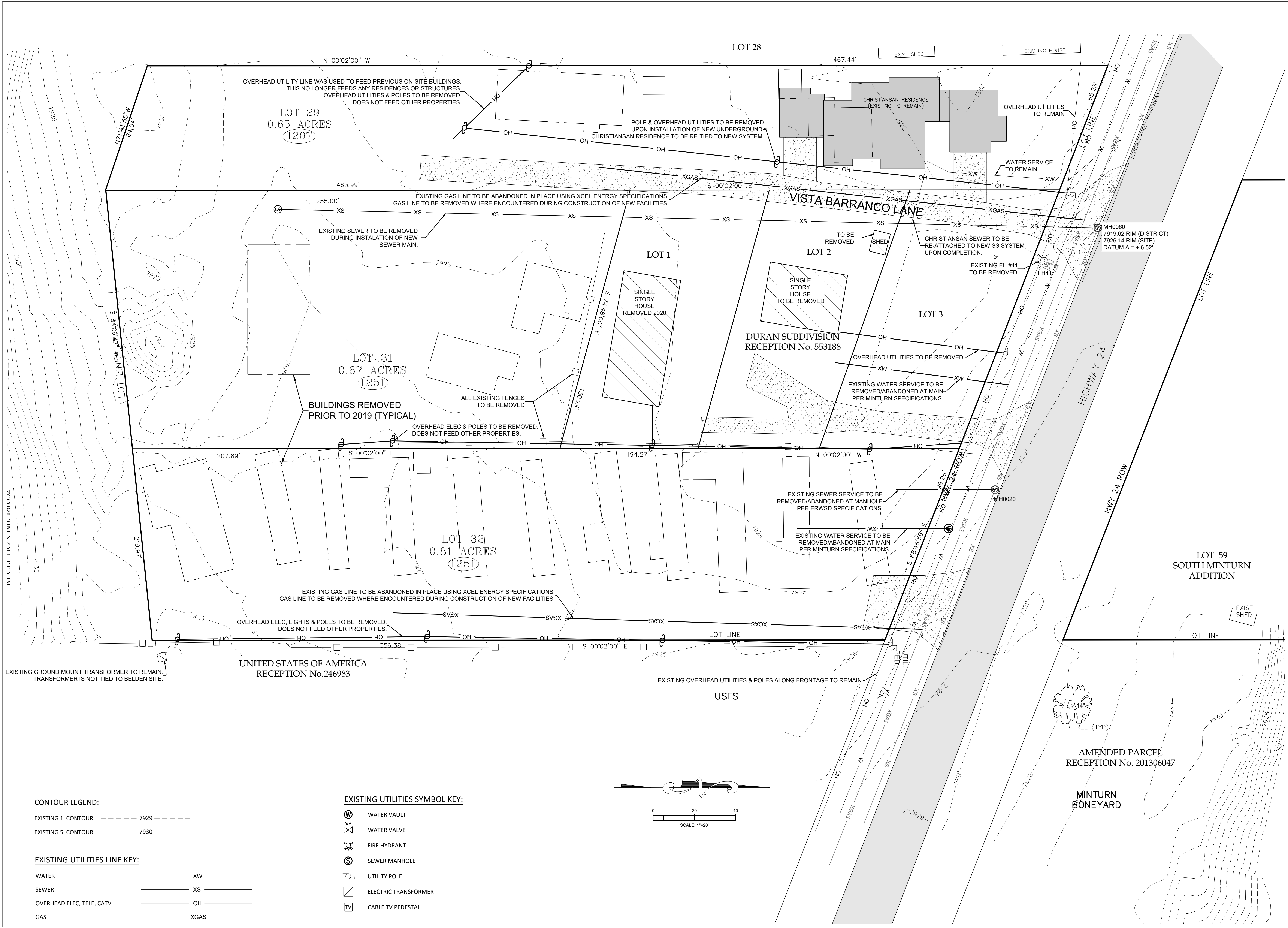
SLAGLE SURVEY SERVICES  
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631  
970.471.1499 Office matthew@slaglesurvey.com  
www.SlagleSurvey.com

FINAL PLAT  
BELDEN PLACE, P.U.D.  
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.





CONTOUR LEGEND:

EXISTING 1' CONTOUR - - - - - 7929 - - - - -  
EXISTING 5' CONTOUR - - - - - 7930 - - - - -

EXISTING UTILITIES LINE KEY:

WATER - - - - - XW - - - - -  
SEWER - - - - - XS - - - - -  
OVERHEAD ELEC, TELE, CATV - - - - - OH - - - - -  
GAS - - - - - XGAS - - - - -

EXISTING UTILITIES SYMBOL KEY:

W WATER VAULT  
WV WATER VALVE  
F FIRE HYDRANT  
S SEWER MANHOLE  
U UTILITY POLE  
E ELECTRIC TRANSFORMER  
TV CABLE TV PEDESTAL

**TIMBERLINE**  
ENGINEERING  
CIVIL STRUCTURAL

218 E. Valley Rd.  
STE 104-PMB 177  
Carbondale, Colorado 81623  
p 970.963.9869  
timberlineengineering@gmail.com

COLORADO REGISTERED  
PROFESSIONAL ENGINEER  
39776

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Belden Place - 12 Plex (Flats)  
Lot 7

0036 Abby Road, Minturn, Colorado 81645

NOT FOR  
CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title:  
EXISTING  
SITE &  
DEMOLITION  
PLAN

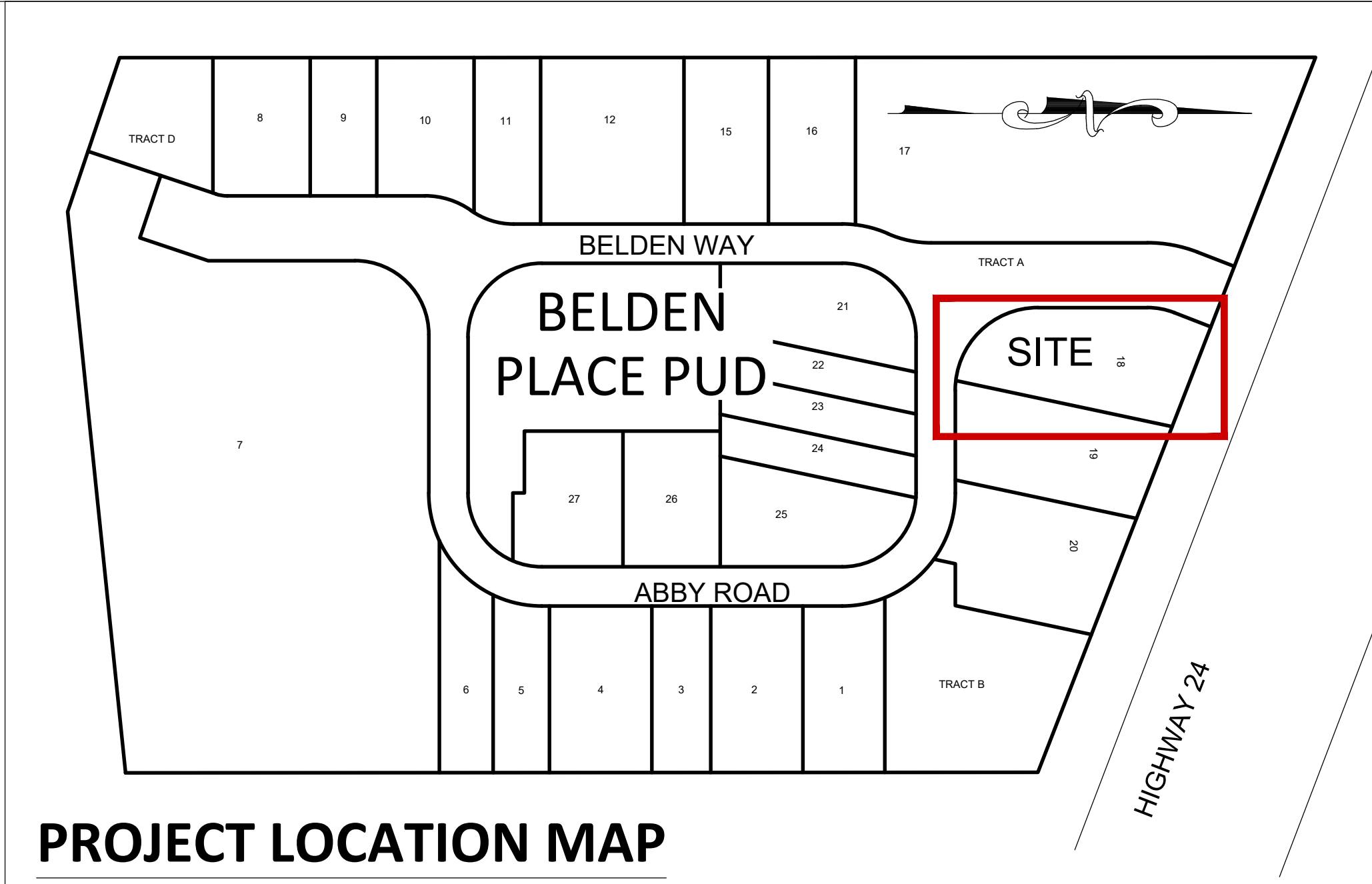
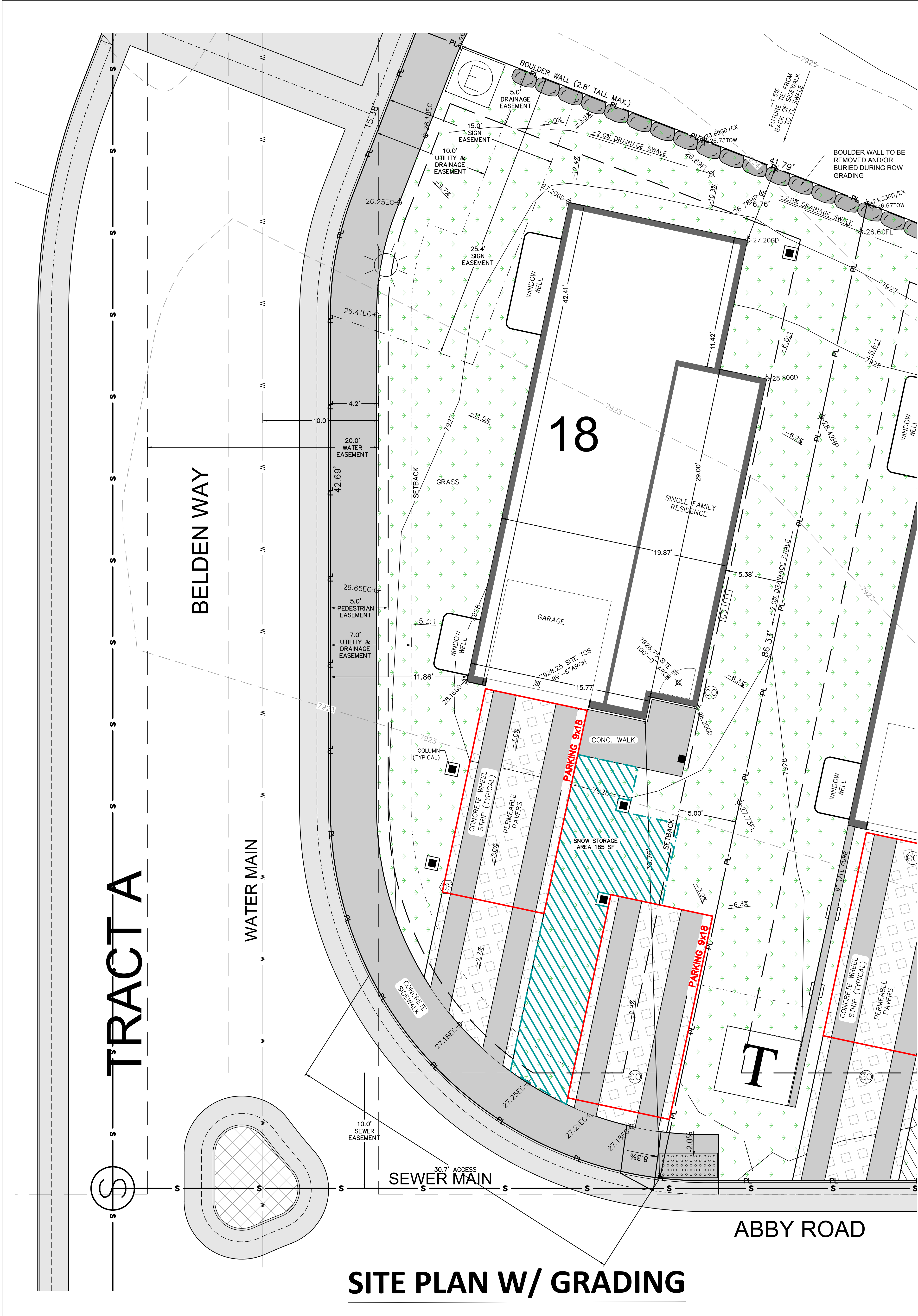
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EARTHWORK:  
5175 CYD CUT  
8130 CYD FILL  
2955 CYD NET <FILL>  
(DOES NOT INCLUDE ONSITE HAUL-IN  $\pm 1000$  CYD)





PROJECT LOCATION MAP

# UNIT 18

## SHEET INDEX:

- C.1 SITE PLAN W/ GRADING
- C.2 UTILITY PLAN & EROSION CONTROL PLAN
- C.3 EROSION CONTROL DETAILS

## CONTACTS

Owner/contractor:	Peter Murray Group Brian Claydon 970 390-3489
Architect:	TAB Associates, Inc. 56 Edwards Village Boulevard Edwards, CO 81632 970 766-1470
Structural Engineer:	KRM Consultants, Inc. PO Box 4572 Vail, CO 81658 970 949-9391
Geotechnical Engineer:	Kumar & Associates, Inc. 5020 County Road 154 Glenwood Springs, CO 81601 970 345-7988
Water:	Town of Minturn Public Works Arnold Martinez 970 445-2416
Sewer:	Eagle River Water & Sanitation District 970 477-5451
Electric & Gas:	Excel Energy Electrical Emergency 800 895-1999 Gas Emergency 800 895-2999
Call before you dig:	811

## LINE KEY:

WATER	W
SEWER	S
ELECTRIC	UEL
GAS	GAS
TELEPHONE	TEL
CATV	CTV
PROPERTY LINE	PL

## CONTOUR LEGEND:

EXISTING 1' CONTOUR	7929
EXISTING 5' CONTOUR	7930
PROPOSED 1' CONTOUR	7929
PROPOSED 5' CONTOUR	7930

## PROPOSED UTILITY SYMBOL KEY:

WATER VAULT	STREET LIGHT
WATER VALVE	
FIRE HYDRANT	
SEWER MANHOLE	
UTILITY POLE	
ELECTRIC TRANSFORMER	
CABLE TV PEDESTAL	
ELECTRIC SPICE VAULT	
WATER SERVICE CURB STOP	
SANITARY SEWER CLEANOUT	

## ABBREVIATION KEY

AD	= AREA DRAIN
CFS	= CUBIC FEET PER SECOND
CONC	= CONCRETE
EC	= EDGE OF CONCRETE
EOA	= EDGE OF ASPHALT
EP	= EDGE OF PAVEMENT
EX	= EXISTING
FF	= FINISHED FLOOR
FG	= FINISHED GRADE
FL	= FLOW LINE
GD	= GRADE/GROUND
HP	= HIGH POINT
LP	= LOW POINT
TBC	= TOP BACK OF CURB
TD	= TRENCH DRAIN
TOW	= TOP OF SLAB
TOW	= TOP OF WALL
TYP	= TYPICAL
WH	= WALL HEIGHT
TOW	= TOP BACK OF WALK
EL	= ELEVATION
TOP	= TOP OF PIPE
WV	= WATER VALVE
WW	= WINDOW WELL

**TIMBERLINE**  
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CIVIL, STRUCTURAL

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Carondelec, Colorado 81623  
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# Belden Place UNIT 18 - SINGLE FAMILY RESIDENCE

Minturn, Colorado

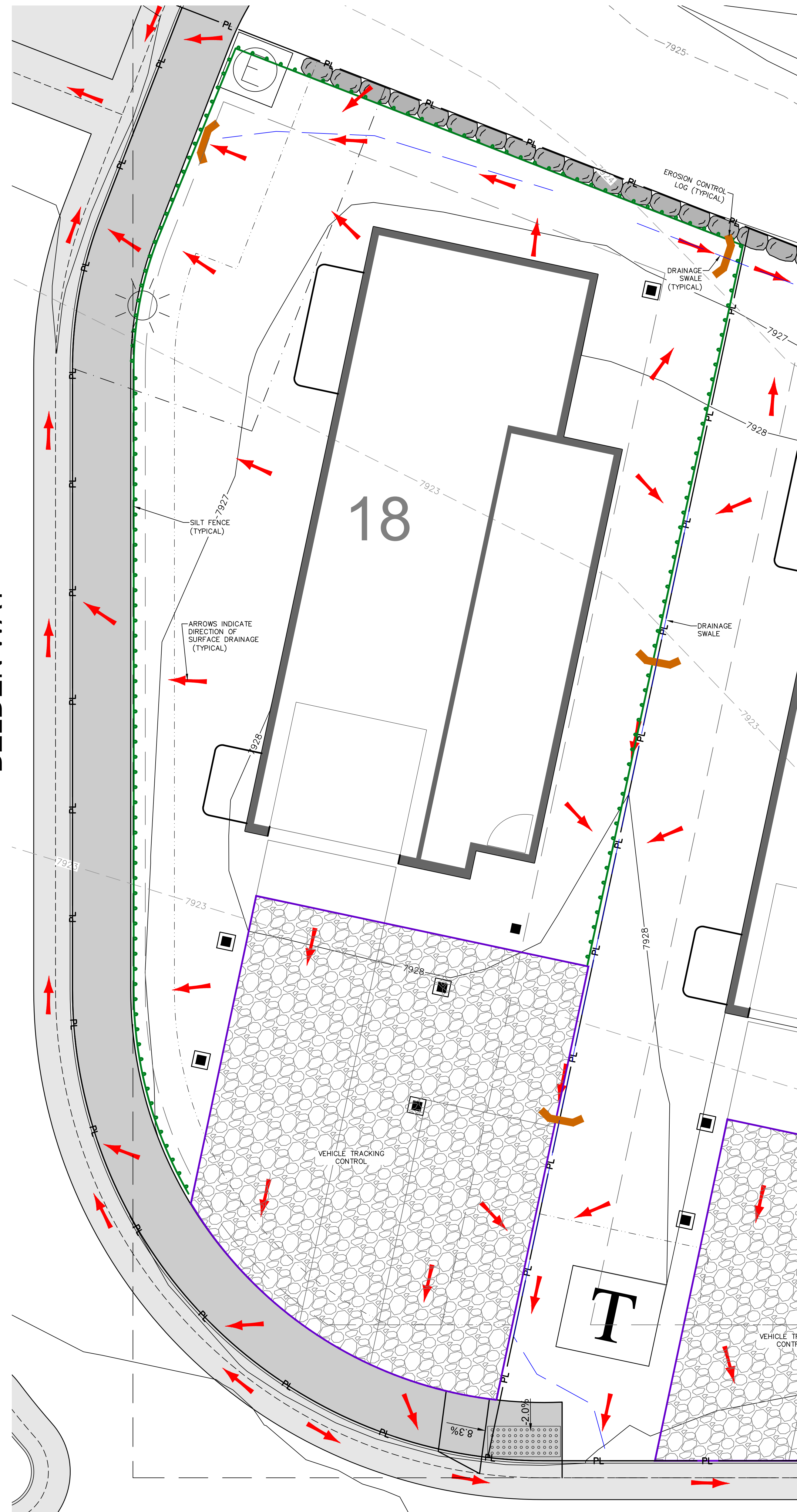
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DATE	REVISION
2/4/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:  
SITE PLAN

Sheet:  
C.1



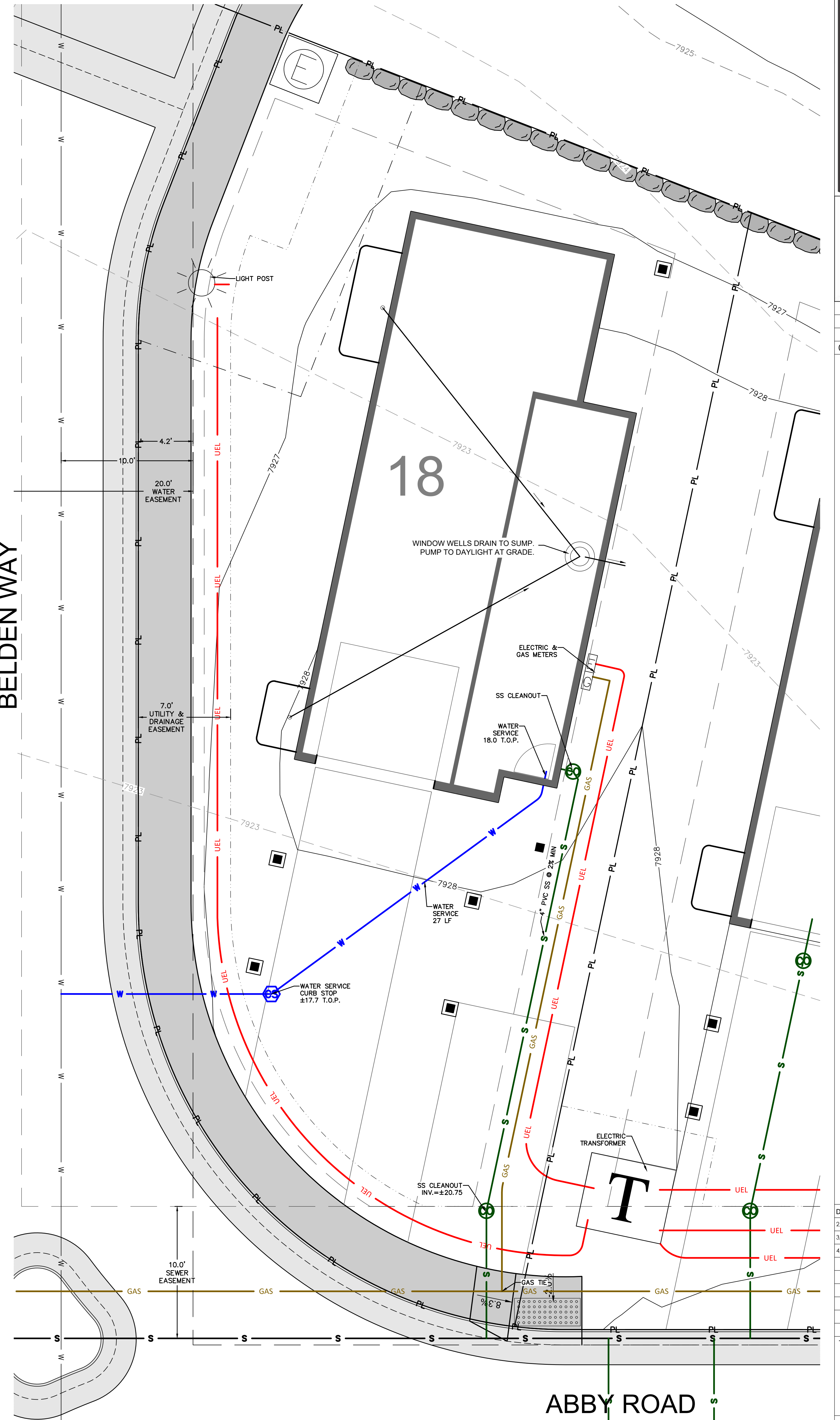
BELDEN WAY



ABBY ROAD

## EROSION CONTROL PLAN

BELDEN WAY



ABBY ROAD

## UTILITY PLAN

- NOTES:
1. WATER SERVICE LINES SHALL BE TYPE K COPPER
  2. WATER SERVICE CONNECTIONS ARE TO BE COMPRESSION OR SILVER-SOLDERED



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### Belden Place UNIT 18 - SINGLE FAMILY RESIDENCE

Minturn, Colorado

NOT FOR CONSTRUCTION

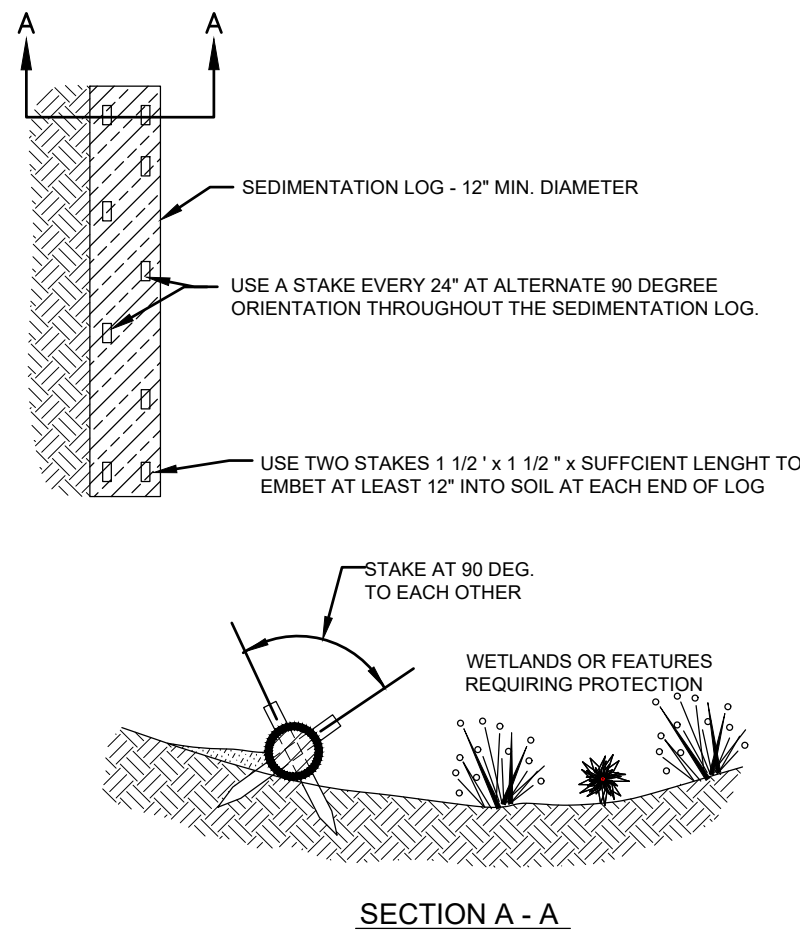
DATE	REVISION
2/4/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:  
UTILITY PLAN  
& EROSION  
CONTROL PLAN

Sheet:

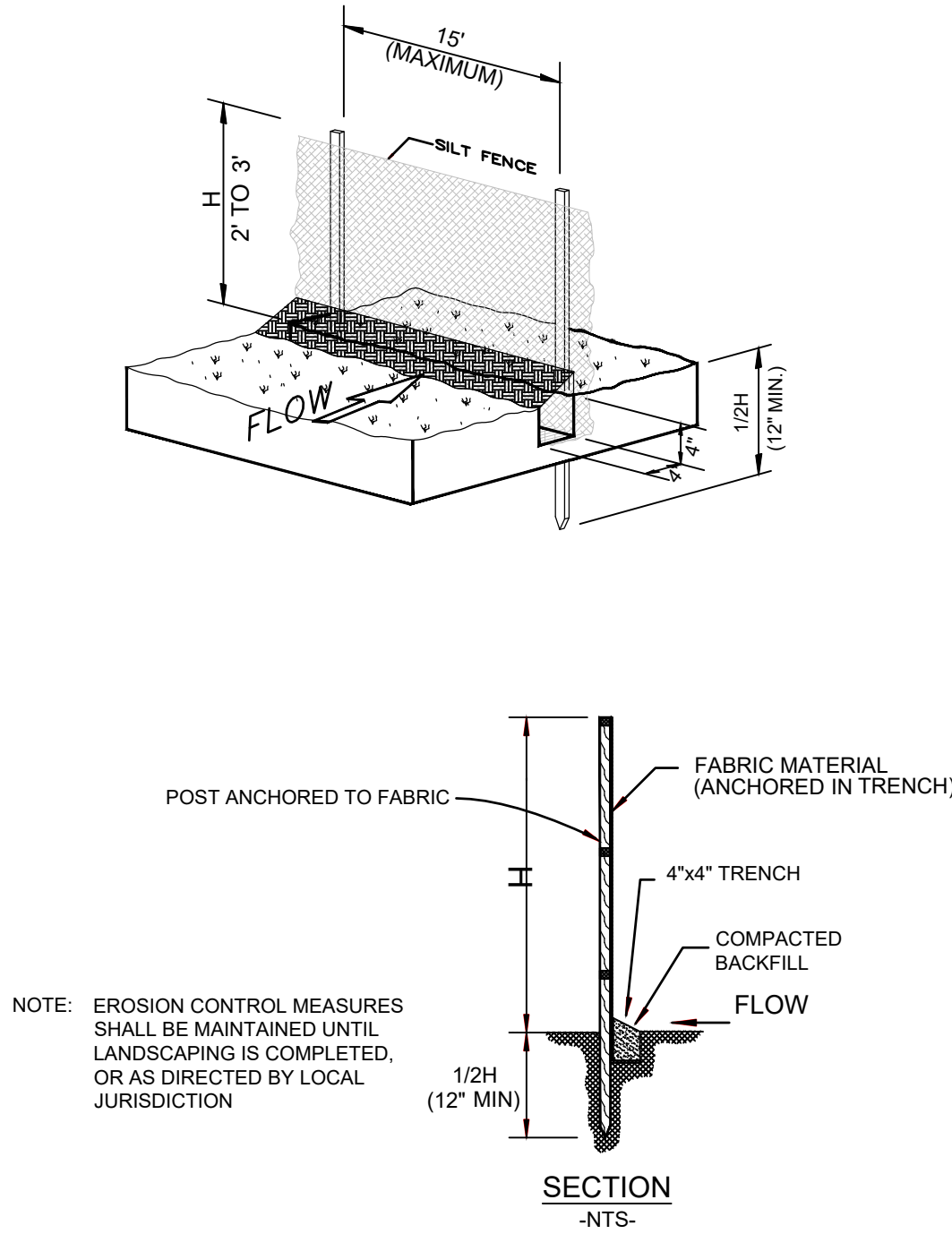
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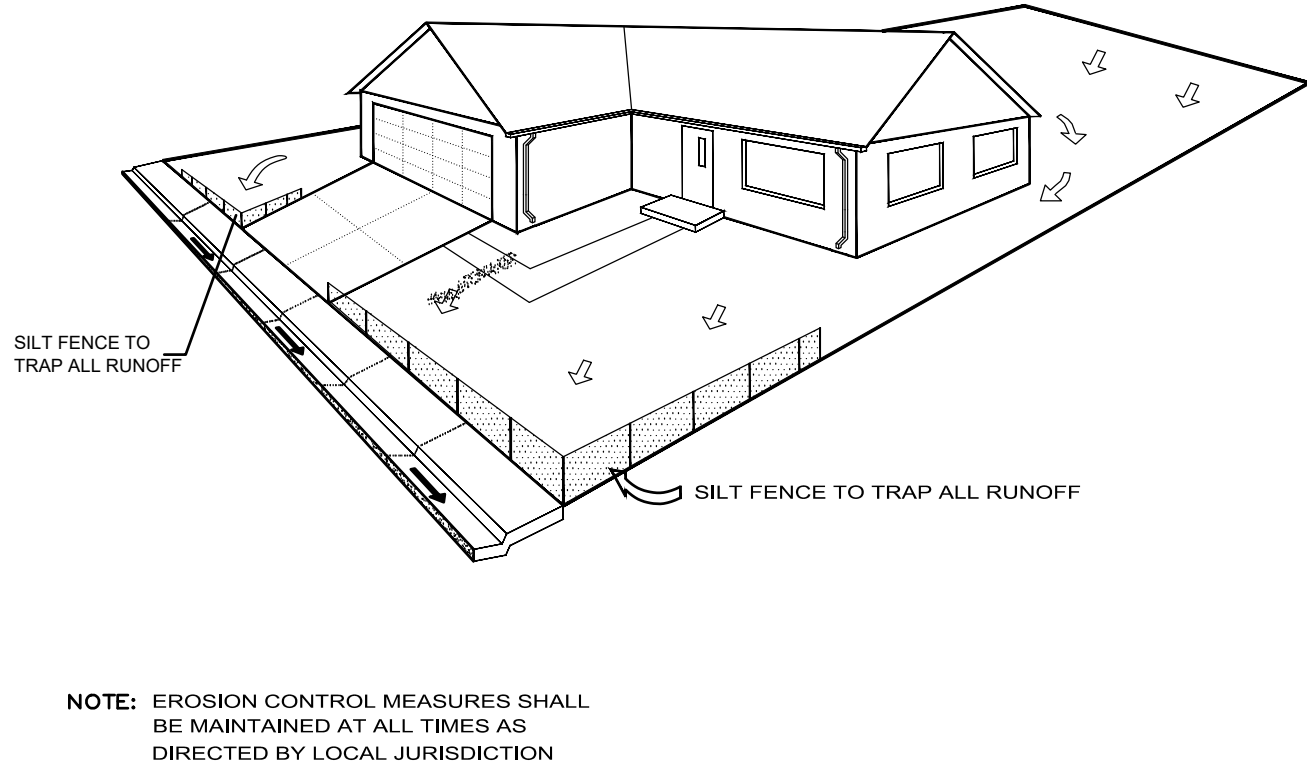


- SEDIMENT CONTROL LOG INSTALLATION NOTES**
1. SEE PLAN VIEW FOR:  
- LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
  2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
  3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
  4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
  5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".
- SEDIMENT CONTROL LOG MAINTENANCE NOTES**
1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
  2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN  $\frac{1}{2}$  THE HEIGHT OF THE CREST OF LOG.
  3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

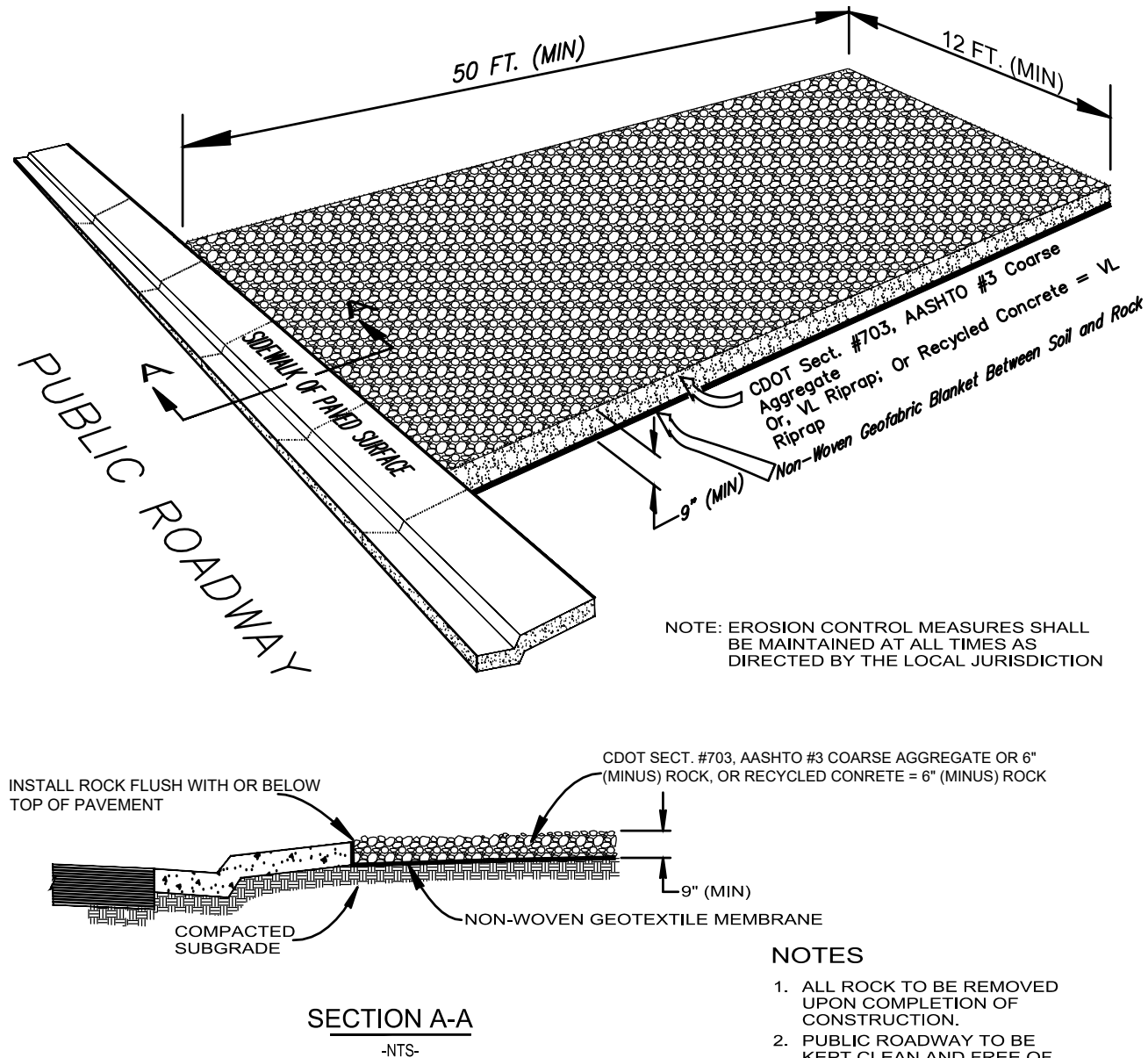
**EROSION CONTROL LOG  
DETAIL**



**SILT FENCE INSTALLATION  
DETAIL**



**SILT FENCE PLACEMENT  
DETAIL**



**TEMPORARY VEHICLE TRACKING CONTROL  
DETAIL**



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**Belden Place**  
**UNIT 18 - SINGLE FAMILY RESIDENCE**  
Minturn, Colorado

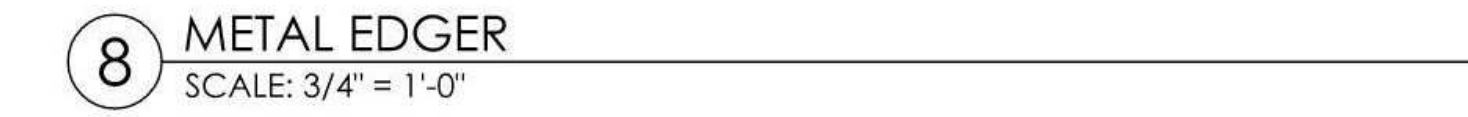
NOT FOR CONSTRUCTION	
DATE	REVISION
2/4/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:  
**EROSION  
CONTROL  
DETAILS**





Sheet:

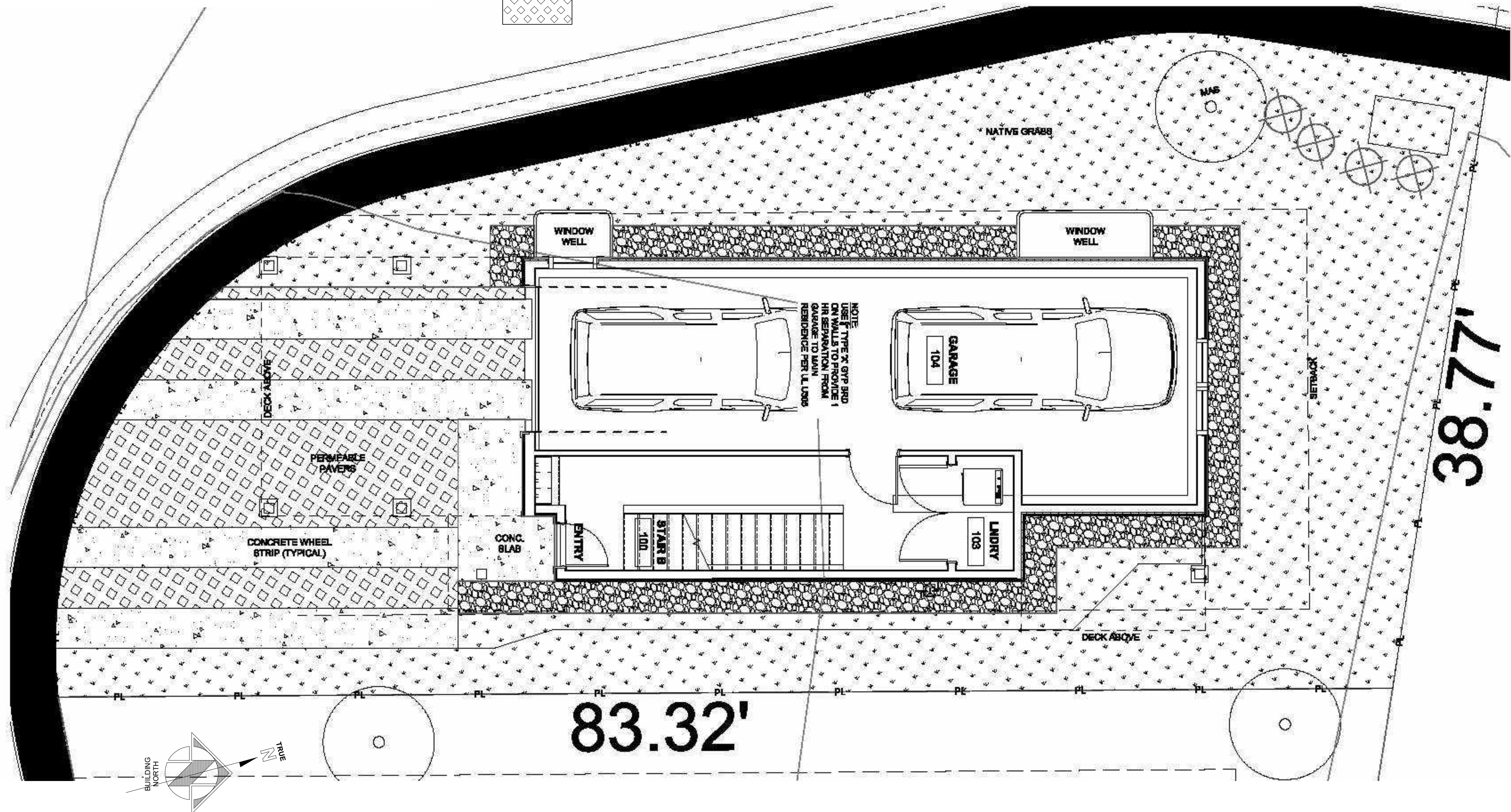
**C.3**





DECIDUOUS SHRUBS						
	ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
	SAR	<i>Salix repens</i>	Creeping Willow	as shown	5 Gal.	9
	SOS	<i>Sorbaria sorbifolia</i>	Ash-leaf Spirea	as shown	5 Gal.	6
	SPM	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	as shown	5 Gal.	9
	SYO	<i>Symphoricarpos occidentalis</i>	Western Snowberry	as shown	5 Gal.	4

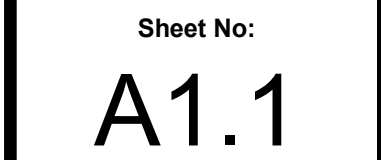
	NATIVE GRASS	<u><a href="#">SITE CALCULATIONS</a></u>	
		SITE SOFT	3,283 SOFT
	2' GRAVEL DRIP LINE MULCH	BUILDING COVERAGE	1,161 SOFT
		IMPERVIOUS COVERAGE (Includes Building)	1,340 SOFT
	CONC. PARKING STRIP	SITE COVERAGE ALLOWED	45%
		SITE COVERAGE	40.8%
	PERMEABLE PAVERS		



1. CONTRACTOR SHALL VERIFY FINAL BOUNDARIES OF TPZ PRIOR TO COMMENCEMENT OF CONSTRUCTION/DEMOLITION ACTIVITIES. EXCESSIVE BRANCH PRUNING ON EXISTING TREES FOR CONSTRUCTION CLEARANCE WILL NOT BE PERMITTED. PRUNING FOR BUILDING CLEARANCE SHALL BE MINIMIZED, DUE TO SCOPE OF CONSTRUCTION AND SIZE OF EX. ROW TREES. USE CHAIN LINK FENCING TO ESTABLISH TPZ.
2. THE TREE LAWN WITHIN THE BOUNDARY OF THE TREE DRIPLINE SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINE WHERE CONCRETE & HARDSCAPE ARE REMOVED.

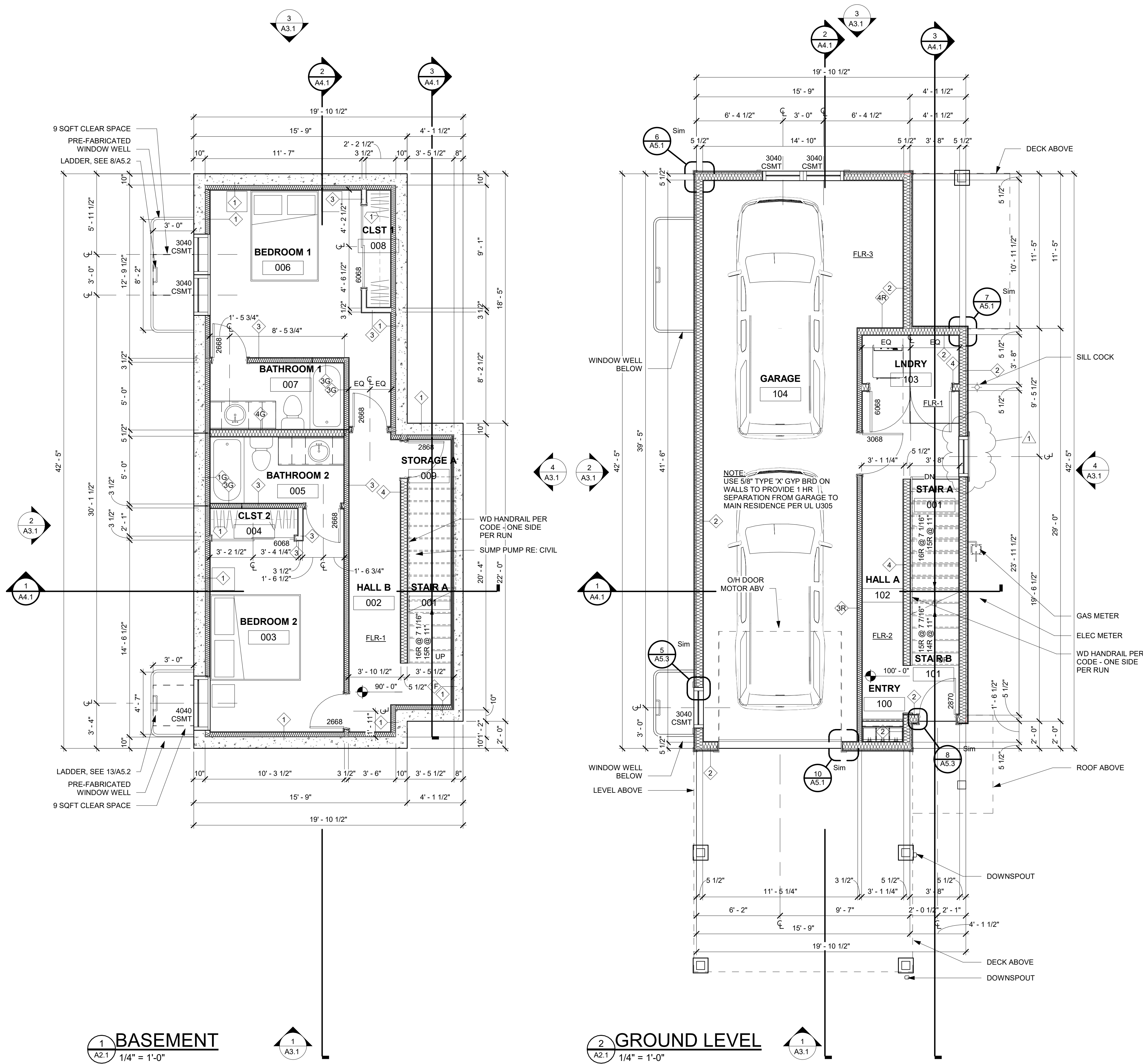
1. ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
2. PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
3. ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
4. TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
5. ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
6. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
7. TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
8. WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- 8.1. NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- 8.2. ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- 8.3. CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
9. FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.

4. AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO DEPTH OF 6" MINIMUM UNTIL SOIL IS WELL PULVERIZED AND THOROUGHLY MIXED.





AREA SUMMARY	
PROPOSED CONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	678 SF
GROUND LEVEL	166 SF
MAIN LEVEL	792 SF
UPPER LEVEL	727 SF
TOTAL	2,363 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	0
GROUND LEVEL	513 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	513 SF
TOTAL COND & UNCOND	2,866 SF



## NOTES:

### CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES: WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

### GENERAL CLOSET NOTES:

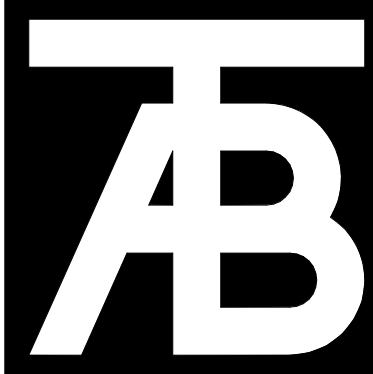
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1x2 CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

### FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

### GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO, TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXXXX ON CIVIL DRAWINGS.
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



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Minturn, Colorado

Revisions:		
No.	Description	Date
1	DRB Rev	3/12/25

Issue Dates:

DRB - 02/14/2025

Sheet Title:

**Basement  
& Ground  
Floor  
Plans**

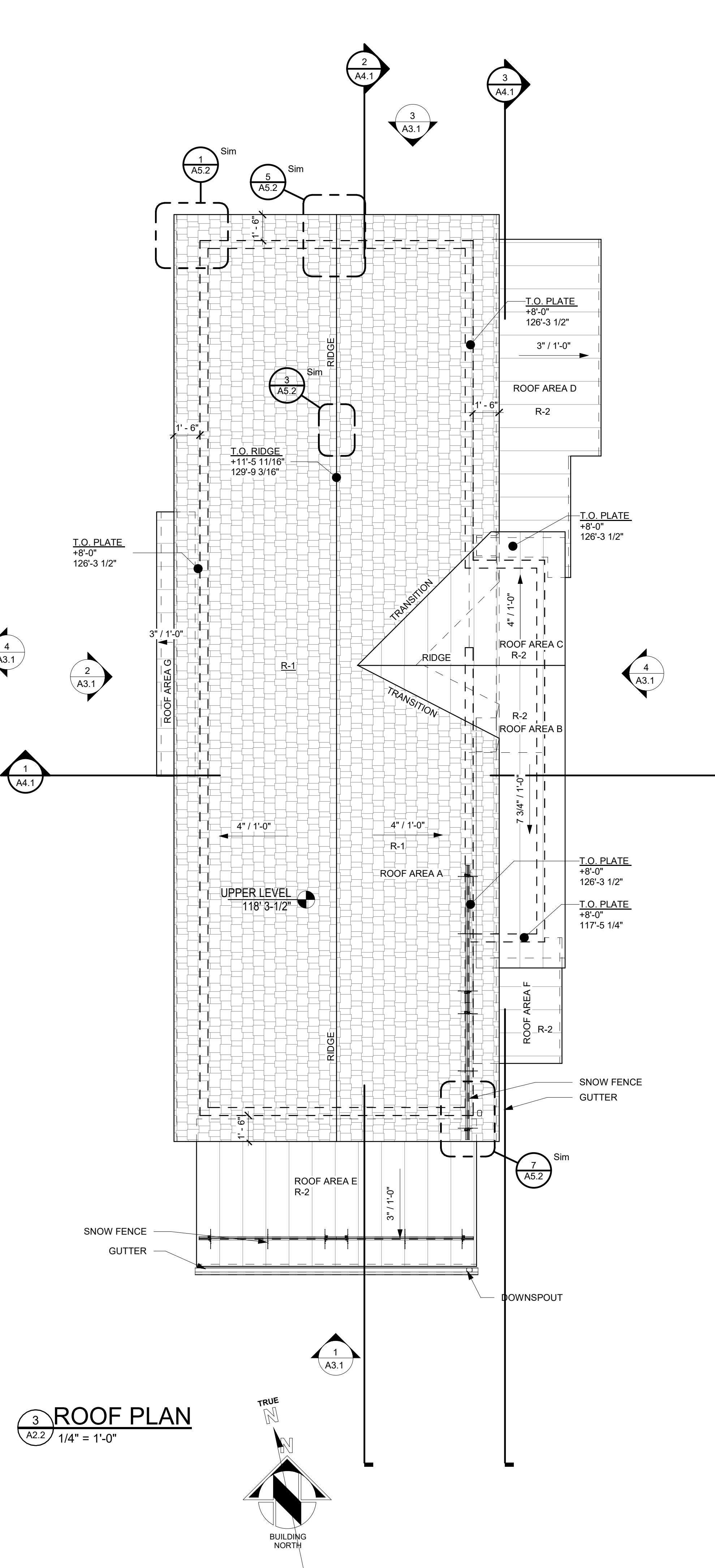
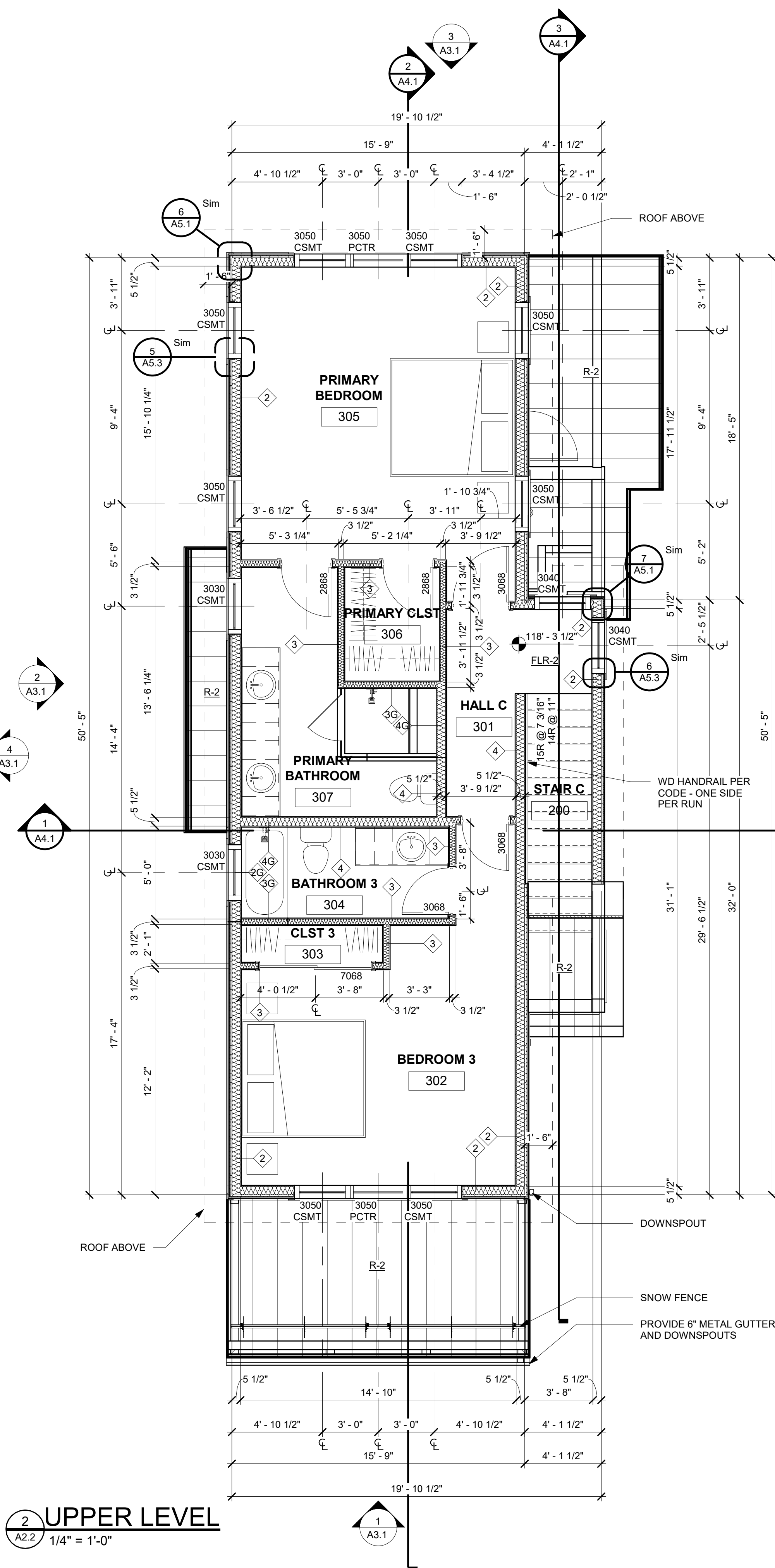
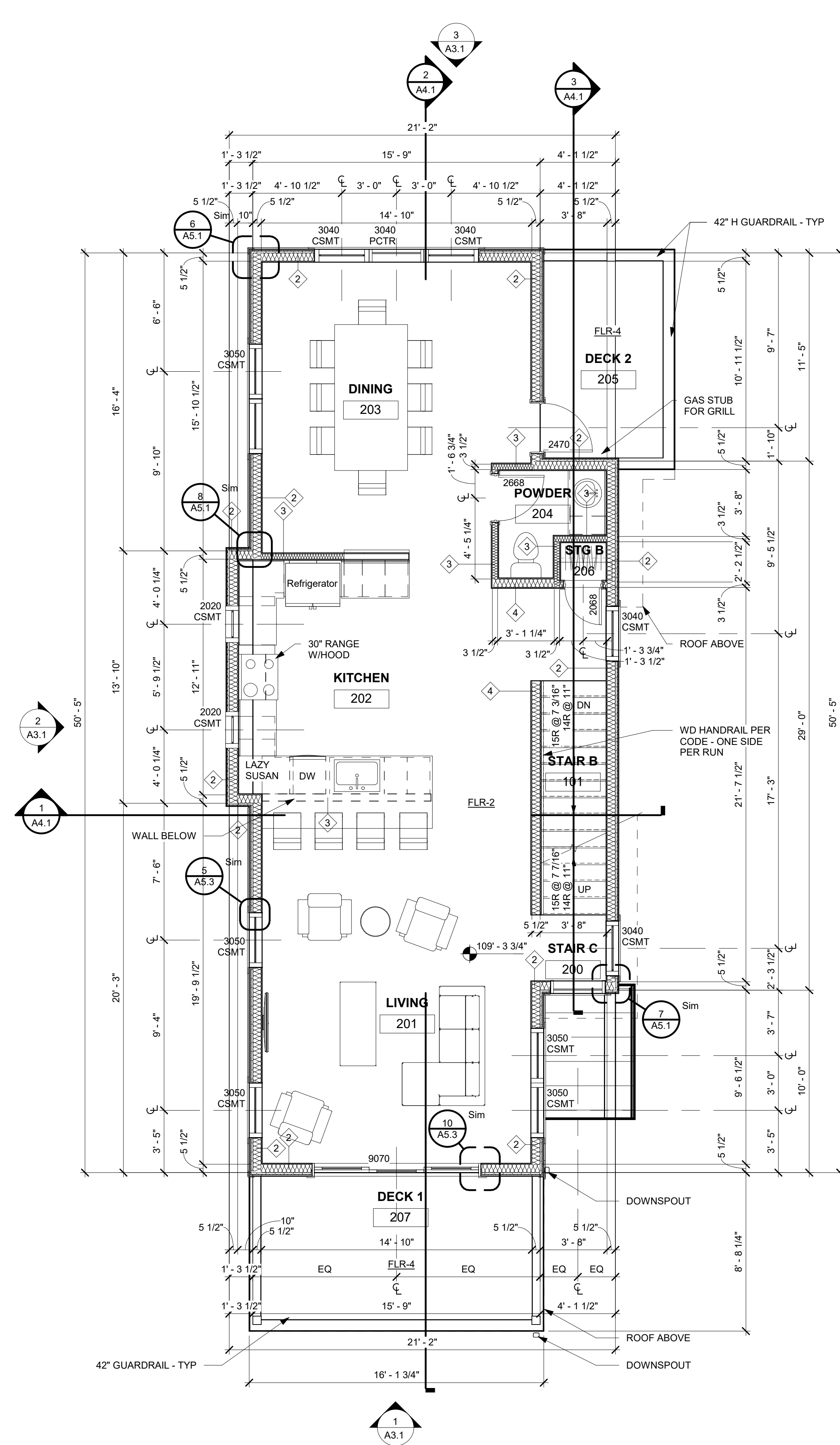
Project No:

2215

Sheet No:

**A2.1**





- 
- Diagram illustrating the roof structure and levels:
- STICK RIDGE**: Slope  $120^{\circ} \pm 5/8"$  (8359.22').
  - T.O. WALL PLATE**: Slope  $110^{\circ} \pm 0"$ .
  - FLOOR SPOT ELEV**: **MAIN LEVEL** T.O. F.V.W.G./CONC/GYP  $100^{\circ} 0"$  (8466.5').
  - TRUSS RIDGE**: Slope  $120^{\circ} \pm 5/8"$  (8360.68').
  - TRUSS BEARING**: Slope  $110^{\circ} \pm 0"$   $18^{\circ}$  HEEL.

- # NOTES:
- ## ROOF FINISH LEGEND
- ### NOTES:
1. HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS. RE: STRUCTURAL
  2. ALL GUTTERS & DOWNSPOUTS TO RECEIVE HAT TAPE FOR ENTIRE LENGTH. RE: DIAGRAM ON ELECTRICAL PLANS
  3. T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
  4. CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURER'S REQUIREMENTS
- |     |   |
|-----|---|
| R-1 | TAMKO ASPHALT SHINGLES, HERITAGE PREMIUM, COLOR: NATURAL TIMBER |
| R-2 | COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1  |
- COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.
- CHIMNEY CAP - 6" SANDSTONE CAP
- ROOF BEAMS - ROUGH SAWN TIMBER

1. **GENERAL NOTES:**
  - a. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION
  - b. SEE SHEET A01 FOR WALL TYPES INDICATED ON FLOOR PLANS
  - c. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. THIS INCLUDES BUT NOT LIMITED TO: TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, ETC.
  - d. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES OF OPENING. IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
  - e. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
  - f. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED ON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
  - g. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH DRAINAGE SLOPE WITH ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
  - h. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
  - i. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR COORDINATION ON ARCHITECTURAL DRAWINGS AND COORDINATE.
  - j. ALL INTERIOR WALLS SHALL EXPOSED TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A01.
  - k. ALL WALL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
  - l. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS. 2015 IBC-1704.

- ### CLOSET NOTES:
1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SELF @ 7"-0" AFF. FULL SELF & ROD @ 5"-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SELF & ROD @ 7"-0" AFF. 12" SELF & ROD @ 3"-6" AFF.
3. CLOSETS @ WALK-IN CLOSETS: 6 - 16" SELVES @ 12"-0" AFF. SELF @ 1'-2" AFF. SHEL WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 - 16" SELVES, WIDTH AS NOTED. @ 12"-0" AFF. SELF @ 1'-2" AFF. FULL CLOSET WIDTH.
5. STORAGE SELVES: 6 - 16" SELVES @ 1'-2" OC. 1st SELF @ 1'-2" AFF. FULL CLOSET WIDTH.
- ### GENERAL CLOSET NOTES:
1. ALL SELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE. SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1x2 CLEAR PINE.
3. PROVIDE END SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

- GENERAL CLOSET NOTES:
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE. SPECIES TO BE SPECIFIED BY DEVELOPER.
  2. CLEATS TO BE 1x2 CLEAR PINE.
  3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
  4. ALL TO BE STAINED TO MATCH CASE & BASE.

- ### **FLOOR PLAN GENERAL NOTES:**
1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIR SURFACES TO BE FLUSH WITH EXISTING FINISH. PATCHES TO BE SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
  2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
  3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
  4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
  5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
  6. DO NOT SCALE DRAWINGS.
  7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACES WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
  8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING RELATE TO THE FINISHING ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
  9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
  10. ALL DIMENSIONS ARE TO GRID LINE. FACE OF CONCRETE OR MASONRY TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
  11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

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Seal

**Belden Place - Singel Family**  
**Lot 18 - 0010 Abby Road**  
**Minturn, Colorado**

[illegible]

**Issue Dates:**  
DRB - 02/14/2025

Sheet Title:

**Main,  
Upper, &  
Roof  
Plans**

Project No:  
2215

Sheet No:  
**A2.2**



The architectural drawings show a two-story house with the following elevations and features:

- FRONT ELEVATION (1):** Shows a gabled roof with a snow fence, gutters, and downspouts. The upper level has a balcony with a guardrail. The main level has a large window and a door. The basement has a window well. Dimensions include 126'-3 1/2" for the plate, 118'-3 1/2" for the upper level, 109'-3 3/4" for the main level, 100'-0" for the ground level, and 90'-0" for the basement.
- LEFT ELEVATION (2):** Shows a side view of the house with a flat roof. The upper level has a balcony with a guardrail. The main level has a large window and a door. The basement has a window well. Dimensions include 126'-3 1/2" for the plate, 118'-3 1/2" for the upper level, 109'-3 3/4" for the main level, 100'-0" for the ground level, and 90'-0" for the basement.
- REAR ELEVATION (3):** Shows the back of the house with a gabled roof. The upper level has a balcony with a guardrail. The main level has a large window and a door. The basement has a window well. Dimensions include 126'-3 1/2" for the plate, 118'-3 1/2" for the upper level, 109'-3 3/4" for the main level, 100'-0" for the ground level, and 90'-0" for the basement.
- RIGHT ELEVATION (4):** Shows the side view of the house with a flat roof. The upper level has a balcony with a guardrail. The main level has a large window and a door. The basement has a window well. Dimensions include 126'-3 1/2" for the plate, 118'-3 1/2" for the upper level, 109'-3 3/4" for the main level, 100'-0" for the ground level, and 90'-0" for the basement.

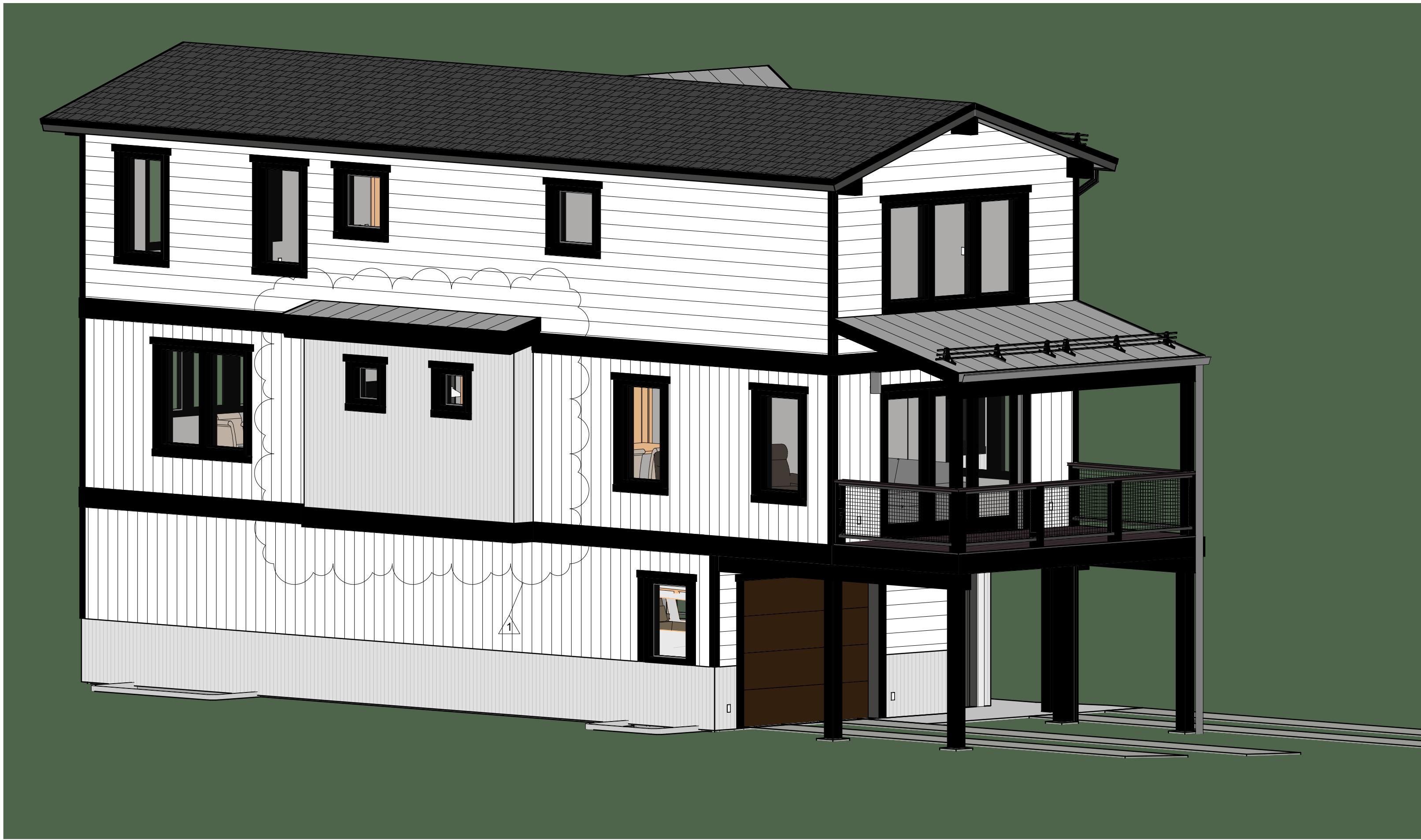
Area Calculations Table:

Area	Front Elevation (1)	Left Elevation (2)	Rear Elevation (3)	Right Elevation (4)
1451.13				
100.00				
147.34				
2598.15				
25.98				
25'-11 3/4"				





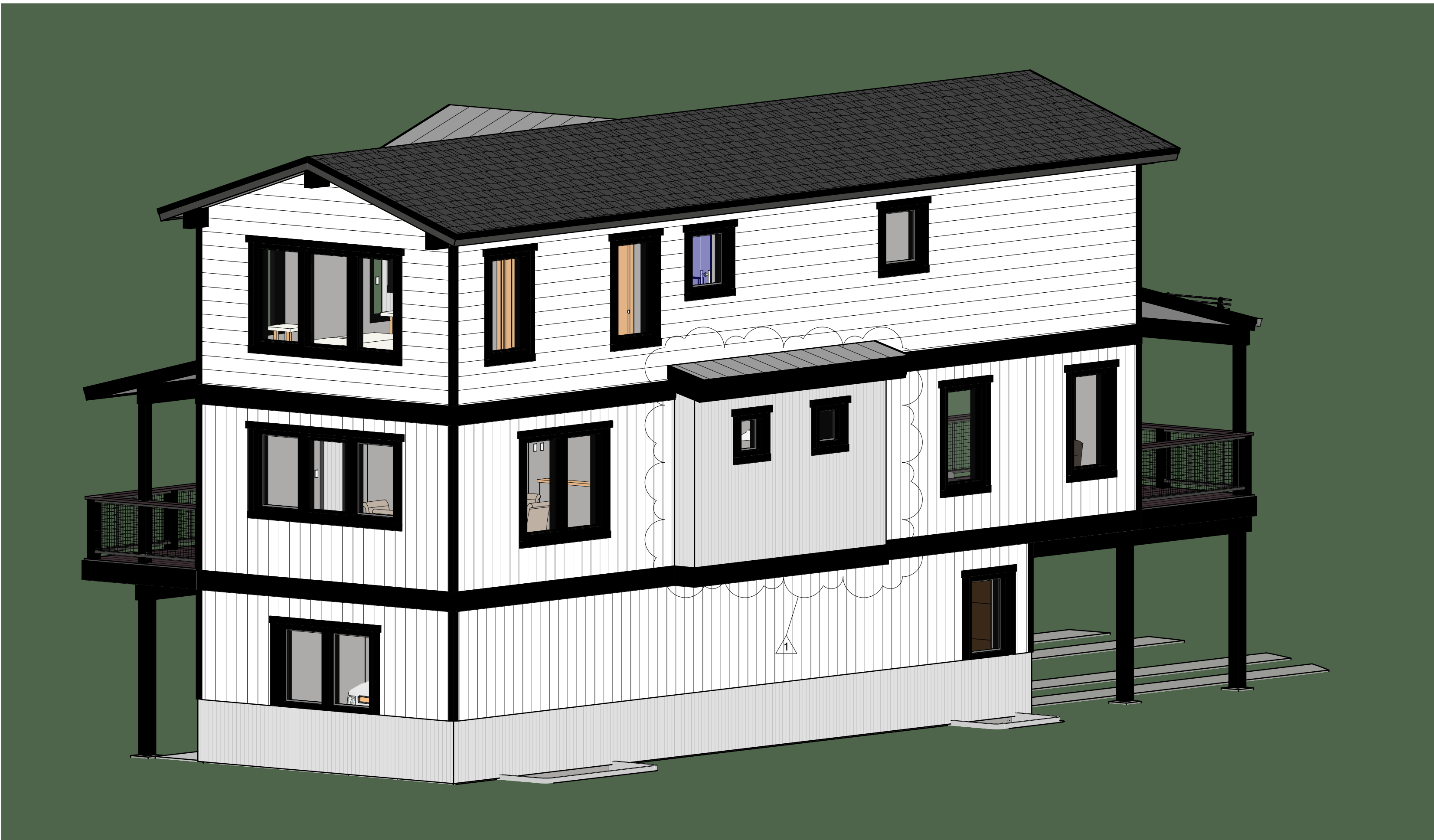




1 SOUTHWEST ELEVATION



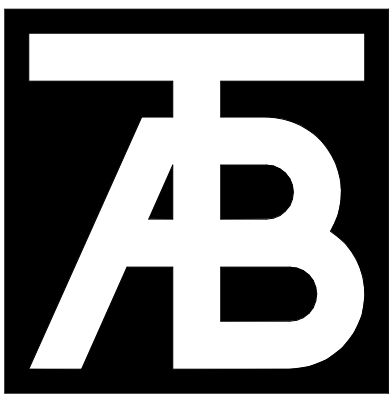
2 SOUTHEAST ELEVATION



3 NORTHWEST ELEVATION



4 NORTHEAST ELEVATION



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Revisions:		
No.	Description	Date
1	DRB Rev	3/12/25

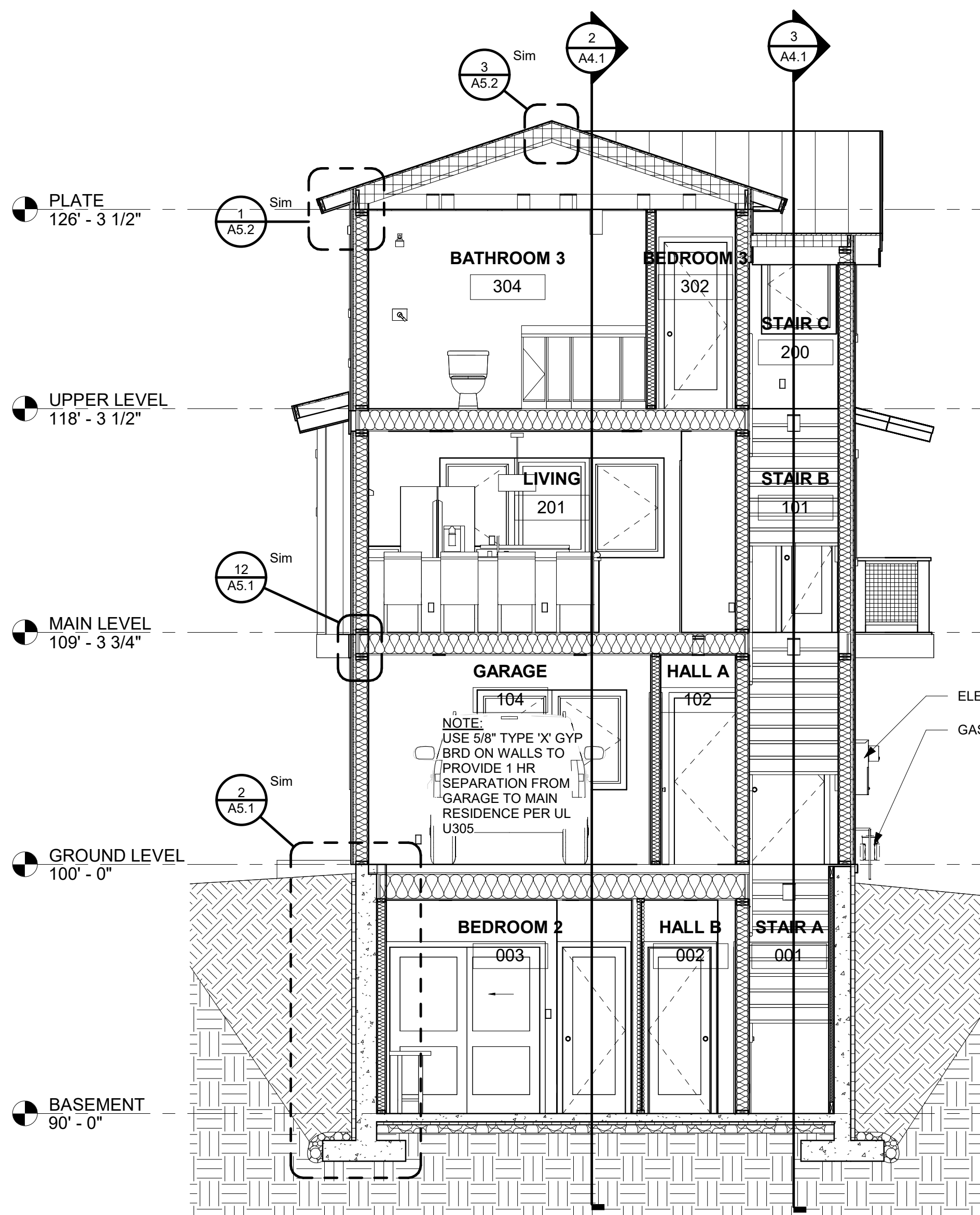
Issue Dates:  
DRB - 02/14/2025

Sheet Title:  
**Exterior  
Color  
Elevations  
& 3D**

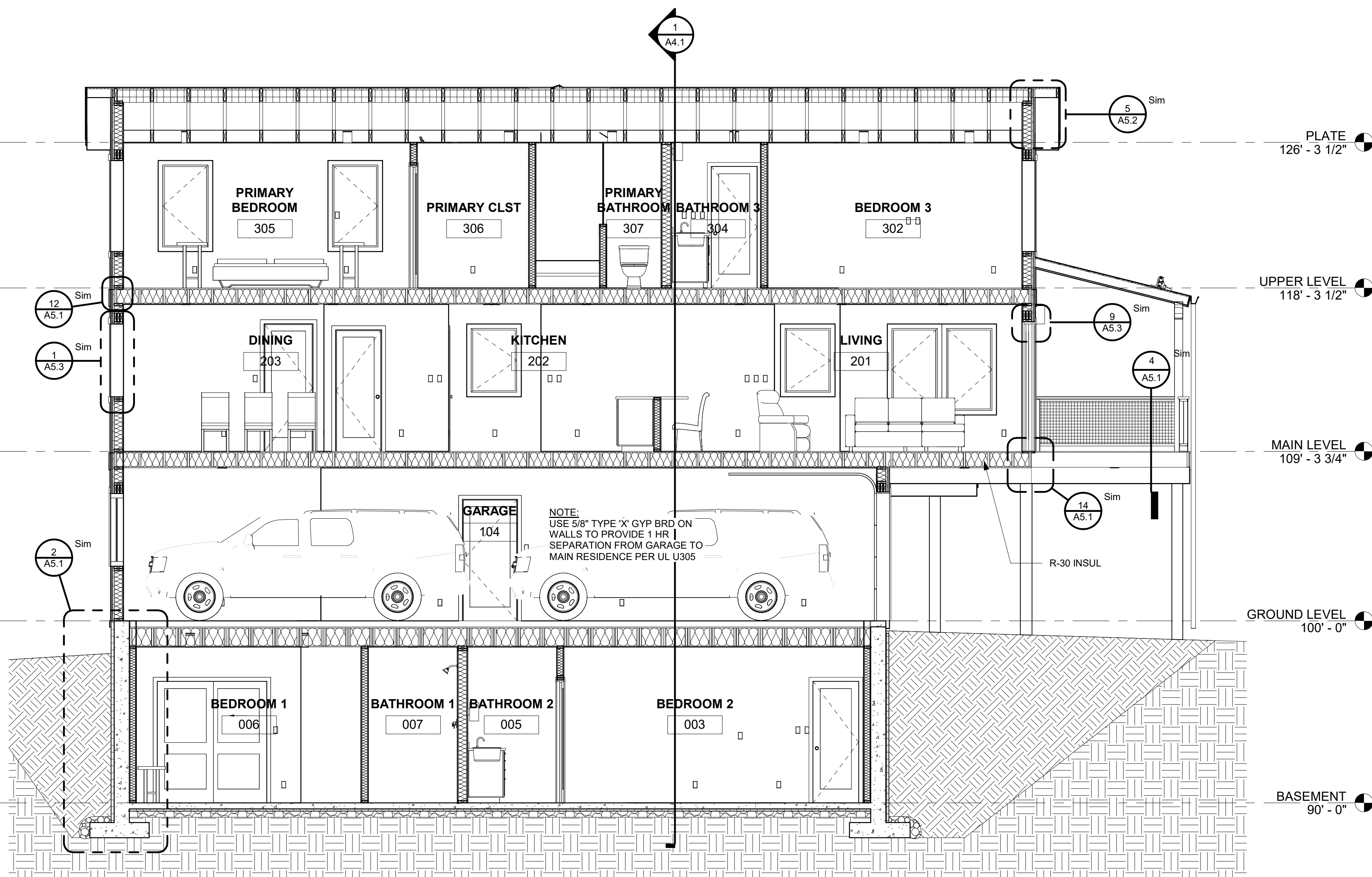
Project No:  
2215

Sheet No:  
**A3.3**

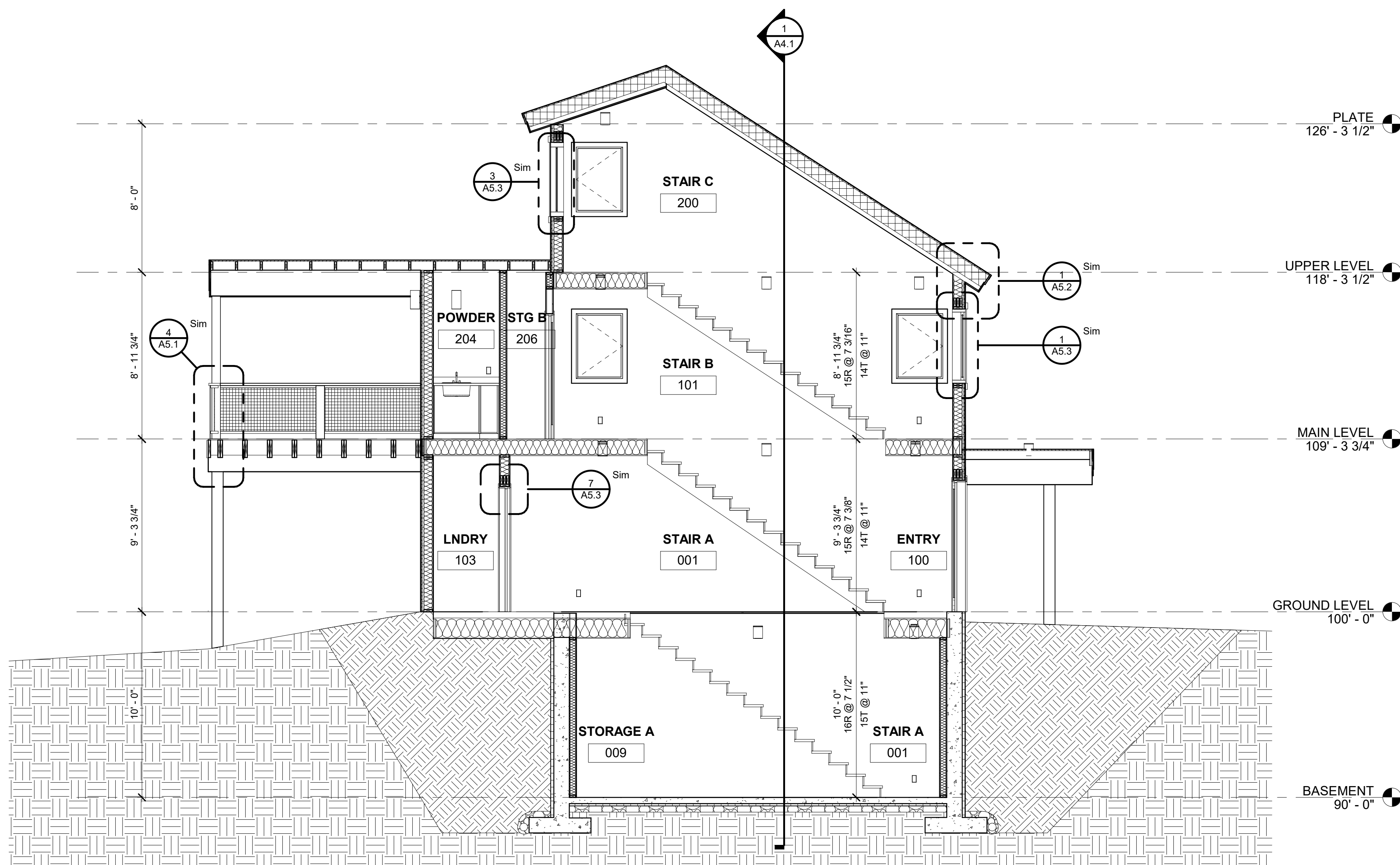




1  
A4.1  
1/4" = 1'-0"



2  
A4.1  
1/4" = 1'-0"



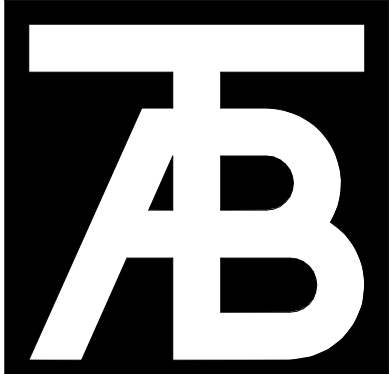
3  
A4.1  
1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING  
COLOR - WHITE  
X-2 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING  
COLOR - WHITE  
X-3 VERTICAL CORRUGATED METAL SIDING  
COLOR - GALVALUME

- R-1 ASPHALT SHINGLE ROOF  
R-2 STANDING SEAM METAL ROOF



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No	Description	Date

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DRB - 02/14/2025

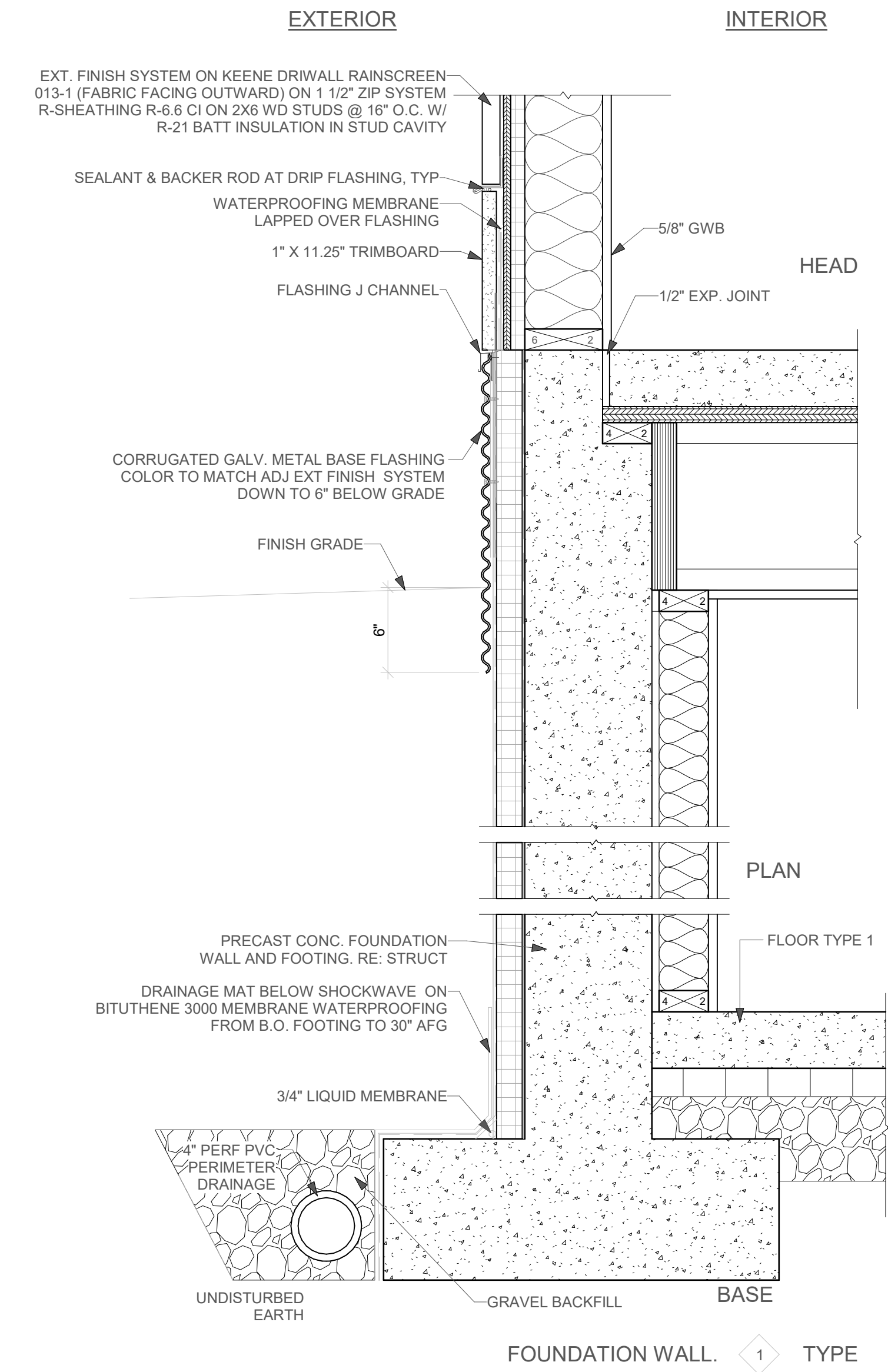
Sheet Title:  
**Building Sections**

Project No:  
2215

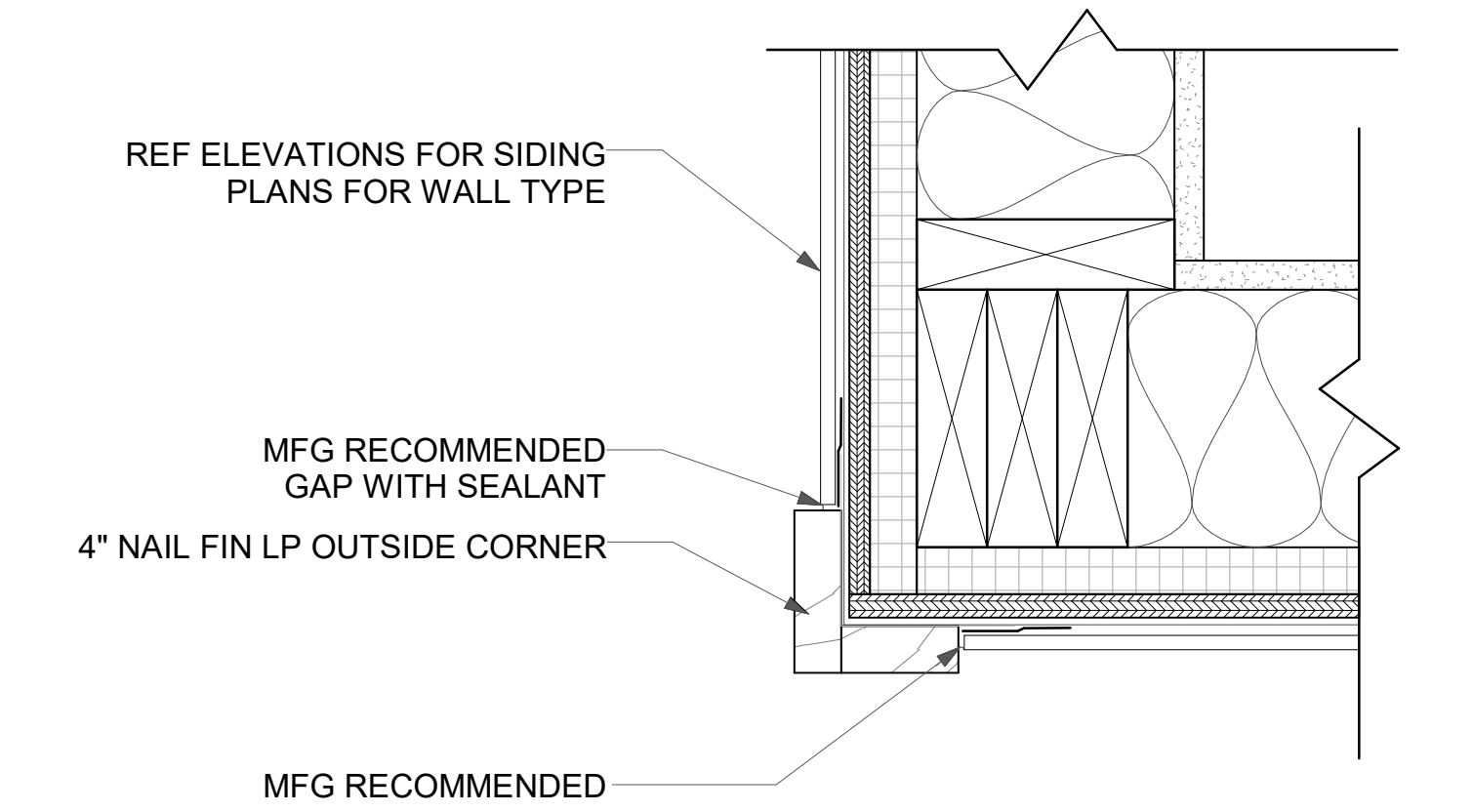
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**A4.1**



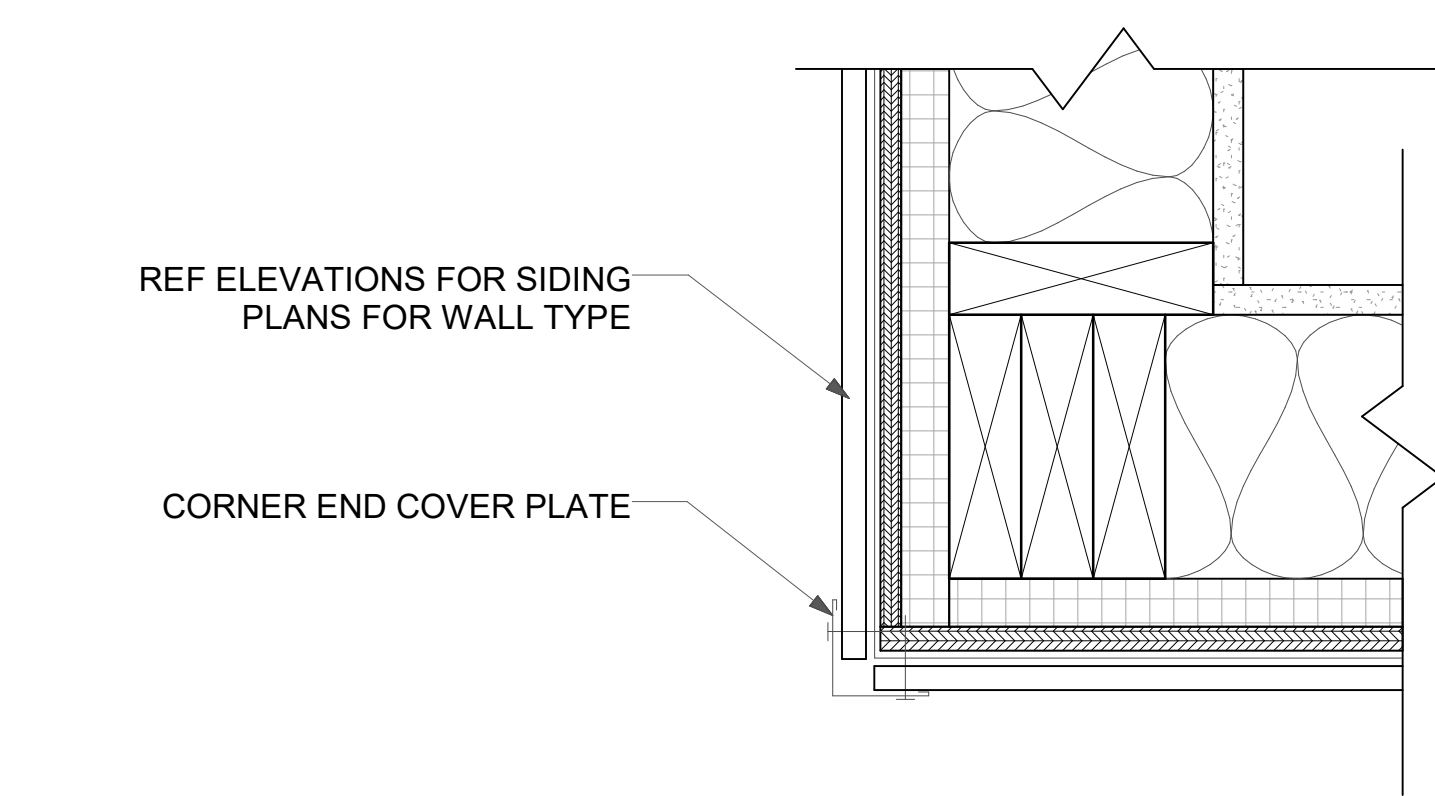
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2/13/2025 3:02:23 PM



**1 FOUNDATION DETAIL - CORRUGATED SIDING**  
A5.1 1 1/2" = 1'-0"

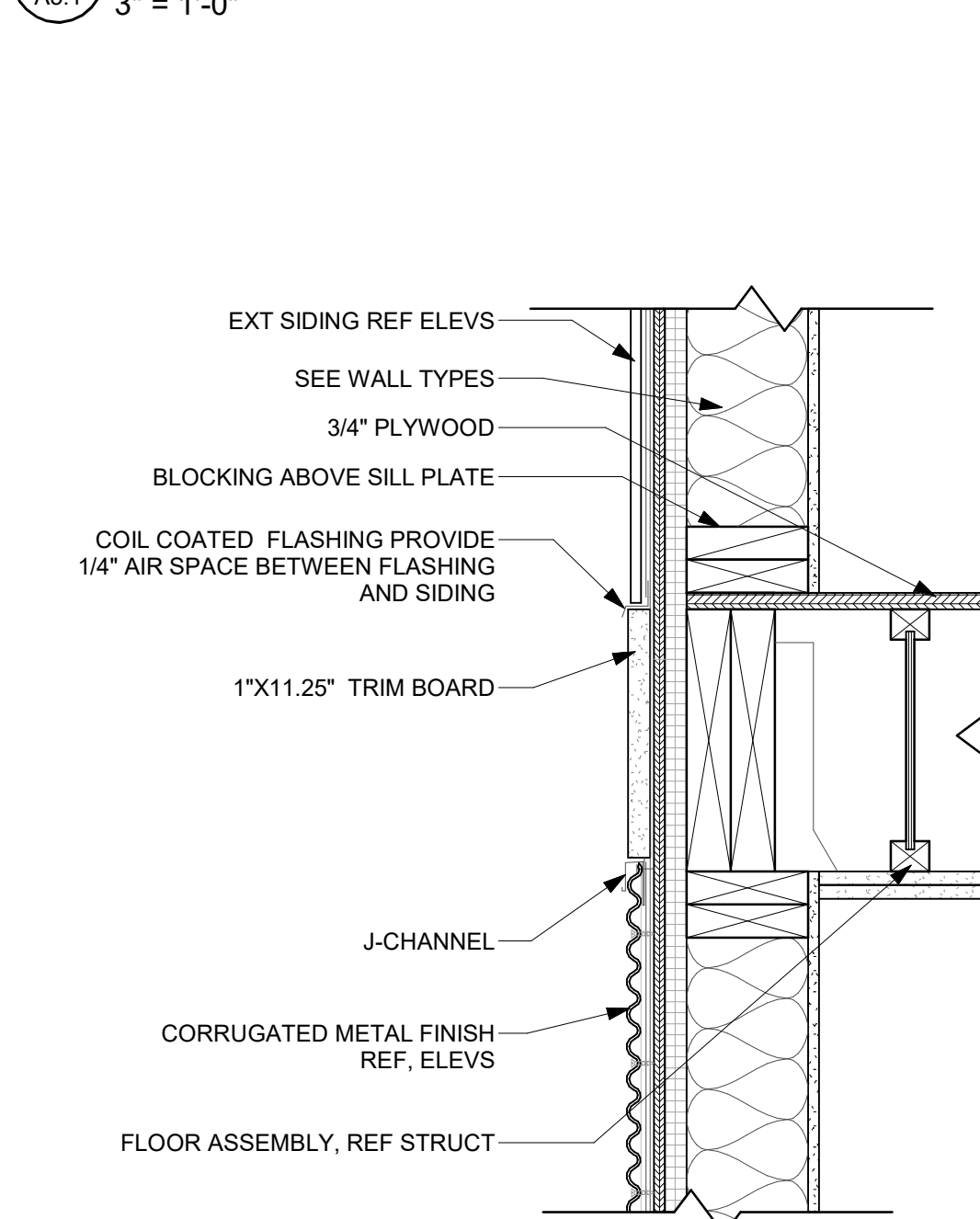


**2 FOUNDATION DETAIL - WOOD SIDING**  
A5.1 1 1/2" = 1'-0"

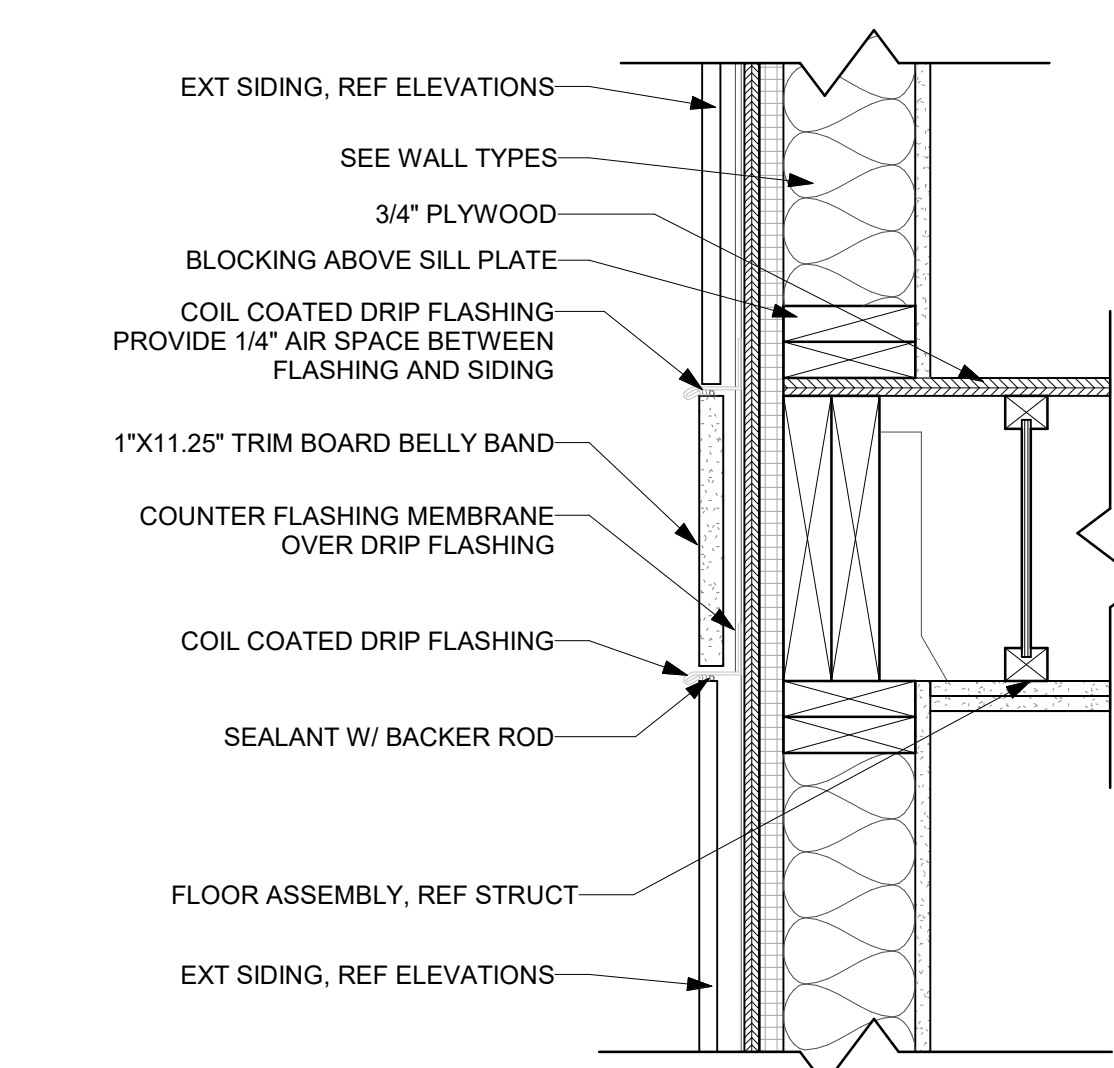


**7 PLAN DETAIL - CORNER TRIM MTL**  
A5.1 3" = 1'-0"

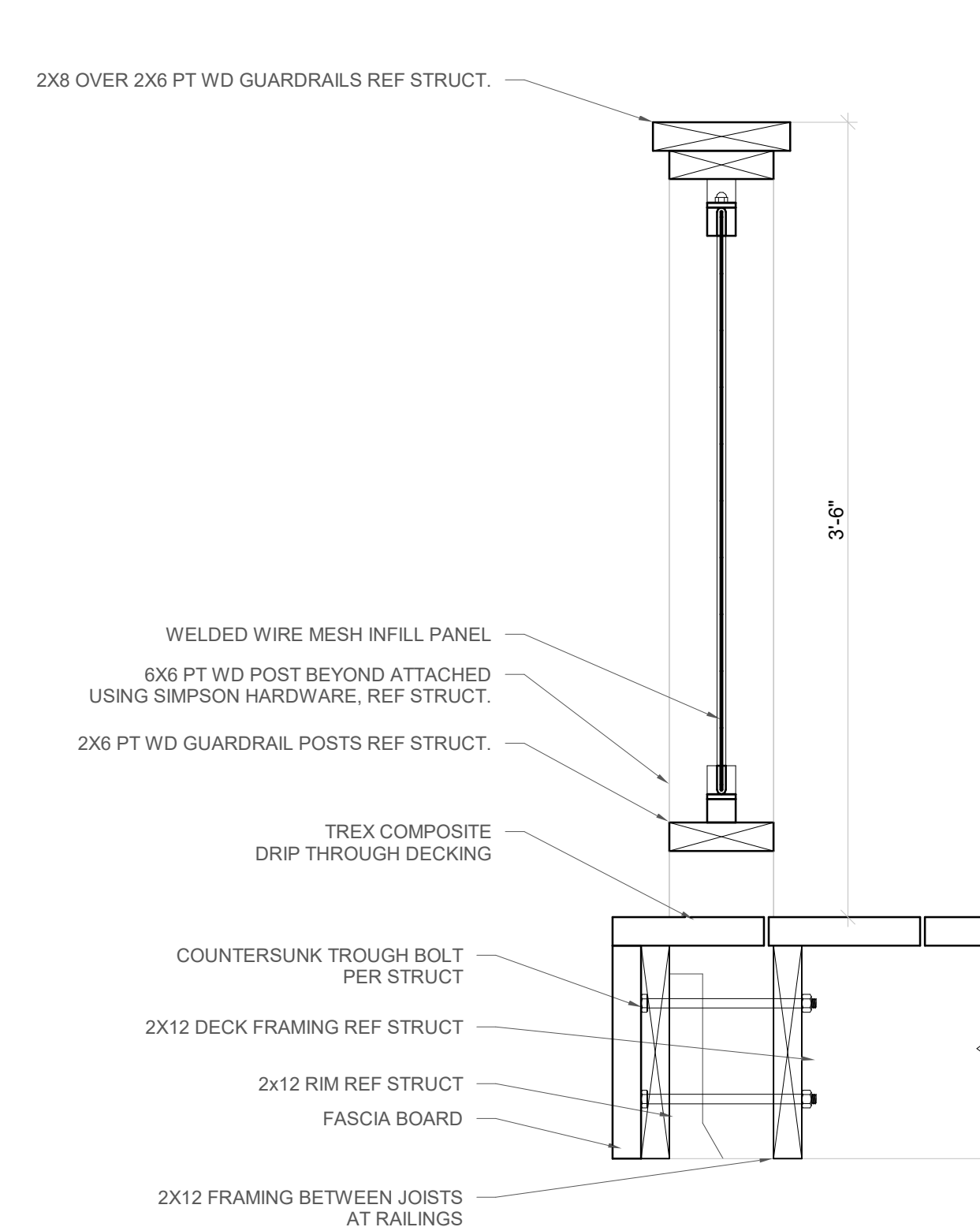
**6 PLAN DETAIL - CORNER TRIM**  
A5.1 3" = 1'-0"



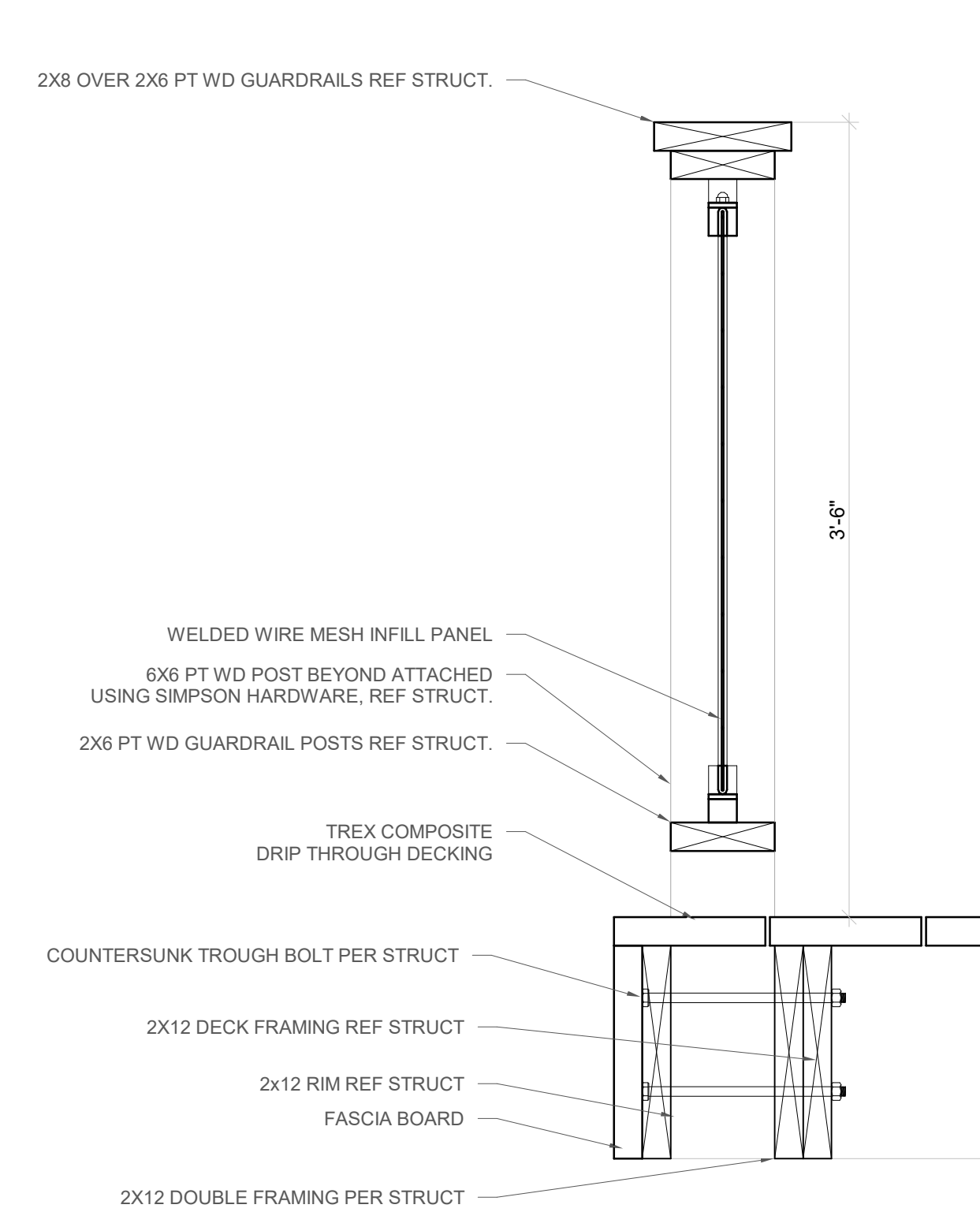
**11 FLOOR TRANSITION MTL**  
A5.1 1 1/2" = 1'-0"



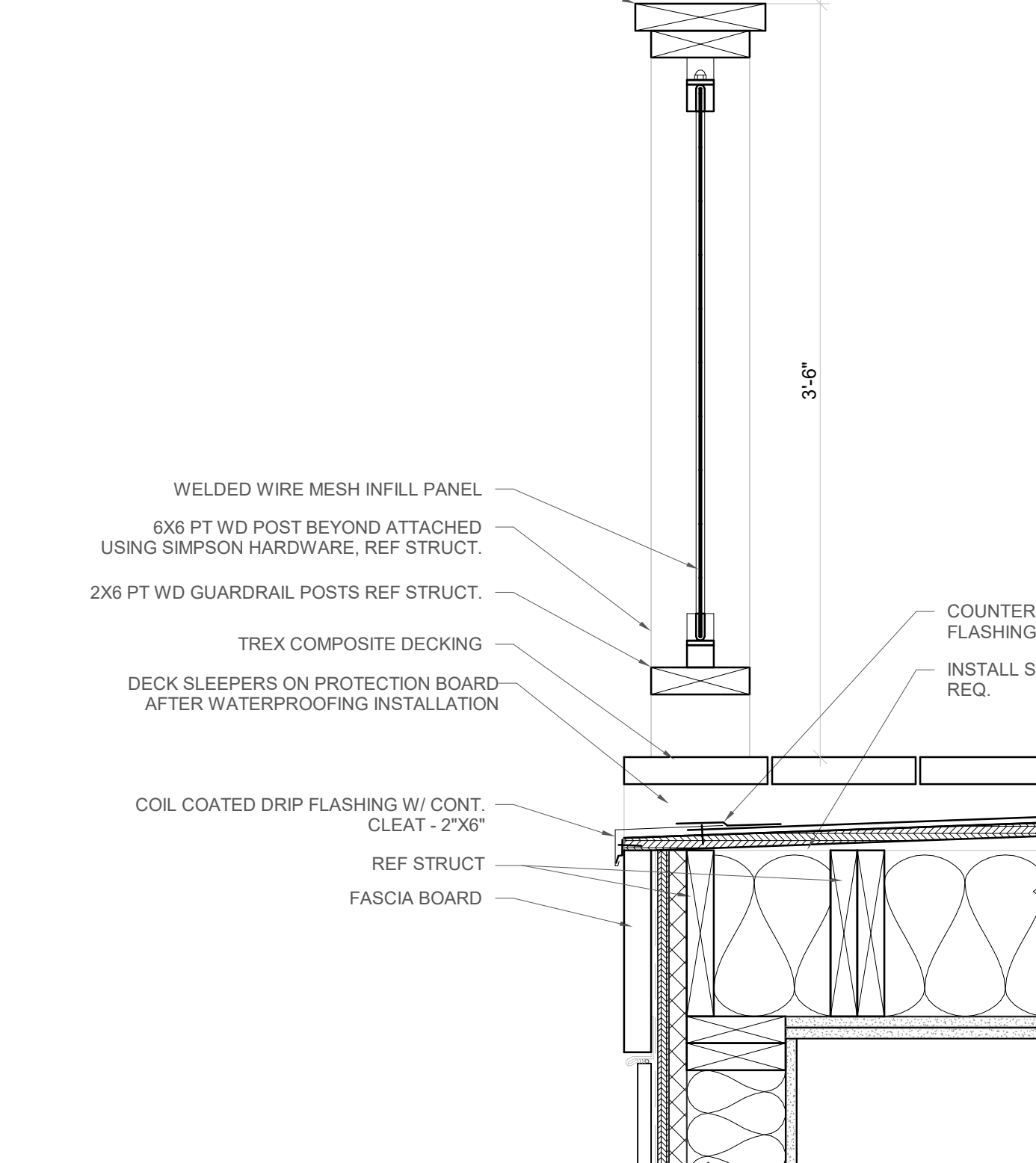
**12 FLOOR TRANSITION**  
A5.1 1 1/2" = 1'-0"



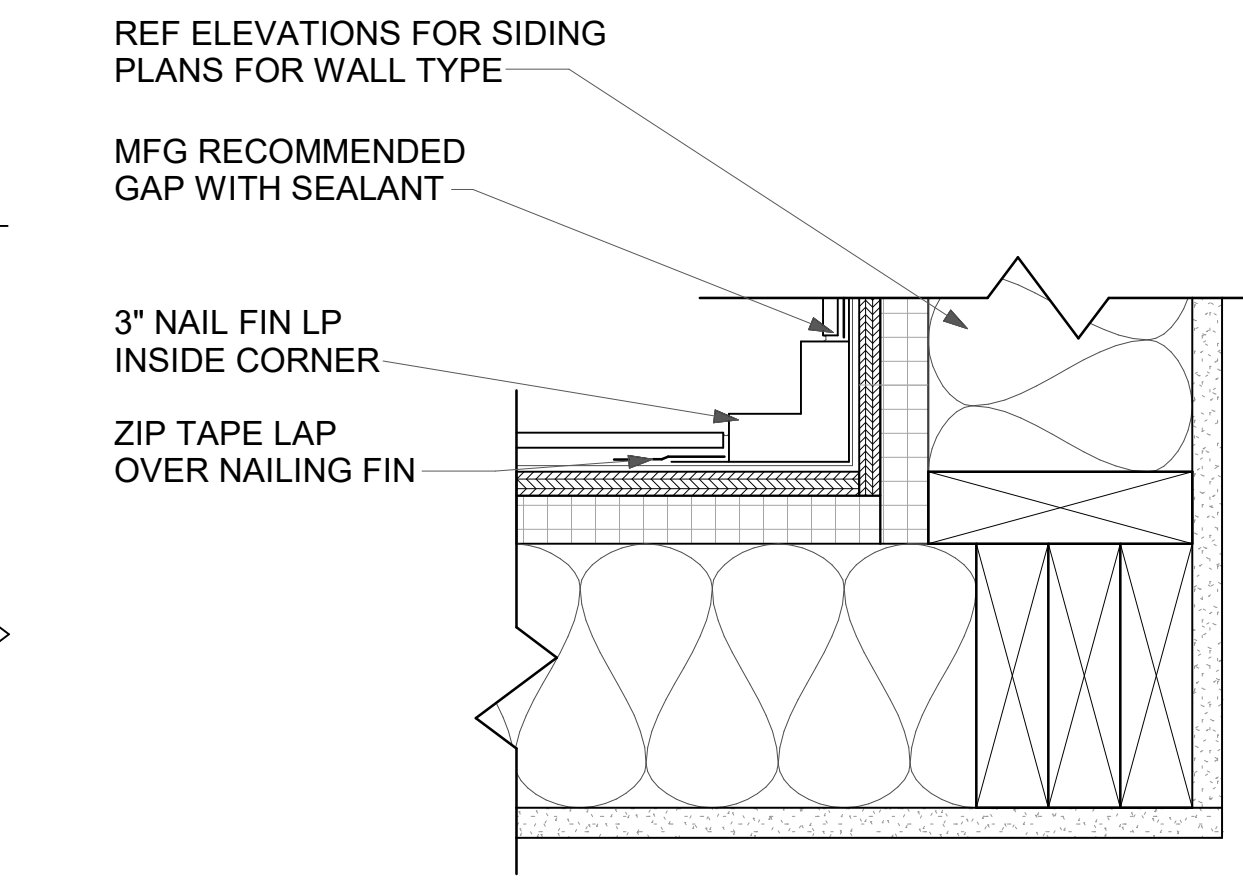
**3 DRIP THROUGH DECK - PERP STRUC**  
A5.1 1 1/2" = 1'-0"



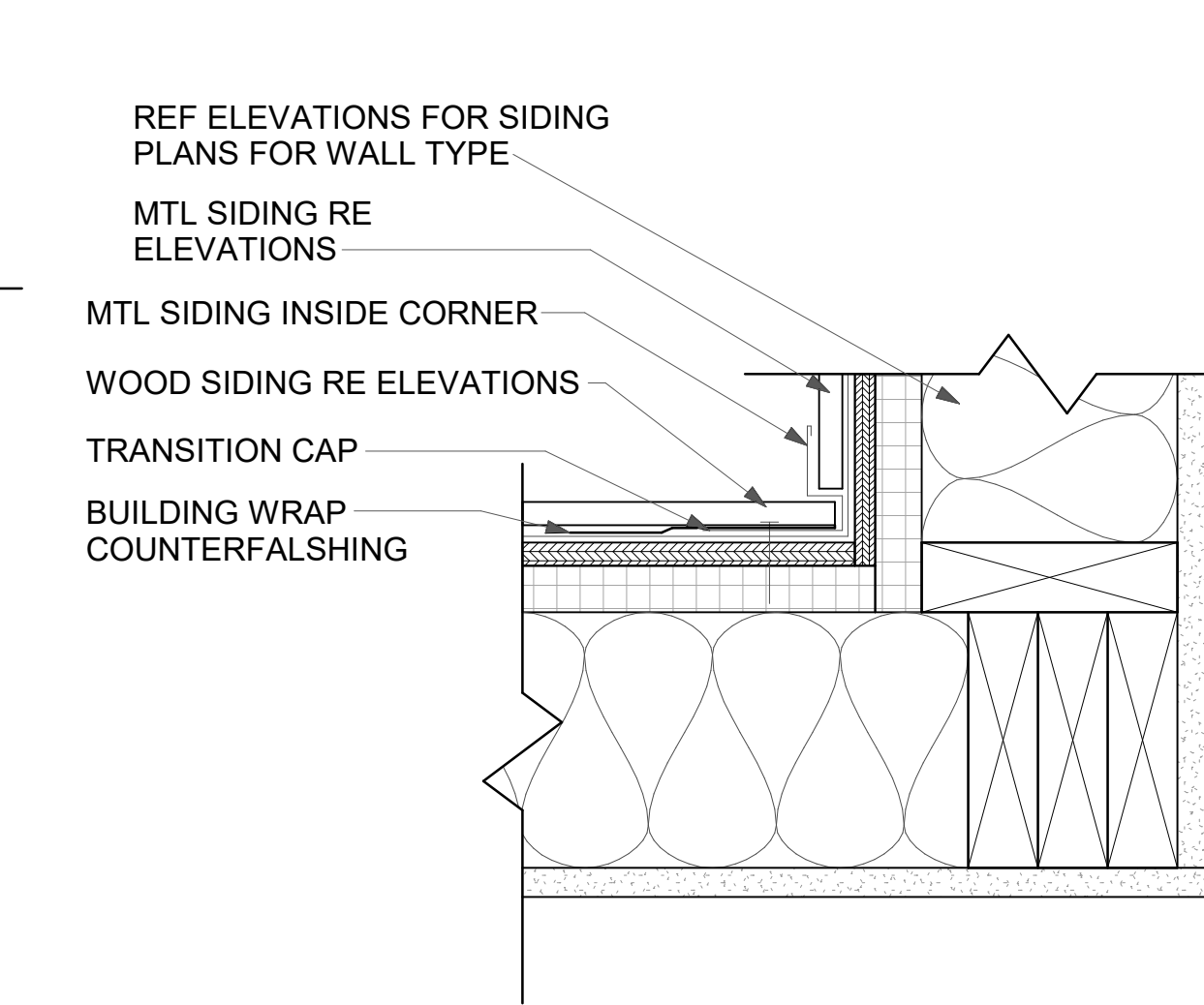
**4 DRIP THROUGH DECK - PARA STRUC**  
A5.1 1 1/2" = 1'-0"



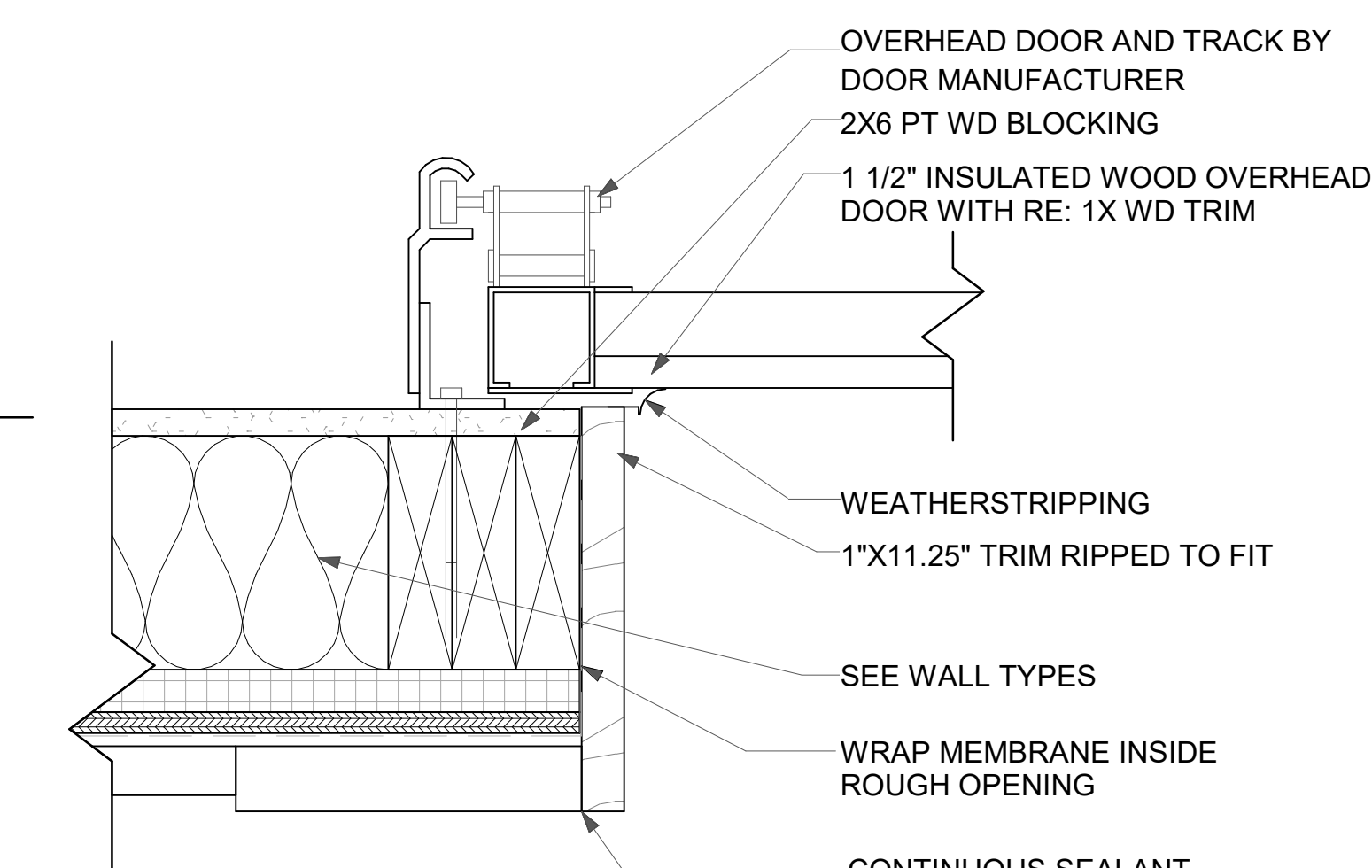
**5 WATERPROOF DECK**  
A5.1 1 1/2" = 1'-0"



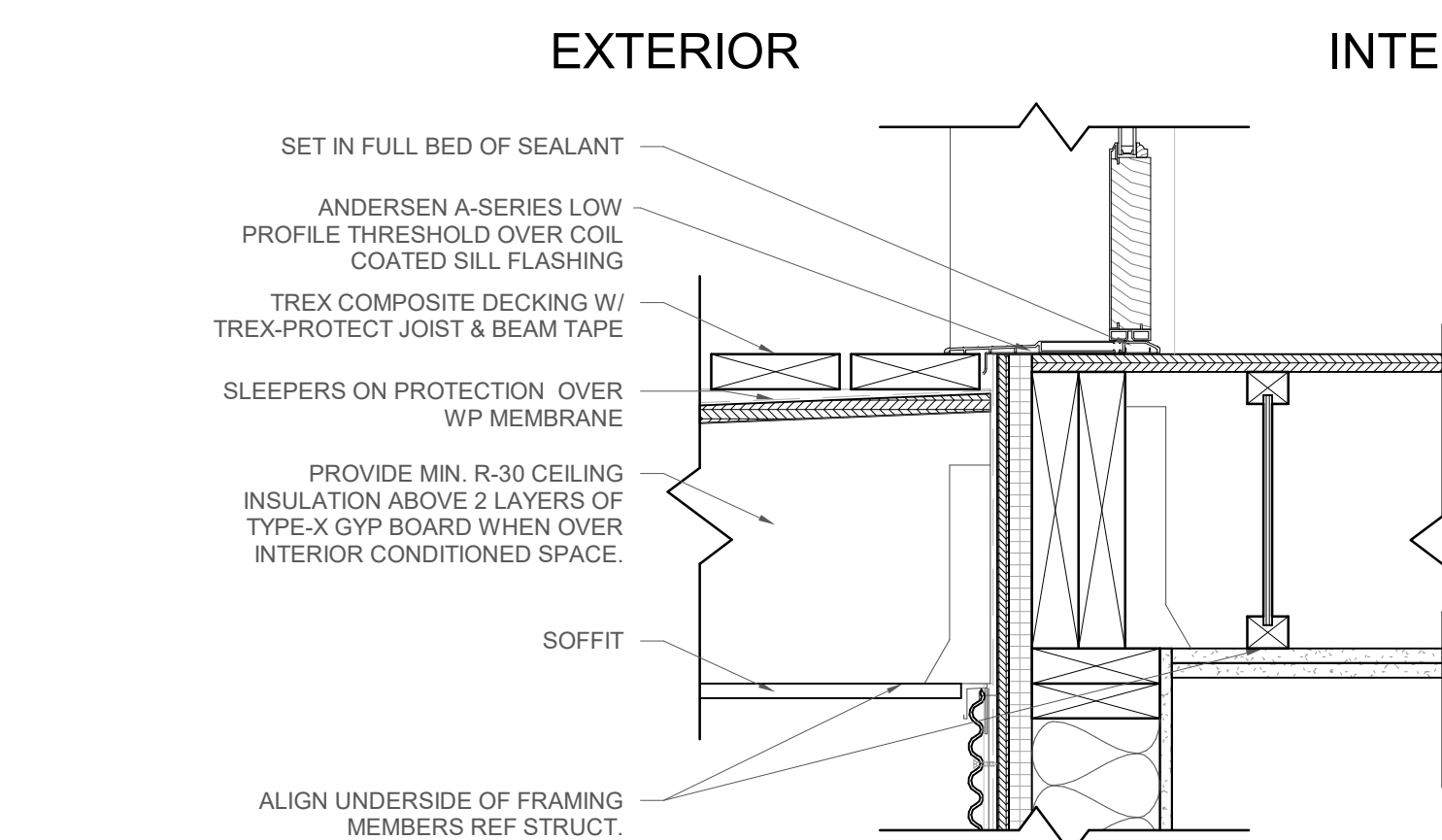
**8 PLAN DETAIL - INSIDE TRIM**  
A5.1 3" = 1'-0"



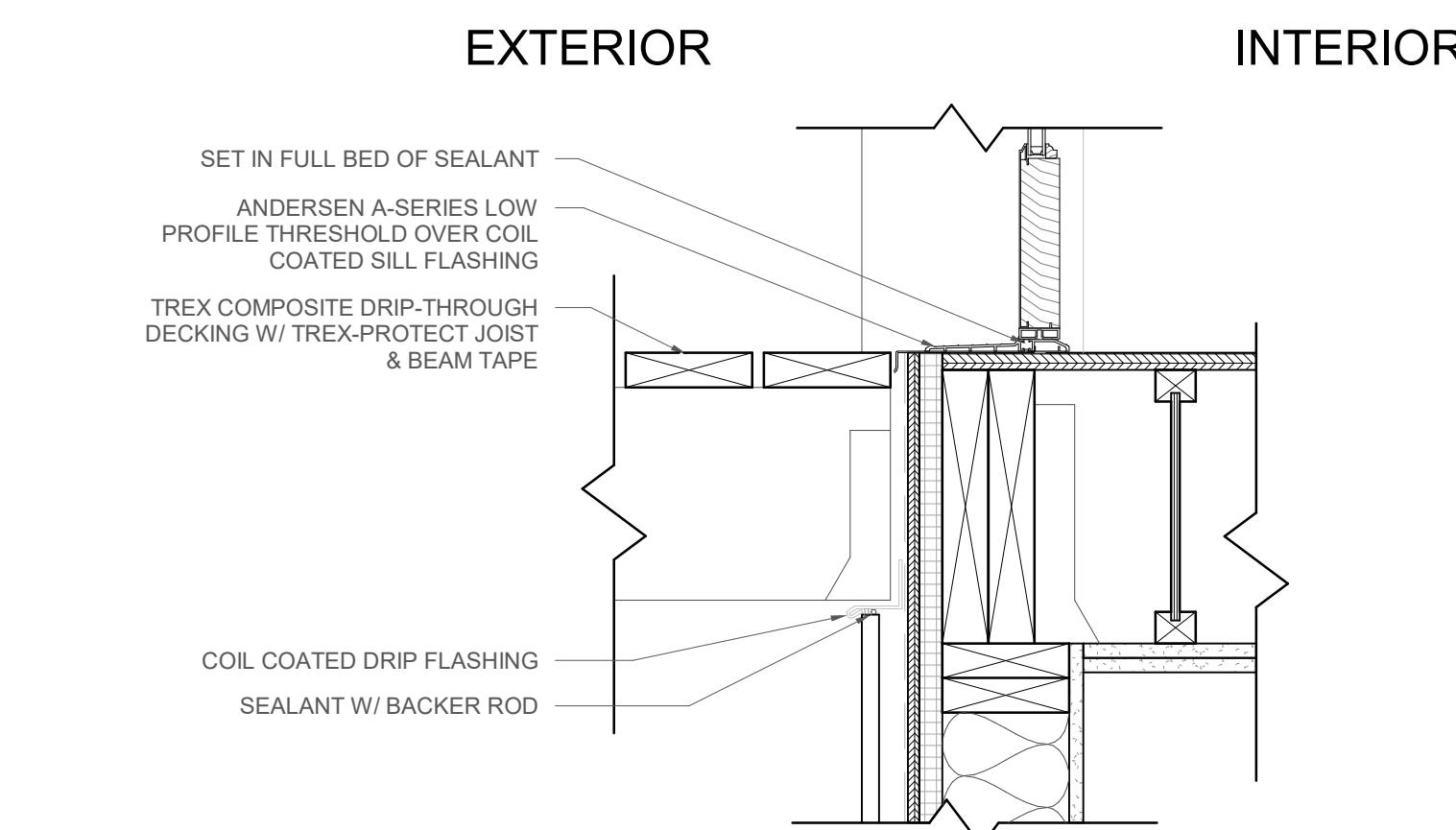
**9 PLAN DETAIL - INSIDE TRIM MTL**  
A5.1 3" = 1'-0"



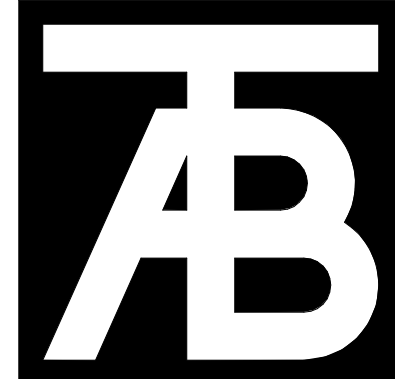
**10 GARAGE DOOR JAMB**  
A5.1 3" = 1'-0"



**13 DOOR THRESHOLD @ WP DECK**  
A5.1 1 1/2" = 1'-0"



**14 DOOR THRESHOLD @ DECK**  
A5.1 1 1/2" = 1'-0"



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**Belden Place - Singel Family**  
**Lot 18 - 0010 Abby Road**  
Minturn, Colorado

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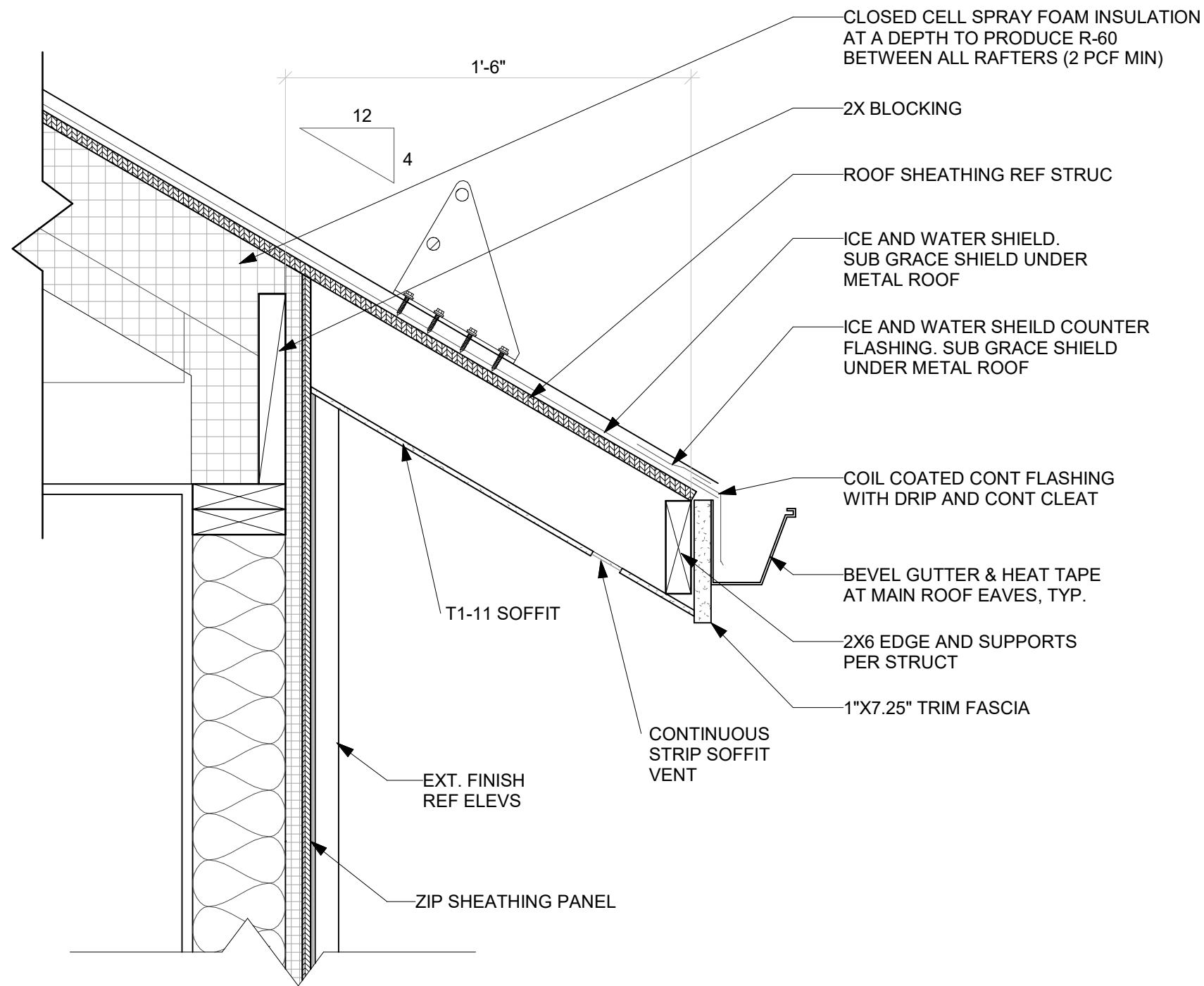
Sheet Title:  
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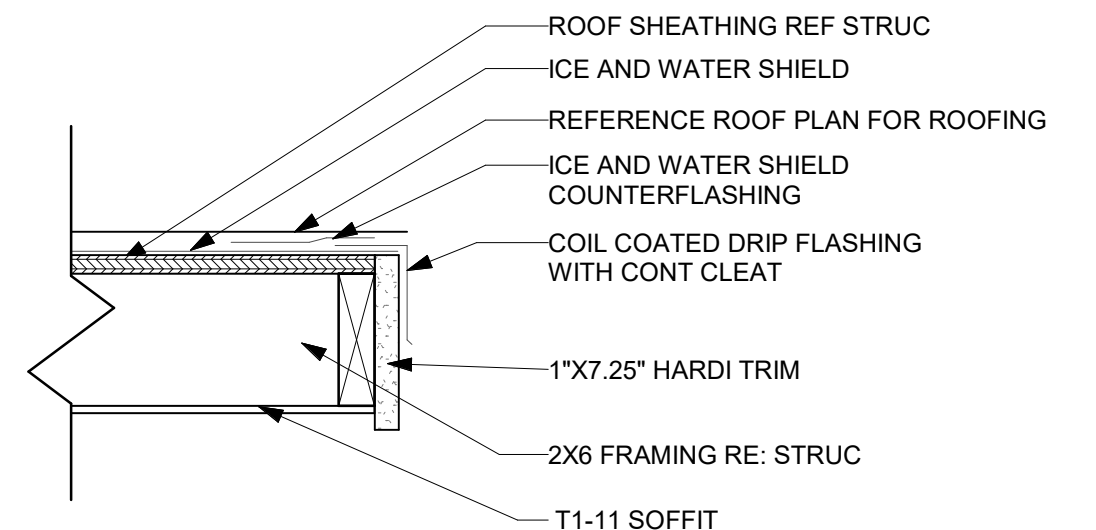
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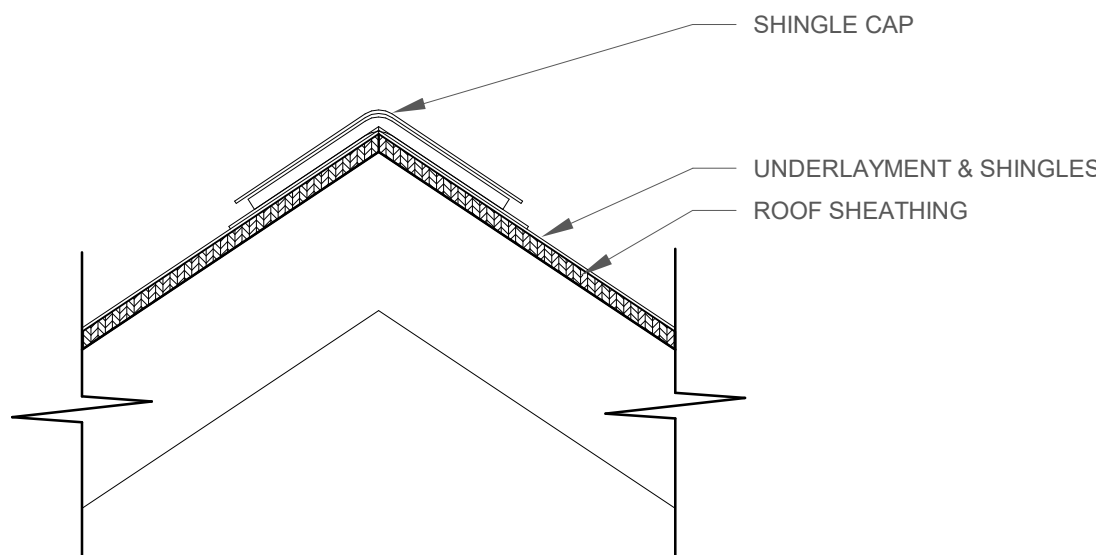
P:\2115 Belden Place - Phase 201 - Dwelling - Electrical Construction Documents\Lot 18 Revit\CD\2025 0210 - 2215 Belden Lot 18 - DRB  
SET\2025 0210 - 2215 Belden Lot 18 - DRB Set.rvt  
2/13/2025 3:05:24 PM



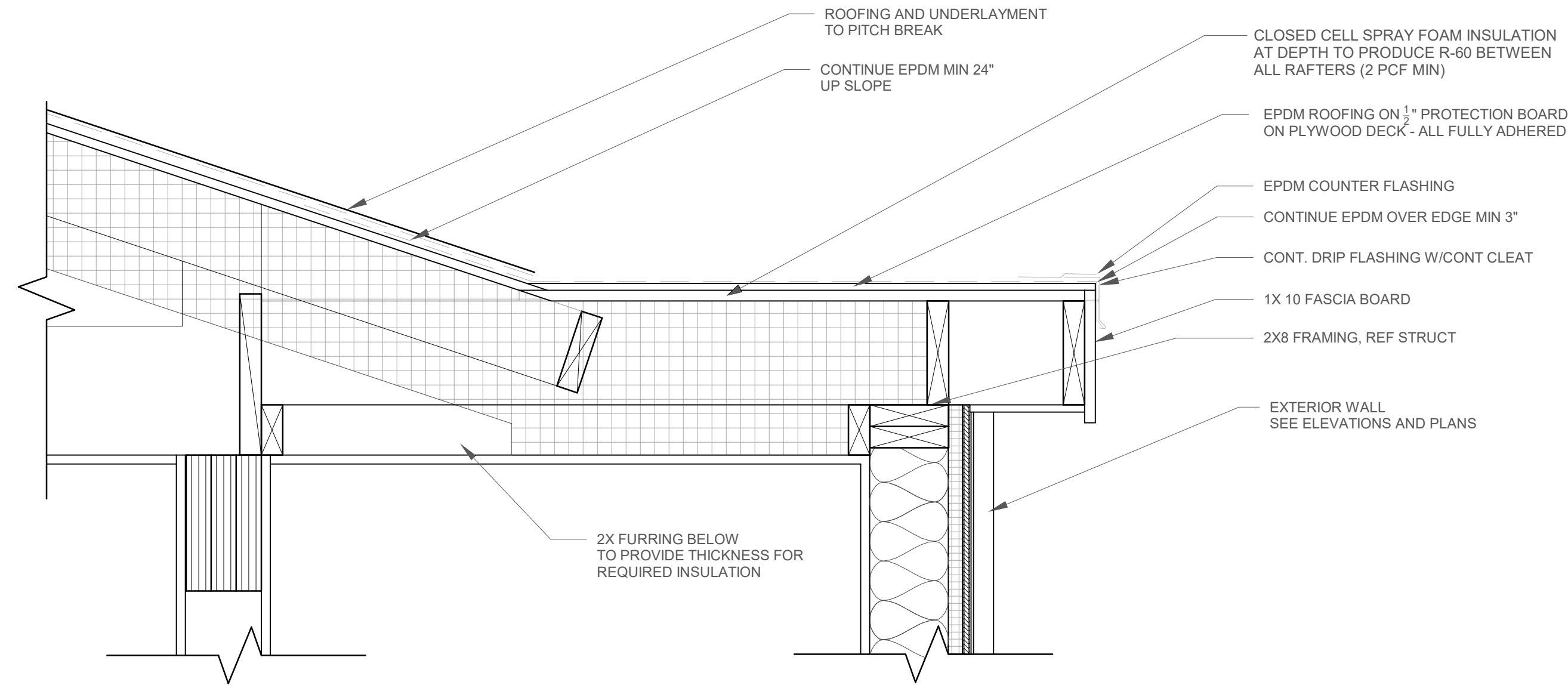
1 FASCIA AT TRUSS  
A5.2 1 1/2" = 1'-0"



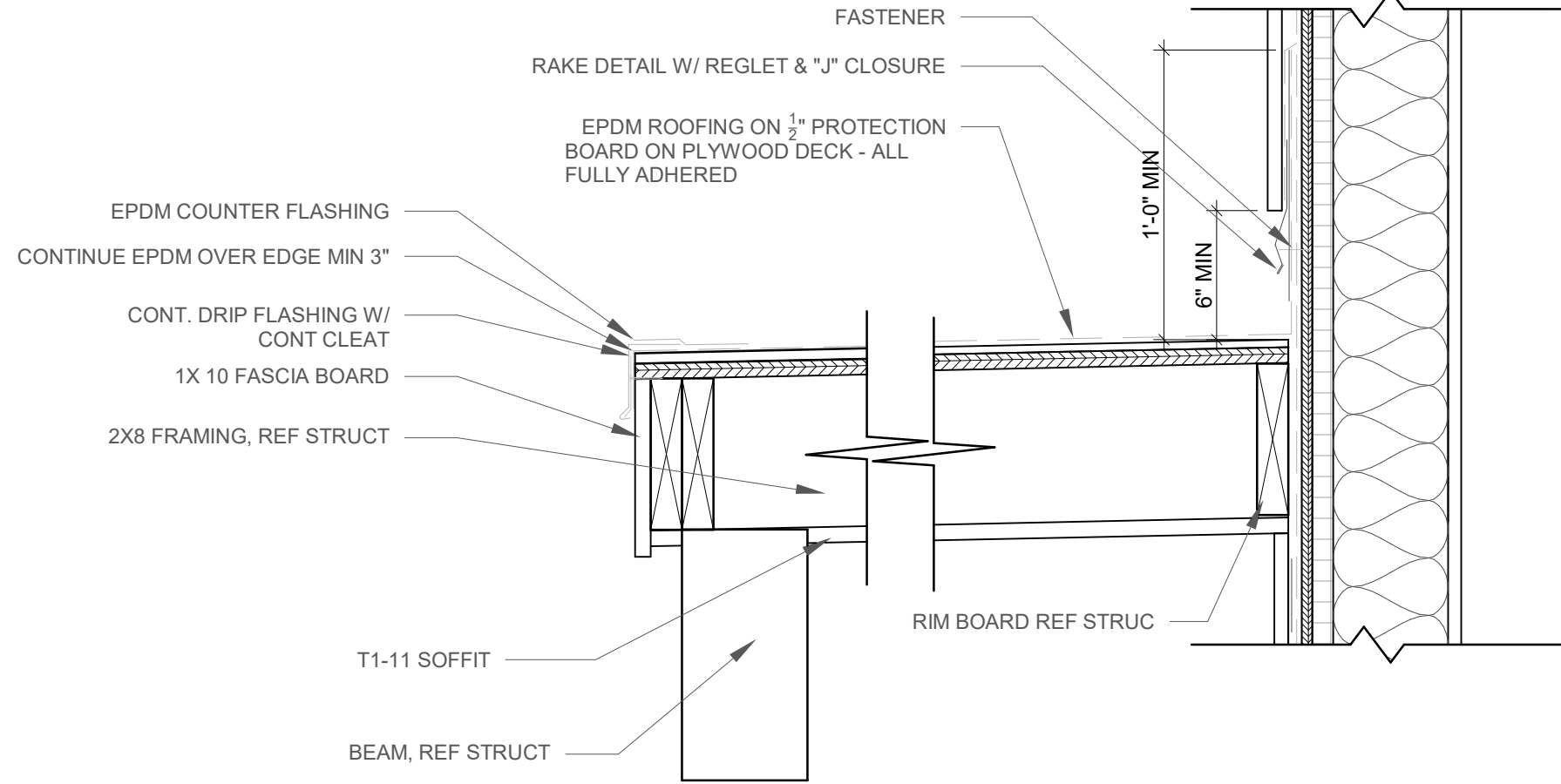
2 TYPICAL EAVE  
A5.2 1 1/2" = 1'-0"



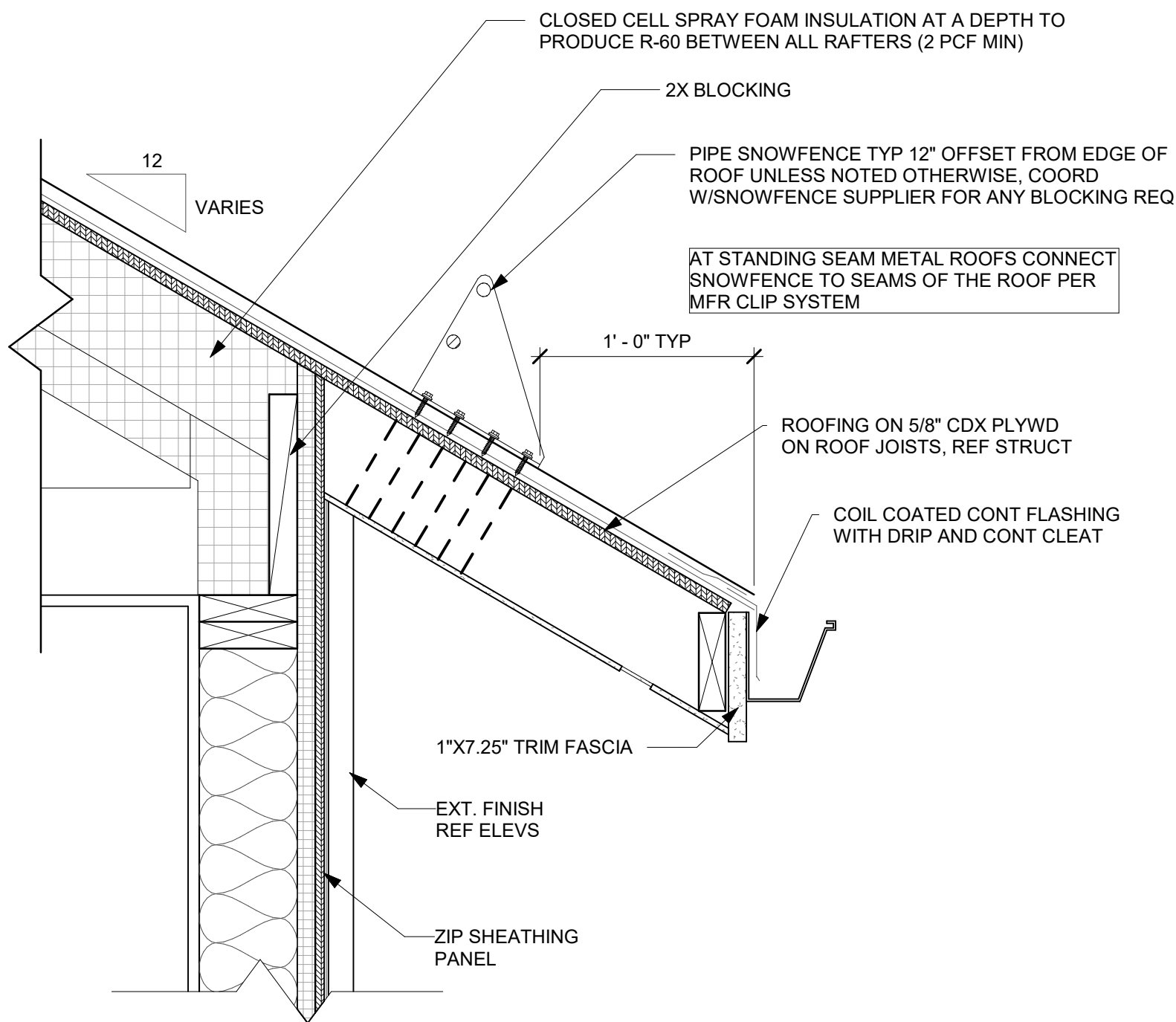
3 TYPICAL RIDGE  
A5.2 1 1/2" = 1'-0"



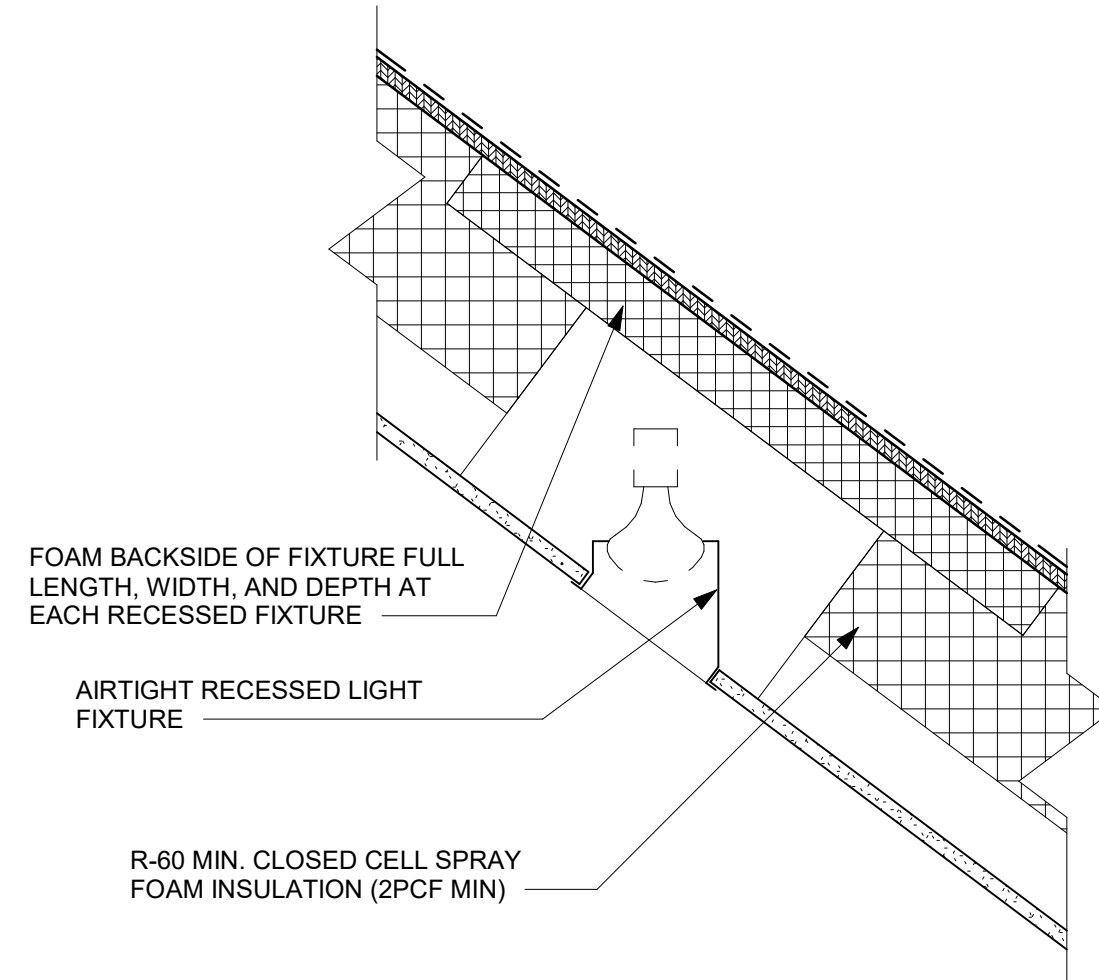
6 STAIR ROOF - LOW SLOPE TRANSITION  
A5.2 1 1/2" = 1'-0"



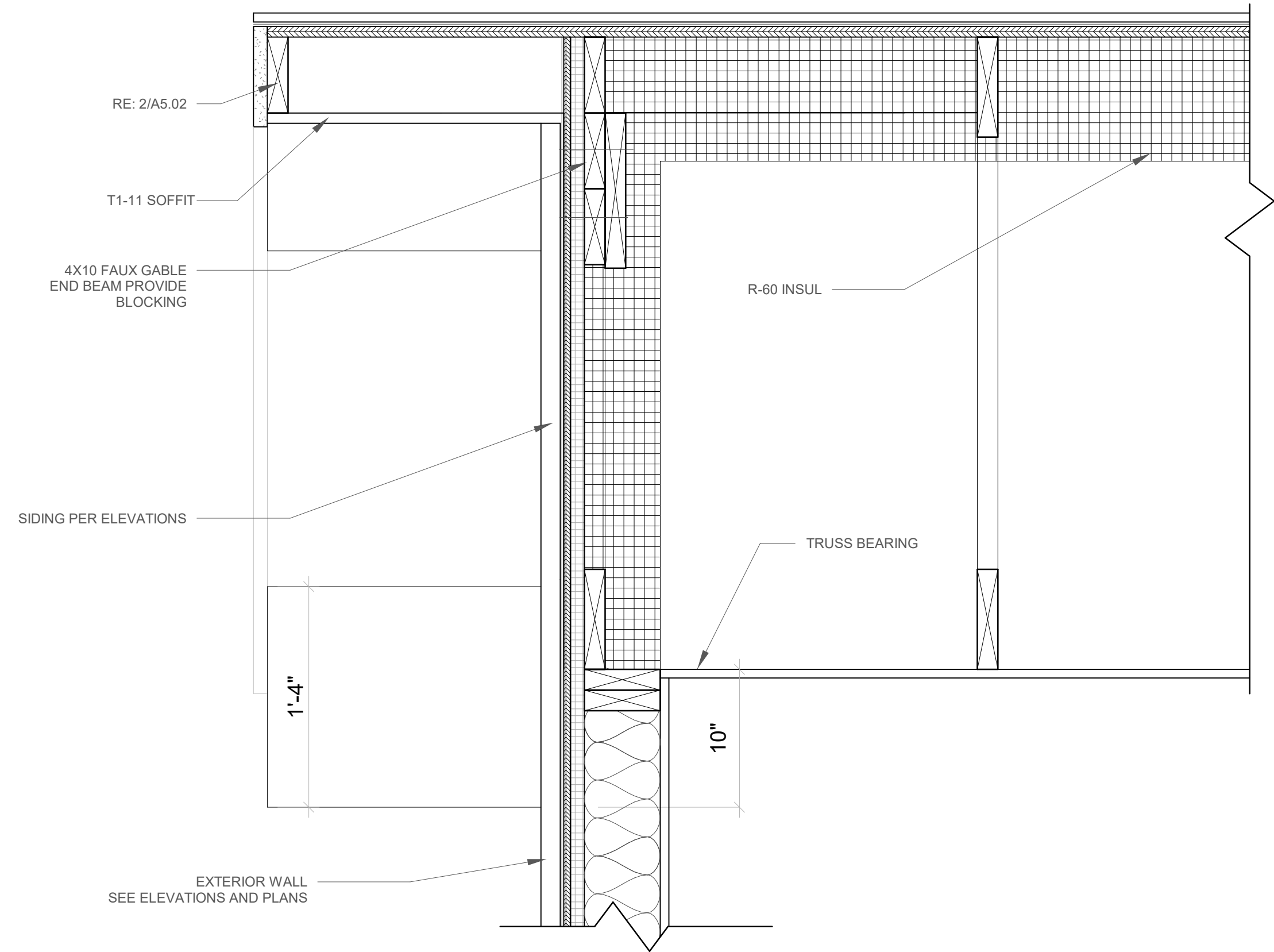
4 COVERED WALKWAY  
A5.2 1 1/2" = 1'-0"



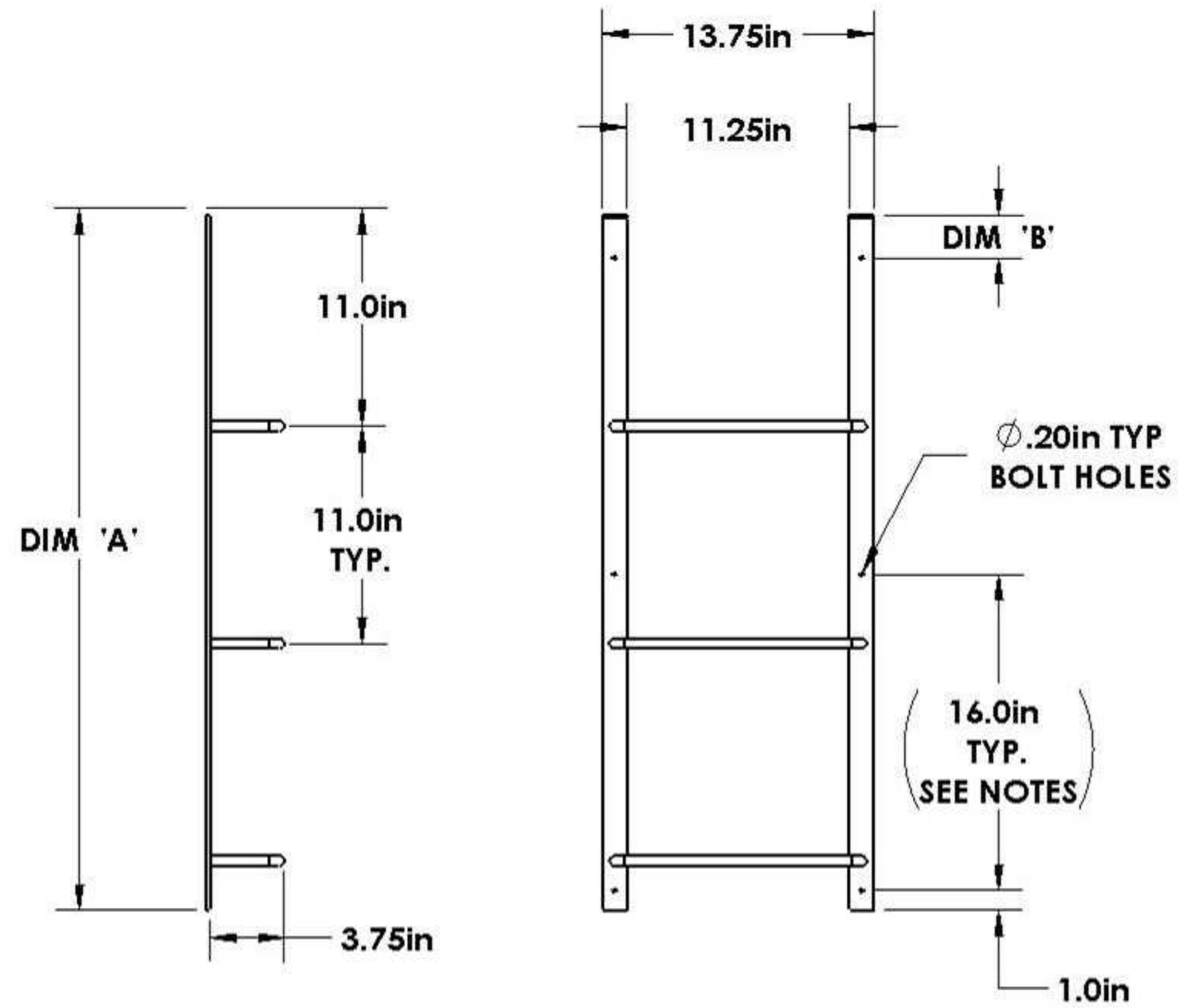
7 ROOF SNOWFENCE  
A5.2 1 1/2" = 1'-0"



9 RECESSED LIGHT FIXTURE  
A5.2 1 1/2" = 1'-0"



5 GABLE END DETAIL  
A5.2 1 1/2" = 1'-0"



Ladder Size	Dim 'A' [in]	Dim 'B' [in]
3 Rung	35.0	2.0
4 Rung	46.0	1.0
5 Rung	57.0	8.0
6 Rung	68.0	3.0
7 Rung	79.0	1.0

Material: Powder-coated Steel

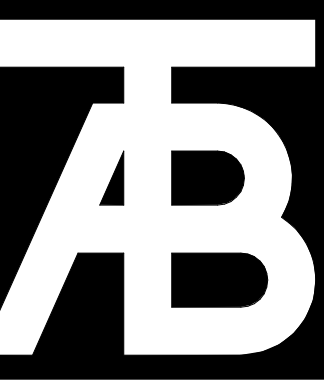
Rung Spacing: 11.0in

Hole Spacing: 16.0in, hole spacing may vary

Hole Diameter: 0.20in

Screw Size\*: #10 (3/16in)

8 EGRESS LADDER  
A5.2 1/4" = 1'-0"



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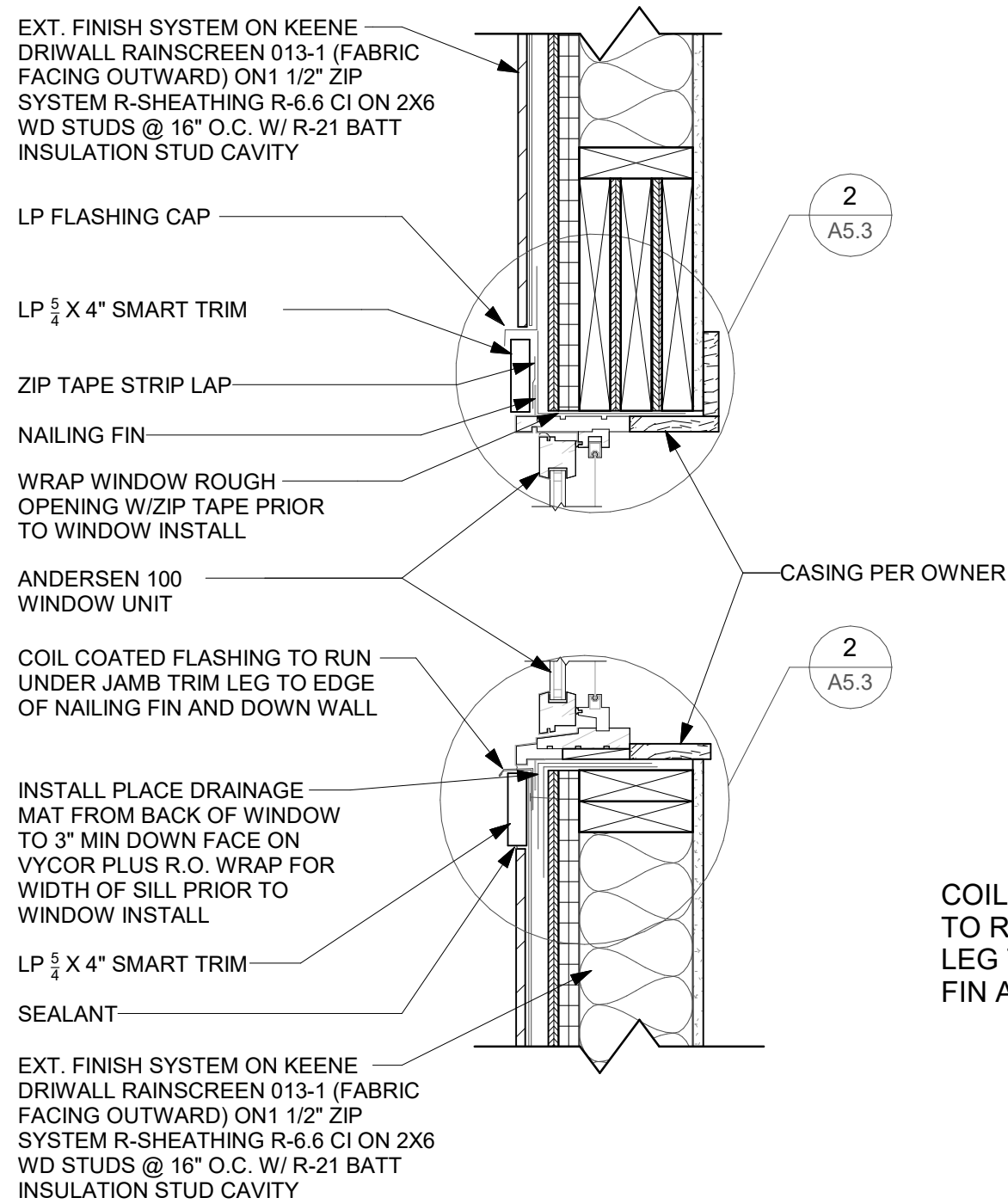
Sheet Title:  
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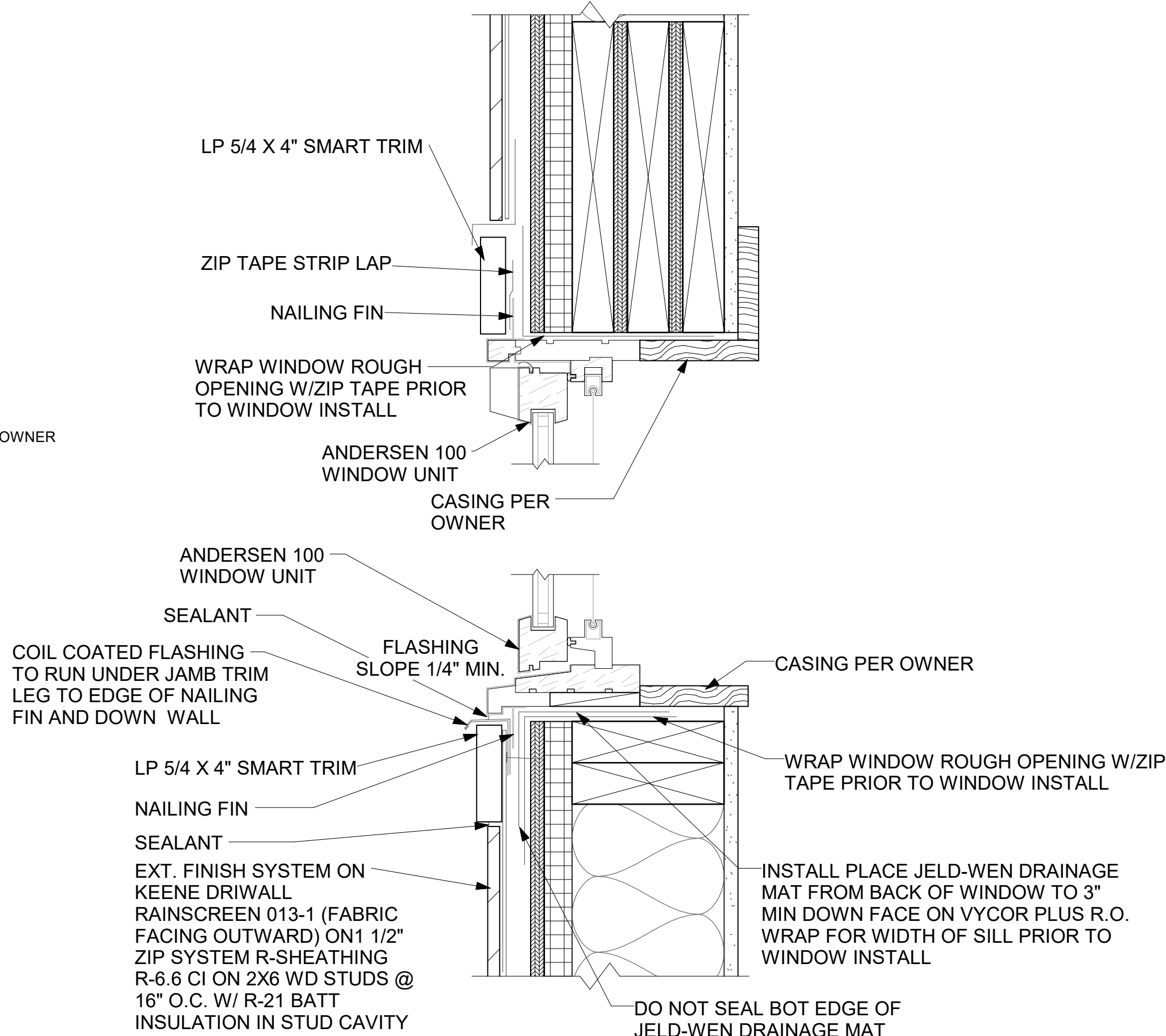
Sheet No:  
**A5.2**



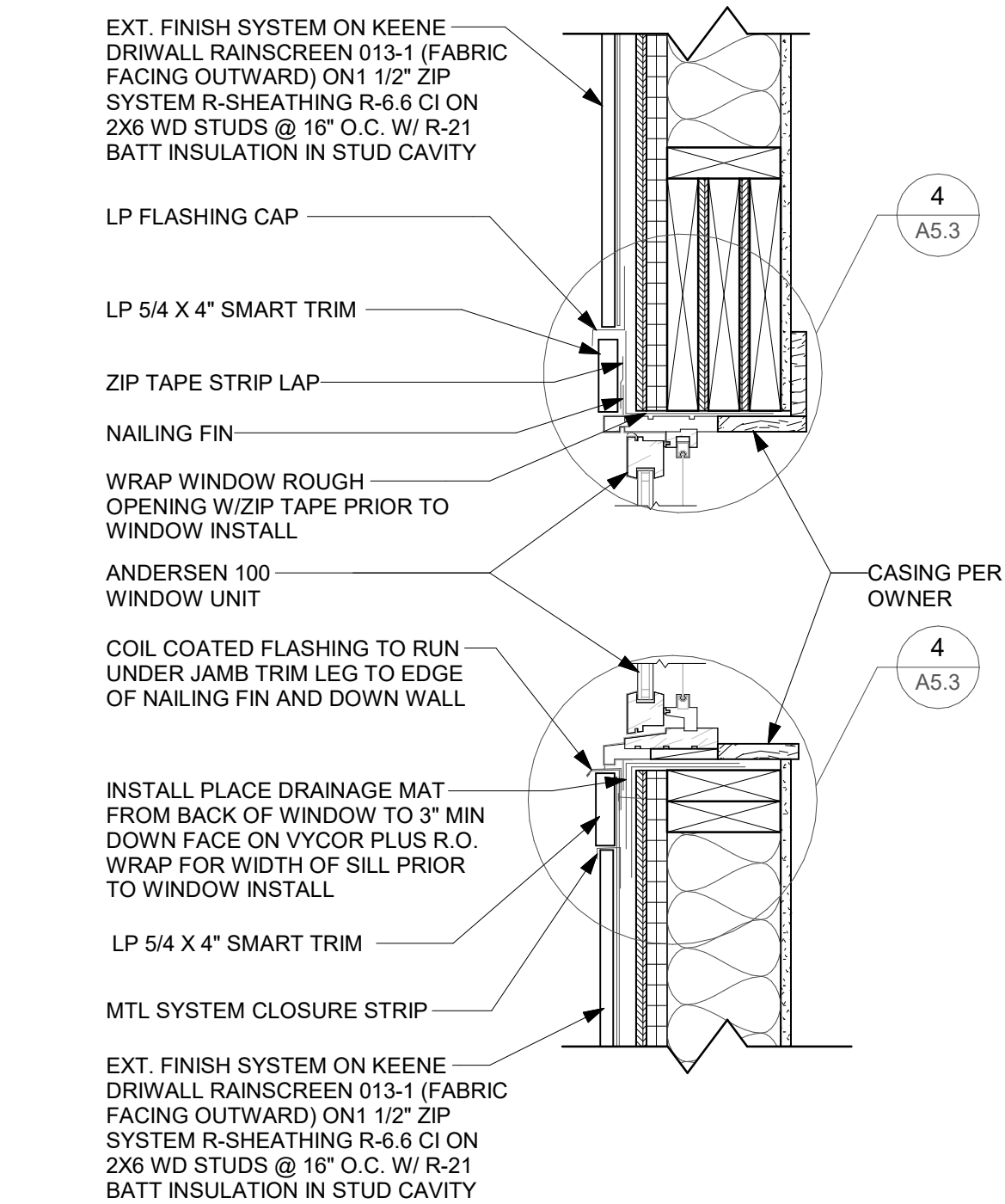
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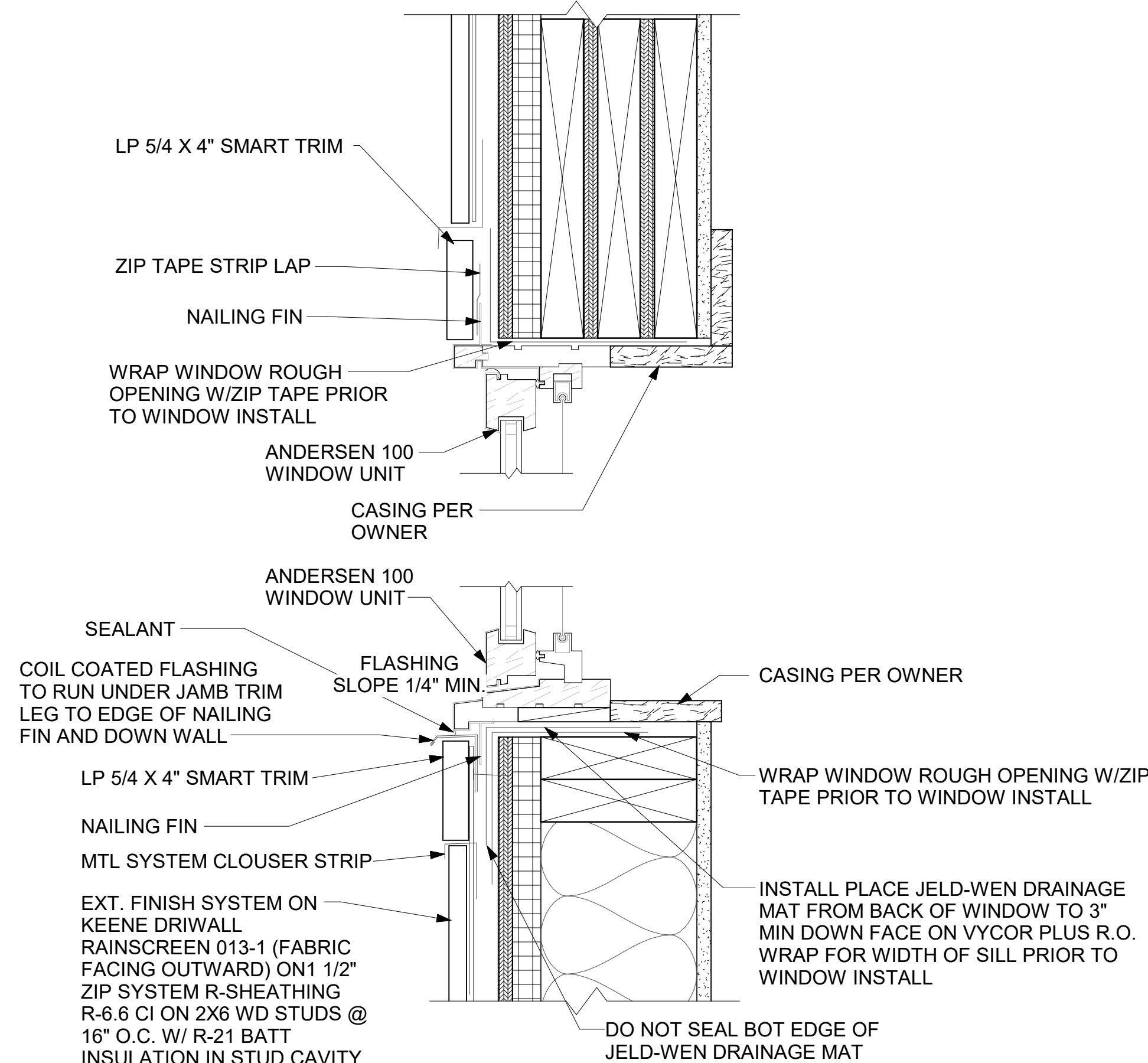
1 WINDOW HEAD SILL  
A5.3 1 1/2" = 1'-0"



2 WINDOW HEAD SILL - ENLARGED  
A5.3 3" = 1'-0"



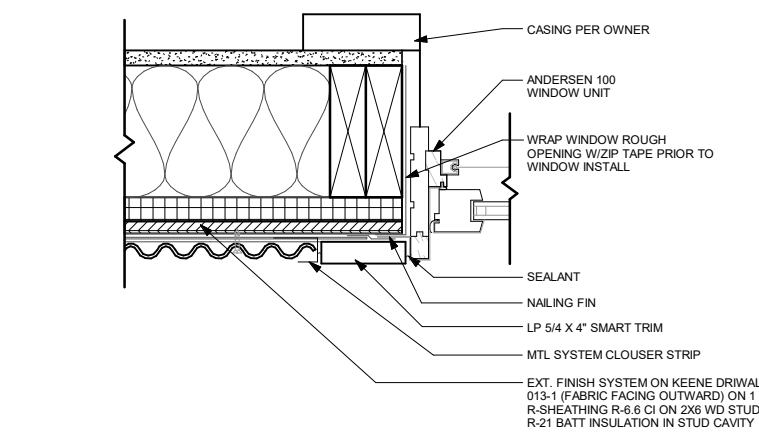
3 WINDOW HEAD SILL MTL  
A5.3 1 1/2" = 1'-0"



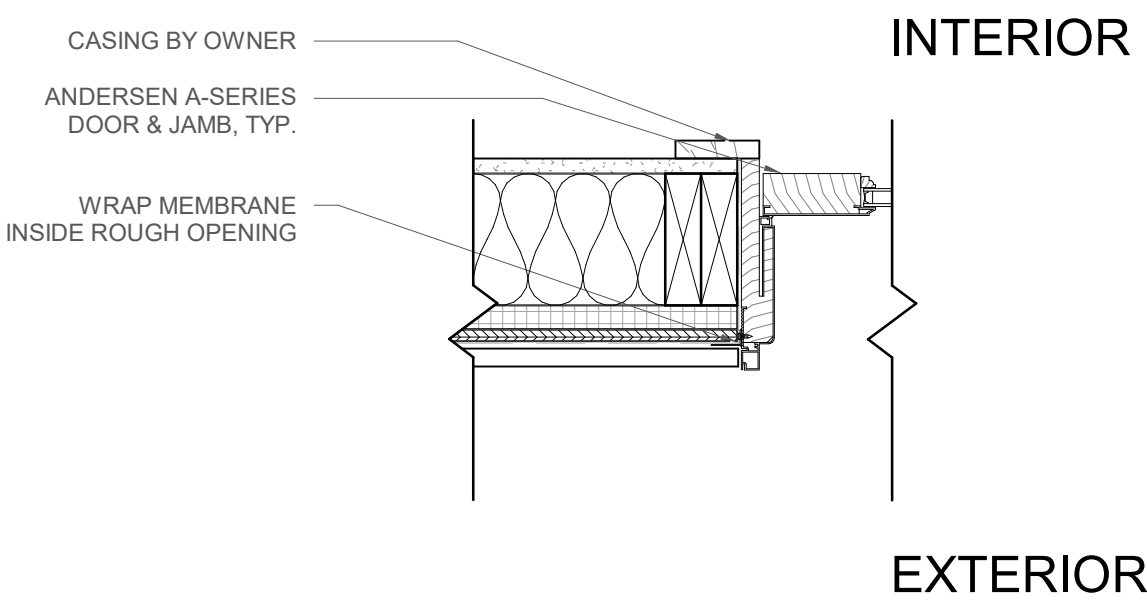
4 WINDOW HEAD SILL MTL - ENLARGED  
A5.3 3" = 1'-0"



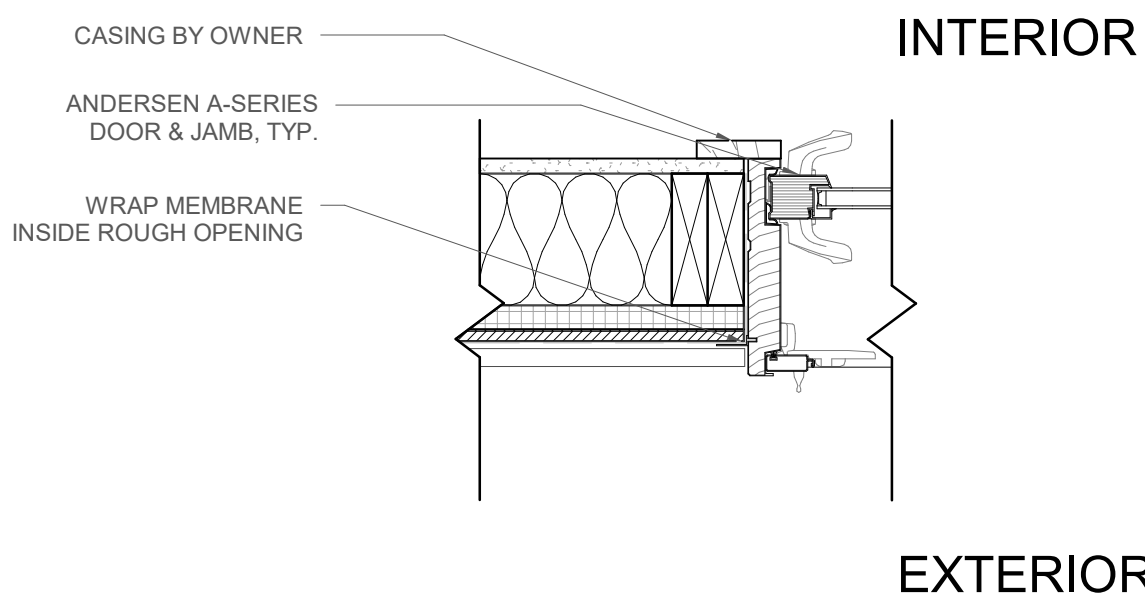
5 WINDOW JAMB  
A5.3 1 1/2" = 1'-0"



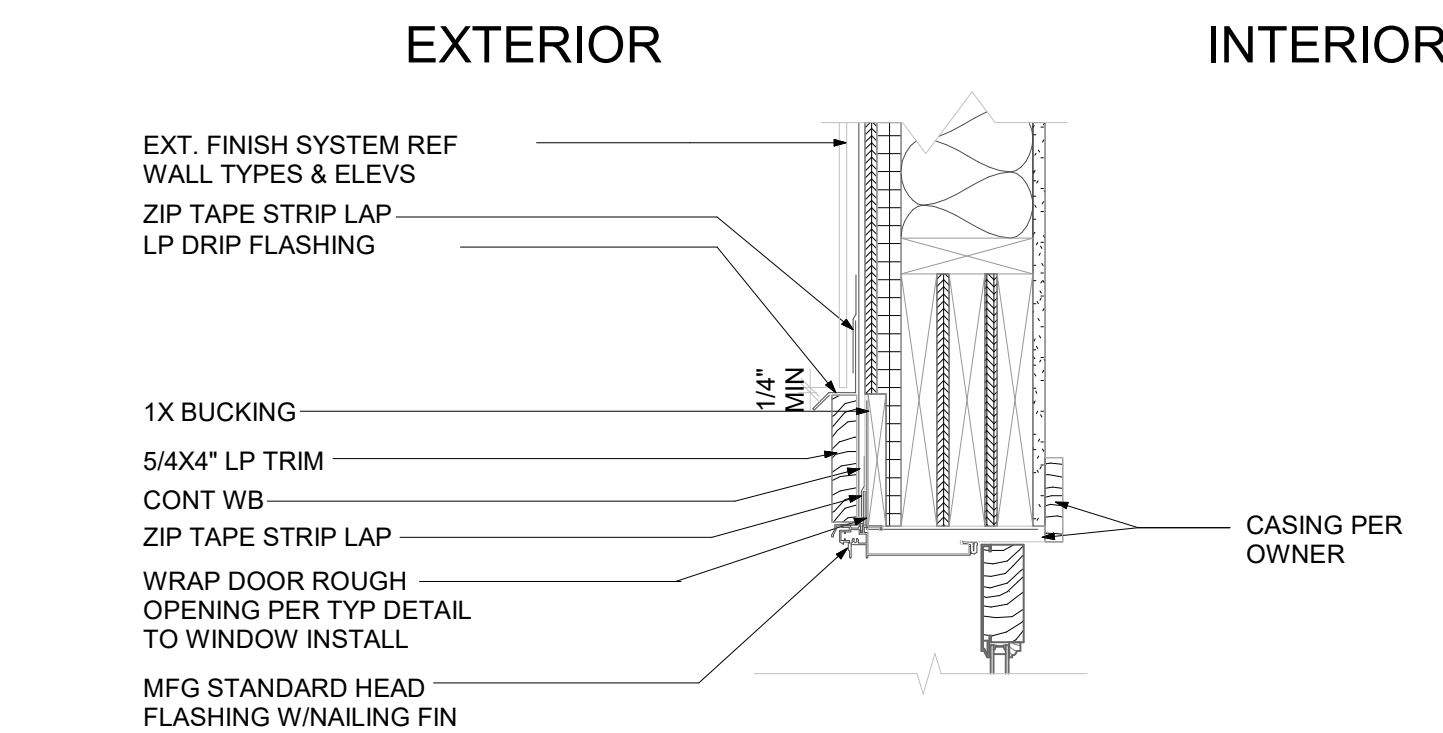
6 WINDOW JAMB MTL  
A5.3 1 1/2" = 1'-0"



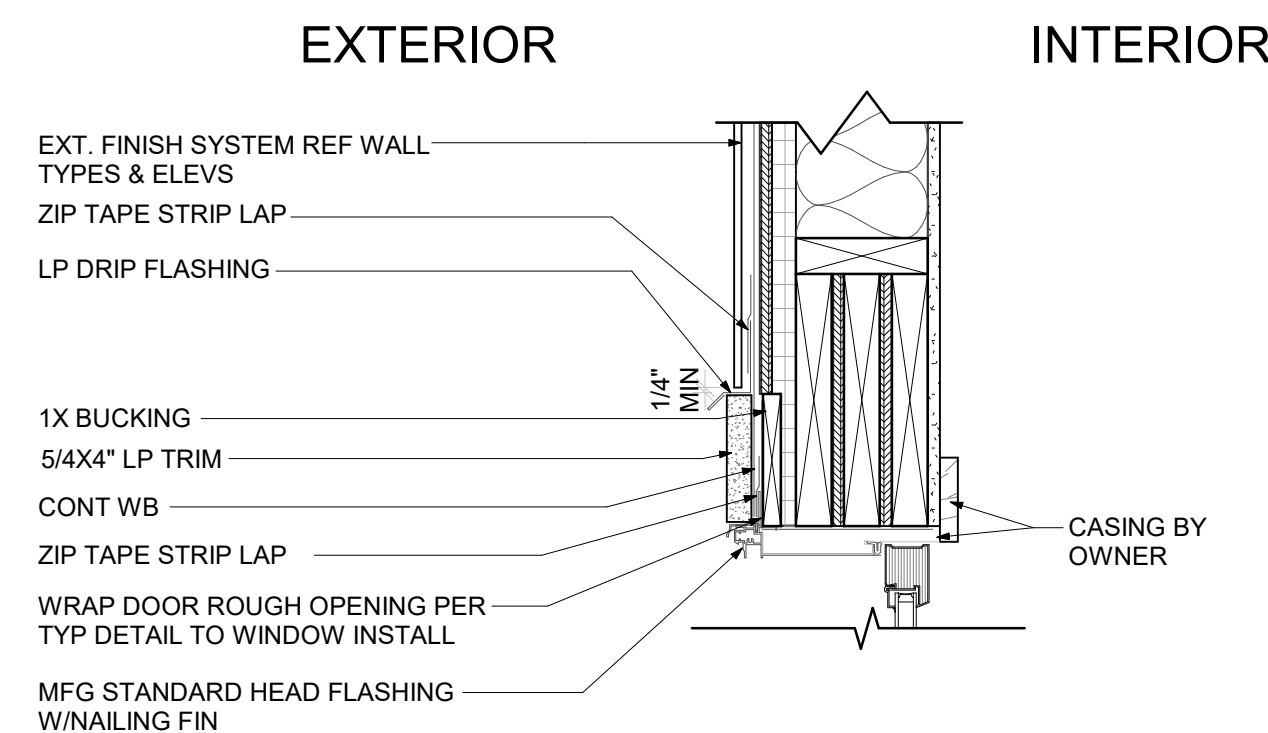
8 DOOR JAMB - SWING  
A5.3 1 1/2" = 1'-0"



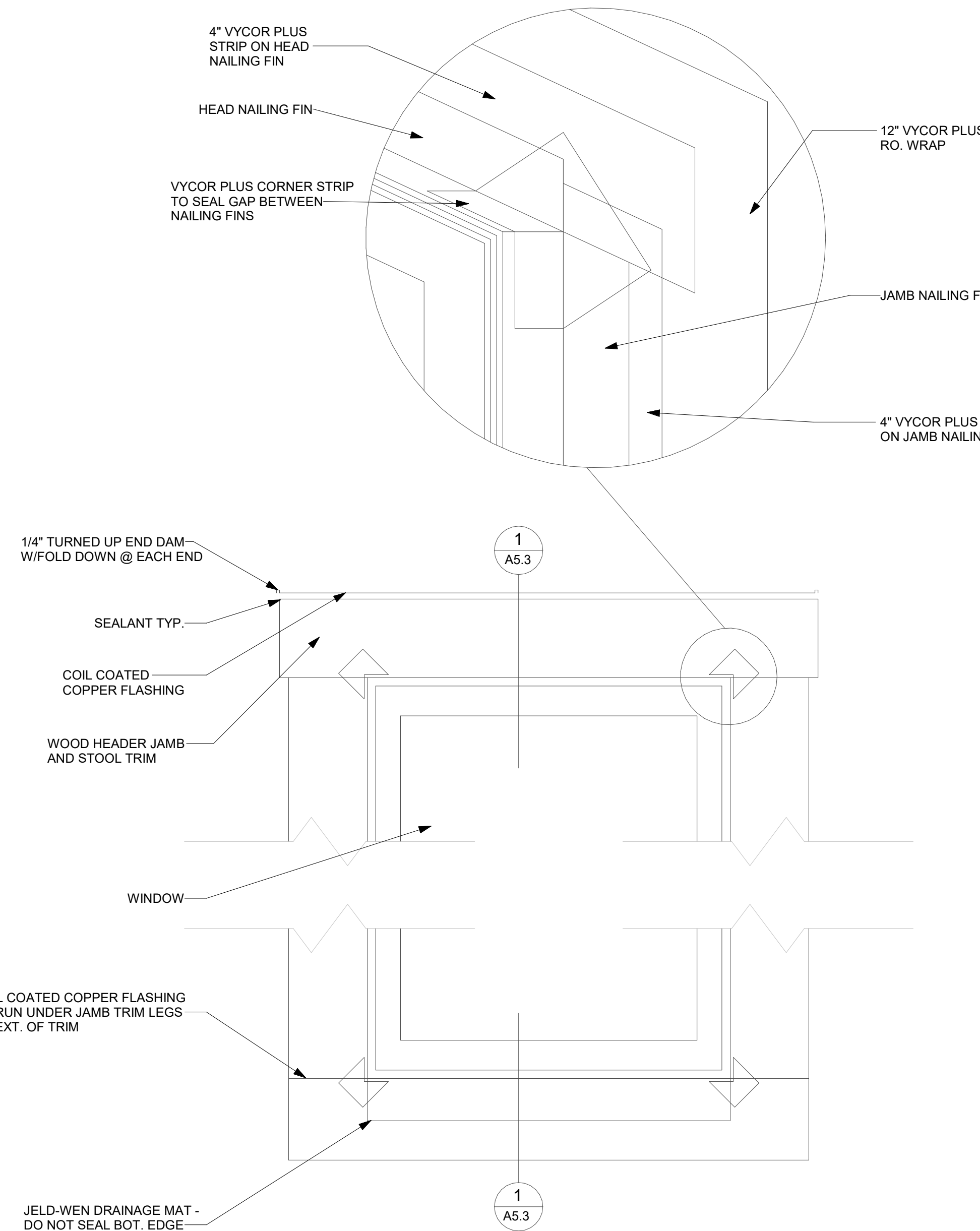
10 DOOR JAMB - SLIDER  
A5.3 1 1/2" = 1'-0"



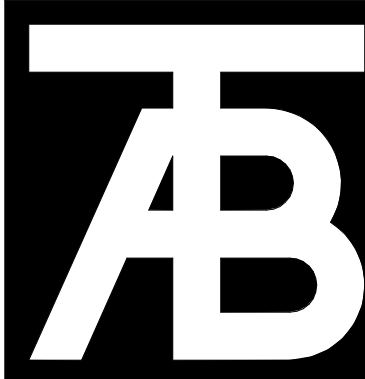
7 DOOR HEAD - SWING  
A5.3 1 1/2" = 1'-0"



9 DOOR HEAD - SLIDER  
A5.3 1 1/2" = 1'-0"



11 WINDOW FLASHING  
A5.3 1 1/2" = 1'-0"



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