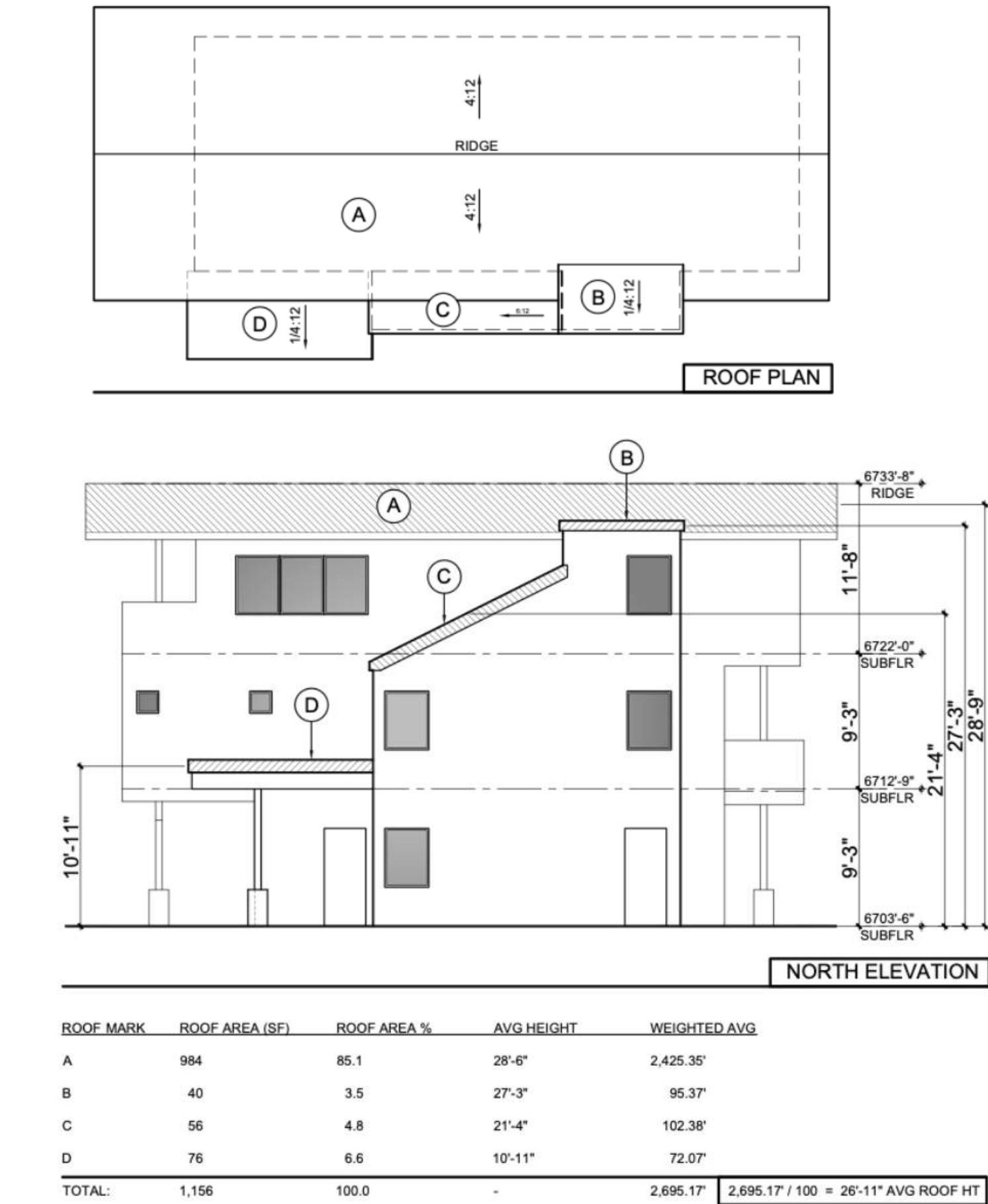
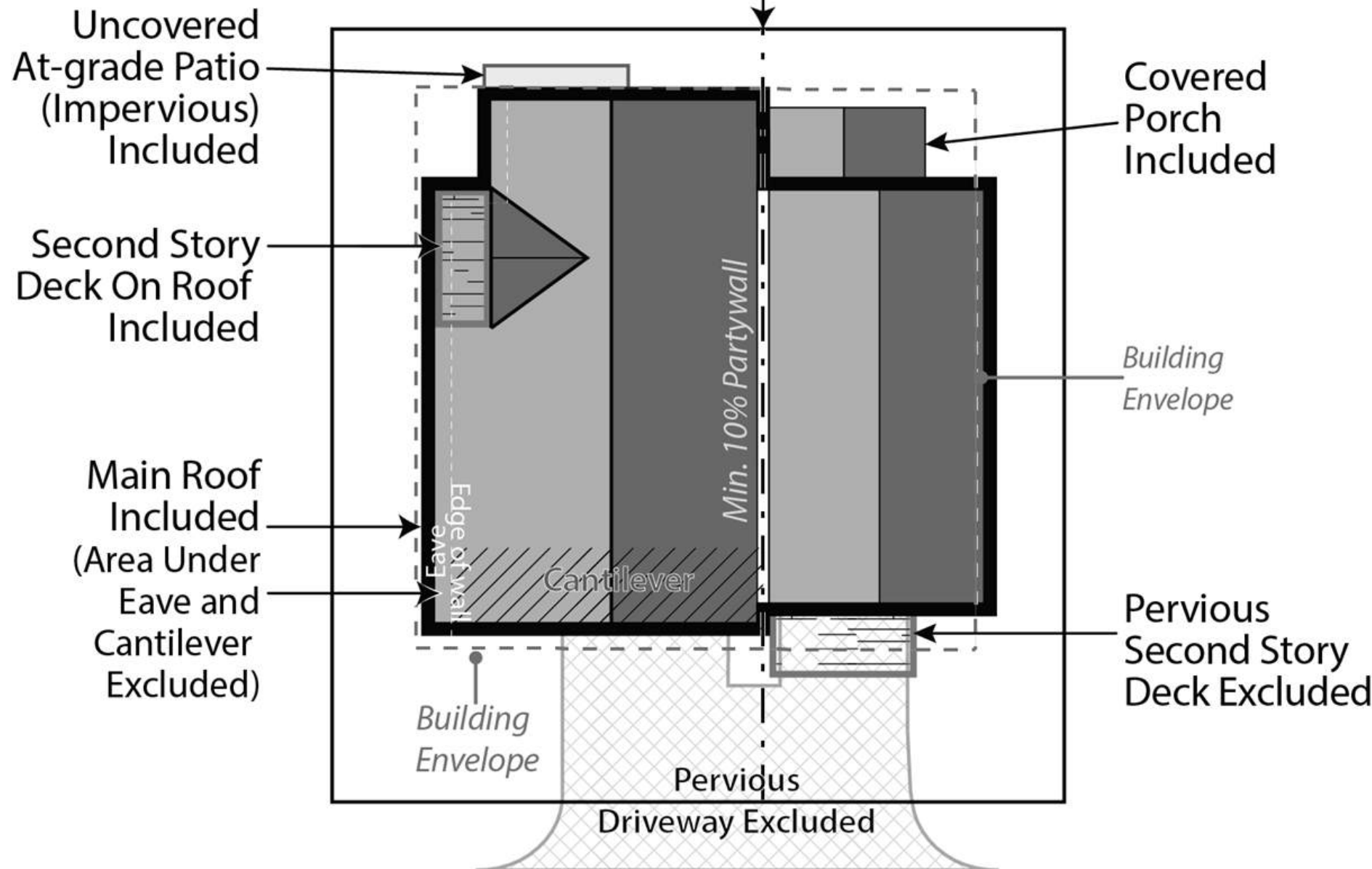


BELDEN PLACE PUD GUIDE INFORMATION
The following is an abreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- Style
 - Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - Roof forms/lines and profiles
 - Varied window and door styles
 - Varied entry treatments and locations including porches, columns, etc.
 - Two or three story homes
 - Second or third story decks or balconies
- Building Form
 - The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- Style
 - Structures shall have at least two (2) elevations to provide stylistic diversity.
 - Units may be multi-stories.
 - Units may be divided horizontally (townhomes) or vertically (flats).
 - Second story decks or balconies permitted.
 - Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- Building Form
 - The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

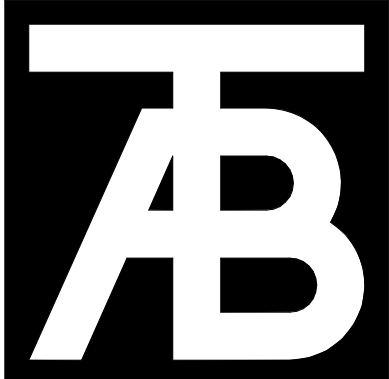
- Roofing materials are limited to the following:
 - Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - Standing seam metal.
 - Asphalt shingles.
 - Imitation (composite or similar); or, real slate tiles.
 - Non-reflective solar tiles that mimic the above-mentioned products
 - Any other recommended FireWise materials similar to the above-mentioned products.
- Siding materials are limited to the following:
 - Metal
 - Wood
 - Composite siding
 - Fiber cement board (commonly known as "Hardie Board")
 - Stucco.
 - Any other recommended FireWise materials similar to the above-mentioned products.
 - All siding materials to have non-reflective finishes.
- Doors and Windows:
 - Structures with multiple garage doors must always have identical, matching doors.
 - All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

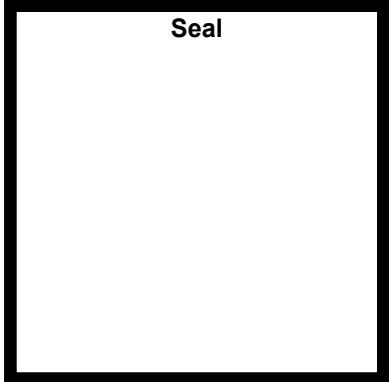
Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. *See also official Landscaping Plan for Belden Place.*
- All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- All dead materials must be replaced during the same season death occurs.



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The Architectural Balance
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Suite 210
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(970) 766-1470
fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer



Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
PUD Guide

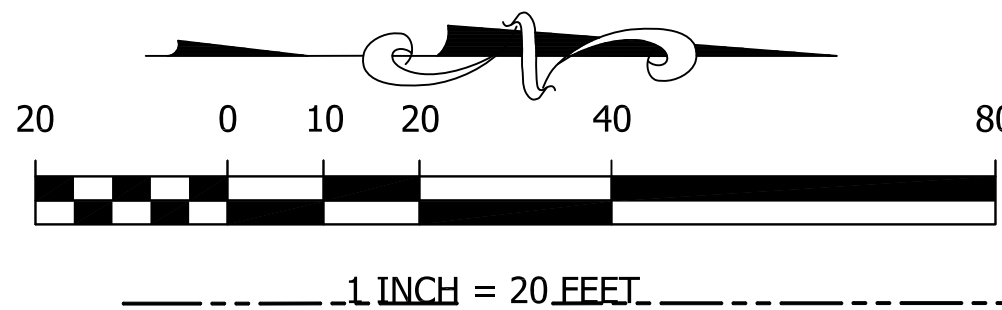
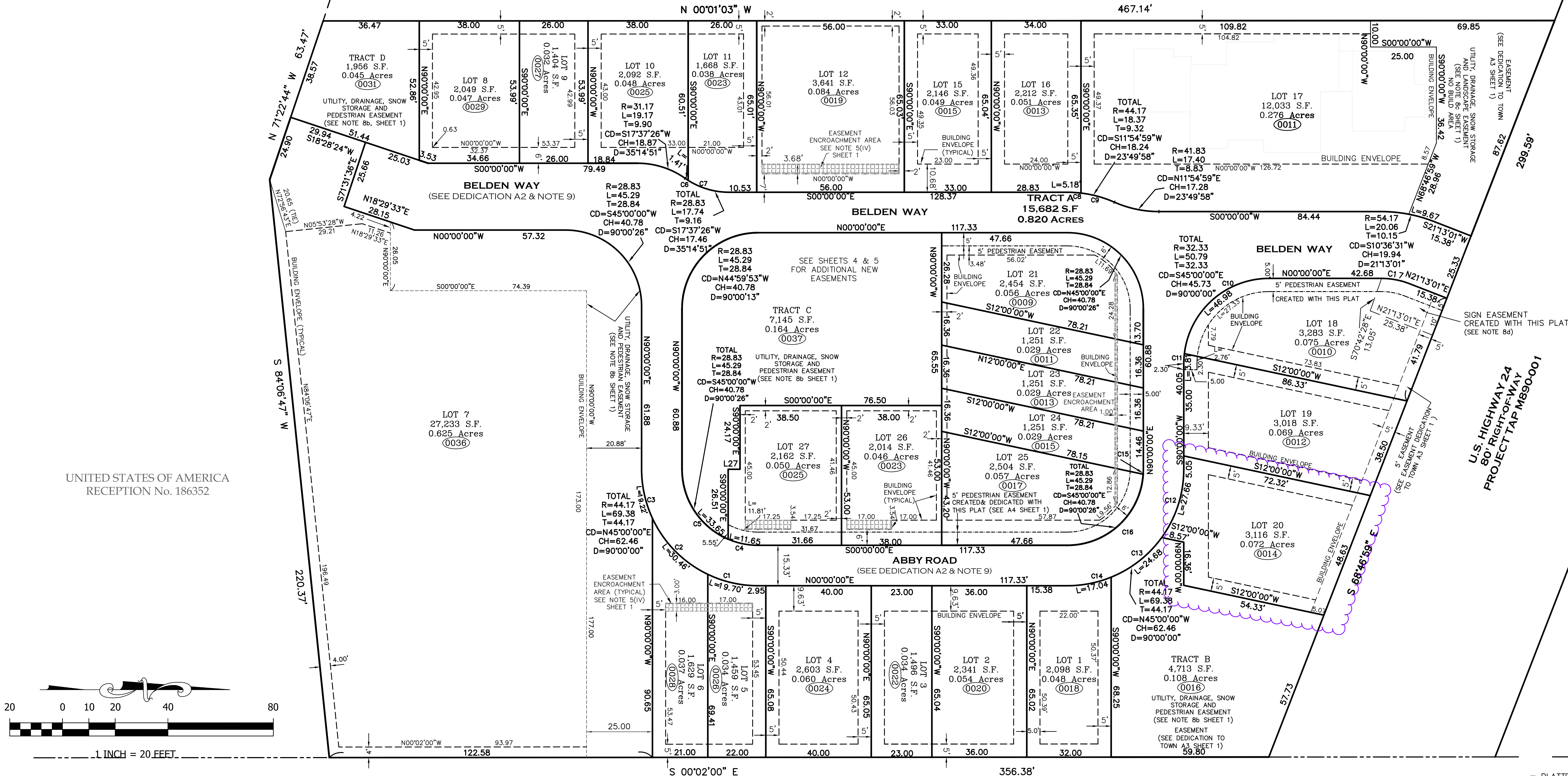
Project No:
2215

Sheet No:
A0.2

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA
RECEPTION No.246983

THIS SHEET IS A PORTION OF
THE FINAL PLAT, REFER TO
COMPLETE - FINAL PLAT,
BELDEN PLACE PUD



Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

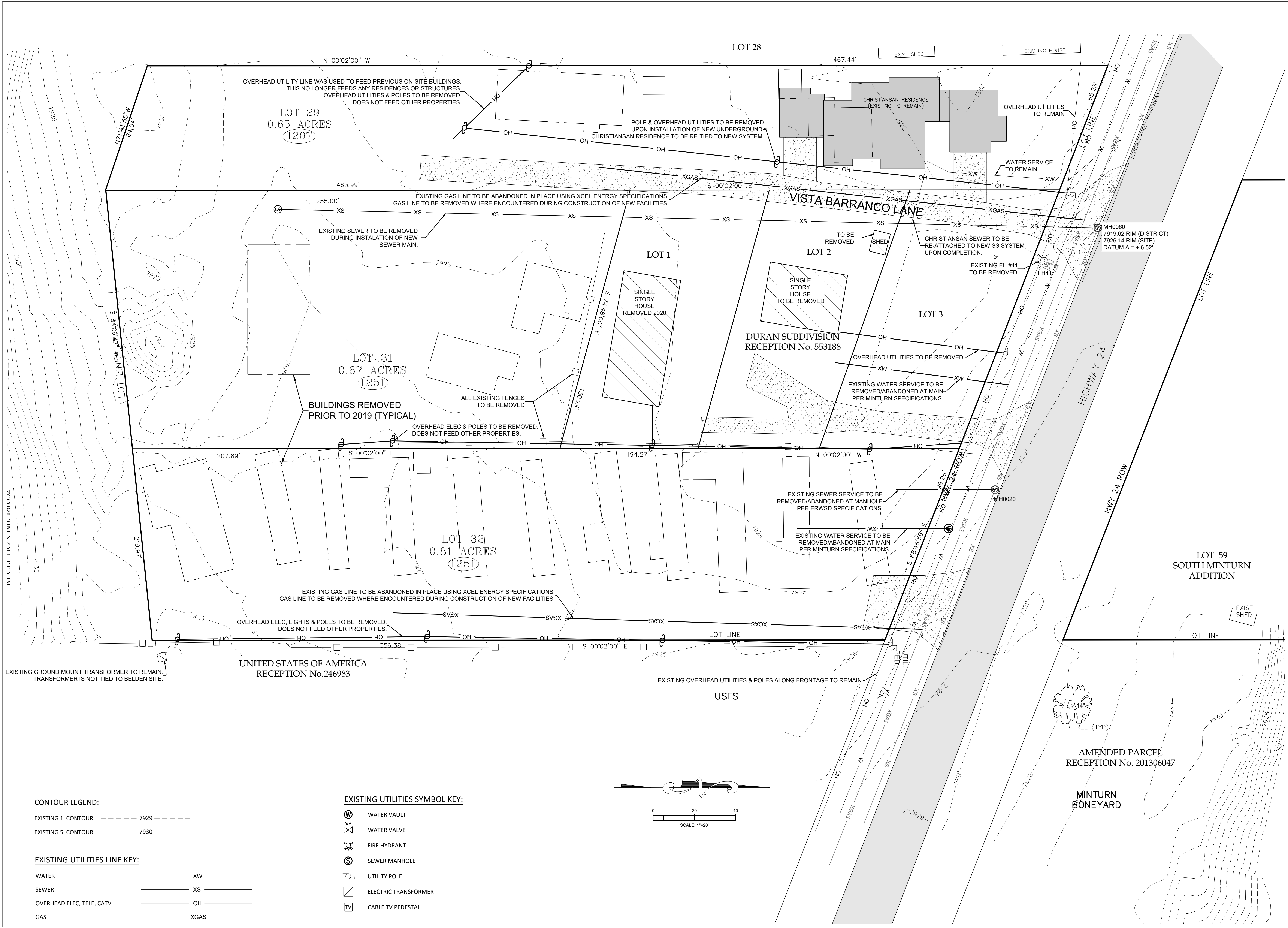


SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



CONTOUR LEGEND:

EXISTING 1' CONTOUR - - - - - 7929 - - - - -

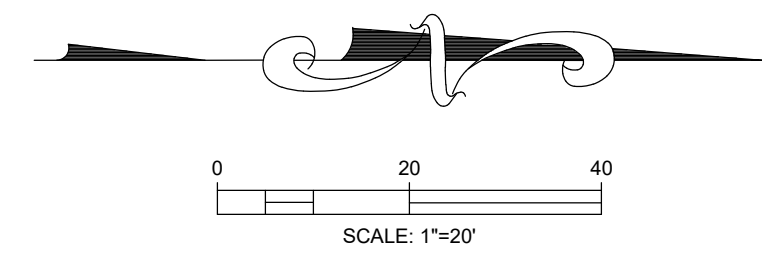
EXISTING 5' CONTOUR - - - - - 7930 - - - - -

EXISTING UTILITIES LINE KEY:

WATER	_____ XW _____
SEWER	_____ XS _____
OVERHEAD ELEC, TELE, CATV	_____ OH _____
GAS	_____ XGAS _____

EXISTING UTILITIES SYMBOL KEY:

	WATER VAULT
	WATER VALVE
	FIRE HYDRANT
	SEWER MANHOLE
	UTILITY POLE
	ELECTRIC TRANSFORMER
	CABLE TV PEDESTAL



TIMBERLINE
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timberlineengineering@gmail.com

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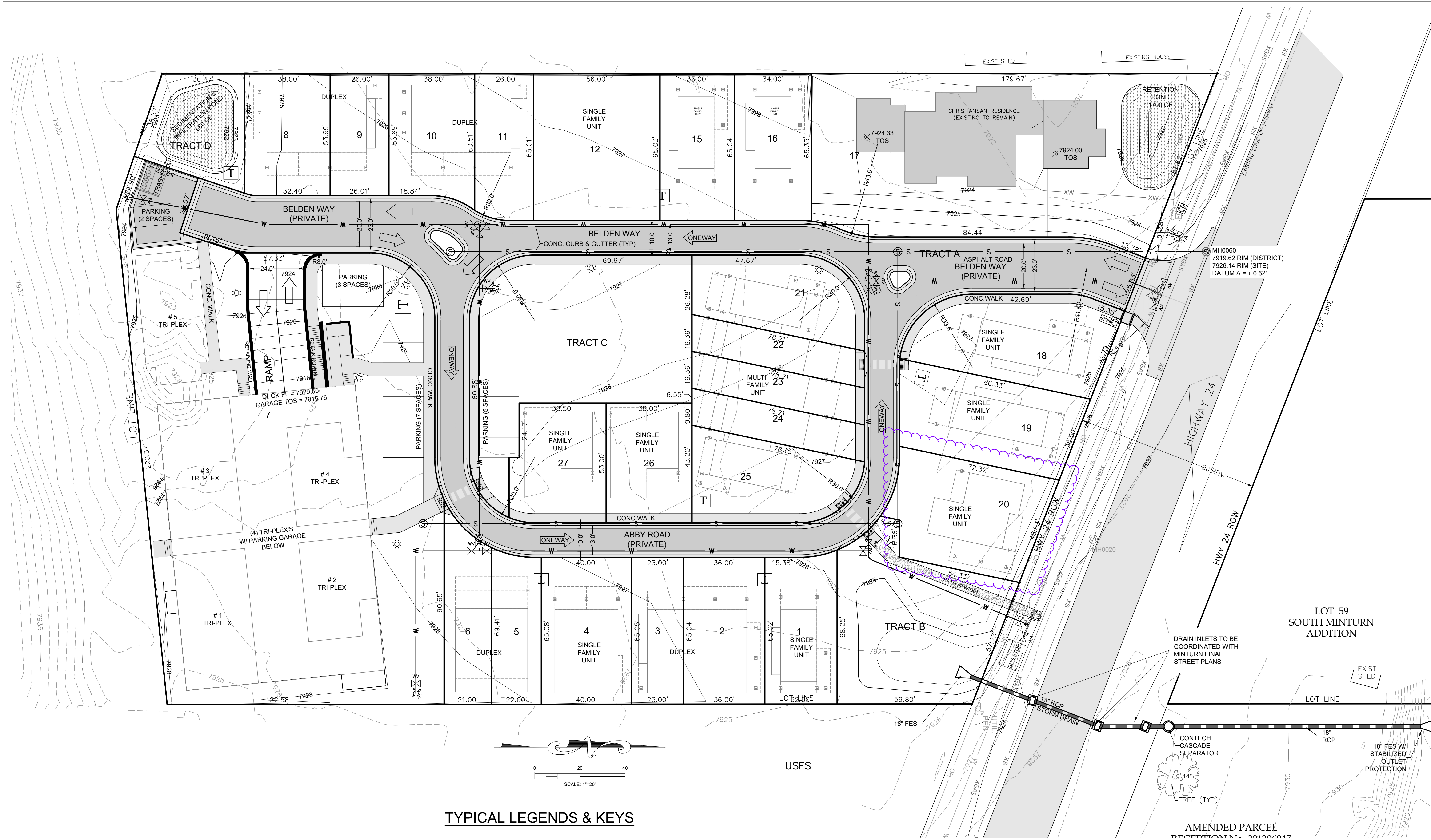
Lot 20
Belden Place Phase 2
Minturn, Colorado

NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title: **EXISTING SITE & DEMOLITION PLAN**

Sheet: **C.110**



TYPICAL LEGENDS & KEYS

AD = AREA DRAIN
CFS = CUBIC FEET PER SECOND
CONC = CONCRETE
EC = EDGE OF CONCRETE
EOA = EDGE OF ASPHALT
EP = EDGE OF PAVEMENT
EX = EXISTING
FF = FINISHED FLOOR
FG = FINISHED GRADE
FL = FLOW LINE
GD = GRADE/GROUND
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TD = TRENCH DRAIN
TOS = TOP OF SLAB
TOW = TOP OF WALL
TYP = TYPICAL
WH = WALL HEIGHT
TOW = TOP BACK OF WALK
EL = ELEVATION
TOP = TOP OF PIPE

CONTOUR LEGEND:

EXISTING 1' CONTOUR --- 7929 ---
EXISTING 5' CONTOUR --- 7930 ---
PROPOSED 1' CONTOUR --- 7929 ---
PROPOSED 5' CONTOUR --- 7930 ---

EXISTING UTILITIES LINE KEY:

WATER --- XW ---
SEWER --- XS ---
OVERHEAD ELEC, TELE, CATV --- OH ---
GAS --- XGAS ---

EXISTING UTILITIES SYMBOL KEY:

WATER VAULT
WATER VALVE
FIRE HYDRANT
SEWER MANHOLE
UTILITY POLE
ELECTRIC TRANSFORMER
CABLE TV PEDESTAL

PROPOSED UTILITY SYMBOL KEY:

WATER VAULT
WATER VALVE
FIRE HYDRANT
SEWER MANHOLE
UTILITY POLE
ELECTRIC TRANSFORMER
CABLE TV PEDESTAL
ELECTRIC SPICE VAULT

INDICATES DIRECTION OF TRAFFIC FLOW

LINE KEY:
WATER --- W ---
SEWER --- S ---

PARKING NOTES:
PARKING SPACES 9' X 18' MIN.

REFER TO COMPLETE -
FINAL PLAT, BELDEN PLACE PUD

EARTHWORK:
5175 CYD CUT
8130 CYD FILL
2955 CYD NET <FILL>
(DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)

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PROFESSIONAL ENGINEER
3976

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Lot 20
Belden Place Phase 2
Minturn, Colorado

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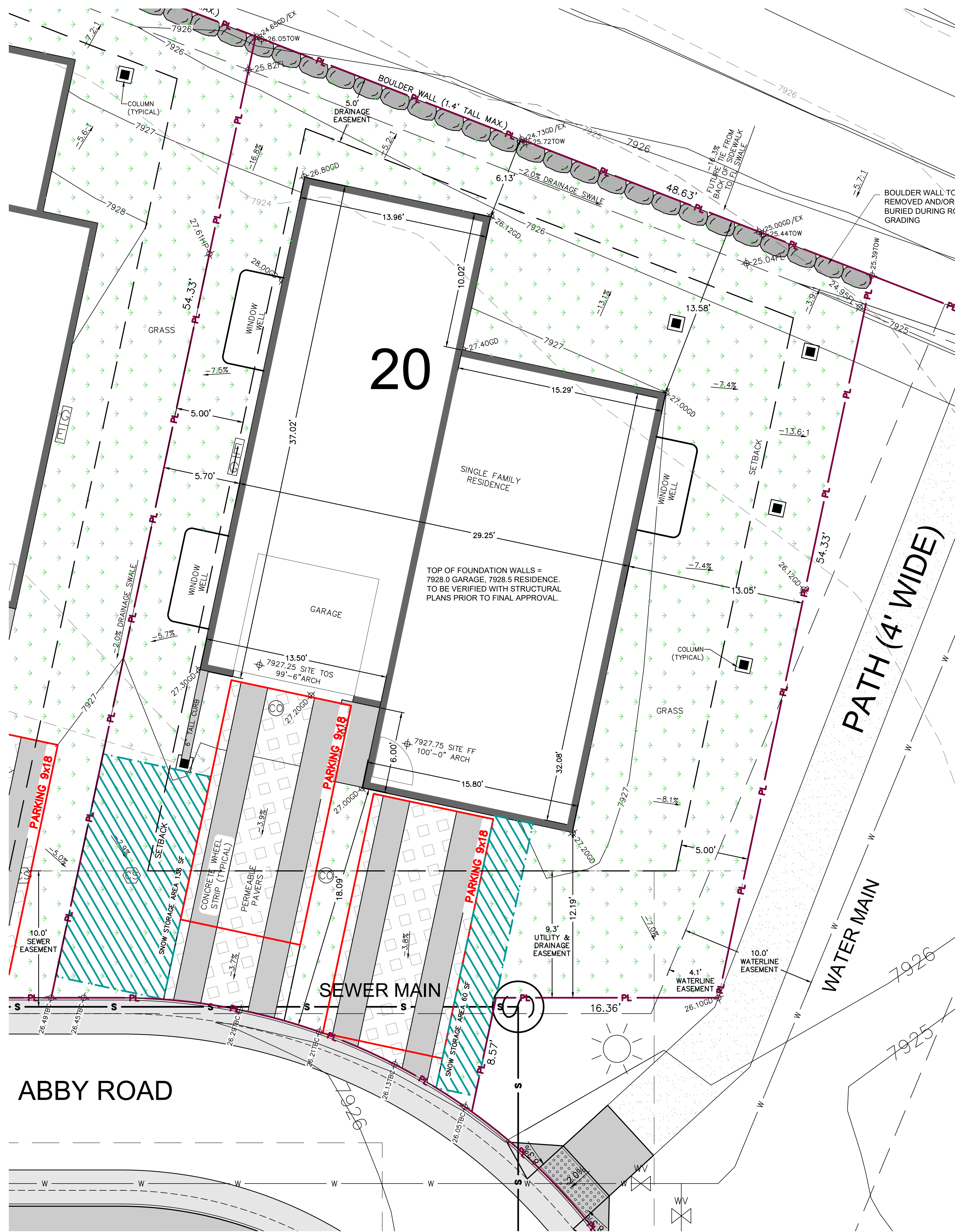
DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title:

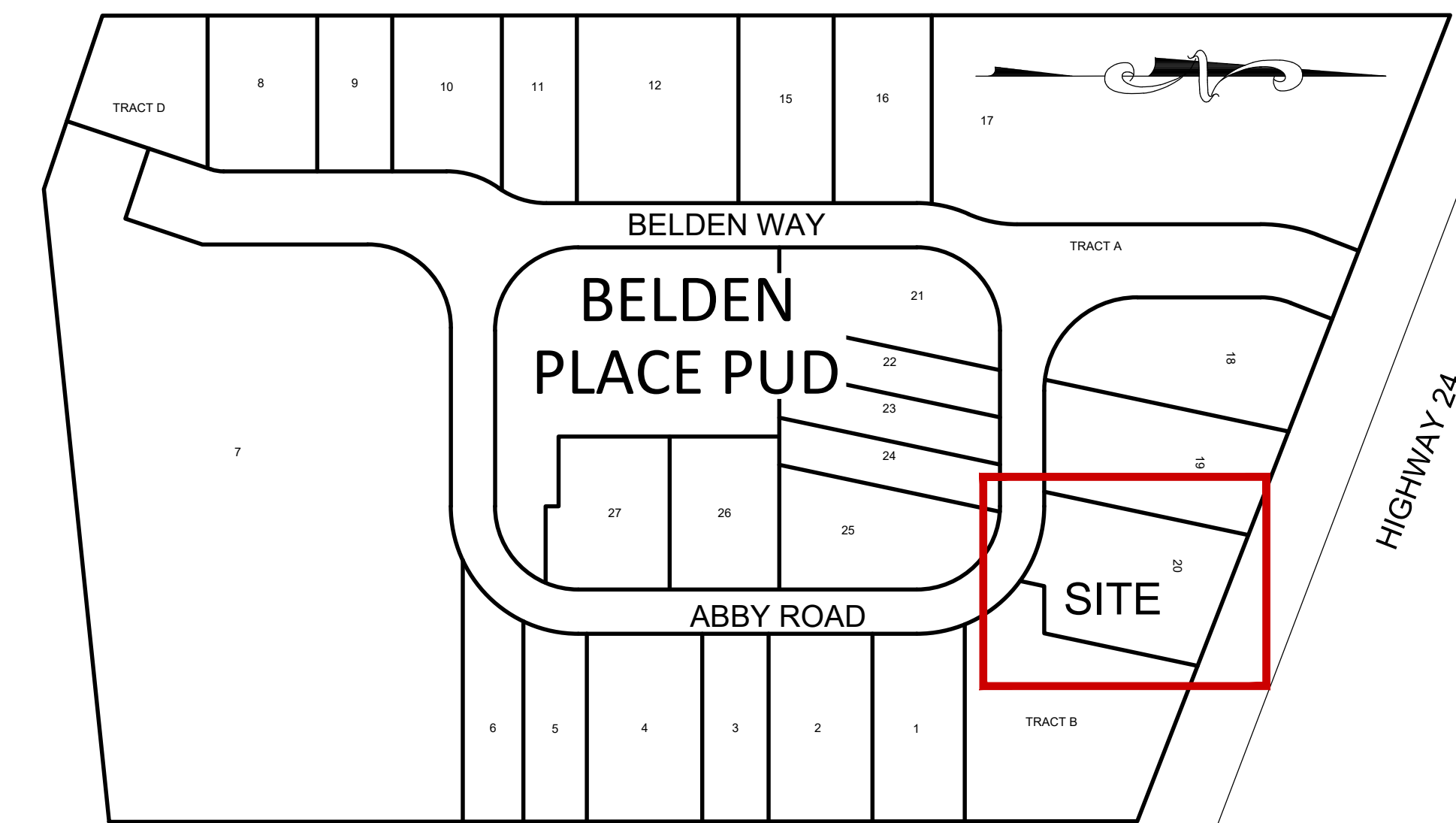
PROPOSED
SITE PLAN

Sheet:

C.111



SITE PLAN W/ GRADING



PROJECT LOCATION MAP

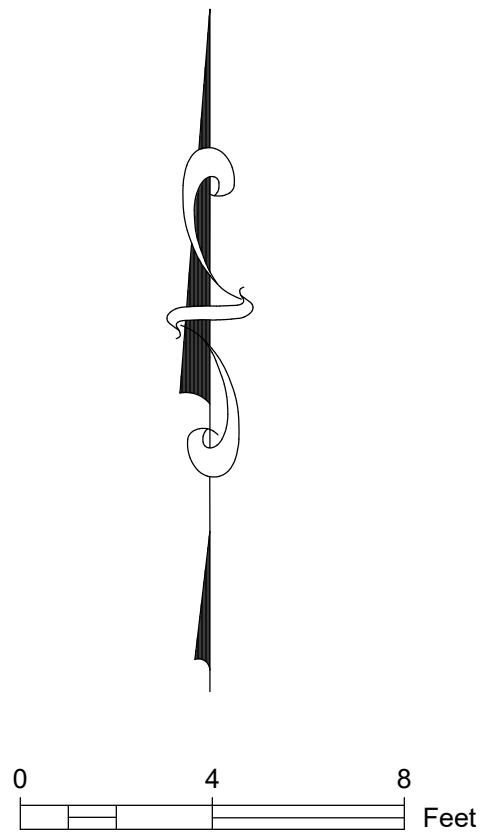
UNIT 20

SHEET INDEX:

- C.1 SITE PLAN W/ GRADING
- C.2 UTILITY PLAN & EROSION CONTROL PLAN
- C.3 EROSION CONTROL DETAILS

CONTACTS

Owner/contractor:	Peter Murray Group Brian Claydon 970 390-3489
Architect:	TAB Associates, Inc. 56 Edwards Village Boulevard Edwards, CO 81632 970 766-1470
Structural Engineer:	KRM Consultants, Inc. PO Box 4572 Vail, CO 81658 970 949-9391
Geotechnical Engineer:	Kumar & Associates, Inc. 5020 County Road 154 Glenwood Springs, CO 81601 970 345-7988
Water:	Town of Minturn Public Works Arnold Martinez 970 445-2416
Sewer:	Eagle River Water & Sanitation District 970 477-5451
Electric & Gas:	Excel Energy Electrical Emergency 800 895-1999 Gas Emergency 800 895-2999
Call before you dig:	811



LINE KEY:

WATER	W
SEWER	S
ELECTRIC	UEL
GAS	GAS
TELEPHONE	TEL
CATV	CTV
PROPERTY LINE	PL

CONTOUR LEGEND:

EXISTING 1' CONTOUR	7929
EXISTING 5' CONTOUR	7930
PROPOSED 1' CONTOUR	7929
PROPOSED 5' CONTOUR	7930

PROPOSED UTILITY SYMBOL KEY:

	WATER VAULT		STREET LIGHT
	WATER VALVE		
	FIRE HYDRANT		
	SEWER MANHOLE		
	UTILITY POLE		
	ELECTRIC TRANSFORMER		
	CABLE TV PEDESTAL		
	ELECTRIC SPLICE VAULT		
	WATER SERVICE CURB STOP		
	SANITARY SEWER CLEANOUT		

ABBREVIATION KEY

AD	= AREA DRAIN
CFS	= CUBIC FEET PER SECOND
CONC	= CONCRETE
EC	= EDGE OF CONCRETE
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TD	= TRENCH DRAIN
TOS	= TOP OF SLAB
TOW	= TOP OF WALL
TYP	= TYPICAL
WH	= WALL HEIGHT
TOW	= TOP BACK OF WALK
EL	= ELEVATION
TOP	= TOP OF PIPE
WV	= WATER VALVE
WW	= WINDOW WELL

NOT FOR CONSTRUCTION

DATE	REVISION
2/6/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:

SITE PLAN

Sheet:

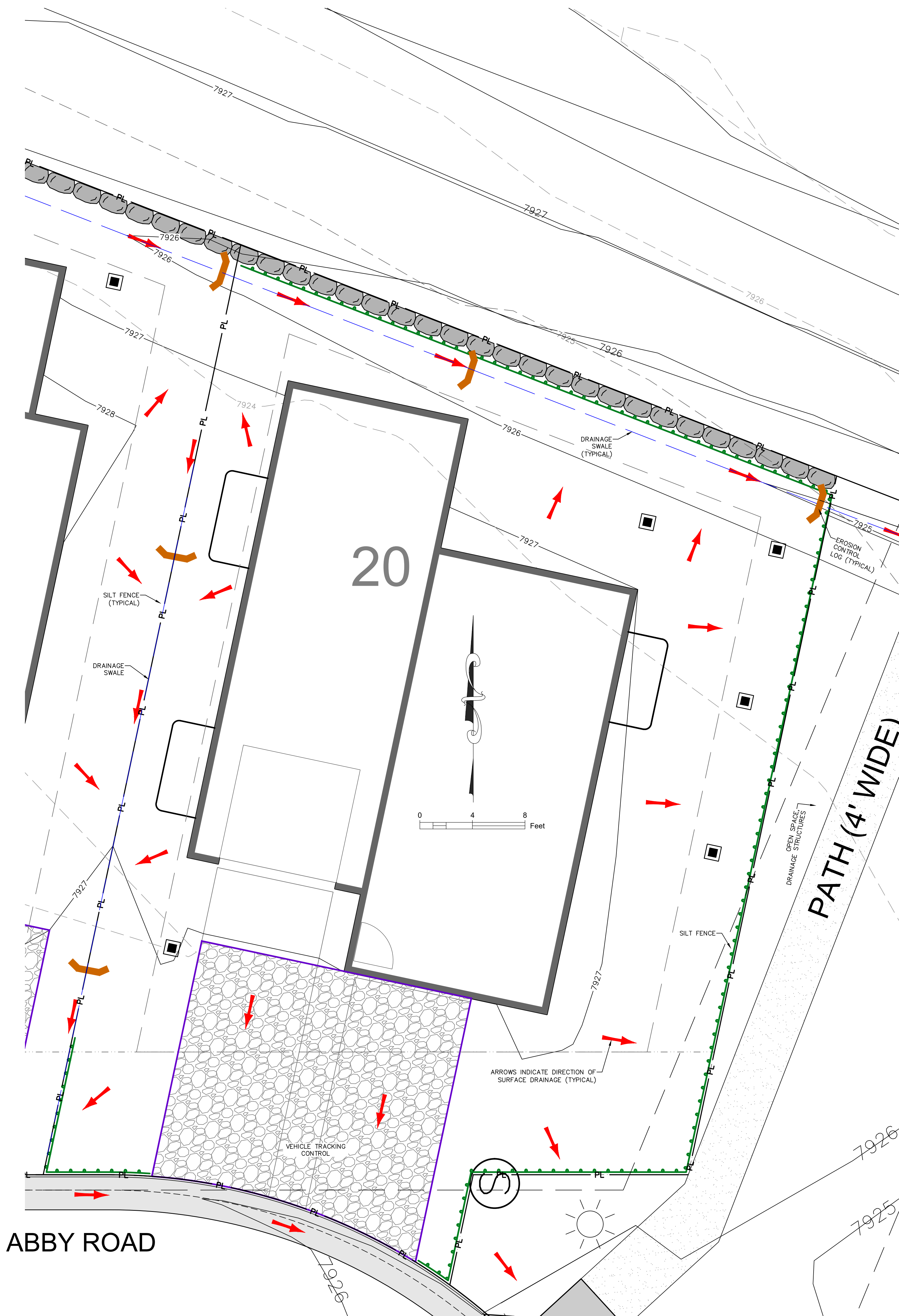
C.1

TIMBERLINE
ENGINEERING, INC.
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timberlineengineering@gmail.com

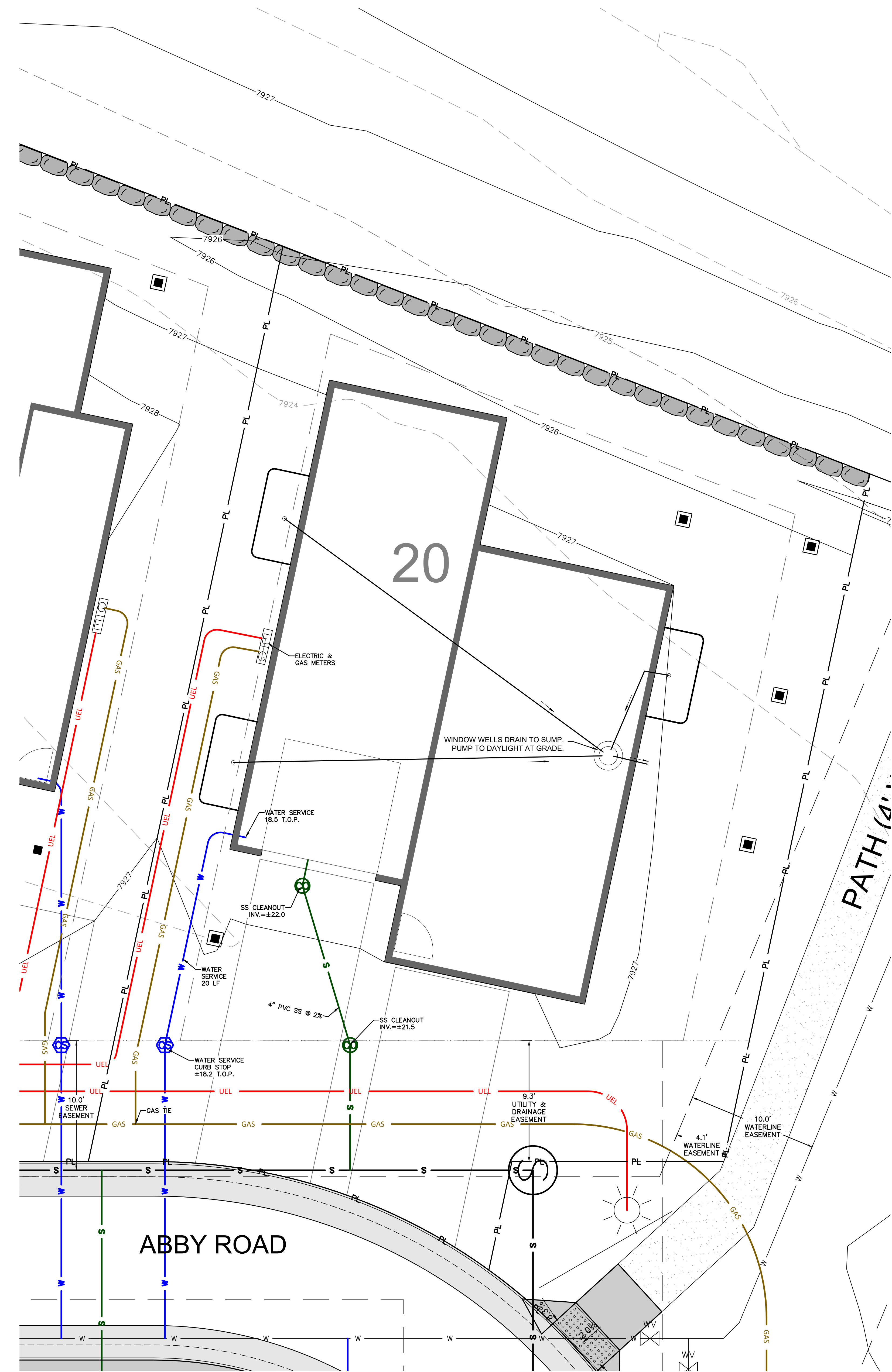
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Belden Place
UNIT 20 - SINGLE FAMILY RESIDENCE

Minturn, Colorado



EROSION CONTROL PLAN



UTILITY PLAN

NOTES:
1. WATER SERVICE LINES SHALL BE TYPE K COPPER
2. WATER SERVICE CONNECTIONS ARE TO BE COMPRESSION OR SILVER-SOLDERED

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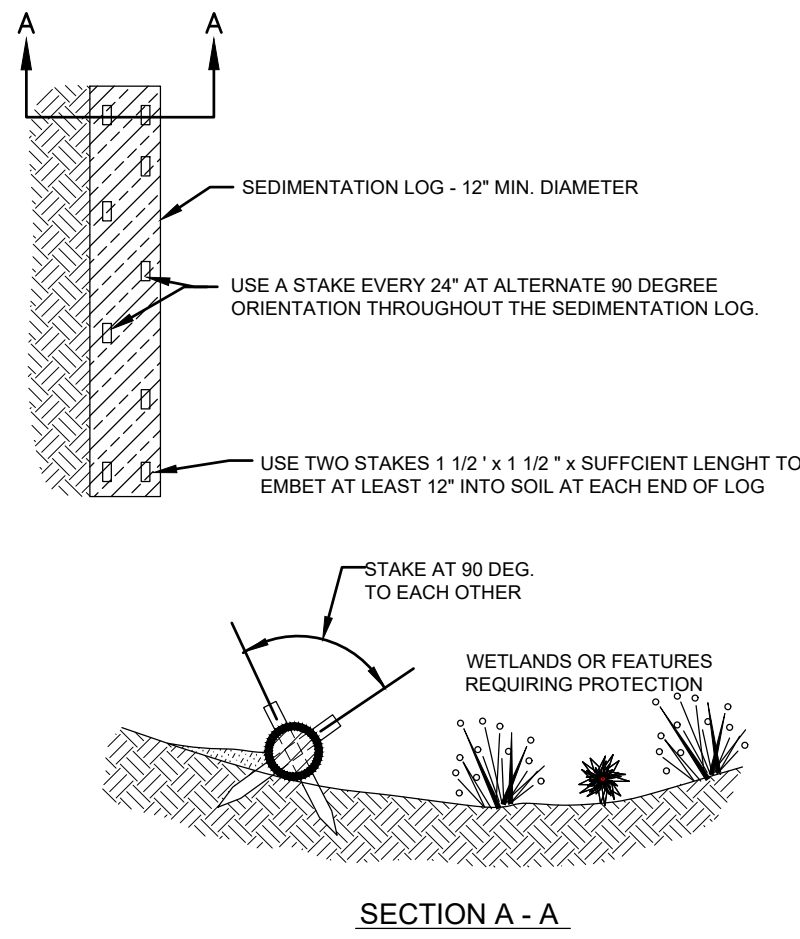
Belden Place
UNIT 20 - SINGLE FAMILY RESIDENCE

Mintum, Colorado

DATE	REVISION
2/6/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:
UTILITY PLAN
& EROSION
CONTROL PLAN

Sheet:



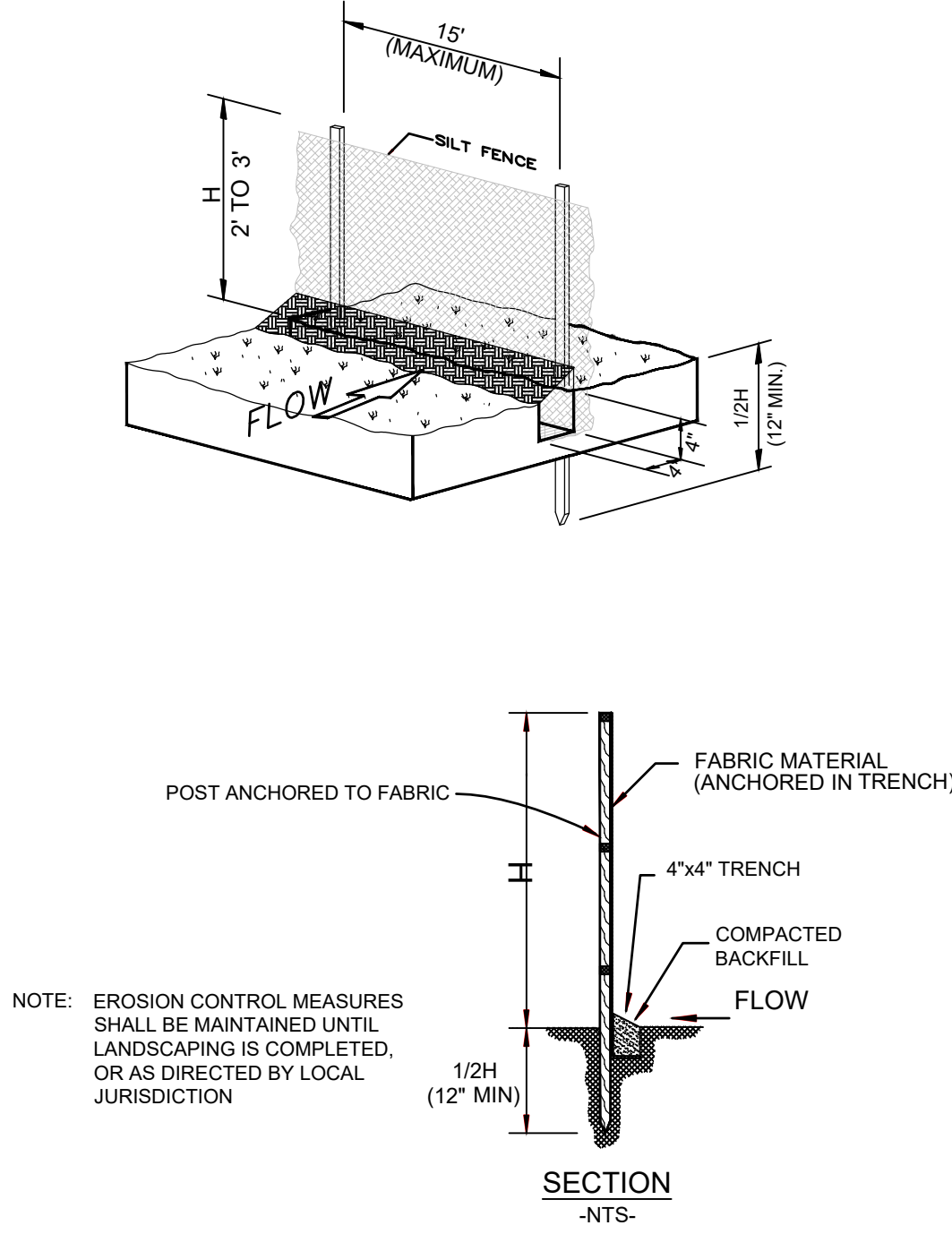
SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
- LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

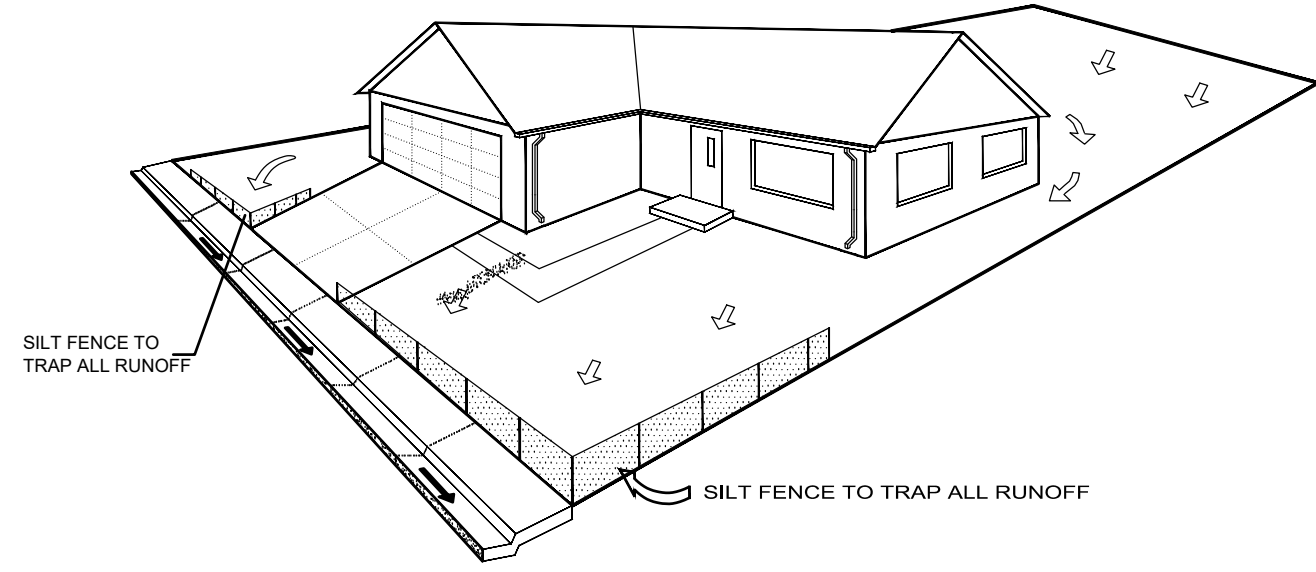
SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDED AND CRAMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

EROSION CONTROL LOG
DETAIL

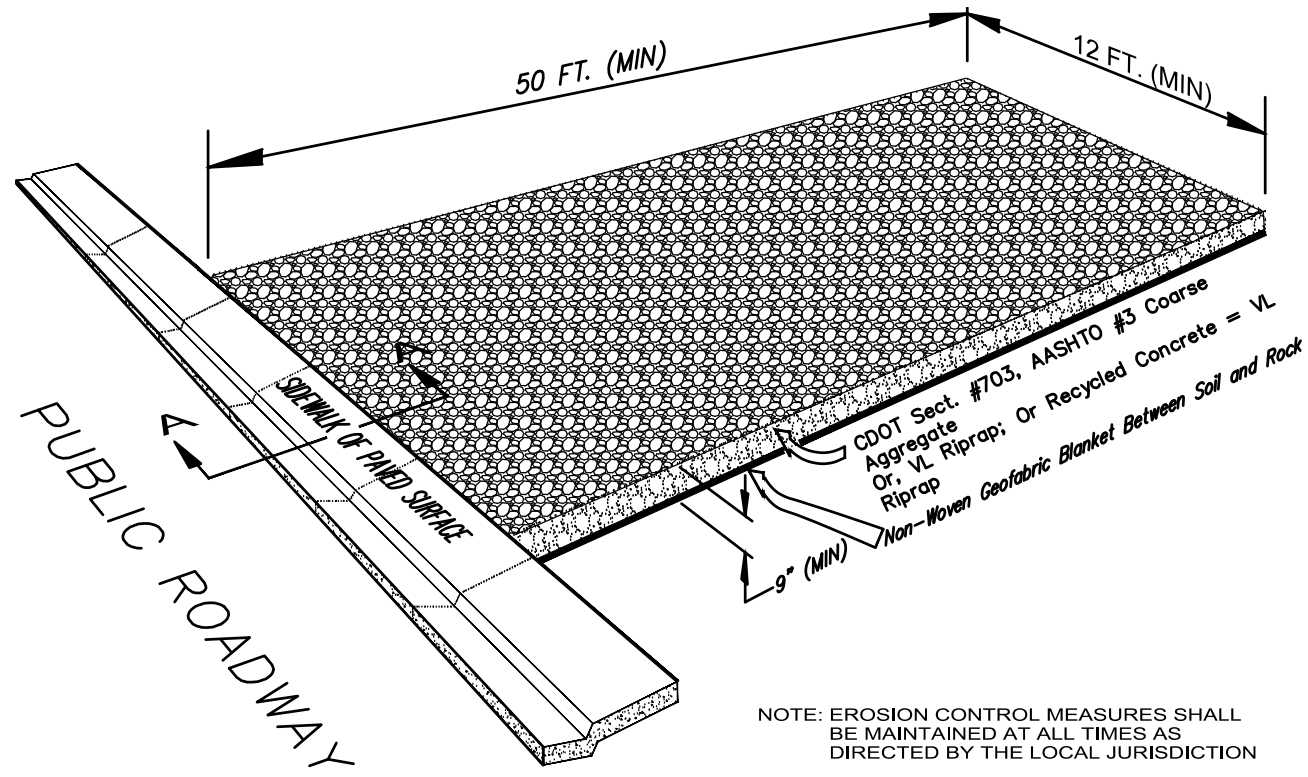


SILT FENCE INSTALLATION
DETAIL

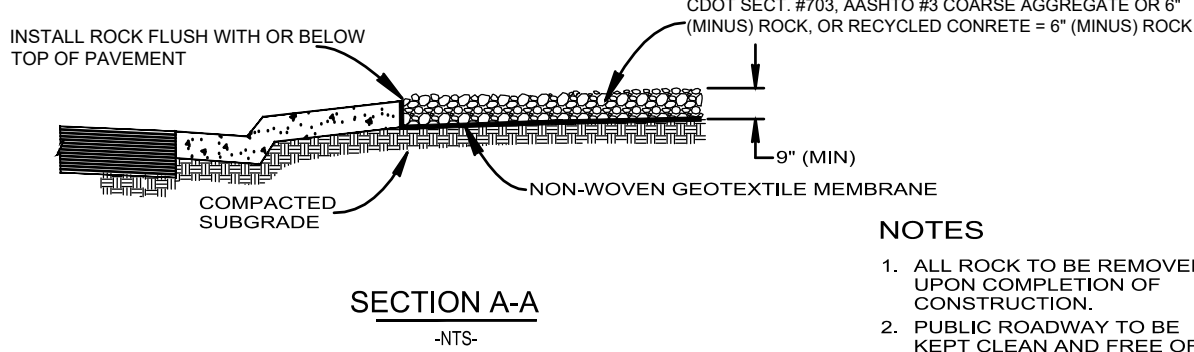


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION

SILT FENCE PLACEMENT
DETAIL



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE LOCAL JURISDICTION



NOTES

1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.

TEMPORARY VEHICLE TRACKING CONTROL
DETAIL



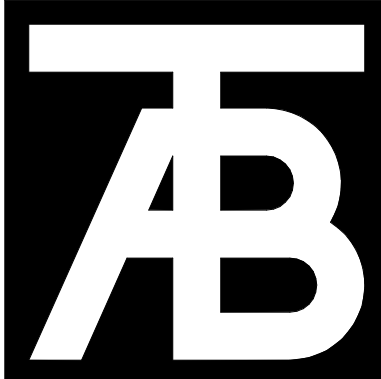
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NOT FOR CONSTRUCTION	
DATE	REVISION
2/6/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title:
EROSION
CONTROL
DETAILS

Sheet:

C.3



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fax: (970) 766-4471
email: tab@tab.net
www.tabnet.com

Civil Engineer

Structural Engineer

Mechanical Engineer

Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Lower Level Floor Plans

Project No:
2215

Sheet No:
A2.0

NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-0" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-0" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

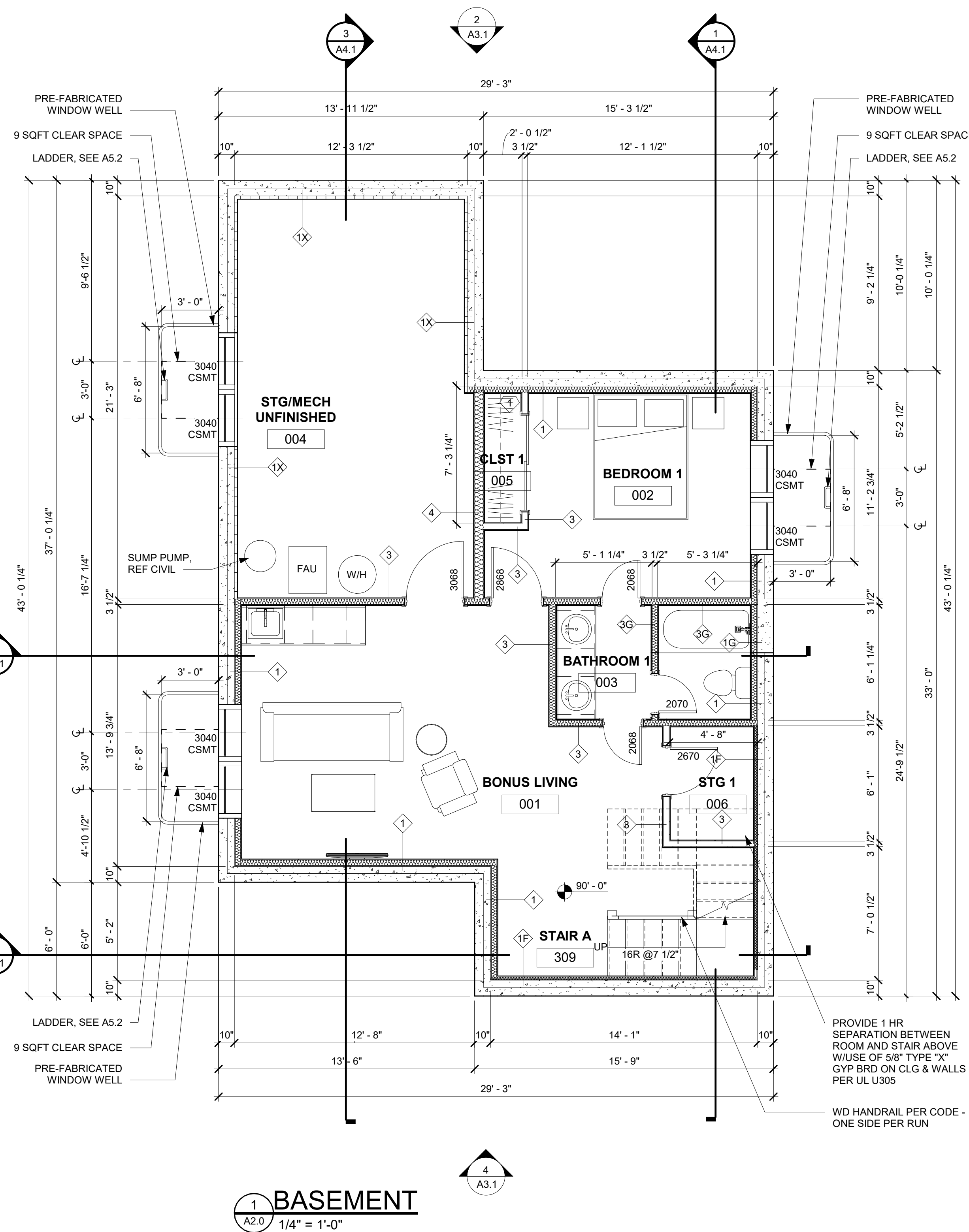
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1/2" EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1/2" CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

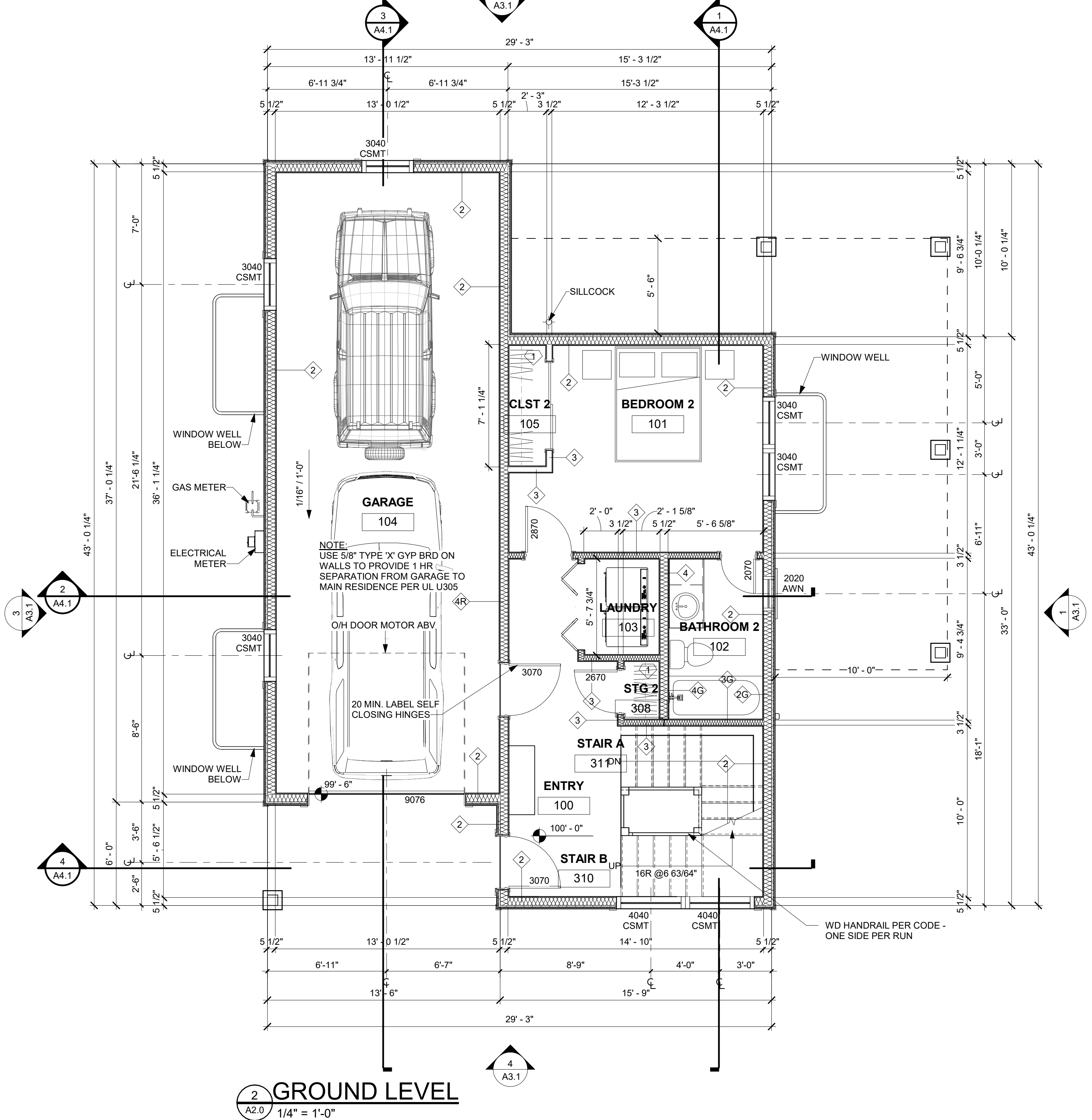
1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN, REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES, TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS.
13. PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO, TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXX.XX ON CIVIL DRAWINGS.
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



1 BASEMENT
A2.0 1/4" = 1'-0"



2 GROUND LEVEL
A2.0 1/4" = 1'-0"

CONTRACTOR TO PROVIDE THE FOLLOWING AS DEFERRED SUBMITTALS FOR BUILDING PERMIT

MECHANICAL

M1. PLEASE PROVIDE THE REQUIRED MANUAL J AND S. M1401.2

M2. PLEASE PROVIDE THE REQUIRED MANUAL D. M1601.1

M3. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED WHOLE HOUSE VENTILATION SYSTEM. M1505.4

M4. SHEET A2.1: IF ALL THE GAS FIRED APPLIANCES ARE NOT SEALED COMBUSTION AND THE KITCHEN EXHAUST HOOD IS GREATER THAN 400 CFM A MAKEUP AIR SYSTEM WILL BE REQUIRED. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED MAKEUP AIR SYSTEM IF NEEDED.

PLUMBING

P1. SHEET A2.1: LOWER FLOOR. PLEASE INDICATE HOW THE WATER HEATER AND ASSOCIATED PIPING WILL BE PROTECTED FROM FREEZING. P2603.5

PLEASE INDICATE THE REQUIRED 3' X 3' X 7' HIGH CLEAR SPACE AT THE WATER HEATER. R403.5.4 AS AMENDED.

B. INDICATE THE REQUIRED CONDENSATE DRAIN AT THE WATER HEATER THAT WILL ALLOW NATURAL DRAINAGE. R403.5.4 AS AMENDED. PLEASE NOTE THAT THAT THESE TWO COMMENTS ARE INTENDED TO PROVIDE SPACE AND DRAINAGE FOR A HEAT PUMP WATER HEATER. WE ARE NOT AWARE THAT HEAT PUMP WATER HEATERS CAN BE INSTALLED IN AN UNCONDITIONED OR CONDITIONED GARAGE.

CONTRACTOR TO PROVIDE THE FOLLOWING FOR IECC REQUIREMENTS AND COMPLETION

REQUIRED BLOWER DOOR TEST AT 3-ACH50. R402.4.1.3

A. REQUIRED DUCT TIGHTNESS TEST. R403.5.5

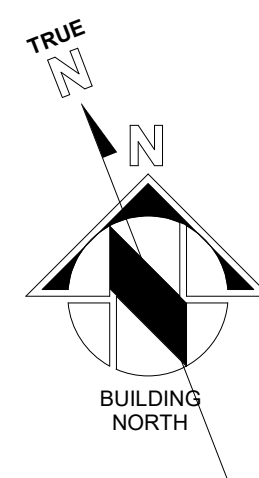
IV. REQUIRED DOMESTIC HOT WATER PIPING INSULATION. R403.5.2

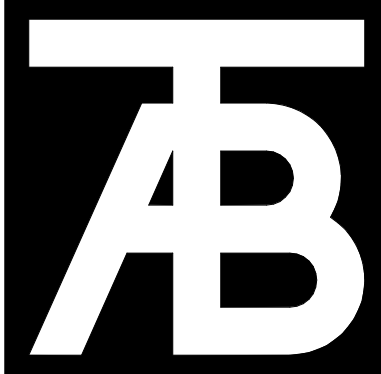
VI. THE REQUIRED ITEMS THAT ARE TO BE LISTED ON THE COMPLIANCE CERTIFICATE. R401.3 AS AMENDED

PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

CONTRACTOR TO COORDINATE DUCTING FROM THE FURNACE (IF PENETRATING THE GARAGE/HOUSE SEPARATION) WILL BE A MINIMUM OF 26 GAUGE AND THAT THE FURNACE HAS NO OPENINGS INTO THE GARAGE. R302.5.2. NOTE THAT WE ARE NOT AWARE OF ANY FURNACE THAT IS AIRTIGHT. HAVING THE FURNACE AND THE WATER HEATER WITHIN THE GARAGE SPACE CAN BE DIFFICULT AT BEST.

AREA SUMMARY	
PROPOSED CONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	565 SF
GROUND LEVEL	466 SF
MAIN LEVEL	895 SF
UPPER LEVEL	777 SF
TOTAL	2,723 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	265 SF
GROUND LEVEL	474 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	739 SF
TOTAL COND & UNCOND	3,462 SF





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Civil Engineer

Structural Engineer

Mechanical Engineer

Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Upper Level Floor Plans

Project No:
2215

Sheet No:
A2.2

NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

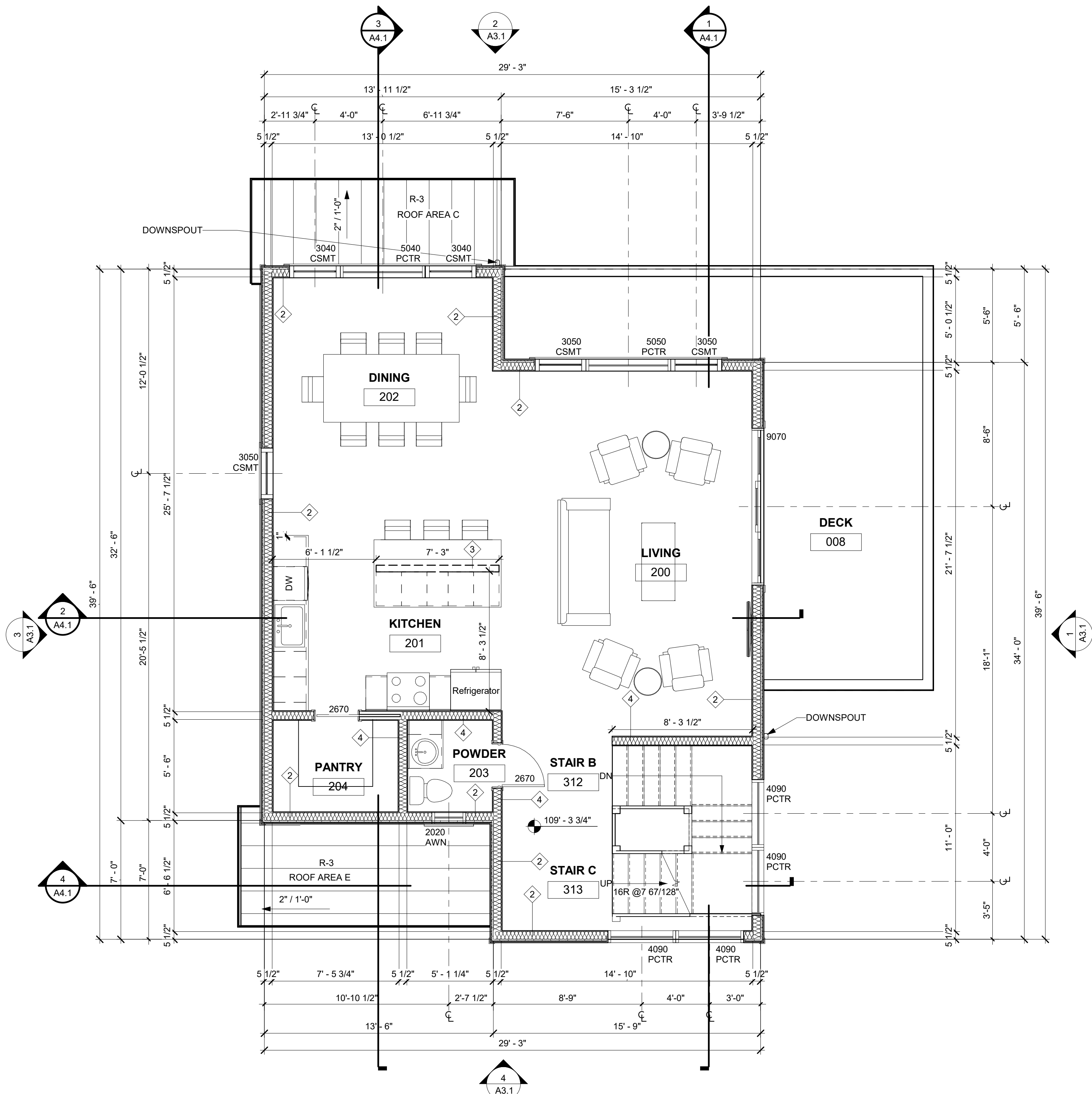
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1/2" CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

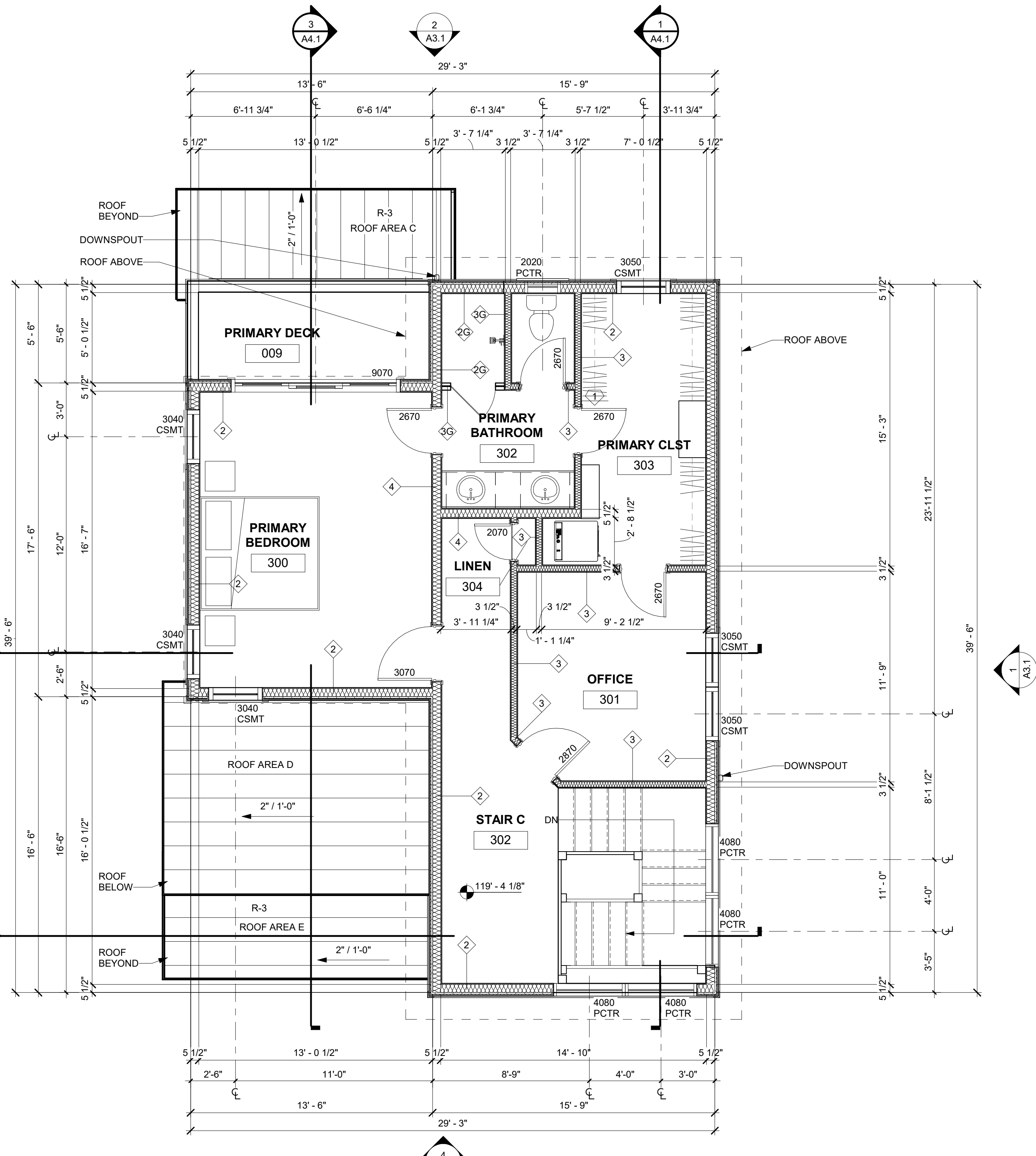
1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
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13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



1 MAIN LEVEL
A2.2 1/4" = 1'-0"



2 UPPER LEVEL
A2.2 1/4" = 1'-0"

CONTRACTOR TO PROVIDE THE FOLLOWING AS DEFERRED SUBMITTALS FOR BUILDING PERMIT

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- M1. PLEASE PROVIDE THE REQUIRED MANUAL J AND S, M1401.2
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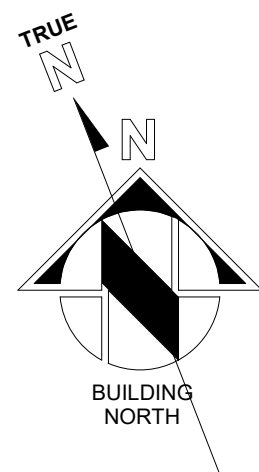
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A. REQUIRED DUCT TIGHTNESS TEST. R403.5.5
IV. REQUIRED DOMESTIC HOT WATER PIPING INSULATION. R403.5.2
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PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

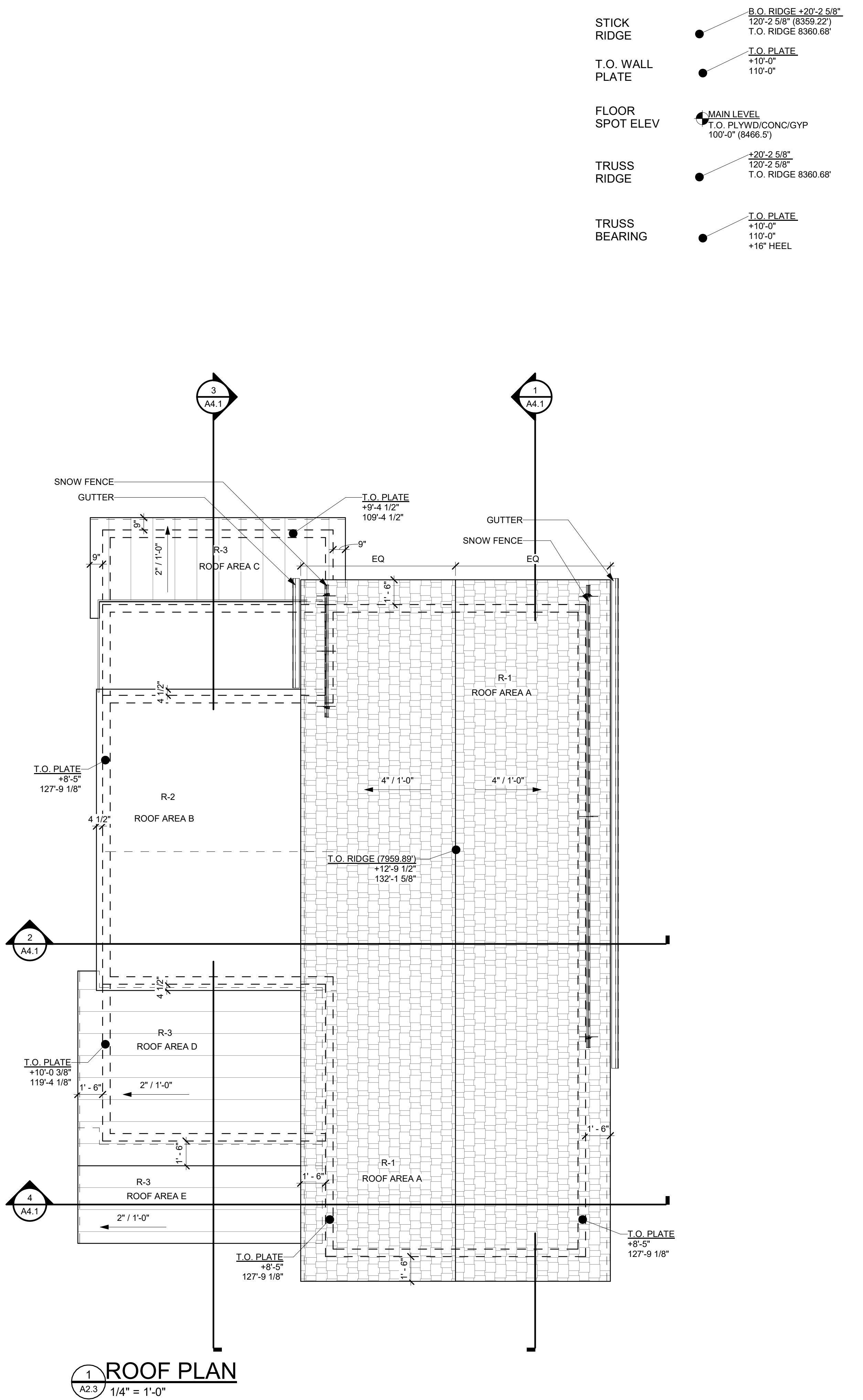
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BASEMENT LEVEL	265 SF
GROUND LEVEL	474 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	739 SF
TOTAL COND & UNCOND	3,462 SF

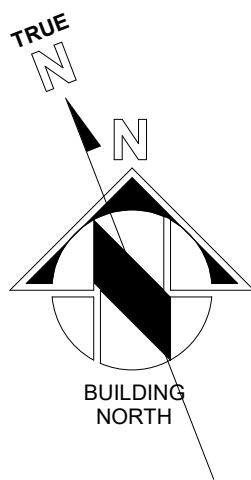


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PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

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GENERAL NOTES:

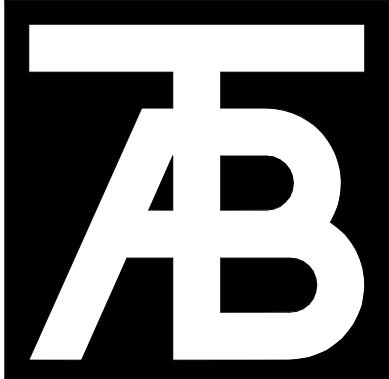
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ROOF FINISH LEGEND

NOTES:

- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE: STRUCTURAL.
- ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE: DIAGRAM ON ELECTRICAL PLANS.
- T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING.
- CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS.

- R-1 RANDOM ASPHALT SHINGLES, SEE SYSTEM NOTES SHEET A0.1
- R-2 60 MIL EPDM ROOF SEE SYSTEM NOTES SHEET A0.1
- R-3 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1
- COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 1'-6" FROM FACE OF FRAMING TYP. U.N.O.
- ROOF BEAMS - ROUGH SAWN TIMBER



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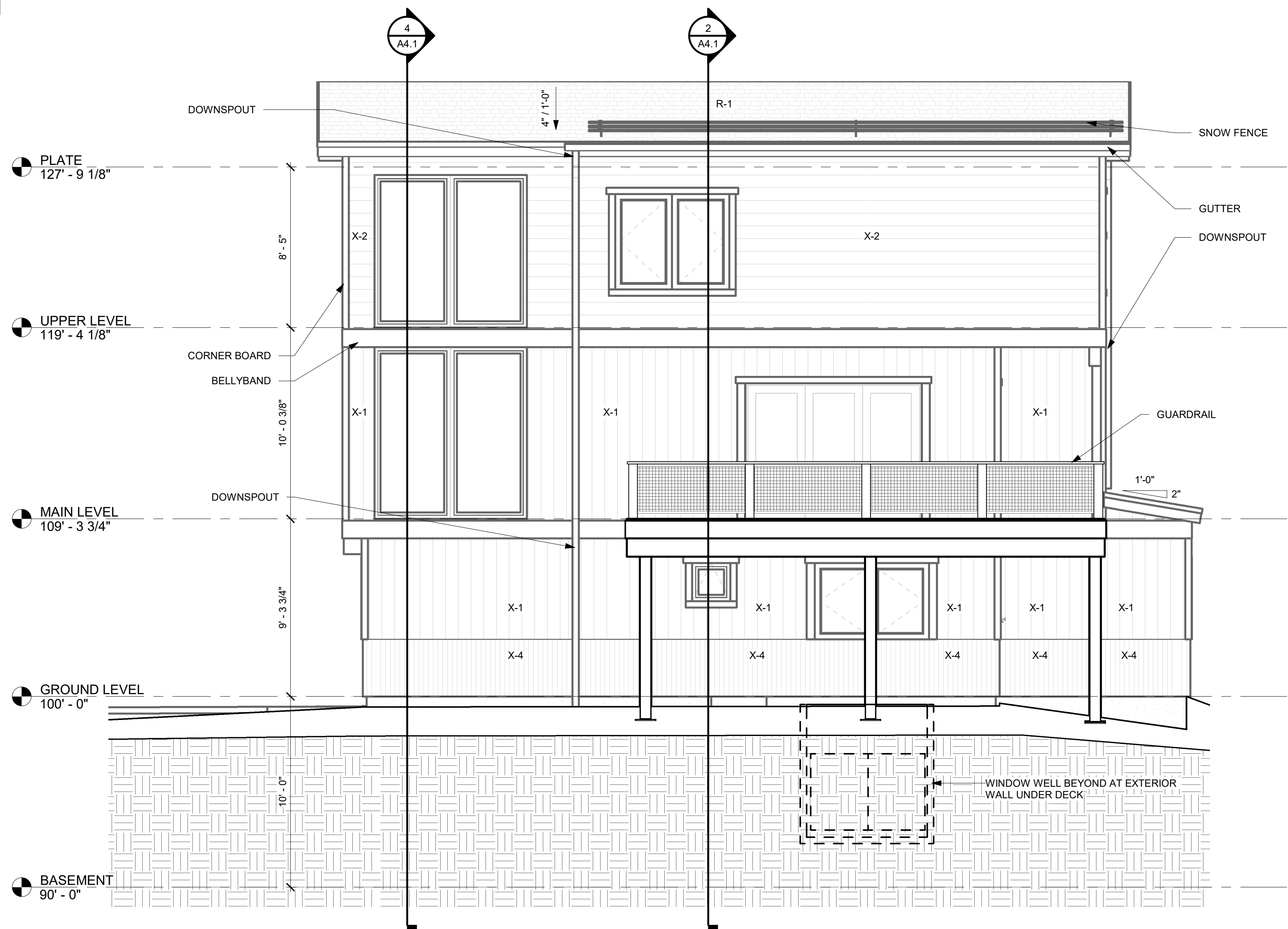
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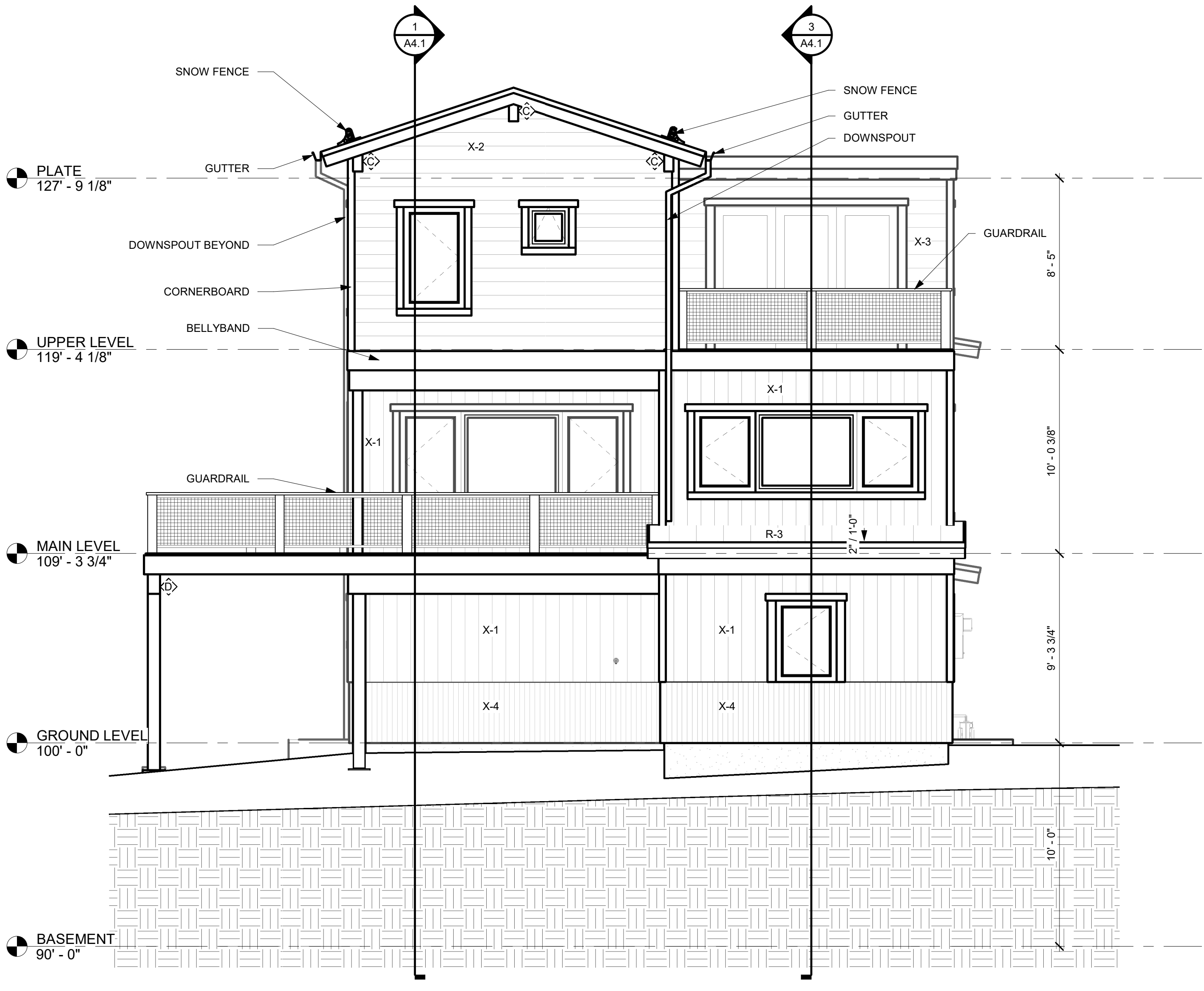
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Roof Plan

Project No:
2215

Sheet No:
A2.3

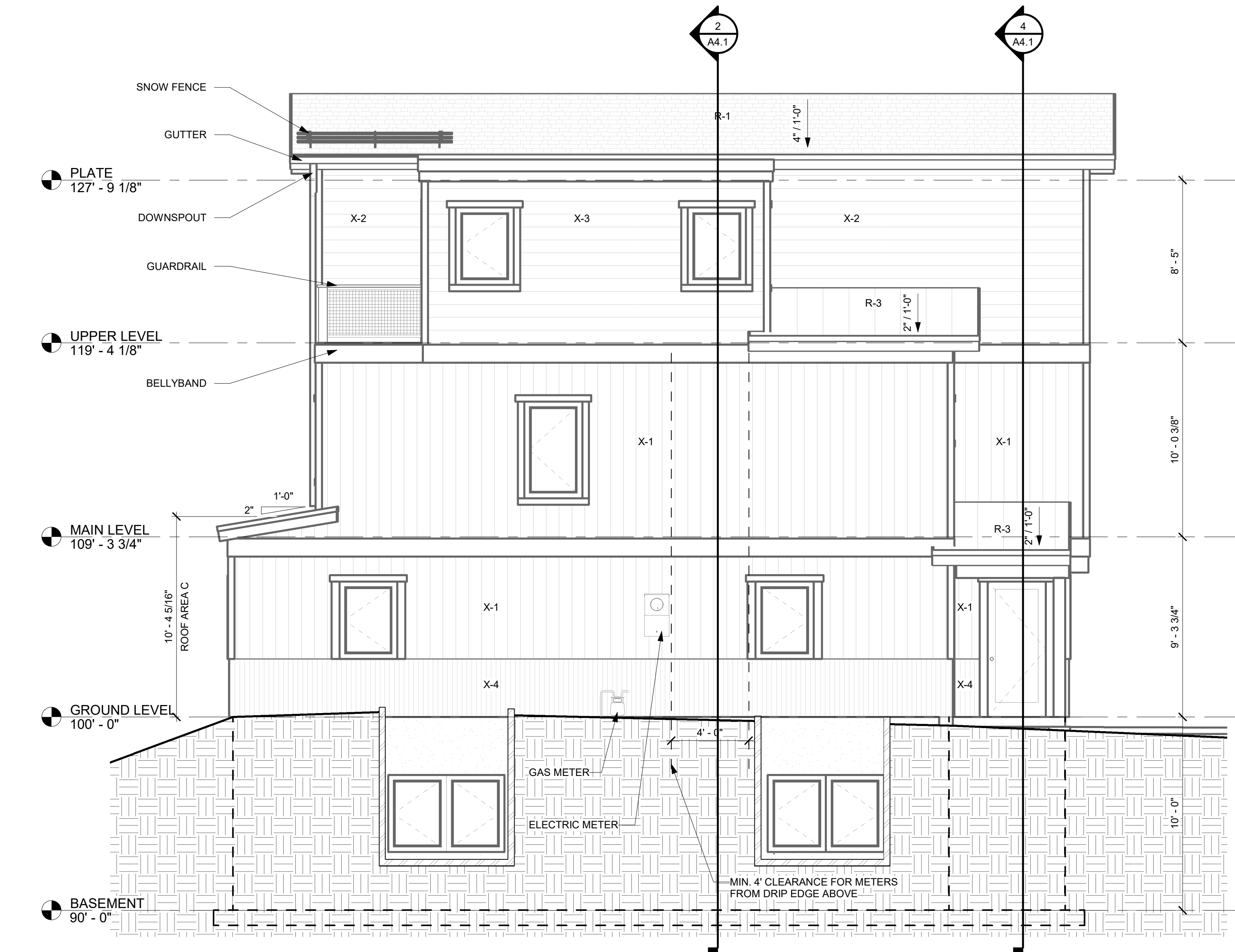


1 RIGHT SIDE ELEVATION
A3.1 1/4" = 1'-0"



2 REAR ELEVATION
A3.1 1/4" = 1'-0"

Roof Mark	Roof Area (SF)	Roof Area %	Avg Hgt (FT)	Weighted Avg (FT)
A	795.67	57.69	31.16	1788.78
B	254.12	18.40	29.33	539.59
C	78.99	5.72	10.36	59.24
D	161.20	11.67	21.44	250.21
E	90.11	6.52	10.36	67.58
	1381.29	100.00	102.67	2715.41
				27'-1 13/16"



3 LEFT SIDE ELEVATION
A3.1 1/4" = 1'-0"



4 FRONT ELEVATION
A3.1 1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - PELICAN
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - PELICAN
X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - CASCADE
X-4 VERTICAL CORRUGATED METAL SIDING
COLOR - BURNISHED SLATE

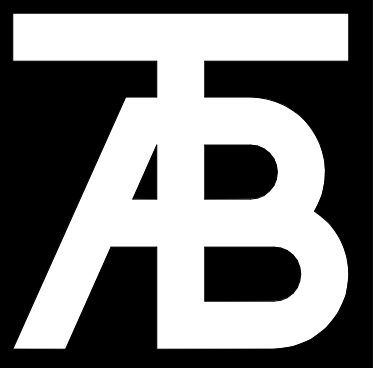
- R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- ASSUME ALL PAINTED SURFACES WILL BE REPAINTED THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE, INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

BEAMWORK LEGEND:

- A 4X10
B 6X10
C 6X12
D 8X12
E 10X14
F 12X16



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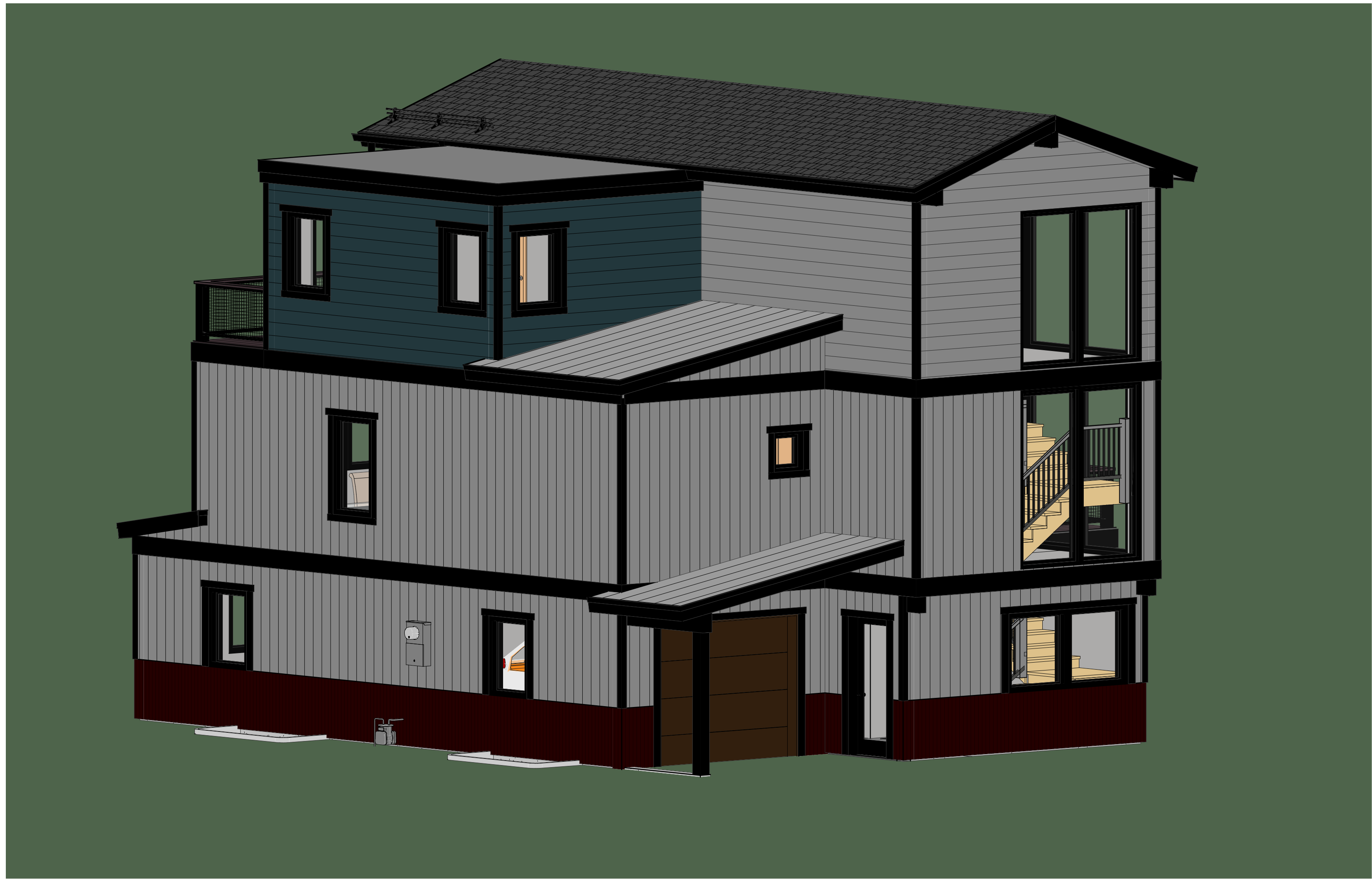
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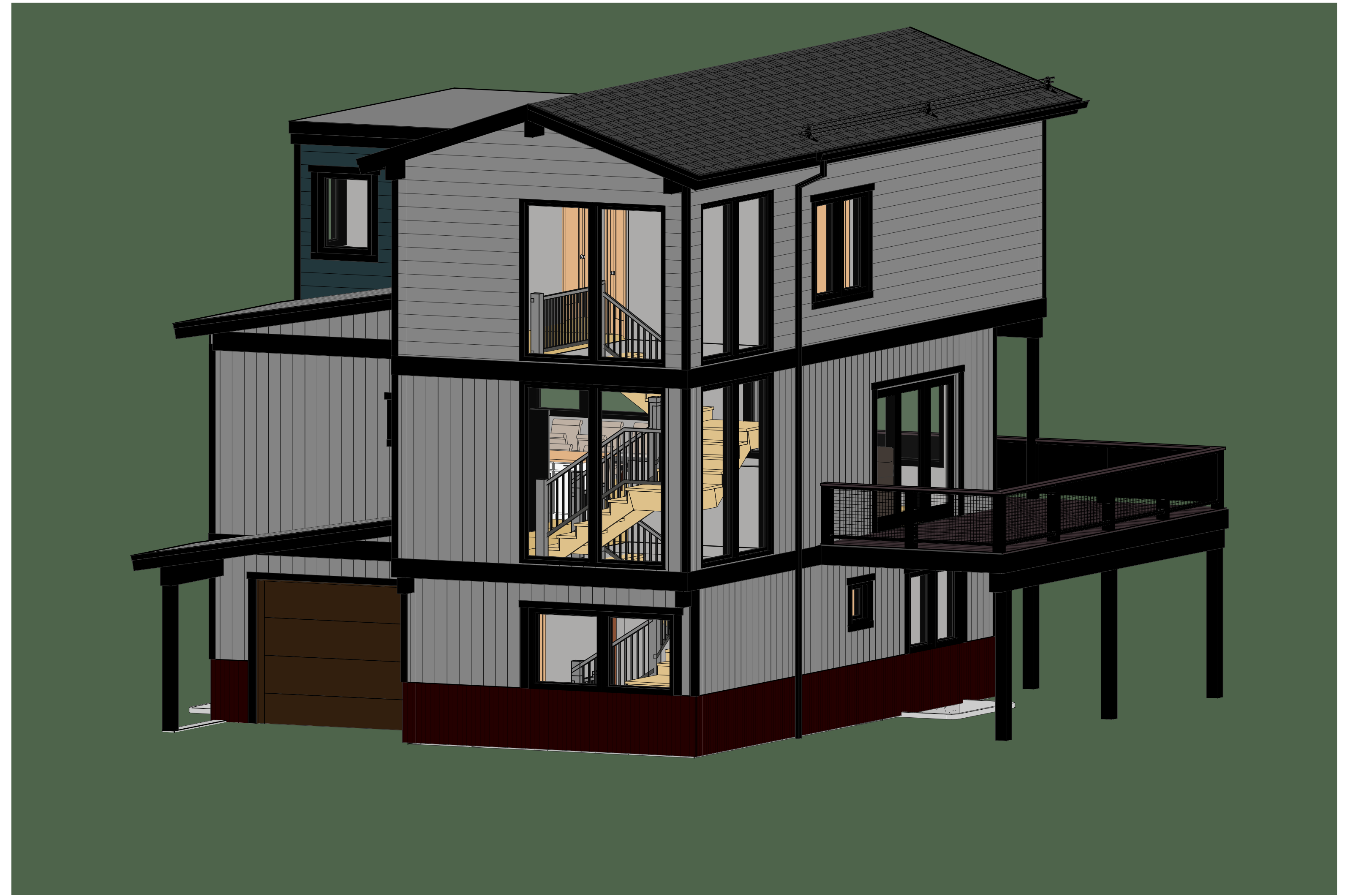
Sheet Title:
Exterior
Elevations

Project No:
2215

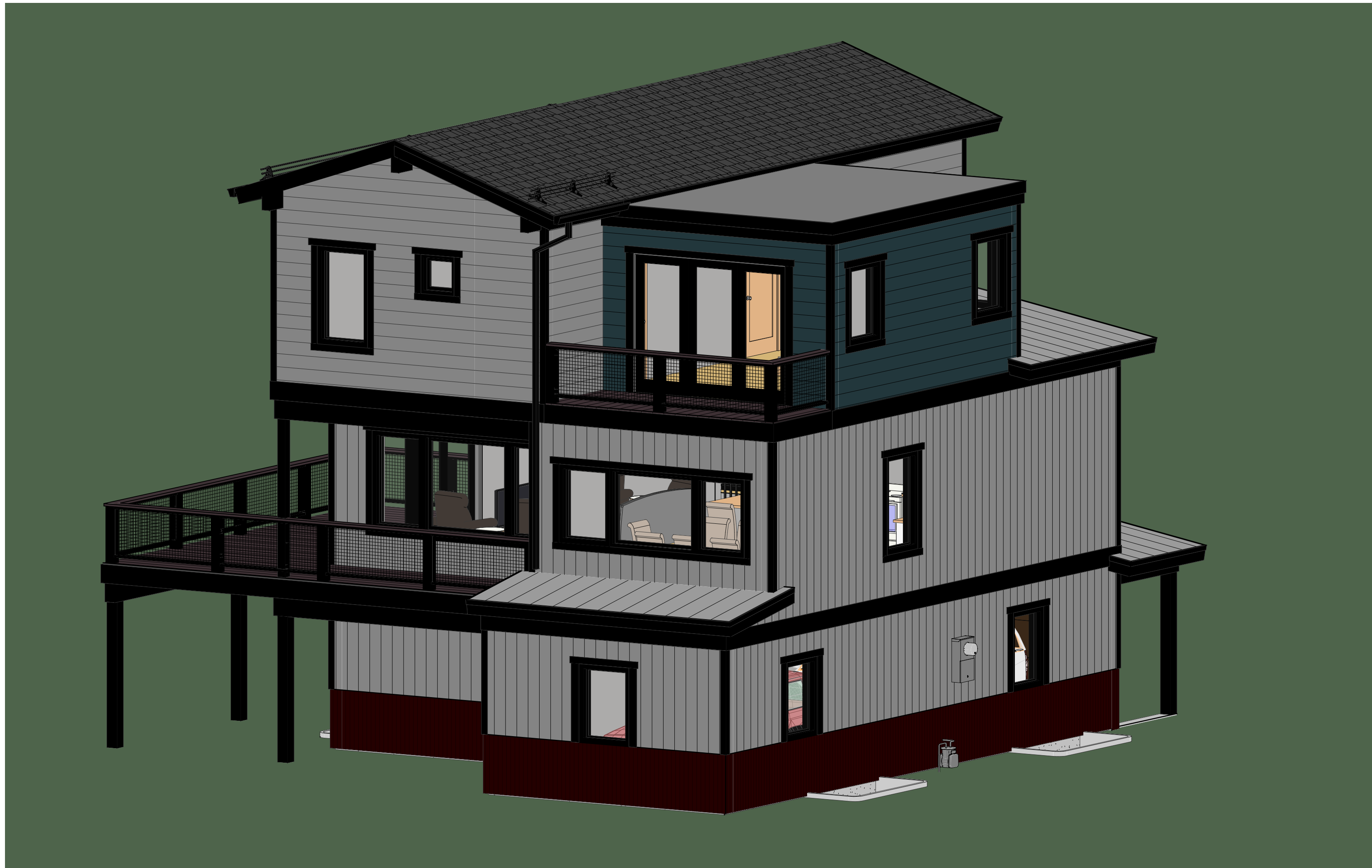
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A3.1



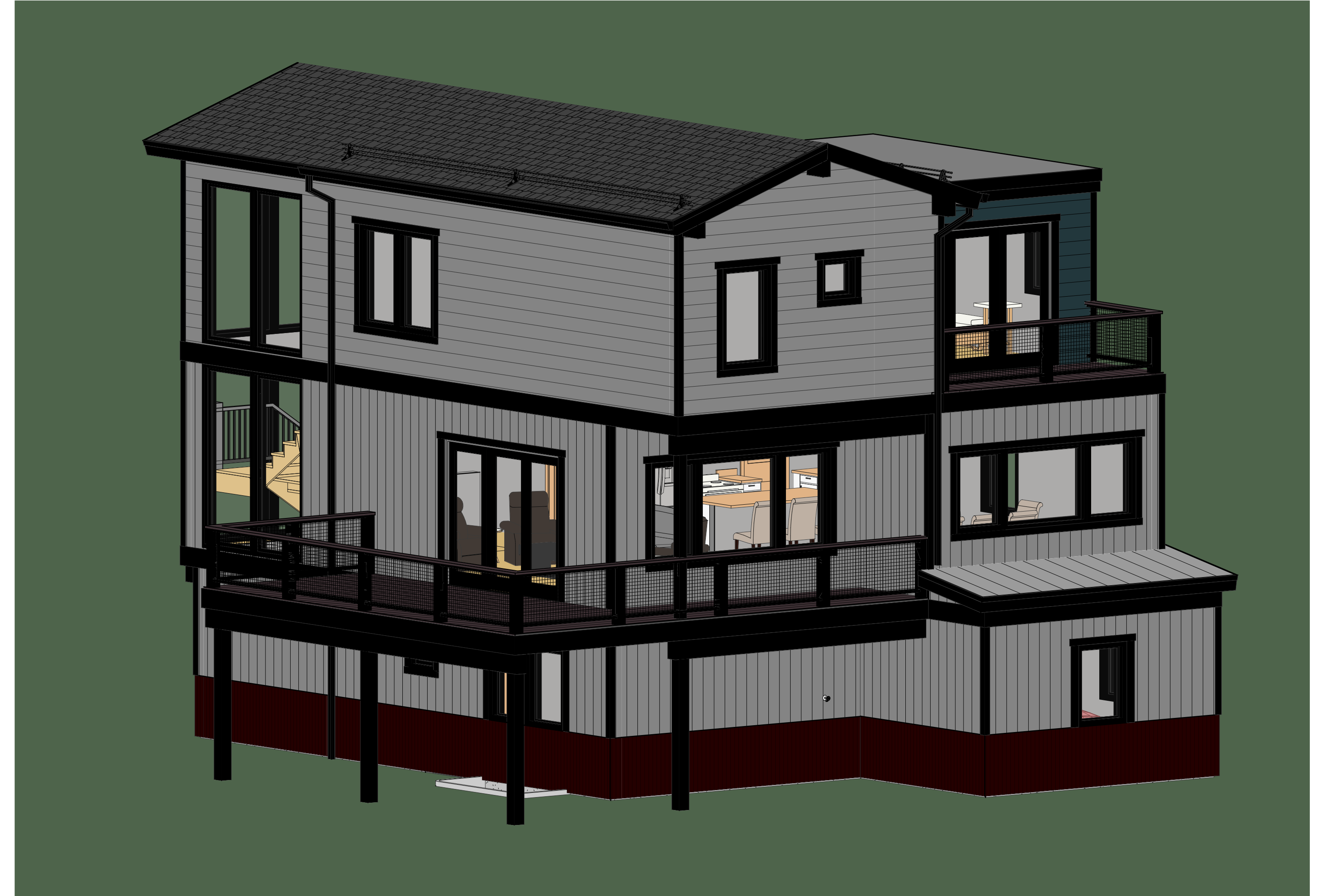
1 3D FRONT - GARAGE
A3.2



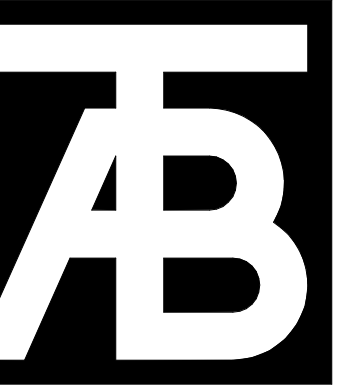
2 3D FRONT- DECK
A3.2



3 3D BACK - MASTER
A3.2



4 3D BACK - DECK
A3.2



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Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

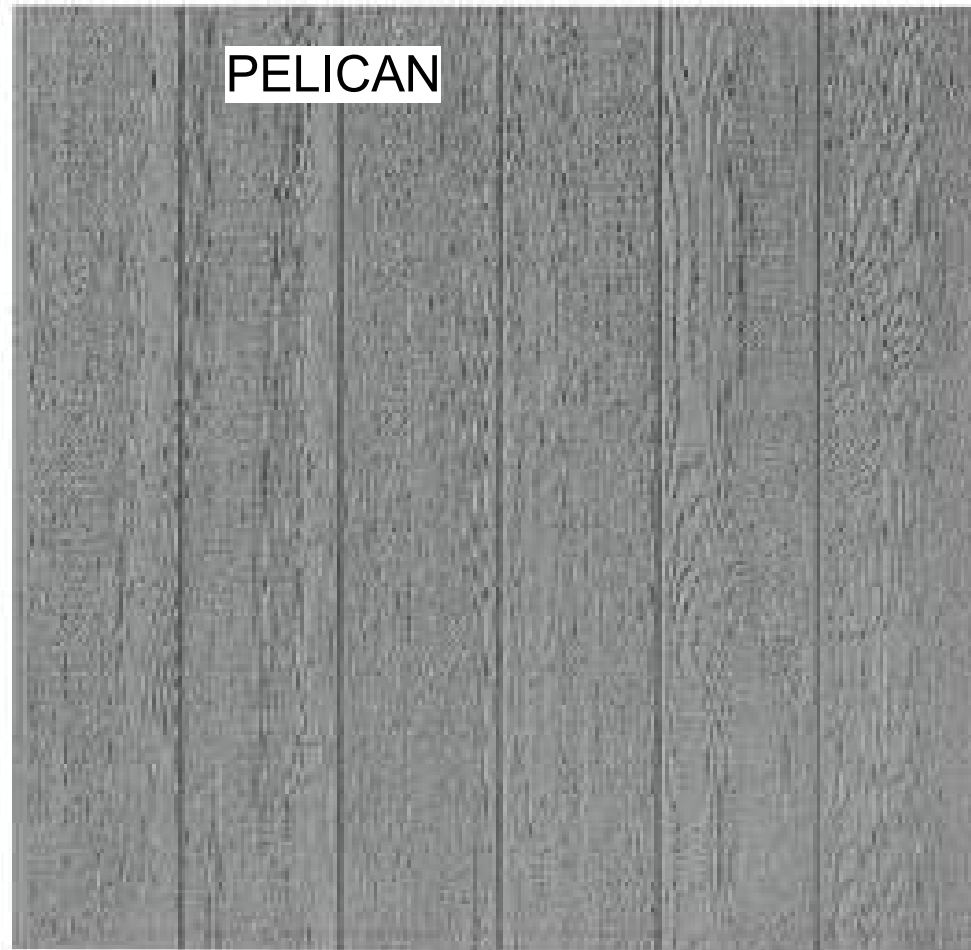
Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
**Exterior
Color
Elevations
& 3D**

Project No:
2215

Sheet No:
A3.2



X-1 - VERTICAL SIDING COLOR 1



X-2 - LAP SIDING COLOR 1



X-3 - LAP SIDING COLOR 2



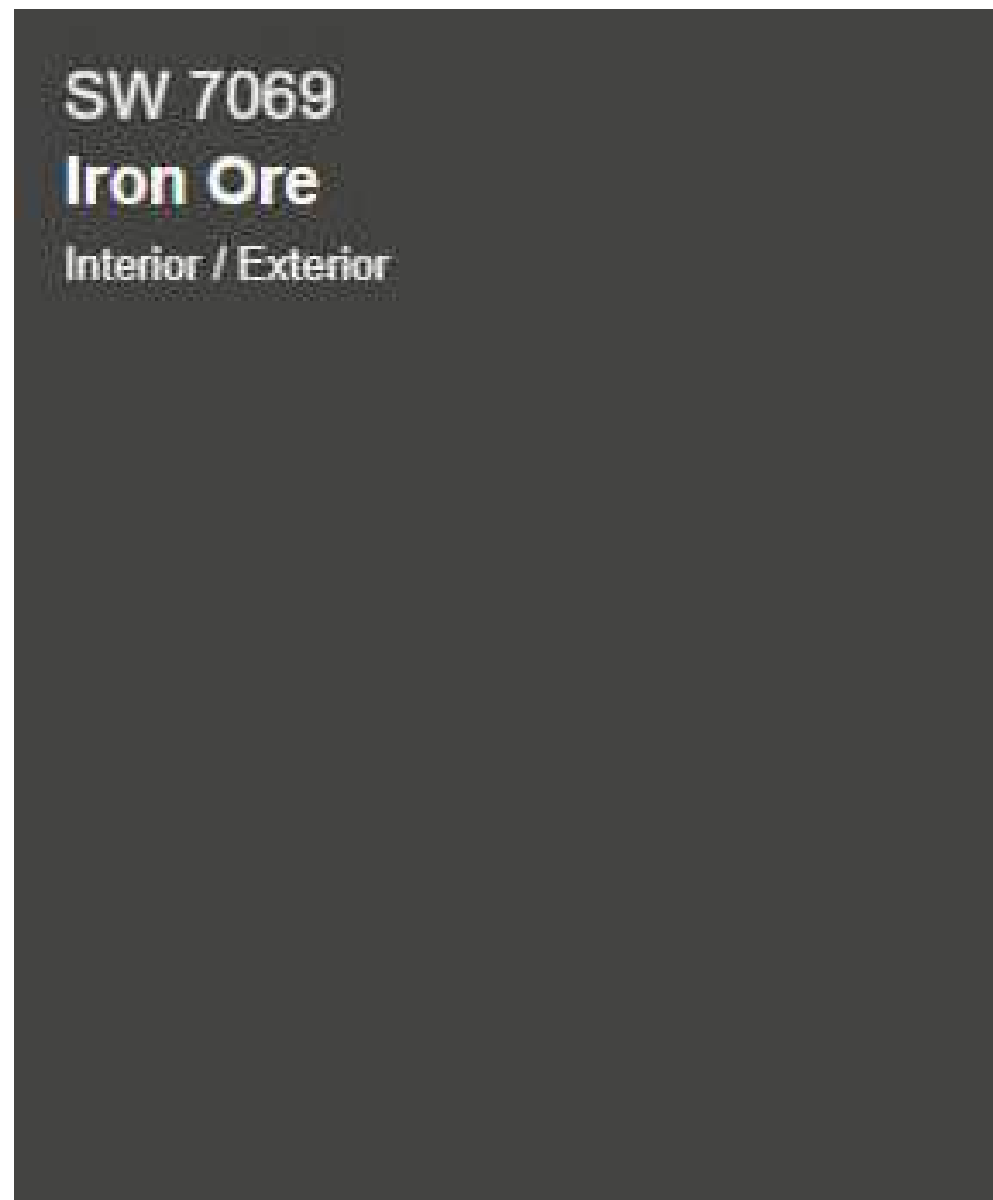
R-1 ROOFING
SIMILAR TO GAF DESIGNER SHINGLES
WOODLAN 'CASTLEWOOD GRAY'



X-4 VERTICAL CORRUGATED PANELS



X-6 STONE VENEER
SIMILAR TO GALLEGOS - #366
COURTLAND LOW RISE



PAINTED ITEMS:
SHERWIN WILLIAMS 7069 IRON ORE
TRIM, WOOD BEAMS, GUTTERS AND
OTHER METALS

INCLUDING: CORNER TRIM AND
WINDOW/DOOR TRIM



GARAGE DOORS:
SIMILAR TO RAYNOR - ASPEN SERIES
RECESSED RANCH GROOVED PANELS
COLOR: WALNUT

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - PELICAN
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - PELICAN
X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - CASCADE
X-4 VERTICAL CORRUGATED METAL SIDING
COLOR - BURNISHED SLATE

R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF

WINDOWS:
SIMILAR TO SIERRA PACIFIC "BLACK"
WOOD CLAD WINDOWS



GENERATION LIGHTING

8637401-12: Medium One Light Outdoor Wall Lantern

Dimensions:

- Diameter: 12"
Width: 12"
Height: 10 5/8"
Weight: 1.8 lbs.
Extends: 17 1/8"
Extends Max: 23 1/8"
Wire: 6 1/2" (color/Black/White)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box

Bulbs:
1 - Medium A19 75w Max. 120v - Not included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with listed Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:
1 Body - Aluminum - Black

Safety Listing:
Safety Listed for Wet Locations

Instruction Sheets:
Trilingual (English, Spanish, and French) (060WB_37401-BRL)



Collection: Barn Light
Featured in the decorative Barn Light collection

1 A19 Medium 75 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #:785652069352

Finish: Black (12)

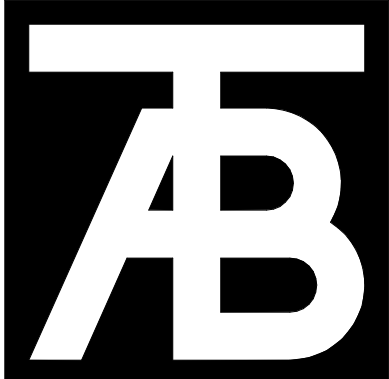
Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1 1/4	5	4 1/8	6 1/2

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8637401TENS-12	1	785652069352	16.75	14.58	13.25	1.873	4.1	250	Yes
NZ Pallet		45		48	40	77	85.556	184		No
NV Pallet		40		48	40	77	85.556	160		No

Generation Lighting reserves the right to change the design or components of any product due to parts availability or changes in safety listing standards without assuming any obligation or liability to notify any purchaser previously or without notice. The literature depicts a product design that is for one listed under the property of Generation Lighting. It is compliance with UL listing and safety listing standards. The literature is for informational purposes only. The literature is not to be used for any other purpose, in any manner without the express written consent of, or contrary to the best interests of Generation Lighting, a Visual Comfort & Co brand.



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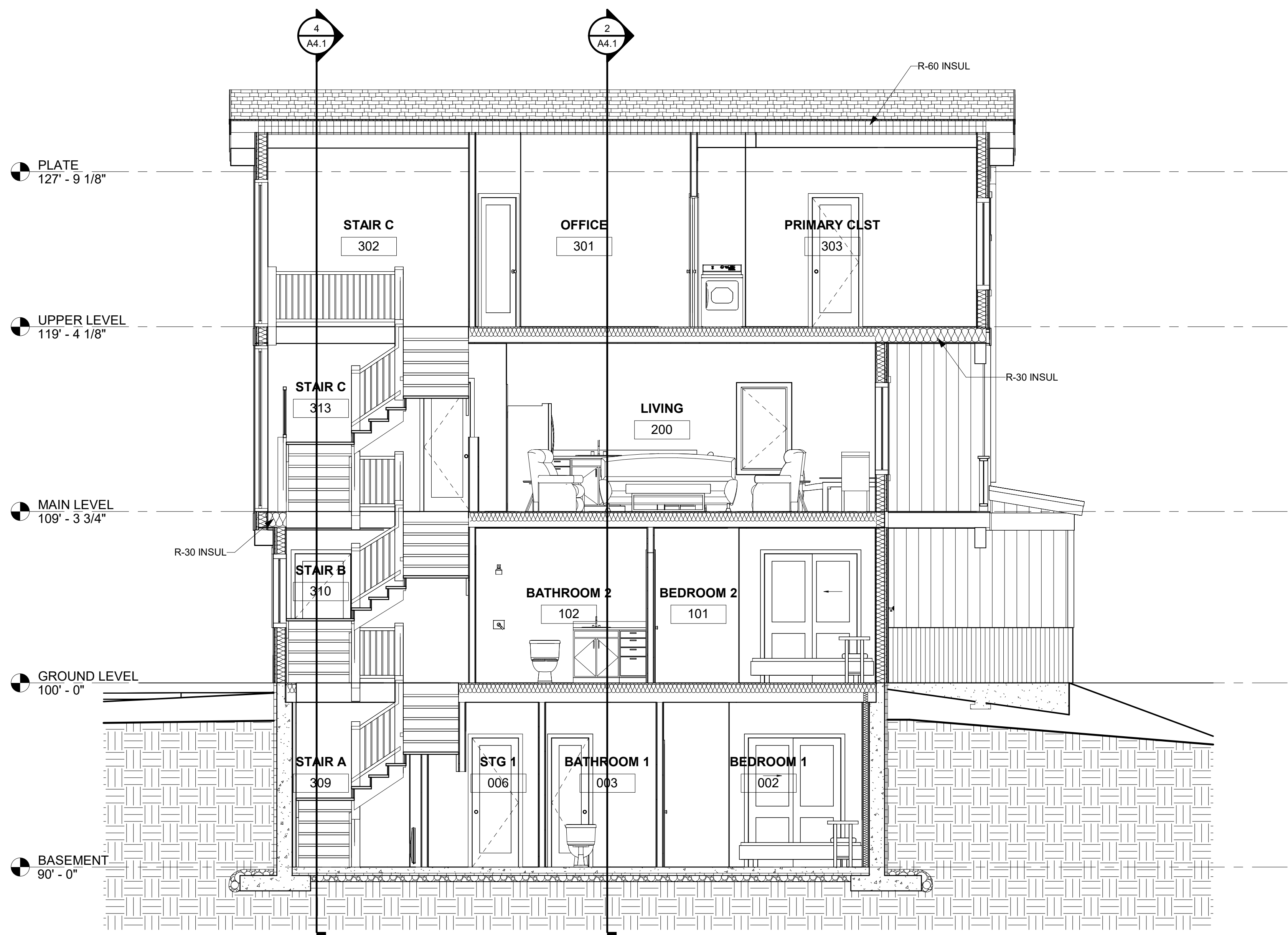
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No	Description	Date

Issue Dates:
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DRB-2/14/2025

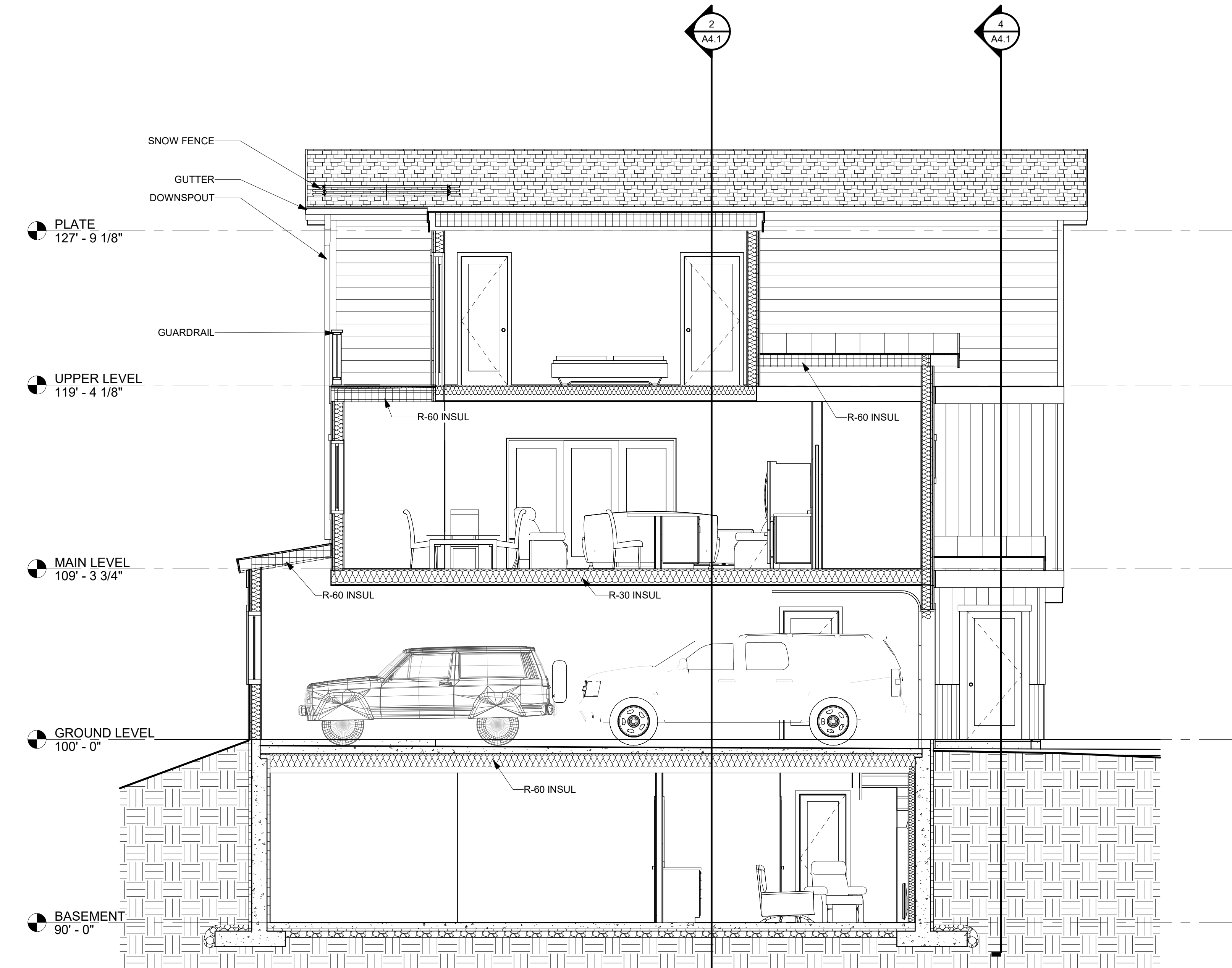
Sheet Title:
Materials

Project No:
2215

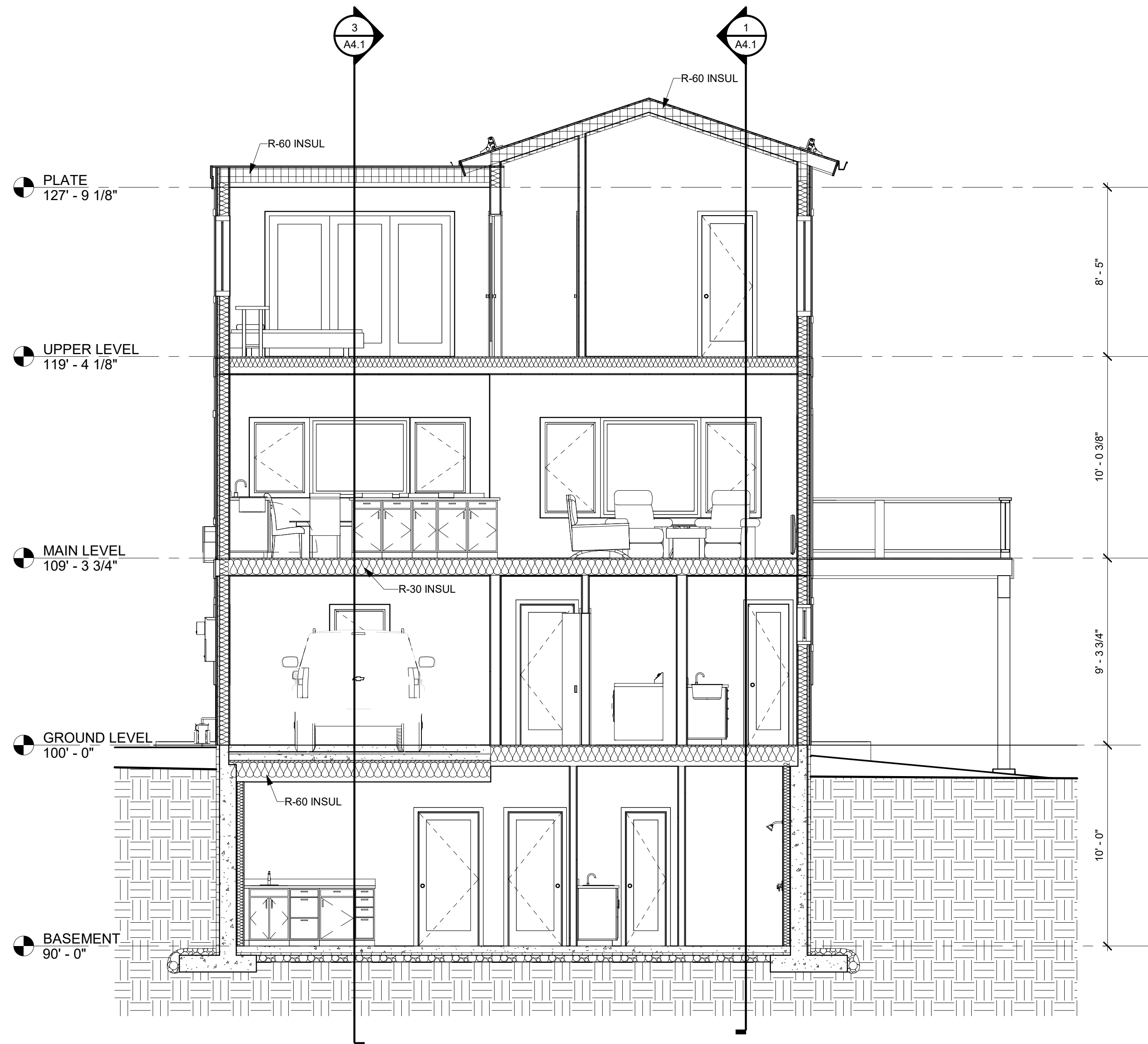
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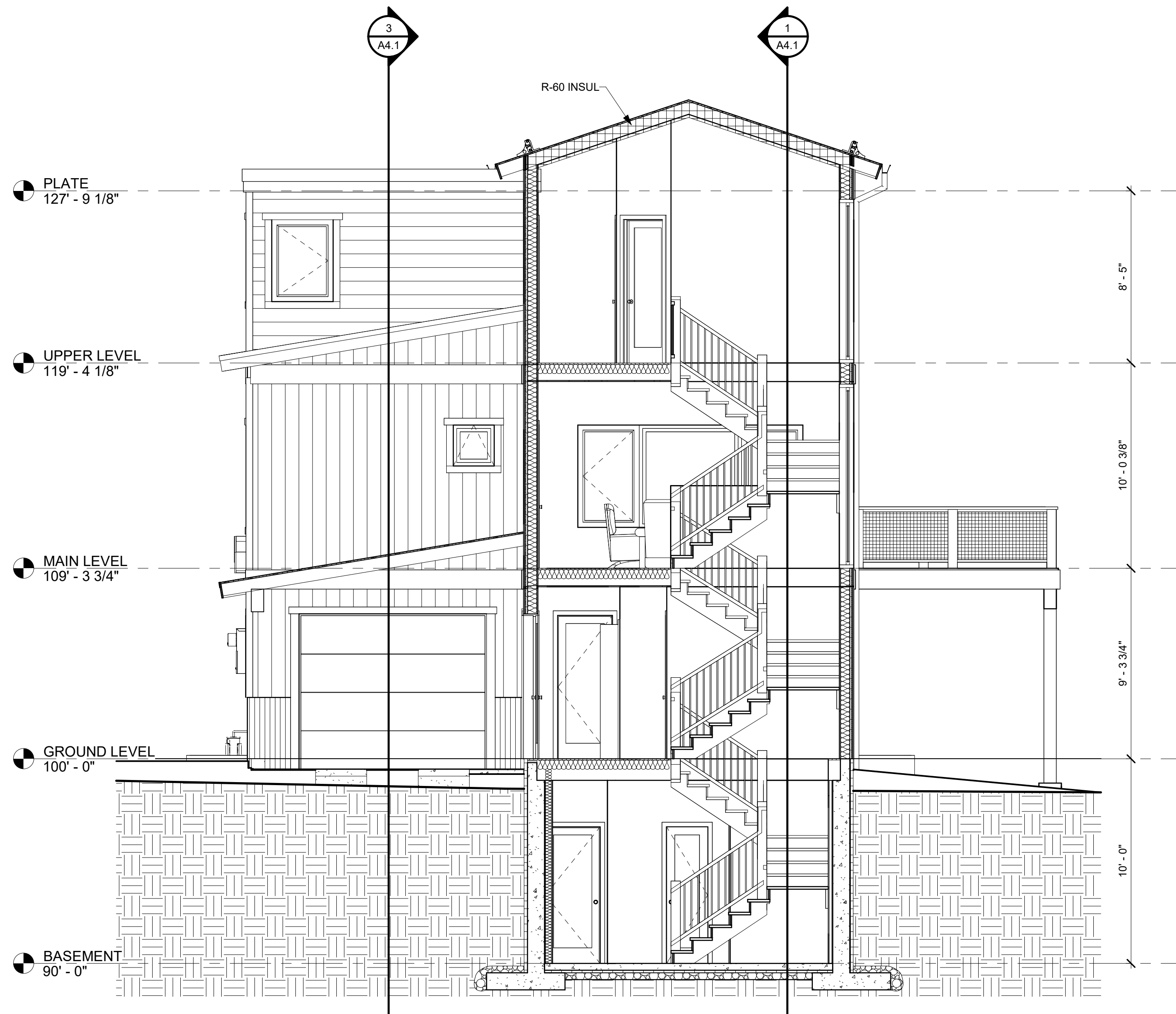
1 LONGITUDINAL SECTION 1
A4.1 1/4" = 1'-0"



3 LONGITUDINAL SECTION 2
A4.1 1/4" = 1'-0"



2 TRANSVERSE SECTION
A4.1 1/4" = 1'-0"

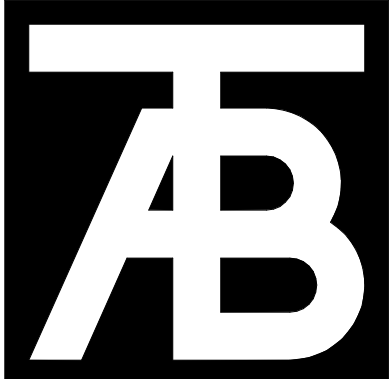


4 STAIR SECTION
A4.1 1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - PELICAN
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - PELICAN
X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - CASCADE
X-4 VERTICAL CORRUGATED METAL SIDING
COLOR - BURNISHED SLATE
- R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF



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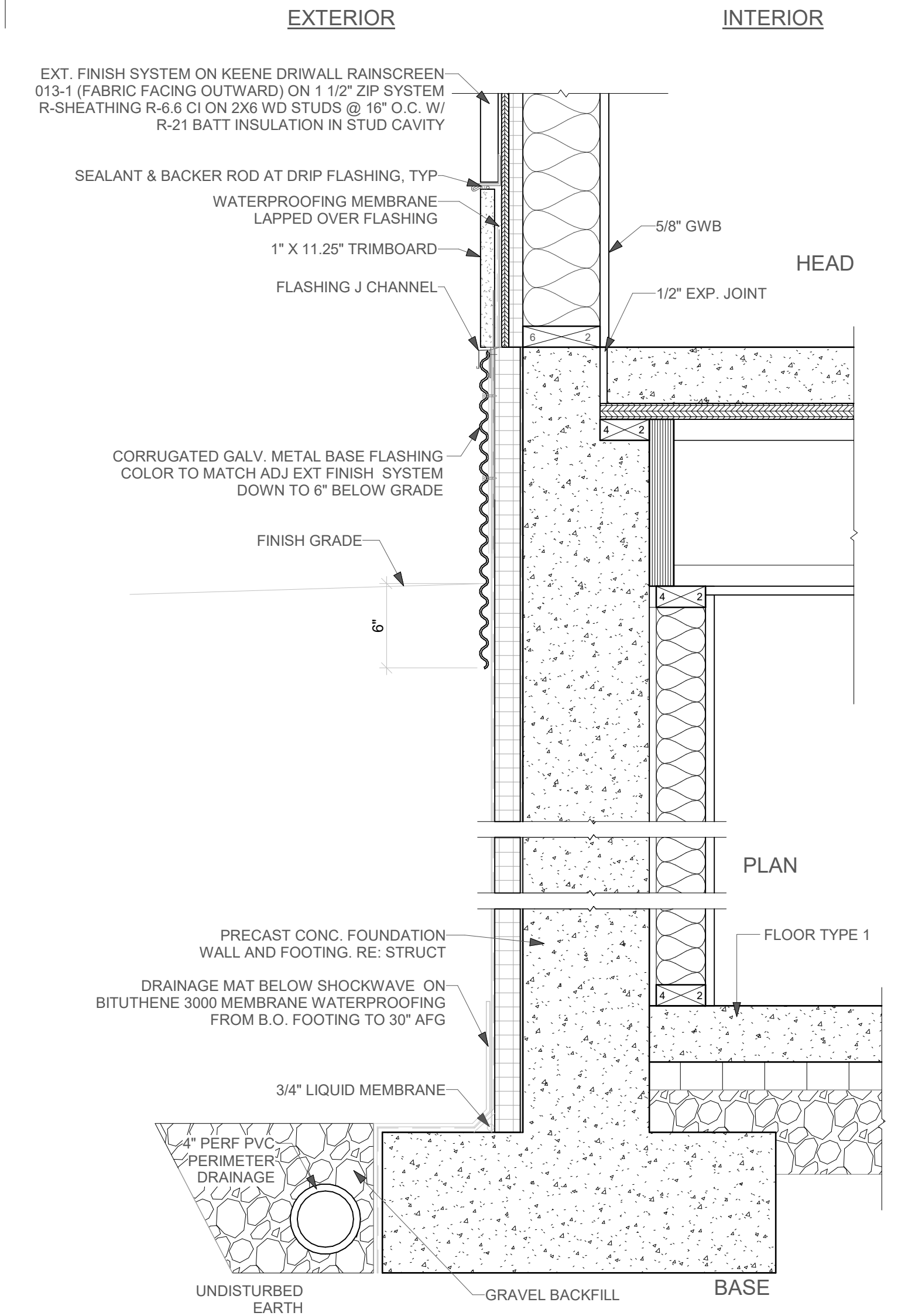
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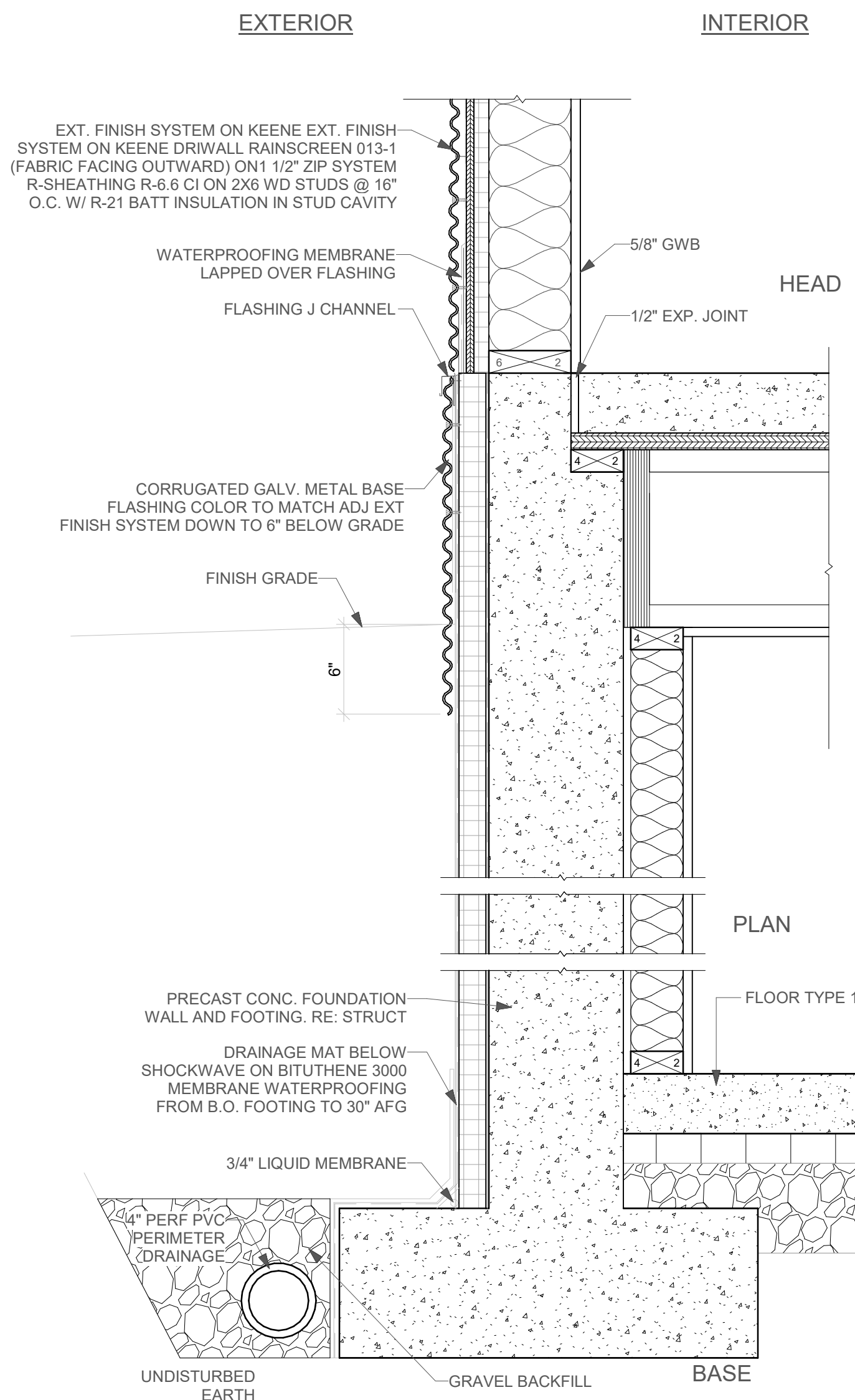
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Building
Sections

Project No:
2215

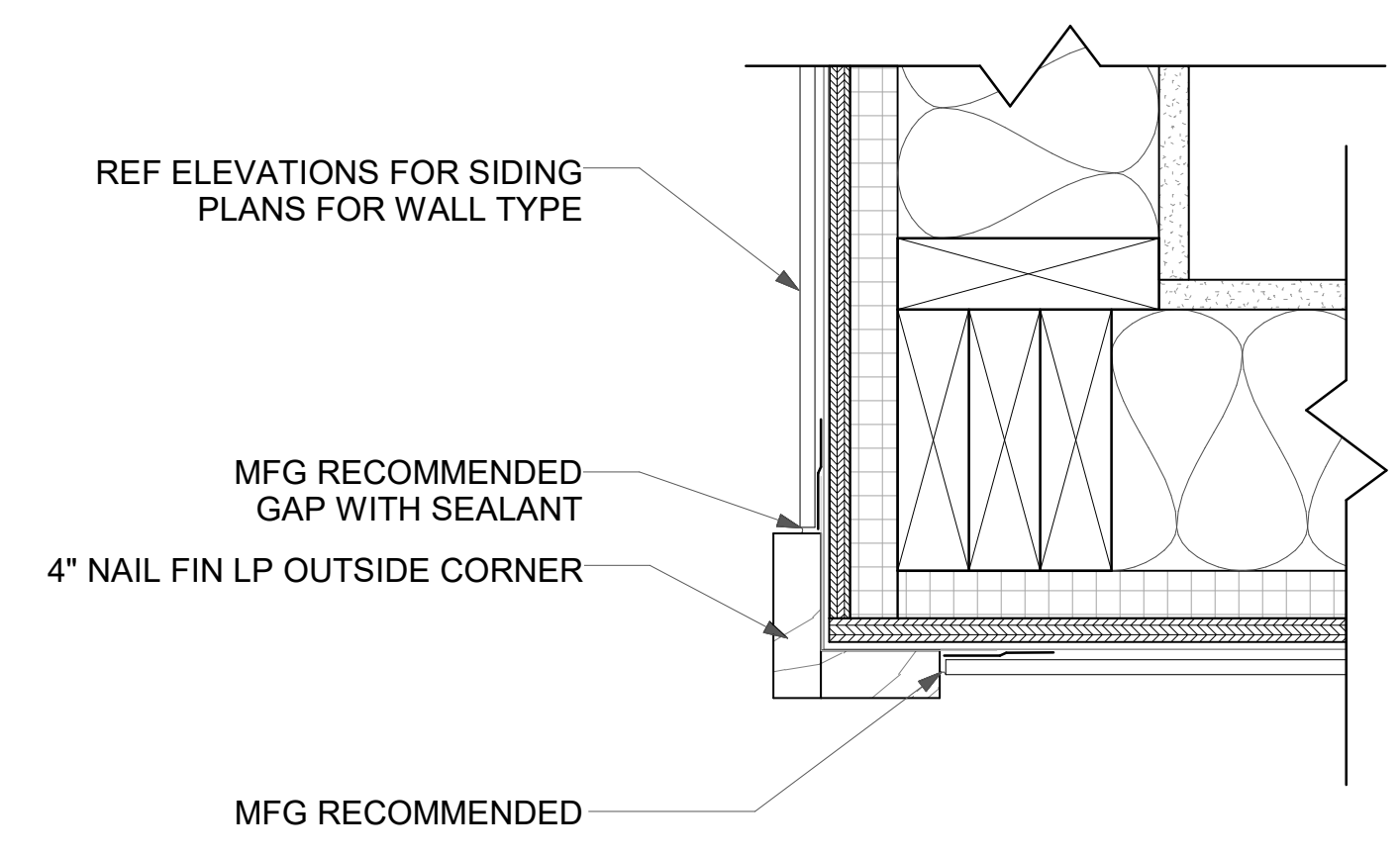
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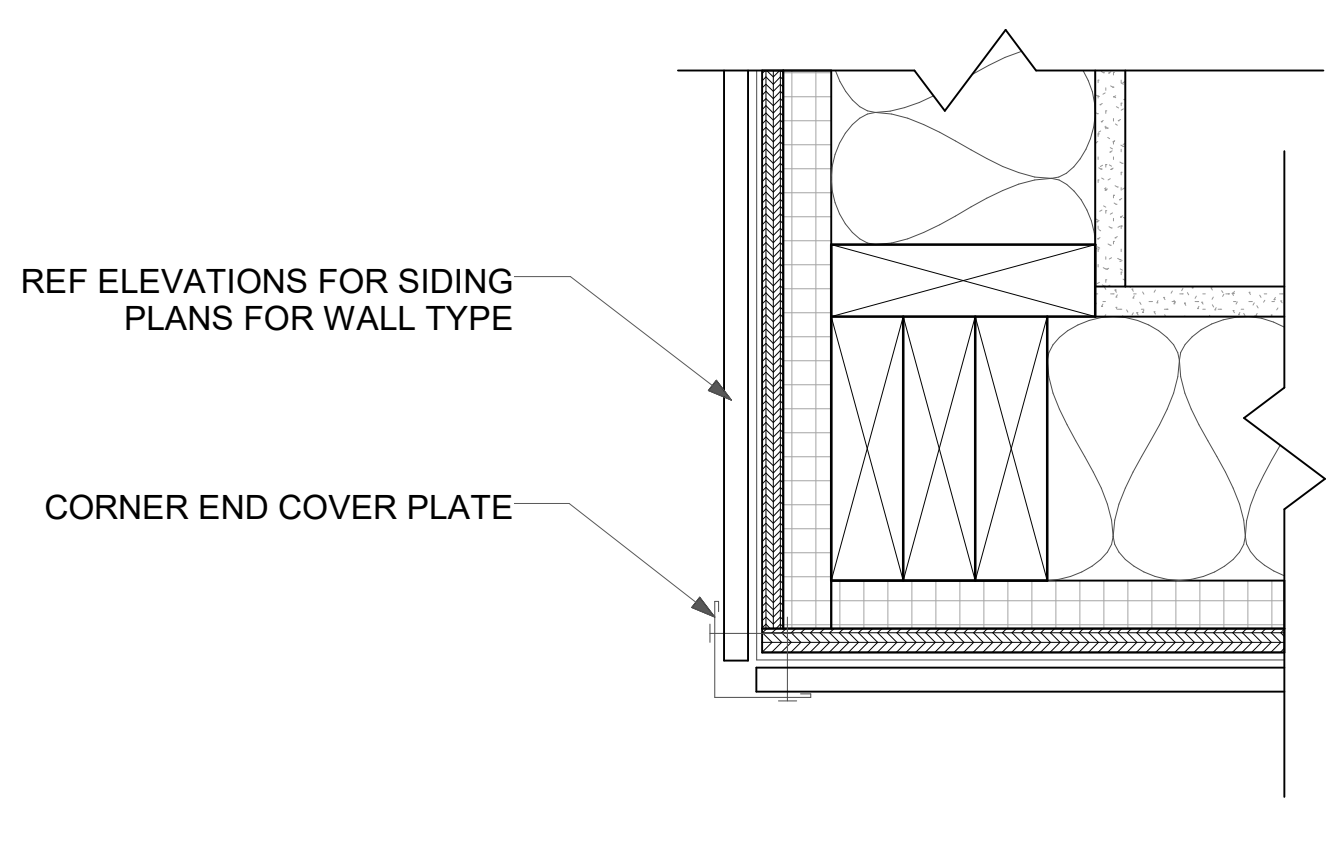
1 FOUNDATION DETAIL - WOOD SIDING
A5.1 1 1/2" = 1'-0"



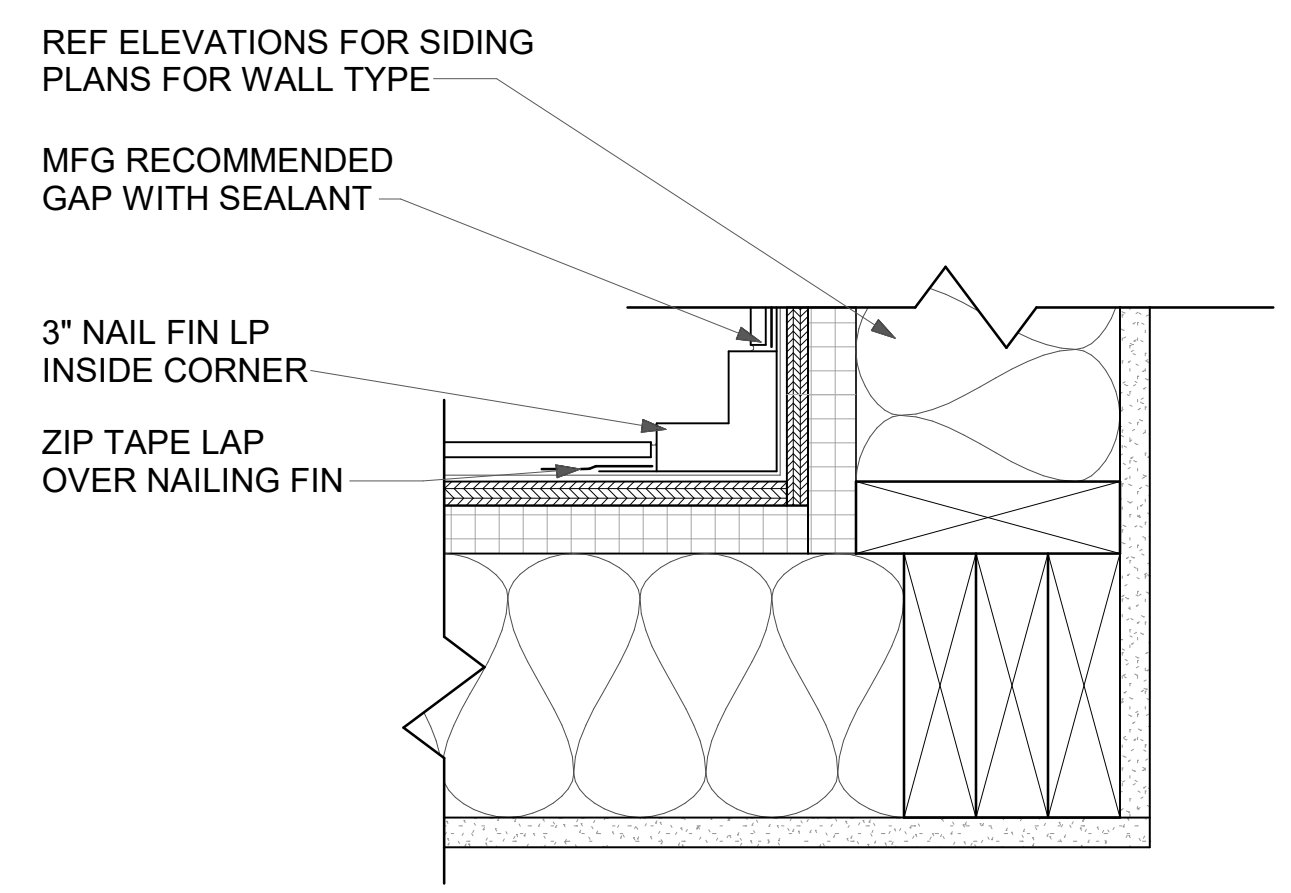
2 FOUNDATION DETAIL - CORRUGATED SIDING
A5.1 1 1/2" = 1'-0"



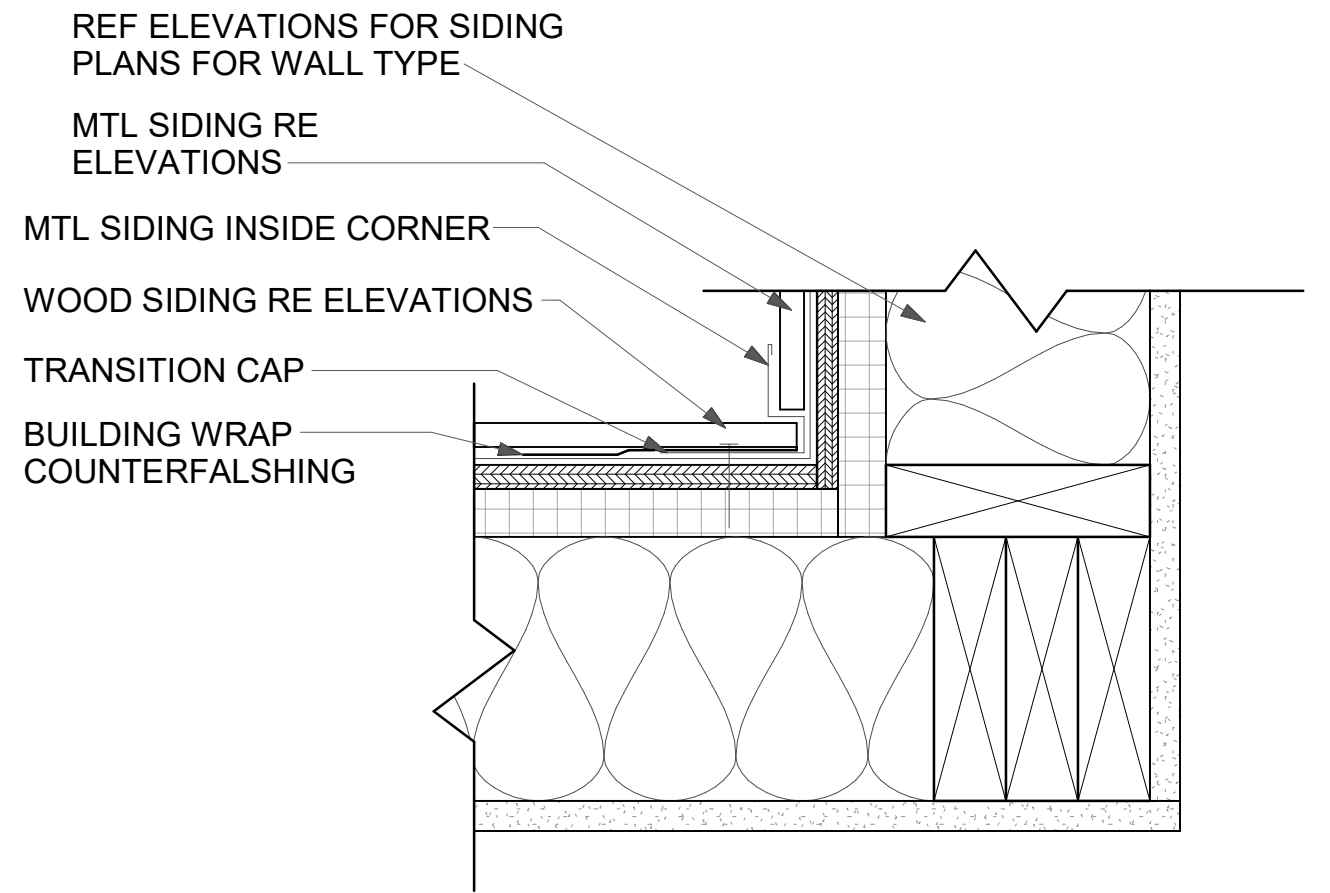
6 PLAN DETAIL - CORNER TRIM
A5.1 3" = 1'-0"



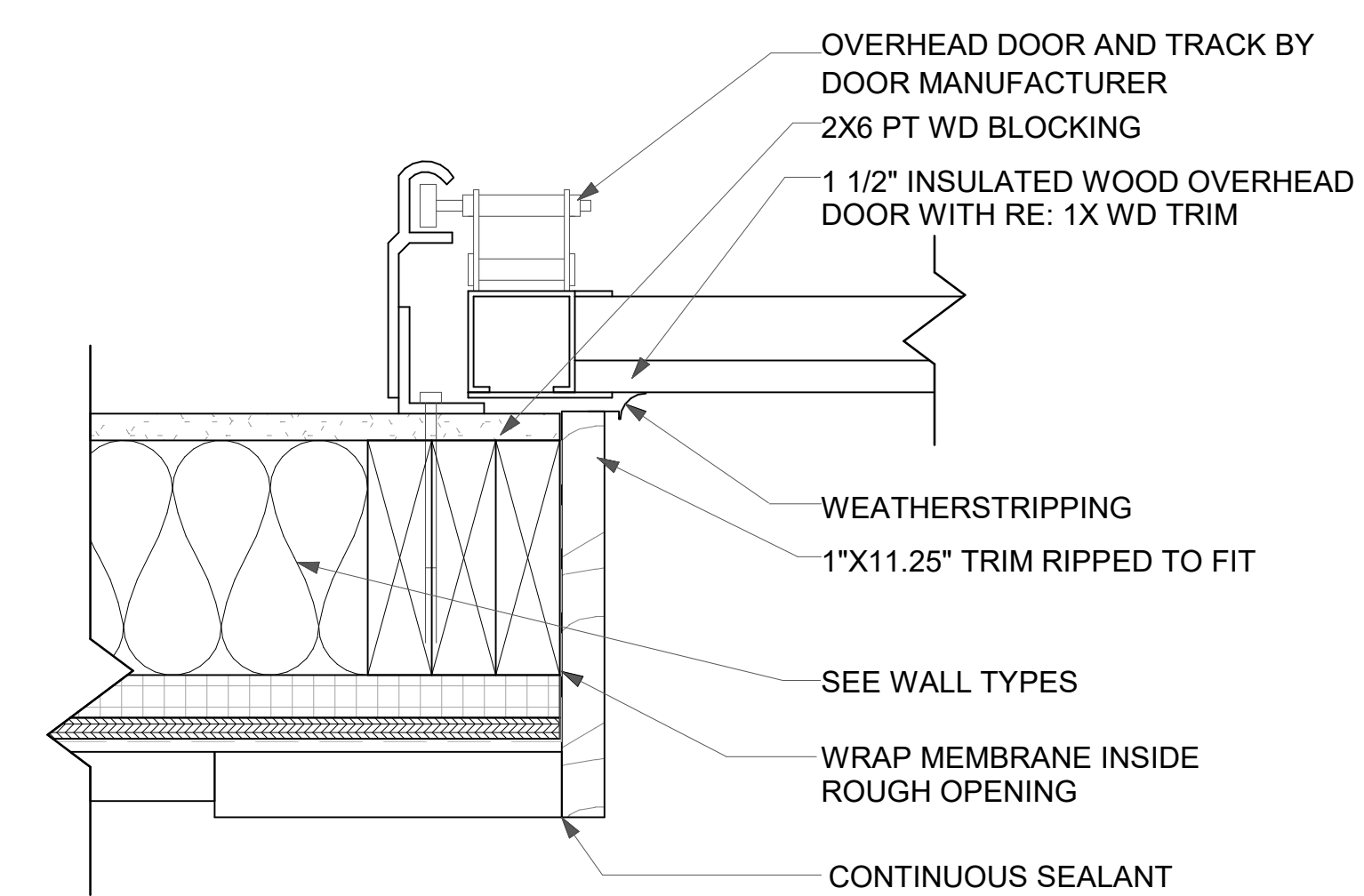
7 PLAN DETAIL - CORNER TRIM MTL
A5.1 3" = 1'-0"



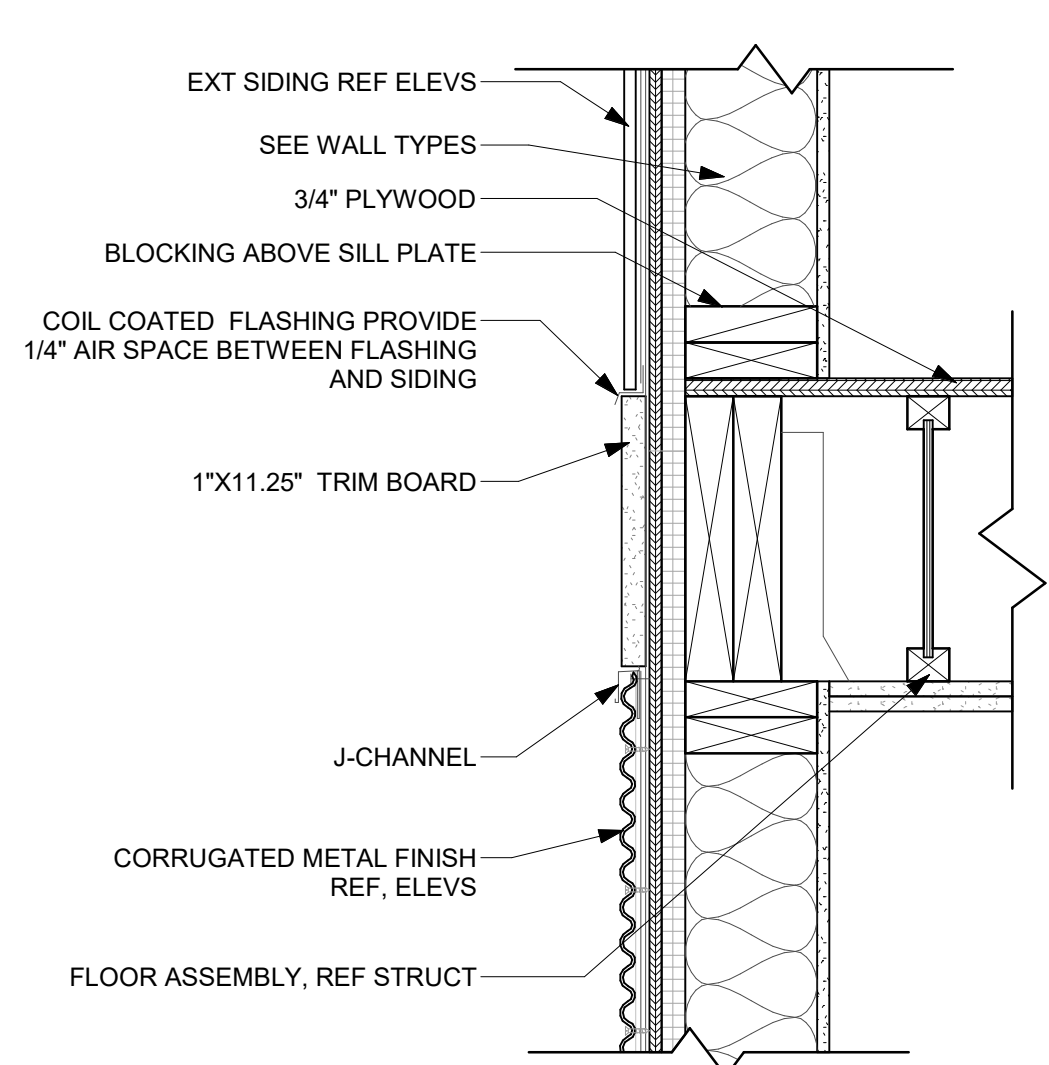
8 PLAN DETAIL - INSIDE TRIM
A5.1 3" = 1'-0"



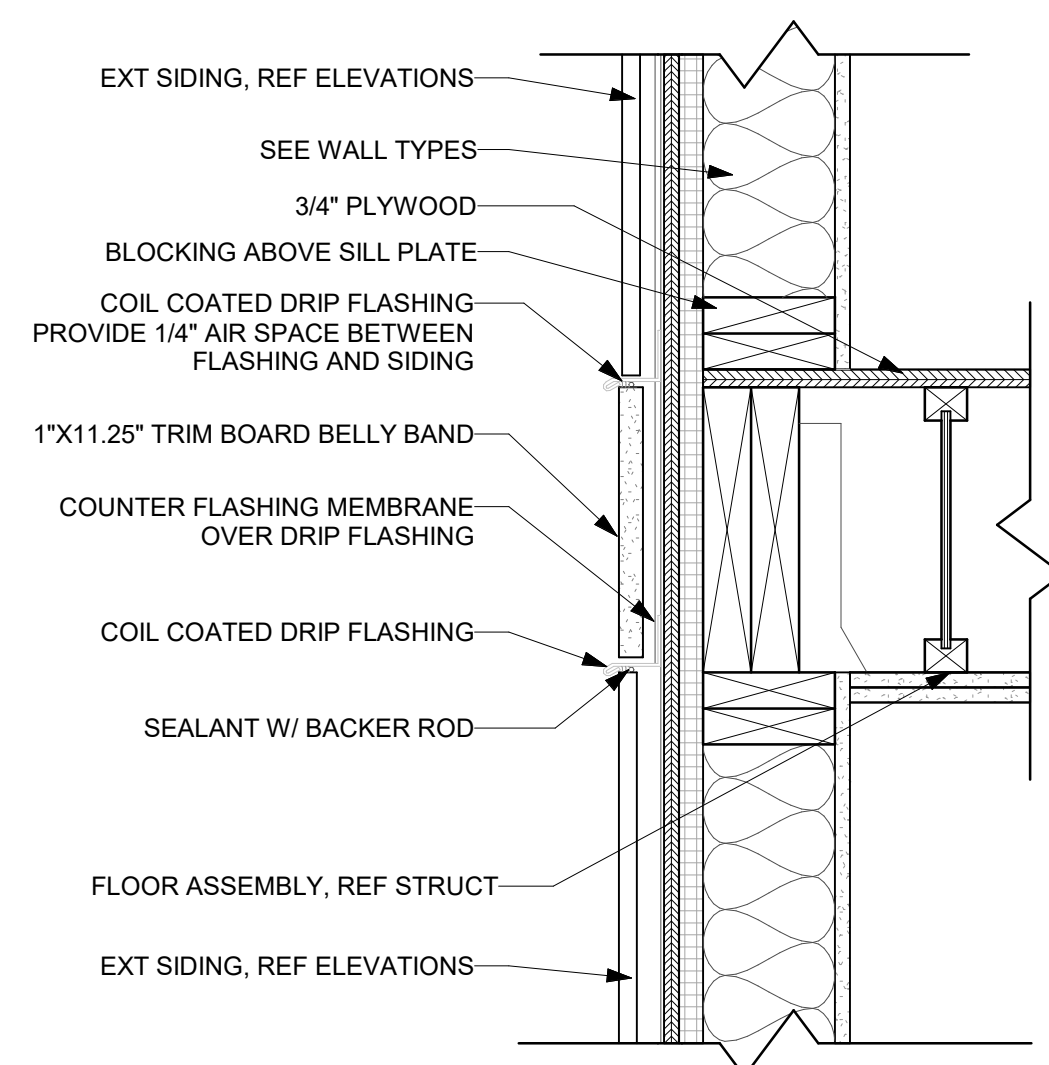
9 PLAN DETAIL - INSIDE TRIM MTL
A5.1 3" = 1'-0"



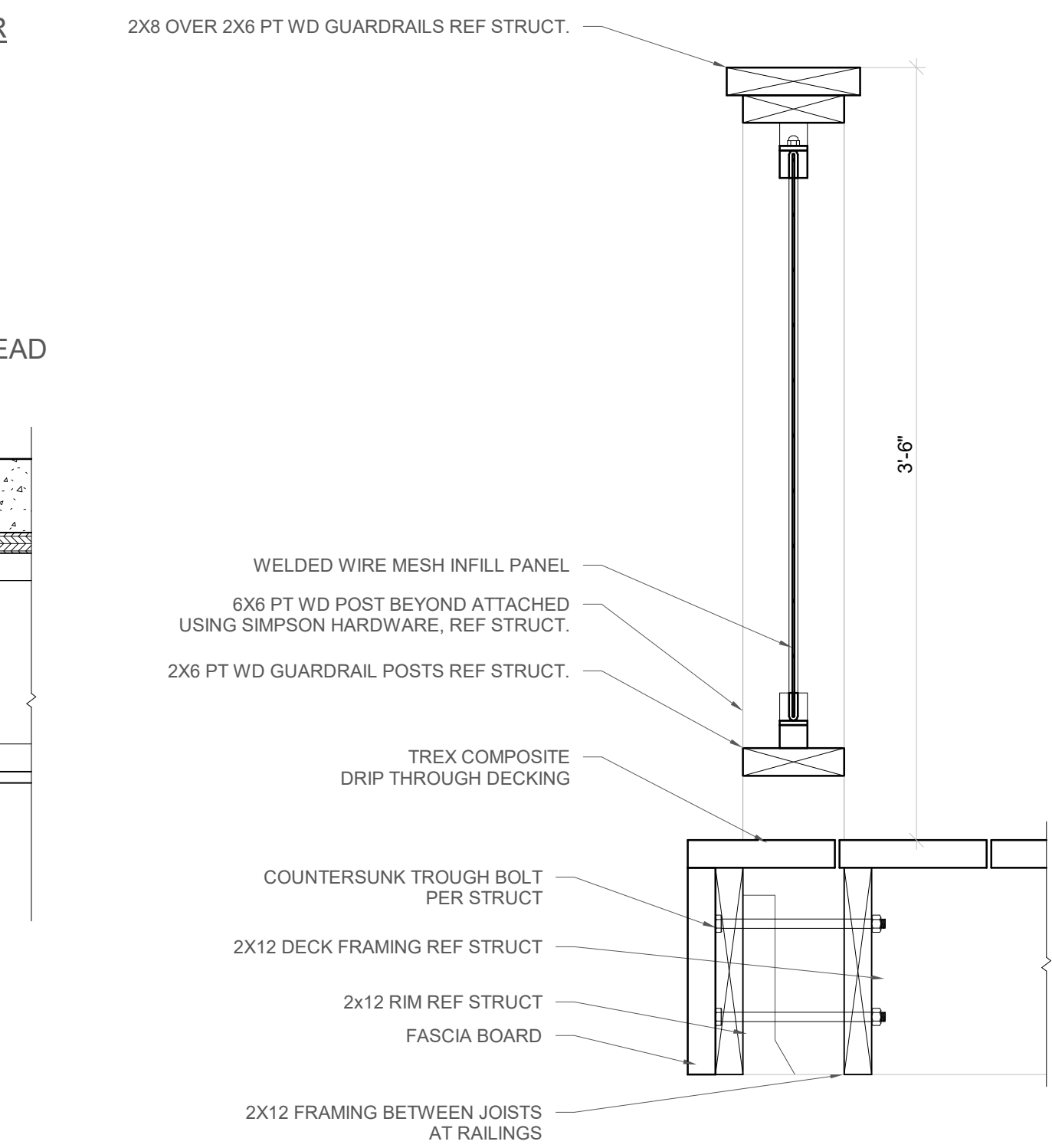
10 GARAGE DOOR JAMB
A5.1 3" = 1'-0"



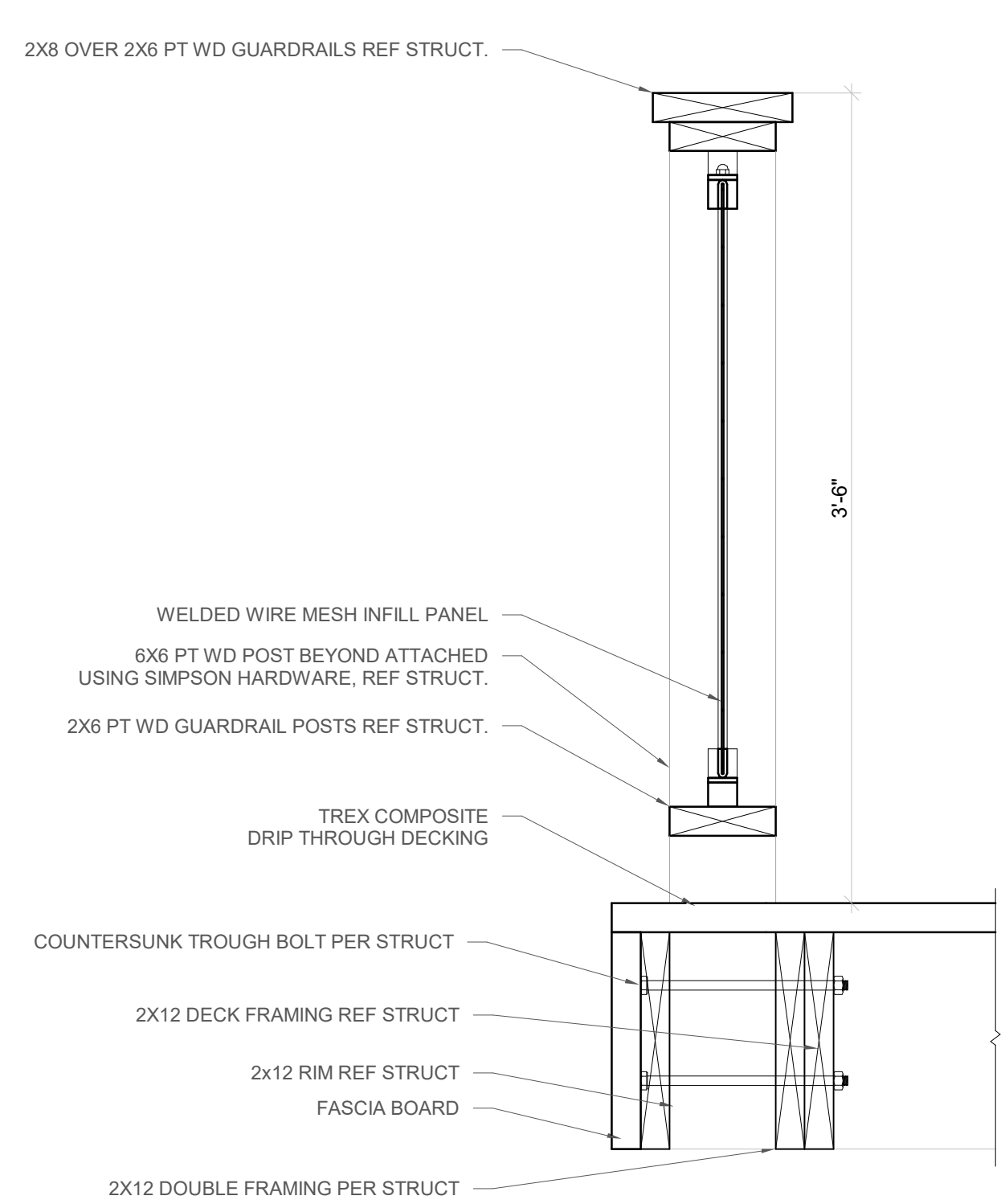
11 FLOOR TRANSITION MTL
A5.1 1 1/2" = 1'-0"



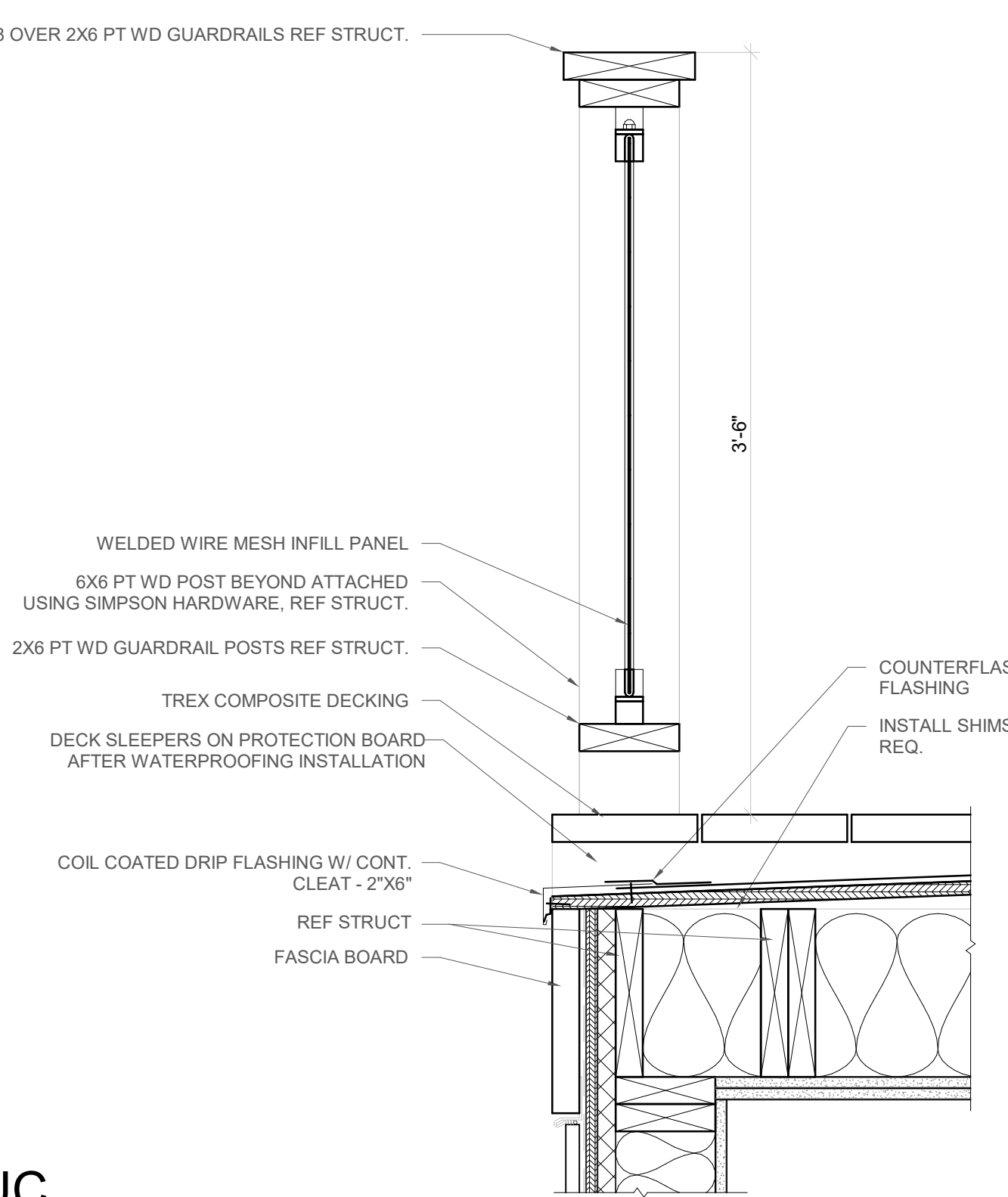
12 FLOOR TRANSITION
A5.1 1 1/2" = 1'-0"



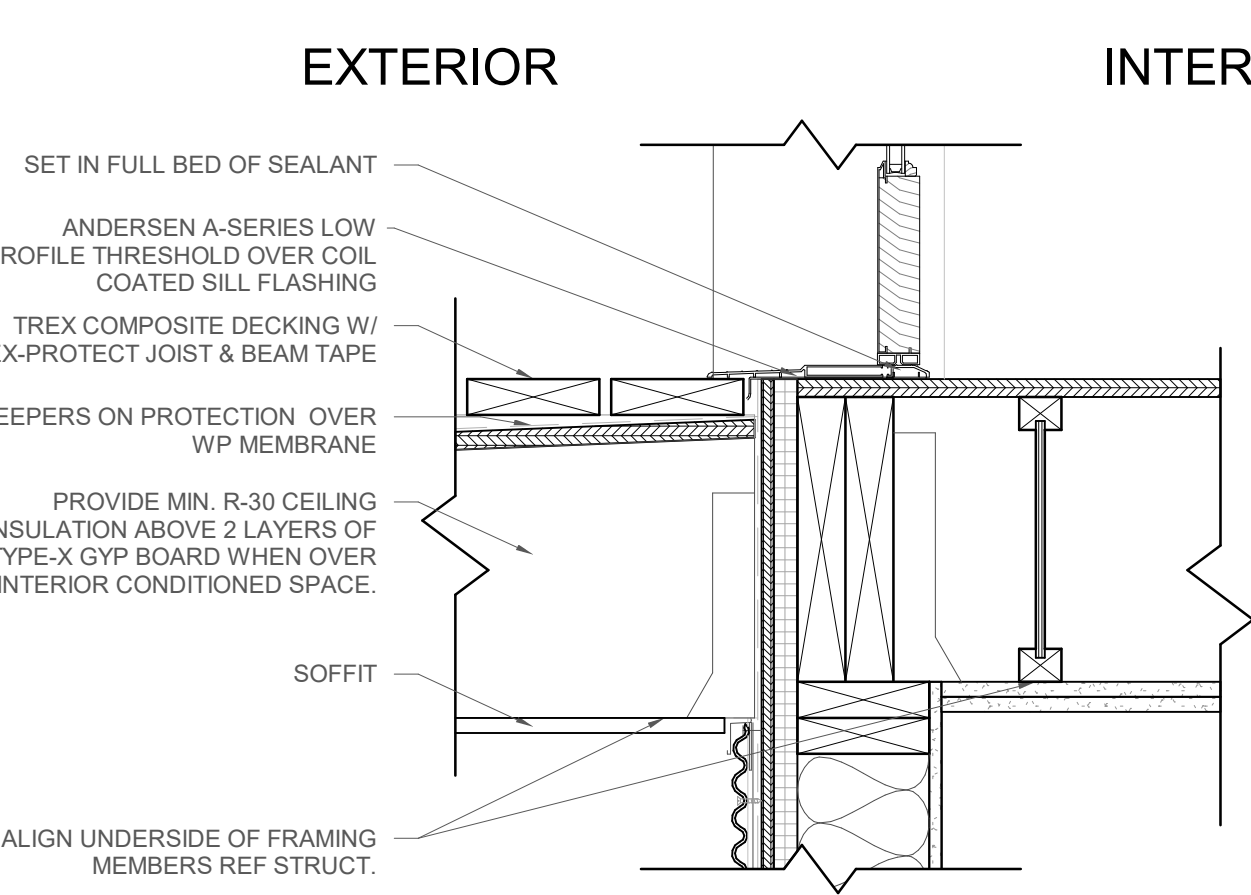
3 DRIP THROUGH DECK - PERP STRUC
A5.1 1 1/2" = 1'-0"



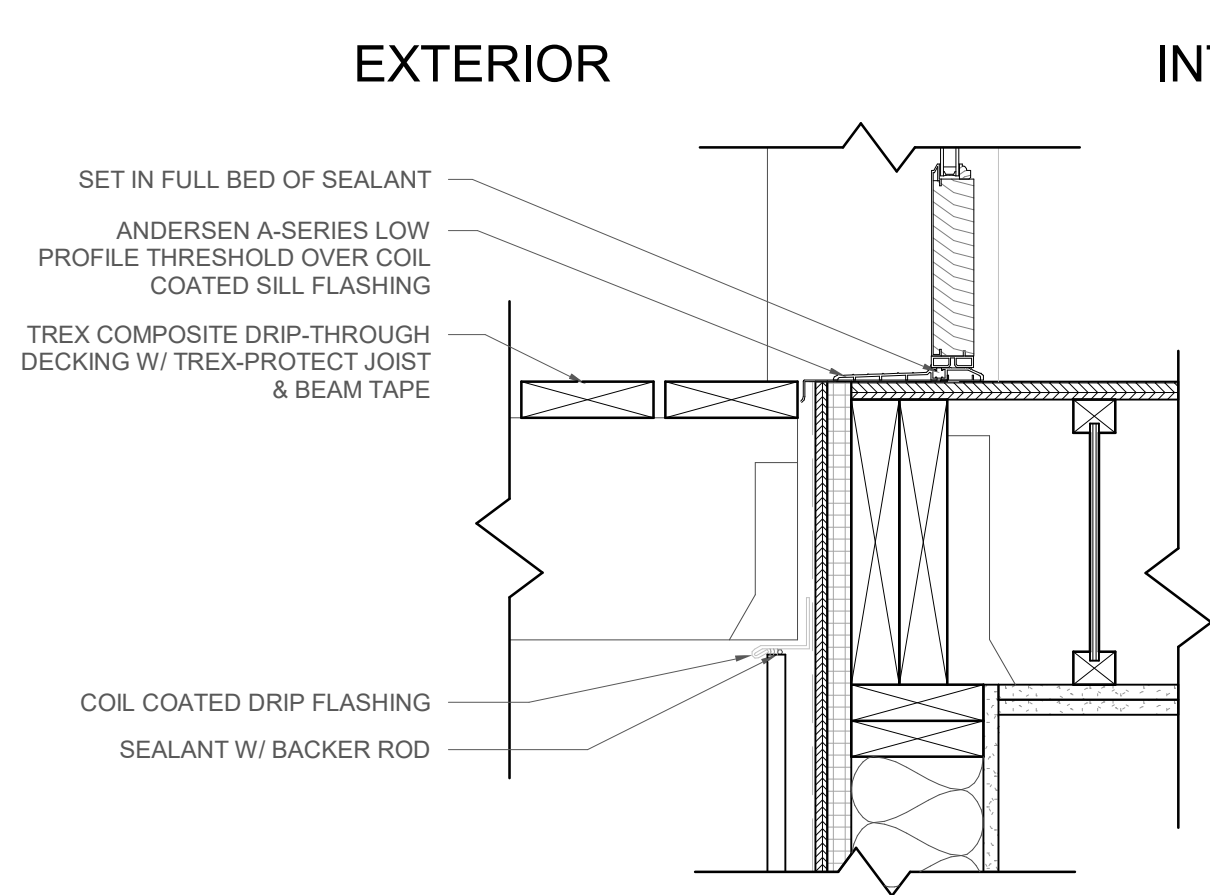
4 DRIP THROUGH DECK - PARA STRUC
A5.1 1 1/2" = 1'-0"



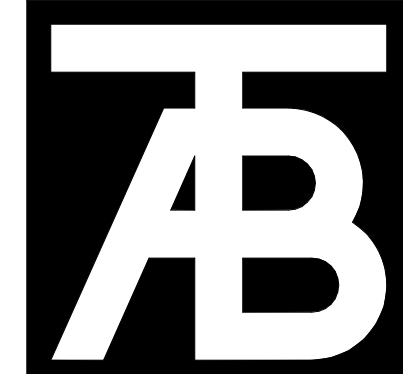
5 WATERPROOF DECK
A5.1 1 1/2" = 1'-0"



13 DOOR THRESHOLD @ WP DECK
A5.1 1 1/2" = 1'-0"



14 DOOR THRESHOLD @ DECK
A5.1 1 1/2" = 1'-0"



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Revisions:		
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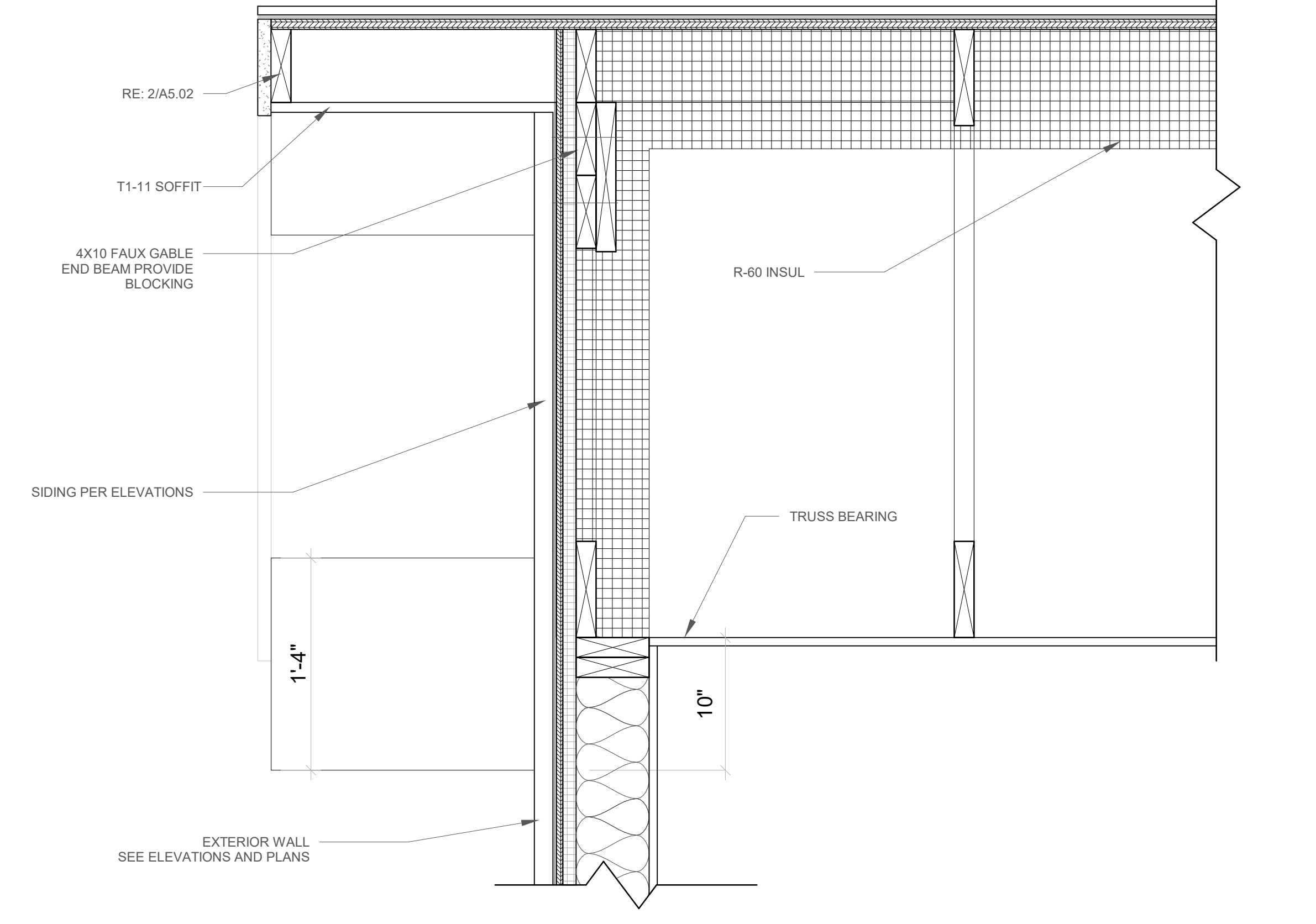
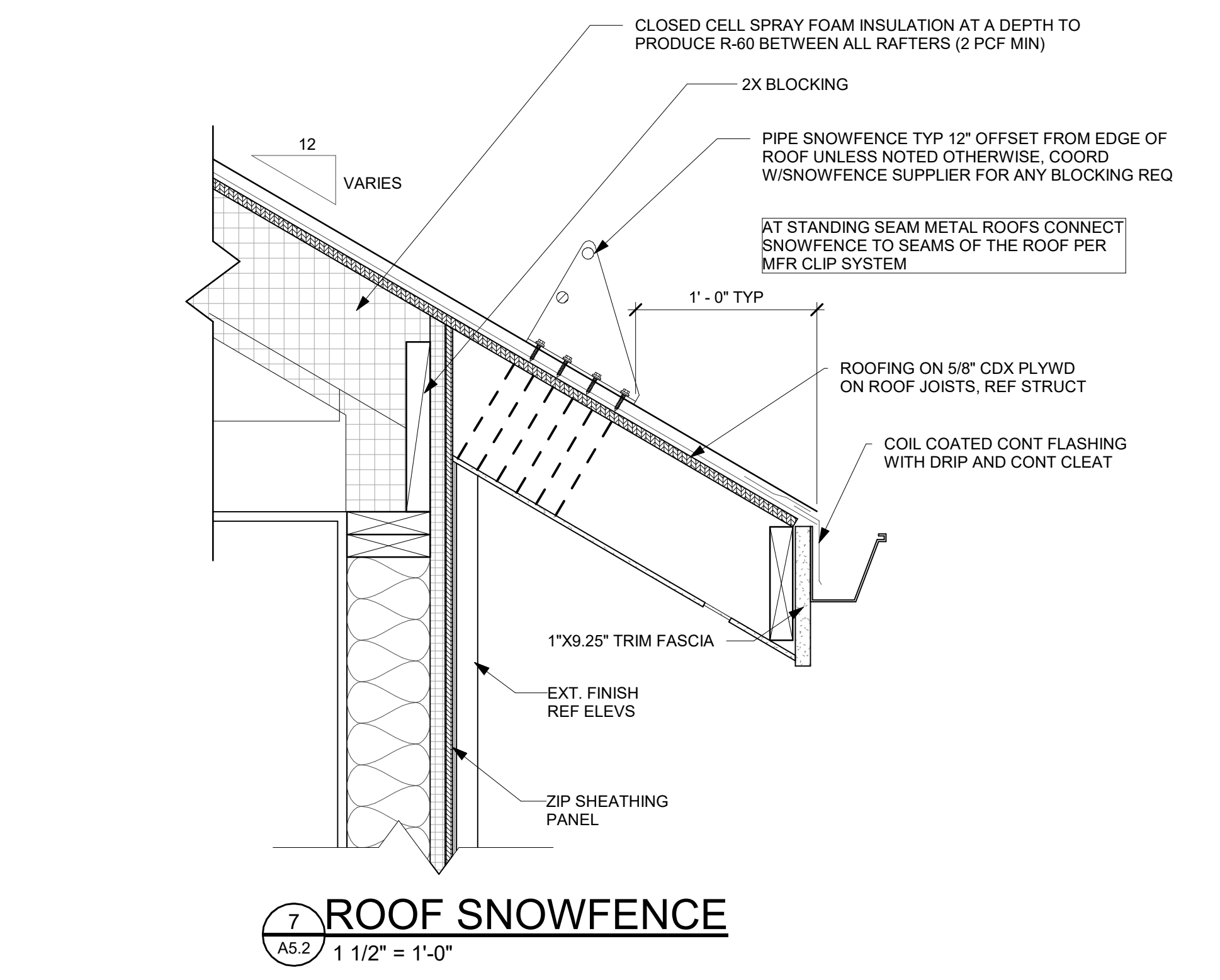
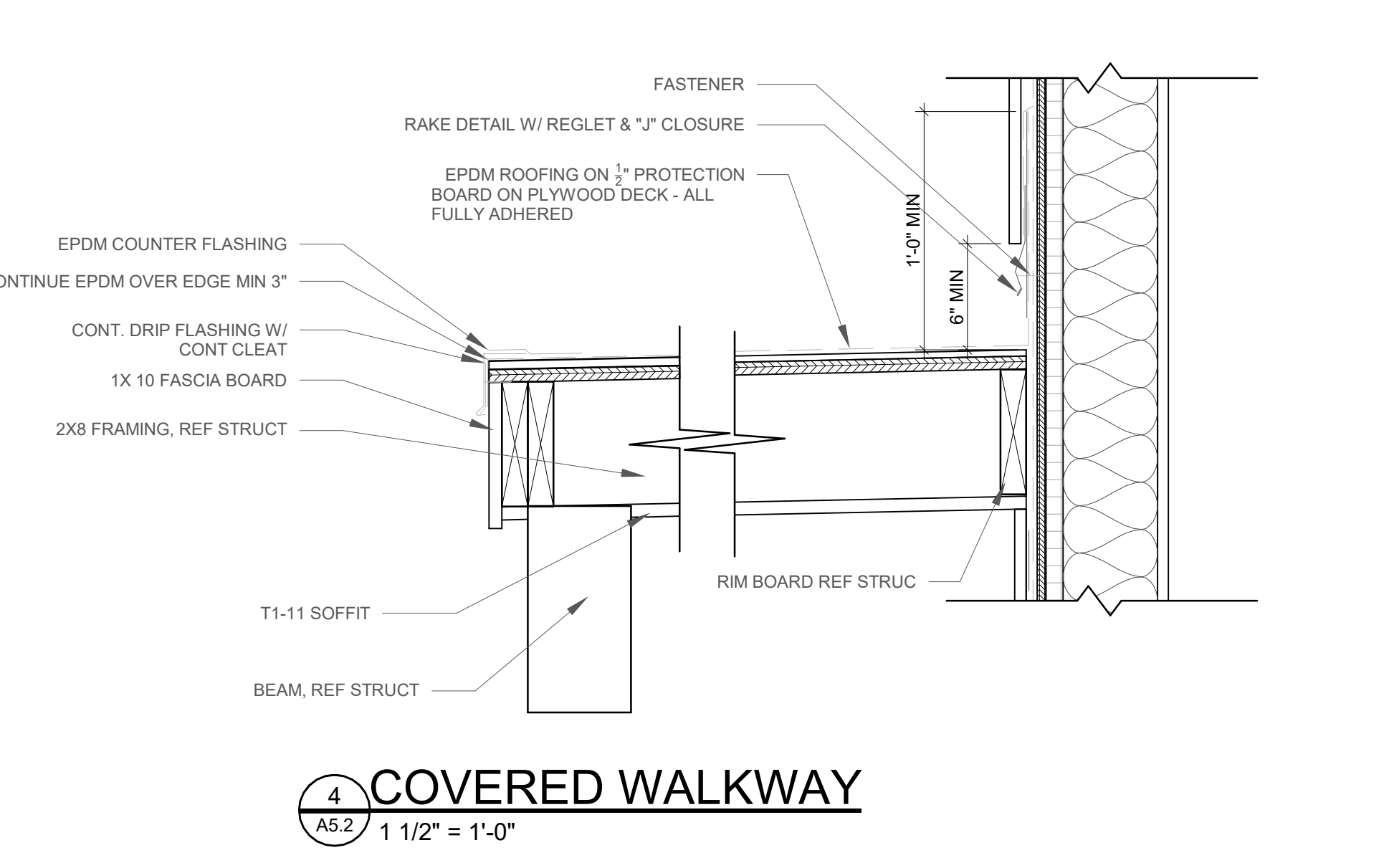
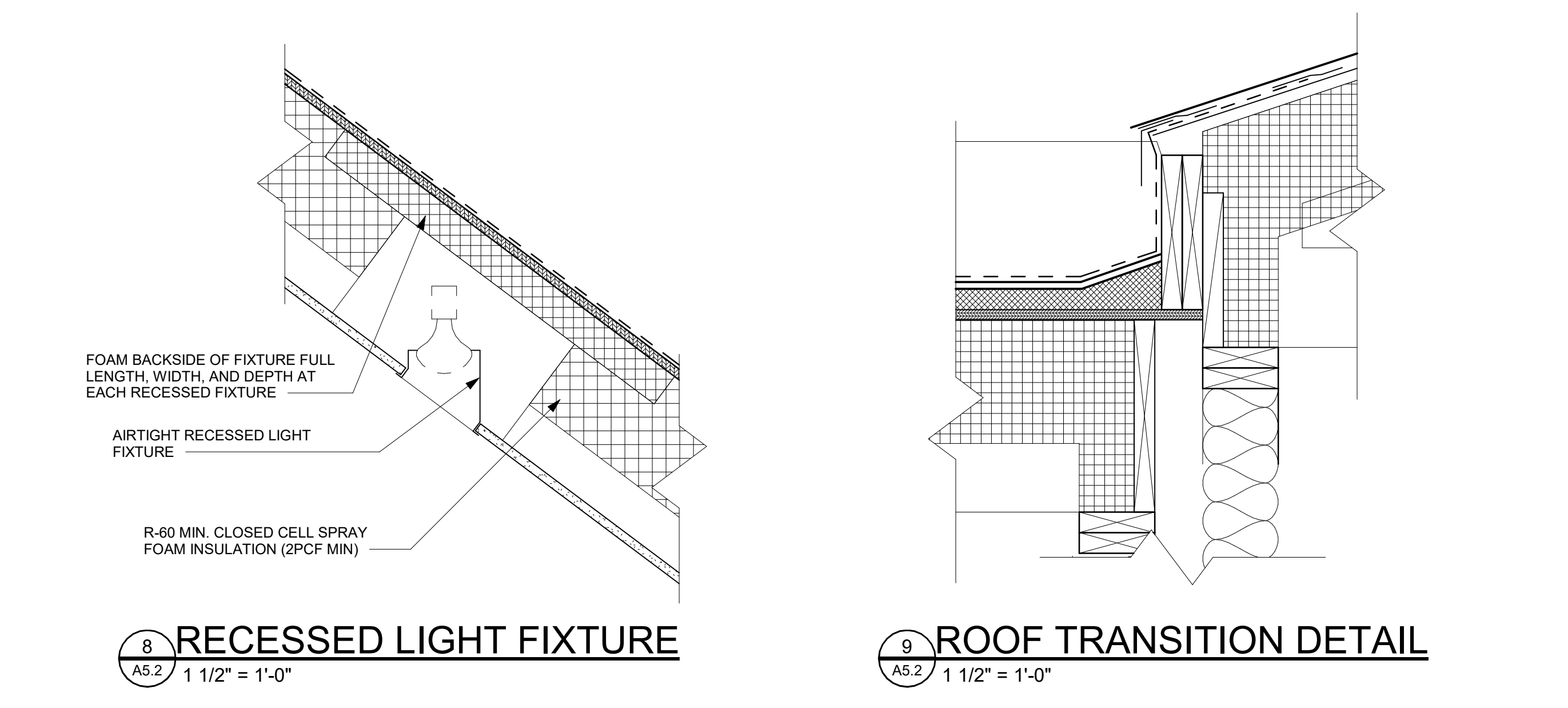
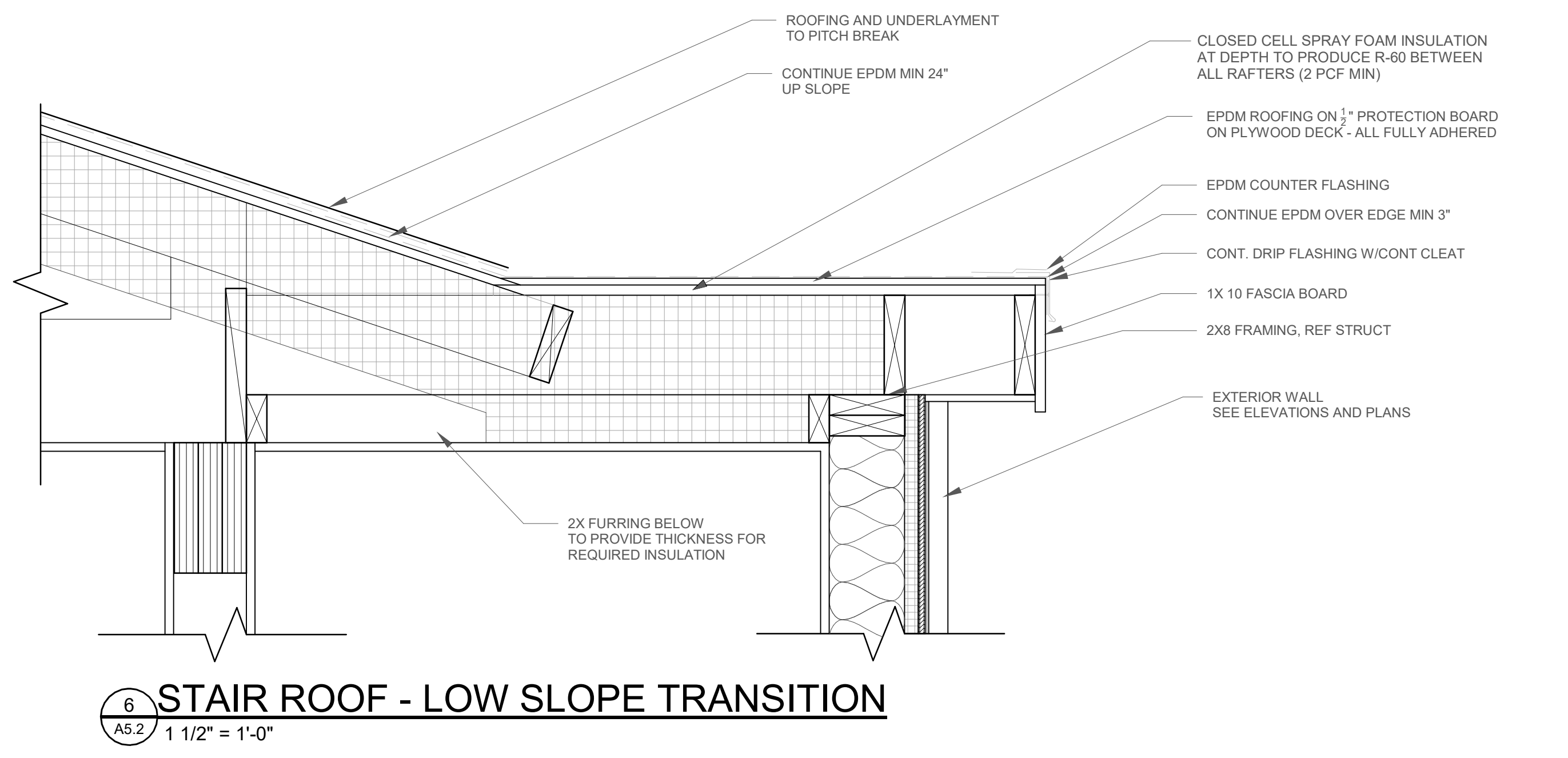
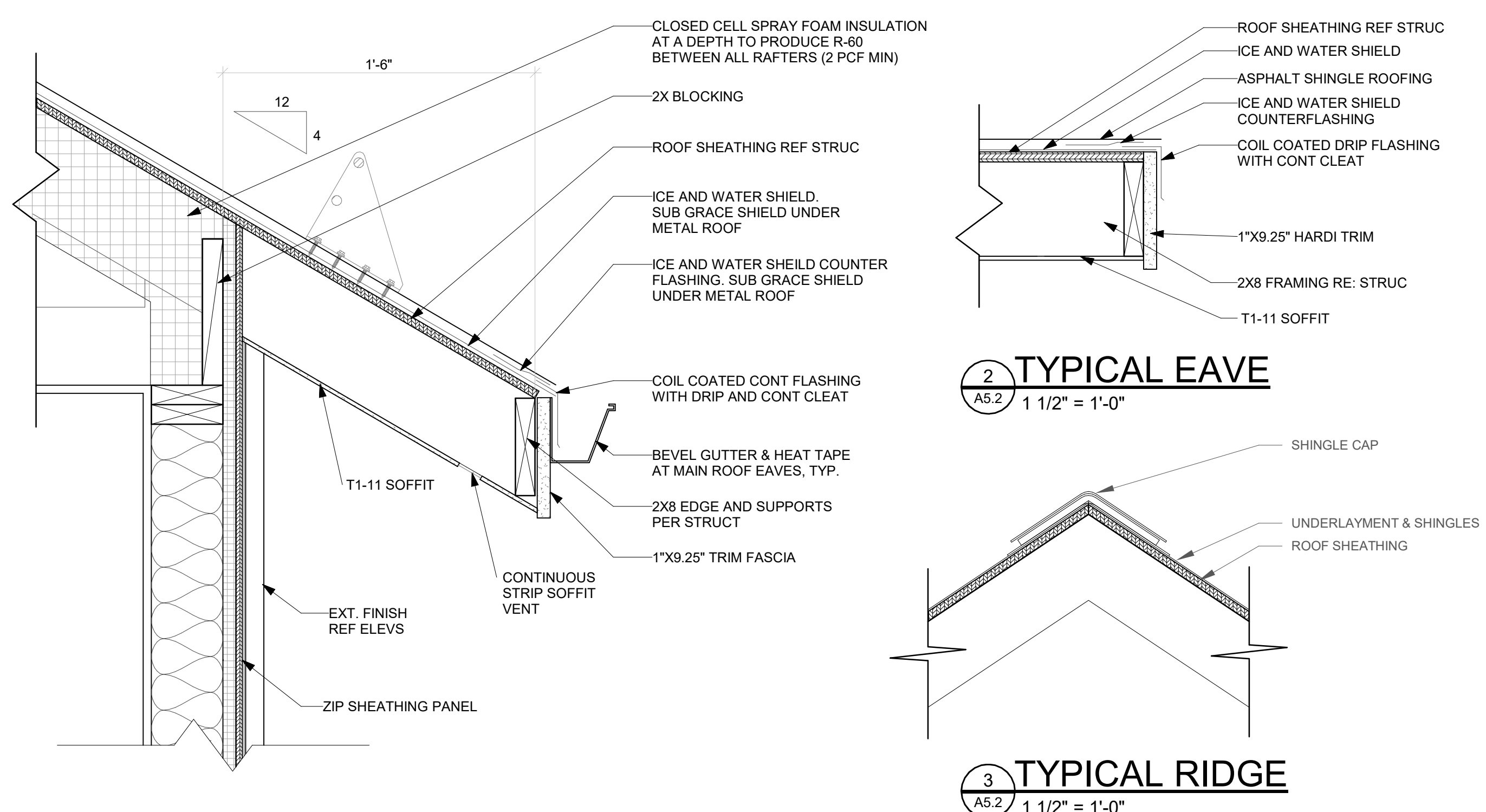
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Sheet Title:
Details

Project No:
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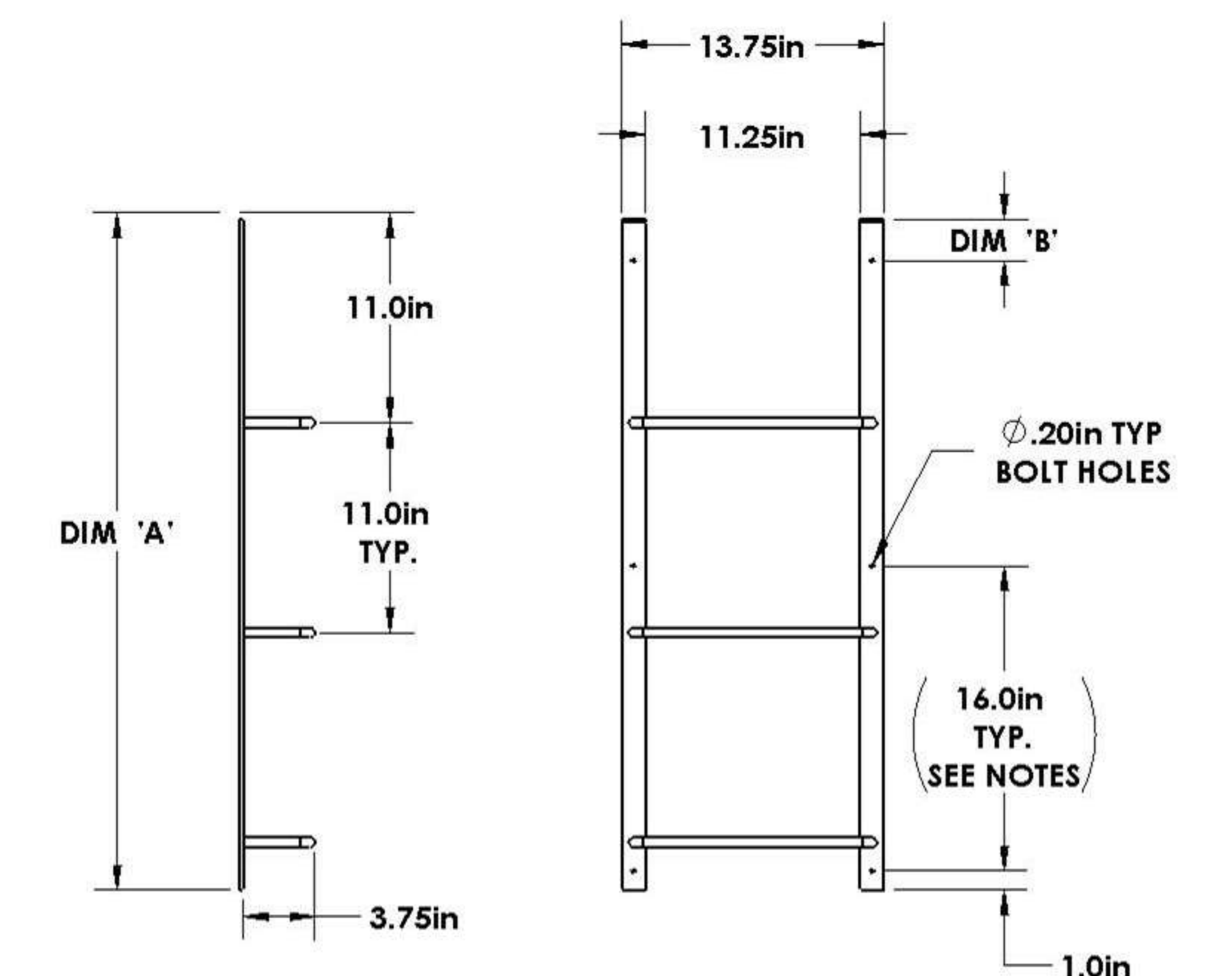
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WINDOW WELL SUPPLY™

STEEL EGRESS LADDER BOLT MOUNT



Ladder Size	Dim 'A' [in]	Dim 'B' [in]
3 Rung	35.0	2.0
4 Rung	46.0	1.0
5 Rung	57.0	8.0
6 Rung	68.0	3.0
7 Rung	79.0	1.0

PERMANENTLY FIXED LADDER

Material: Powder-coated Steel
Rung Spacing: 11.0in
Hole Spacing: 16.0in, hole spacing may vary
Hole Diameter: 0.20in
Screw Size*: #10 (3/16in)

10 EGRESS LADDER
AS.2 1/4" = 1'-0"

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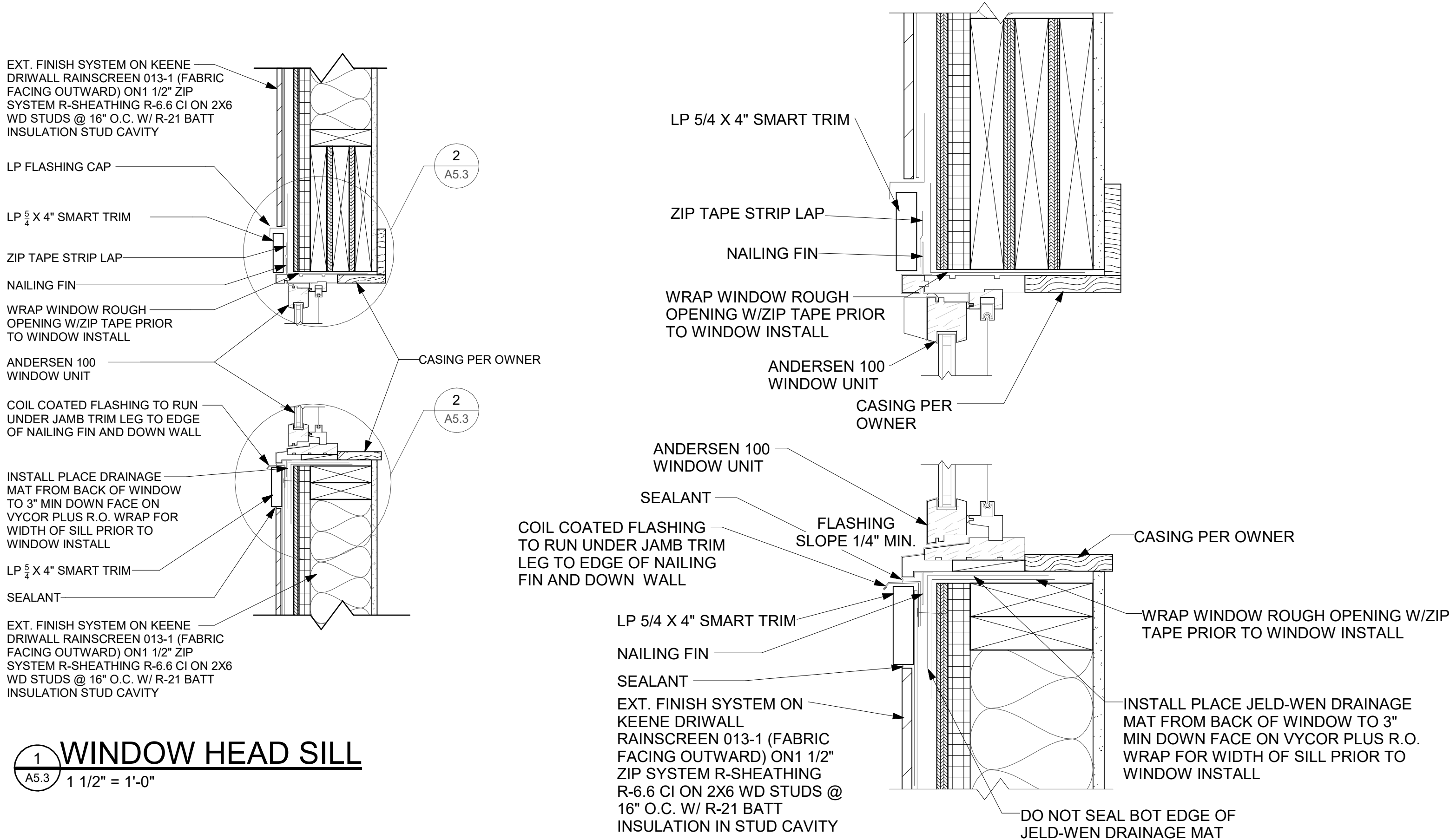
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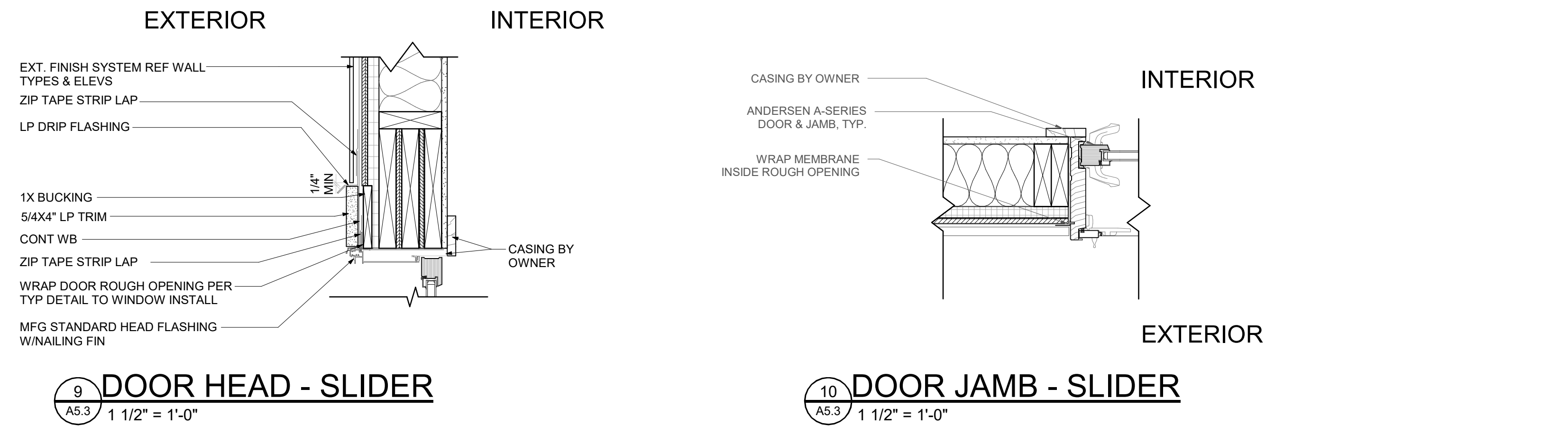
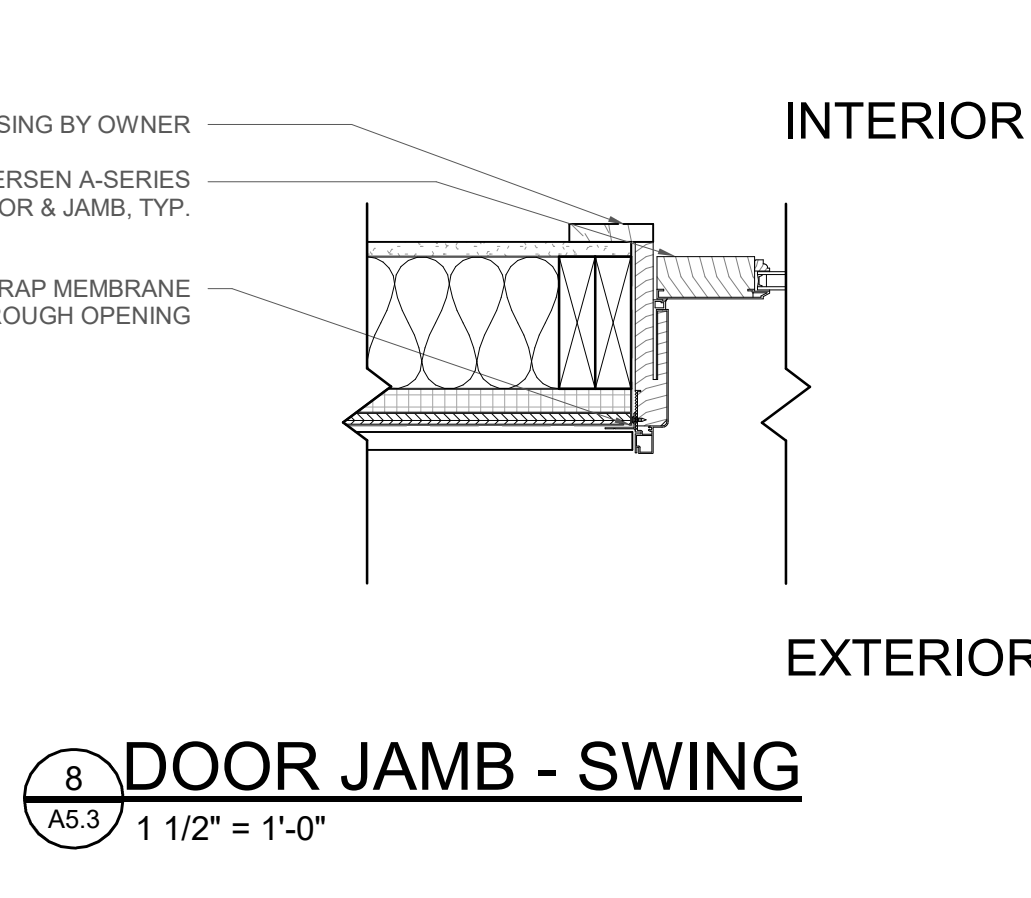
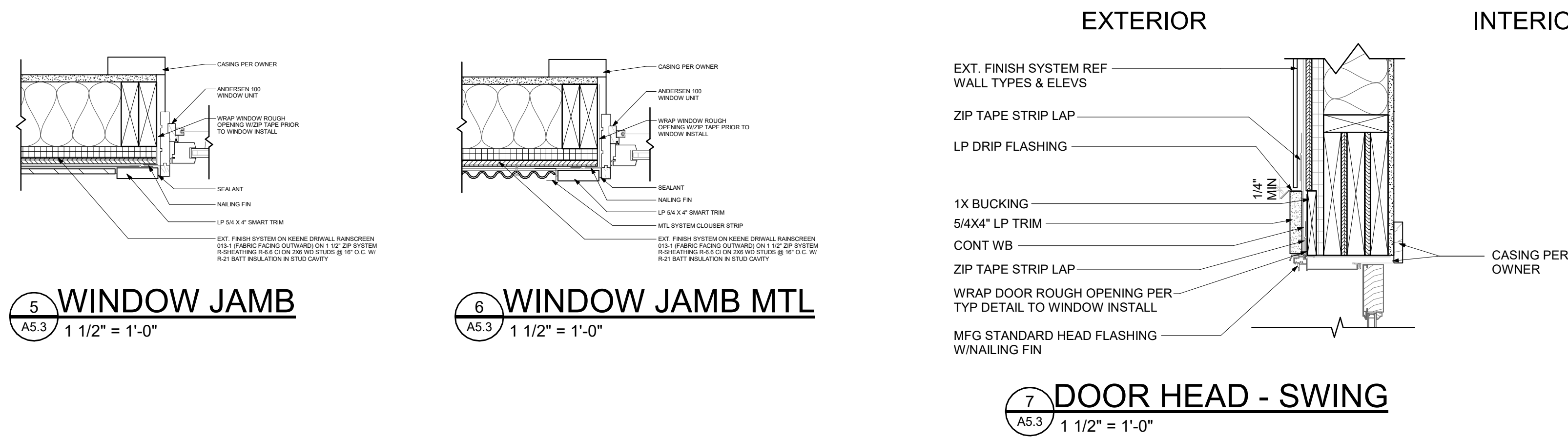
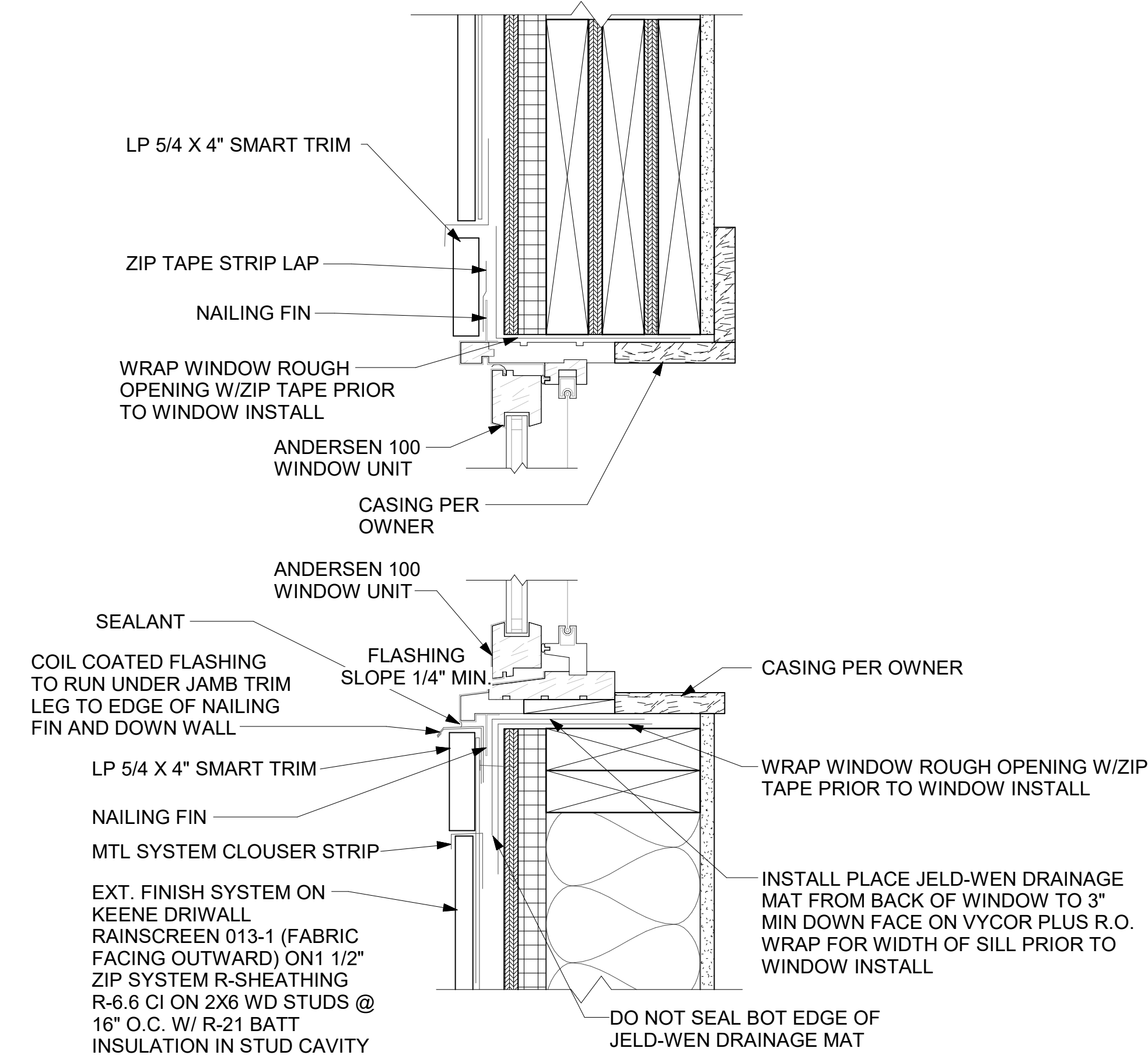
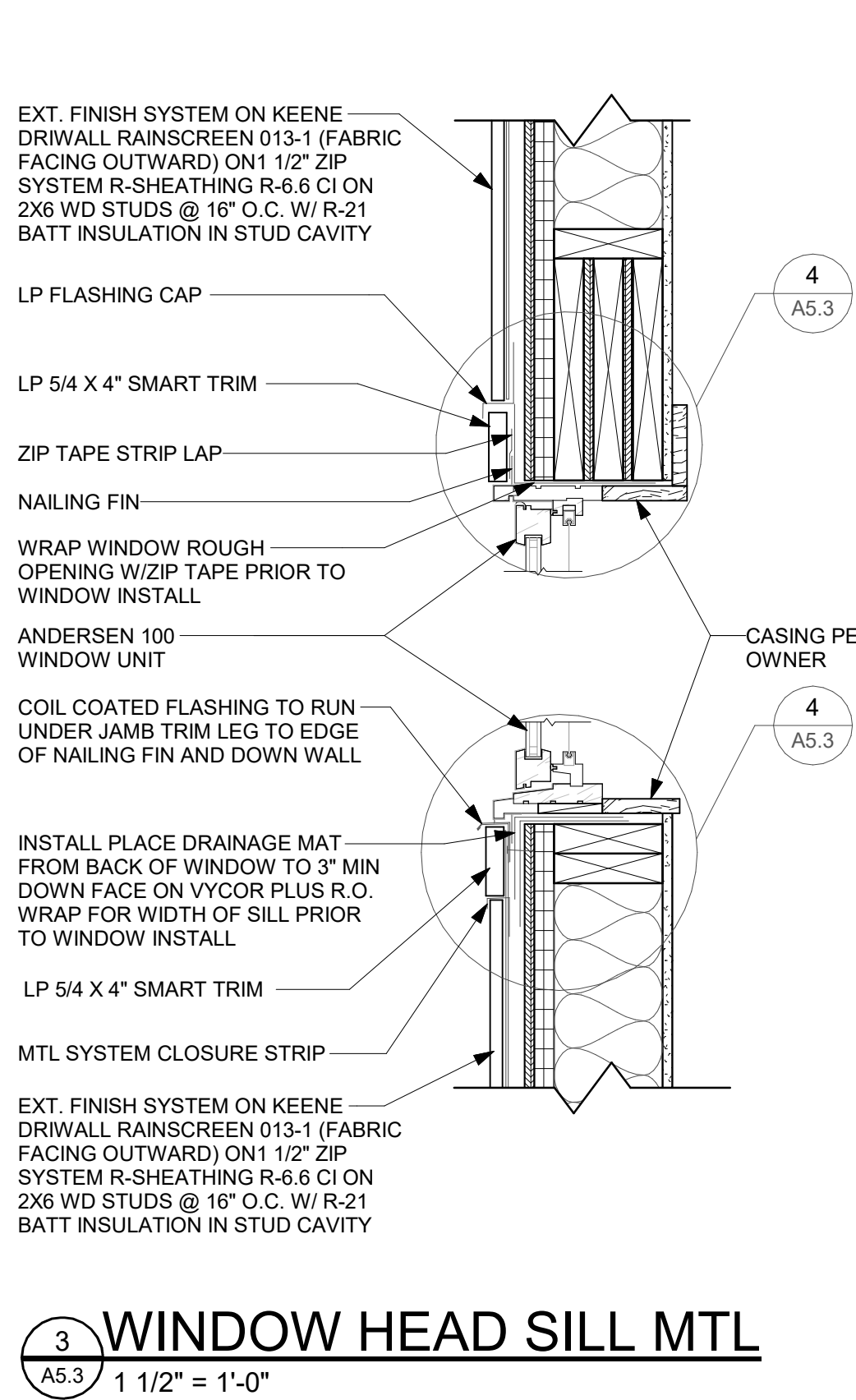
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2215

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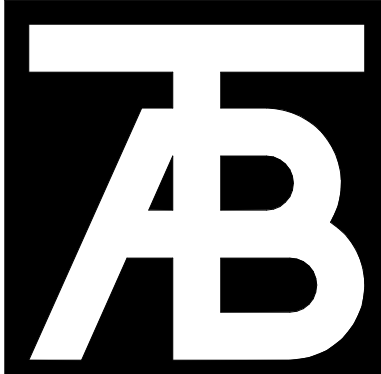
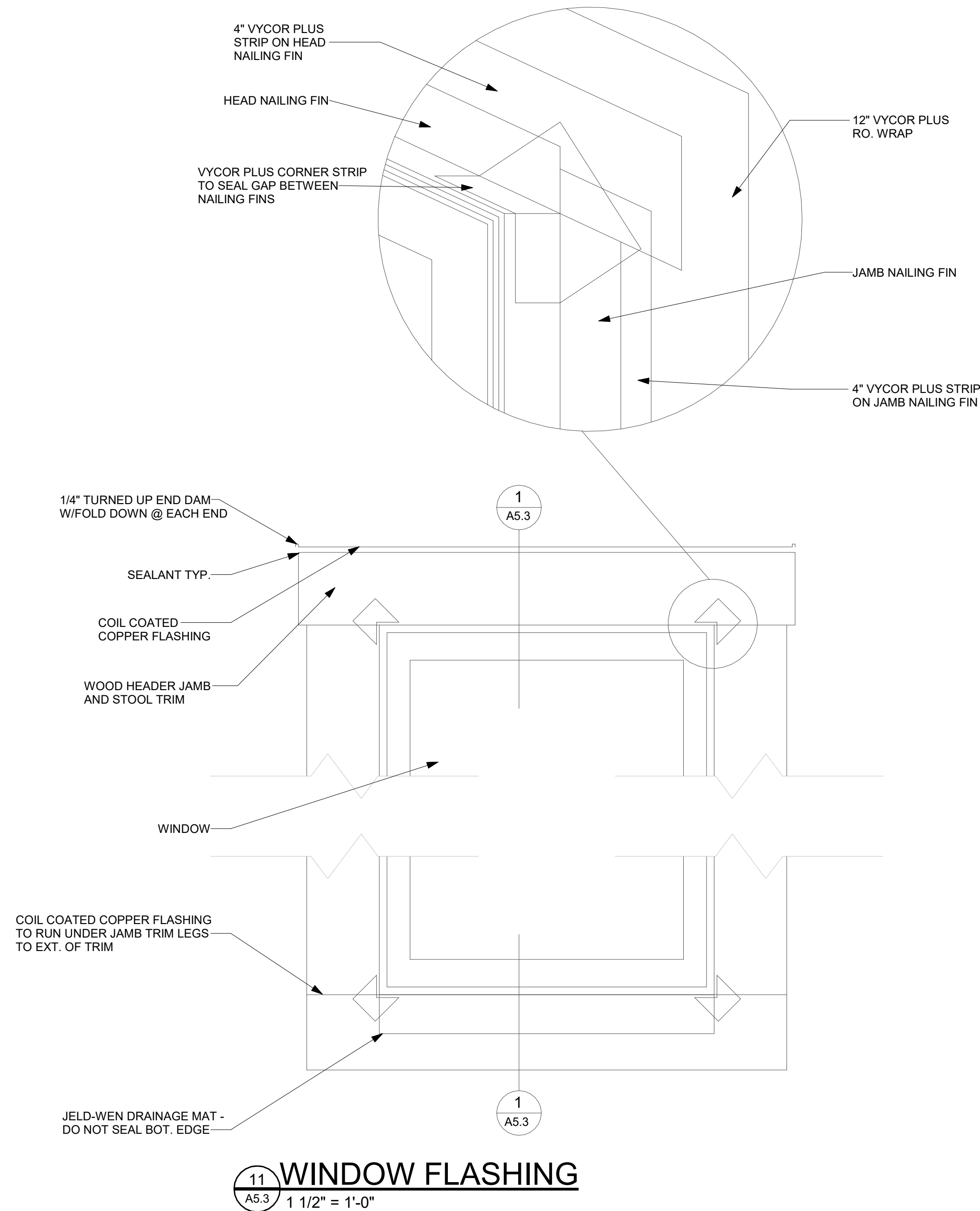
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2 WINDOW HEAD SILL - ENLARGED
A5.3 3" = 1'-0"



10 DOOR JAMB - SLIDER
A5.3 1 1/2" = 1'-0"



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