1018 Mountain Drive

DRB REVIEW

1018 Mountain Dr, Minturn, CO 81645 5.4.25

ELEC Electrical

EQ Equal

EXIST Existing

EXT Exterior

FLR

FND

GWB

EXP JT Expansion Joint

Filled Metal

Face Of

Gauge

High

Foundation

Hollow Core

Hollow Metal

Gypsum Wall Board

INTERIOR ELEVATION IDENTIFICATION

DRAWING NUMBER

— SHEET NUMBER

WALL SECTION IDENTIFICATION

BUILDING SECTION IDENTIFICATION

SHEET NUMBER

ENLARGED DETAIL IDENTIFICATION

A6.01/

SHEET NUMBER

ROOM/SPACE/AREA IDENTIFICATION

PARTITION TYPE IDENTIFICATION

ROOM NAME ROOM NAME

DOOR IDENTIFICATION

■ AREA OF DRAWING TO BE

— DRAWING NUMBER

_____ DOOR NUMBER

314 ROOM NUMBER

PARTITION TYPE; RE:
 PARTITION TYPE SCHEDULE

876 SF[→] ROOM AREA

— DRAWING NUMBER

99 DRAWING NUMBER

99 (A7.01) 99 SHEET NUMBER

DETAIL IDENTIFICATION

\A9.01**√**

ELEV Elevator or Elevation

Floor Drain or Fire Department

GRAPHIC STANDARDS

Fire Extinguisher Cabinet

SPEC Specified OR Specification

SPK Sprinkler or Speaker SSTL Stainless Steel

T&G Tongue And Groove

Telephone

Top Of Concrete

Telephone/Data

Toilet Paper Dispenser

Unless Noted Otherwise

PARTITION TYPE SCHEDULE

- COLUMN LETTER

Top Of Steel

TME To Match Existing

Top Of

Typical

With

Underside

Verify In Field

ELEVATION DATUM IDENTIFICATION

WINDOW IDENTIFICATION

(C1) WINDOW TYPE

? NOTE NUMBER

KEYNOTE IDENTIFICATION

REVISION IDENTIFICATION

001 REVISION NUMBER

ASI - REVISION DESCRIPTION SECTION MATERIAL GRAPHICS

CONCRETE

POROUS FILL (GRAVEL)

ALUMINUM

MASONRY -CONCRETE BLOCK

INSULATION

PLYWOOD

FINISH WOOD

BATT INSULATION

GYPSUM PLASTER

MASONRY - BRICK

UNDISTURBED OR COMPACTED EARTH

Vision Panel

STL Steel

STRUCT

TELE

TLT

TO TOC

TOS

TPD

TYP

U/S

W/ WD

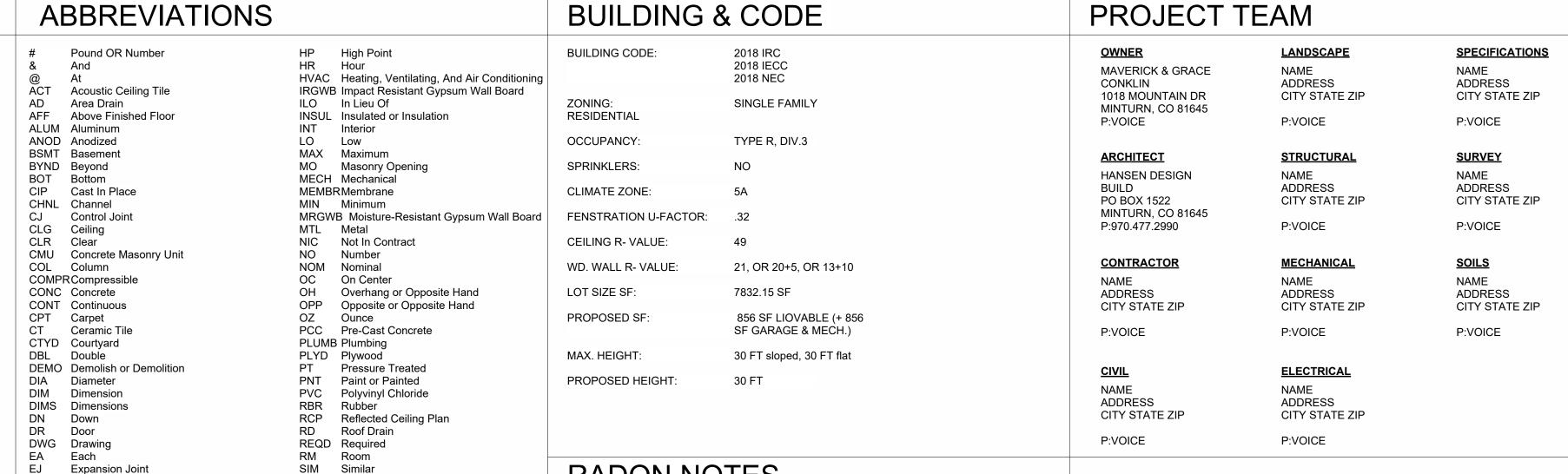
STRUCTURAL GRID

T/D

EPDM Ethylene Propylene Diene M-Class (Roofing) STC Sound Transmission Coefficient

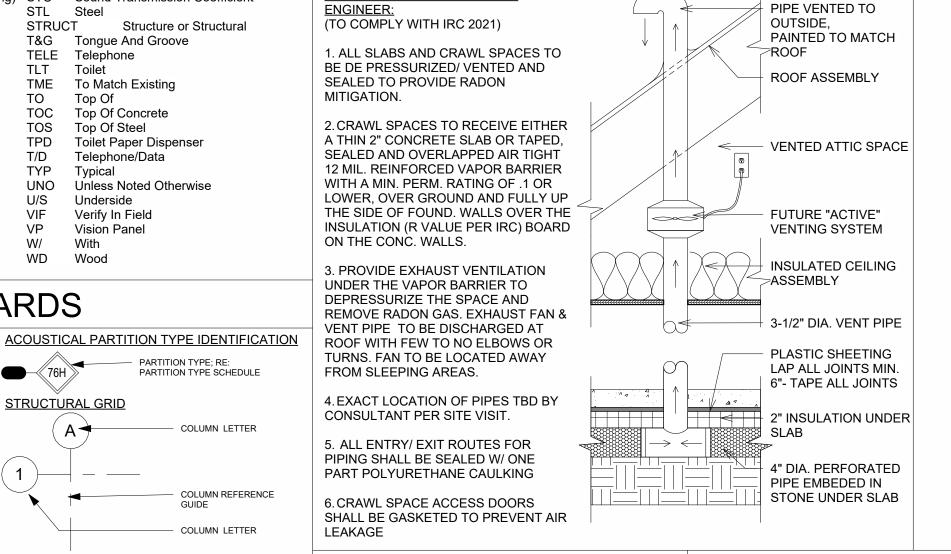
GENERAL NOTES- GENERAL REQUIREMENTS





RADON NOTES

RADON CONTROL PER RADON



SHEET INDEX

SHEET #	Γ SHEET NAME	Sheet Issue Date
ARCHI	TECTURAL	
A005	ARCHITECTURAL SITE PLAN	01/25/25
CIVIL		
C0	EXISTING SURVEY	01/25/25
C1	EXISTING SURVEY	01/25/25
LANDS	SCAPE	
L1	SITE PLAN	01/25/25
L2	LANDSCAPE PLAN	03/09/22
L3	LANDSCAPE DETAILS	03/09/22
ARCHI	TECTURAL	
A100	LOWER AND GARAGE FLOOR PLAN	01/25/25
A101	MAIN LEVEL FLOORPLAN	01/25/25
A102	UPPER LEVEL FLOORPLAN	01/25/25
A103	ROOF PLAN	01/25/25
A130	LEVEL 1 RCP	07/30/19
A131	LEVEL 2 RCP	07/30/19
A200	BUILDING ELEVATIONS	01/25/25
A201	BUILDING ELEVATIONS	01/25/25
A202	3-D VIEWS	01/24/25
A500	EXTERIOR DETAILS	07/30/19
A600	EXT. WINDOW & DOOR SCHEDULE	07/30/19
A650	INT. DOOR SCHEDULE & TYPES	07/30/19
A700	INTERIOR ELEVATIONS	07/30/19
A855	SPECIFICATIONS	03/07/25
STRUC	CTURAL	
S100	STRUCTURAL	07/30/19
MEGLI	ANICAL	
	ANICAL MECHANICAL	07/30/19
M000	IVIECHANICAL	07/30/19
ELECT	RICAL	
E000	ELECTRICAL	07/30/19

VICINITY MAP



SITE LOCATION

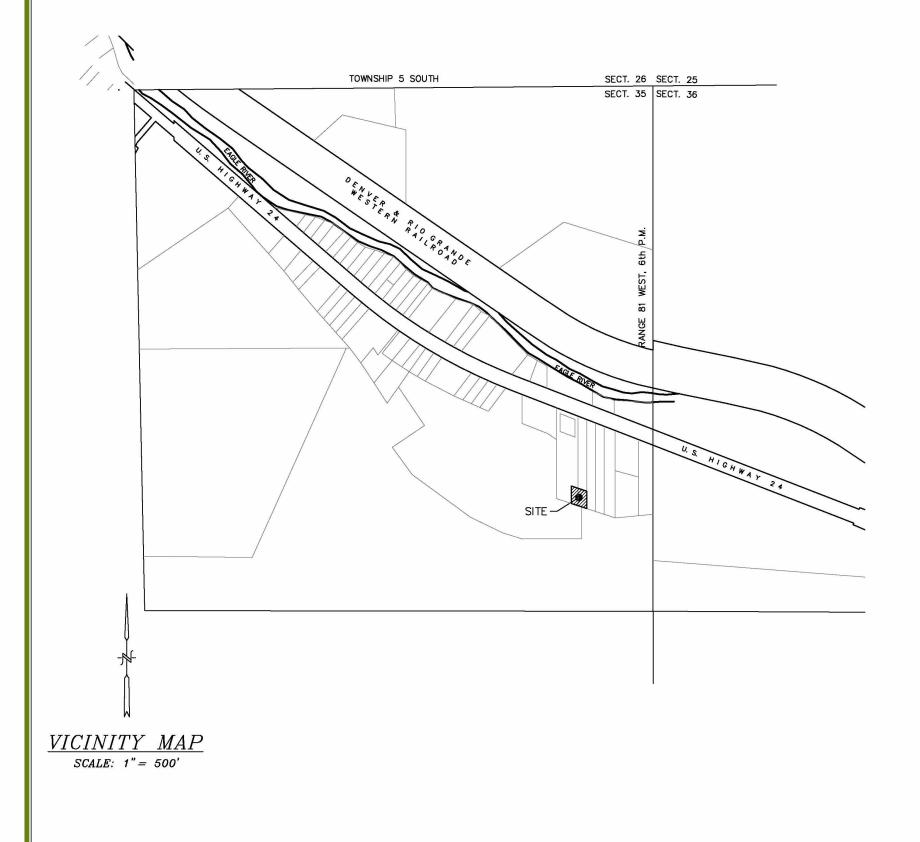
Mountain Dr, I CO 81645 018 0

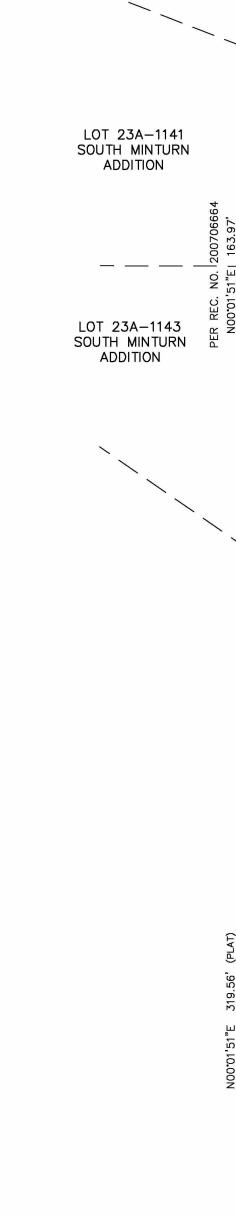
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Date	-	5.4.2
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	COVER SHEET	Γ

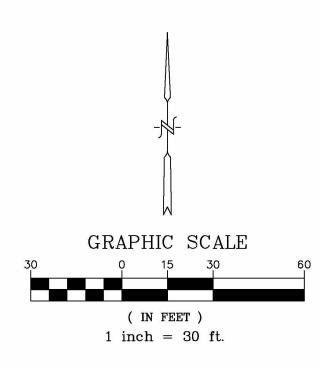
A000

IMPROVEMENT SURVEY PLAT LOT 5-A

MINTURN MOUNTAIN HOME PROPERTIES TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO



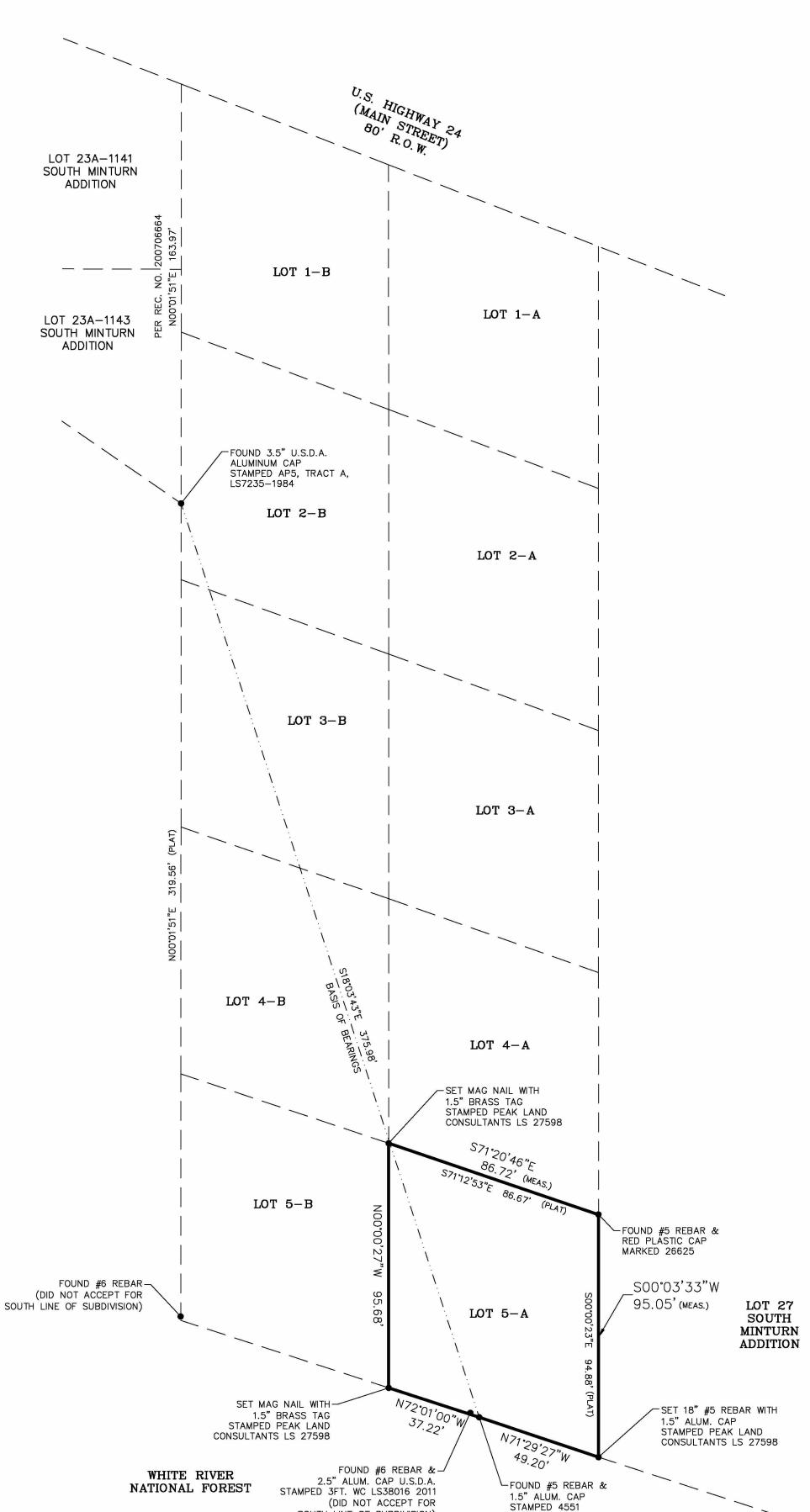




DEPOSITED THIS _____ DAY OF __ _, 2006, AT ____.M. IN BOOK _____ OF THE EAGLE COUNTY SURVEYOR'S LAND SURVEY PLAT/RIGHTS-OF-WAY SURVEYS AT PAGE _____,

PEAK LAND SURVEYING, INC.

970–476–8644 PO BOX 3790, VAIL, CO. 81658 101 FAWCETT RD. #215, AVON, CO, 81620



SOUTH LINE OF SUBDIVISION)

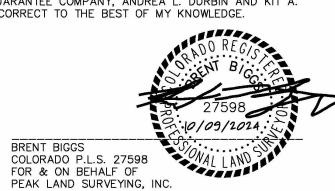
GENERAL NOTES

- 1. DATE OF SURVEY: SEPTEMBER 17, 2024
- 2. BASIS OF BEARINGS: LINE BETWEEN MONUMENT MARKING SOUTHEAST CORNER LOT 23A-1143 SOUTH MINTURN ADDITION, A RESUBDIVISION OF LOT 23A RECEPTION NO 200706664 EAGLE COUNTY BEING A 3" BLM BRASS CAP AND SOUTH ANGLE POINT LOT 5-A MINTURN MOUNTAIN HOMES RECEPTION NO. 455141 EAGLE COUNTY BEING #5 REBAR WITH 1.5" ALUMINUM CAP STAMPED 4551. BEARING BEING S18'03'43"E.
- 3. PROJECT BENCHMARK: NGS BENCHMARK "T-280" ELEVATION=7894.20 (NAVD 88) SITE ELEVATION TOP REBAR AND RED PLASTIC CAP NE CORNER LOT 7922.17.
- 4. BUILDING TIES ARE PERPENDICULAR OR RADIAL TO PROPERTY AND ARE INDICATED IN PARENTHESIS (XX.X').
- 5. LINEAL UNITS OF MEASUREMENT SHOWN ARE GIVEN IN US SURVEY FOOT.
- 6. THIS TOPOGRAPHIC MAP IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT. IT IS NOT INTENDED TO RESOLVE ANY BOUNDARY ISSUES THAT MAY EXIST ON THIS LOT OR TO REESTABLISH ANY MISSING LOT MONUMENTS.
- 7. PEAK LAND SURVEYING, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD. RECORD DOCUMENTS UTILIZED IN THIS TOPOGRAPHIC MAP WERE PROVIDED BY LAND TITLE GUARANTEE COMPANY ORDER NO. V50072872 DATED SEPTEMBER 24, 2024
- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

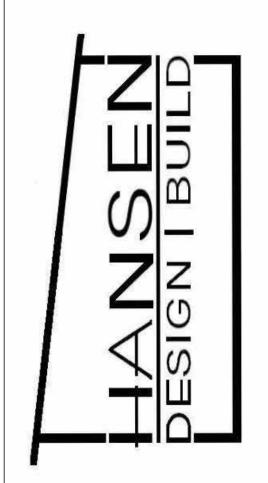
- PER SAID TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY, THE FOLLOWING AFFECT THE SUBJECT PROPERTY:
- 8. RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AS RESERVED IN UNITED STATES PATENT RECORDED MAY 2, 1904 IN BOOK 48 AT PAGE 502.
- 9. RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED MAY 2, 1904 IN BOOK 48 AT PAGE
- 10. EASEMENT AND RIGHT OF WAY FOR SEWER PURPOSES AS GRANTED TO THE UPPER EAGLE VALLEY SANITATION DISTRICT RECORDED JANUARY 21, 1970, IN BOOK 216 AT PAGE 908.
- 11. RIGHT OF WAY FOR THE D & RGW RAILROAD CO., AS DESCRIBED BY INSTRUMENT RECORDED NOVEMBER 6, 1929 IN BOOK 106 AT PAGE 553, 554. (NOT ABLE TO PLOT_
- 12. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENT RECORDED SEPTEMBER 22, 1977 IN BOOK 260 AT PAGE 99. (NOT ABLE TO PLOT)
- 13. EASEMENTS, COVENANT S, CONDITIONS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE FINA PLAT OF MINTURN MOUNTAIN HOME PROPERTIES, RECORDED APRIL 23, 1991 IN BOOK 559 AT PAGE NOTE: EASEMENT VACATION RECORDED DECEMBER 16, 1999 AT RECEPTION NO. 717808 (AS SHOWN HEREON)
- 14. TERMS, CONDITIONS AND PROVISIONS OF DECLARATION OF PROTECTIVE CONVENANTS FOR MINTURN MOUNTAIN HOME PROPERTIES BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED SEPTEMBER 13, 1991 IN BOOK 562 AT PAGE 205. (NOT ABLE TO PLOT)
- 15. TERMS, CONDITIONS AND PROVISIONS OF ENCROACHMENT AGREEMENT RECORDED JULY 15, 1994 IN BOOK 645 AT PAGE 378. (LOT 1-B, DOES NOT APPLY)
- 16. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENTS RECORDED AUGUST 17, 1999 AT RECEPTION NO. 705701 AND 705702. (LOTS 1-A AND 2-B, DOES NOT APPLY)
- RECEPTION NO. 717807. (LOTS 1-A AND 1-B, DOES NOT APPLY)

SURVEYOR'S CERTIFICATE

I, BRENT BIGGS, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS MADE BY ME AND UNDER MY SUPERVISION, IS CERTIFIED TO LAND TITLE GUARANTEE COMPANY, ANDREA L. DURBIN AND KIT A. BAZLEY AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



DRAWN: KPJ	REVIEWED: BB	SHEET 1 OF 2
DATE: 10/09/24	PLC JOB#: 2529	SHEELL OF Z

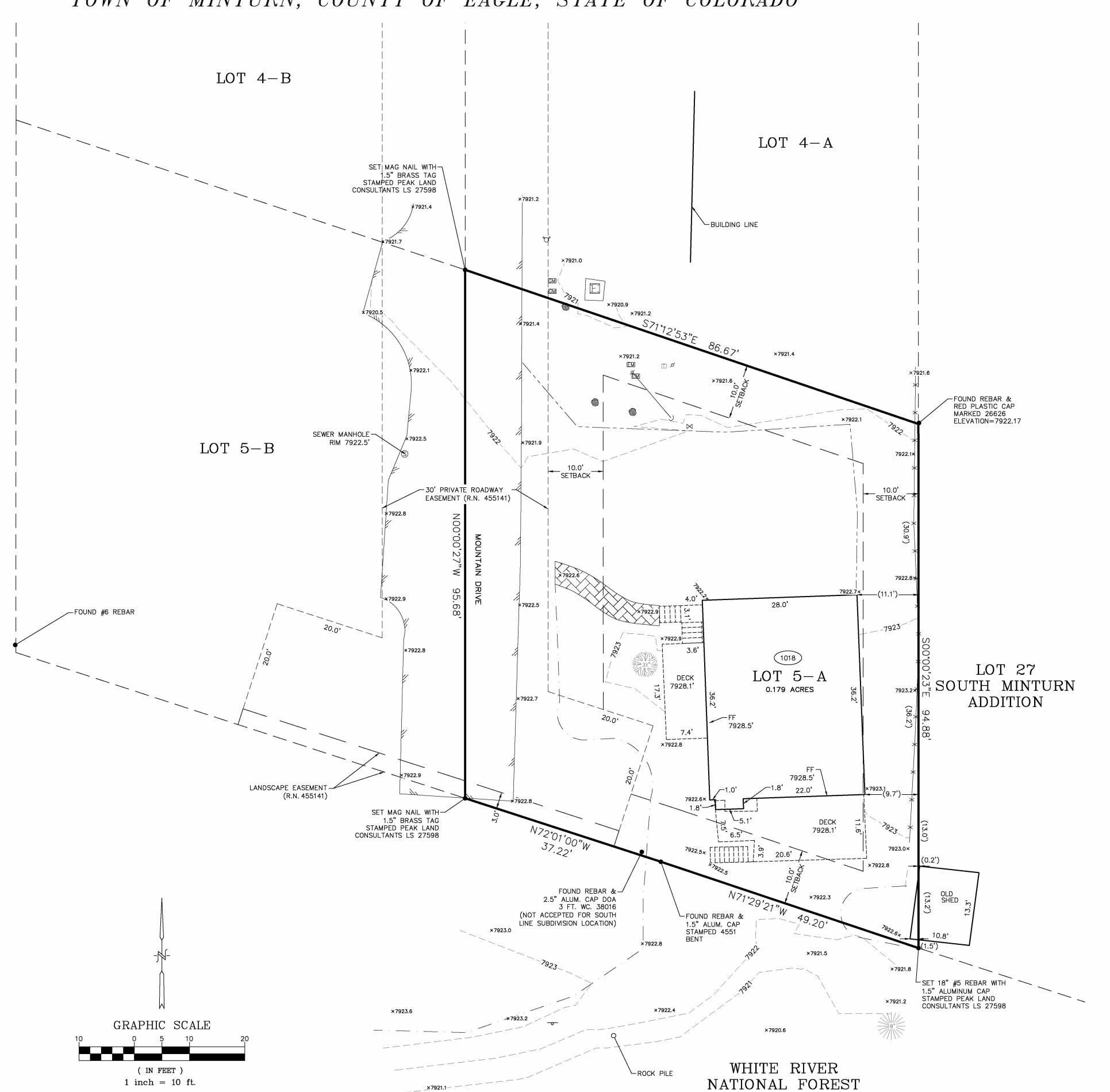


318 MOUNTAIN R. MINTURN, CO 10 DR

Description Project Number Project number Author Drawn by

IMPROVEMENT SURVEY PLAT

$IMPROVEMENT\ SURVEY\ PLAT$ $LOT\ 5-A$ $MINTURN\ MOUNTAIN\ HOME\ PROPERTIES$ $TOWN\ OF\ MINTURN,\ COUNTY\ OF\ EAGLE,\ STATE\ OF\ COLORADO$



GENERAL NOTES

- 1. DATE OF TOPOGRAPHY: SEPTEMBER 17, 2024
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- 7. NOTICE:
 ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED
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 IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF
 CERTIFICATION SHOWN HEREON.

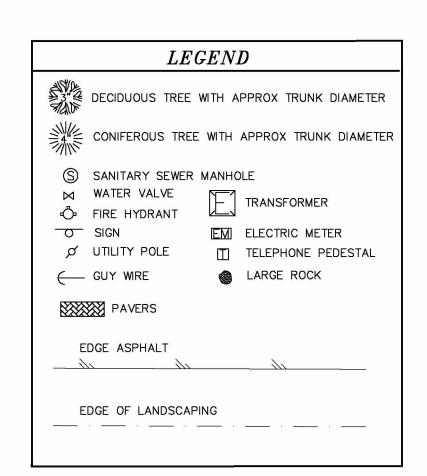
EXCEPTION

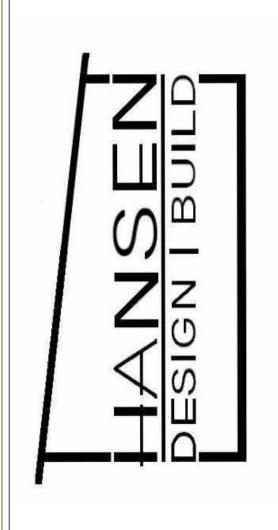
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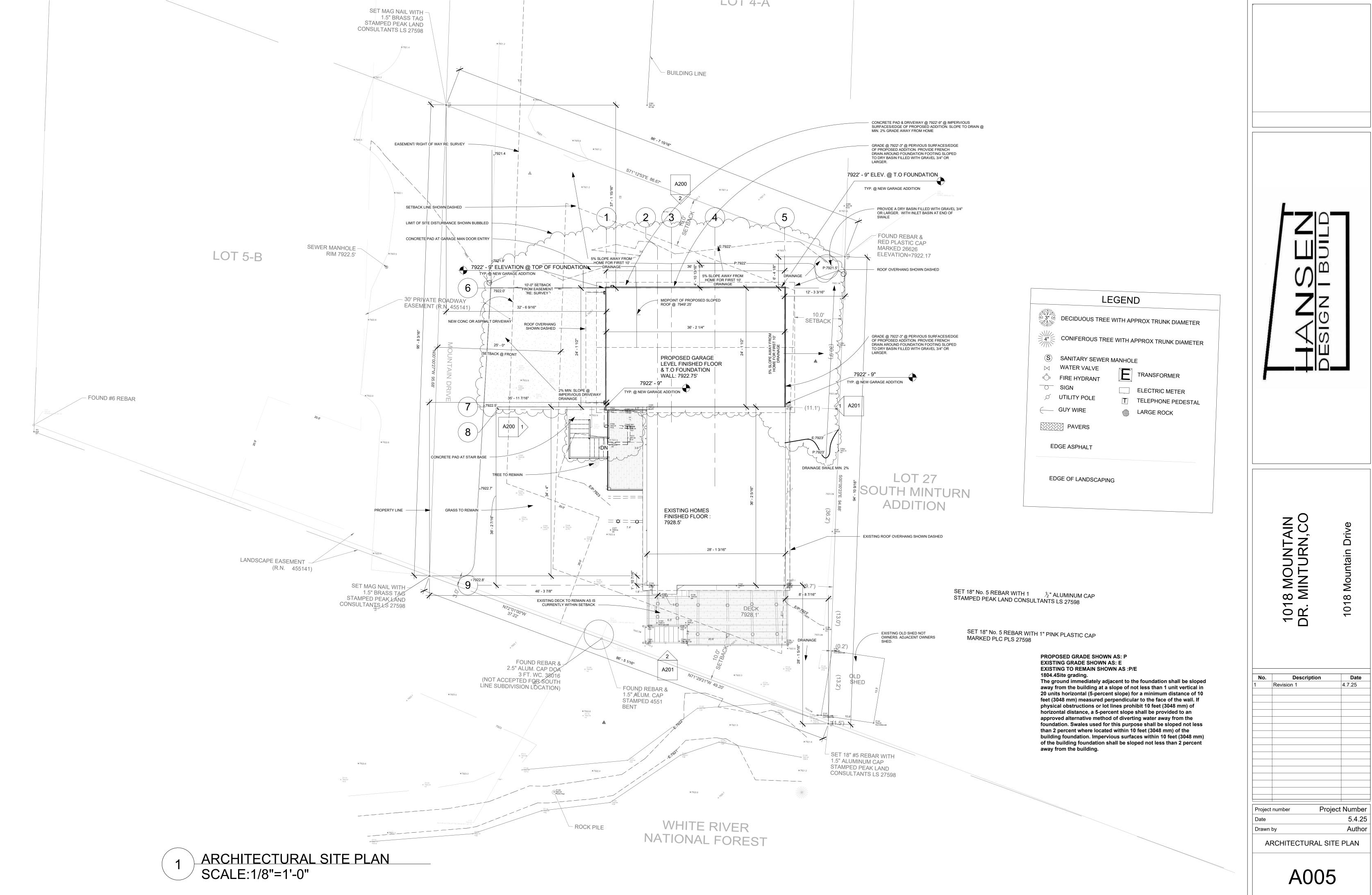
1018 MOUNTAIN DR. MINTURN,CO

No.	Descrip	tion	Date
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Date		-	5.4.2
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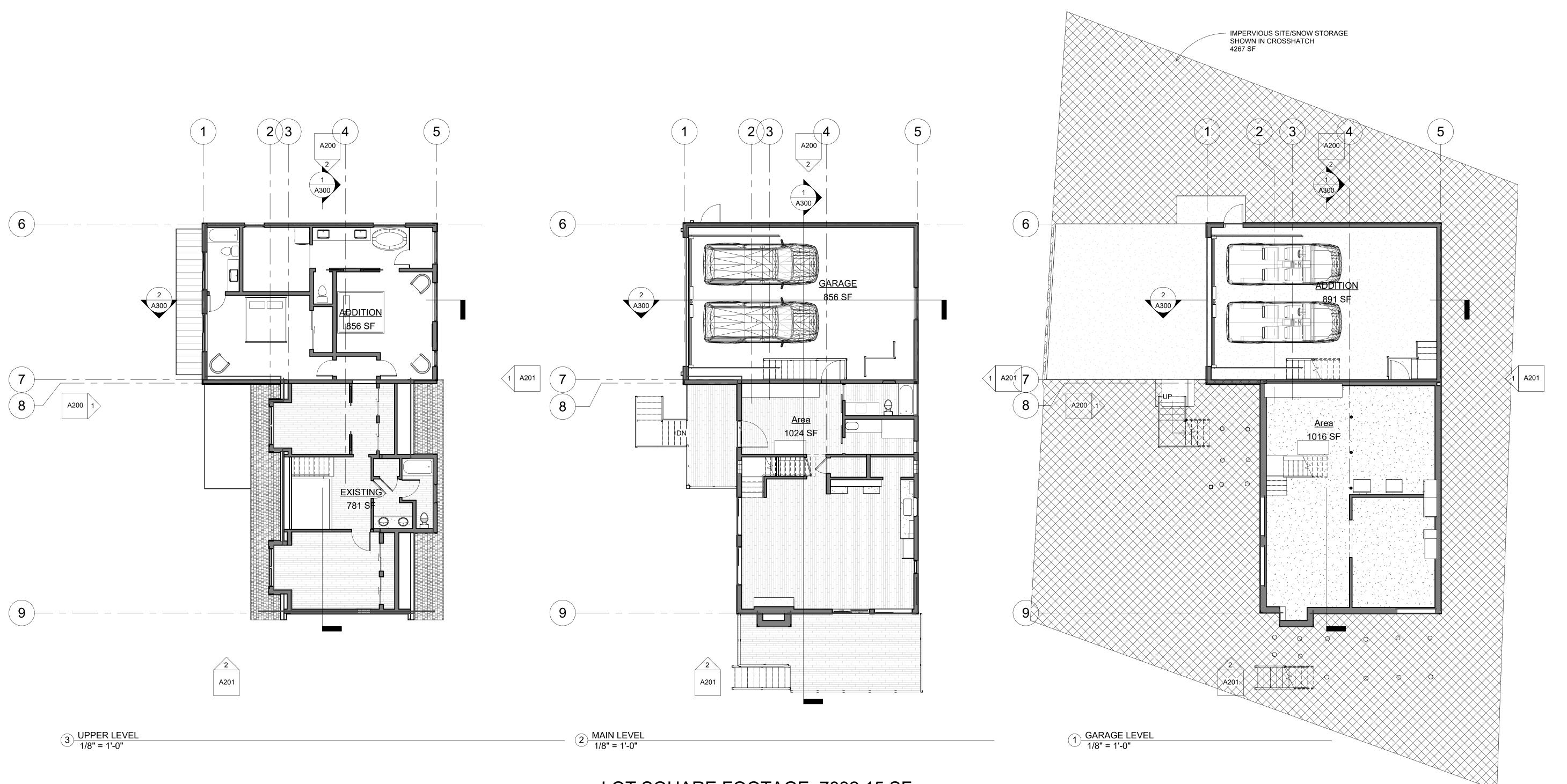
A004

DRAWN: KPJ REVIEWED: BB SHEET 2 OF 2

DATE: 10/09/24 PLC JOB#: 2529



5/2025 6:40:27 AM



LOT SQUARE FOOTAGE: 7832.15 SF
EXISTING HOME SF: LIVABLE: 2851
PROPOSED ADDITION TOTAL SF: LIVABLE: 856 SF
PROPOSED TOTAL SF:LIVABLE: 3707 SF
PROPOSED GARAGE: 856 SF
TOTAL PROPOSED ADDITIONAL LOT COVERAGE: 856 SF
SNOW STORAGE & IMPERVIOUS AREA: 4267 SF

HANSEN DESIGN I BUILD

> 1018 MOUNTAIN DR. MINTURN,CO

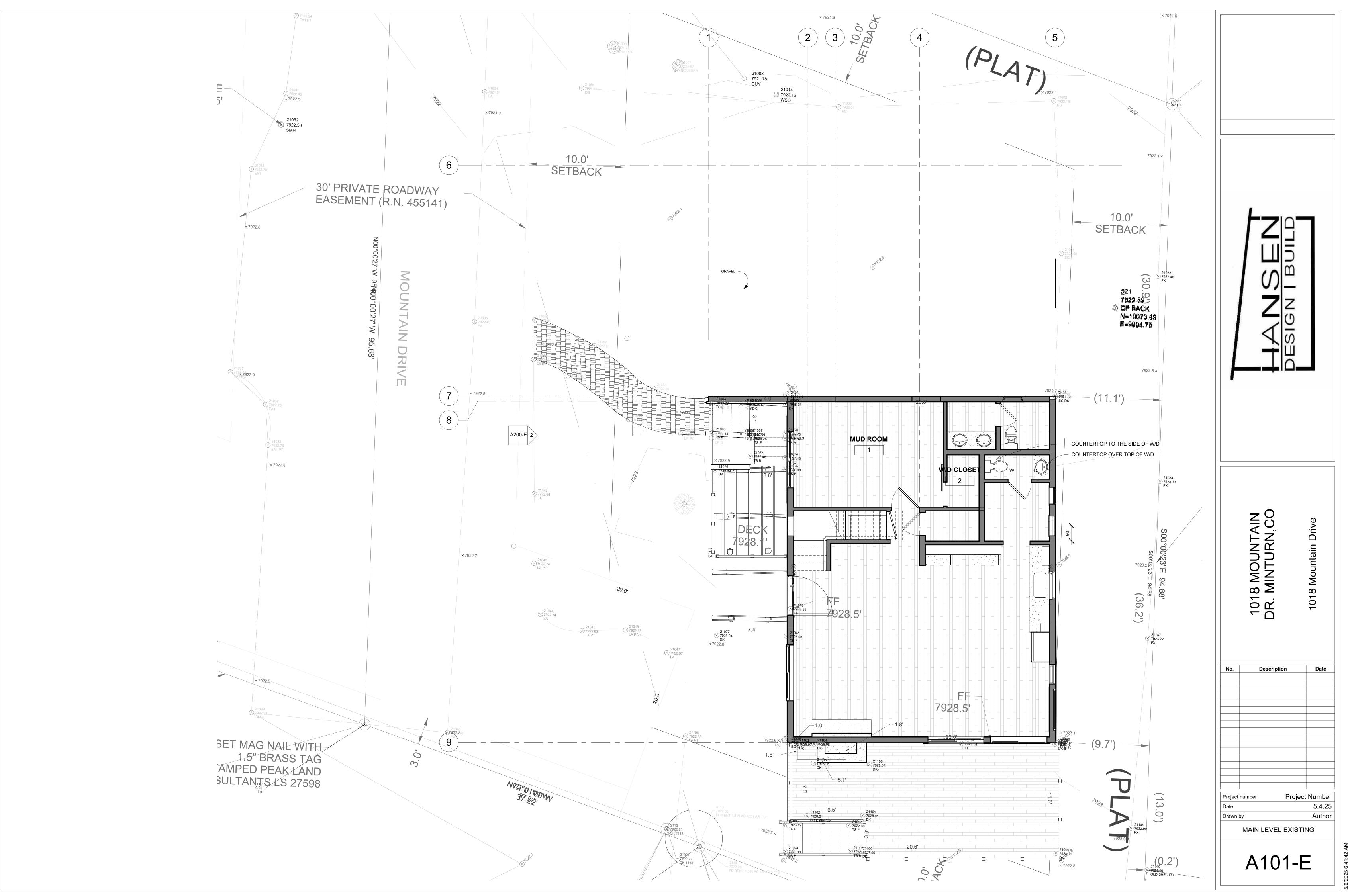
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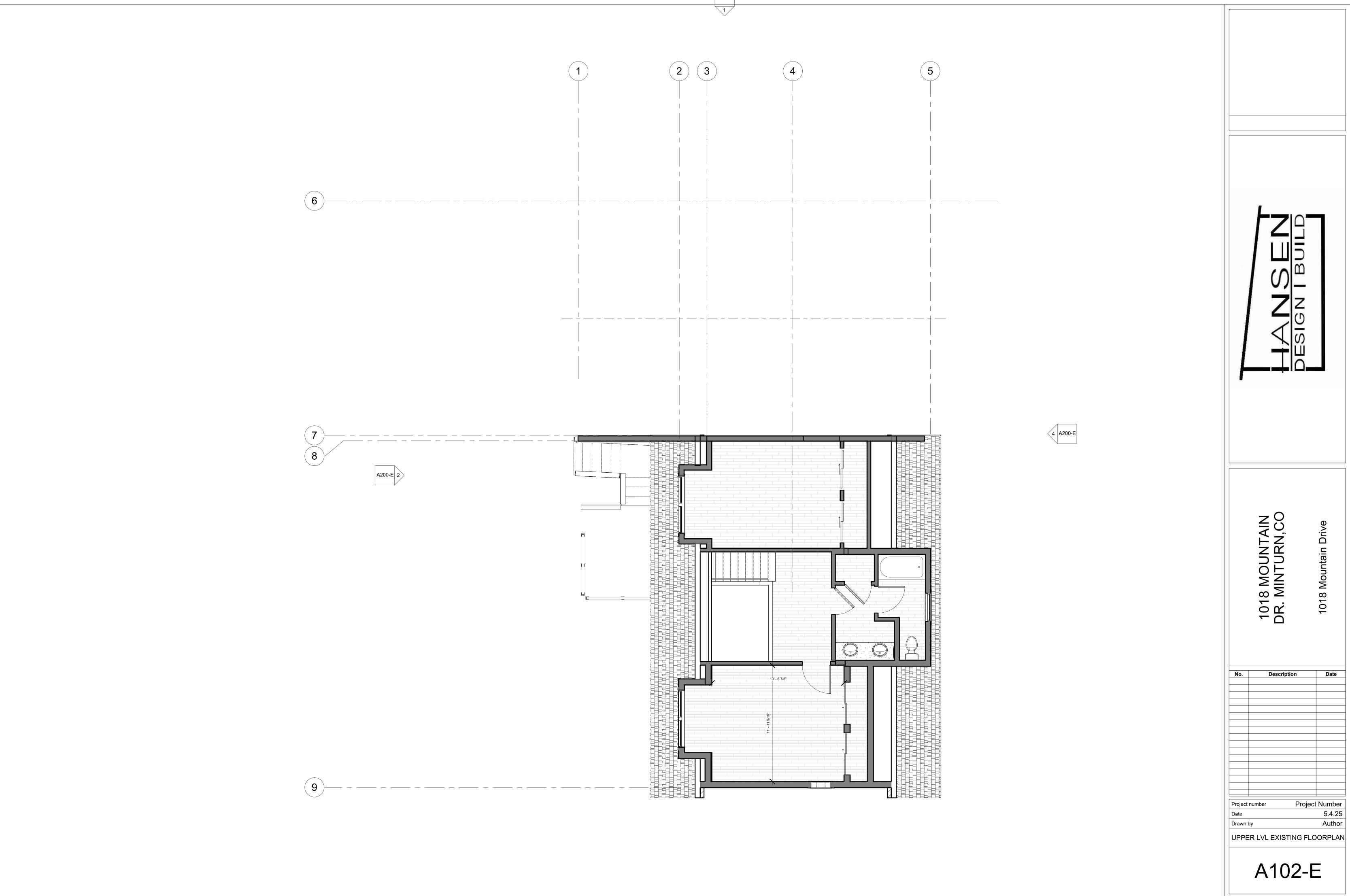
Project number Project Number
Date 5.4.25
Drawn by Author

GRFA CALCULATIONS

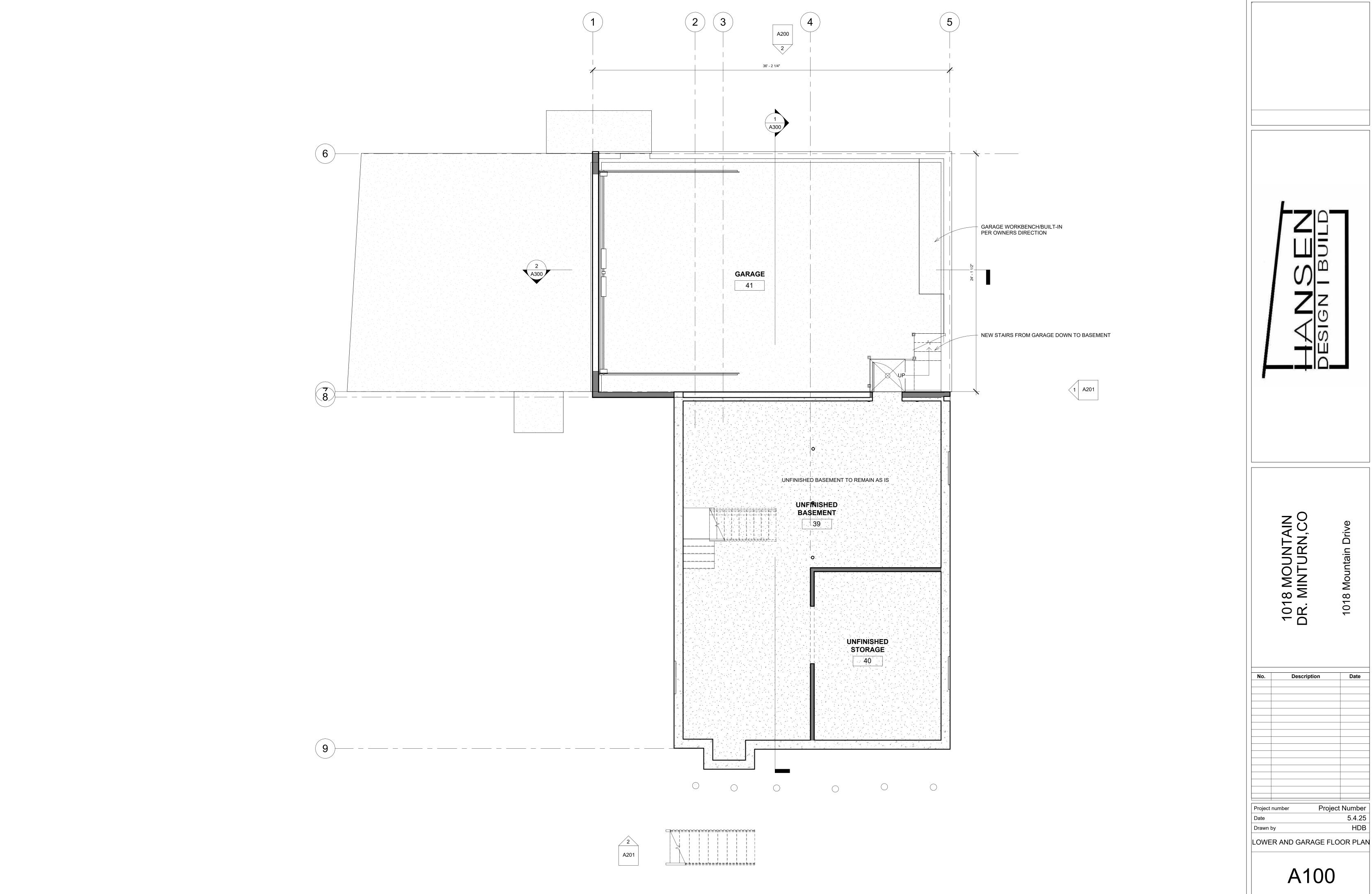
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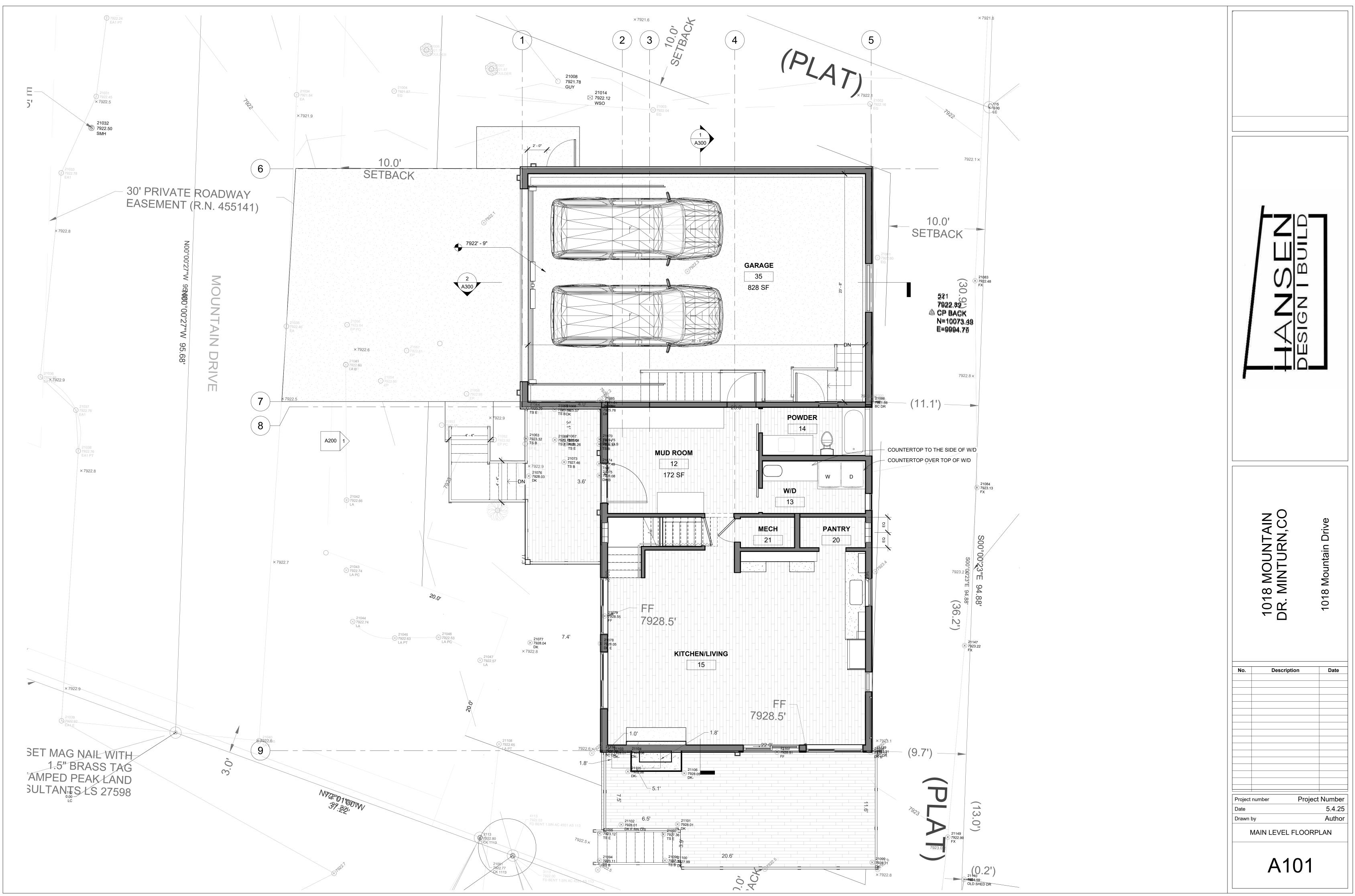




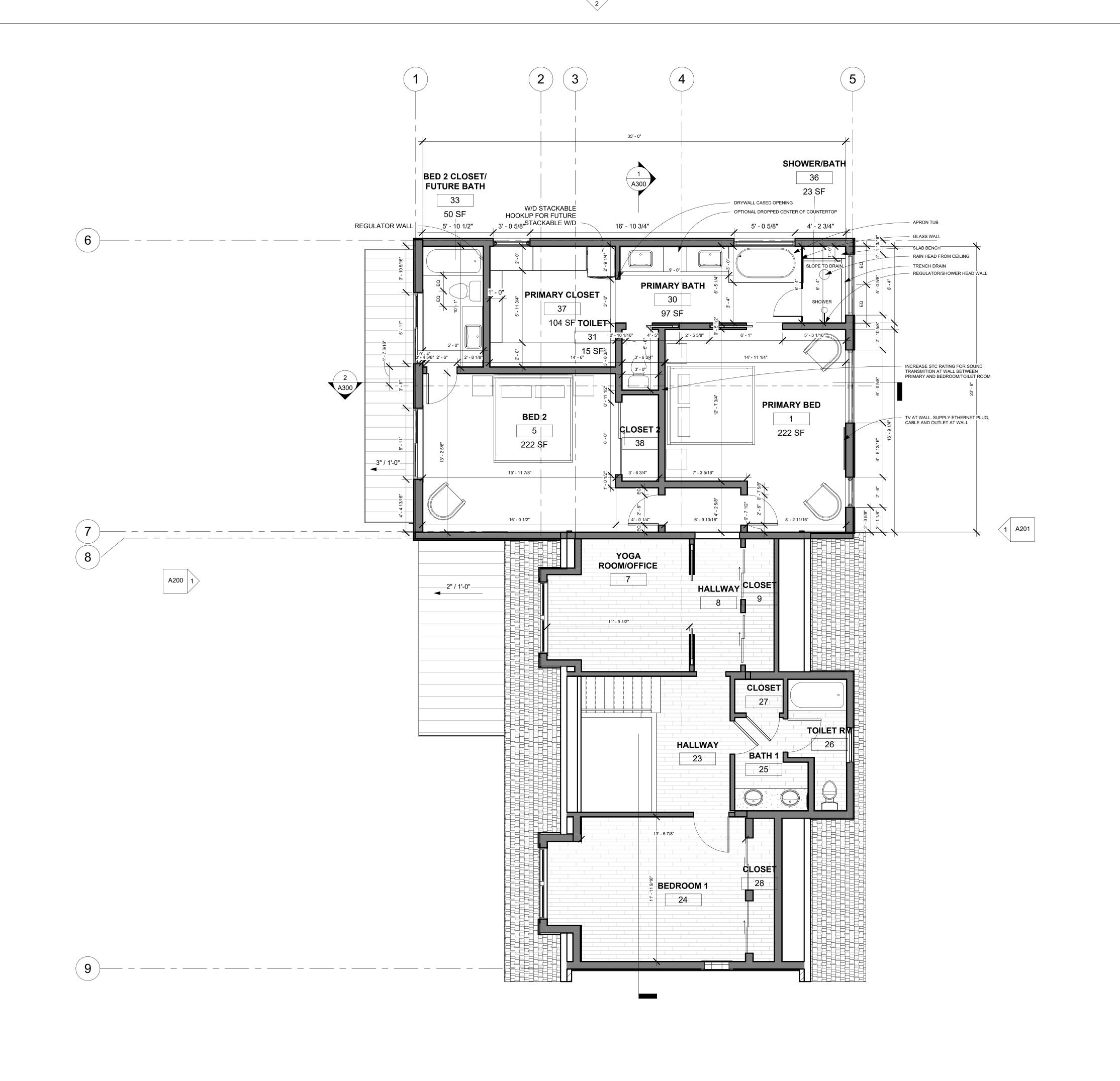
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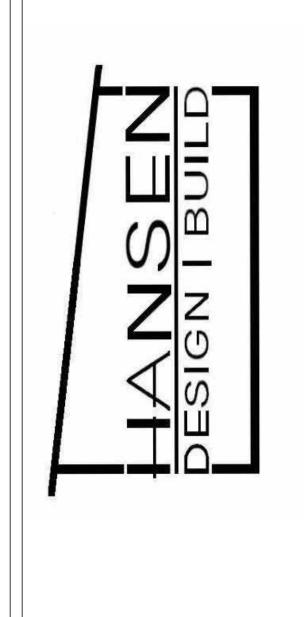


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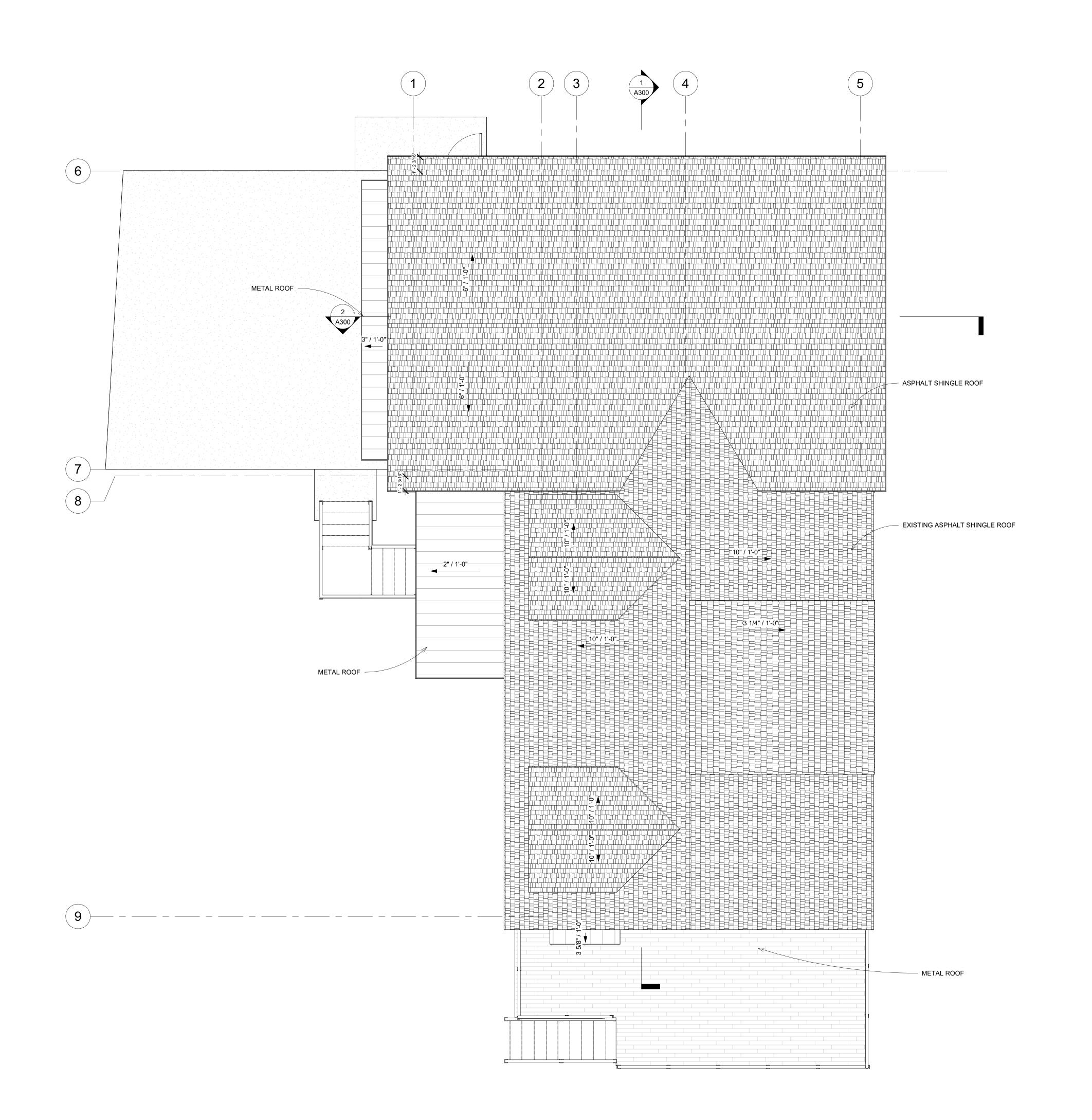
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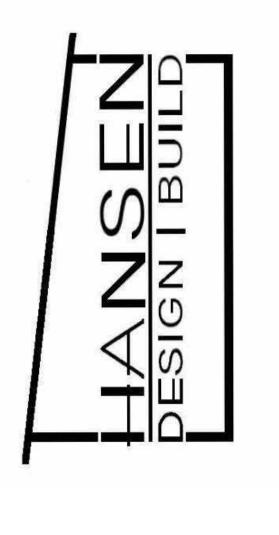




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Date		5.4.
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A102





1018 Mountain Drive

No. Description Date

Project number Project Number

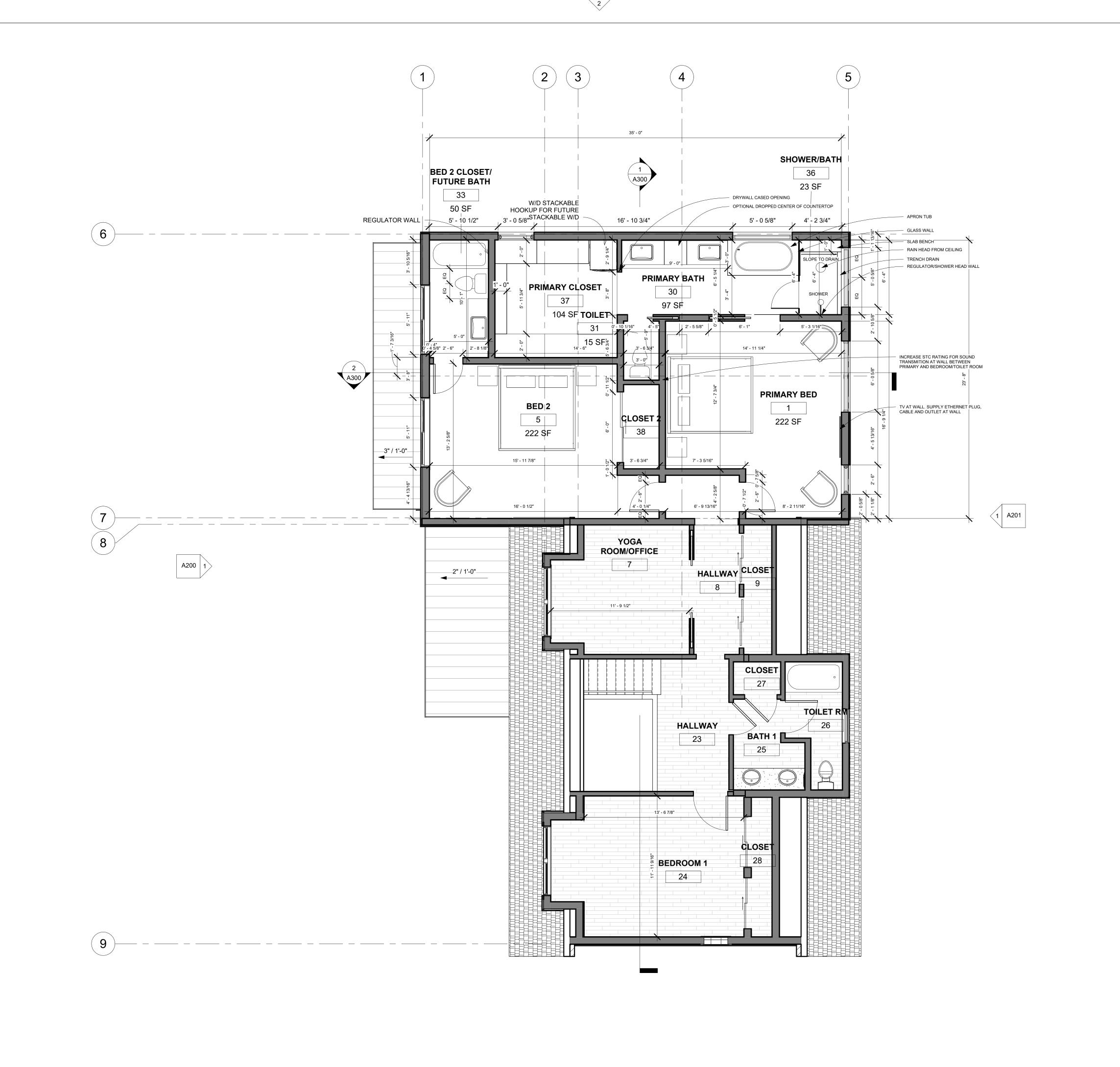
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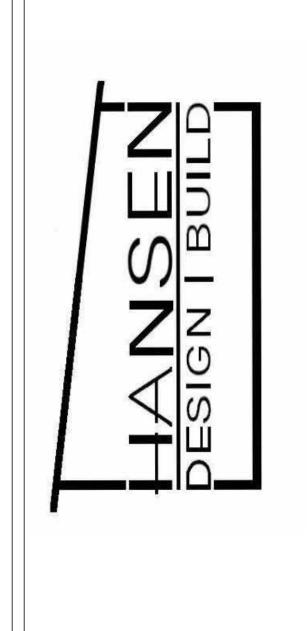
Drawn by Author

ROOF PLAN

A103

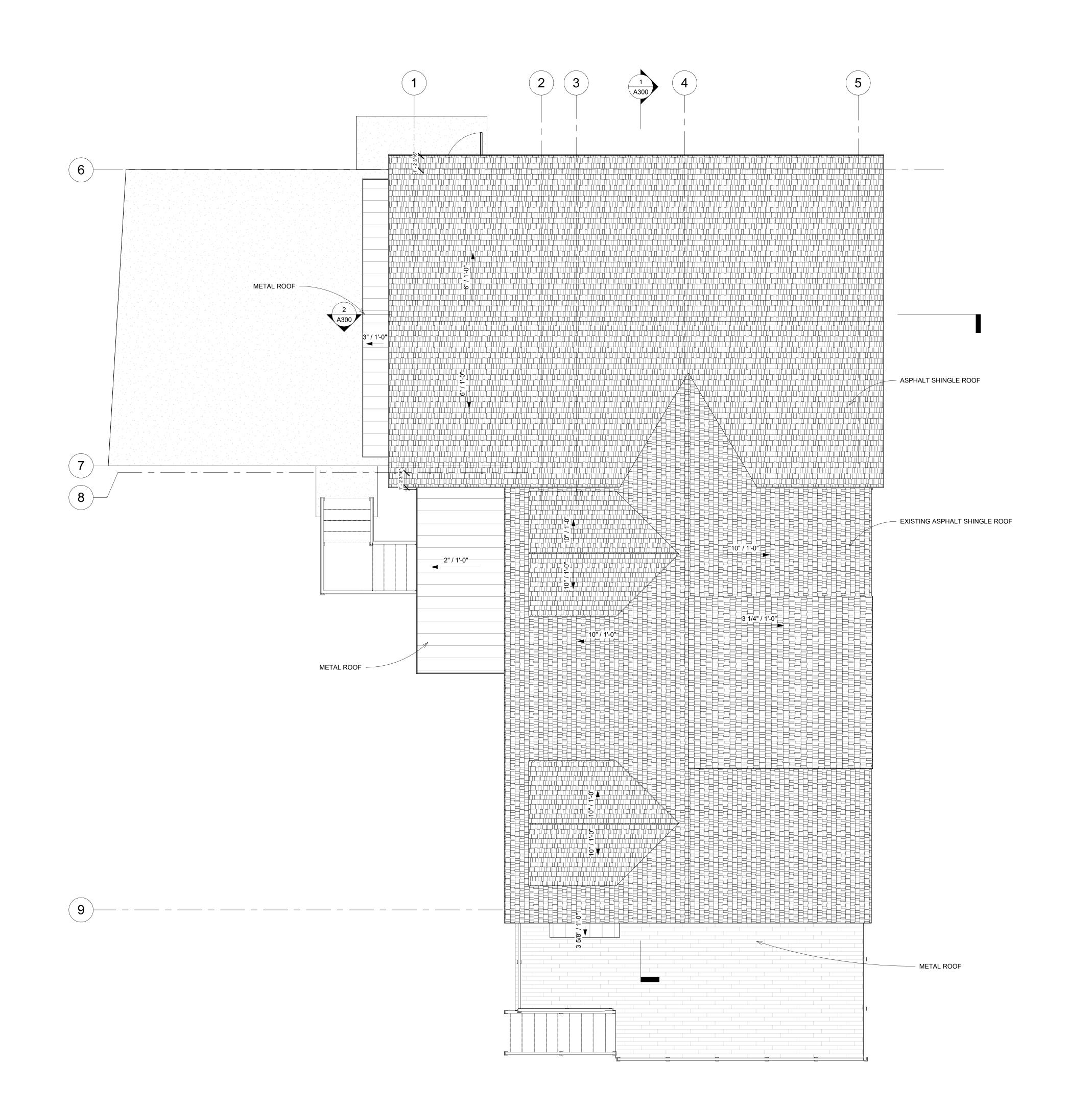
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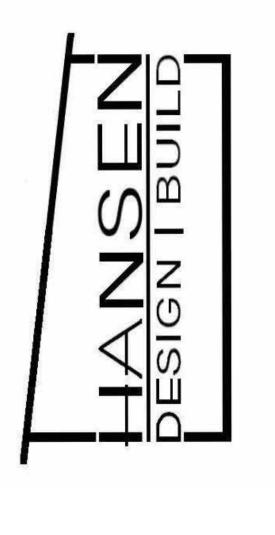




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A102





1018 Mountain Drive

No. Description Date

Project number Project Number

Date 5.4.25

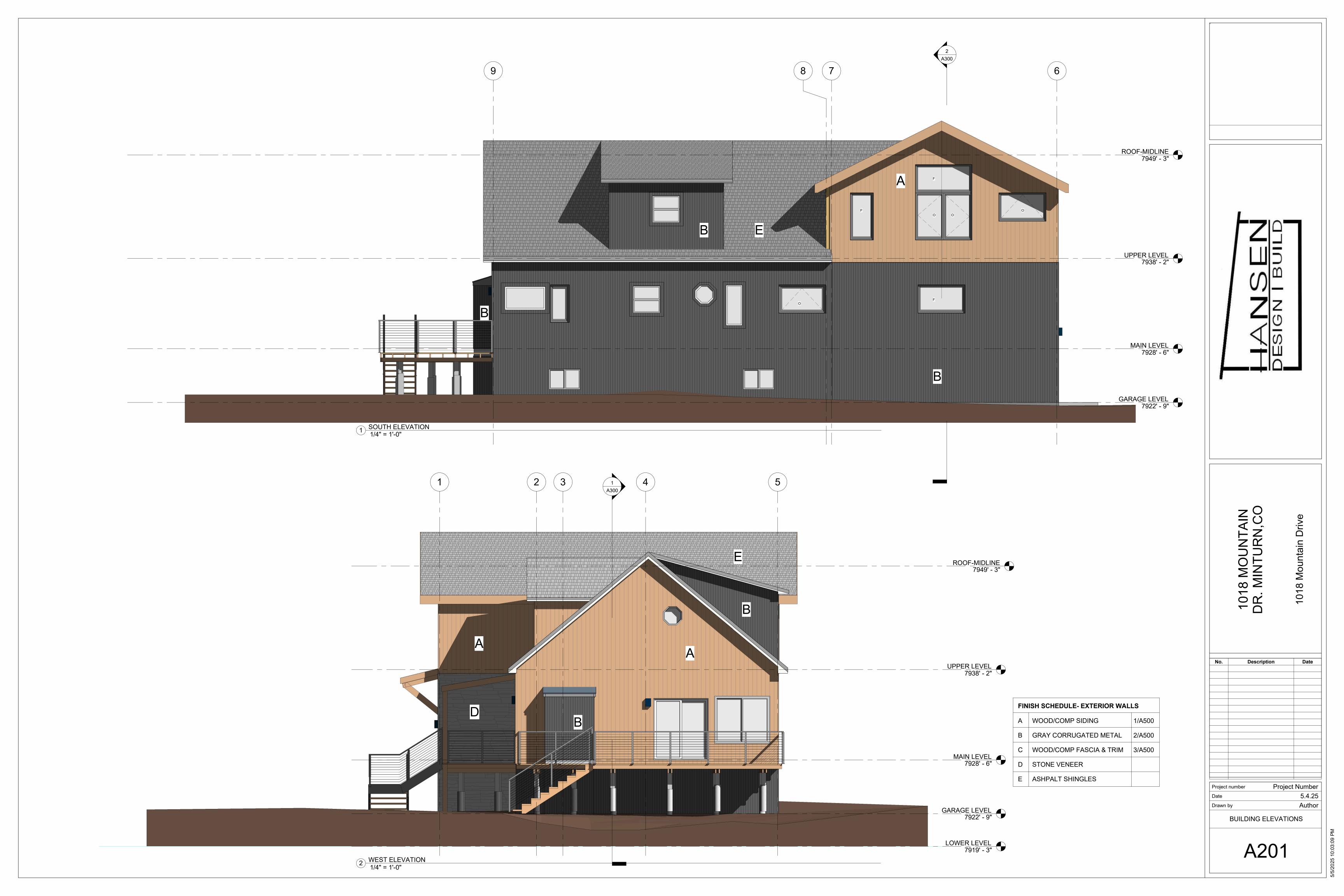
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A103

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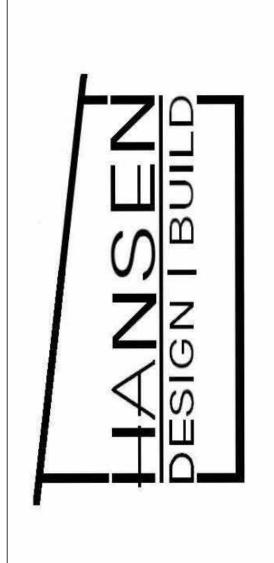
FIN	FINISH SCHEDULE- EXTERIOR WALLS			
Α	WOOD/COMP SIDING	1/A500		
В	GRAY CORRUGATED METAL	2/A500		
С	WOOD/COMP FASCIA & TRIM	3/A500		
D	STONE VENEER			
Е	ASHPALT SHINGLES			



SE CORNER

1 NE CORNER





1018 MOUNTAIN DR. MINTURN,CO

No. Description Date

Project number Project Number

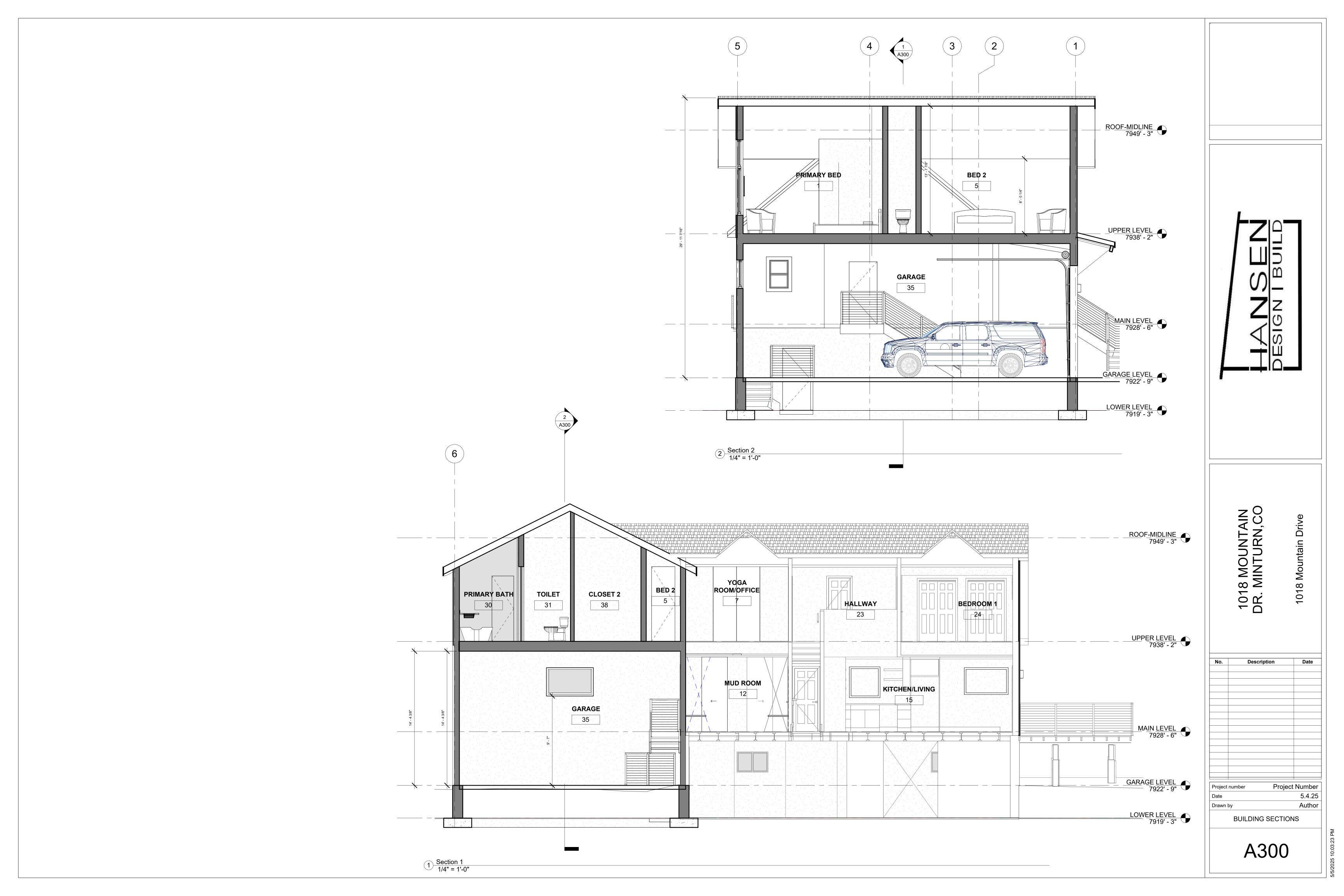
Date 5.4.25

Drawn by Author

A202

3-D VIEWS

3 NW CORNER





Uniquely designed to direct light both upwards and downwards, this matte black integrated LED wall lantern from Glowings features a slim 10.04" frame with a frosted rectangular box resembling a floating box of illumination. With weather-resistant durability and a versatile dualdirectional design, this modern black LED lantern makes a striking statement. And this light is also dimmable.

- You can switch different color temperatures by turning the light on and off.
- Color temperature options: 3000K, 4000K, 5000K.
- Both upper and lower LED lights emit light evenly.

10.2" H X 5.3" W X 4.5" L

Outdoor Wall Sconce Lighting Type



WIDTH

24"

GREY CORRUGATED METAL SIDING & APRON ROOFING

HEIGHT

36"

24"W x 36"H Colorado Corrugated Metal Wainscoting Panel, Antique

DEPTH

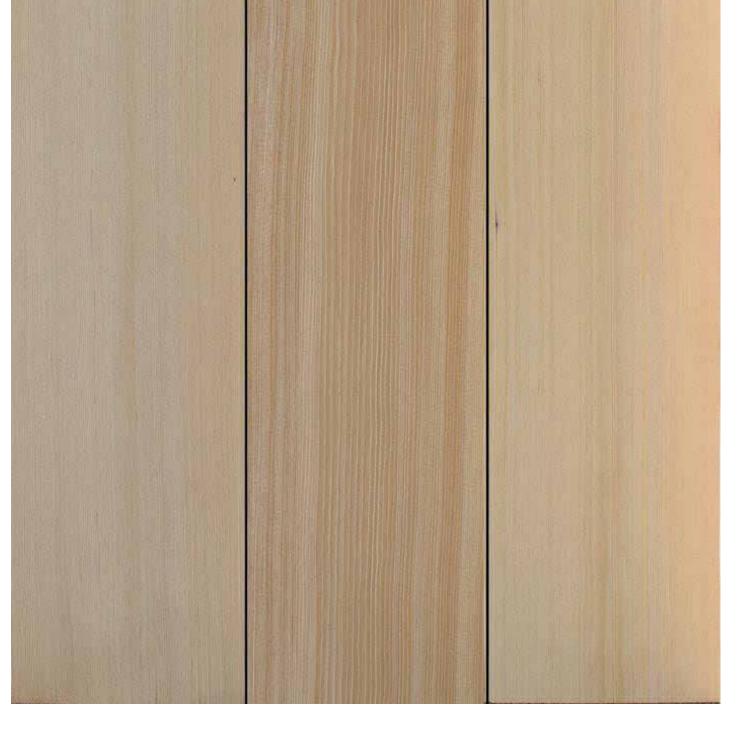
- 36 inches tall
- Each sheet provides 24 inches of coverage
- The panel comes 26" x 36"
- Real metal edging leather gloves required to handle safely
- Break up contrasting accent wall
- Add unique look to bars and countertops
- This product qualifies for our Lowest Price Guarantee

SQ FEET

 Order now and get our 30 day Price Protection

Item #: DT24X36WPAN List Price: \$42.77 \$30.99 (EACH) Save \$11.78 (27%)

Usually ships in 24-72 hours



HEMLOCK WIRE BRUCHSED SIDING WITH CLEAR COAT & SOFFIT MATERIAL

HEMLOCK NICKEL GAP SIDING PROFILE



GARAGE DOOR COLOR-OBSCURE GLASS FACE WITH BLACK MULLIONS



HEMLOCK 1X10 FASCIA WITH CLEAR COAT HEMLOCK 1X4 TRIM AT WINDOWS AND DOORS WITH CLEAR COAT



CABLE RAILING WITH BLACK POSTS & HEMLOCK TOP CLEAR COATED



White

PELLA IMPERVIA FIBERGLASS WINDOW-EXTERIOR WHITE INTERIOR WHITE. PICTURE, CASEMENT AND AWNING. TO MATCH EXISTING WINDOWS



Stone facade: National True 4 in. x 7.75 in. to 15.5 in. Non-Rated Field Stone - Winter Valley









Terrain Collection®

NEW DECKING-TIMBERTECH SANDY BIRCH HIDDEN FASTENERS

Project Number Project number 5.4.25 Author

1018 MOUNTAIN DR. MINTURN,CO

A855

SPECIFICATIONS