

DRB REVIEW

5.4.25

PROJECT TEAM

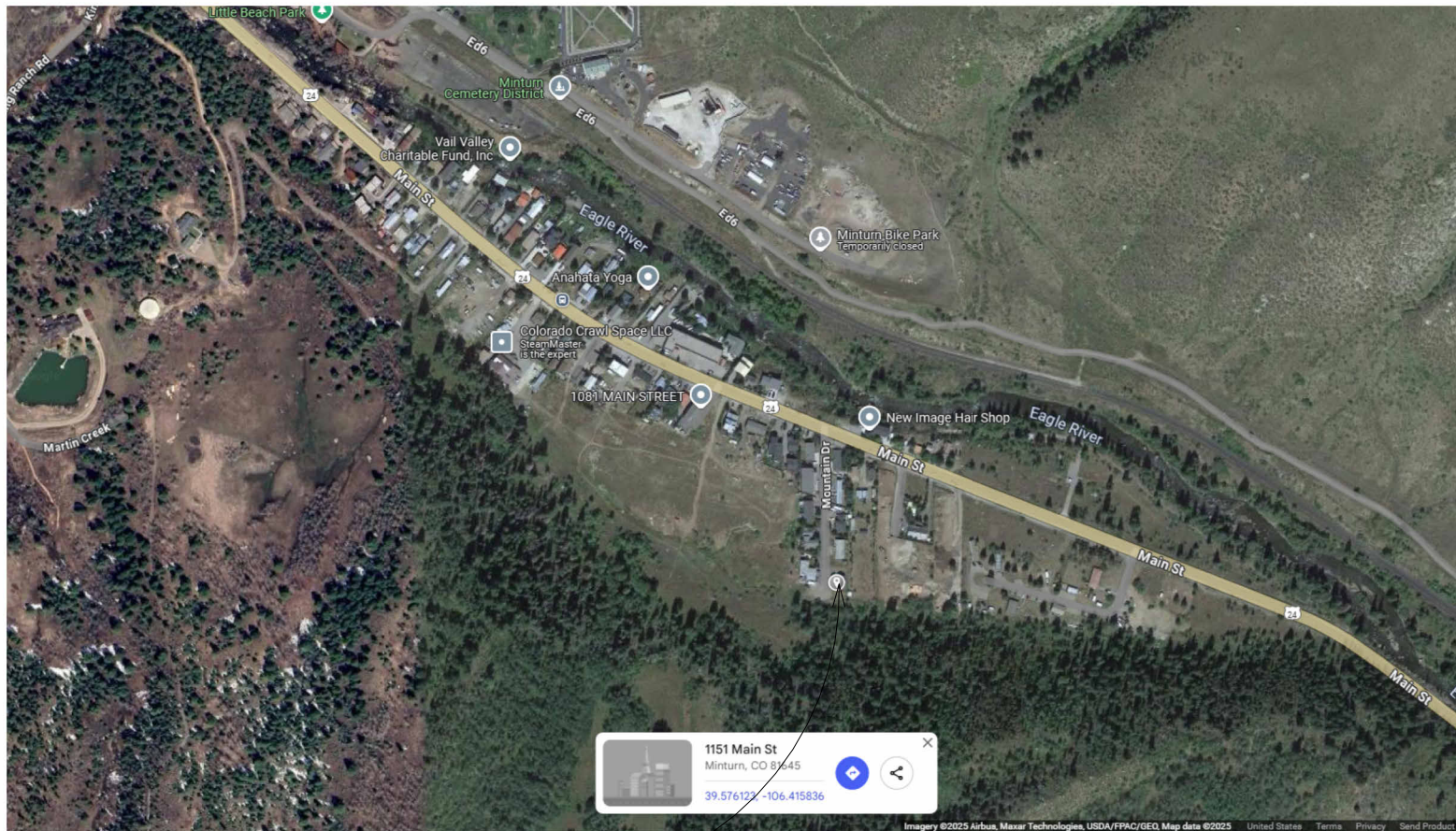


HP	High Point
HR	Hour
HVAC	Heating, Ventilating, And Air Conditioning
IRGWB	Impact Resistant Gypsum Wall Board
ILU	In Lou Of
INSUL	Insulated or Insulation
INT	Interior
LO	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
NIC	Not In Contract
NO	Number
NOM	Nominal
OC	On Center
OH	Overhang or Opposite Hand
OPP	Opposite or Opposite Hand
OZ	Ounce
PCC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RPC	Reflected Ceiling Plan
RD	Roof Drain
REQD	Required
RM	Room
SIM	Similar
SPEC	Specified OR Specification
SPK	Sprinkler or Speaker
SSTL	Stainless Steel
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural
T&G	Tongue And Groove
TELE	Telephone
TLT	Toilet
TME	To Match Existing
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Told Paper Dispenser
T	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
U/S	Underside
VIF	Verify In Field
VP	Vision Panel
W/	With
WD	Wood

Diagram illustrating the venting system components and installation details:

- PIPE VENTED TO OUTSIDE, PAINTED TO MATCH ROOF
- ROOF ASSEMBLY
- VENTED ATTIC SPACE
- FUTURE "ACTIVE" VENTING SYSTEM
- INSULATED CEILING ASSEMBLY
- 3-1/2" DIA. VENT PIPE
- PLASTIC SHEETING LAP ALL JOINTS MIN. 6" - TAPE ALL JOINTS
- 2" INSULATION UNDER SLAB
- 4" DIA. PERFORATED PIPE EMBEDDED IN STONE UNDER SLAB

SHEET #	SHEET NAME	Sheet Issue Date
ARCHITECTURAL		
A005	ARCHITECTURAL SITE PLAN	01/25/25
CIVIL		
C0	EXISTING SURVEY	01/25/25
C1	EXISTING SURVEY	01/25/25
LANDSCAPE		
L1	SITE PLAN	01/25/25
L2	LANDSCAPE PLAN	03/09/22
L3	LANDSCAPE DETAILS	03/09/22
ARCHITECTURAL		
A100	LOWER AND GARAGE FLOOR PLAN	01/25/25
A101	MAIN LEVEL FLOORPLAN	01/25/25
A102	UPPER LEVEL FLOORPLAN	01/25/25
A103	ROOF PLAN	01/25/25
A130	LEVEL 1 RCP	07/30/19
A131	LEVEL 2 RCP	07/30/19
A200	BUILDING ELEVATIONS	01/25/25
A201	BUILDING ELEVATIONS	01/25/25
A202	3-D VIEWS	01/24/25
A500	EXTERIOR DETAILS	07/30/19
A600	EXT. WINDOW & DOOR SCHEDULE	07/30/19
A650	INT. DOOR SCHEDULE & TYPES	07/30/19
A700	INTERIOR ELEVATIONS	07/30/19
A855	SPECIFICATIONS	03/07/25
STRUCTURAL		
S100	STRUCTURAL	07/30/19
MECHANICAL		
M000	MECHANICAL	07/30/19
ELECTRICAL		
E000	ELECTRICAL	07/30/19



SITE LOCATION

[illegible]

Project number	Project Number
Date	5.4.25
Drawn by	Author

A000

5/5/2025 9:56:52 PM

TOWNSHIP 5 SOUTH

SECT. 26 SECT. 25
SECT. 35 SECT. 36

U.S. HIGHWAY 24


DENVER & WESTERN RAILROAD

RAILROAD AVENUE

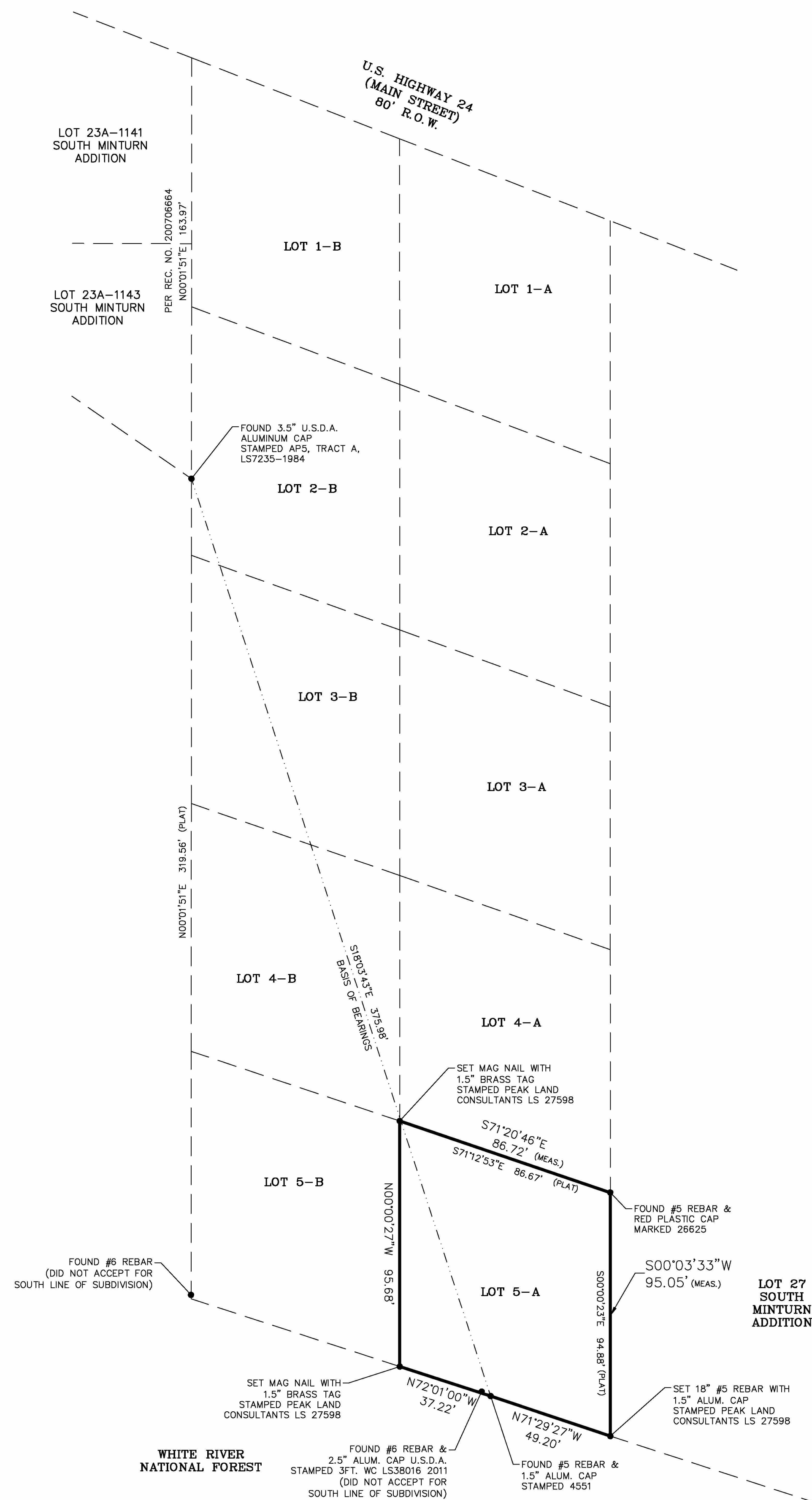
RANGE 81 WEST, 6TH P.M.

SITE

U.S. HIGHWAY 24



PEAK LAND CONSULTANTS, INC.
PEAK LAND SURVEYING, INC.
970-476-8544
PO BOX 3790, VAIL, CO. 81658
101 FAWCETT RD. #215, AVON, CO, 81620




8. RIGHT OF THE PROPRIETOR OF A VEIN OR LODGE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AS SET FORTH IN UNITED STATES PATENT RECORDED MAY 2, 1904 IN BOOK 48 AT PAGE 502. (NOT ABLE TO PLOT)
9. RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED MAY 2, 1904 IN BOOK 48 AT PAGE 502. (NOT ABLE TO PLOT)
10. EASEMENT AND RIGHT OF WAY FOR SEWER PURPOSES AS GRANTED TO THE UPPER EAGLE VALLEY SANITATION DISTRICT RECORDED JANUARY 21, 1970, IN BOOK 216 AT PAGE 908. (NO ABLE TO PLOT)
11. RIGHT OF WAY FOR THE D & R W RAILROAD CO., AS DESCRIBED BY INSTRUMENT RECORDED NOVEMBER 6, 1929 IN BOOK 106 AT PAGE 553, 554. (NOT ABLE TO PLOT)
12. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENT RECORDED SEPTEMBER 22, 1977 IN BOOK 280 AT PAGE 99. (NOT ABLE TO PLOT)
13. EASEMENTS, COVENANTS S, CONDITIONS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE FINAL PLAN OF MINTURN MOUNTAIN HOME PROPERTIES, RECORDED APRIL 23, 1991 IN BOOK 559 AT PAGE 11.
NOTE: EASEMENT VACATION RECORDED DECEMBER 16, 1999 AT RECEPTION NO. 717808
(AS SHOWN HEREON)
14. TERMS, CONDITIONS AND PROVISIONS OF DECLARATION OF PROTECTIVE COVENANTS FOR MINTURN MOUNTAIN HOME PROPERTIES BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED SEPTEMBER 13, 1991 IN BOOK 562 AT PAGE 205. (NOT ABLE TO PLOT)
15. TERMS, CONDITIONS AND PROVISIONS OF ENCROACHMENT AGREEMENT RECORDED JULY 15, 1994 IN BOOK 645 AT PAGE 378. (LOT 1-B, DOES NOT APPLY)
16. TERMS, CONDITIONS AND PROVISIONS OF AGREEMENTS RECORDED AUGUST 17, 1999 AT RECEPTION NO. 705701 AND 705702. (LOTS 1-A AND 2-B, DOES NOT APPLY)
17. TERMS, CONDITIONS AND PROVISIONS OF SEWER EASEMENT RECORDED DECEMBER 16, 1999 AT RECEPTION NO. 717807. (LOTS 1-A AND 1-B, DOES NOT APPLY)

BRENT BIGGS
COLORADO P.L.S. 27598
FOR & ON BEHALF OF
PEAK LAND SURVEYING, INC.



DRAWN: KPJ	REVIEWED: BB	SHEET 1 OF 2
DATE: 10/09/24	PLC JOB#: 2529	



HANSEN
DESIGN | BUILD
















1018 MOUNTAIN
DR. MINTURN, CO

[illegible]

Project number	Project Number
Date	5.4.25
Drawn by	Author
IMPROVEMENT SURVEY PLAT	

A003

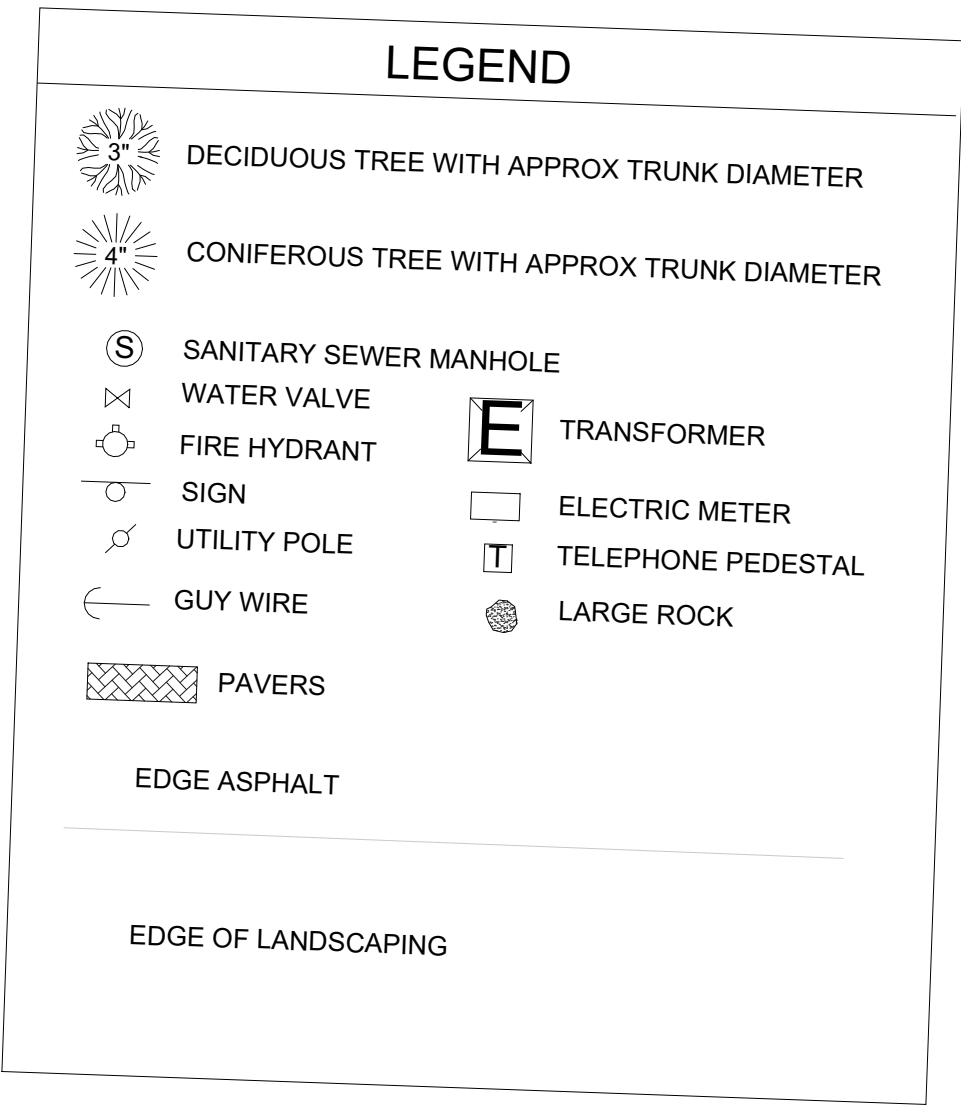
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	DECIDUOUS TREE WITH APPROX TRUNK DIAMETER
	CONIFEROUS TREE WITH APPROX TRUNK DIAMETER
	SANITARY SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	SIGN
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER
	TELEPHONE PEDESTAL
	LARGE ROCK
	PAVERS
	
	

Project number	Project Number
Date	5.4.25
Drawn by	Author

A004

DRAWN: KPJ	REVIEWED: BB	SHEET 2 OF 2
DATE: 10/09/24	PLC JOB#: 2529	



SET 18" No. 5 REBAR WITH 1 1/2" ALUMINUM CAP
STAMPED PEAK LAND CONSULTANTS LS 27598

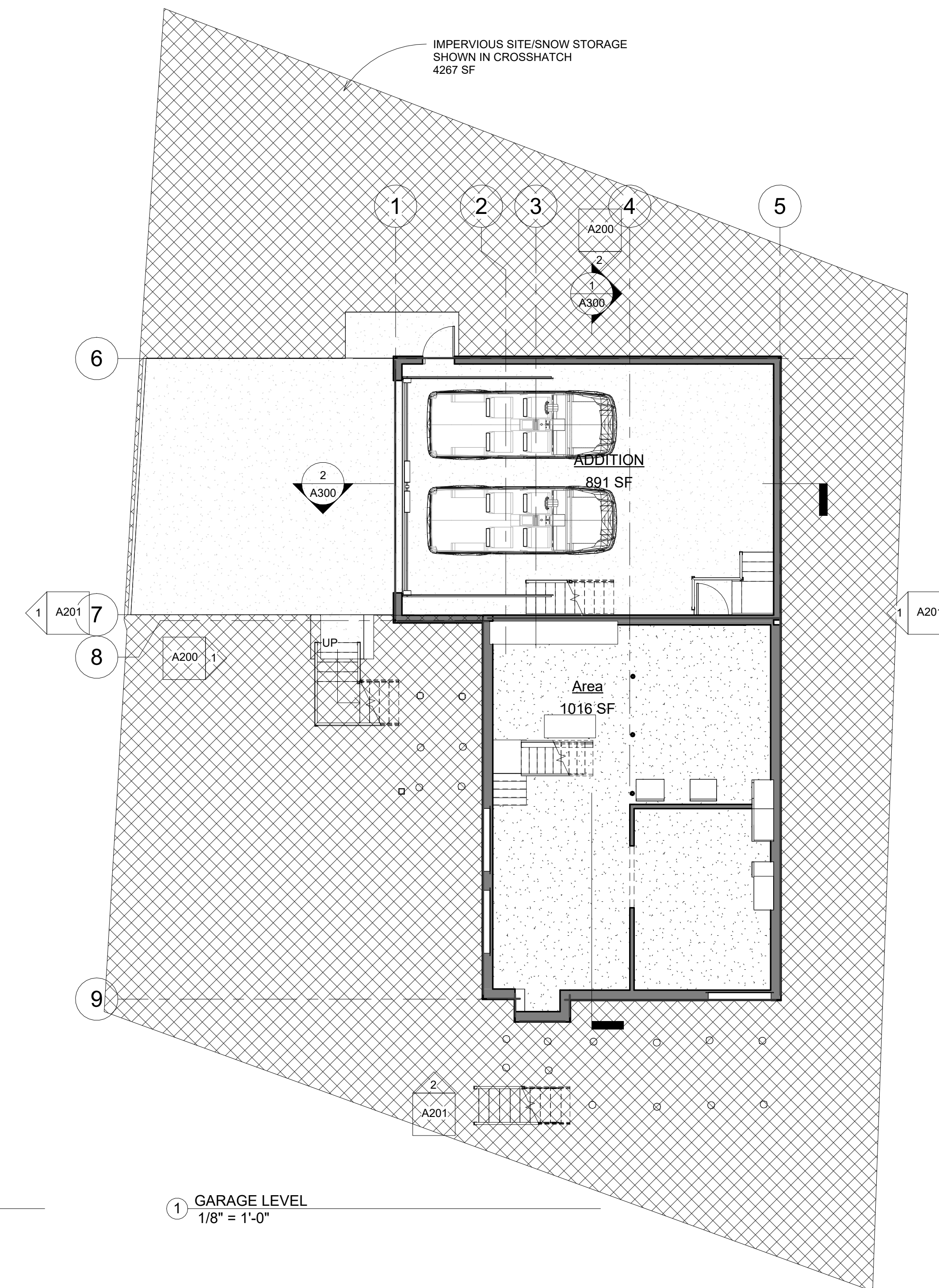
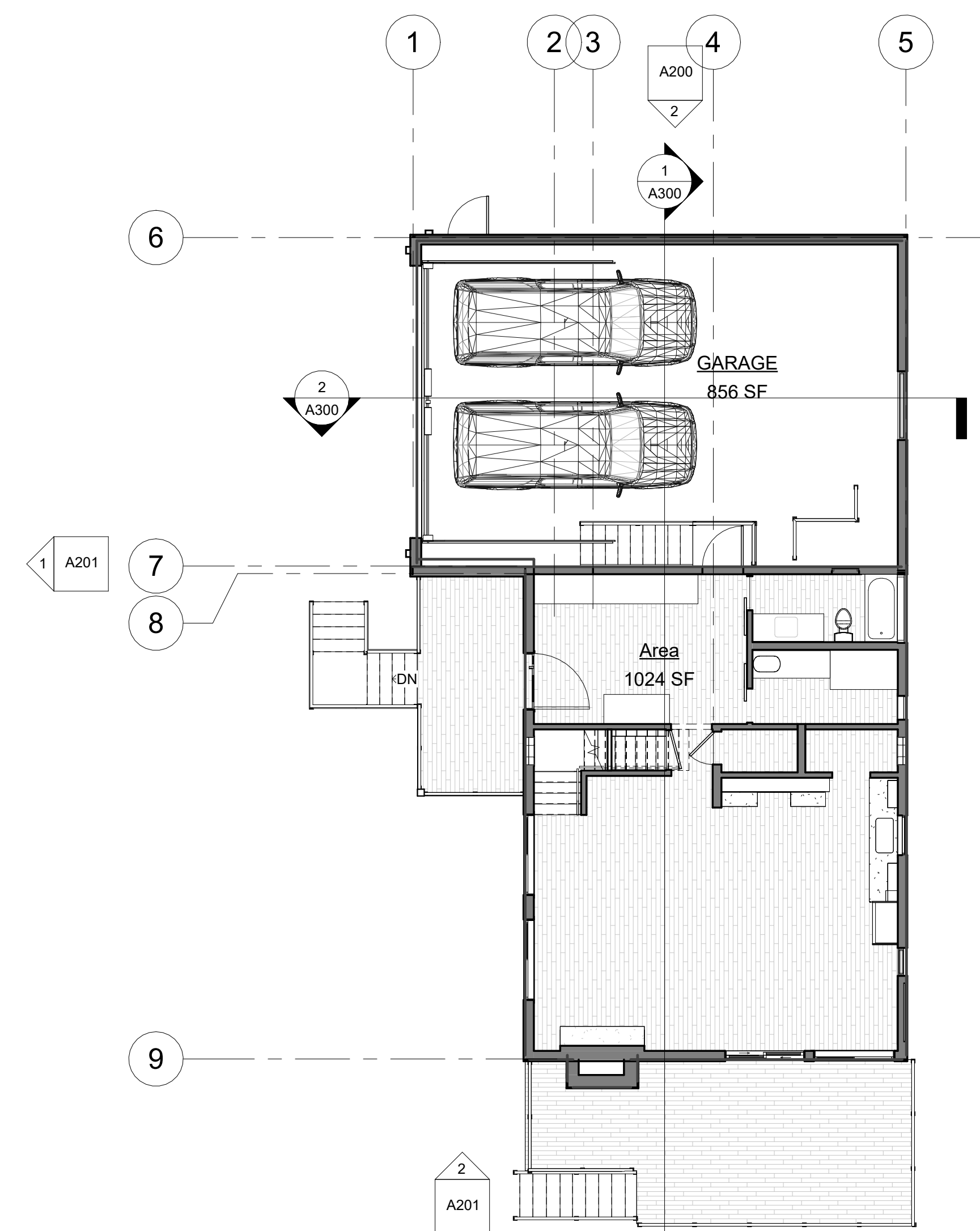
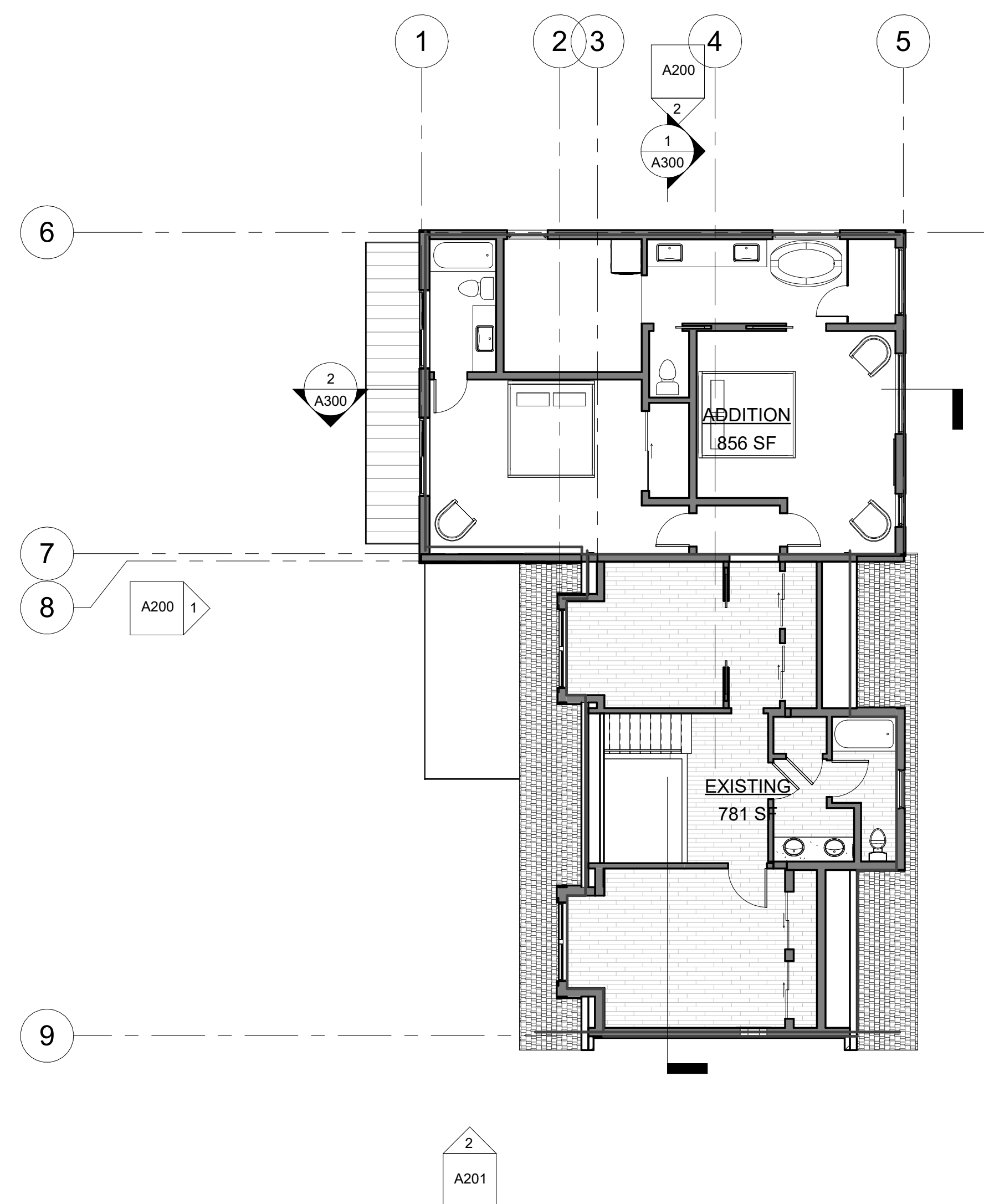
SET 18" No. 5 REBAR WITH 1" PINK PLASTIC CAP
MARKED PLC PLS 27598

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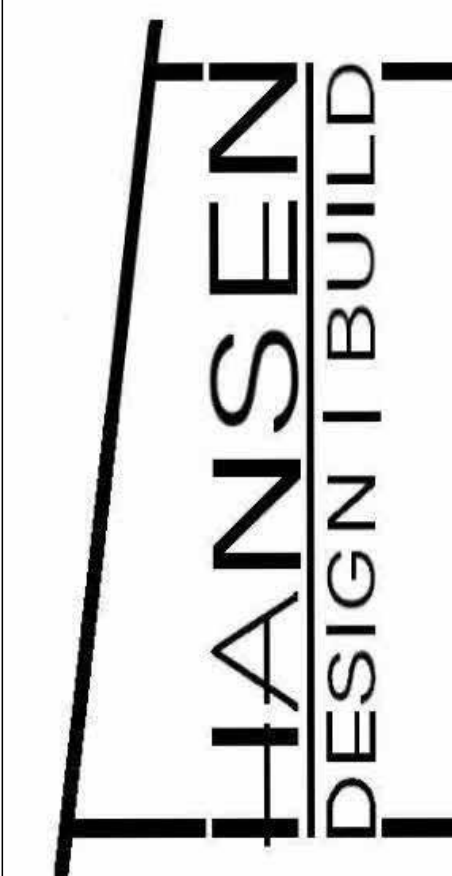
Project number	Project Number
Date	5.4.25
Drawn by	Author

ARCHITECTURAL SITE PLAN

A005



LOT SQUARE FOOTAGE: 7832.15 SF
EXISTING HOME SF: LIVABLE: 2851
PROPOSED ADDITION TOTAL SF: LIVABLE: 856 SF
PROPOSED TOTAL SF: LIVABLE: 3707 SF
PROPOSED GARAGE: 856 SF
TOTAL PROPOSED ADDITIONAL LOT COVERAGE: 856 SF
SNOW STORAGE & IMPERVIOUS AREA: 4267 SF



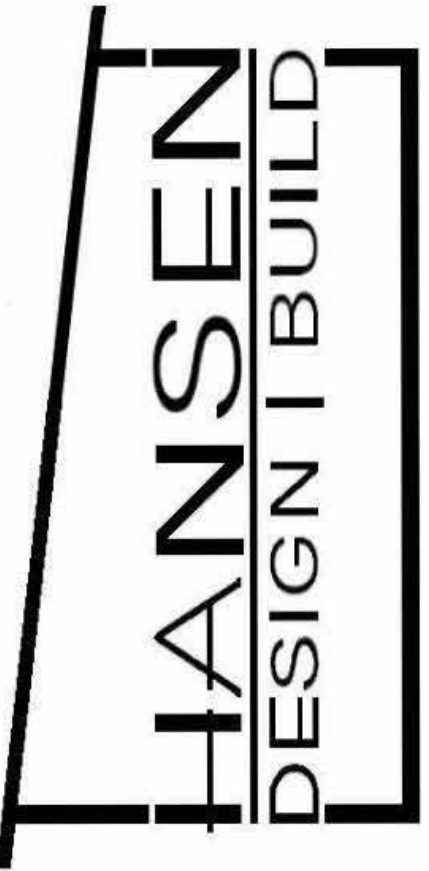
1018 MOUNTAIN
DR. MINTURN, CO

[illegible]

Project number	Project Number
Date	5.4.2
Drawn by	Author

GRFA CALCULATIONS

A006



1018 MOUNTAIN
DR. MINTURN, CO

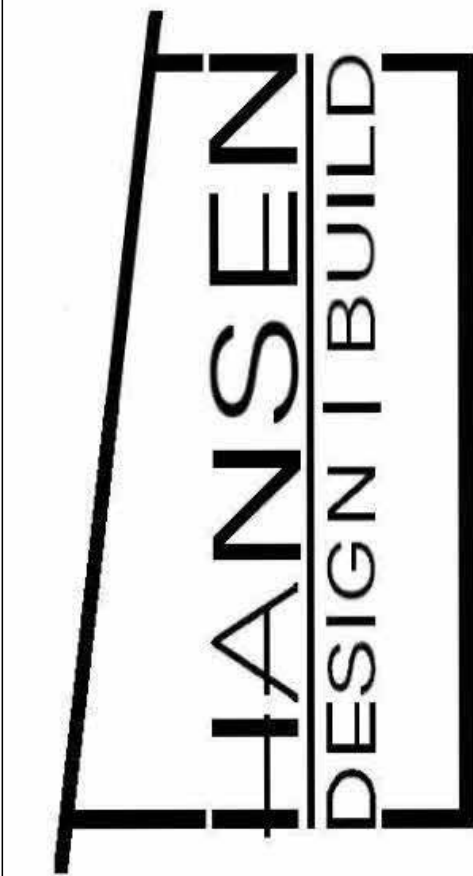
1018 Mountain Drive

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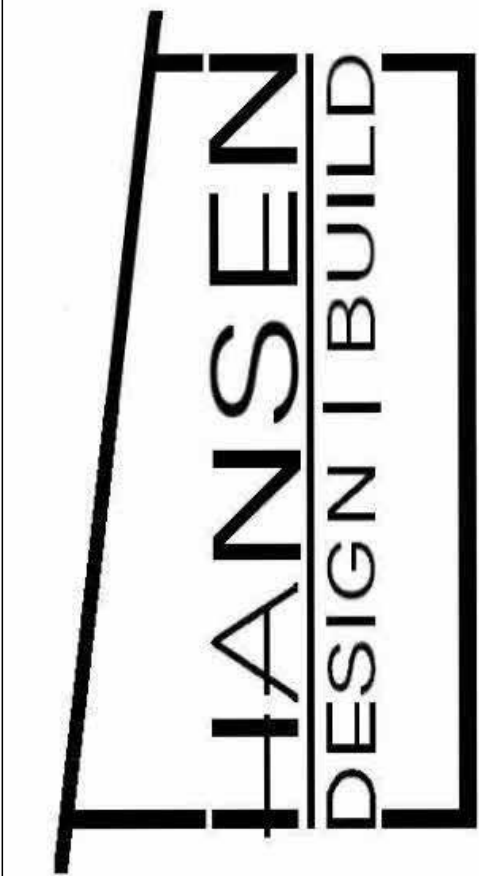
Project number	Project Number
Date	5.4.25
Drawn by	Author

MAIN LEVEL EXISTING

A101-E

[illegible]UPPER LVL EXISTING FLOORPLAN

A102-E



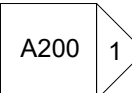
1018 MOUNTAIN
DR. MINTURN, CO

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Project number	Project Number
Date	5.4.25
Drawn by	HDB

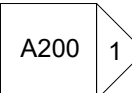
LOWER AND GARAGE FLOOR PLAN

A100



Project number	Project Number
Date	5.4.25
Drawn by	Author

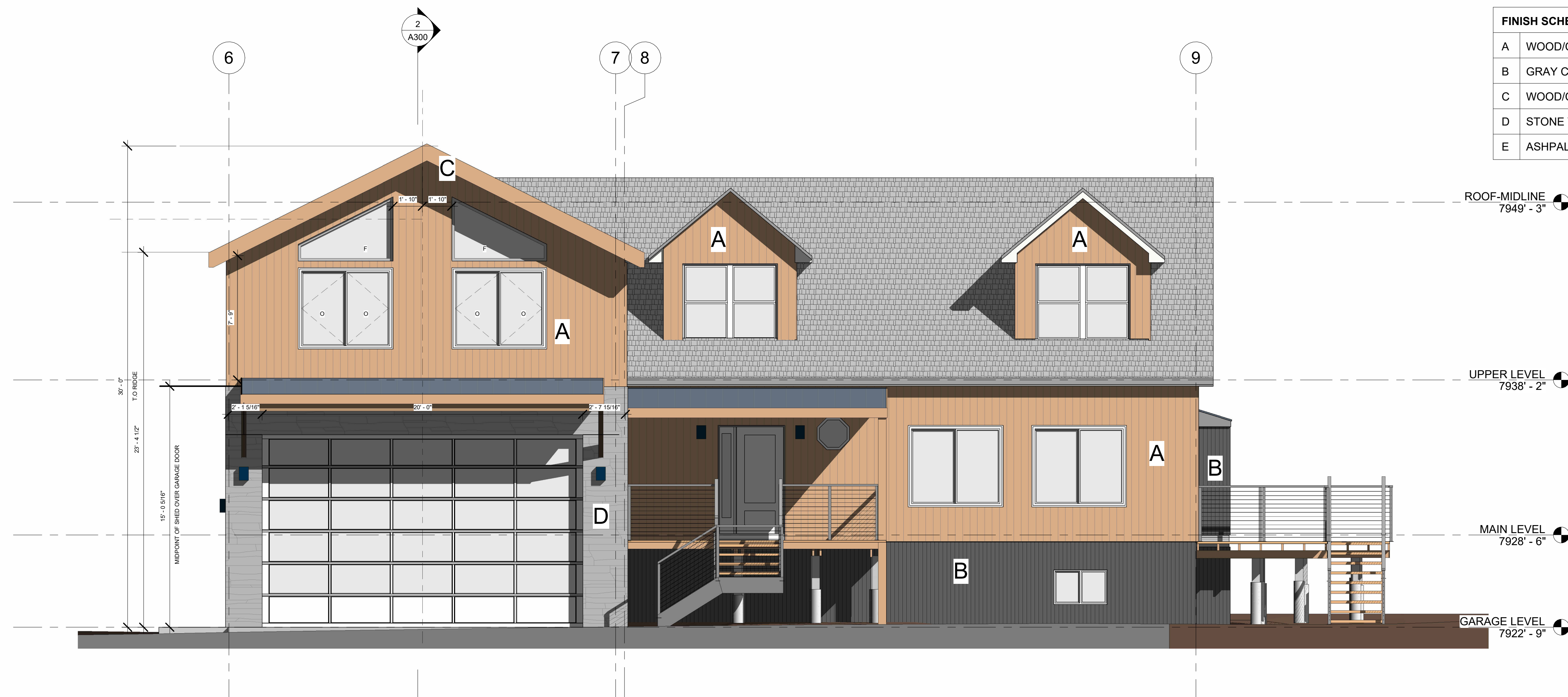
A102



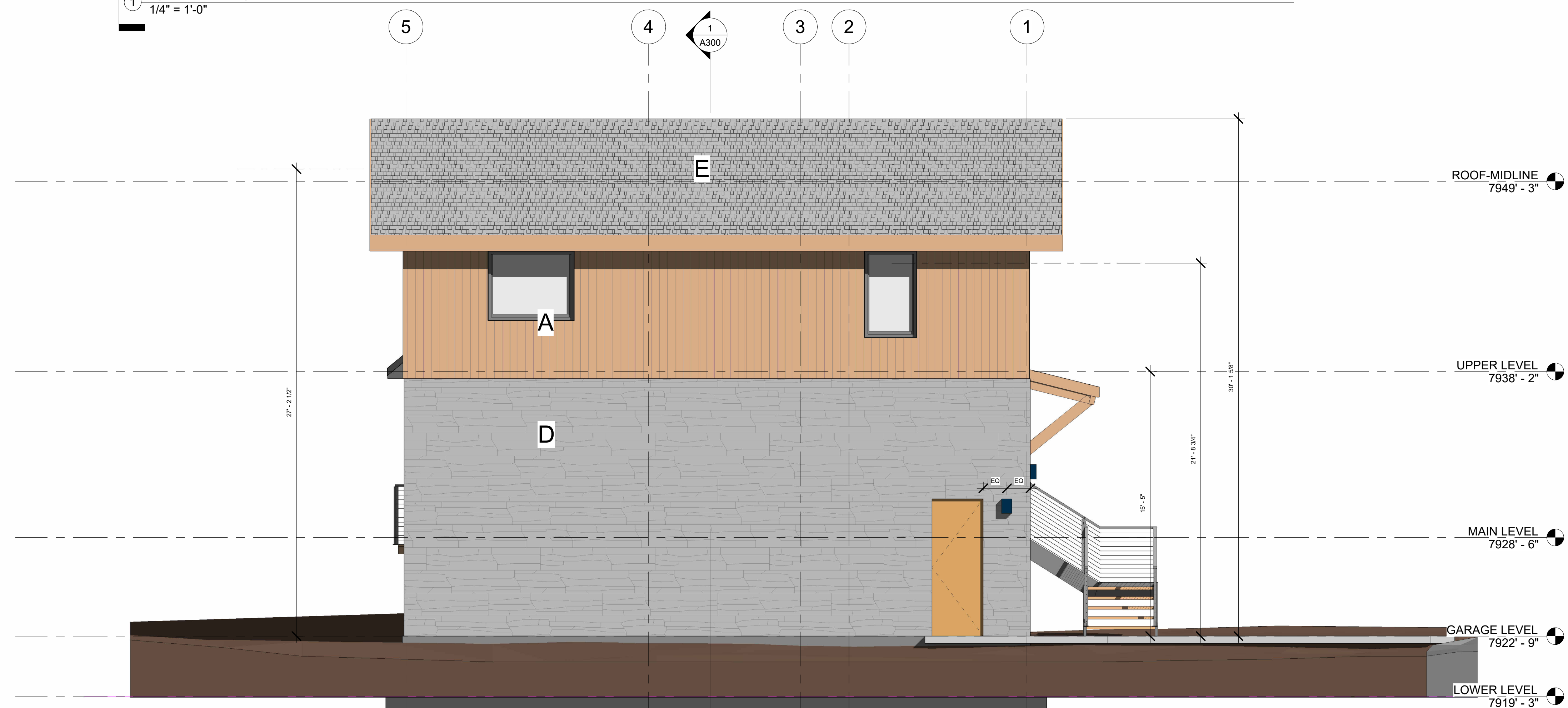
Project number	Project Number
Date	5.4.25
Drawn by	Author

A102

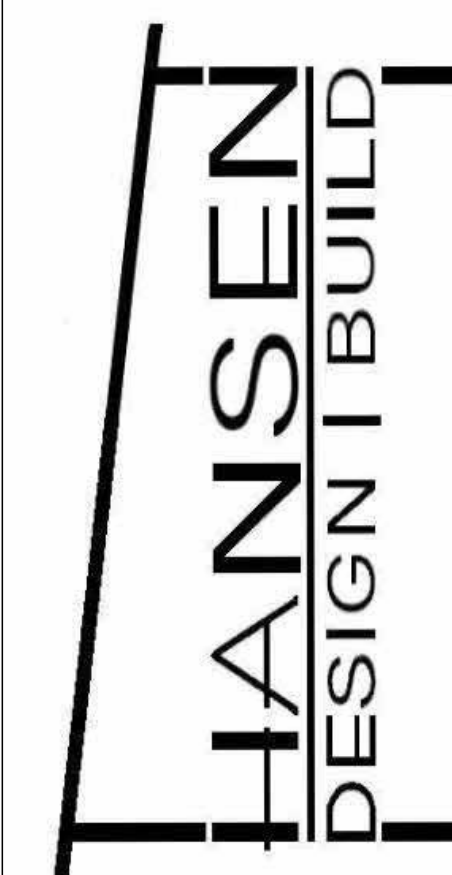
FINISH SCHEDULE- EXTERIOR WALLS		
A	WOOD/COMP SIDING	1/A500
B	GRAY CORRUGATED METAL	2/A500
C	WOOD/COMP FASCIA & TRIM	3/A500
D	STONE VENEER	
E	ASHPALT SHINGLES	



① NORTH ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"



1018 MOUNTAIN
DR. MINTURN, CO

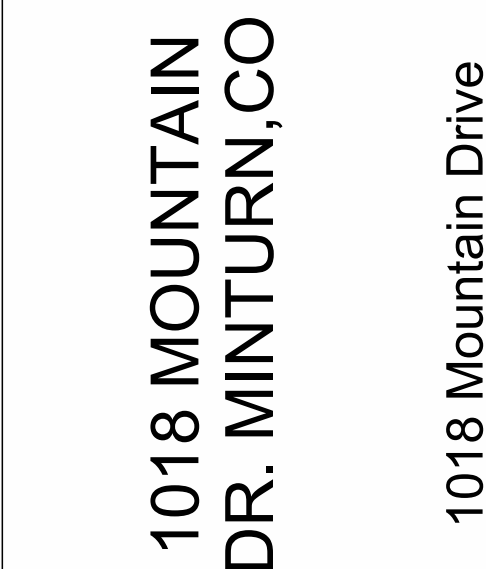
1018 Mountain Drive

[illegible]

Project number	Project Number
Date	5.4.25
Drawn by	Author

BUILDING ELEVATIONS

A200

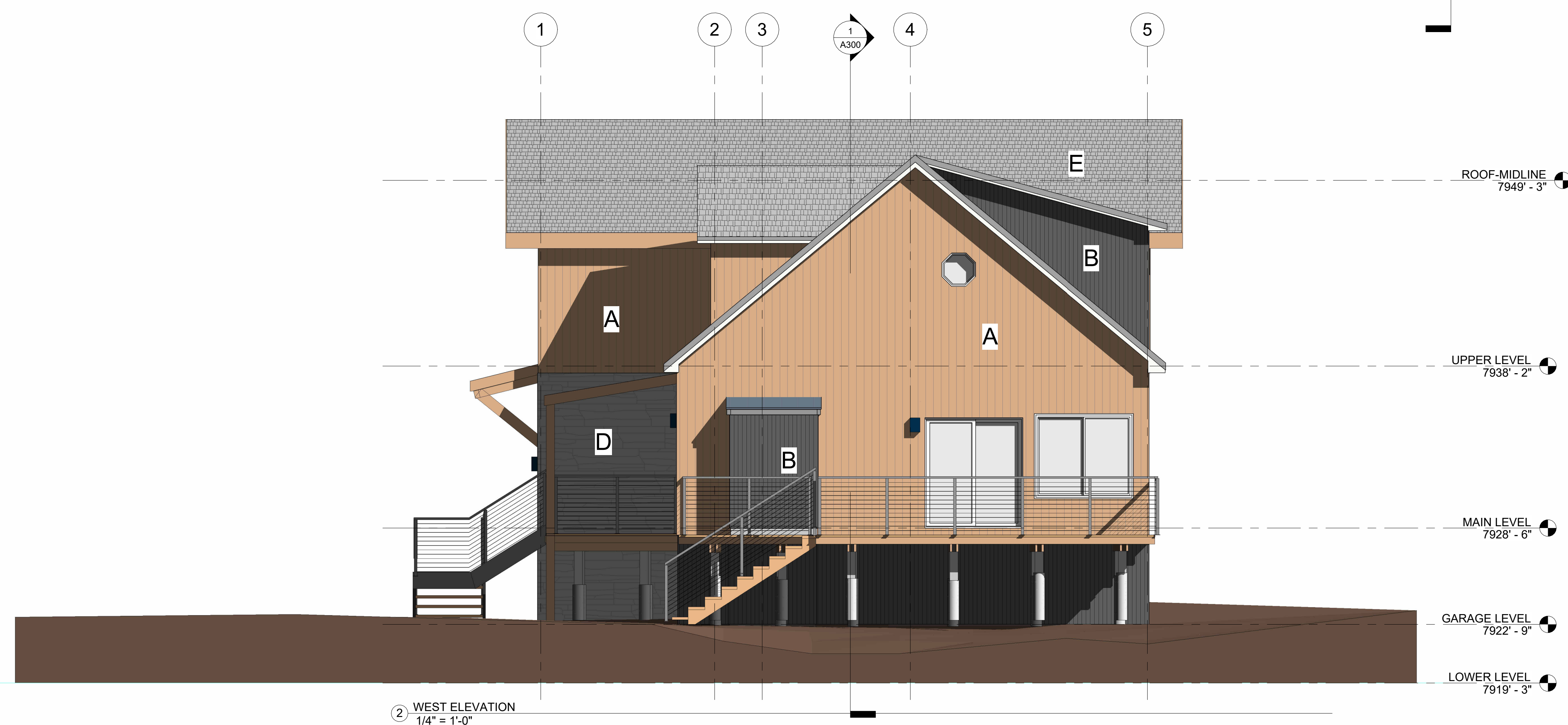
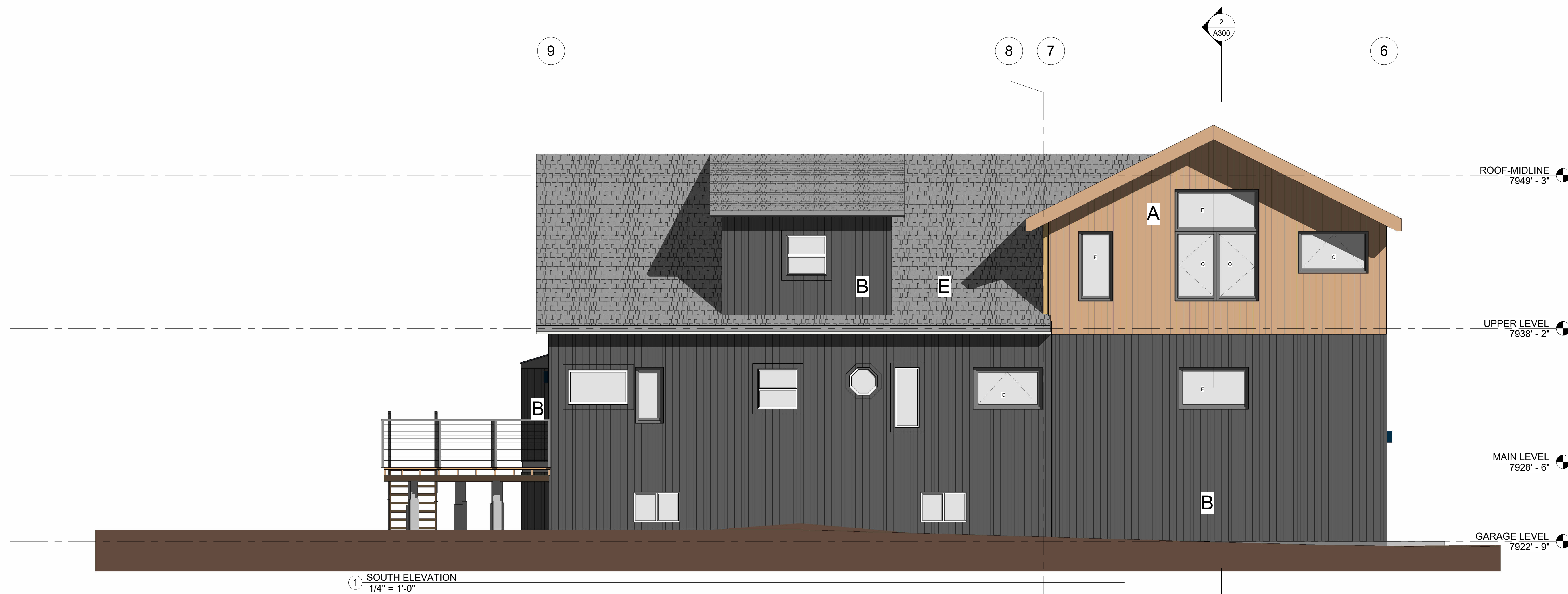
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Project number	Project Number
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Drawn by	Author

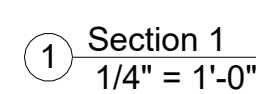
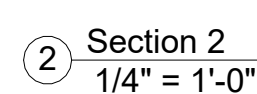
BUILDING ELEVATIONS

A201

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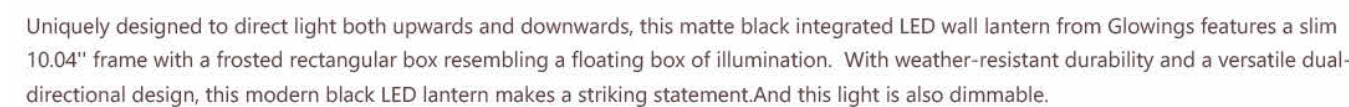
FINISH SCHEDULE- EXTERIOR WALLS		
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D	STONE VENEER	
E	ASHPALT SHINGLES	



1018 MOUNTAIN
DR. MINTURN, CO

Project number	Project Number
Date	5.4.25
Drawn by	Author

A300



- You can switch different color temperatures by turning the light on and off.
- Color temperature options: 3000K, 4000K, 5000K.
- Both upper and lower LED lights emit light evenly.

Overall 10.2" H X 5.3" W X 4.5" L

Lighting Type Outdoor Wall Sconce



Usually ships in 24-72 hours

