

BELDEN PLACE

LOT 20 - 0014 ABBY ROAD

Single Family

Minturn, CO 81645



TAB Associates
The Architectural Balance
 0066 Edwards Village Blvd.
 Suite 200
 Edwards, CO 81432
 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com
 Civil Engineer
 Timberline Engineering
 (970) 963-9869
 Mechanical Engineer
 KRM Consultants, Inc.
 (970) 949-9391
 Mechanical Engineer
 Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
 Minturn, Colorado

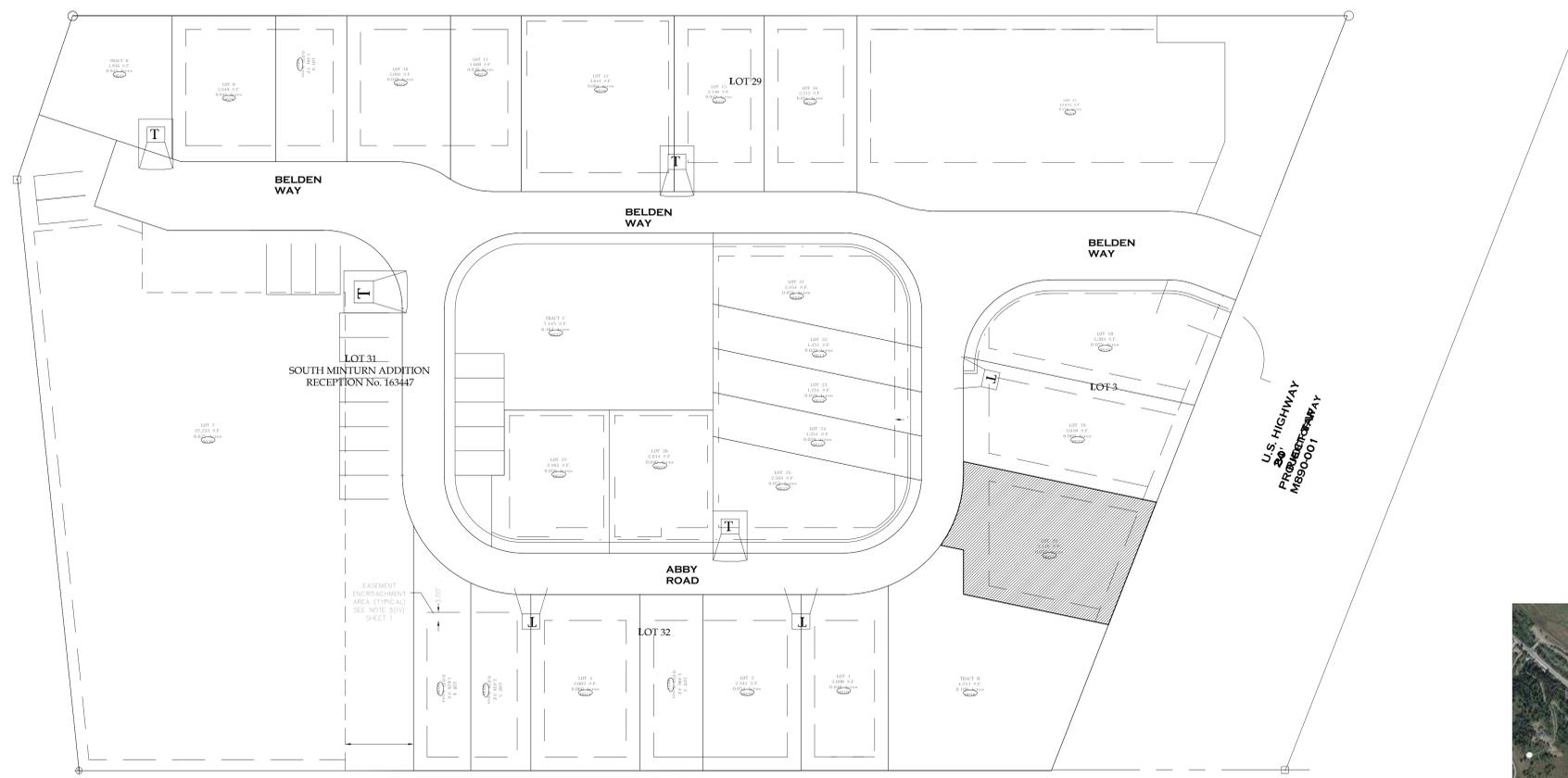


TABLE OF CONTENTS

- A0.00 COVER SHEET
- A0.02 PUD GUIDE INFORMATION
- FINAL PLAT
- C1.110 SURVEY
- C1.111 SITE PLAN
- C.1 SITE GRADING & DRAINAGE PLAN
- C1.120 LANDSCAPE PLAN
- C1.121 LANDSCAPE NOTES
- C1.122 LANDSCAPE DETAILS
- A2.1 FLOOR PLANS
- A2.2 FLOOR PLANS
- A2.3 ROOF PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 MATERIALS
- A3.3 RENDERINGS
- A4.1 SECTIONS
- A5.01 DETAILS
- A5.02 DETAILS
- A5.03 DETAILS



VICINITY MAP



DESIGN REVIEW BOARD REVISED
3/12/2025

Revisions:

No.	Description	Date
1	Revision 1	Date 1

Issue Dates:
 CP-08/14/2024
 DRB-2/14/2025

Sheet Title:
Cover

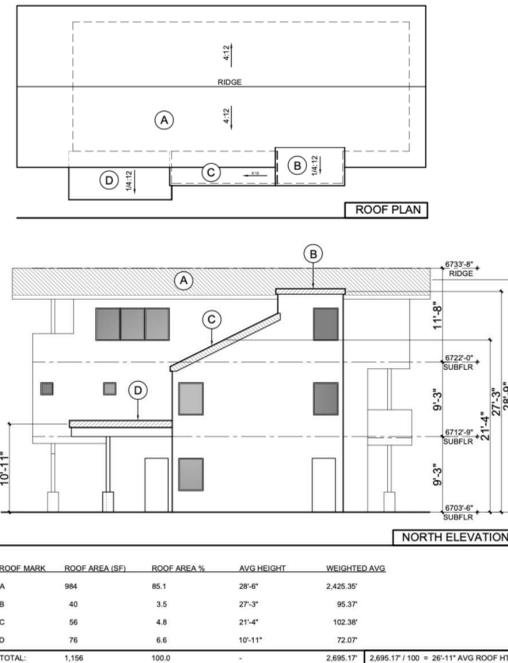
Project No:
 2215

Sheet No:
A0.0

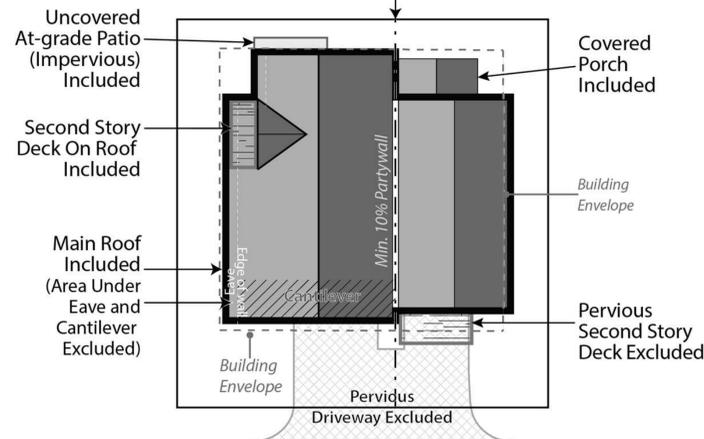
BELDEN PLACE PUD GUIDE INFORMATION

The following is an abbreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famill and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- a. Style
 - (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - i. Roof forms/lines and profiles
 - ii. Varied window and door styles
 - iii. Varied entry treatments and locations including porches, columns, etc.
 - iv. Two or three story homes
 - v. Second or third story decks or balconies
- b. Building Form
 - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- a. Style
 - (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
 - (2) Units may be multi-stories.
 - (3) Units may be divided horizontally (townhomes) or vertically (flats).
 - (4) Second story decks or balconies permitted.
 - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
 - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

- a. Roofing materials are limited to the following:
 - (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - (2) Standing seam metal.
 - (3) Asphalt shingles.
 - (4) Imitation (composite or similar); or, real slate tiles.
 - (5) Non-reflective solar tiles that mimic the above-mentioned products
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
 - (1) Metal
 - (2) Wood
 - (3) Composite siding
 - (4) Fiber cement board (commonly known as "Hardie Board")
 - (5) Stucco.
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
 - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
 - (1) Structures with multiple garage doors must always have identical, matching doors.
 - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



TAB Associates
 The Architectural Balance
 0056 Edwards Village Blvd.
 Suite 210
 Edwards, CO 81432
 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com
 Civil Engineer
 Structural Engineer
 Mechanical Engineer
 Electrical Engineer



Lot 20
Belden Place Phase 2
 Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
 CP-08/14/2024
 DRB-2/14/2025

Sheet Title:
PUD Guide

Project No:
 2215

Sheet No:
A0.2

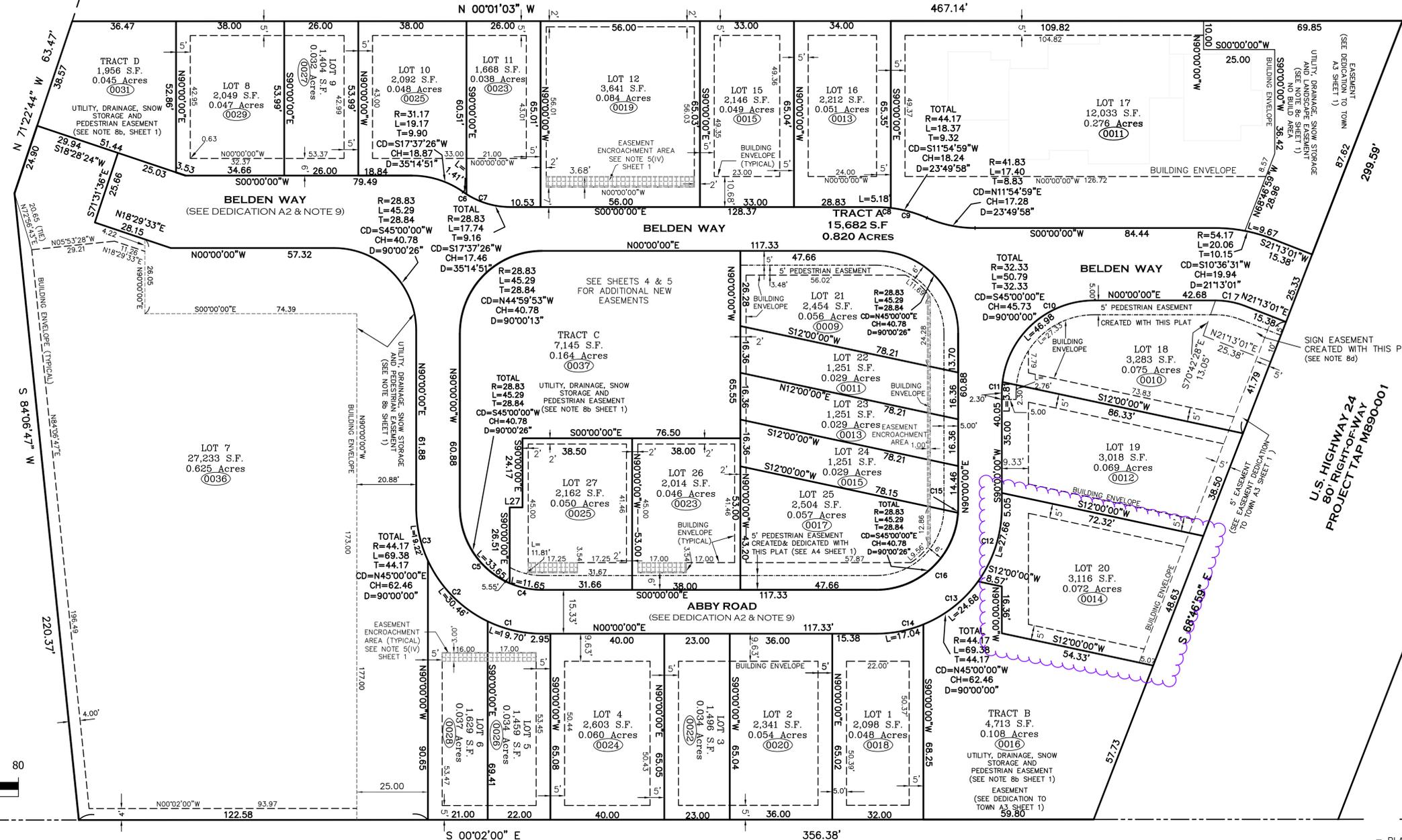
FINAL PLAT

BELDEN PLACE, P.U.D.

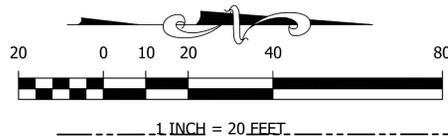
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION
EASEMENTS

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



UNITED STATES OF AMERICA
RECEPTION No. 186352



CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA
RECEPTION No. 246983

THIS SHEET IS A PORTION OF
THE FINAL PLAT, REFER TO
COMPLETE - FINAL PLAT,
BELDEN PLACE PUD



Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

--- = PLATTED BUILDING ENVELOPE
- - - - - = PEDESTRIAN EASEMENT
[Hatched Area] = EASEMENT ENCROACHMENT AREA SEE NOTE 5(V)

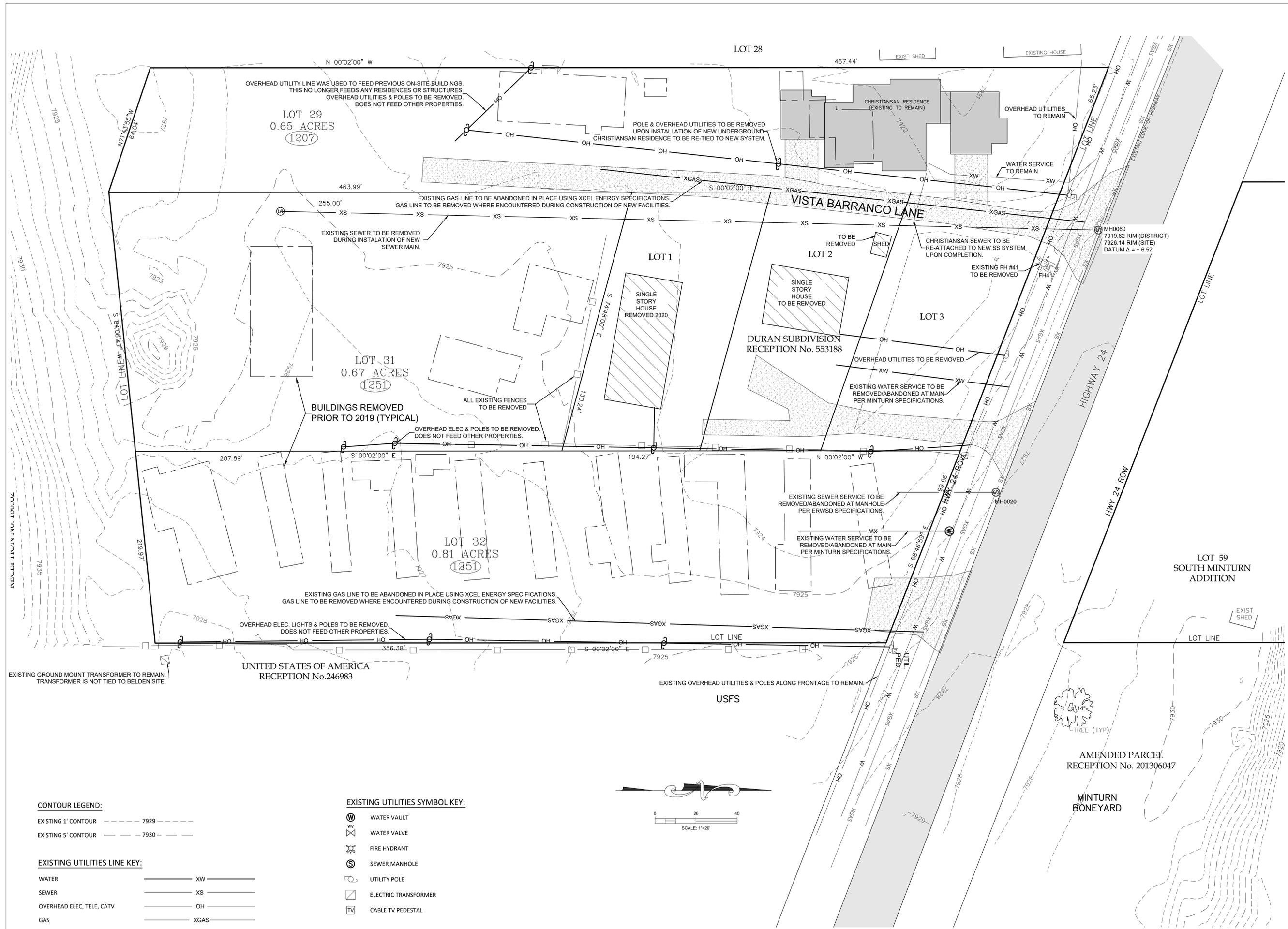


SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



COPYRIGHT

Lot 20
Belden Place Phase 2
Minturn, Colorado

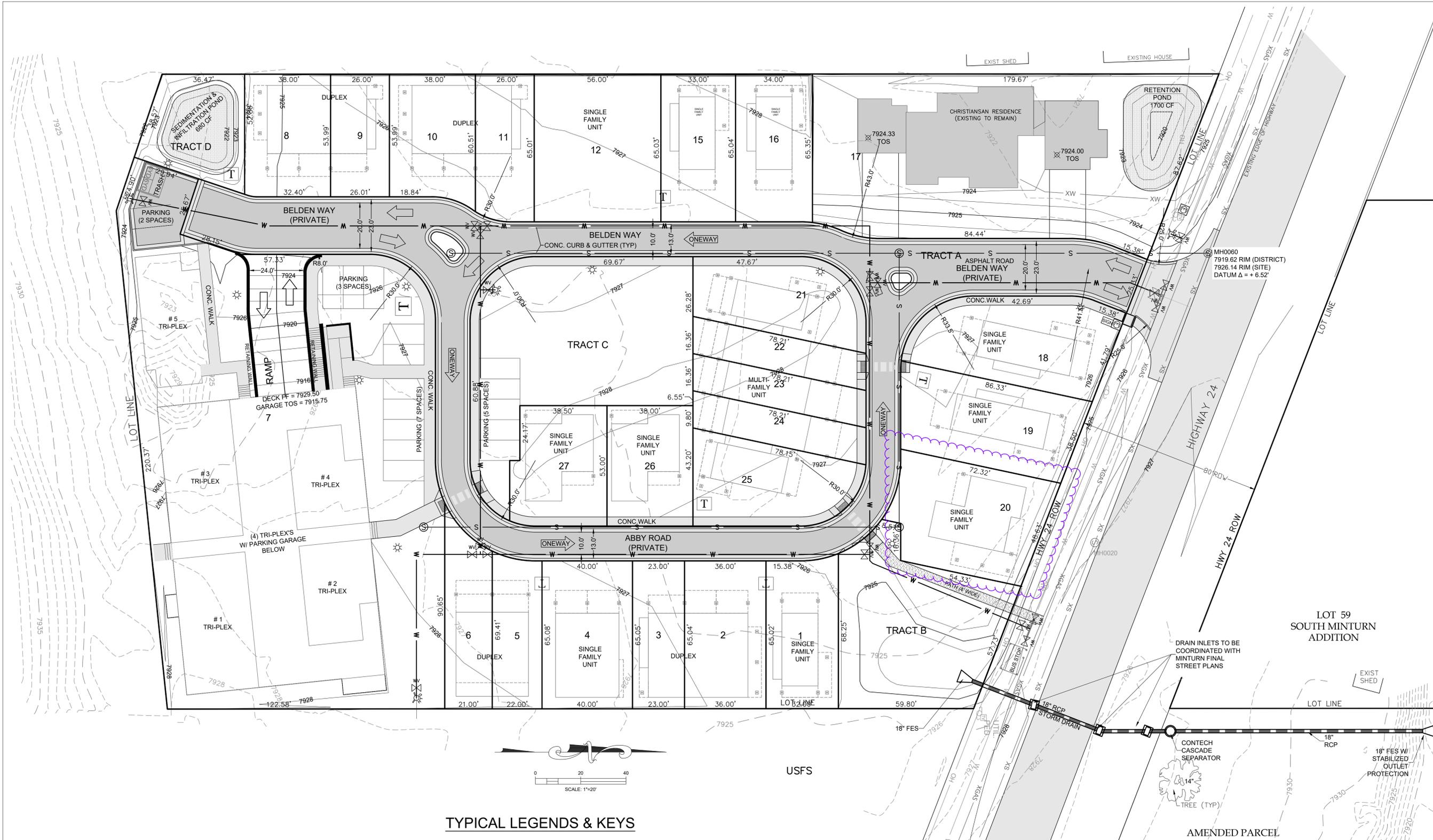
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title:
EXISTING SITE & DEMOLITION PLAN

Sheet:

C.110



TYPICAL LEGENDS & KEYS

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- GD = GRADE/GROUND
- HP = HIGH POINT
- LP = LOW POINT
- TBC = TOP BACK OF CURB
- TD = TRENCH DRAIN
- TOS = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOW = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE

- CONTOUR LEGEND:**
- EXISTING 1' CONTOUR --- 7929 ---
 - EXISTING 5' CONTOUR --- 7930 ---
 - PROPOSED 1' CONTOUR --- 7929 ---
 - PROPOSED 5' CONTOUR --- 7930 ---
- EXISTING UTILITIES LINE KEY:**
- WATER --- XW ---
 - SEWER --- XS ---
 - OVERHEAD ELEC, TELE, CATV --- OH ---
 - GAS --- XGAS ---

- EXISTING UTILITIES SYMBOL KEY:**
- WATER VAULT
 - WATER VALVE
 - FIRE HYDRANT
 - SEWER MANHOLE
 - UTILITY POLE
 - ELECTRIC TRANSFORMER
 - CABLE TV PEDESTAL

- PROPOSED UTILITY SYMBOL KEY:**
- WATER VAULT
 - WATER VALVE
 - FIRE HYDRANT
 - SEWER MANHOLE
 - UTILITY POLE
 - ELECTRIC TRANSFORMER
 - CABLE TV PEDESTAL
 - ELECTRIC SPICE VAULT
 - STREET LIGHT

INDICATES DIRECTION OF TRAFFIC FLOW

LINE KEY:

WATER --- W ---

SEWER --- S ---

PARKING NOTES:
PARKING SPACES 9' X 18' MIN.

REFER TO COMPLETE - FINAL PLAT, BELDEN PLACE PUD

EARTHWORK:
5175 CYD CUT
8130 CYD FILL
2955 CYD NET <FILL>
(DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)

TIMBERLINE ENGINEERING CIVIL STRUCTURAL
218 E. Valley Rd. P 970.963.9869
STE 104 PMB 177
Carbondale, Colorado 81623
timberlineengineering@gmail.com

COPYRIGHT

**Lot 20
Belden Place Phase 2
Minturn, Colorado**

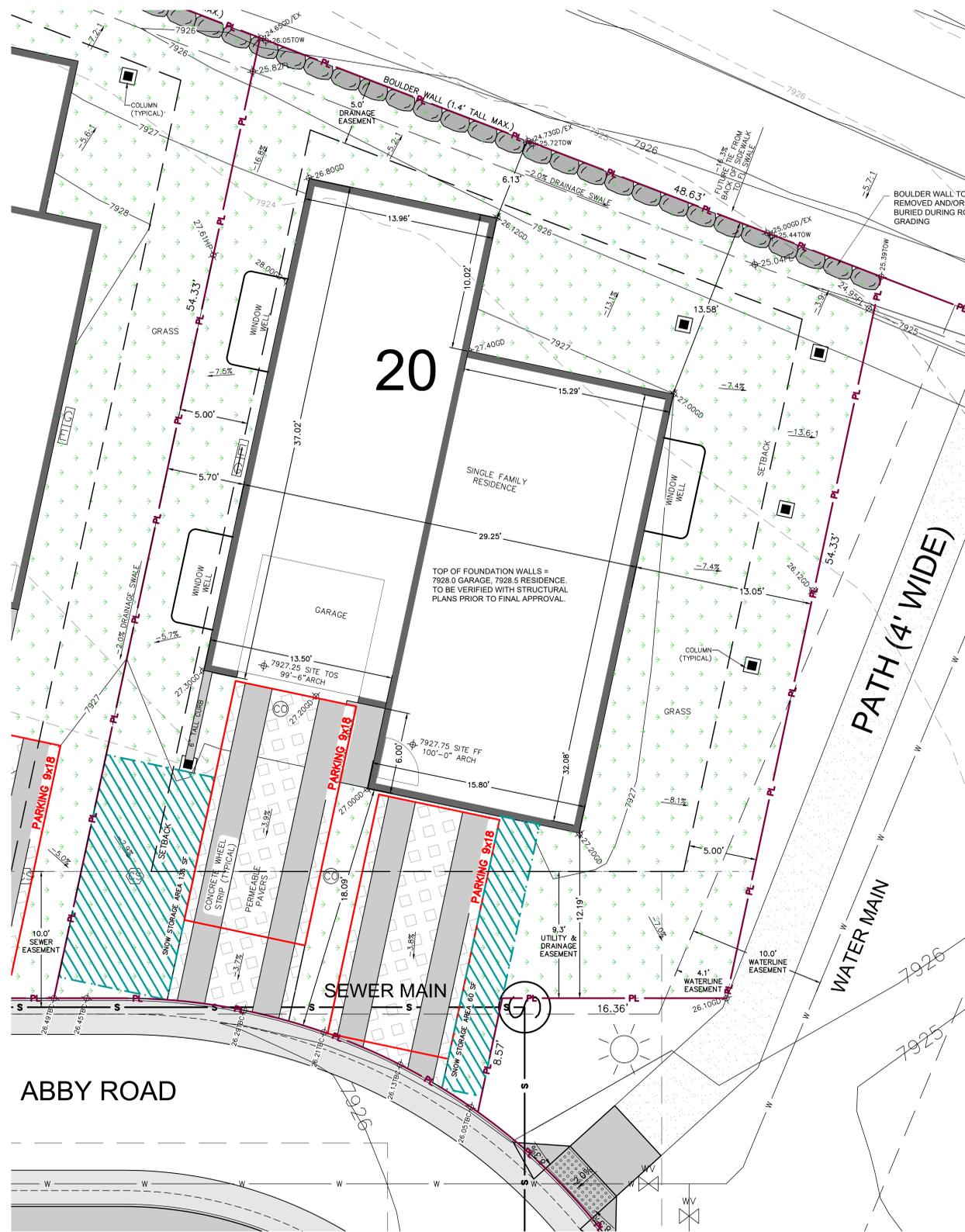
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

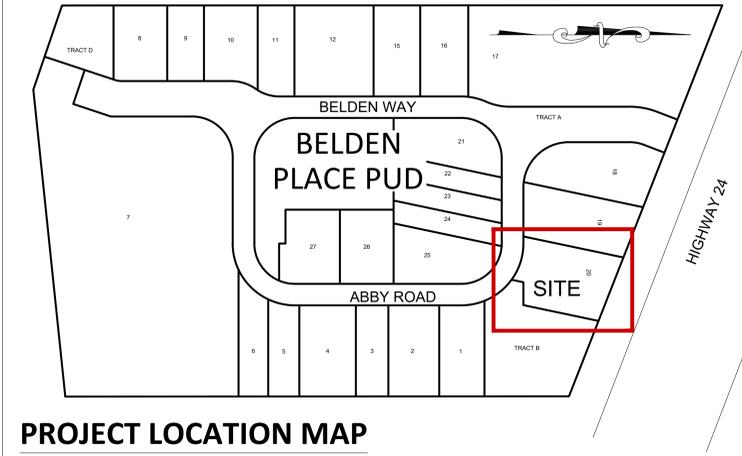
Title: PROPOSED SITE PLAN

Sheet:

C.111



SITE PLAN W/ GRADING



PROJECT LOCATION MAP

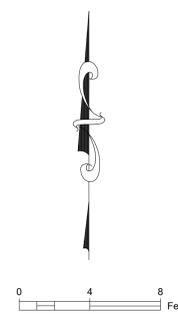
UNIT 20

SHEET INDEX:

- C.1 SITE PLAN W/ GRADING
- C.2 UTILITY PLAN & EROSION CONTROL PLAN
- C.3 EROSION CONTROL DETAILS

CONTACTS

- Owner/contractor:** Peter Murray Group
 Brian Claydon
 970 390-3489
- Architect:** TAB Associates, Inc.
 56 Edwards Village Boulevard
 Edwards, CO 81632
 970 766-1470
- Structural Engineer:** KRM Consultants, Inc.
 PO Box 4572
 Vail, CO 81658
 970 949-9391
- Geotechnical Engineer:** Kumar & Associates, Inc.
 5020 County Road 154
 Glenwood Springs, CO 81601
 970 345-7988
- Water:** Town of Minturn Public Works
 Arnold Martinez
 970 445-2416
- Sewer:** Eagle River Water & Sanitation District
 970 477-5451
- Electric & Gas:** Excel Energy
 Electrical Emergency 800 895-1999
 Gas Emergency 800 895-2999
- Call before you dig:** 811



LINE KEY:

- WATER ——— W ———
- SEWER ——— S ———
- ELECTRIC ——— UEL ———
- GAS ——— GAS ———
- TELEPHONE ——— TEL ———
- CATV ——— CTV ———
- PROPERTY LINE ——— PL ———

CONTOUR LEGEND:

- EXISTING 1' CONTOUR - - - - - 7929 - - - - -
- EXISTING 5' CONTOUR - - - - - 7930 - - - - -
- PROPOSED 1' CONTOUR ——— 7929 ———
- PROPOSED 5' CONTOUR ——— 7930 ———

PROPOSED UTILITY SYMBOL KEY:

- ⊕ WATER VAULT
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊕ ELECTRIC TRANSFORMER
- ⊕ CABLE TV PEDESTAL
- ⊕ ELECTRIC SPICE VAULT
- ⊕ WATER SERVICE CURB STOP
- ⊕ SANITARY SEWER CLEANOUT
- ⊕ STREET LIGHT

ABBREVIATION KEY

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- GD = GRADE/GROUND
- HP = HIGH POINT
- LP = LOW POINT
- TBC = TOP BACK OF CURB
- TD = TRENCH DRAIN
- TD = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOW = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE
- WV = WATER VALVE
- WW = WINDOW WELL

NOT FOR CONSTRUCTION

DATE	REVISION
2/6/25	DRB Coordination
3/17/25	DRB Updates
4/17/25	DRB Updates 2

Title: **SITE PLAN**

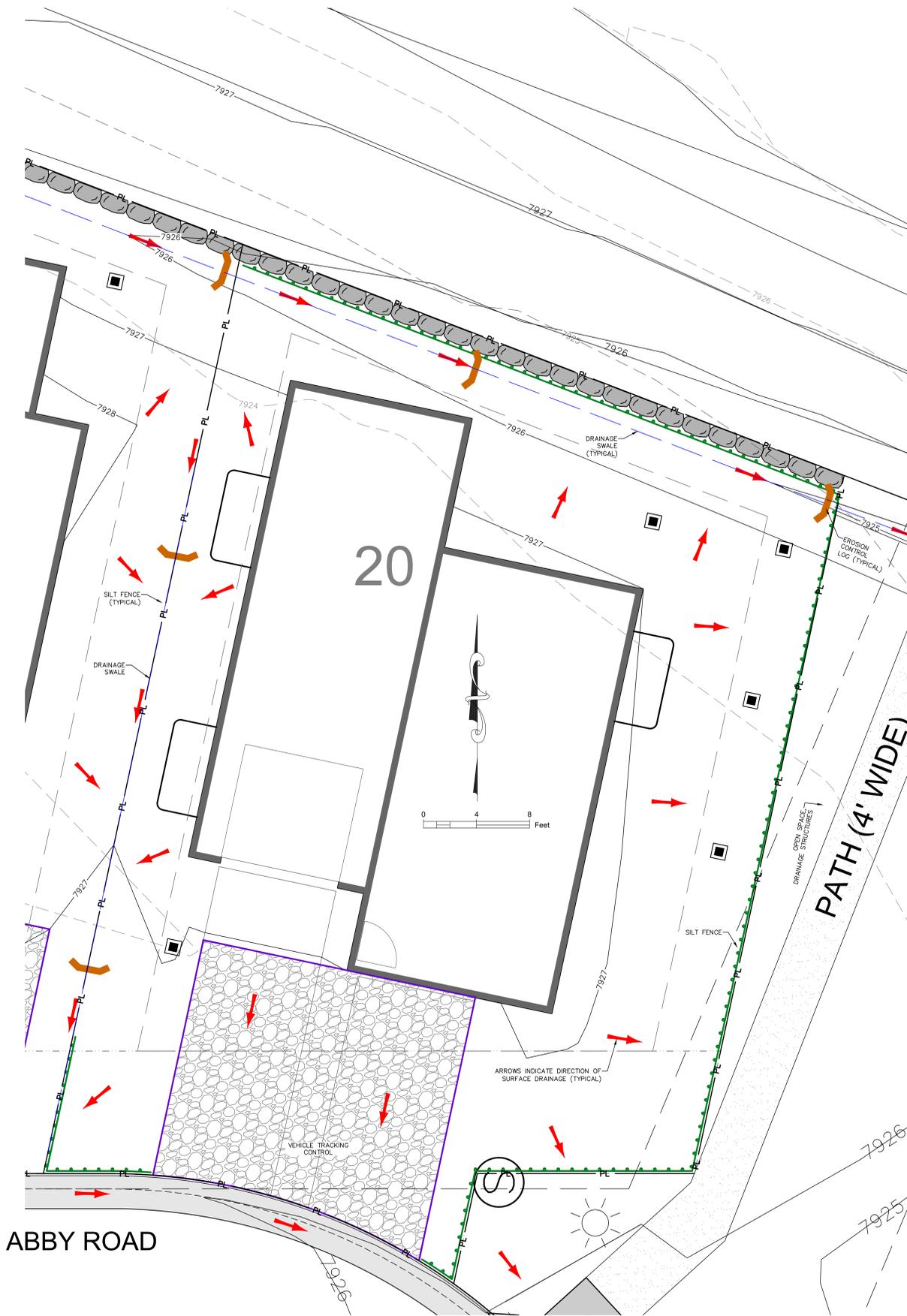
Sheet: **C.1**

TIMBERLINE ENGINEERING CIVIL, STRUCTURAL
 218 E. Valley Rd., p 970.363.9869
 STE 104-PMB 177
 Carbonate, Colorado 81623
 timberlineengineering@gmail.com

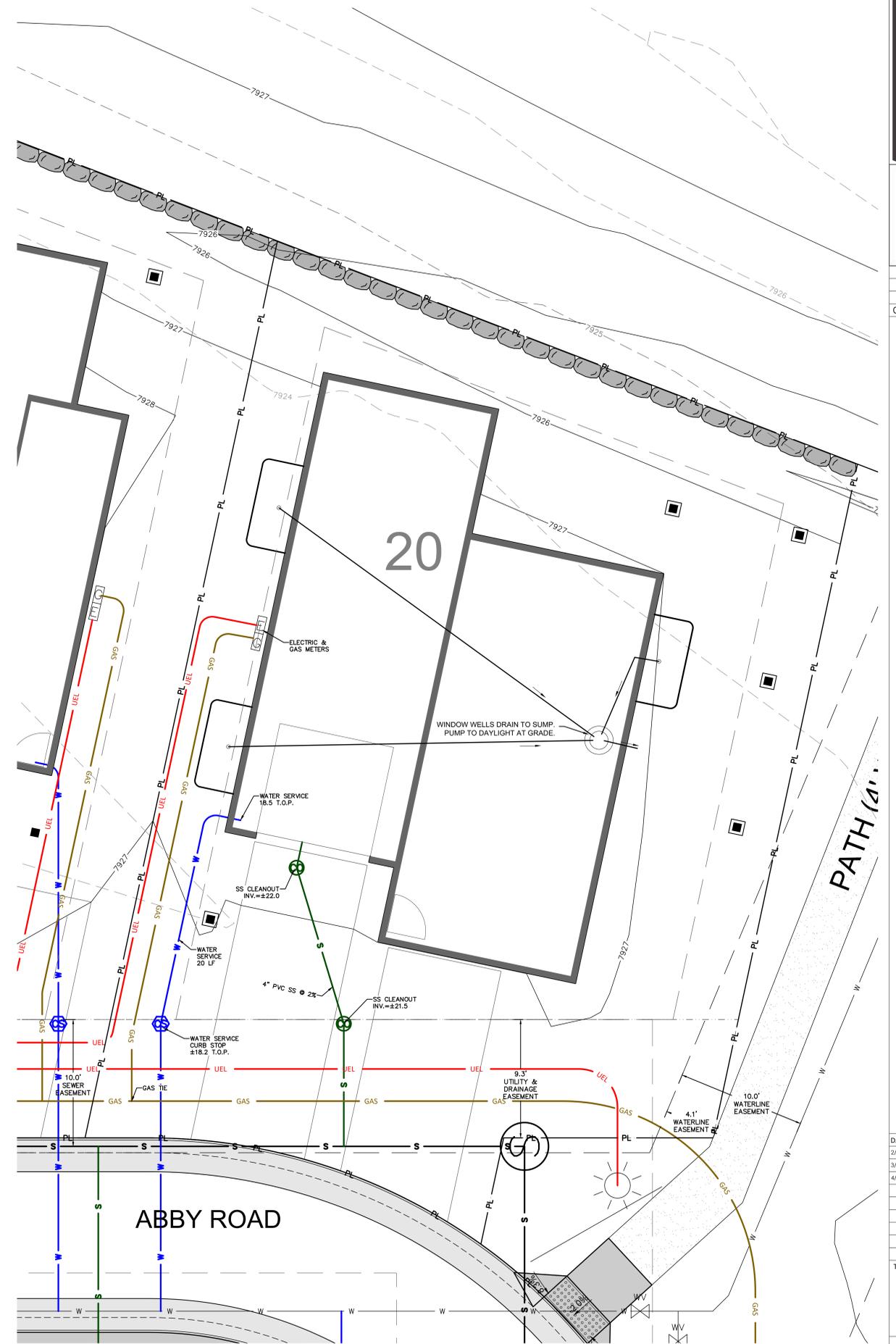
PROFESSIONAL ENGINEER
 39276

COPYRIGHT

Belden Place
UNIT 20 - SINGLE FAMILY RESIDENCE
 Minturn, Colorado



EROSION CONTROL PLAN



UTILITY PLAN

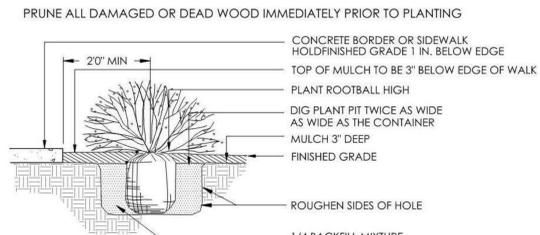
NOTES:
 1. WATER SERVICE LINES SHALL BE TYPE K COPPER
 2. WATER SERVICE CONNECTIONS ARE TO BE COMPRESSION OR SILVER-SOLDERED

NOT FOR CONSTRUCTION

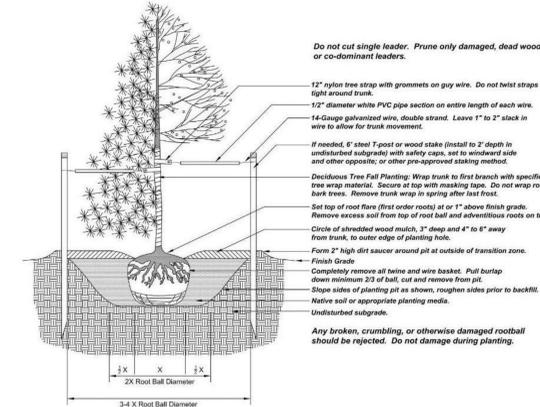
DATE	REVISION
2/6/23	DRB Coordination
3/17/23	DRB Updates
4/17/23	DRB Updates 2

Title:
UTILITY PLAN & EROSION CONTROL PLAN

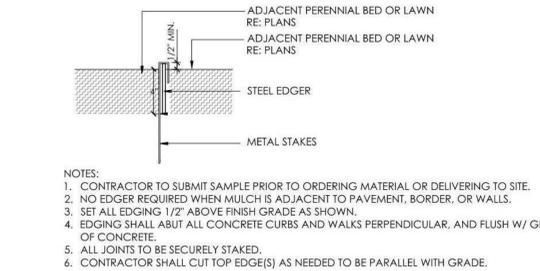
Sheet:



1 SHRUB PLANTING
SCALE: 3/4" = 1'-0"



3 TREE PLANTING
SCALE: N.T.S.



8 METAL EDGER
SCALE: 3/4" = 1'-0"

ORNAMENTAL TREES

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
AMG	<i>Amelanchier x grandiflora</i>	Autumn Brilliance Serviceberry	as shown	8' clump	21
CMT	<i>Crataegus x mordanensis</i> 'Toba'	Toba Hawthorn	as shown	2' Cal	5
MAS	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	as shown	2' Cal	8
MAT	<i>Malus</i> 'Thunderchild'	Thunderchild Crabapple	as shown	2' Cal	5
QUG	<i>Quercus gambelii</i>	Gambel Oak	as shown	8' clump	11

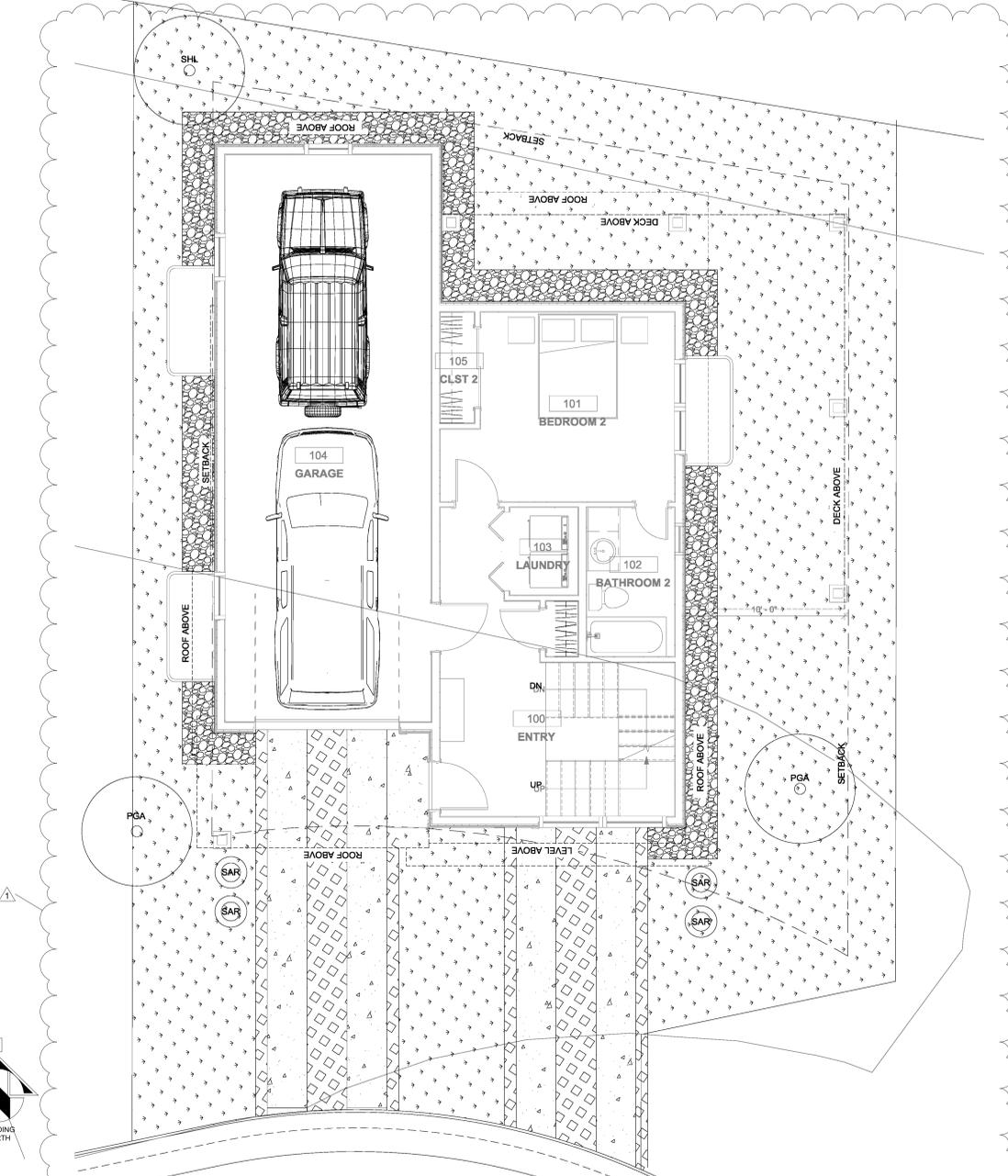
DECIDUOUS SHRUBS

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
SAR	<i>Salix repens</i>	Creeping Willow	as shown	5 Gal.	9
SOS	<i>Sorbaria sorbifolia</i>	Ash-leaf Spiraea	as shown	5 Gal.	6
SPM	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	as shown	5 Gal.	9
SYO	<i>Symphoricarpos occidentalis</i>	Western Snowberry	as shown	5 Gal.	4

PLAN IS ENLARGED DETAIL AND UPDATE FROM THE PUD APPROVED PLAN. REFER TO PUD APPROVED PLAN FOR ADDITIONAL INFORMATION

SITE CALCULATIONS

SITE SQFT	3,116 SQFT
BUILDING COVERAGE	1,269 SQFT
IMPERVIOUS COVERAGE (Includes Building)	1,508 SQFT
SITE COVERAGE ALLOWED	50%
SITE COVERAGE	48.3%



GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

SIGHT TRIANGLE NOTES:

PEDESTRIAN SIGHT TRIANGLES: NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE PEDESTRIAN SIGHT TRIANGLE.

CORNER SIGHT TRIANGLES: NO ITEMS TALLER THAN 30" MAY BE PLACED WITHIN THE CORNER SIGHT TRIANGLE, EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT. TREES MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES.

ROADWAY SIGHT TRIANGLES: NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE ROADWAY SIGHT TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

TREE PROTECTION ZONE (TPZ) NOTES:

- CONTRACTOR SHALL VERIFY FINAL BOUNDARIES OF TPZ PRIOR TO COMMENCEMENT OF CONSTRUCTION/DEMOLITION ACTIVITIES. EXCESSIVE BRANCH PRUNING ON EXISTING TREES FOR CONSTRUCTION CLEARANCE WILL NOT BE PERMITTED. PRUNING FOR BUILDING CLEARANCE SHALL BE MINIMIZED. DUE TO SCOPE OF CONSTRUCTION AND SIZE OF EX. ROW TREES, USE CHAIN LINK FENCING TO ESTABLISH TPZ.
- THE TREE LAWN WITHIN THE BOUNDARY OF THE TREE DRIPLINE SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINE WHERE CONCRETE & HARDSCAPE ARE REMOVED.

LANDSCAPE NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
- PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR. AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
- TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
- TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
- WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
- FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.

SOIL PREPARATION:

SOIL SHALL BE AMENDED BASED ON THE SOIL TEST RECOMMENDATIONS (TO ADDRESS SPECIFIC DEFICIENCIES & ISSUES IN EXISTING SOIL), THE FOLLOWING INCLUDES THE SOIL TEST REQUIREMENTS AND RECOMMENDATIONS TO BE USED IN CONJUNCTION WITH THE SOIL TEST RESULTS:

- SOIL ANALYSIS, BULK DENSITY TESTING AND REMEDIATION REQUIRED. SOIL ANALYSIS FROM A LOCAL ACCREDITED SOIL ANALYSIS LABORATORY WITH EXPERIENCE IN LOCAL URBAN SOILS SHALL BE REQUIRED WHEN PLANTS ARE TO BE INSTALLED IN GREEN SPACE. ALL SOIL REMEDIATION SHALL BE BASED ON THE SOIL ANALYSIS.
 - MINIMUM SOIL ANALYSIS MUST DETERMINE SOIL TEXTURE AND STRUCTURE, PH BALANCE, SOIL SALINITY, FREE LIME, ORGANIC MATTER (OM) CONTENT, PLANT AVAILABLE NUTRIENTS AND COMPACTION.
 - DEPTH OF LANDSCAPE SOIL ANALYSIS SHALL BE 24IN FOR TREES AND 8IN FOR ALL OTHER AREAS
 - SOIL REMEDIATION REQUIRED BASED ON SOIL ANALYSIS.
- COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
 - ORGANIC MATTER: 25% MINIMUM.
 - SALT CONTENT: 5.0 MMHOS/CM MAXIMUM.
 - PH: 8.5 MAXIMUM.
 - CARBON TO NITROGEN RATIO OF 10:1 TO 20:1.
 - PARTICLE SIZE NO PARTICLE SMALLER THAN SILT OR CLAY SIZE, OR LARGER THAN 1/2" DIAMETER
 - ACCEPTABLE COMPOST PRODUCT: CLASS I COMPOST, SUCH AS ECOGRO OR BIO-COMP, AS PROVIDED BY A1 ORGANICS, EATON, CO. OR APPROVED EQUAL.
- FINISH GRADE TO BE BELOW THE EDGE OF PAVEMENT PRIOR TO SODDING OR PLANTING:
 - SEEDED/SODDED AREAS: ALLOW 1 INCH FOR SOD.
 - PLANTED AREAS: ALLOW 3 INCHES FOR MULCH.
- AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO DEPTH OF 6" MINIMUM UNTIL SOIL IS WELL PULVERIZED AND THOROUGHLY MIXED.



TAB Associates
The Architectural Balance
0050 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabassociates.com
Civil Engineer
Timberline Engineering (970) 963-9869
Structural Engineer
KRM Consultants, Inc. (970) 949-9391
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:

No.	Description	Date
1	Revision 1	Date 1

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Landscape Plan

Project No:
2215

Sheet No:
A1.1



TAB
Associates
The Architectural Balance
0050 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: 970-766-4471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Lower Level Floor Plans

Project No:
2215

Sheet No:
A2.0

NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 3'-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

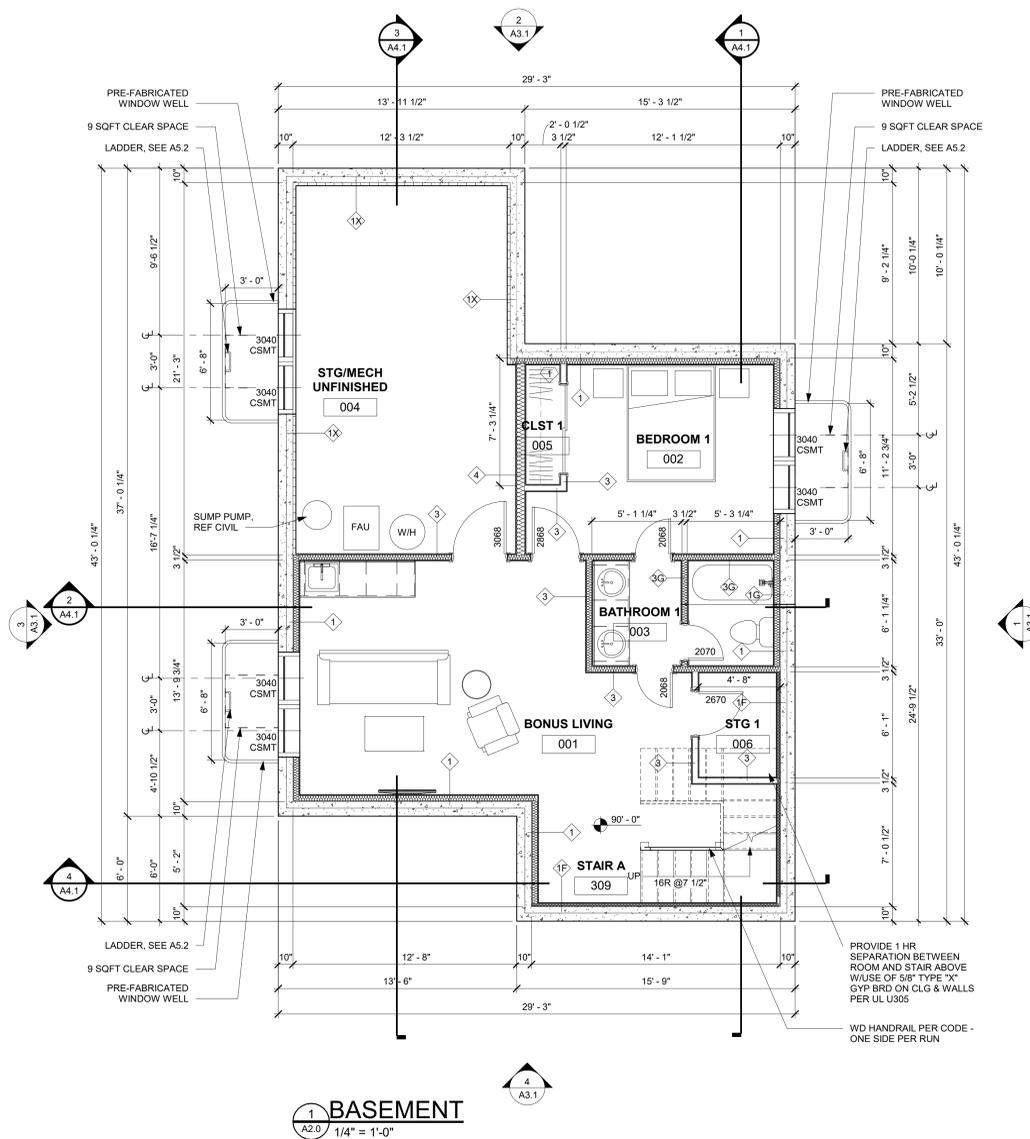
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1/2" EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1/2" CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

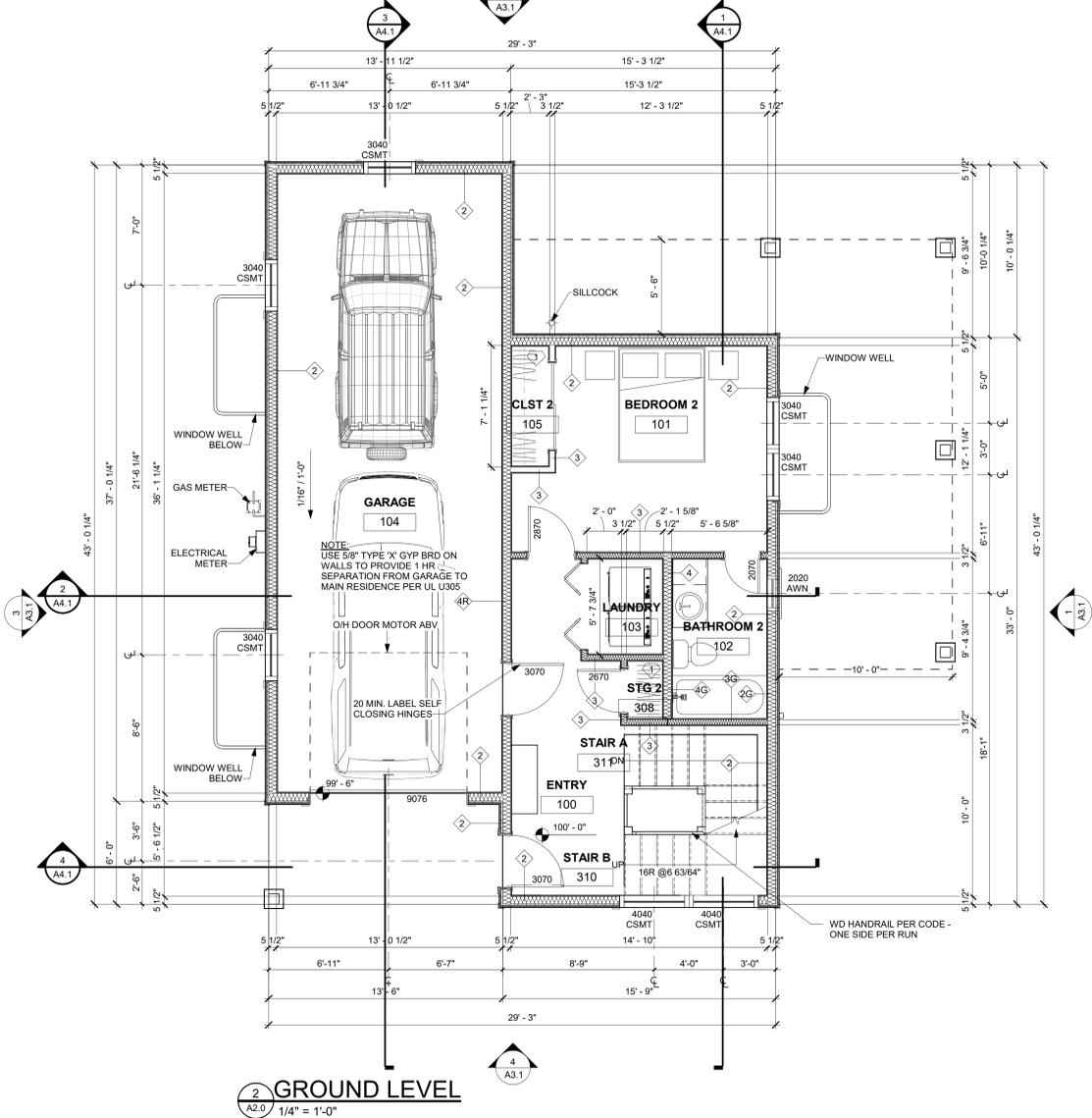
1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN, REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES, TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILING, ETC. SO AS TO MAINTAIN THE FIRE-RATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITH 1/4" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS.
13. PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO: TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.3.
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXX.XX ON CIVIL DRAWINGS.
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



1 BASEMENT
A2.0 1/4" = 1'-0"



2 GROUND LEVEL
A2.0 1/4" = 1'-0"

CONTRACTOR TO PROVIDE THE FOLLOWING AS DEFERRED SUBMITTALS FOR BUILDING PERMIT

MECHANICAL
M1. PLEASE PROVIDE THE REQUIRED MANUAL J AND S, M1401.2
M2. PLEASE PROVIDE THE REQUIRED MANUAL D, M1601.1
M3. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED WHOLE HOUSE VENTILATION SYSTEM, M1505.4
M4. SHEET A2.1: IF ALL THE GAS FIRED APPLIANCES ARE NOT SEALED COMBUSTION AND THE KITCHEN EXHAUST HOOD IS GREATER THAN 400 CFM A MAKEUP AIR SYSTEM WILL BE REQUIRED. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED MAKEUP AIR SYSTEM IF NEEDED.

PLUMBING
P1. SHEET A2.1: LOWER FLOOR. PLEASE INDICATE HOW THE WATER HEATER AND ASSOCIATED PIPING WILL BE PROTECTED FROM FREEZING. P2603.5
PLEASE INDICATE THE REQUIRED 3 X 3 X 7' HIGH CLEAR SPACE AT THE WATER HEATER. R403.5.4 AS AMENDED.
P2. INDICATE THE REQUIRED CONDENSATE DRAIN AT THE WATER HEATER THAT WILL ALLOW NATURAL DRAINAGE. R403.5.4 AS AMENDED.
PLEASE NOTE THAT THAT THESE TWO COMMENTS ARE INTENDED TO PROVIDE SPACE AND DRAINAGE FOR A HEAT PUMP WATER HEATER. WE ARE NOT AWARE THAT HEAT PUMP WATER HEATERS CAN BE INSTALLED IN AN UNCONDITIONED OR CONDITIONED GARAGE.

CONTRACTOR TO PROVIDE THE FOLLOWING FOR IECC REQUIREMENTS AND COMPLETION

REQUIRED BLOWER DOOR TEST AT 3-ACH50, R402.4.1.3
A. REQUIRED DUCT TIGHTNESS TEST, R403.5.5
IV. REQUIRED DOMESTIC HOT WATER PIPING INSULATION, R403.5.2
VI. THE REQUIRED ITEMS THAT ARE TO BE LISTED ON THE COMPLIANCE CERTIFICATE, R401.3 AS AMENDED

PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

CONTRACTOR TO COORDINATE DUCTING FROM THE FURNACE (IF PENETRATING THE GARAGE/HOUSE SEPARATION) WILL BE A MINIMUM OF 26 GAUGE AND THAT THE FURNACE HAS NO OPENINGS INTO THE GARAGE. R302.5.2. NOTE THAT WE ARE NOT AWARE OF ANY FURNACE THAT IS AIRTIGHT. HAVING THE FURNACE AND THE WATER HEATER WITHIN THE GARAGE SPACE CAN BE DIFFICULT AT BEST.

AREA SUMMARY	
PROPOSED CONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	565 SF
GROUND LEVEL	466 SF
MAIN LEVEL	895 SF
UPPER LEVEL	777 SF
TOTAL	2,703 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	265 SF
GROUND LEVEL	474 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	739 SF
TOTAL COND & UNCOND	3,462 SF





TAB
Associates
The Architectural Balance
0050 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: 970-766-4471
email: tab@tab.net
www.tabassociates.com

Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE. SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1/2" CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILING, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS AS ACTUAL.
12. "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS.
13. PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILING. LOCATIONS INCLUDE BUT NOT LIMITED TO: TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXXXX ON CIVIL DRAWINGS.
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

Revisions:

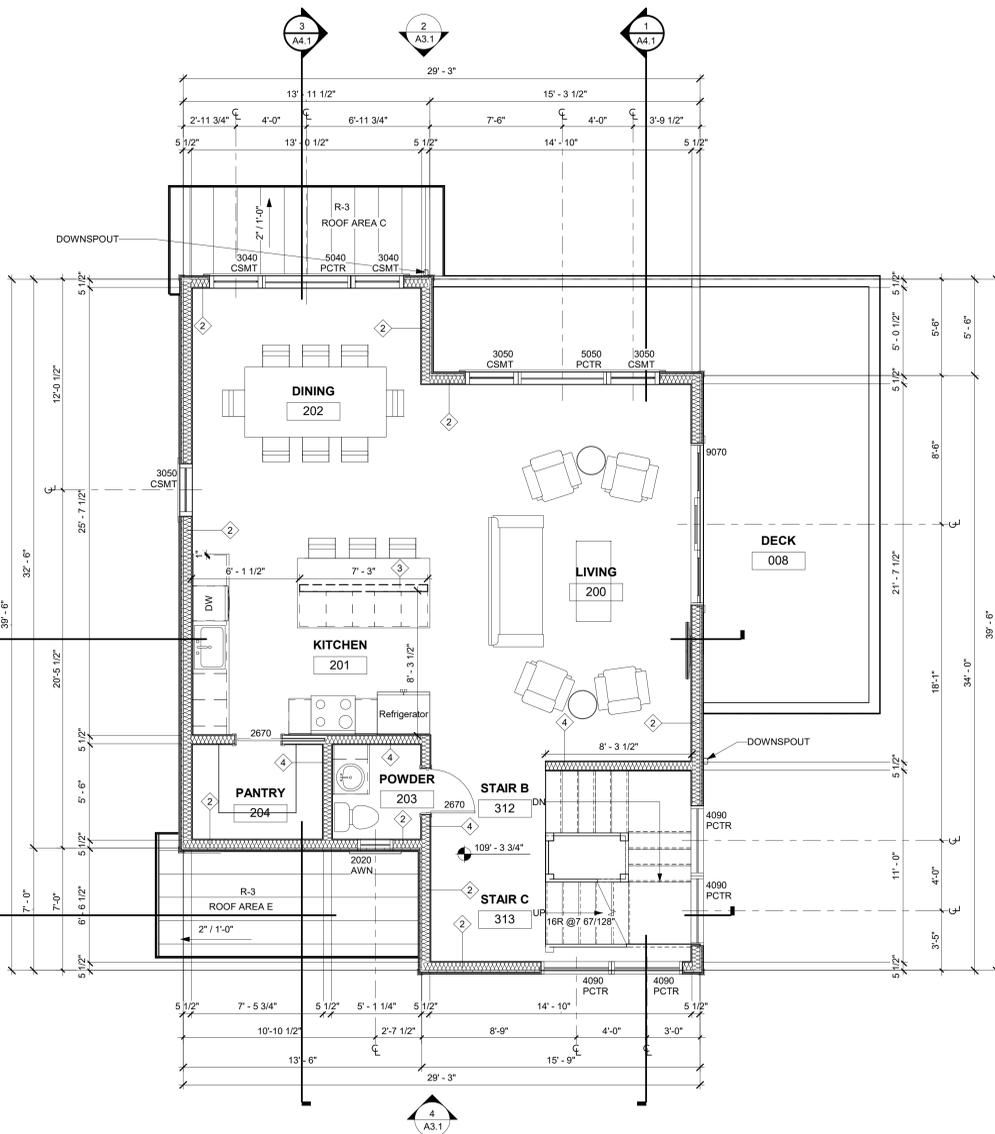
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

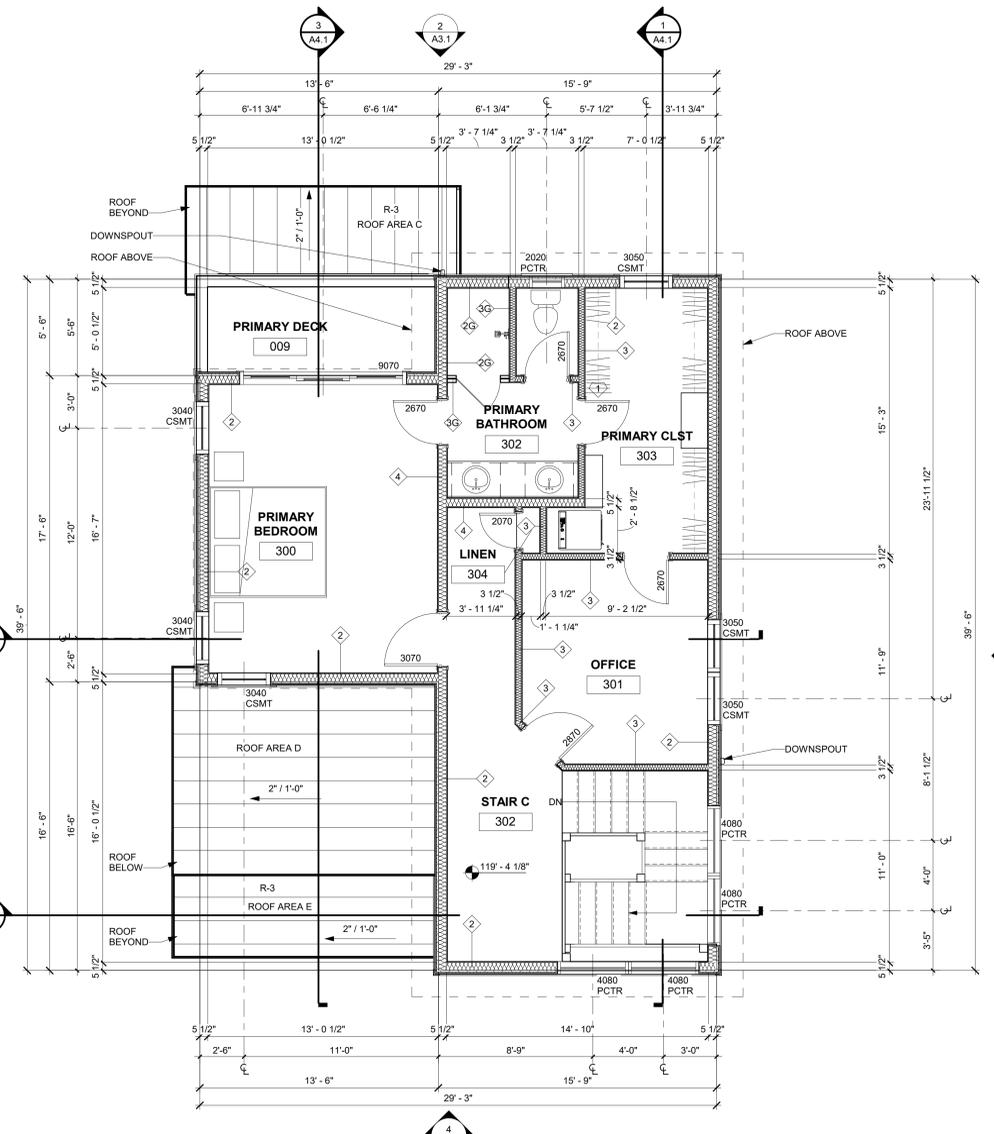
Sheet Title:
Upper Level Floor Plans

Project No:
2215

Sheet No:
A2.2



1 MAIN LEVEL
A2.2 1/4" = 1'-0"



2 UPPER LEVEL
A2.2 1/4" = 1'-0"

PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

CONTRACTOR TO PROVIDE THE FOLLOWING AS DEFERRED SUBMITTALS FOR BUILDING PERMIT

MECHANICAL
M1. PLEASE PROVIDE THE REQUIRED MANUAL J AND S, M1401.2
M2. PLEASE PROVIDE THE REQUIRED MANUAL D, M1601.1
M3. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED WHOLE HOUSE VENTILATION SYSTEM, M1505.4
M4. SHEET A2.1: IF ALL THE GAS FIRED APPLIANCES ARE NOT SEALED COMBUSTION AND THE KITCHEN EXHAUST HOOD IS GREATER THAN 400 CFM A MAKEUP AIR SYSTEM WILL BE REQUIRED. PLEASE PROVIDE THE CONSTRUCTION DETAILS FOR THE PROPOSED MAKEUP AIR SYSTEM IF NEEDED.

PLUMBING
P1. SHEET A2.1: LOWER FLOOR. PLEASE INDICATE HOW THE WATER HEATER AND ASSOCIATED PIPING WILL BE PROTECTED FROM FREEZING. P2603.5
PLEASE INDICATE THE REQUIRED 3' X 3' X 7' HIGH CLEAR SPACE AT THE WATER HEATER. R403.5.4 AS AMENDED
B. INDICATE THE REQUIRED CONDENSATE DRAIN AT THE WATER HEATER THAT WILL ALLOW NATURAL DRAINAGE. R403.5.4 AS AMENDED
PLEASE NOTE THAT THESE TWO COMMENTS ARE INTENDED TO PROVIDE SPACE AND DRAINAGE FOR A HEAT PUMP WATER HEATER. WE ARE NOT AWARE THAT HEAT PUMP WATER HEATERS CAN BE INSTALLED IN AN UNCONDITIONED OR CONDITIONED GARAGE.

CONTRACTOR TO PROVIDE THE FOLLOWING FOR IECC REQUIREMENTS AND COMPLETION
REQUIRED BLOWER DOOR TEST AT 3-Ach50. R402.4.1.3
A. REQUIRED DUCT TIGHTNESS TEST. R403.5.5
IV. REQUIRED DOMESTIC HOT WATER PIPING INSULATION. R403.5.2
VI. THE REQUIRED ITEMS THAT ARE TO BE LISTED ON THE COMPLIANCE CERTIFICATE. R401.3 AS AMENDED

CONTRACTOR TO COORDINATE DUCTING FROM THE FURNACE (IF PENETRATING THE GARAGE/HOUSE SEPARATION) WILL BE A MINIMUM OF 28 GAUGE AND THAT THE FURNACE HAS NO OPENINGS INTO THE GARAGE. R302.5.2. NOTE THAT WE ARE NOT AWARE OF ANY FURNACE THAT IS AIRTIGHT, HAVING THE FURNACE AND THE WATER HEATER WITHIN THE GARAGE SPACE CAN BE DIFFICULT AT BEST.

AREA SUMMARY

PROPOSED CONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	585 SF
GROUND LEVEL	466 SF
MAIN LEVEL	895 SF
UPPER LEVEL	777 SF
TOTAL	2,723 SF

PROPOSED UNCONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	265 SF
GROUND LEVEL	474 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	739 SF

TOTAL COND & UNCOND 3,462 SF





TAB
Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: 970-766-4471
email: tab@tab.net
www.tabnet.com

Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Roof Plan

Project No:
2215

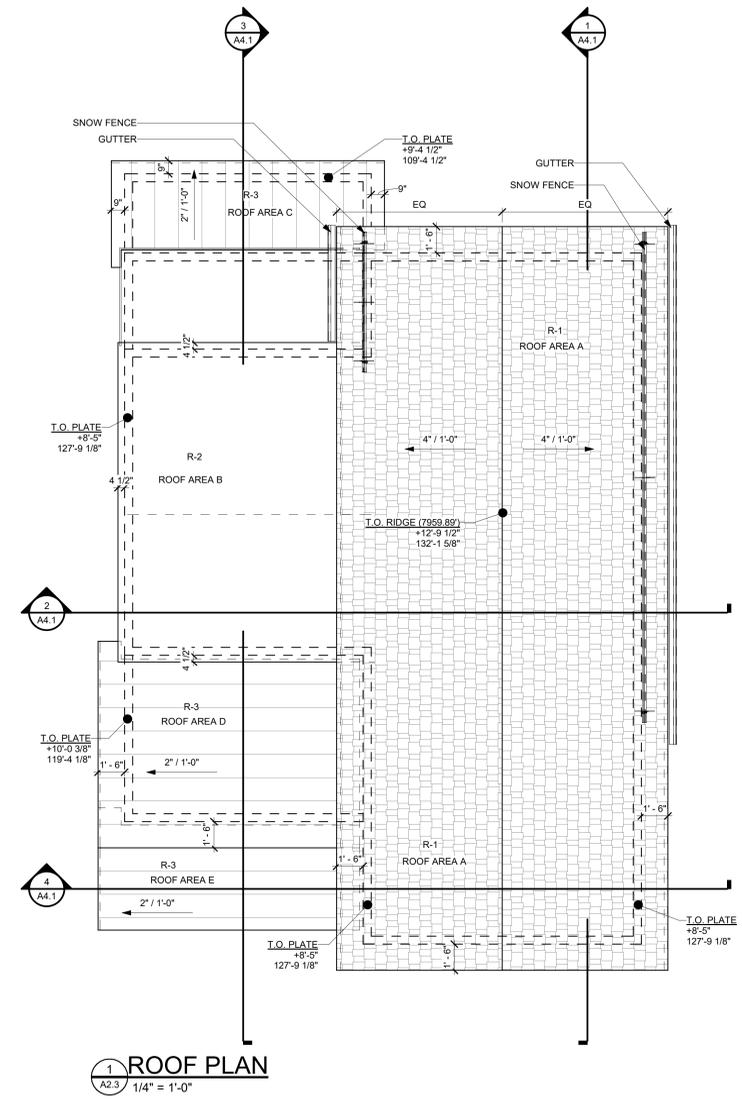
Sheet No:
A2.3

NOTES:

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
 - SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
 - PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO, TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
 - WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
 - REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
 - EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
 - VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
 - PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
 - SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
 - ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
 - DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXX.XX ON CIVIL DRAWINGS.
 - ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
 - CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

- ROOF FINISH LEGEND**
- NOTES:**
- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE: STRUCTURAL.
 - ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE: DIAGRAM ON ELECTRICAL PLANS.
 - T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING.
 - CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS.
- R-1 RANDOM ASPHALT SHINGLES, SEE SYSTEM NOTES SHEET A0.1
 - R-2 60 MIL EPDM ROOF SEE SYSTEM NOTES SHEET A0.1
 - R-3 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1
- COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 1'-6" FROM FACE OF FRAMING TYP. U.N.O.
- ROOF BEAMS - ROUGH SAWN TIMBER

- STICK RIDGE: B.O. RIDGE +20'-2.5/8" (120'-2.5/8" (3539.221) T.O. RIDGE 8360.68'
- T.O. WALL PLATE: T.O. PLATE +10'-0" 110'-0"
- FLOOR SPOT ELEV: MAIN LEVEL T.O. PLYND/CONC/GYP 100'-0" (8466.5')
- TRUSS RIDGE: +20'-2.5/8" (120'-2.5/8" T.O. RIDGE 8360.68'
- TRUSS BEARING: T.O. PLATE +10'-0" 110'-0" +16" HEEL



PROVIDE ROUGH IN FOR ROOF MOUNTED SOLAR PV

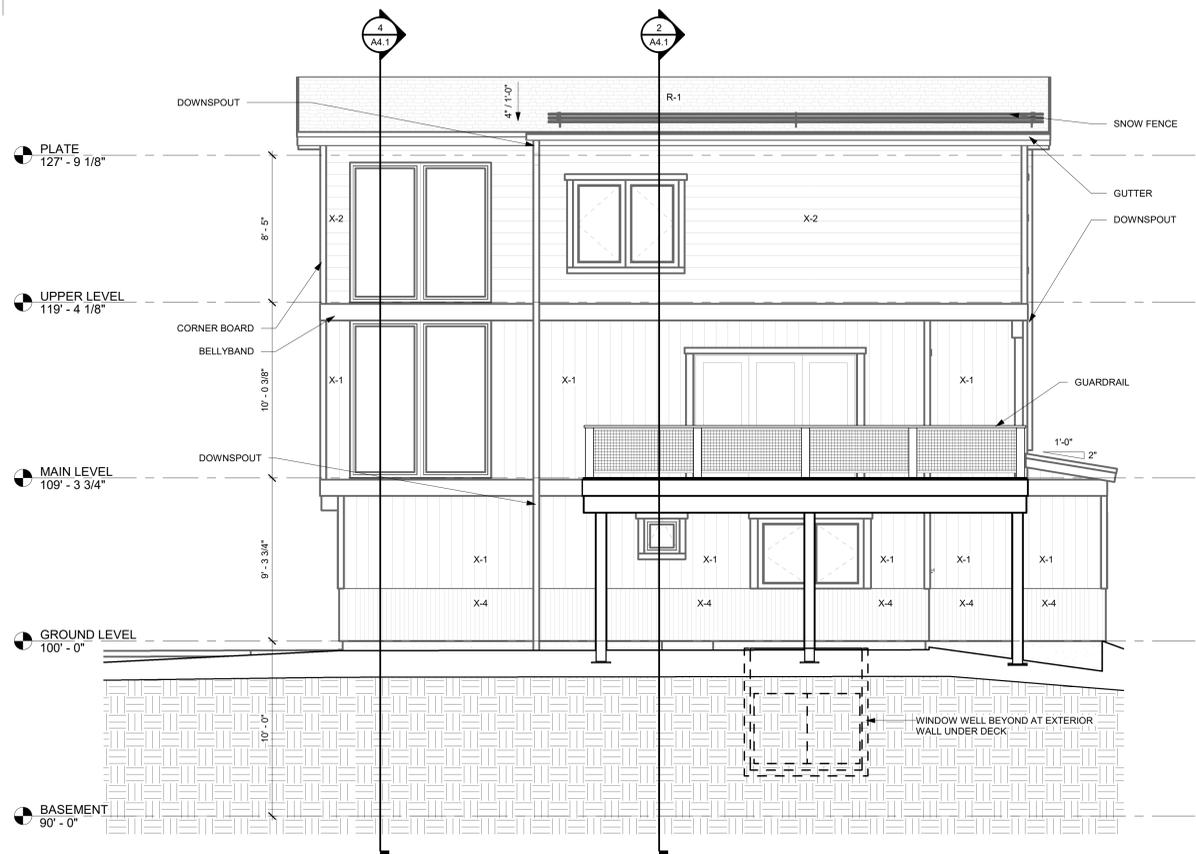
AREA SUMMARY

PROPOSED CONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	585 SF
GROUND LEVEL	466 SF
MAIN LEVEL	895 SF
UPPER LEVEL	777 SF
TOTAL	2,723 SF

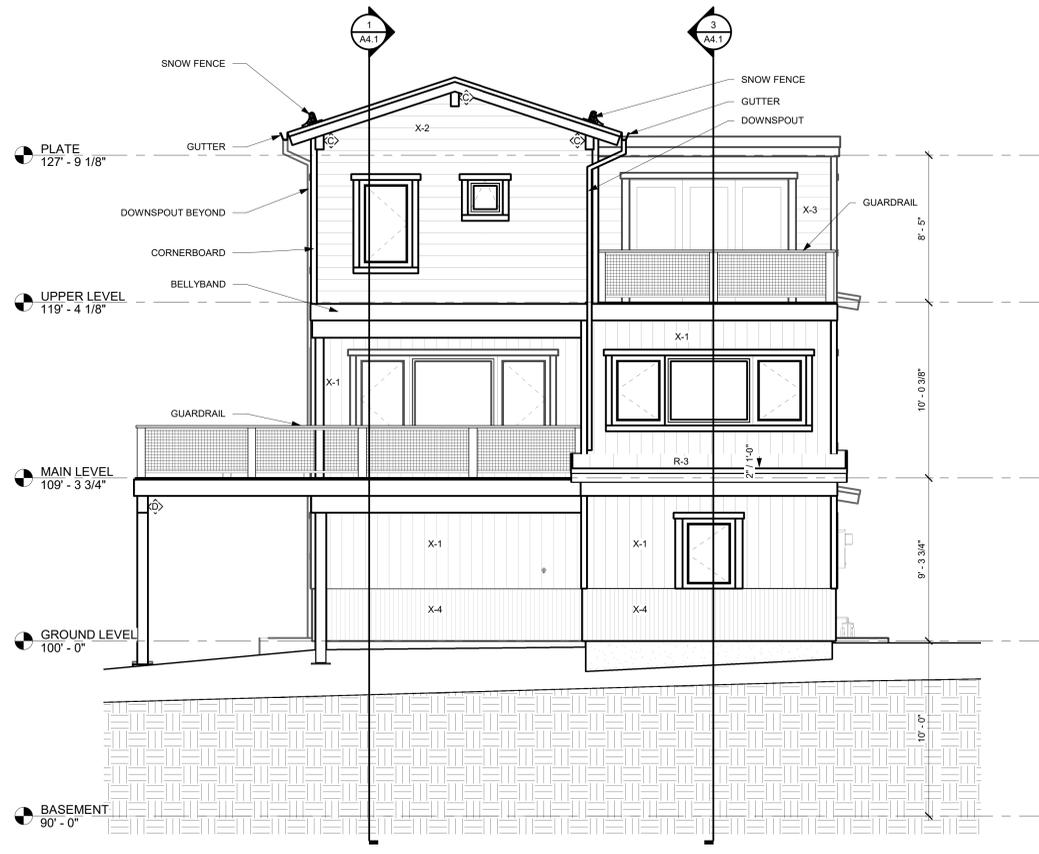
PROPOSED UNCONDITIONED SQUARE FOOTAGE	
BASEMENT LEVEL	265 SF
GROUND LEVEL	474 SF
MAIN LEVEL	0
UPPER LEVEL	0
TOTAL	739 SF

TOTAL COND & UNCOND 3,462 SF





1 RIGHT SIDE ELEVATION
A3.1 1/4" = 1'-0"

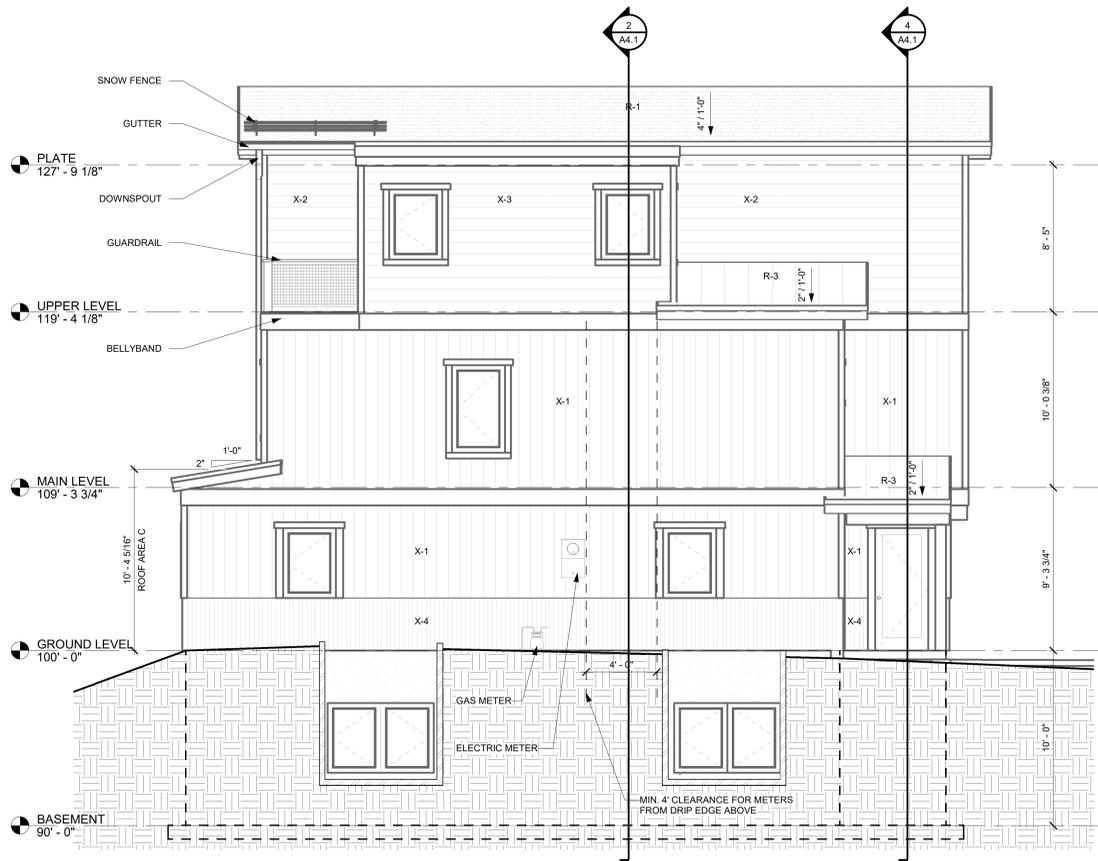


2 REAR ELEVATION
A3.1 1/4" = 1'-0"

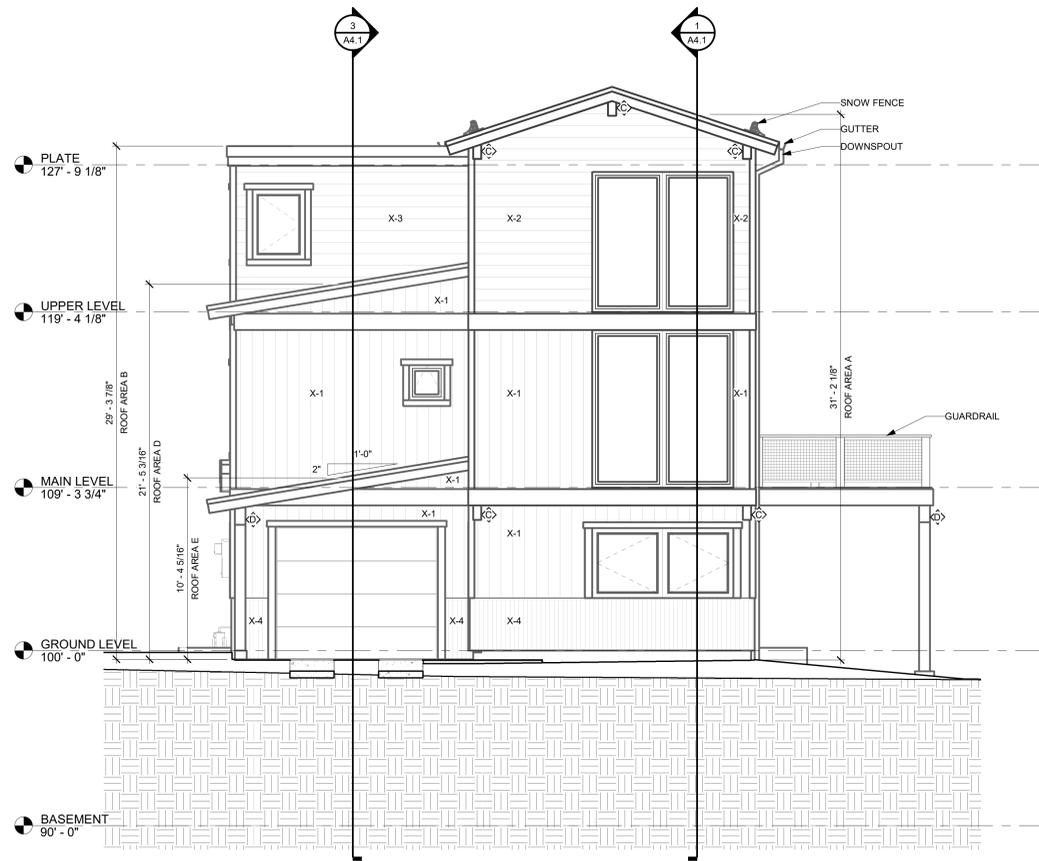
Roof Mark	Roof Area (SF)	Roof Area %	Avg Hgt (FT)	Weighted Avg (FT)
A	795.87	57.89	31.18	1788.78
B	254.12	18.40	29.33	539.59
C	78.99	5.72	10.36	59.24
D	161.20	11.67	21.44	250.21
E	90.11	6.52	10.36	67.58
	1381.29	100.00	102.67	2715.41
				27-1 13/16"

- NOTES:**
- EXTERIOR MATERIAL LEGEND:**
- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING COLOR - PELICAN
 - X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - PELICAN
 - X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - CASCADE
 - X-4 VERTICAL CORRUGATED METAL SIDING COLOR - BURNISHED SLATE
- R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF
- EXTERIOR ELEVATION GENERAL NOTES:**
1. EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
 2. REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
 3. REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
 4. ASSUME ALL PAINTED SURFACES WILL BE REPAINTED THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
 5. PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
 6. PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE, INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
 7. SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
 8. WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
 9. DO NOT SCALE DRAWINGS.
 10. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.

- BEAMWORK LEGEND:**
- A 4X10
 - B 6X10
 - C 6X12
 - D 8X12
 - E 10X14
 - F 12X16



3 LEFT SIDE ELEVATION
A3.1 1/4" = 1'-0"



4 FRONT ELEVATION
A3.1 1/4" = 1'-0"



TAB Associates
The Architectural Balance
0656 Edwards Village Blvd.
Suite 219
Edwards, CO 81432
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

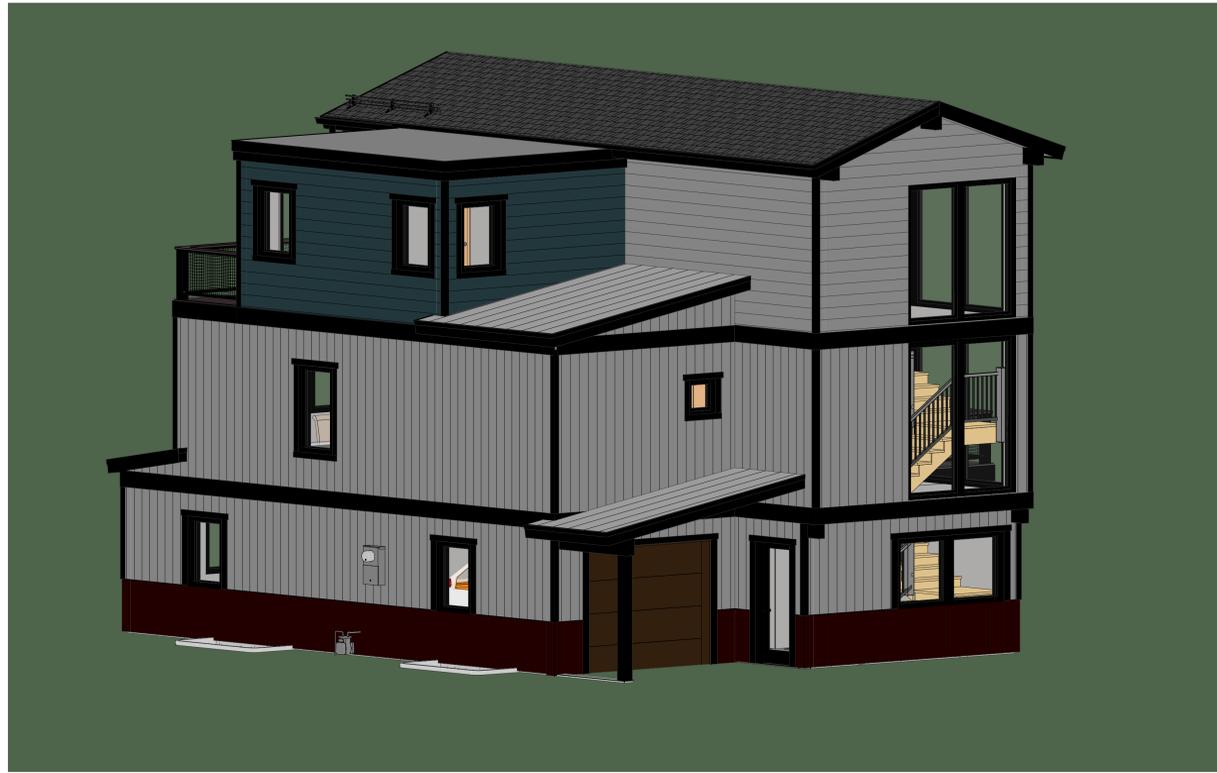
Revisions:		
No.	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

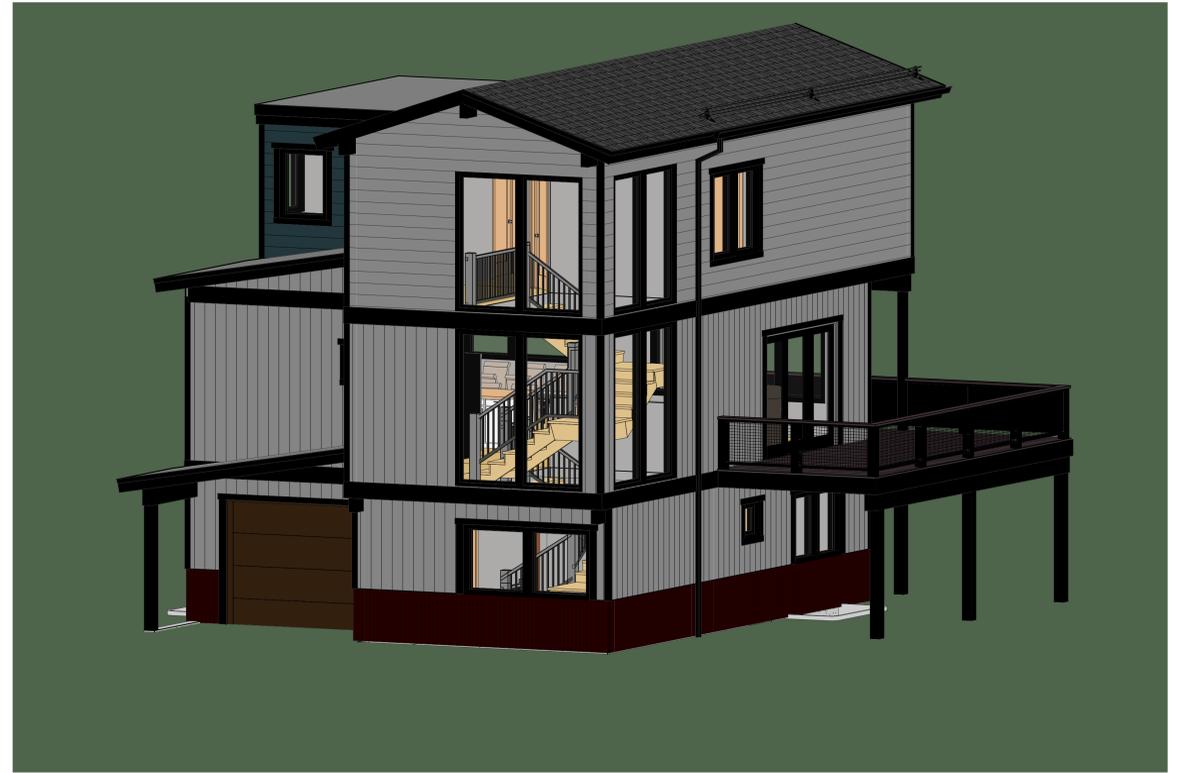
Sheet Title:
Exterior Elevations

Project No:
2215

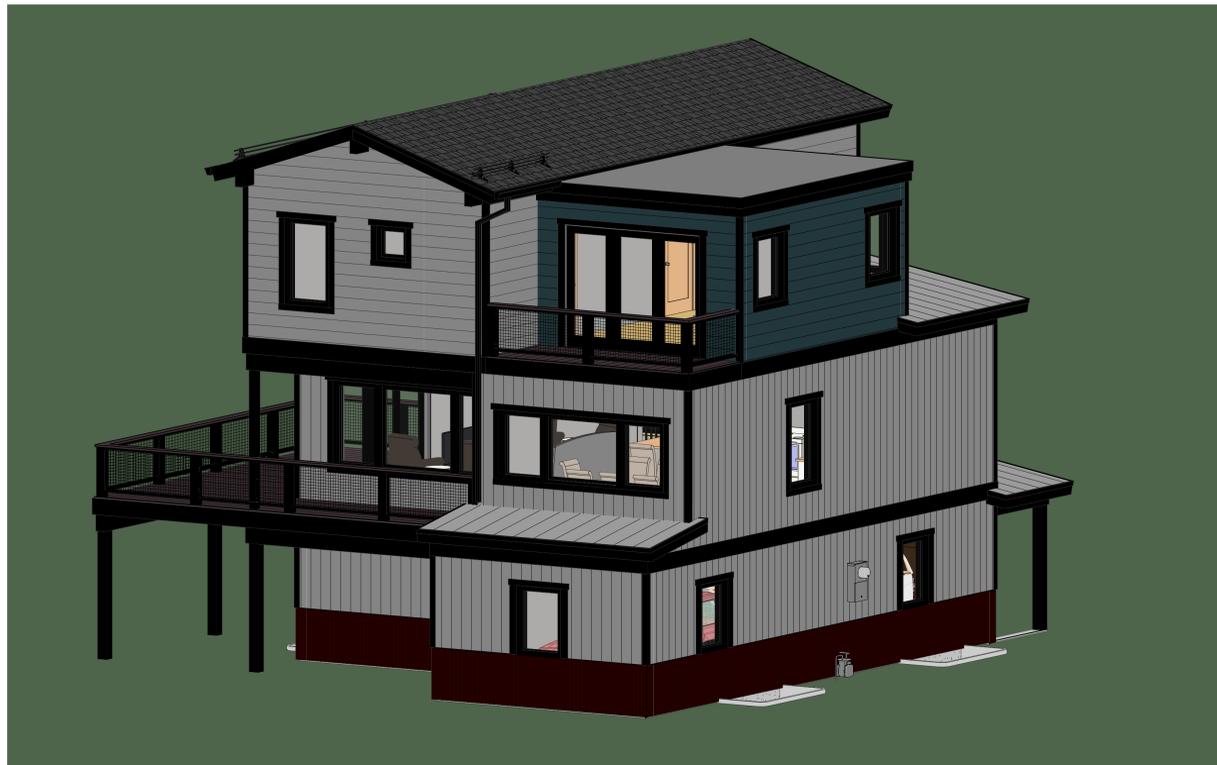
Sheet No:
A3.1



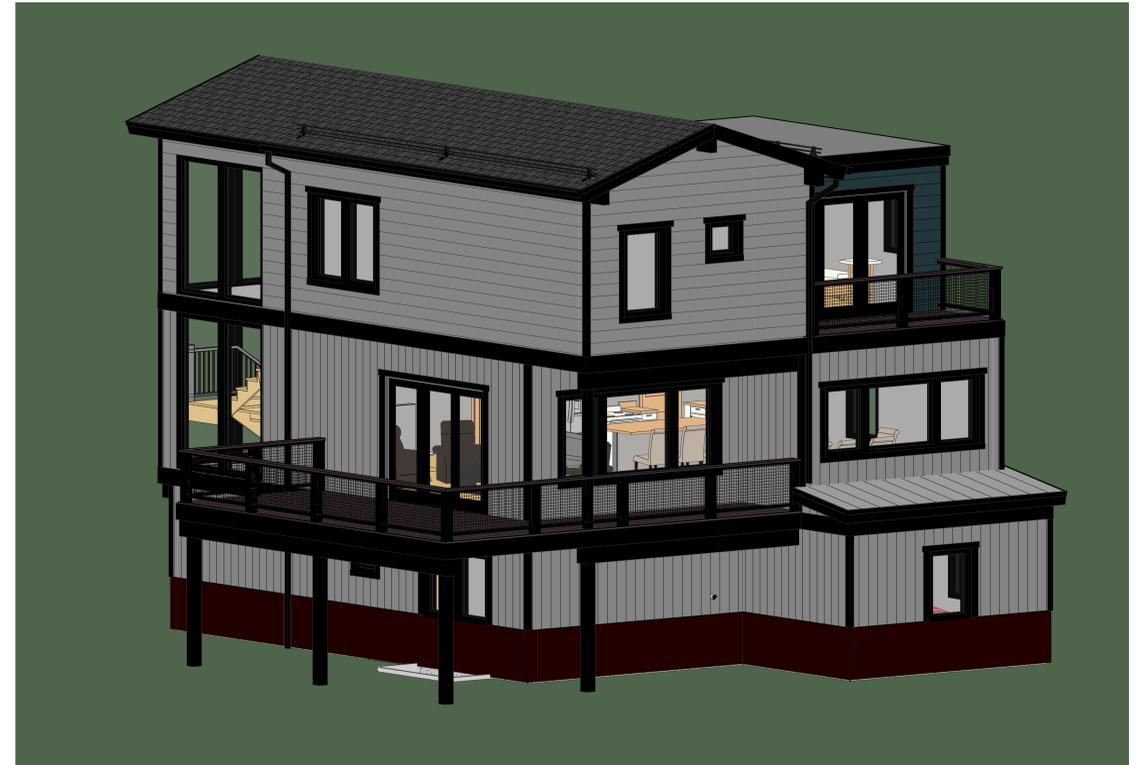
1 3D FRONT - GARAGE
A3.2



2 3D FRONT- DECK
A3.2



3 3D BACK - MASTER
A3.2



4 3D BACK - DECK
A3.2



TAB
Associates
The Architectural Balance
0066 Edwards Village Blvd.
Suite 210
Edwards, CO 81832
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabassociates.com
Civil Engineer

Structural Engineer

Mechanical Engineer

Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No.	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
**Exterior
Color
Elevations
& 3D**

Project No:
2215

Sheet No:
A3.2



TAB Associates
The Architectural Balance

0050 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabassociates.com

Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

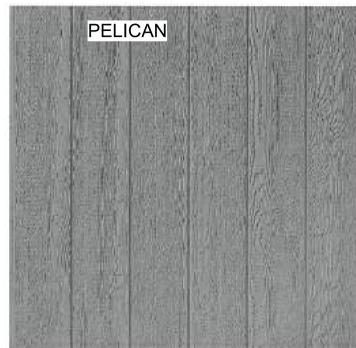
Revisions:		
No	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Materials

Project No:
2215

Sheet No:
A3.3



X-1 - VERTICAL SIDING COLOR 1



X-2 - LAP SIDING COLOR 1



X-3 - LAP SIDING COLOR 2



R-1 ROOFING
SIMILAR TO GAF DESIGNER SHINGLES
WOODLAN 'CASTLEWOOD GRAY'

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING COLOR - PELICAN
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - PELICAN
- X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - CASCADE
- X-4 VERTICAL CORRUGATED METAL SIDING COLOR - BURNISHED SLATE
- R-1 ASPHALT SHINGLE ROOF
- R-2 LOW SLOPE EPDM
- R-3 STANDING SEAM METAL ROOF



X-4 VERTICAL CORRUGATED PANELS



BURNISHED SLATE

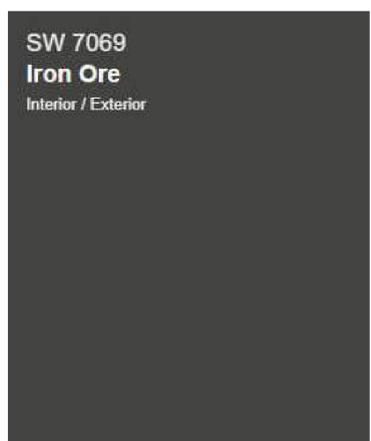


X-6 STONE VENEER
SIMILAR TO GALLEGOS - #366
COURTLAND LOW RISE



R-3 ROOFING
SIMILAR TO WESTERN STATES
2" STANDING SEAM - 12" WIDTH
COLOR: GALVANIZED TO MATCH
GALVALUME PANELS

WINDOWS:
SIMILAR TO SIERRA PACIFIC "BLACK"
WOOD CLAD WINDOWS

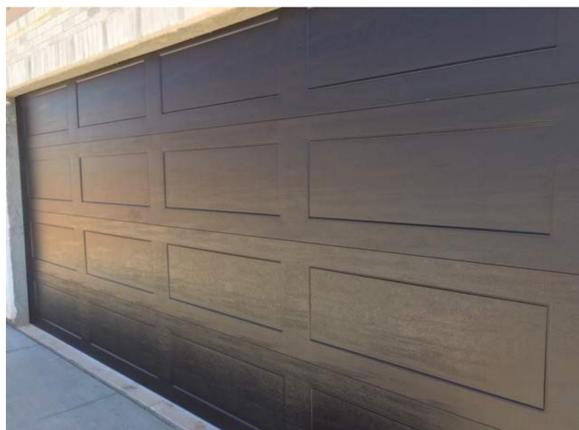


PAINTED ITEMS:
SHERWIN WILLIAMS 7069 IRON ORE
TRIM, WOOD BEAMS, GUTTERS AND
OTHER METALS

INCLUDING: CORNER TRIM AND
WINDOW/DOOR TRIM



GARAGE DOORS:
SIMILAR TO RAYNOR - ASPEN SERIES
RECESSED RANCH GROOVED PANELS
COLOR: WALNUT



GENERATION LIGHTING

8637401-12: Medium One Light Outdoor Wall Lantern

Dimensions:

- Diameter: 12"
- Width: 12"
- Height: 10 5/8"
- Weight: 1.8 lbs.

Extends: 17 1/8"

Extends Max: 23 1/8"

Wire: 6 1/2" (color/Black/White)

Mounting Proc.: Cap Nuts

Connection: Mounted To Box



Bulbs:

- 1 - Medium A19 75w Max. 120v - Not included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with listed Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

- 1 Body - Aluminum - Black

Safety Listing:

- Safety Listed for Wet Locations

Instruction Sheets:

- Trilingual (English, Spanish, and French) (900WB_37401-BRL)

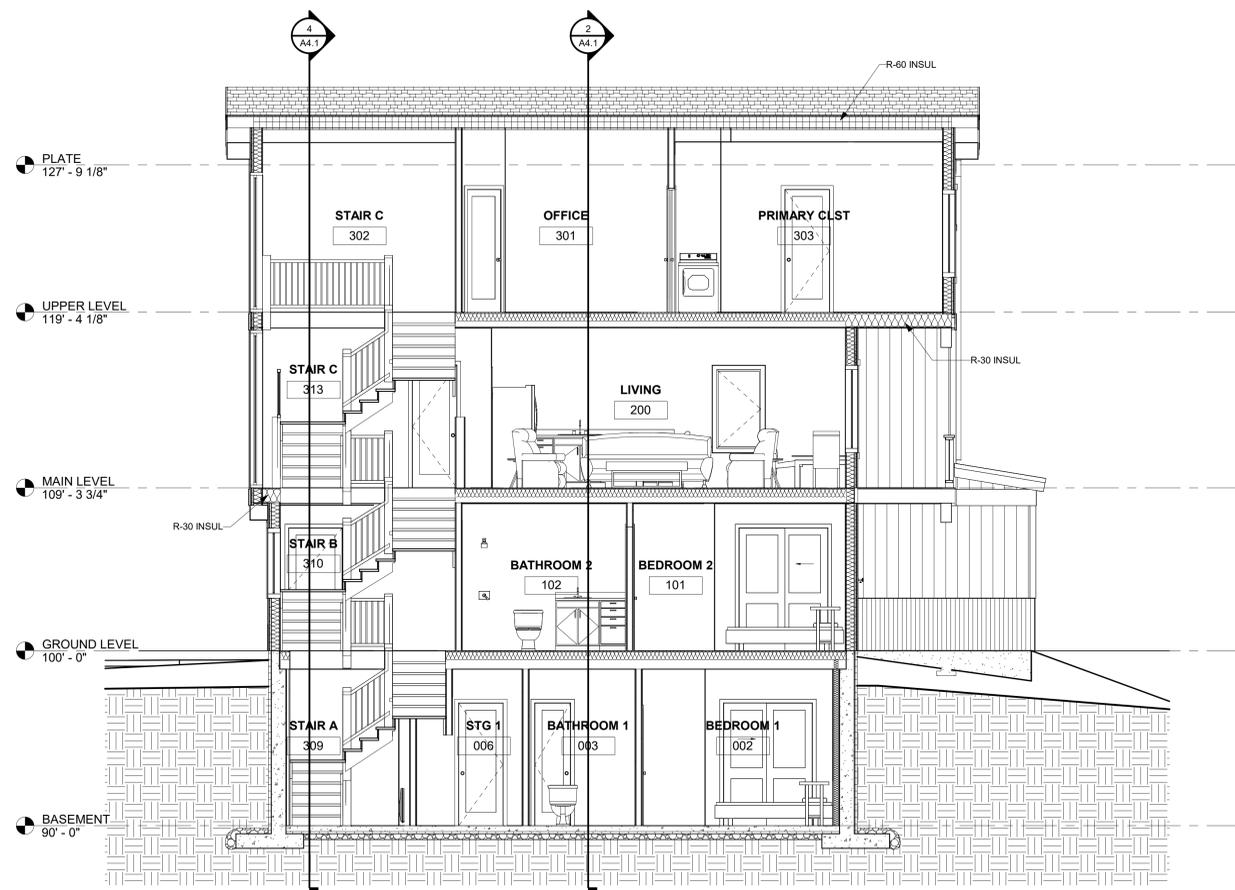
Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	1 1/4	5			4 1/8	6 1/2

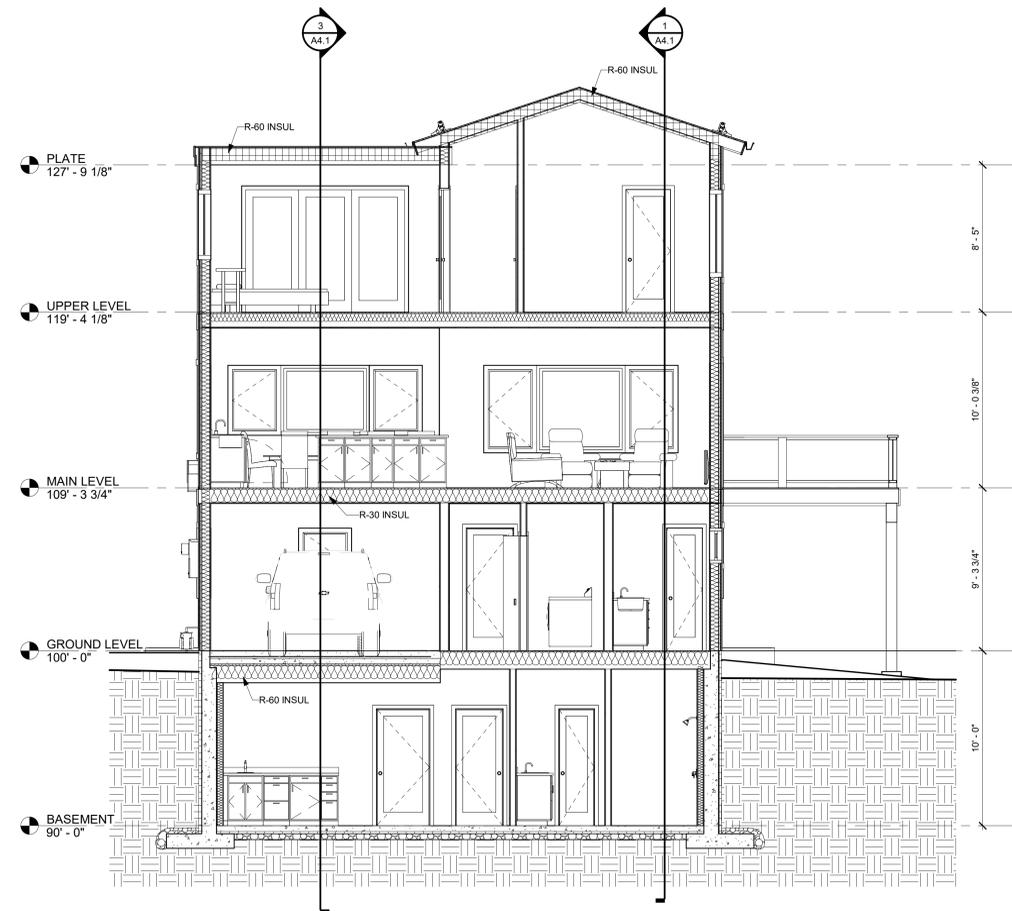
Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Prt. Class	UPS Ship
Individual	8637401-12	1	785652069352	16.75	14.50	13.25	1.873	4.1	250	Yes
NV Pallet		40		48	40	77	85,500	164		No
NV Pallet		40		48	40	77	85,500	160		No

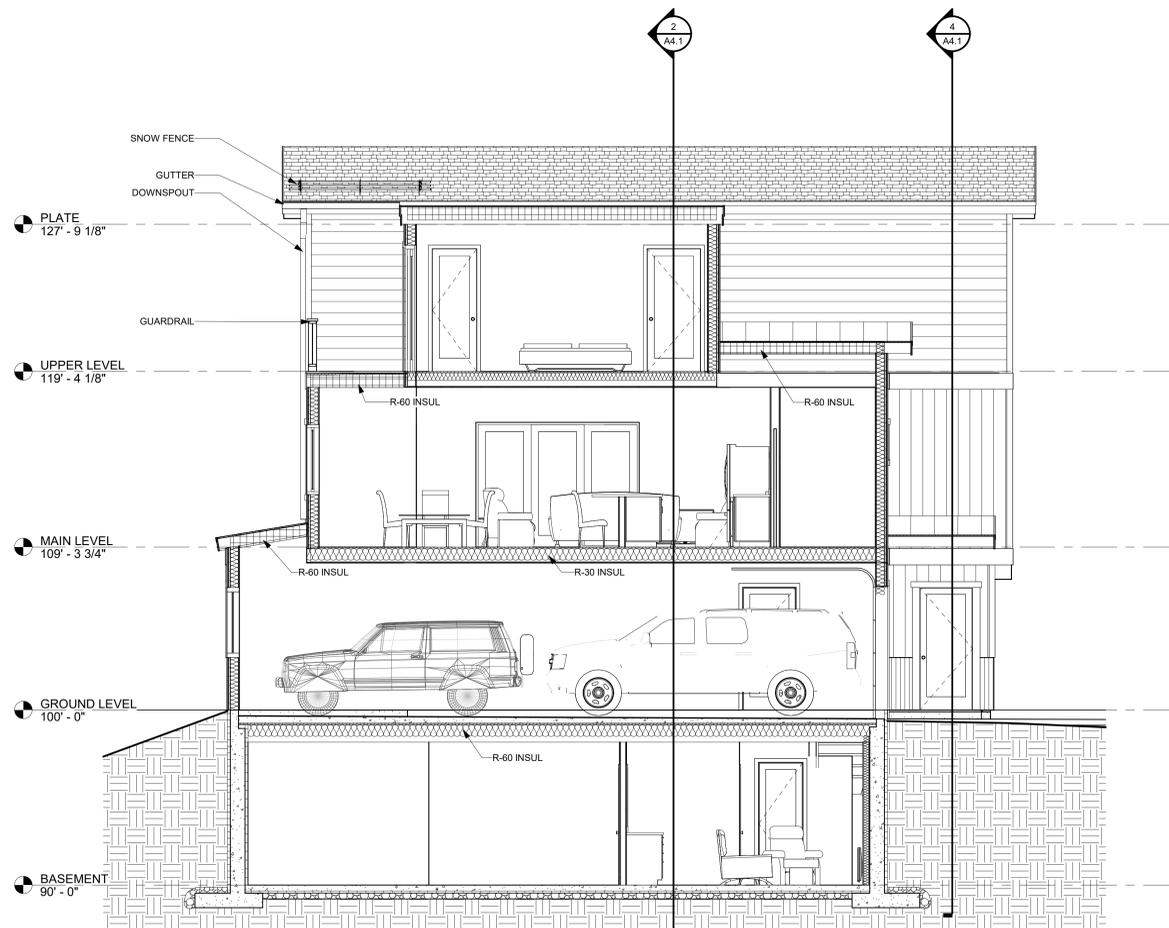
Generation Lighting reserves the right to change the design of components of any product due to parts availability or changes in safety listing standards without advertising any obligation or liability to notify any purchaser previously in mail, e-mail or website notice. The liability for a product design that is the sole and exclusive property of Generation Lighting, its compliance with U.S. copyright and patent laws, its registration in the U.S. Patent and Trademark Office, and its product's design, to not be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Generation Lighting, a Visual Comfort & Co brand.



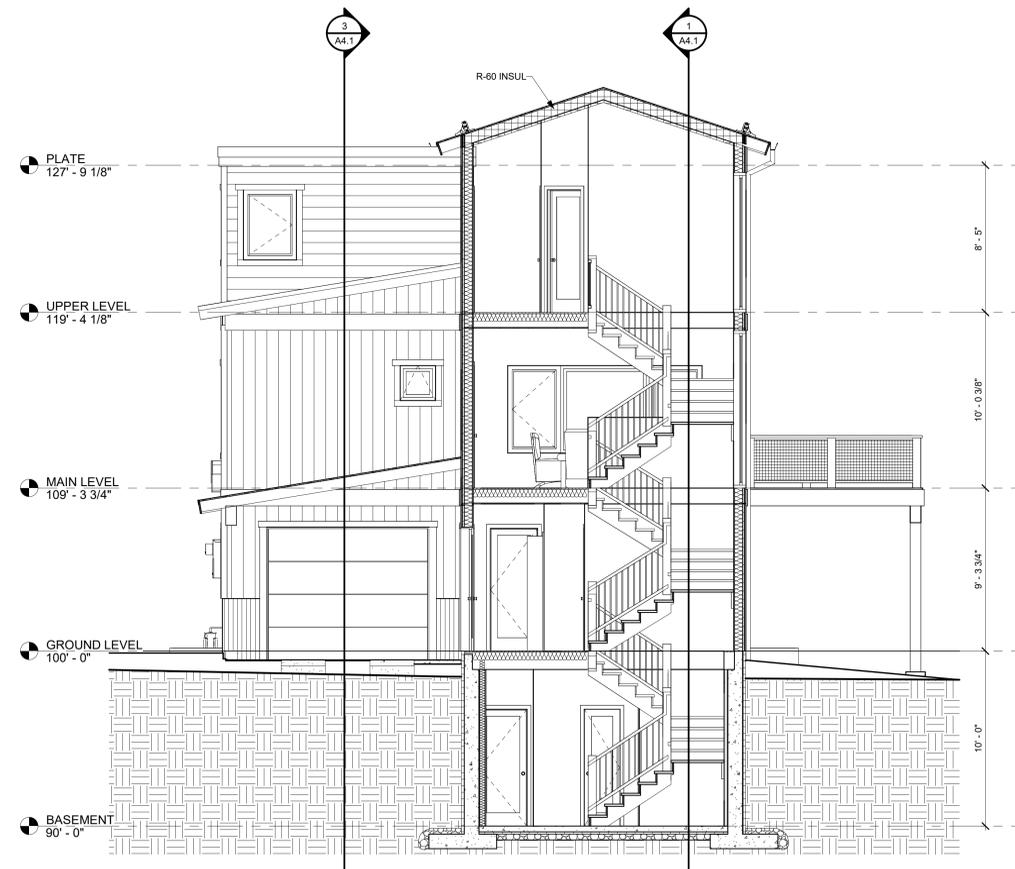
1 LONGITUDINAL SECTION 1
A4.1 1/4" = 1'-0"



2 TRANSVERSE SECTION
A4.1 1/4" = 1'-0"



3 LONGITUDINAL SECTION 2
A4.1 1/4" = 1'-0"



4 STAIR SECTION
A4.1 1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING COLOR - PELICAN
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - PELICAN
- X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING COLOR - CASCADE
- X-4 VERTICAL CORRUGATED METAL SIDING COLOR - BURNISHED SLATE

- R-1 ASPHALT SHINGLE ROOF
- R-2 LOW SLOPE EPDM
- R-3 STANDING SEAM METAL ROOF



TAB Associates
The Architectural Balance

0666 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabnet.com

Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
Minturn, Colorado

Revisions:		
No.	Description	Date

Issue Dates:
CP-08/14/2024
DRB-2/14/2025

Sheet Title:
Building Sections

Project No:
2215

Sheet No:
A4.1



TAB Associates
 The Architectural Balance
 0050 Edwards Village Blvd.
 Suite 210
 Edwards, CO 81432
 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com
 Civil Engineer
 Structural Engineer
 Mechanical Engineer
 Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
 Minturn, Colorado

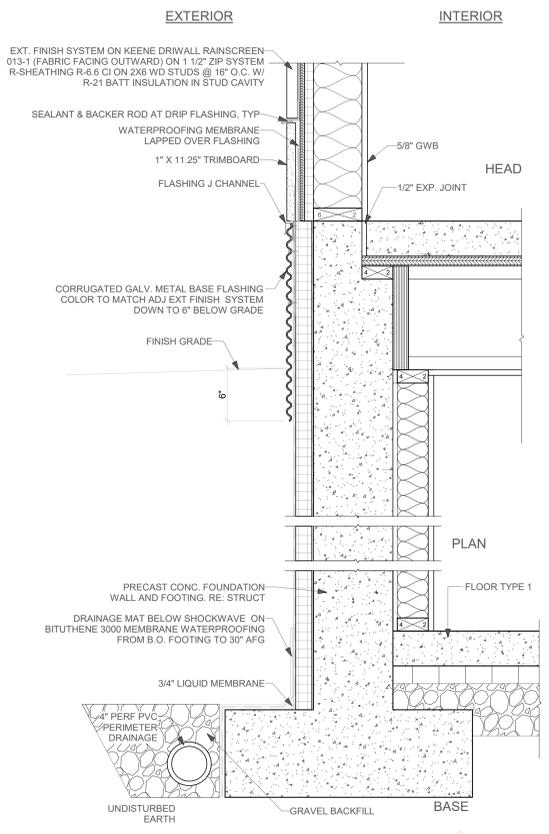
Revisions:		
No	Description	Date

Issue Dates:
 CP-08/14/2024
 DRB-2/14/2025

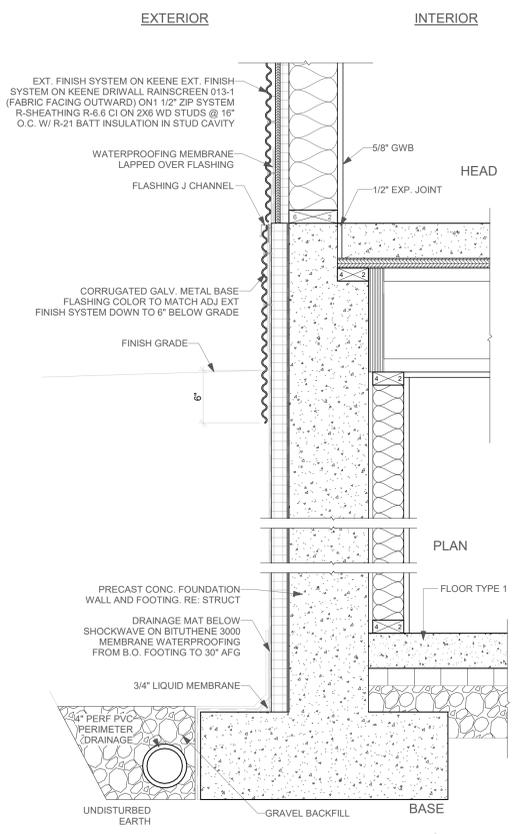
Sheet Title:
Details

Project No:
 2215

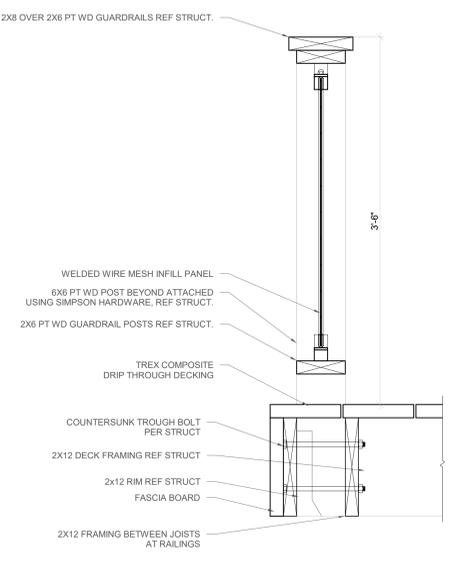
Sheet No:
A5.1



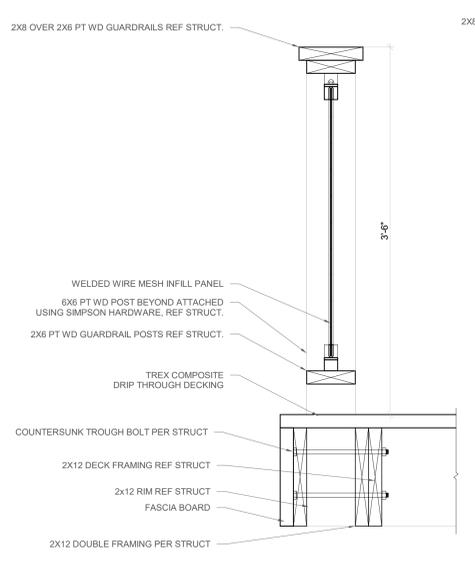
1 FOUNDATION DETAIL - WOOD SIDING
 A5.1 1 1/2" = 1'-0"



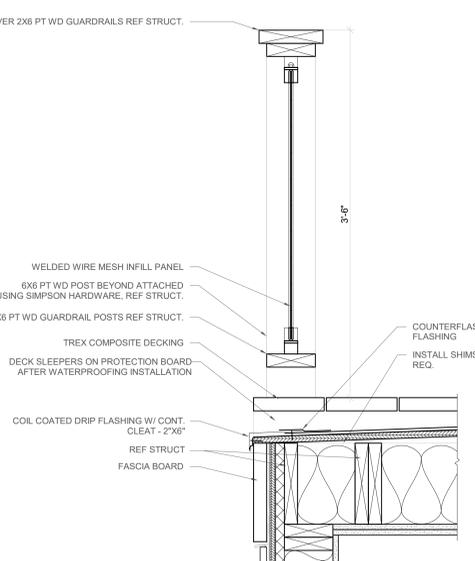
2 FOUNDATION DETAIL - CORRUGATED SIDING
 A5.1 1 1/2" = 1'-0"



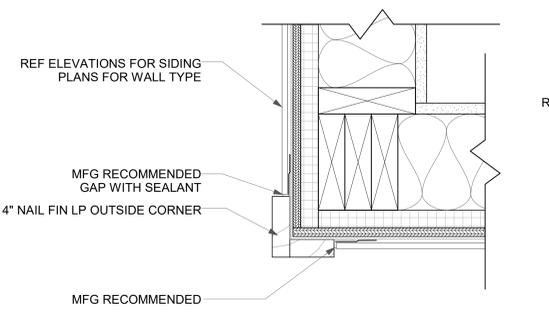
3 DRIP THROUGH DECK - PERP STRUC
 A5.1 1 1/2" = 1'-0"



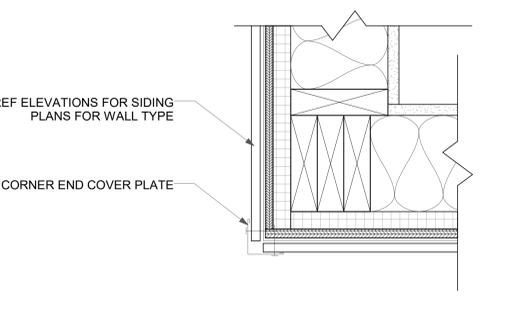
4 DRIP THROUGH DECK - PARA STRUC
 A5.1 1 1/2" = 1'-0"



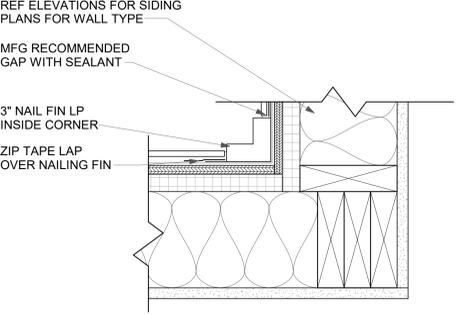
5 WATERPROOF DECK
 A5.1 1 1/2" = 1'-0"



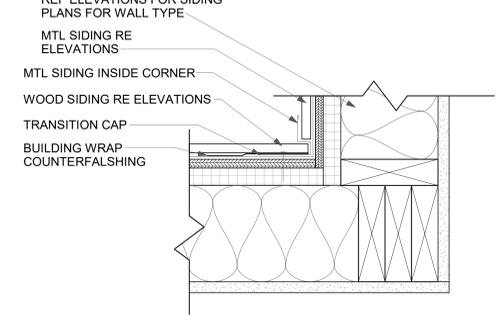
6 PLAN DETAIL - CORNER TRIM
 A5.1 3" = 1'-0"



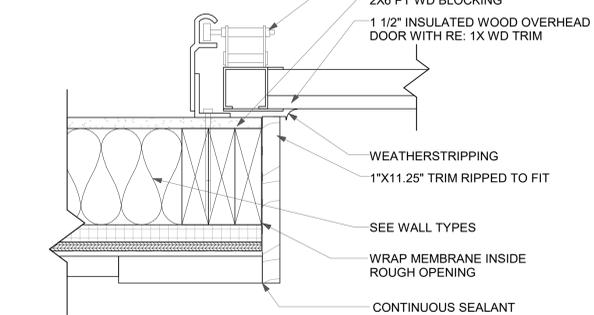
7 PLAN DETAIL - CORNER TRIM MTL
 A5.1 3" = 1'-0"



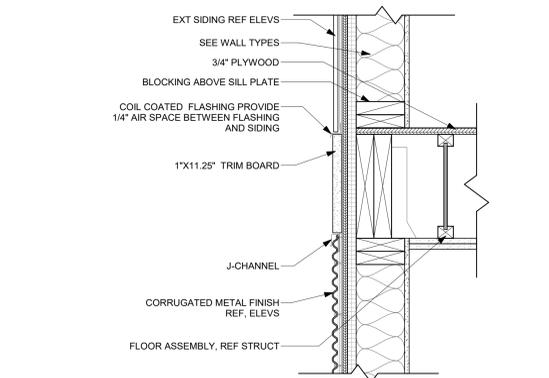
8 PLAN DETAIL - INSIDE TRIM
 A5.1 3" = 1'-0"



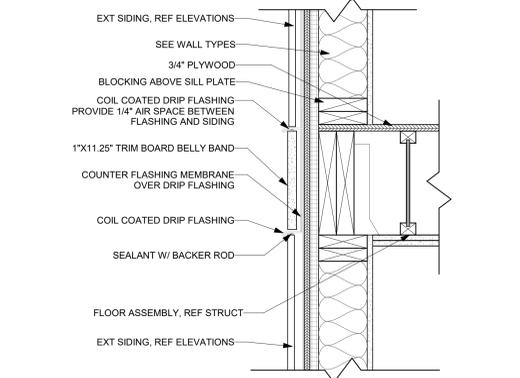
9 PLAN DETAIL - INSIDE TRIM MTL
 A5.1 3" = 1'-0"



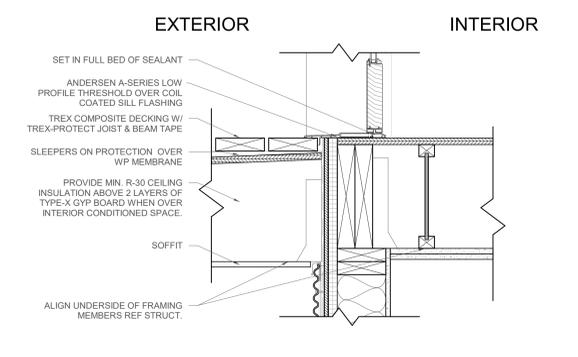
10 GARAGE DOOR JAMB
 A5.1 3" = 1'-0"



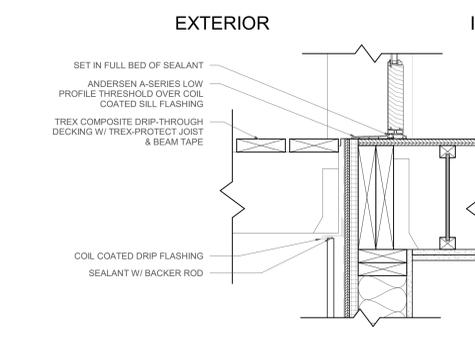
11 FLOOR TRANSITION MTL
 A5.1 1 1/2" = 1'-0"



12 FLOOR TRANSITION
 A5.1 1 1/2" = 1'-0"



13 DOOR THRESHOLD @ WP DECK
 A5.1 1 1/2" = 1'-0"



14 DOOR THRESHOLD @ DECK
 A5.1 1 1/2" = 1'-0"

P:\2215 Belden Place Phase 201 Drawing Files\05 Construction Documents\Lot 20 Revit\CD\2025 0210 - 2215 Lot 20 - CD.rvt
 2/13/2025 3:45:37 PM



TAB Associates
 The Architectural Balance
 0050 Edwards Village Blvd.
 Suite 210
 Edwards, CO 81432
 Tel: (970) 766-1470
 Fax: (970) 766-5471
 Email: info@tab.net
 www.tabnet.com
 Civil Engineer
 Structural Engineer
 Mechanical Engineer
 Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
 Minturn, Colorado

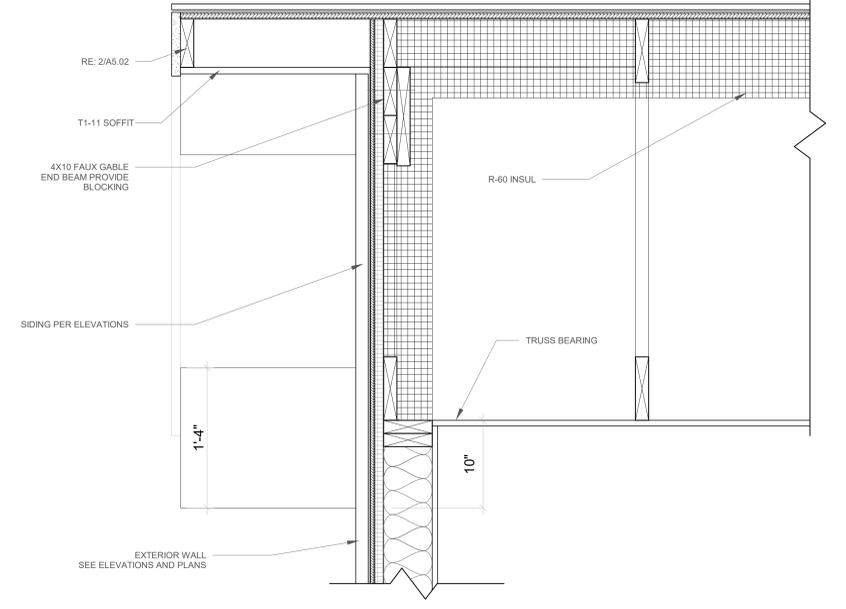
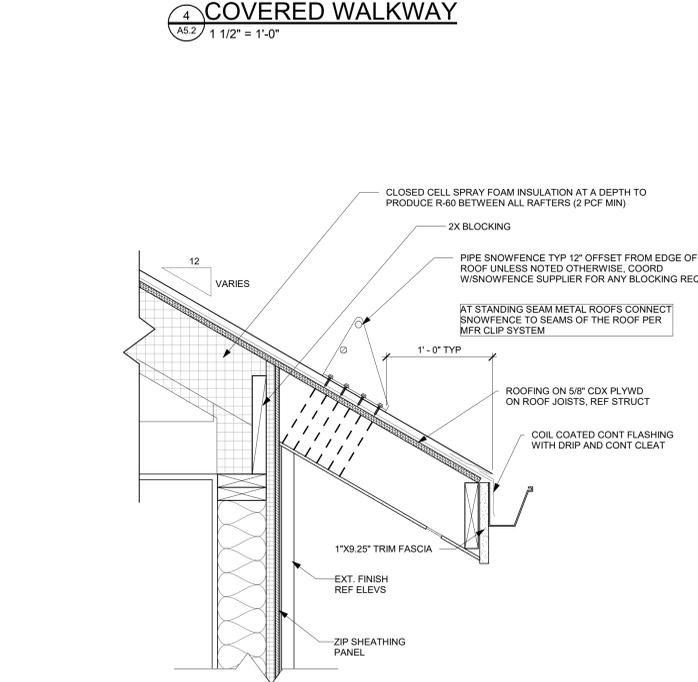
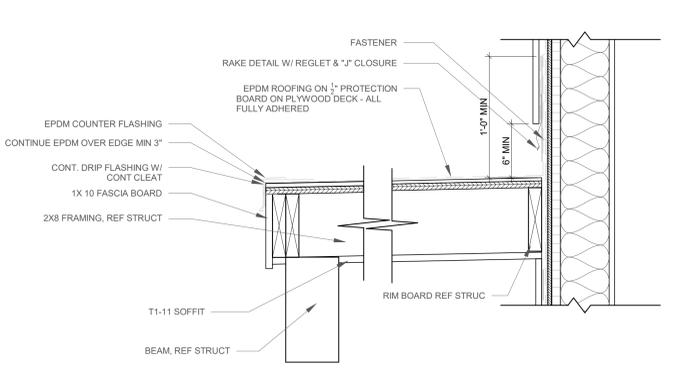
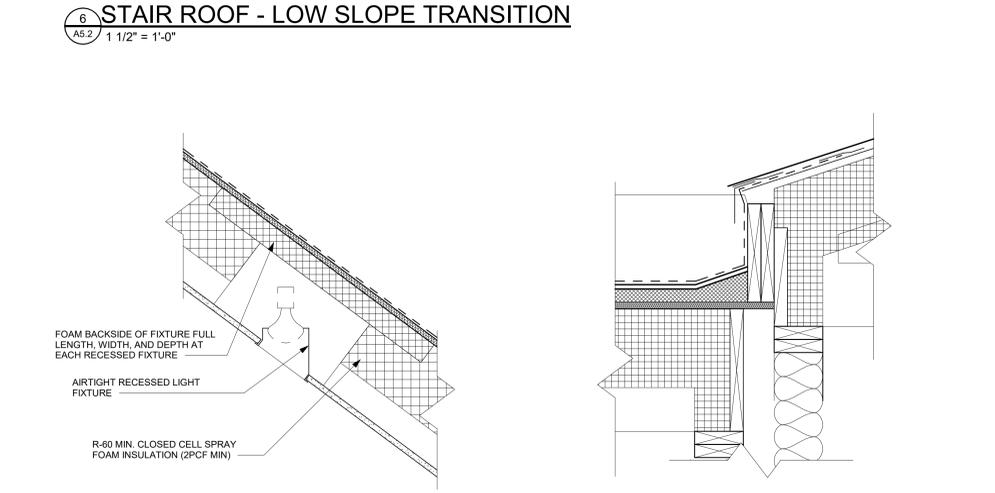
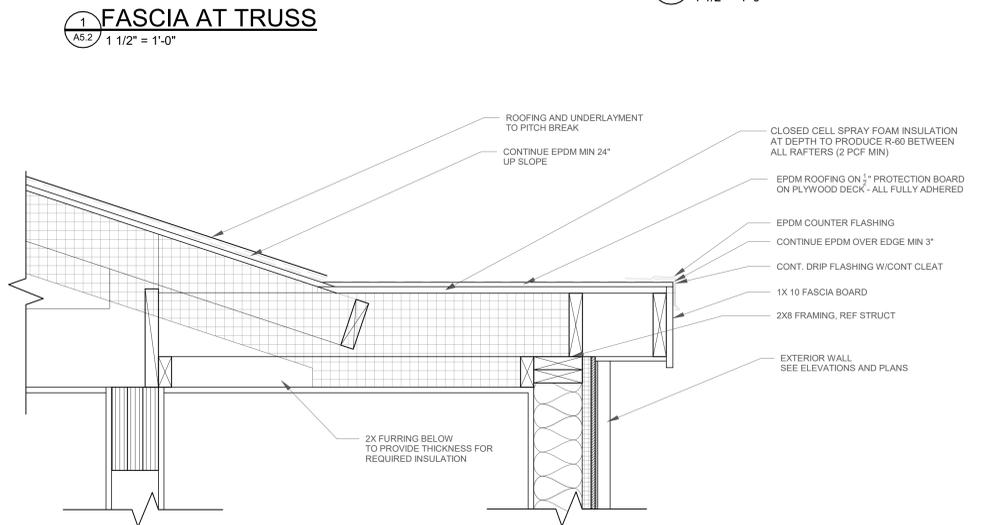
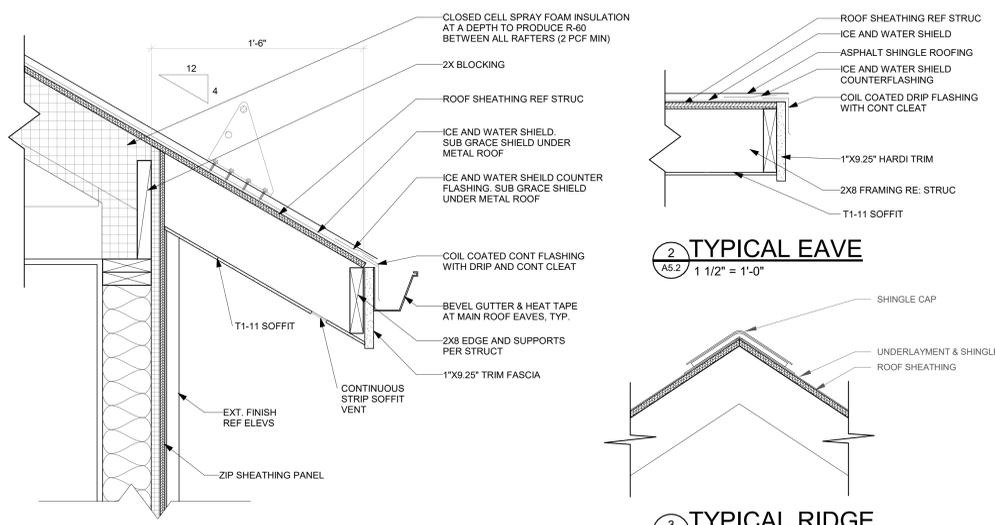
Revisions:		
No.	Description	Date

Issue Dates:
 CP-08/14/2024
 DRB-2/14/2025

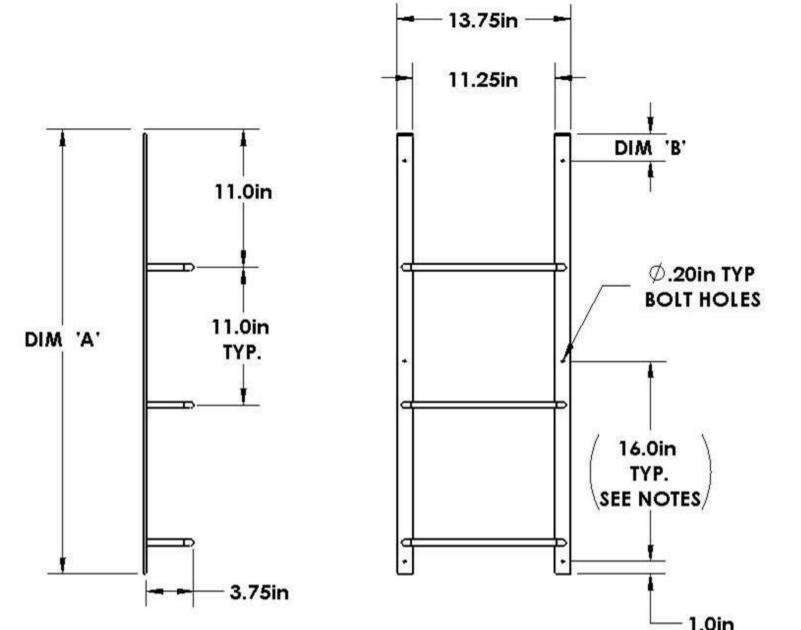
Sheet Title:
Details

Project No:
 2215

Sheet No:
A5.2



WINDOW WELL SUPPLY™ **STEEL EGRESS LADDER BOLT MOUNT**



Ladder Size	Dim 'A' [in]	Dim 'B' [in]
3 Rung	35.0	2.0
4 Rung	46.0	1.0
5 Rung	57.0	8.0
6 Rung	68.0	3.0
7 Rung	79.0	1.0

Material: Powder-coated Steel
 Rung Spacing: 11.0in
 Hole Spacing: 16.0in, hole spacing may vary
 Hole Diameter: 0.20in
 Screw Size*: #10 (3/16in)

10 EGRESS LADDER
 AS.2 1/4" = 1'-0"

P:\2115 Belden Place Phase 201 Drawing Files\15 Construction Documents\Lot 20 Revit\CD\2025 0210 - 2215 Lot 20 - CD.rvt
 2/13/2025 3:45:38 PM

REV A



TAB Associates
 The Architectural Balance
 0050 Edwards Village Blvd.
 Suite 210
 Edwards, CO 81432
 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com
 Civil Engineer
 Structural Engineer
 Mechanical Engineer
 Electrical Engineer

Seal

Lot 20
Belden Place Phase 2
 Minturn, Colorado

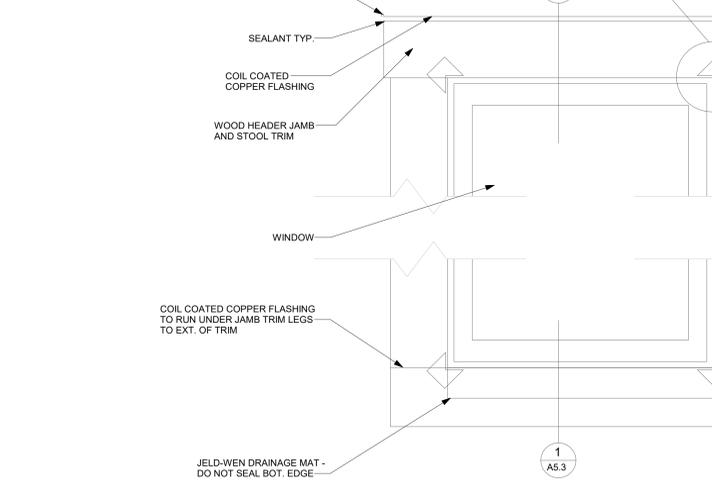
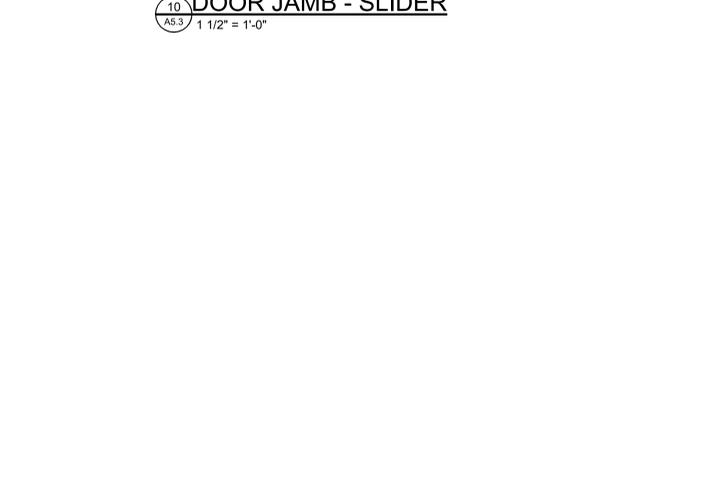
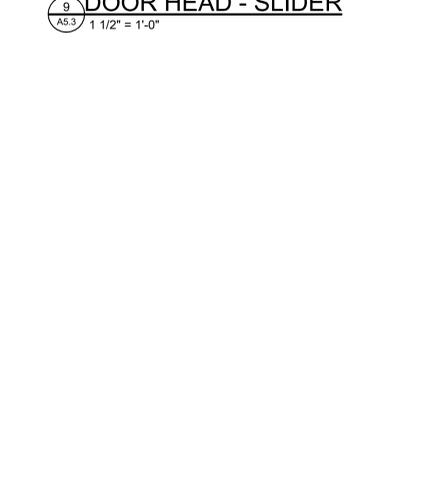
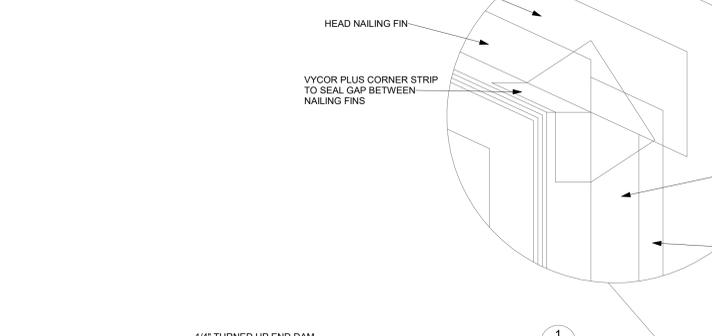
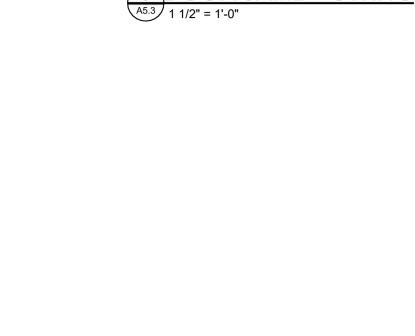
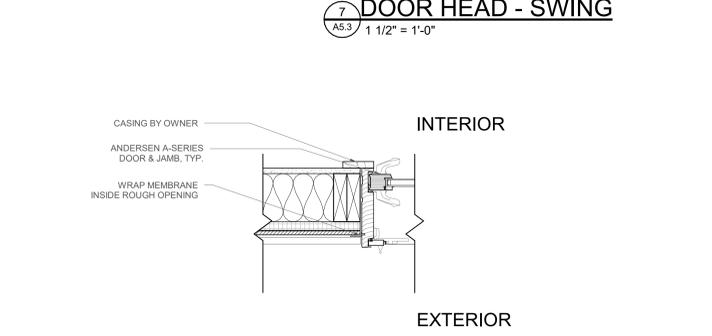
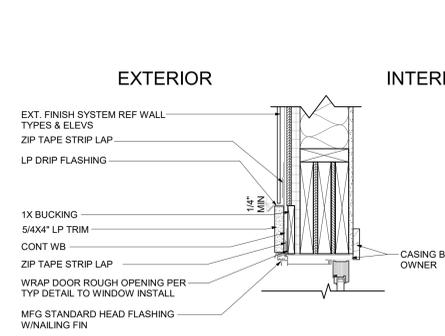
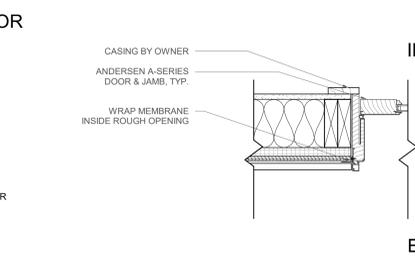
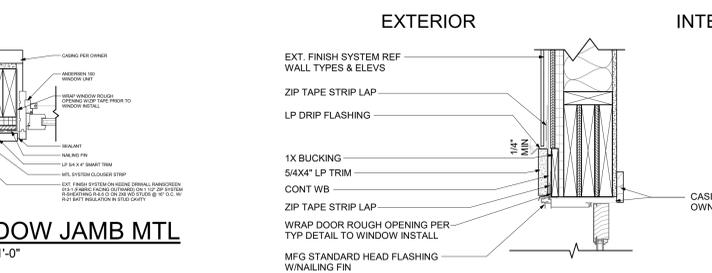
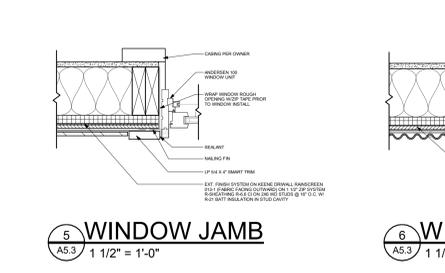
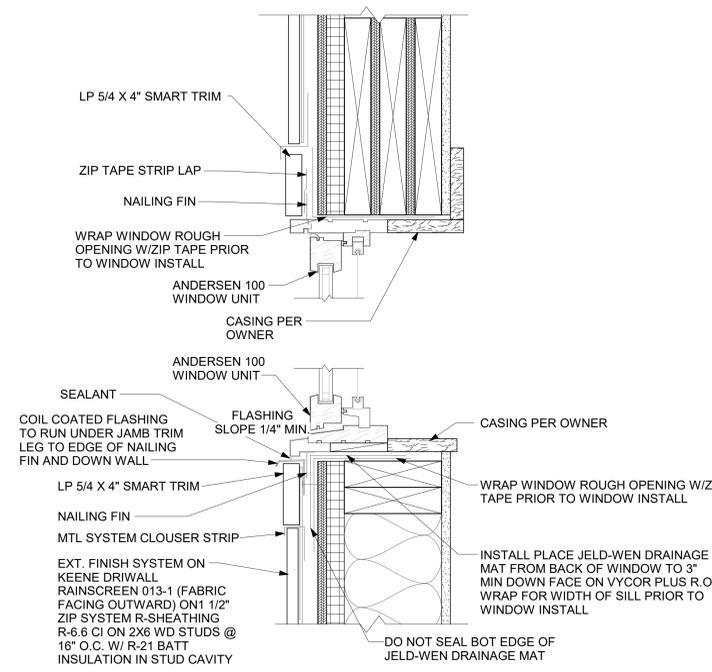
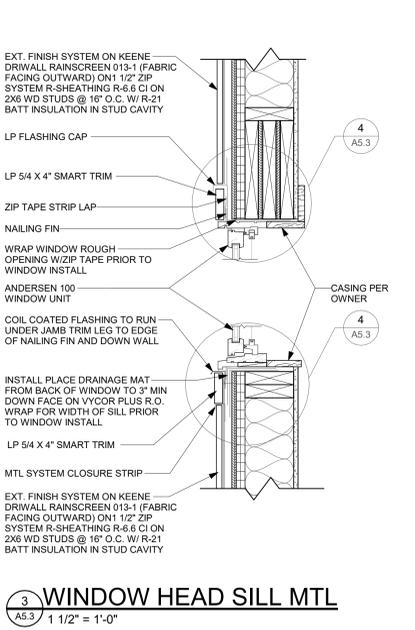
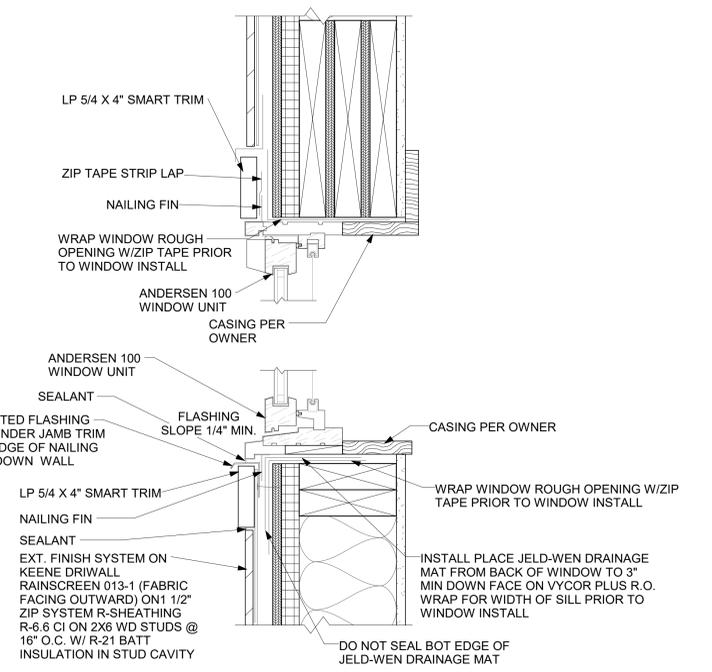
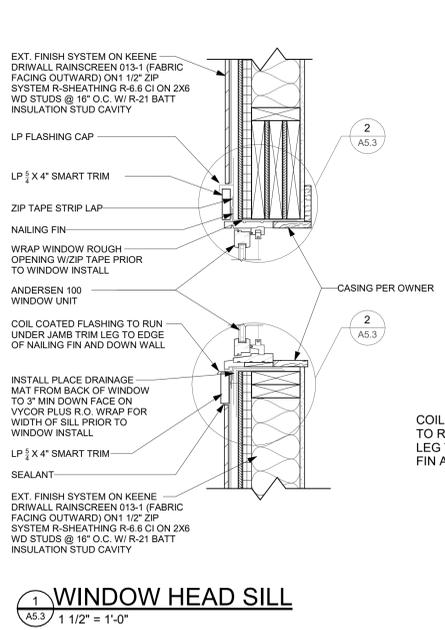
Revisions:		
No	Description	Date

Issue Dates:
 CP-08/14/2024
 DRB-2/14/2025

Sheet Title:
Details

Project No:
 2215

Sheet No:
A5.3



P:\2115 Belden Place Phase 201 Drawing Files\15 Construction Documents\Lot 20 Revit\CD\2025 02\10 - 2215 Lot 20 - CD.dwg
 2/13/2025 3:45:38 PM