



491 Main Street - Minturn, CO

SINGLE FAMILY HOME

TOWN OF MINTURN DESIGN REVIEW APPLICATION

SUBMITTAL PACKAGE

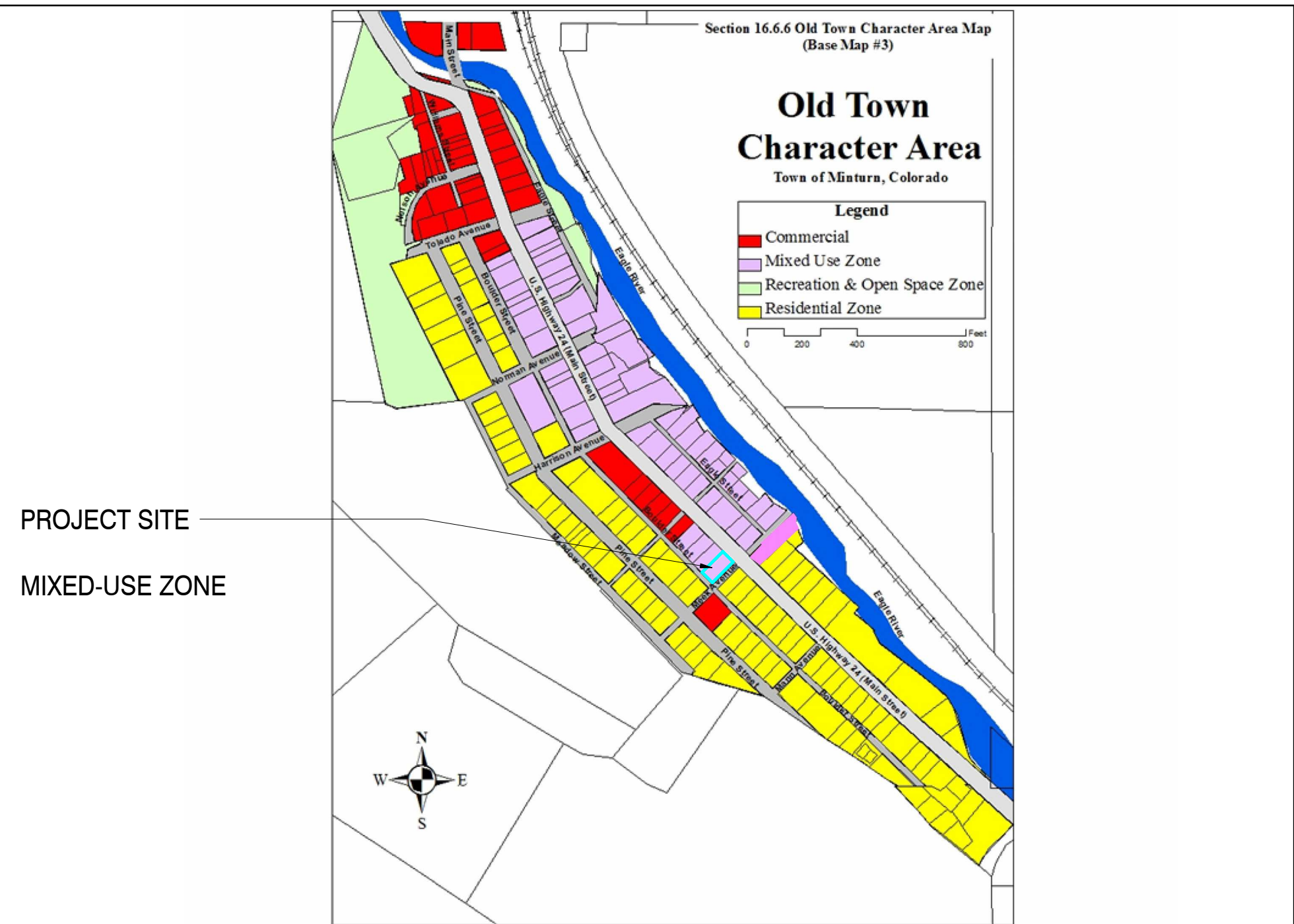
FEBRUARY 21, 2025

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS AND SYMBOLS ARE USED ON DRAWINGS CONTAINED IN THE SET. SYMBOLS AND ABBREVIATIONS ON THIS SHEET APPLY ONLY TO ARCHITECTURAL DRAWINGS

A/C	AIR CONDITIONING	FBO	FURNISHED BY OWNER	QTY	QUANTITY
ACF	ACCESS FLOORING	FD	FLOOR DRAIN	R	RESISTANCE, THERMAL, RISER
ACR	ACRYLIC	FEC	FIRE EXTINGUISHER CABINET	RAD	RADIUS
ACST	ACOUSTIC	FEX	FIRE EXTINGUISHER	RB	RESILIENT BASE
AD	AREA DRAIN	FIN	FINISH (ED)	RCP	REFLECTED CEILING PLAN
ADD	ADDENDUM	FLR(G)	FLOOR (ING)	RD	ROOF DRAIN
ADH	ADHESIVE	FND	FOUNDATION	RE	REFERENCE, REFER TO
ADJ	ADJACENT	FOS	FACE OF STUD	RENF	REINFORCING
ADJUST	ADJUSTABLE	FR	FIRE RESISTIVE	REM	REMOVE
AFV	ABOVE FINISHED FLOOR	FT	FOOT, FEET	REQ	REQUIRED (D)
AHU	AIR HANDLING UNIT	FTG	FOOTING	RM	ROOM
AL, ALUM	ALUMINUM	FUT	FUTURE	RO	ROUGH OPENING
ALT	ALTERNATE			ROW	RIGHT OF WAY
ANOD	ANODIZED	GA	GAUGE, GAGE	RR	RESTROOM
APC	ACOUSTICAL PANEL CEILING	GALV	GALVANIZED		
APPROX	APPROXIMATE (LY)	GB	GYPSPUM BOARD	SBLK	SPLASH BLOCK
ARCH	ARCHITECT(URAL)	GBAR	GRAB BAR	SC	SOLID CORE
ARGB	ABUSE RESISTANT GYPSUM BOARD	GC	GENERAL CONTRACT (OR)	SCH	SCHEDULE
ASPH	ASPHALT	GL	GLASS, GLAZING	SD	STORM DRAIN
AUTO	AUTOMATIC	GR	GRILLE	SEC	SECTION
AW	ALUMINUM WINDOW			SF	STOREFRONT
		HB	HOSE BIB	SHT	SHEET
BD	BOARD	HC	HOLLOW CORE	SHTH	SHEATHING
BLDG	BUILDING	HDW	HARDWARE	SM	SIMILAR
BLK(G)	BLOCK (ING)	HM	HOLLOW METAL	SDG	SLAB ON GRADE
BM	BEAM	HOR	HORIZONTAL	SPEC	SPECIFICATION (S)
BO	BY OTHERS	HPT	HIGH POINT	SPL	SPECIAL
BOT	BOTTOM	HR	HOUR	SQ	SQUARE
BR	BACKER ROO	HT	HEIGHT	SST	STAINLESS STEEL
BRG	BEARING	HTR	HEATER	SST	SOUND TRANSMISSION CLASS
BRK	BROCK	HVAC	HEATING/VENTILATION/AC	STD	STANDARD
BS	BOTH SIDES	HW	HOT WATER	STL	STEEL
BSMT	BASEMENT	HWH	HOT WATER HEATER	STO	STORAGE
BTWN	BETWEEN	ID	INSIDE DIAMETER	STRUC	STRUCTURAL
BUR	BUILT UP ROOFING	IN	INCH (ES)	SUS	SUSPENDED
BZD	BRONZE DOOR	INCL	INCANDESCENT	SYM	SYMMETRICAL
BZF	BRONZE FRAME	INCLAN	INCLUDE (D, ING)		
		INFO	INFORMATION	T	TREAD
CAB	CABINET	INS	INSULATE (D, ION)	T&B	TOP AND BOTTOM
CFM	CUBIC FEET/MINUTE	INT	INTERIOR	T&G	TONGUE AND GROOVE
CG	CORNER GUARD	INV	INVERT	TEL	TELEPHONE
CIPC	CAST-IN-PLACE CONCRETE			TEMP	TEMPERATURE
CJ	CONTROL JOINT	JT	JOINT	THK	THICK (NESS)
CL	CENTERLINE			THR	THRESHOLD
CLG	CEILING	LAB	LABORATORY	THRU	THROUGH
CLO	CLOSET	LAM	LAMINATE (D)	TO	TOP OF
CLR	CLEAR (ANCE)	LAV	LAVATORY	TOB	TOP OF BEAM
CMU	CONCRETE MASONRY UNIT	LB	POUND (S)	TOC	TOP OF CURB
CNC	CONCRETE COUNTERTOP	LIB	LIBRARY	TOI	TOP OF INSULATION
CO	CLEANOUT	LIN	LINEAL	TOM	TOP OF MASONRY
COL	COLUMN	LKR	LOCKER	TOP	TOP OF PARAPET
COMP	COMPRESSED (ED, ION, IBLE, OR)	LT	LIGHT	TOS	TOP OF SLAB
CONC	CONCRETE			TOSTL	TOP OF STEEL
CONST	CONSTRUCTION	MAINT	MAINTAIN (ENANCE)	TOW	TOP OF WALL
CONT	CONTINUOUS OR CONTINUE	MAS	MASONRY	TPART	TOILET PARTITION
CONTR	CONTRACT (OR)	MAX	MAXIMUM	TPD	TOILET PAPER DISPENSER
COORD	COORDINATE	MC	MECHANICAL CONTRACTOR	TR	TRANSOM
CORR	CORRIDOR	MECH	MECHANIC (AL)	TS	TUBE STEEL
CORRUG	CORRUGATED	MET	METAL	TV	TELEVISION
CP	CEMENT PLASTER (STUCCO)	MFR	MANUFACTURE (ER)	TYP	TYPICAL
CPT	CARPET (ED)	MH	MANHOLE	TZ	TERRAZZO
CS	CAST STONE	MIN	MINIMUM		
CSNK	COUNTERSINK/COUNTERSUNK	MIR	MIRROR	UL	UNDERWRITERS LABORATORY
CT	CERAMIC TILE	MISC	MISCELLANEOUS	UNFIN	UNFINISHED
CTR	CENTERLINE	MO	MASONRY OPENING	UON	UNLESS OTHERWISE NOTED
CW	CURTAIN WALL	MR	MOISTURE RESISTANT	UR	URINAL
		MT	MOUNT (ED, ING)		
DBL	DOUBLE	MTL	MATERIAL (S)	VAR	VARIABLE (VARIES)
DEMO	DEMOLISH, DEMOLITION			VB	VAPOR BARRIER
DF	DRINKING FOUNTAIN	NA	NOT APPLICABLE	VCT	VINYL COMPOSITION TILE
DG	DECORATIVE GLAZING	NC	NOT IN CONTRACT	VERT	VERTICAL
DIAM	DIAMETER	NO	NUMBER	VEST	VESTIBULE
DIM	DIMENSION	NOM	NOMINAL	VIF	VERIFY IN FIELD
DISP	DISPOSAL	NR	NONE REQUIRED		
DM	DECORATIVE METAL	NRC	NOISE REDUCTION COEFFICIENT	W	WIDE OR WIDTH
DN	DOWN	NTS	NOT TO SCALE	W	WITH
DP	DEMOUNTABLE PARTITION			W/O	WITHOUT
DPF	DAMP PROOFING	OA	OVERALL	WC	WATER CLOSET
DR	DOOR	OB	OBSOURE	WD	WOOD
DRY	DRYER	OC	ON CENTER (S)	WP (G)	WATERPROOF (ING)
DS	DOWNSPOUT	OD	OUTSIDE DIAMETER	WR	WATER RESISTANT
DTL	DETAIL	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	WWF	WELDED WIRE FABRIC
DWG	DRAWING	OFOI	OWNER FURNISHED OWNER INSTALLED		
		OH	OVERHEAD		
EA	EACH	OPG	OPENING		
EC	EXPANSION CONTROL	OPH	OPPOSITE HAND		
EF	ENTRANCE FLOORING (GRILLES OR MATTS)	OPP	OPPOSITE		
EFC	ENTRANCE FLOOR CARPETING	ORD	OVERFLOW ROOF DRAIN		
EJ	EXPANSION JOINT	OZ	OUNCE		
EL	ELEVATOR				
ELEC	ELECTRIC (AL)	PAR	PARALLEL		
ELEV	ELEVATION	PC	PRECAST CONCRETE		
ENC	ENCLOSE (URE)	PERP	PERPENDICULAR		
ENT	ENTRANCE	PL	PLATE		
EPNT	EPOXY PAINT	PLAM	PLASTIC LAMINATE		
EQ	EQUAL	PLBG	PLUMBING		
EQP	EQUIPMENT	PNT	PAINT (ED)		
EWC	ELECTRIC WATER COOLER	PRN	PORCELAIN		
EXH	EXHAUST	PSF	POUNDS PER SQUARE FOOT		
EXIST, EX	EXISTING	PSI	POUNDS PER SQUARE INCH		
EXP	EXPOSED	PTN	PARTITION		
EXPN	EXPANSION	PVC	POLYVINYL CHLORIDE		
EXT	EXTERIOR	PVMT	PAVEMENT		
		PWD	PLYWOOD		

ZONING MAP



SYMBOLS LEGEND

GRAPHIC SYMBOLS

BUILDING SECTION SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN

WALL SECTION SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN

DETAIL SYMBOL:
UPPER=THE SECTION NUMBER
LOWER=THE SHEET WHERE DRAWN

EXTERIOR ELEVATION SYMBOL:
UPPER=THE ELEVATION NUMBER
LOWER=THE SHEET WHERE DRAWN

INTERIOR ELEVATION SYMBOL: THE DARKENED CORNERS INDICATE DRAWN WALLS. ELEVATION DRAWINGS ARE ARRANGED NUMERICALLY BY ROOM NUMBER ON THE INTERIOR ELEVATION SHEETS.

CABINET TYPE SYMBOL:
UPPER=CABINET STYLE
LOWER=CABINET SIZE IN INCHES

EQUIPMENT TYPE INDICATOR:
LETTER= GROUP FUNCTION
NUMBER= ITEM NUMBER

TOILET ACCESSORY INDICATOR:
TA= TOILET ACCESSORY
NUMBER= ITEM NUMBER

FINISH TYPE INDICATOR:
REFER TO FINISH SCHEDULE FOR LEGEND

STRUCTURAL GRIDLINE IDENTIFIER

HEIGHT INDICATOR

MATCHLINE FLAG

PLAN AND TRUE NORTH INDICATOR: THE HEAVY LINE REPRESENTS PLAN NORTH (USUALLY TOWARD THE TOP OF THE SHEET) THE SMALL ARROW INDICATES TRUE NORTH (IF DIFFERENT FROM PLAN NORTH).

PARTITION TYPE INDICATOR

EXTERIOR ASSEMBLY TYPE INDICATOR

WINDOW OR LOUVER TYPE INDICATOR:

WORK NOTE INDICATOR

DETAIL IDENTIFICATION: DASHED LINE INDICATES EXTENT OF ENLARGED PLAN OR DETAIL

ROOM IDENTIFICATION:
ROOM NAME
2308

DOOR IDENTIFICATION:
DOOR NUMBER=NUMBER OF ROOM ACCESSED
2308A

REVISION MARKER: CLOUD INDICATES AREA OF REVISION

DISCIPLINE INDEX

G GENERAL INFORMATION
C CIVIL DRAWINGS
L LANDSCAPE DRAWINGS
S STRUCTURAL DRAWINGS
A ARCHITECTURAL DRAWINGS
M MECHANICAL DRAWINGS
P PLUMBING DRAWINGS
E ELECTRICAL DRAWINGS

CONTENT INDEX

0 GENERAL INFORMATION AND STANDARDS
1 PLANS INCLUDING SITE, FLOOR, CEILING, FINISH AND ROOF DRAWINGS
2 EXTERIOR ELEVATIONS AND BUILDING SECTIONS
4 ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
5 SCHEDULES AND ASSOCIATED DETAILS
6 WALL SECTIONS AND EXTERIOR DETAILS
7 INTERIOR DETAIL DRAWINGS
8 POWER AND SIGNAL DRAWINGS

SHEET NUMBERING

DISCIPLINE ABBREVIATION
DRAWING CONTENT CATEGORY
SHEET NUMBER

A-401

KEYNOTES

INTERNAL IDENTIFIER, NOT RELATED TO SPEC
SPEC SECTION FOR IDENTIFIED ELEMENT

MATERIAL PATTERNS

BRICK MASONRY
CEMENT PLASTER
CONCRETE - CAST-IN-PLACE
CONCRETE MASONRY
EARTH OR BACKFILL
GRAVEL OR ROAD BASE
GYPSUM BOARD
INSULATION - BATT
INSULATION - BATT - MINERAL WOOL
INSULATION - RIGID
INSULATION - RIGID - MINERAL WOOL
INSULATION - SPRAY FOAM
LIMESTONE
METAL - ALUMINUM
METAL - STEEL
MORTAR
PLYWOOD
WOOD
DAMP-PROOFING (BROWN)
WATERPROOFING (BLUE)
AIR BARRIER (GREEN)
FLEXIBLE FLASHING - AIR BARRIER (GREEN)
WEATHER BARRIER (GREEN)
UNDERLAYMENT (BLUE)
VAPOR RETARDER (BROWN)
FLEXIBLE FLASHING - MASONRY (BLUE)
FLASHING, ROOF MEMBRANE (BLUE)

TEXT SYMBOLS

& AND
@ AT
X OR x BY
POUND OR NUMBER
/ OR : PER
X' (X) FEET
X" (X) INCHES

DRAWING INDEX

G-000	COVER SHEET
G-100	INDEX & ABBREVIATIONS ZONING MAP & VICINITY MAP
C-100	IMPROVEMENT SURVEY PLAT
C-100d	DEMO PLAN
C-101	EROSION CONTROL PLAN
A-100a	SITE PLAN RENDERED
A-100b	SITE PLAN
A-100c	GRADING PLAN
A-101	FLOOR PLANS
A-202	SOUTH ELEVATION
A-203	EAST ELEVATION
A-204	NORTH ELEVATION
A-205	WEST ELEVATION
A-206	MATERIALS BOARD

PFEIFER RESIDENCE

491 Main St.
Mintum CO, 81620

DAVID PFEIFER

491 Main St.
Mintum, CO, 81620
Mobile: 303.204.8468
E-mail: dpfeifer@amdararchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303.204.8468
E-mail: highstreet574@gmail.com

NOT FOR CONSTRUCTION

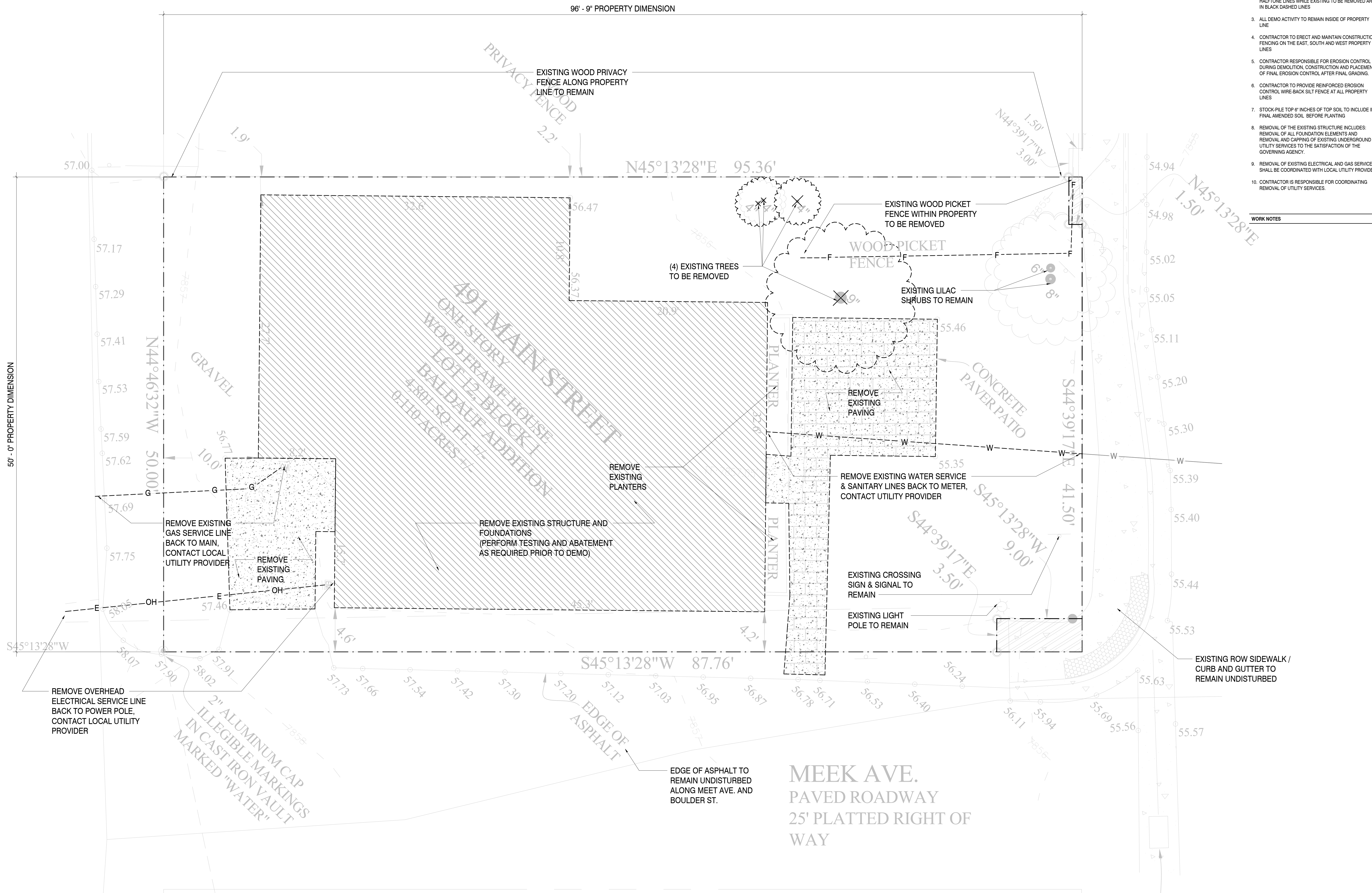
Issue	Date
DESIGN APPLICATION	21 FEB 2025
DESIGN APPLICATION REV. 1	16 APR 2025

Project Number:	Mintum CO, 81620
Drawn By:	SH
Reviewed By:	DP
Approved By:	DP

INDEX & ABBREVIATIONS

G-100

3/30/2025 11:55:15 PM



GENERAL NOTES

1. RENDERED SITE PLAN FOR CONTEXT AND GENERAL DESIGN INTENT. REFER TO CIVIL SITE PLAN, GRADING PLAN, UTILITY PLAN FOR MORE INFO

GENERAL DEMO NOTES

1. CLEAR SITE OF ALL STRUCTURES, MATERIALS, LANDSCAPE MATERIALS, PLANTINGS AND DEBRIS UNLESS OTHERWISE NOTED ON PLANS.
2. EXISTING ELEMENTS TO REMAIN ARE IN GRAY / HALFTONE LINES WHILE EXISTING TO BE REMOVED ARE IN BLACK DASHED LINES
3. ALL DEMO ACTIVITY TO REMAIN INSIDE OF PROPERTY LINE
4. CONTRACTOR TO ERECT AND MAINTAIN CONSTRUCTION FENCING ON THE EAST, SOUTH AND WEST PROPERTY LINES
5. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL DURING DEMOLITION, CONSTRUCTION AND PLACEMENT OF FINAL EROSION CONTROL, AFTER FINAL GRADING.
6. CONTRACTOR TO PROVIDE REINFORCED EROSION CONTROL WIRE-BACK SILT FENCE AT ALL PROPERTY LINES
7. STOCKPILE TOP 4" INCHES OF TOP SOIL TO INCLUDE IN FINAL AMENDED SOIL BEFORE PLANTING
8. REMOVAL OF THE EXISTING STRUCTURE INCLUDES: REMOVAL OF ALL FOUNDATION ELEMENTS AND REMOVAL AND CAPPING OF EXISTING UNDERGROUND UTILITY SERVICES TO THE SATISFACTION OF THE GOVERNING AGENCY.
9. REMOVAL OF EXISTING ELECTRICAL AND GAS SERVICE SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDER.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING REMOVAL OF UTILITY SERVICES.

WORK NOTES

PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204-8468
E-mail: dpfeifer@amdashitects.com

Architect

David Pfeifer, AIA
739 Franklin St.
Denver, CO, 80218
Telephone: 303.204-8468
E-mail: hightstreet74@gmail.com

NOT FOR CONSTRUCTION

Issue

Date

DESIGN APPLICATION
DESIGN APPLICATION REV. 1

21 FEB 2025
16 APR 2025

Project Number:

-

Drawn By:

SH

Reviewed By:

DP

Approved By:

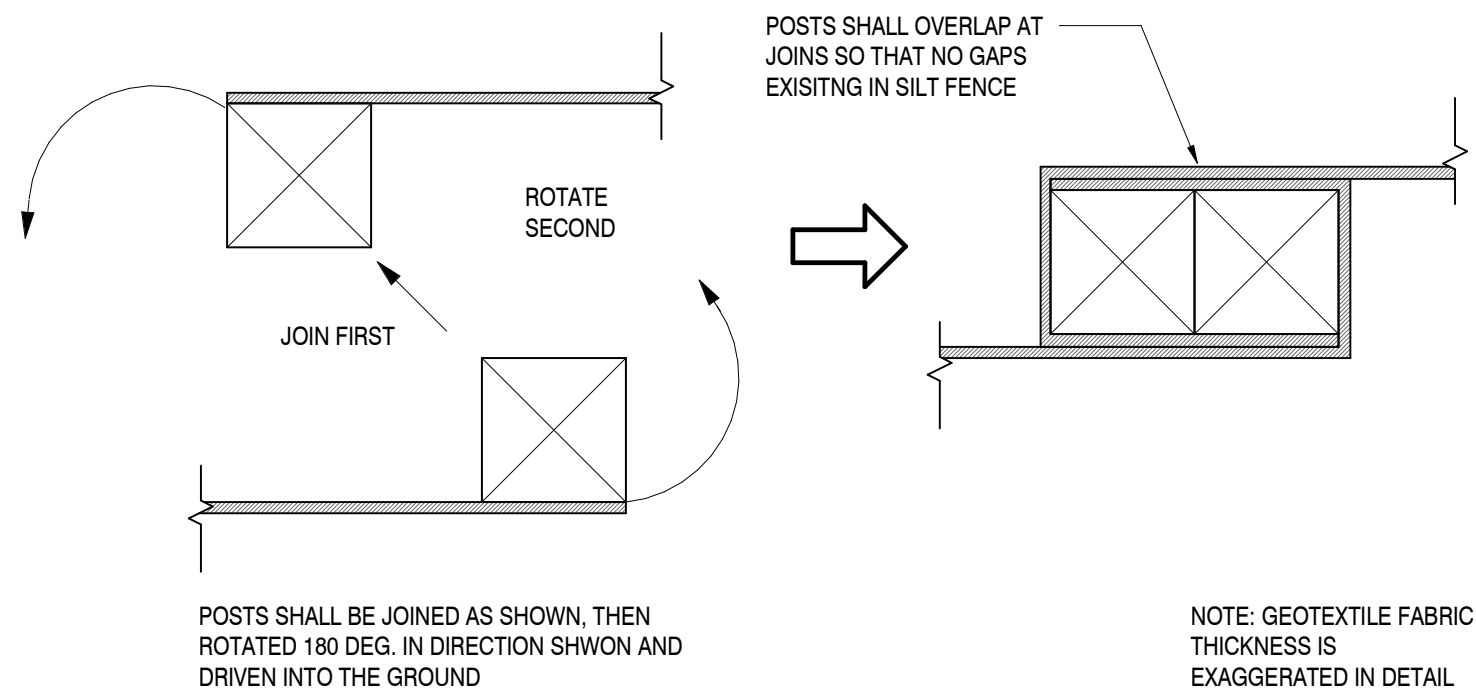
DP

SITE DEMO PLAN

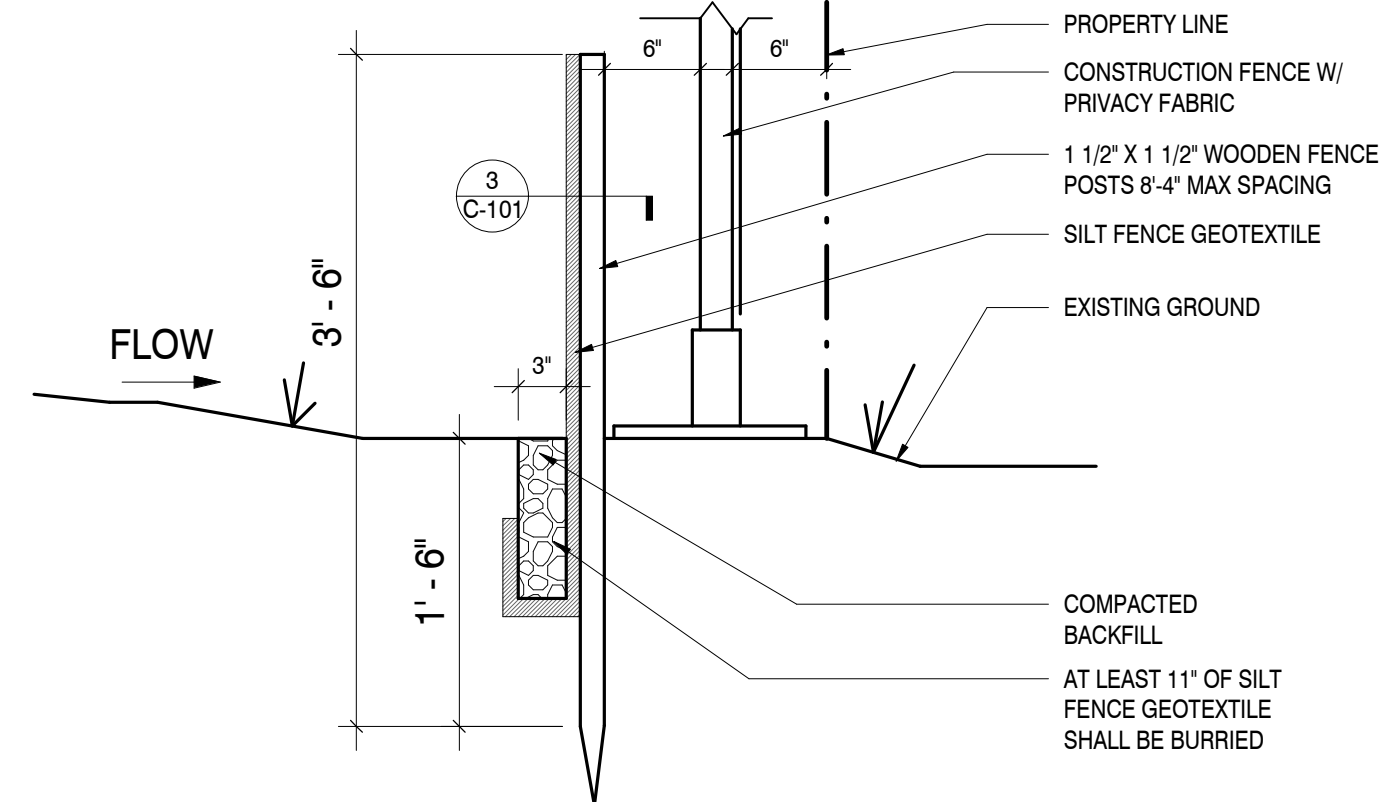
C-100d

STILT FENCE INSTALLATION NOTES

- SILT FENCE ALONG ENTIRE PERIMETER OF PROPERTY LINE AND CONSTRUCTION FENCE, EXCEPT AS ACCESS GATE
- ANCHOR TRENCH SHALL BE EXCAVATED WITH TRENCHER, OR WITH SILT FENCE INSTALLATION MACHINE. NO ROAD GRADERS, BACKHOES, ETC. SHALL BE USED. TRENCH SHALL BE COMPACTED BY HAND, WITH "JUMPING JACK", OR BY WHEEL ROLLING. COMPACTON SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND
- SILT FENCE GEOTEXTILE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 6 TO 12 GALLONS PER MINUTE PER SQUARE FOOT FLOW CAPACITY
 - 90 LBS TENSILE STRENGTH PER ASTM D4822
 - UV DESIGN AT 500 HRS MIN. 70% STRENGTH RETAINED PER ASTM D 4355
- SILT FENCE TO BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES
- MAINTENANCE
 - GENERAL CONTRACTOR SHALL INSPECT FENCE DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY
 - SEDIMENT ACCUMULATED UPSTREAM OF SILT FENCE SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT REACHES A DEPTH OF 6-INCHES
 - SILT FENCE SHALL BE REMOVED WHEN THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER OR FINISH LANDSCAPE MATERIAL IS APPROVED BY CITY. IF ANY DISTURBED AREA EXIST AFTER REMOVAL, AREA TO BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE TOWN.



PLAN DETAIL - SILT FENCE JOINTS



SECTION DETAIL - SILT FENCE

GENERAL NOTES

- RENDERED SITE PLAN FOR CONTEXT AND GENERAL DESIGN INTENT. REFER TO CIVIL SITE PLAN, GRADING PLAN, EROSION CONTROL PLAN AND UTILITY PLAN FOR MORE INFO

CONSTRUCTION FENCE INSTALLATION NOTES

- LOCATE JUST INSIDE PROPERTY LINE (ALL SIDES)
- INSTALL PRIOR TO ANY OTHER BMPs OR ANY LAND-DISTURBING ACTIVITIES OF ANY KIND
- STEEL POSTS SHALL BE UTILIZED FOR SUPPORT OF CONSTRUCTION FENCE, MAXIMUM SPACING 15'-0"
- ANY DAMAGE OR MOVED FENCE SHALL BE REPAIRED ON A DAILY BASIS THROUGHOUT CONSTRUCTION
- FENCE SHALL BE REMOVED AT THE END OF CONSTRUCTION
- IF ANY DISTURBED AREA EXISTS AFTER FENCE REMOVAL, PROVIDED DRILLED SEEDING AND CRIMPED MULCH OR OTHERWISE STABILIZED IN A MANNER AS PROVED BY THE TOWN OF MINTURN

VEHICLE TRACKING CONTROL INSTALLATION NOTES

- VEHICLE TRACKING CONTROL PADS SHALL BE INSTALLED AT ACCESS POINT TO SITE
- VTC PADS SHALL CONSIST OF HARD, DENSE, DURABLE STONE, ANGULAR IN SHAPE AND RESISTANT TO WEATHERING. NO ROUNDED STOP OR BOULDERS.
- 3" STONE (MAX 6")
- WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE VTC STONE TO HELP MINIMIZE MIGRATION OF THE STONE INTO THE UNDERLYING MATERIAL
- CRACKED OR DAMAGED, CURB SHALL BE REPLACED BY PERMITTEE
- A STOP SIGN TO BE INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE (MUTCD), AS AMENDED, SHALL BE INSTALLED EXISTING TRAFFIC AT VTC
- CONTRACTOR SHALL INSPECT VTC PADS DAILY:
 - ACCUMULATED SEDIMENT SHALL BE REMOVED
 - STONE SURFACE SHALL BE CLEANED AND LOOSE ENOUGH TO RO RUT SLIGHTLY UNDER WHEEL LOAD TO CAUSE GRAVEL TO DISLODGE MUD / SEDIMENT FROM VEHICLE TIRES
- VTC SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE STONE MATERIAL AND GEOTEXTILE REMOVED OR CRUSHED TO 3" STONE MAX AND USED ON SITE, IF PERMITTED BY CITY. THE AREA TO BE TOPSOILED, DRILL SEEDED AND CRIMP MULCHED OR OTHER FINAL STABILIZED LANDSCAPE MATERIALS PROVIDED PER SITE PLAN

CONCRETE WASH OUT INSTALLATION NOTES

- CONCRETE WASHOUT AREA TO BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE
- VEHICLE TRACKING CONTROL IS REQUIRED AT ACCESS POINT, PER PLANS
- SIGN SHALL BE PLACED AT CONSTRUCTION SITE ENTRANCE, AT THE WASHOUT AREA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION
- CONCRETE WASHOUT SHALL BE REPAIRED OR CLEANED AS NECESSARY FOR CAPACITY OR WASTED CONCRETE
- INSPECT WEEKLY, DURING AND AFTER STORM EVENT
- WHEN CONCRETE WASHOUT IS REMOVED THE DISTURBED AREA SHALL BE DRILL, SEEDED AND CRIMP MULCHED, UNTIL FINAL LANDSCAPE MATERIAL IS INSTALLED

CURB SOCK INSTALLATION NOTES

- SOCKS WILL BE USED UPGRADIENT OF INLET, PERPENDICULAR AND FLUSH CURB
- NO LESS THAN TWO 10" DIAMETER SOCK USED IN SEQUENCE, SPACED NO MORE THAN 5 FEET PART
- INCLINE AT 30 DEGREES FROM PERPENDICULAR, OPPOSITE THE DIRECTION OF FLOW, RE: PLAN
- CONTRACTOR SHALL INSPECT THE CURB SOCKS WEEKLY, DURING AND AFTER ANY STORM EVENTS AND MAKE REPAIRS OR CLEAN OUT UPGRADIENT SEDIMENT AS NECESSARY

LEGEND

---	PL	PROPERTY LINE
-F-	LOC	LIMITS OF CONSTRUCTION LINE OF CONSTRUCTION FENCE
-SF-	SF	SILT FENCE, RE: DETAILS
→		FLOW DIRECTION ARROW
CS	CS	CURB SOCK
CWA	CWA	CONCRETE WASH OUT AREA
VTC	VTC	VEHICLE TRACKING CONTROL

PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620
DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204.8468
E-mail: dpfeifer@amdarichitects.com

Architect

David Pfeifer, AIA
729 Franklin St.
Denver, CO, 80218
Telephone: 303.204.8468
E-mail: highstreet74@gmail.com

NOT FOR CONSTRUCTION

Issue

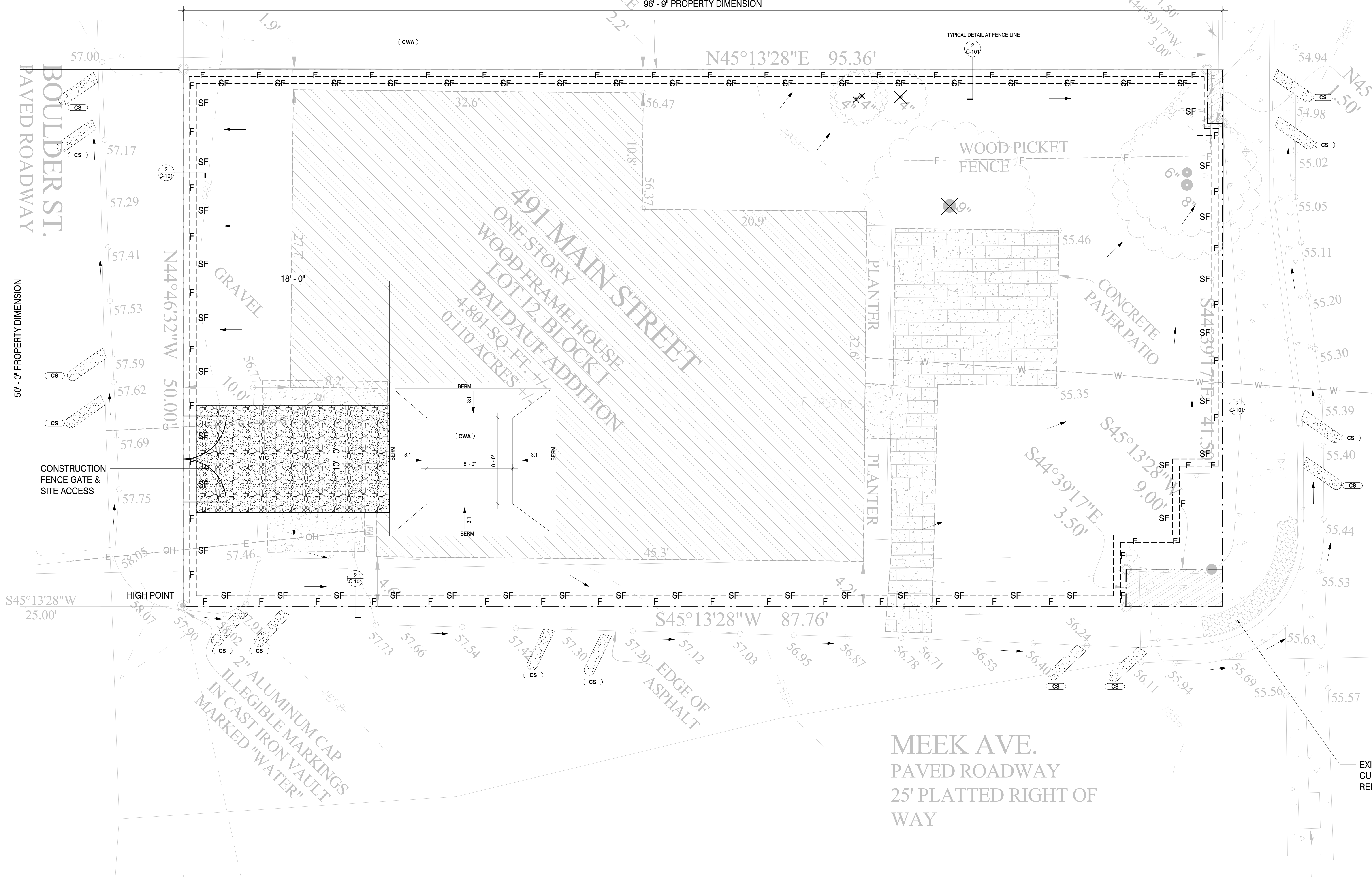
Date

DESIGN APPLICATION 21 FEB 2025
DESIGN APPLICATION REV. 1 16 APR 2025

Project Number: Minturn CO, 81620
Drawn By: SH
Reviewed By: DP
Approved By: DP

EROSION CONTROL PLAN

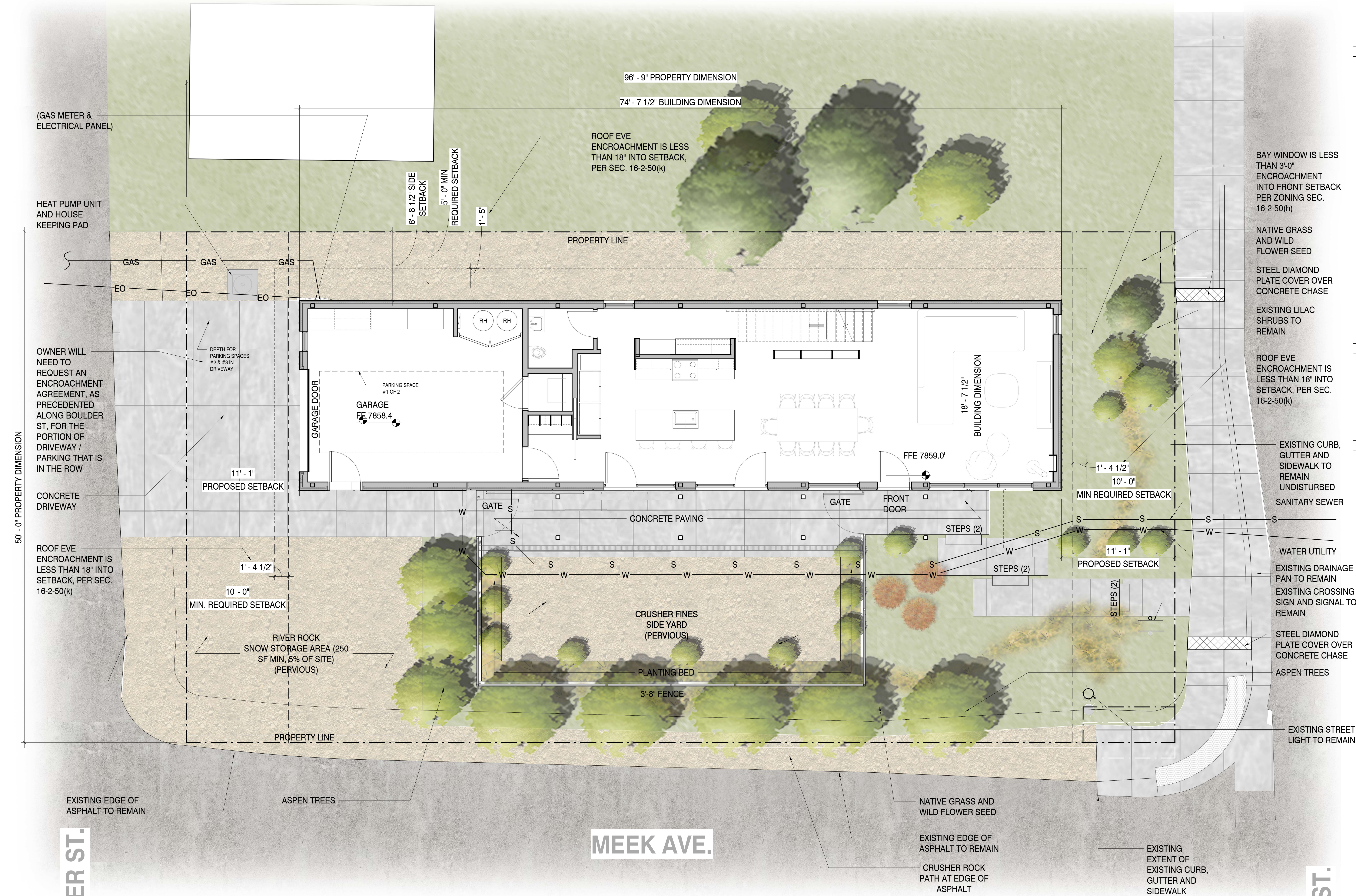
C-101



EROSION CONTROL PLAN

1 1/4\"/>

3/30/2025 11:52:56 PM



PLANTING SCHEDULE					
ABBR.	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
DECIDUOUS TREES					
ASP	Populus tremuloides	Quaking Aspen	1	1 1/2" Caliper MIN.	
DECIDUOUS SHRUBS					
LIL	Syringa vulgaris	Lilac	4	N/A	EXISTING TO REMAIN
GRASSES / PERENNIALS / VINES					
BLA	Bouteloua gracilis 'Blonde Ambition'	Blond Ambition Grama Grass	7	1 GAL	INSIDE YARD PLANTING BED ONLY
CLV	Clematis species	Clematis Vine	5	1 GAL	INSIDE YARD PLANTING BED ONLY
HYS	Agastache rupestris	Hyssop, Sunset	5	1 GAL	INSIDE YARD PLANTING BED ONLY
PEN	Penstemon mexicanus 'Red Rocks'	Penstemon, Mexicade 'Red Rocks'	5	#1	INSIDE YARD PLANTING BED ONLY
POP	Eschscholzia Californica	Poppy, California	7	#1	INSIDE YARD PLANTING BED ONLY
GROUND COVER					
CPJ	Lysimachia nummularia 'Aurea' Moneywort	Creeping Jenny / Money Wart	1	Flat	INSIDE YARD PLANTING BED ONLY
TYM	Thymus speciosus 'Ellin'	Thyme, Ellin'	1	Flat	INSIDE YARD PLANTING BED ONLY
VCM	Vinca minor 'Bowles'	Vinca Minor / Periwinkle-blue	1	Flat	INSIDE YARD PLANTING BED ONLY
WILD FLOWER SEED MIX					
MONTANE MEADOW NATIVE MIX (BY WESTERN NATIVE SEED)			70% GRASSES / 30% WILD FLOWER	1800	Sq Ft FRONT & SIDE YARD

GENERAL NOTES
1. RENDERED SITE PLAN FOR CONTEXT AND GENERAL DESIGN INTENT. REFER TO CIVIL SITE PLAN, GRADING PLAN, UTILITY PLAN FOR MORE INFO

TOWN OF MINTURN MUNICIPAL CODE - 2024
CHAPTER 16 - ZONING
CHAPTER 16 - BUILDING REGULATIONS

CHAPTER 16 - ZONING CODE COMPLIANCE SUMMARY

CHARACTER AREA: OLD TOWN MIXED-USE RESIDENTIAL

SECTION 16-2-40 (TABLE 16-A) LOT REQUIREMENTS AND DIMENSION STANDARDS:

- MIN. LOT AREA - 5000 SF (COMPLIES)
- MIN LOT DIMENSION - 50 FT. (COMPLIES)
- MAX ALLOWABLE BUILDING LOT COVERAGE - 45% (COMPLIES):
 - BUILDING FOOTPRINT (INCLUDES CANTILEVERED BUILDING ELEMENTS): 2,050 SF
 - LOT SIZE 4,800 SF
 - ACTUAL BUILDING LOT COVER: 42.7%

- MAX ALLOWABLE IMPERVIOUS SURFACE AREA - 55% (COMPLIES):
 - IMPERVIOUS AREA (ROOF AND PAVING) 2,300
 - LOT SIZE 4,800 SF
 - ACTUAL IMPERVIOUS SURFACE AREA: 47%

- BUILDING SETBACKS:
 - FRONT MINIMUM 10 FT. (COMPLIES)
 - REAR MINIMUM SETBACK 10 FT. (COMPLIES)
 - SIDE MINIMUM SETBACK 5 FT. (COMPLIES)

- MAX BUILDING HEIGHT 28 FT. (PER TABLE 16-B) (COMPLIES), RE: SHEET A-201 EXTERIOR ELEVATIONS
- MAX CONTINUOUS ROOF LENGTH 60 FT. PER TOWN OF MINTURN DESIGN GUIDELINES (COMPLIES, SEE ROOF PLAN AND ELEVATIONS)

- SNOW STORAGE (SECTION 16-16-130) 5% OF TOTAL LAND AREA OF PARCEL IN QUESTION (COMPLIES)
 - SNOW STORAGE AREA 250 SF
 - LOT SIZE 4,800

EAGLE COUNTY WILD FIRE CONSTRUCTION GUIDELINES

- PROJECT LOCATED IN MODERATE HAZARD RATING AREA
- ROOF TO BE MIN. CLASS B (COMPLIES ASPHALT SHINGLES PROPOSED ROOFING)
- EXTERIOR WALL CLADDING NO LIMITATIONS (THERMALLY MODIFIED WOOD SIDING PROPOSED)
- SOFFIT EAVES - PROJECTION OVER 40" TO BE FIRE RESISTIVE CONSTRUCTION (COMPLIES: PROPOSED CONSTRUCTION PROJECTIONS ARE LESS THAN 40")

CHAPTER 16 - LANDSCAPE STANDARD COMPLIANCE

SECTION 16-17-170 LANDSCAPE STANDARDS FOR SINGLE FAMILY DWELLING COMPLIES WITH THE FOLLOWING:

- WATER EFFICIENT DESIGN PRINCIPALS ARE FOLLOWED PER SEC. 16-17-150
- MAINTENANCE PROGRAM AND TEMPORARY IRRIGATION TO BE PROVIDED FOR (2) YEARS TO ENSURE PLANT ESTABLISHMENT
- NO TURF OR HIGH WATER CONSUMPTIVE SPECIES TO BE USED
- LOW WATER PLANTS SPECIES TO BE PROVIDED PER PLANTING SCHEDULE
- IRRIGATION (DESIGN BUILD) TO BE OPERATED AND MAINTAINED FOR EFFICIENCY
- SOIL AMENDED FOR PERENNIALS: 6" DEPTH, (8%) ORGANIC MATTER BY VOLUME
- SOIL AMENDMENT FOR TREES: 36" DEPTH, (3%) ORGANIC MATTER BY VOLUME, SOIL TURNED (3) TIMES THE DIMENSION OF ROOTBALL
- MULCH APPLIED OVER TREES AND PLANTING BEDS

THE ENTIRE PROPERTY TO BE RE-VEGETATED OR COVERED WITH PAVING OR MULCH MATERIAL TO ENSURE EROSION CONTROL BOTH DURING AND AFTER CONSTRUCTION

- PERCENTAGE OF PERVIOUS AND IMPERIOUS PROVIDED IN NOTES ABOVE PER SEC. 16-2-40

- PLANT SPECIES TO BE HARDINESS ZONE 4b

PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204-8468
E-mail: dpfeifer@amdarichitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303.204-8468
E-mail: highstreet74@gmail.com

NOT FOR CONSTRUCTION

Issue	Date
DESIGN APPLICATION	21 FEB 2025
DESIGN APPLICATION REV. 1	16 APR 2025

Project Number:	-
Drawn By:	SH
Reviewed By:	DP
Approved By:	DP

SITE PLAN RENDERED

A-100a

GENERAL NOTES

1. CONCEPT DRAWINGS - NOT FOR CONSTRUCTION
2. (E) = MATCH EXISTING SPOT ELEVATION
3. VERIFY ALL EXISTING ELEVATIONS IN FIELD

WORK NOTES

PFEIFER
RESIDENCE

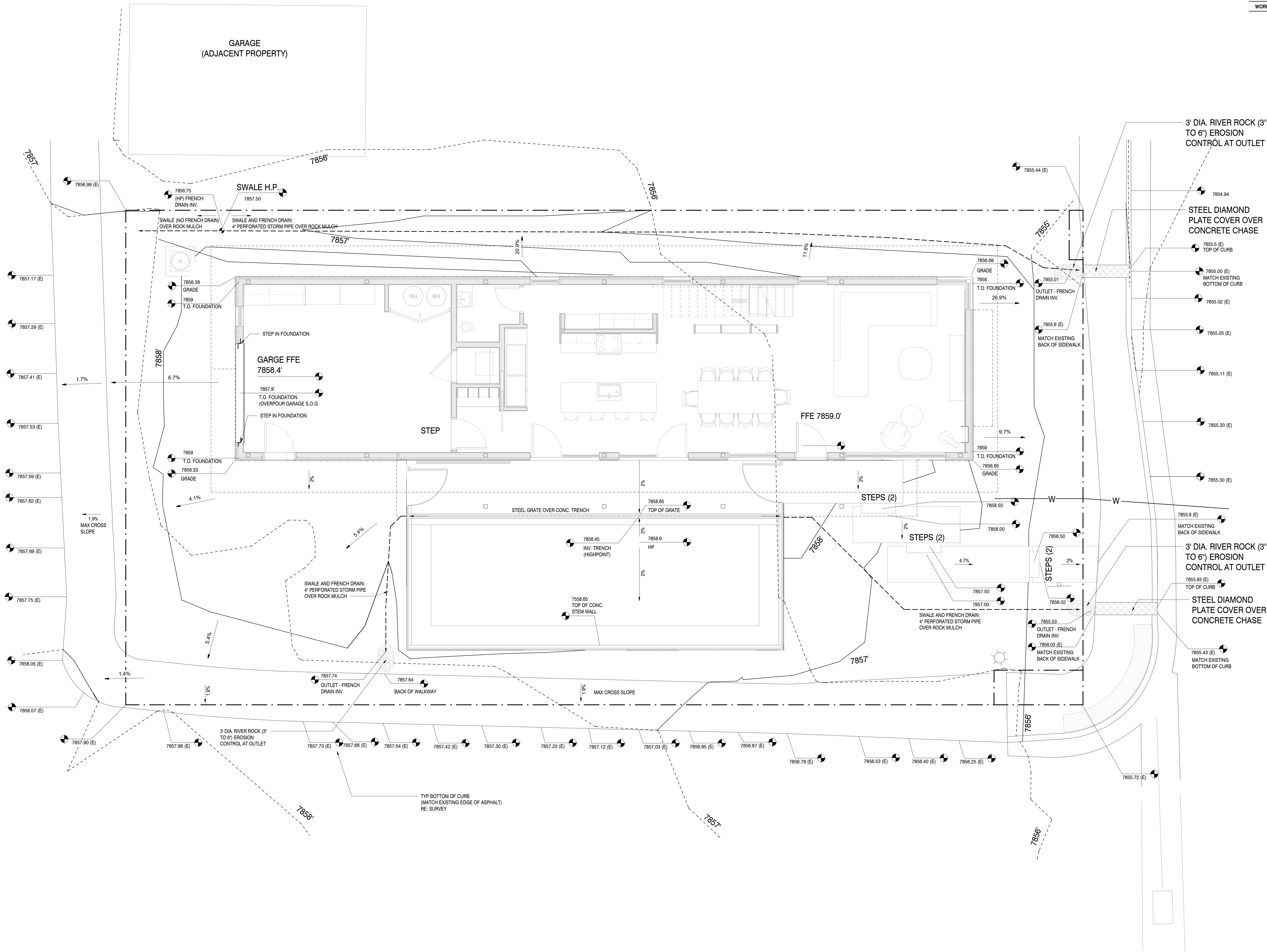
491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204-8468
E-mail: dpfeifer@amdarichitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303.204-8468
E-mail: highstreet74@gmail.com



NOT FOR CONSTRUCTION

Issue Date
DESIGN APPLICATION 21 FEB 2025
DESIGN APPLICATION REV. 1 16 APR 2025

Project Number: -
Drawn By: SH
Reviewed By: DP
Approved By: DP

GRADING PLAN

A-100c

491 Main St.
Minturn CO, 81620

491 Main St.
Minutemen, CO 81602

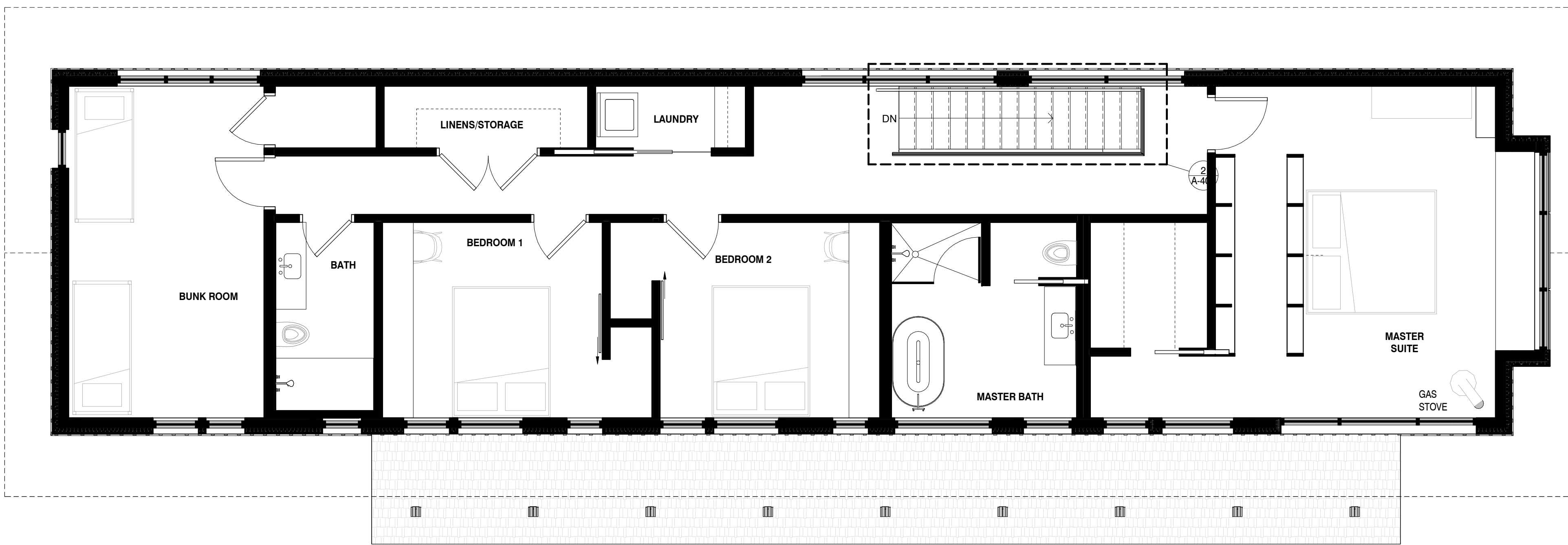
Mobile: 303-204-8468
E-mail: dpfeiler@amdarchitects.com

David Pfeifer, AIA
720 Franklin St.

Denver, CO, 80218
Telephone: 303-204-8468
E-mail: highstreet574@gmail.com

GENERAL NOTES

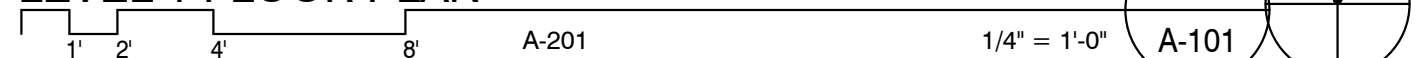
1. CONCEPT DRAWINGS - NOT FOR CONSTRUCTION



LEVEL 2 FLOOR PLAN



LEVEL 1 FLOOR PLAN





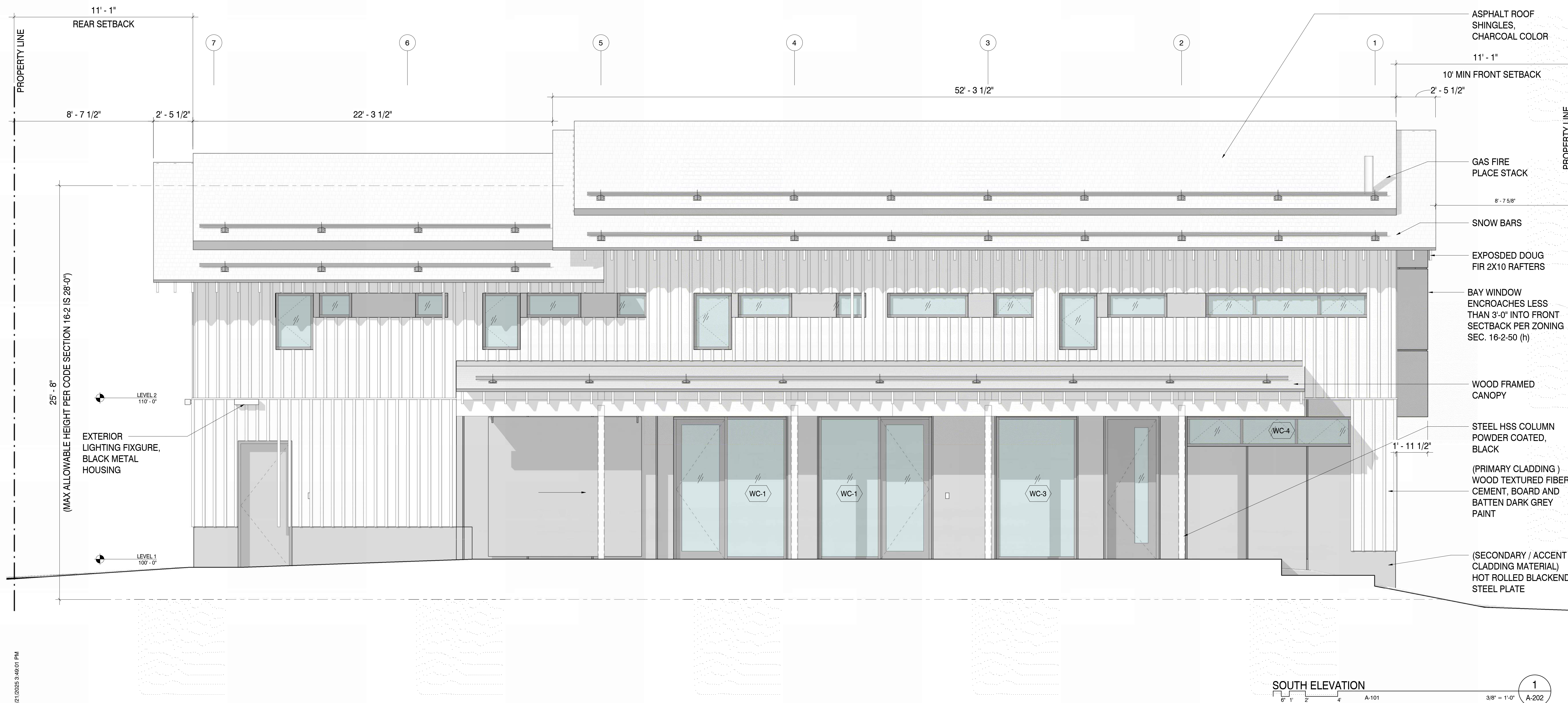
PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620
DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204-8468
E-mail: dpfeifer@amdararchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303.204-8468
E-mail: highstreet74@gmail.com



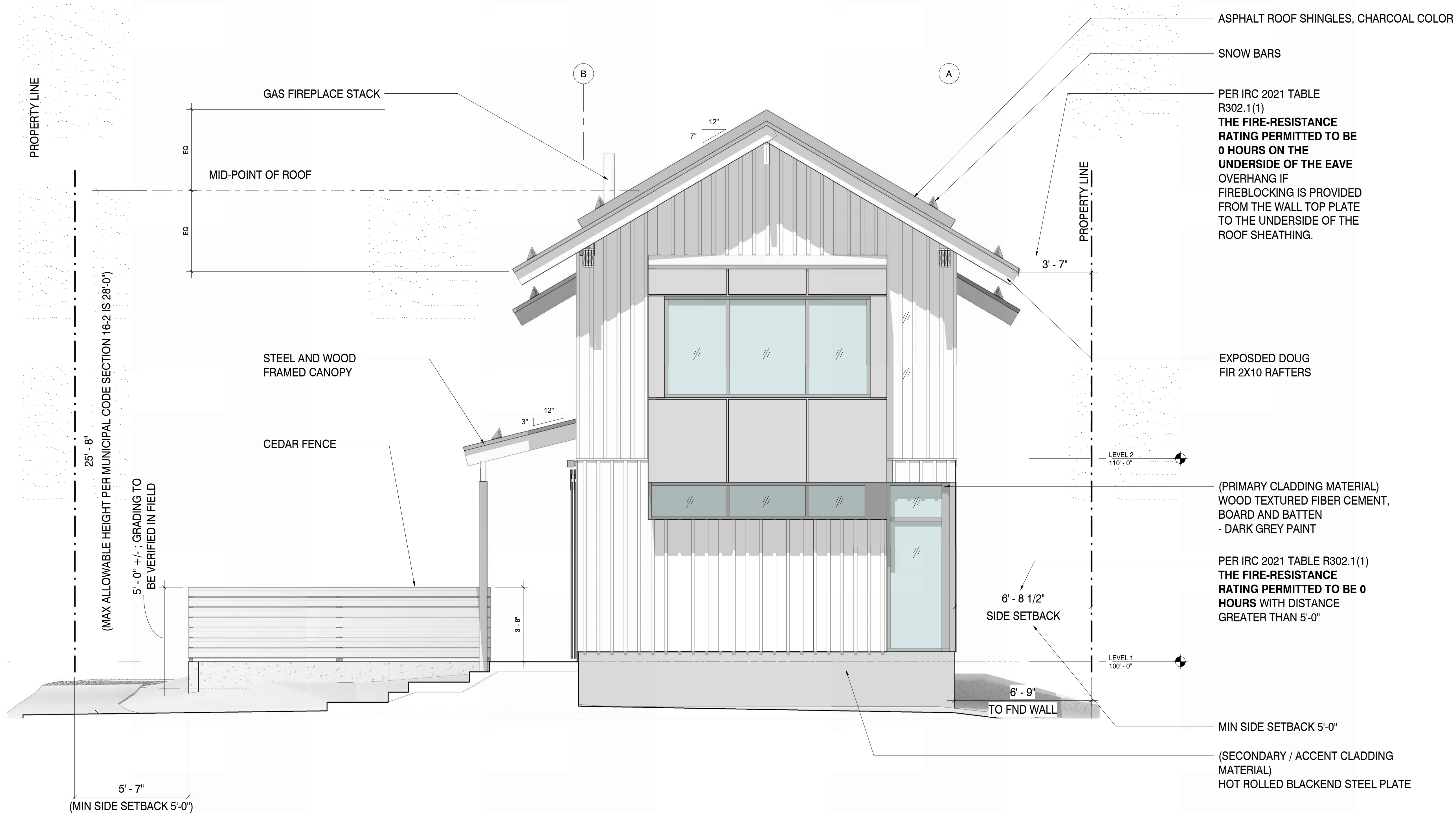
NOT FOR CONSTRUCTION

Issue Date
DESIGN APPLICATION 21 FEB 2025

Project Number: -
Drawn By: SH
Reviewed By: SH
Approved By: DP

SOUTH ELEVATION

A-202



EAST ELEVATION RENDERED

1
A-203

PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303-204-8468
E-mail: dpfeifer@amdararchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303-204-8468
E-mail: highstreet74@gmail.com

NOT FOR CONSTRUCTION

Issue Date
DESIGN APPLICATION 21 FEB 2025

Project Number: -
Drawn By: SH
Reviewed By: SH
Approved By: DP

EAST ELEVATION

A-203

PFEIFER
RESIDENCE

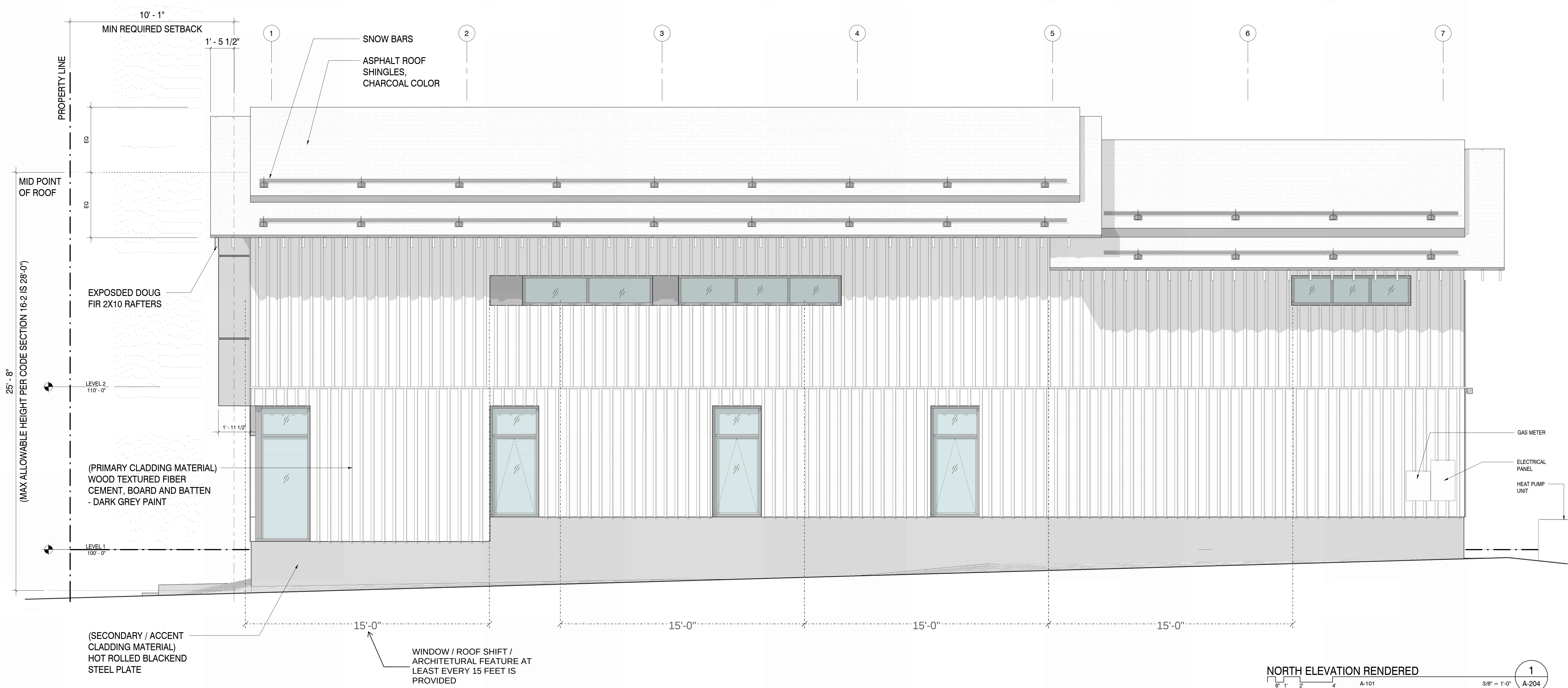
491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303.204-8468
E-mail: dpfeifer@amdarchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303.204-8468
E-mail: highstreet74@gmail.com



NOT FOR CONSTRUCTION

Issue	Date
DESIGN APPLICATION	21 FEB 2025

Project Number:	-
Drawn By:	SH
Reviewed By:	SH
Approved By:	DP

NORTH ELEVATION

A-204



**PFEIFER
RESIDENCE**

491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303-204-8468
E-mail: dpfeifer@amdararchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303-204-8468
E-mail: highstreet74@gmail.com

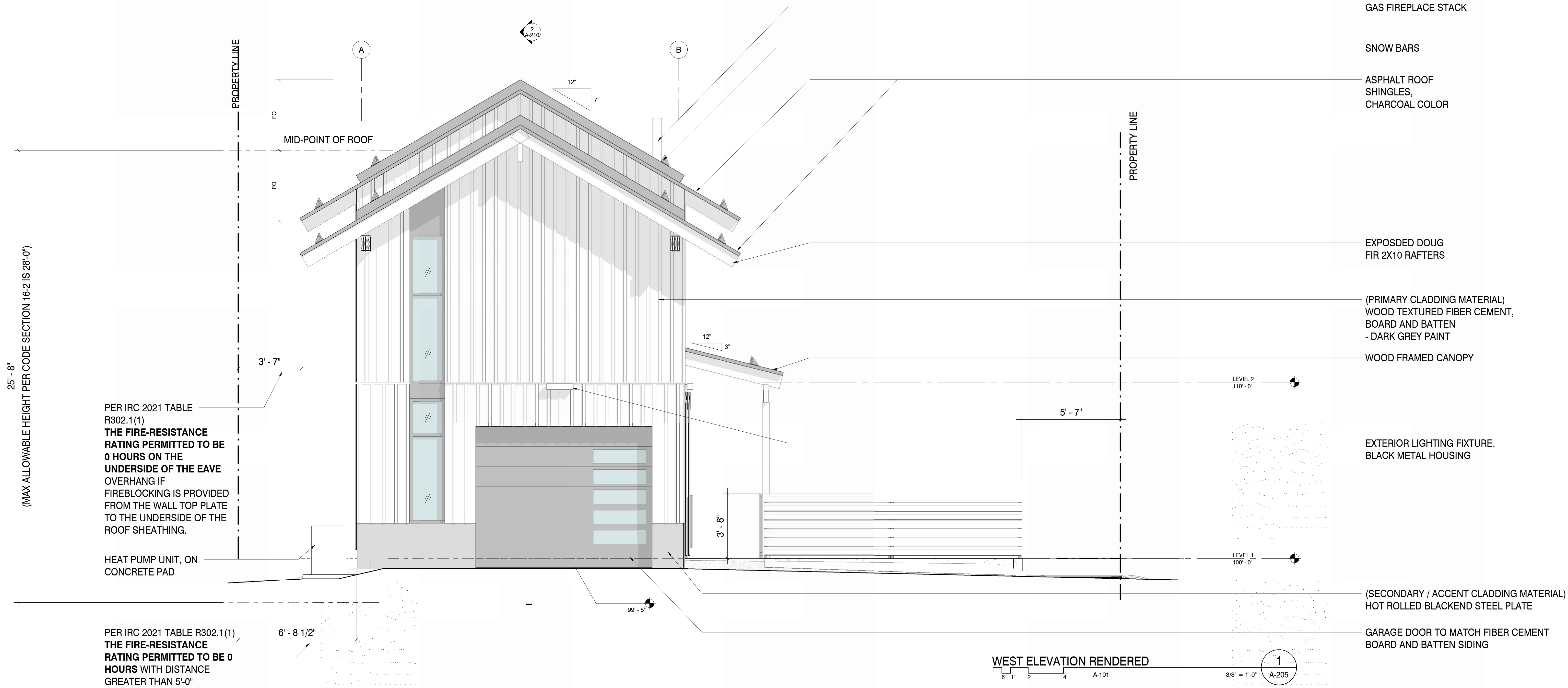
NOT FOR CONSTRUCTION

Issue Date
DESIGN APPLICATION 21 FEB 2025

Project Number: -
Drawn By: SH
Reviewed By: SH
Approved By: DP

WEST ELEVATION

A-205



491 Main St. | Single Family Residence | Town of Minturn Design Review Application

Material Board

Doug Fir Exposed Roof Framing

2x Exposed Rafters
T&G Finish Soffit Material to Match



Board and Batten Fiber Cement Siding

Color: Charcoal
Texture: Wood Textured Fiber Cement, Vertical Battens
Sizes: 8" O.C. Spaced 2" Battens



Asphalt Shingle

Color: Verigated Charcoal



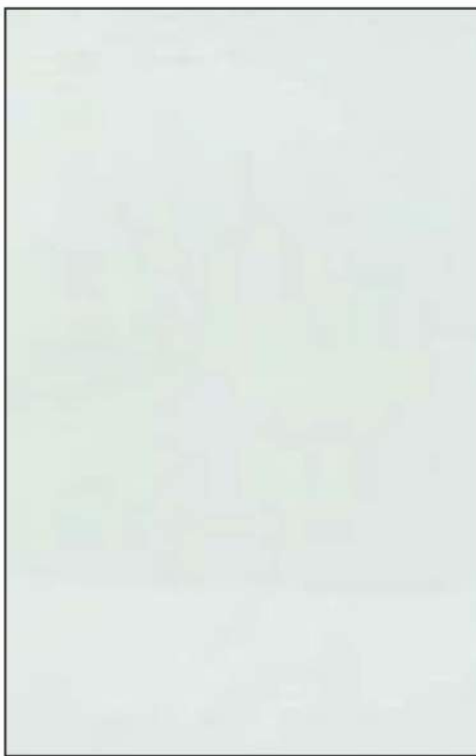
Hot Rolled Blackend Steel Plate

Pre-Oxidized Blackened Steel
Size: custom sizes - large format plate



Glazing

Low-E Coated High Performance Glazing
Basis of Design:
"Solar Ban 90"



WINDOW MULLIONS & METAL TRIM

Black, Metallic



AndersonMasonDale

PFEIFER RESIDENCE

491 Main St.
Minturn CO, 81620

DAVID PFEIFER

491 Main St.
Minturn, CO, 81620
Mobile: 303-204-8468
E-mail: dpfeifer@amdararchitects.com

Architect

David Pfeifer, AIA
720 Franklin St.
Denver, CO, 80218
Telephone: 303-204-8468
E-mail: highstreet74@gmail.com

NOT FOR CONSTRUCTION

Issue	Date
DESIGN APPLICATION	21 FEB 2025

Project Number:	-
Drawn By:	SH
Reviewed By:	SH
Approved By:	DP

MATERIALS BOARD

A-206