

CHRISTOPHER DAVIS
KEVIN STEPHENSON



OWNER:
ADAM AND LAINIE MINNICK
LOCATION:
1014 TWO ELK LANE
MINTURN, COLORADO 81645

2024 FOR PRICING
2024 DESIGN REVIEW

VICINITY MAP

TWO.ELKCONDO

BOS
ARCHITECTURE
3300 E 17TH AVE
DENVER, COLORADO 80206 USA
303.377.6322 | P
303.377.6326 | F
WWW.BOSARCHITECTURE.COM

VICINITY MAP



GARY R. GILMAN
JULIE M. STOYEN
PO BOX 1550
VAIL, CO 81658

PARCEL #210336310001
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

PARCEL #210336310006
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

EAGLE RIVER

PARCEL #210336310003
1010 TWO ELK LANE
MINTURN, CO 81645

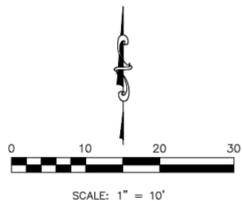
PARCEL #210336310005
ADAM & ELENI MINNICK
452 LEYDEN ST
DENVER, CO 80220

HIGHWAY 24

CROSS CREEK

CROSS CREEK ROAD

1 VICINITY MAP
NOT TO SCALE



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	03°46'06"	756.30'	49.73'	24.68'	49.74'	N 17°36'59" W

- NOTES:**
- 1) DATE OF SURVEY: 12/14/2023.
 - 2) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - 3) NOTICE, ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 4) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OR TRANSFER TO OTHERS IS PROHIBITED.
 - 5) BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W, (SEE DRAWING).
 - 6) 1.0' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
 - 7) BASIS OF ELEVATION: USGS NAVD 88 BM S-280 EAGLE COUNTY SURVEY CONTROL EL=7894.20'.
 - 8) 1' CONTOUR INTERVAL.
 - 9) THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
 - 10) THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.

LEGEND

- UTILITY POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- CPP
- OVERHEAD POWER LINE
- ASPHALT SURFACE
- ROCK WALL
- FLAGSTONE SURFACE
- CONCRETE SURFACE
- DENOTES DECIDUOUS TREE W/ APPROX. 0.3' TRUNK DIAMETER
- DENOTES CONIFEROUS TREE W/ APPROX. 0.5' TRUNK DIAMETER

SURVEYOR'S CERTIFICATE:
 Certified to: ADAM & ELLEN MINNICK.
 I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 12/14/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.

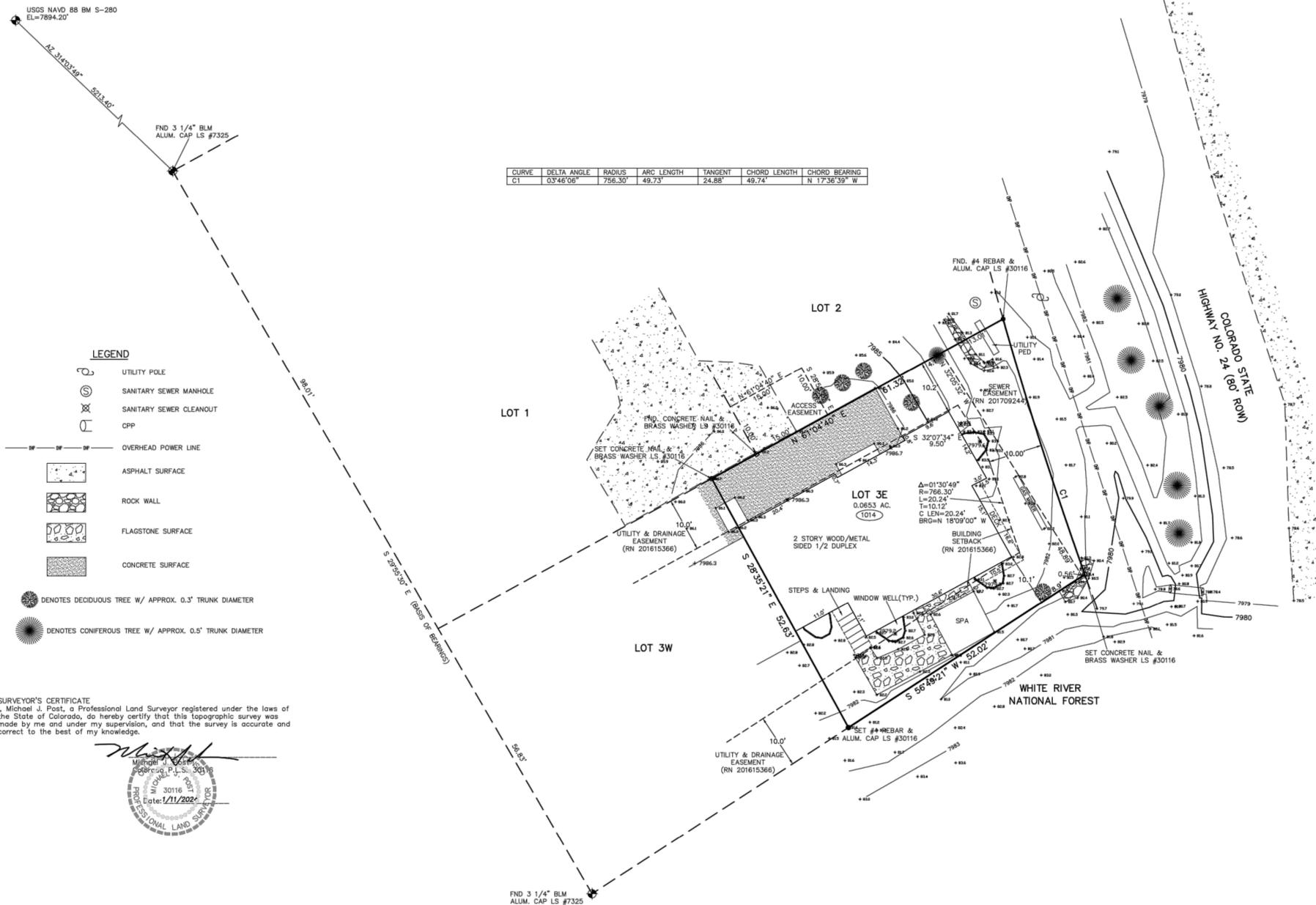
SURVEYOR'S CERTIFICATE:
 I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



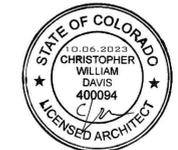
EAGLE VALLEY SURVEYING, INC.
 41199 HIGHWAY 6 & 24, EAGLE-VAIL
 P.O. BOX 1230
 EDWARDS, CO. 81632
 (970)949-1406

3518-T-ISP-2024.dwg DATE: 12/2023
 DRN. BY: MLT PAGE: 1 OF 1

TOPOGRAPHIC SURVEY
 IMPROVEMENT SURVEY PLAT
 LOT 3E
 CROSS CREEK PLACE
 TOWN OF MINTURN, EAGLE COUNTY, COLORADO
 JOB No. 3518



CHRISTOPHER DAVIS
 KEVIN STEPHENSON



OWNERS:
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9/7 | 2024 FOR PRICING
 9/11 | 2024 DESIGN REVIEW

SURVEY

TWO.ELKGONDO

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1 SURVEY
 1/4" = 1'

LOT COVERAGE, SQ. FT.	
LOT COVERAGE	
LOT SIZE	5,963 SF (1.13 ACRES)
ALLOWED	2,981 SF (50%)
PROPOSED	2,363 SF (39%)
IMPERVIOUS	
ALLOWED	3,577.8 SF (60%)
PROPOSED	2,986 SF
BUILDING	2,363 SF
DRIVEWAYS (EX.)	623 SF
TOTAL	2,986 SF (50%)



CHRISTOPHER DAVIS
KEVIN STEPHENSON



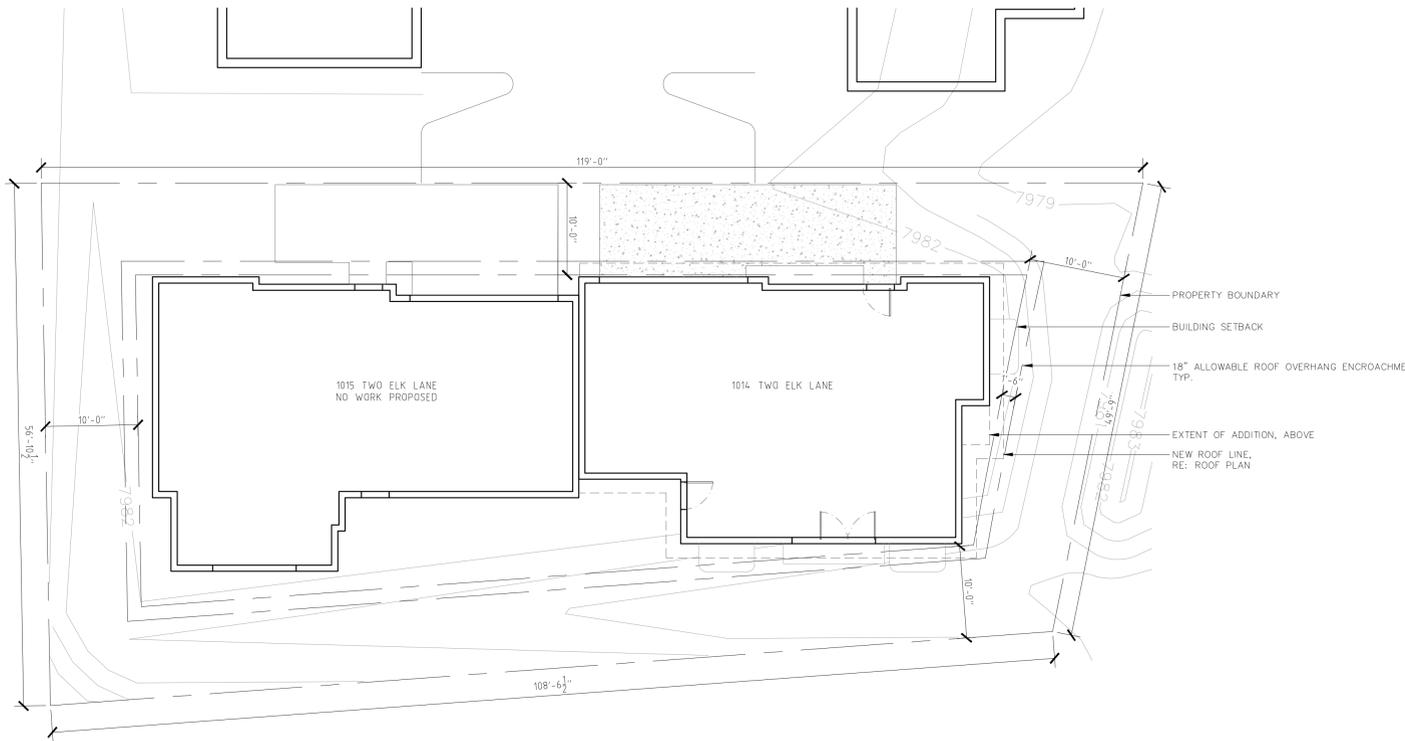
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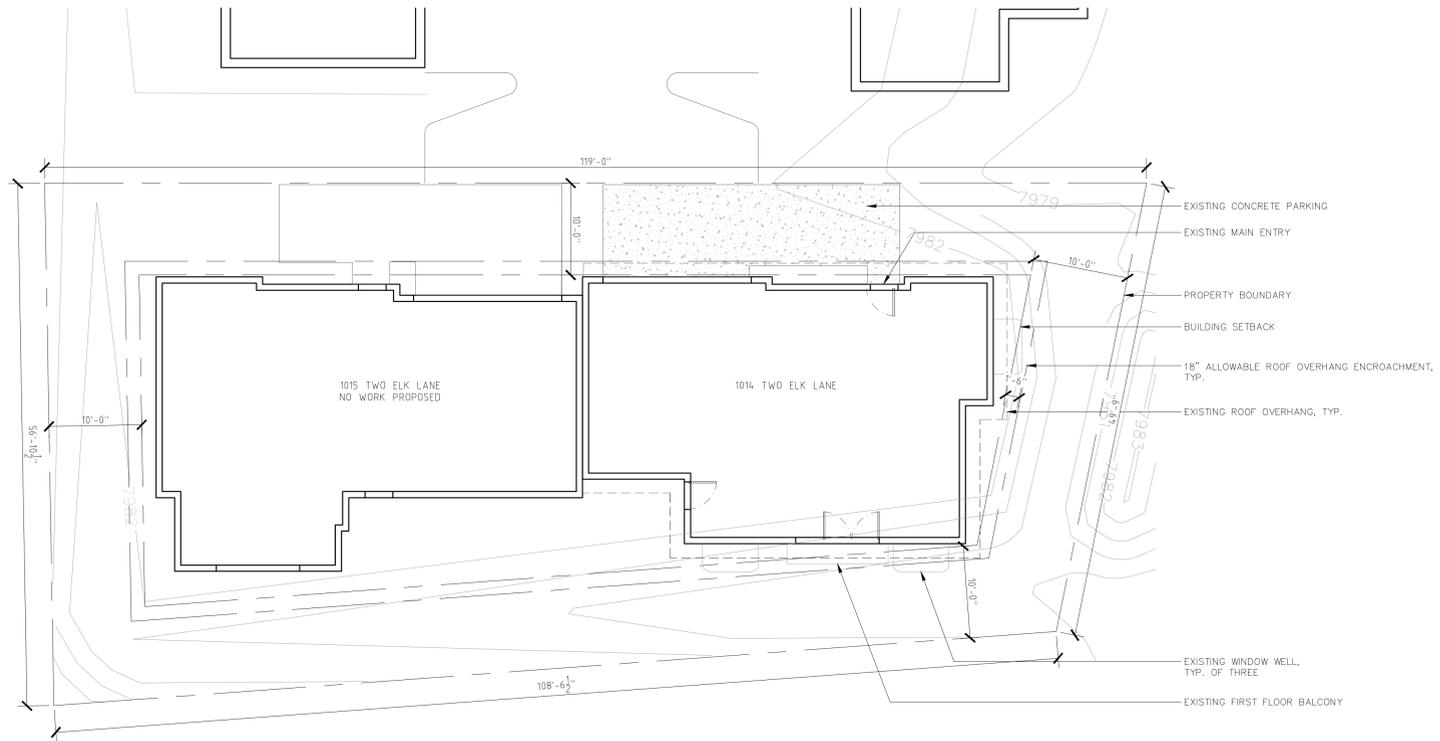
SITE PLAN

TWO ELK CONDO

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2 PROPOSED SITE PLAN
1/4" : 1'



1 EXISTING SITE PLAN
1/4" : 1'

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

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RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS

	STONE PAVERS
	WOOD FLOORING

PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING, & WALL ASSEMBLY NOTES

REFER TO SHEET A0.2 FOR ROOM FINISH SCHEDULE.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

PROVIDE 6 MIL. POLY VAPOR RETARDER (INTERIOR SIDE OF FRAMING)
 @ ALL EXTERIOR FRAMED WALL ASSEMBLIES.

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REPLACE 5/8" GYP.BD. WITH 3/4" 'CEMENTICIOUS TILE BACKER BOARD'
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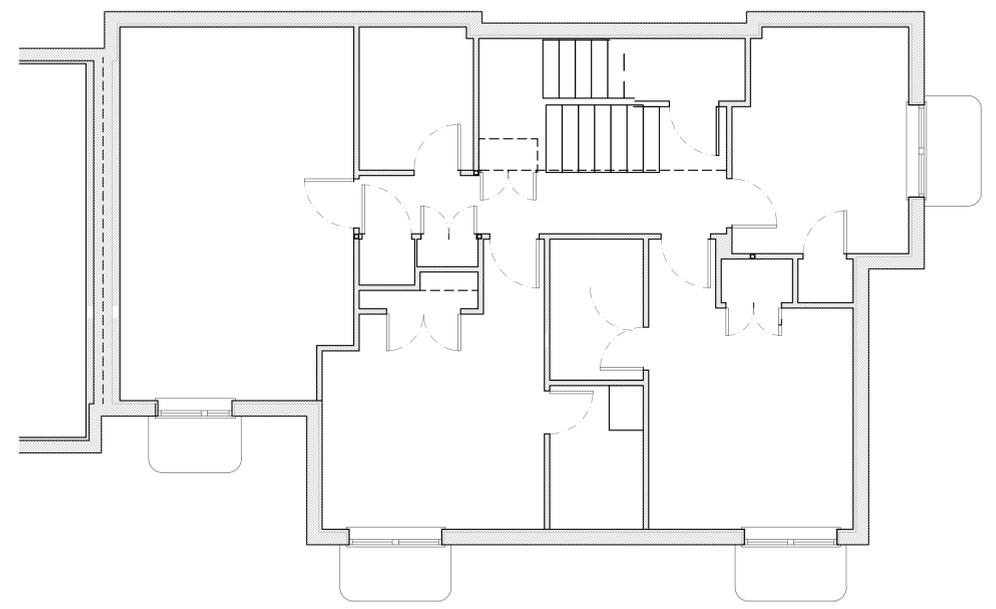
ALL ELEVATIONS ARE RELATIVE TO T.O. FINISH FLOOR 100'-0" = 5211.83'

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.

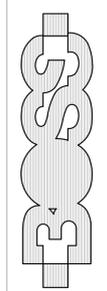
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1 BASEMENT PLAN
NO WORK PROPOSED
1/4" = 1'



CHRISTOPHER.DAVIS
 KEVIN STEPHENSON
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24 | 2024 FOR PRICING
 25 | 2024 DESIGN REVIEW

TWO.ELKCONDO

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BASEMENT PLAN

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

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PLAN.MATERIALS

	STONE PAVERS
	WOOD FLOORING

PLAN.NOTES

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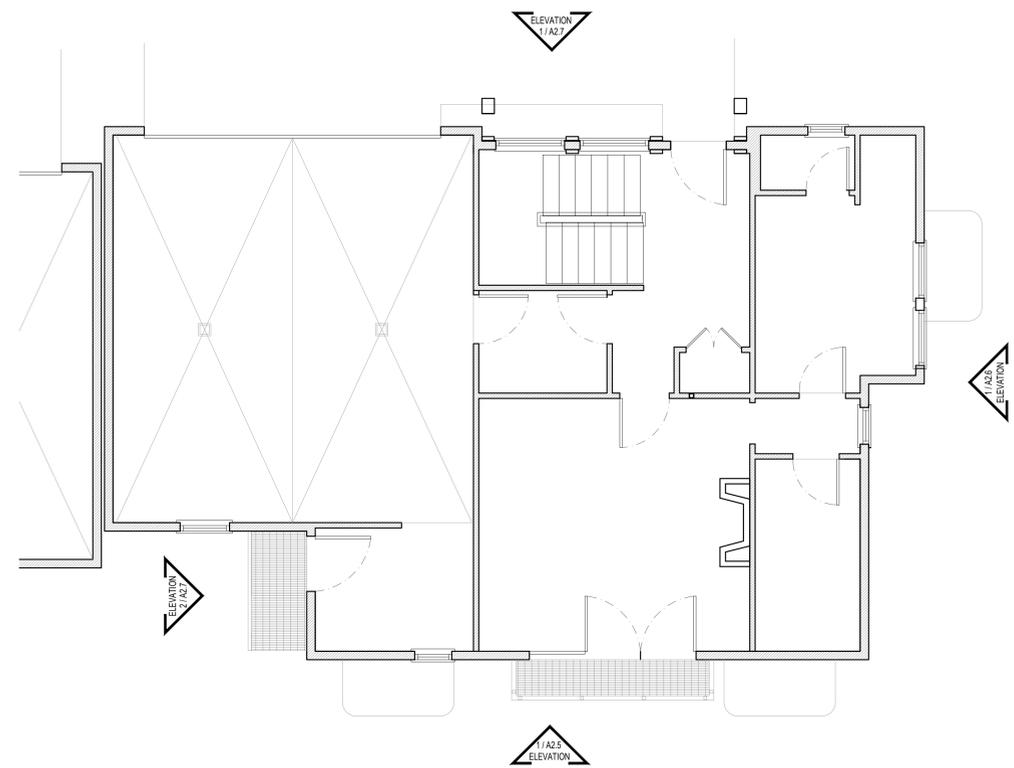
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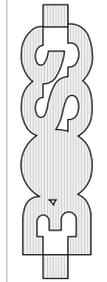
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1 LOWER LEVEL PLAN
 NO WORK PROPOSED
 1/4" = 1'



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 KEVIN STEPHENSON
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24 | 2024 FOR PRICING
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LOWER LEVEL PLAN

TWO.ELKCONDO

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2.0

DEMO.LEGEND

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	WOOD FLOORING

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BOSS

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 KEVIN STEPHENSON

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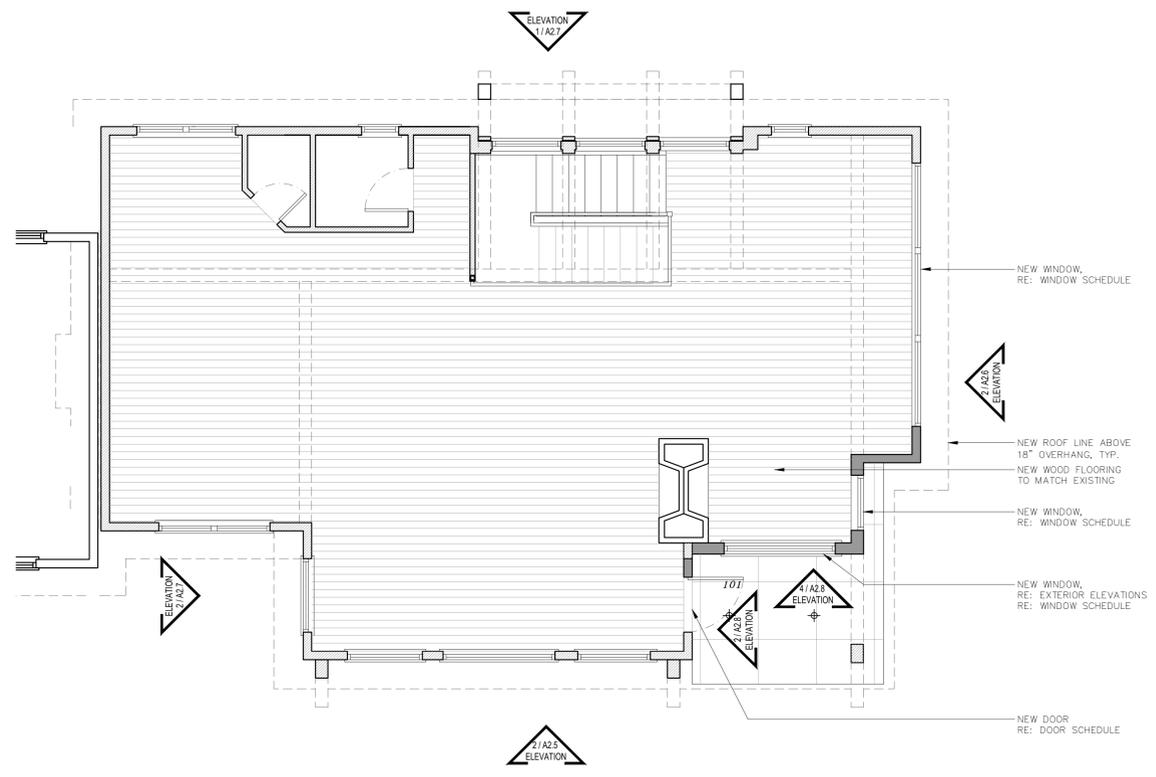


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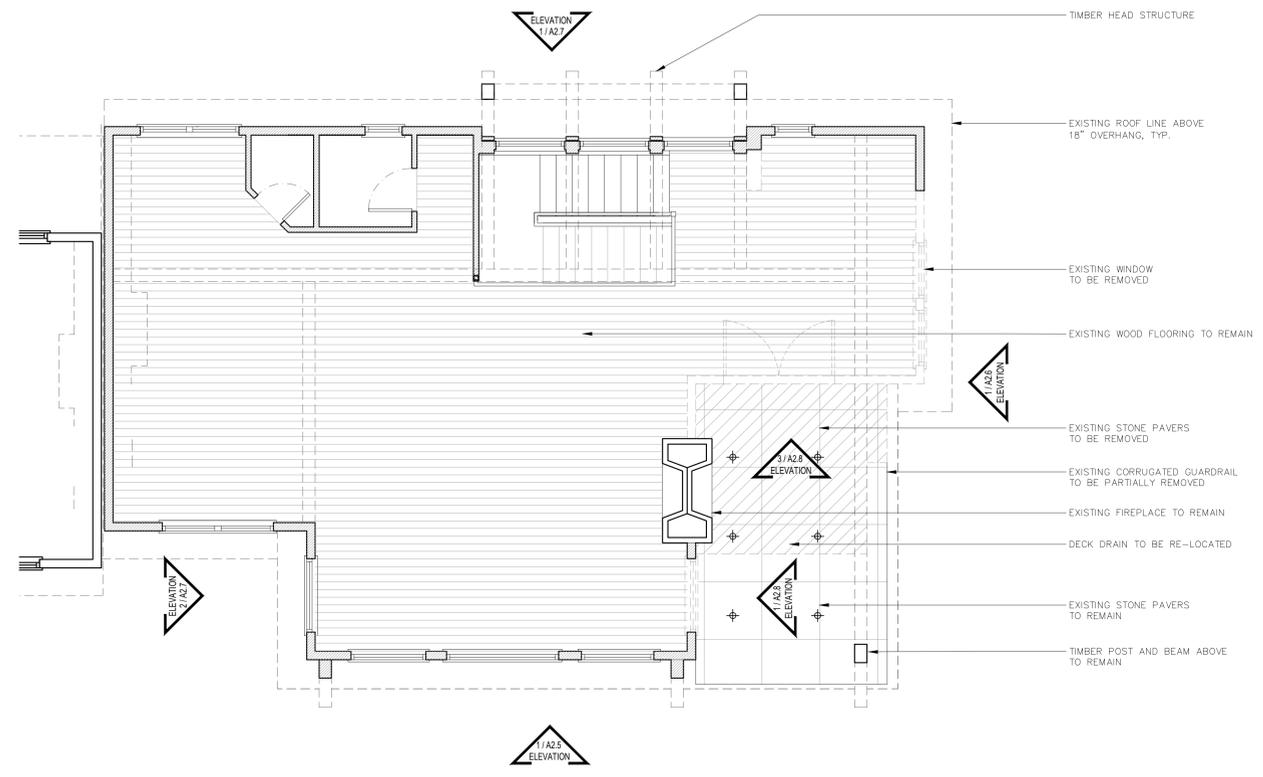
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UPPER LEVEL PLANS



2 UPPER LEVEL PROPOSED PLAN
 1/4" = 1'



1 UPPER LEVEL DEMO PLAN
 1/4" = 1'

TWO.ELKCONDO

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ROOF PLAN.MATERIALS

	FULLY ADHERED, CONTINUOUS, 60 MIL. EPDM ROOFING
	CORRUGATED METAL ROOF
	DS. SYMBOL INDICATES LOCATIONS OF DOWNSPOUTS

ROOF PLAN.NOTES

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL LOW SLOPE ROOFED AREAS SHALL BE FULLY ADHERED 60 MIL. EPDM, (INCLUDING ALL REQUIRED EPDM FLASHINGS FOR CORNERS, TRANSITIONS, ROOF PENETRATIONS, & VENTS)

PROVIDE PROTECTIVE CAGES OVER ROOF DRAINS TO PREVENT DEBRIS FROM CLOGGING DRAINS, TYP.

WHEN ROOF & OVERFLOW DRAINS DRAIN INTERNALLY, THEY SHALL EXIT THE STRUCTURE VIA LAMBS TONGUES, ROUTED TO RAIN GARDEN #2. (RE: CIVIL)

FOR EVERY ROOF DRAIN, A SECONDARY OVERFLOW DRAIN SHALL BE PROVIDED, TYP. PER IRC 903.4 AND R903.4.1. (ALL OVERFLOW DRAIN INLET ELEVATIONS SHALL BE NO MORE THAN 2" ABOVE ROOF DRAIN INLETS, TYP.)

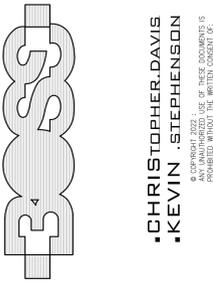
PROVIDE SLOPED PARAPET CAP FLASHING & GRAVEL STOPS, AS INDICATED ON THE WALL SECTIONS. (ALL PARAPET CAPS, GRAVEL STOPS, SHALL BE SEAMLESS, PREFINISHED METAL, TYP.)

ALL FLASHING SHALL BE PREFINISHED METAL, U.N.O.

CONTRACTOR TO INSTALL HPC APPROVED 4" DOWN SPOUTS AND 6" GUTTERS WHERE INDICATED, AND INSTALL HPC APPROVED SNOW GUARDS AS REQD.

COORDINATE ALL VENT PIPE / FLUE / AND OTHER ROOF PENETRATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

NOTE: ICE DAM BARRIER OR AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL EXTEND FROM THE ROOF EAVE EDGE AT LEAST SIX FEET INSIDE THE EXTERIOR WALL LINE AS MEASURED ALONG THE ROOF SURFACE, EIGHTEEN INCHES FROM THE CENTERLINE OF THE VALLEY AND UP TWENTY-FOUR INCHES ON THE VERTICAL WALL AT A ROOF AND WALL JUNCTURE. (CITY OF ASPEN, ORDINANCE 31, 2011)



CHRISTOPHER DAVIS
KEVIN STEPHENSON

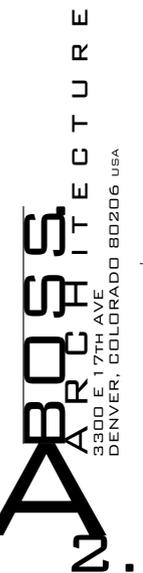


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LOCATION: 1014 TWO ELK LANE, MINTURN, COLORADO 81645

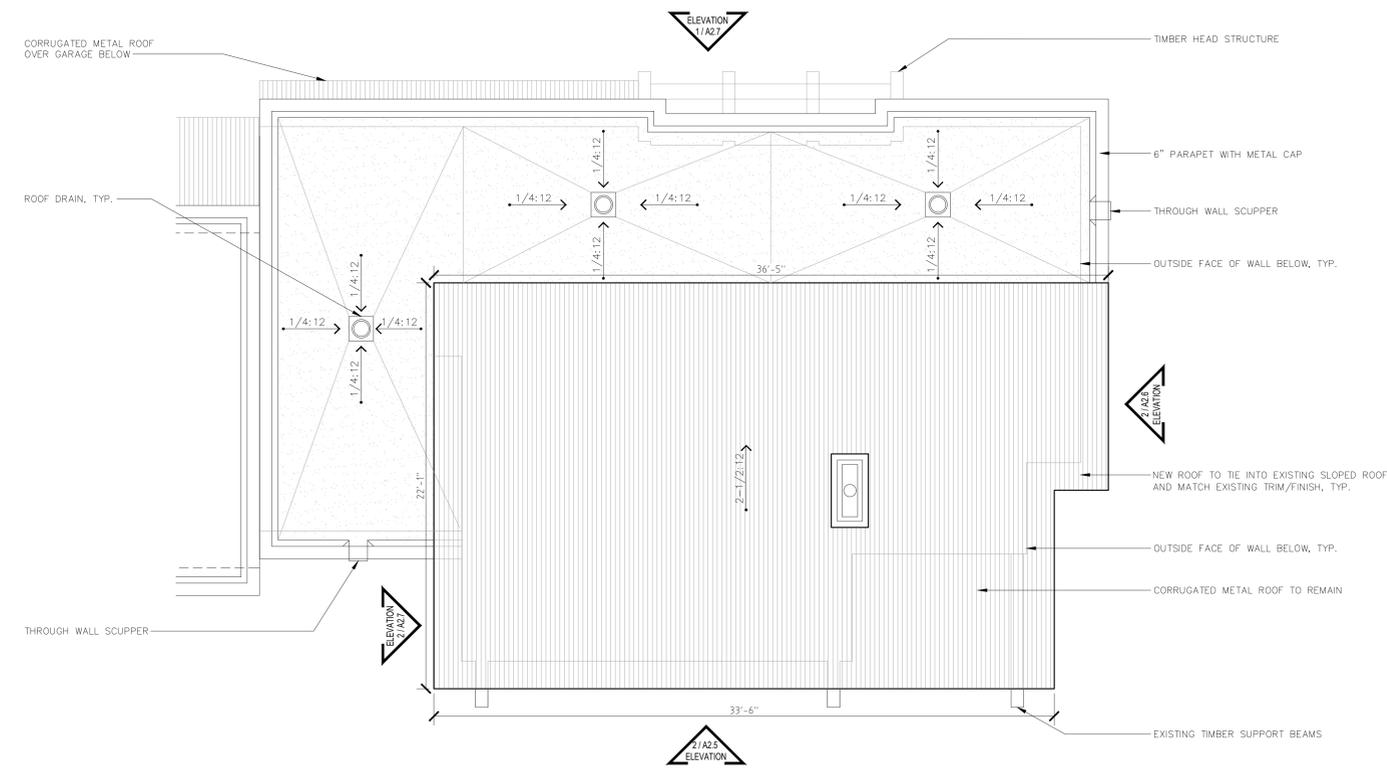
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2024 DESIGN REVIEW

ROOF PLANS

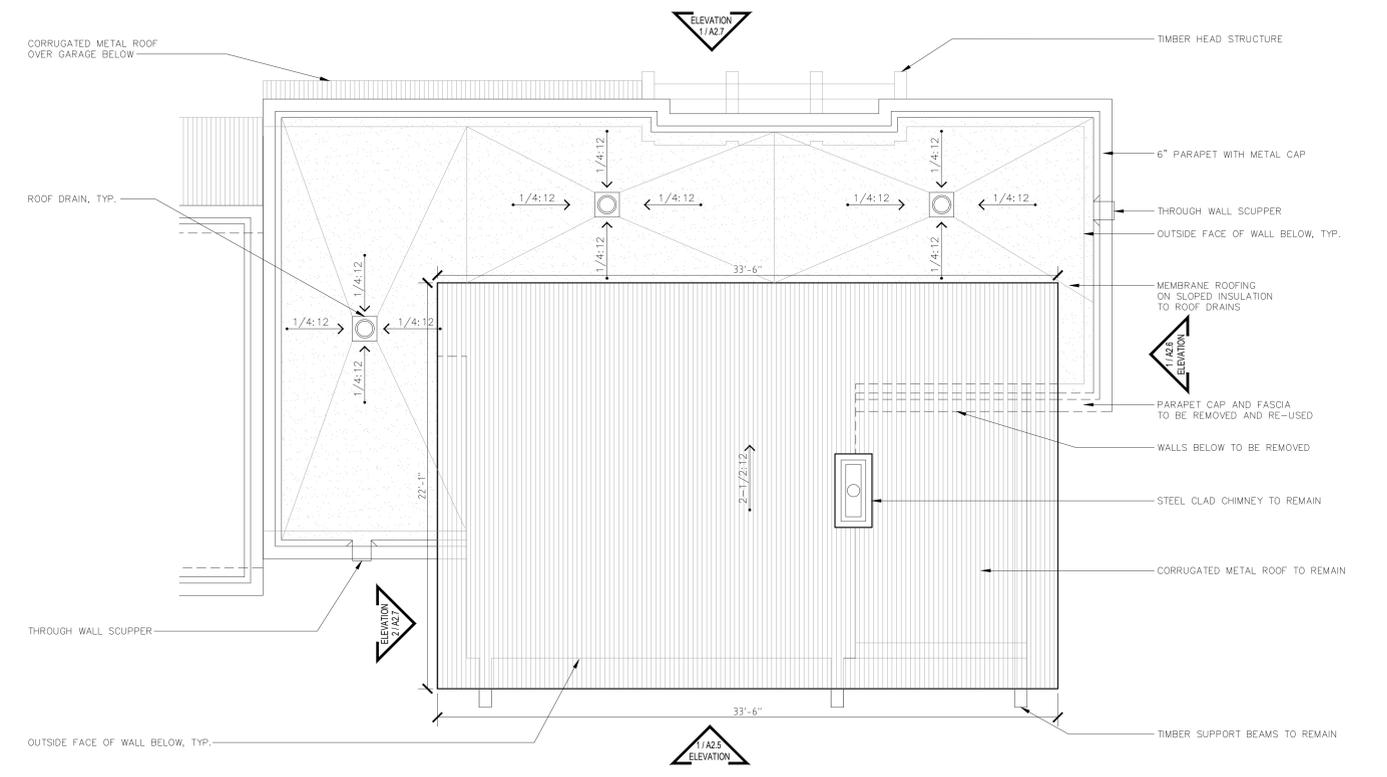
TWO.ELKCONDO



ARCHITECTURE
3300 E 17TH AVE
DENVER, COLORADO 80206 USA
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2 ROOF PROPOSED PLAN
1/4" : 1'



1 ROOF DEMO PLAN
1/4" : 1'

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING W/ THE DEMOLITION WORK IN ANY AREA. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT & STRUCTURAL ENGINEER, & SECURE INSTRUCTIONS PRIOR TO PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REMOVE (E) WALLS & OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS W/ DASHED LINES.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES & OTHER FORMS OF PROTECTION AS REQUIRED, TO PROTECT PERSONNEL, VISITORS, & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT INTERNATIONAL RESIDENTIAL CODE, ADA, & ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

DISCONNECT AND SAFELY PROTECT ALL UTILITY MAIN AND SUB CONNECTIONS SUCH AS BUT NOT LIMITED TO GAS, ELECTRIC, AND PLUMBING SO THEY CAN BE SAFELY TIED INTO, REMOVED OR RELOCATED AT A LATER DATE.

RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

RCP.MATERIALS

	GYP BOARD, PRIME & PAINT
	CVG T&G SOFFIT
	AREA TO BE REMOVED

RCP.NOTES

REFER TO THE FOLLOWING SHEETS FOR :

- A0.0 - GENERAL NOTES
- A0.3 - WALL ASSEMBLIES
- A0.3 - FLOOR, ROOF / CEILING / SOFFIT ASSEMBLIES
- A0.3 - ROOM FINISH SCHEDULE

PROVIDE SMOKE DETECTORS, AS REQUIRED BY CODE.

REFER TO MECHANICAL PLANS FOR DIFFUSER AND GRILLE LOCATIONS.

NOTIFY OWNER & ARCHITECT OF ANY CONFLICTS BETWEEN LIGHT FIXTURES & MECHANICAL EQUIPMENT PRIOR TO INSTALLATION. PENDANT LIGHT FIXTURES MAY BE "TRAPEZED" AROUND CONFLICTING MECHANICAL EQUIPMENT, PER OWNER'S AND ARCHITECT'S APPROVAL.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL SPRINKLER HEADS AND PIPE IN AREAS EXPOSED TO STRUCTURE TO ALIGN WITH STRUCTURAL MEMBERS AND BE INSTALLED IN A CLEAN & ORGANIZED MANNER COORD. LAYOUT WITH ARCHITECT PRIOR TO SUBMITTING FOR PERMIT. ALL EXPOSED SPRINKLER PIPE TO BE PAINTED (COLOR T.B.D.)

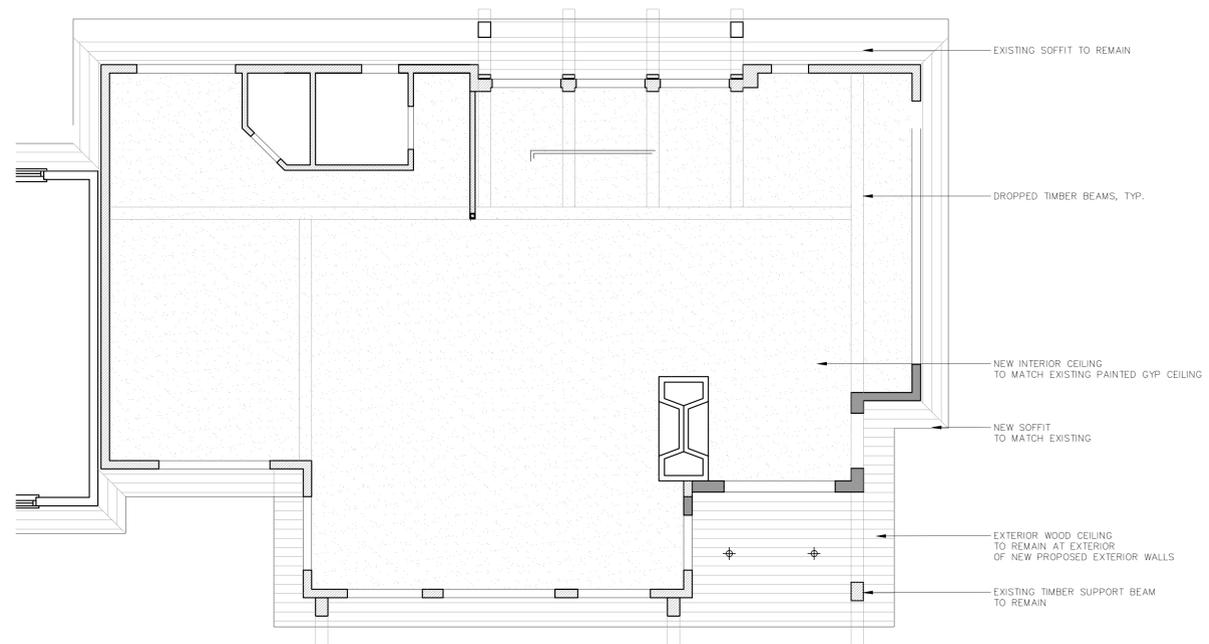


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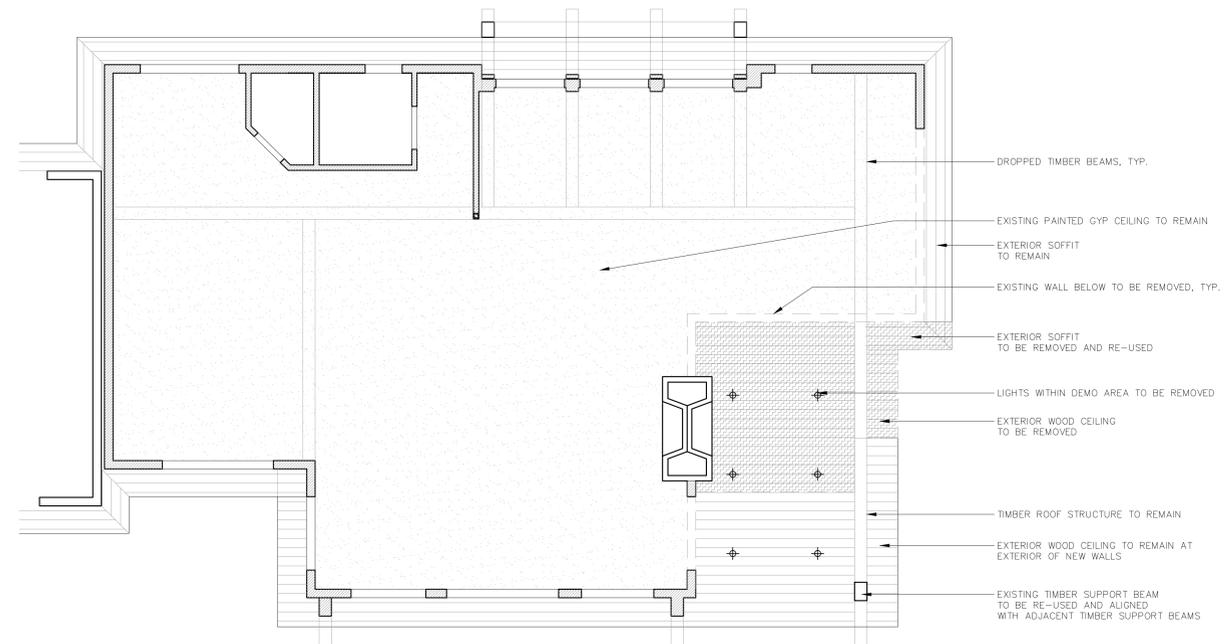


OWNER: ADAM AND LAINIE MINNICK
LOCATION: 1014 TWO ELK LANE MINTURN, COLORADO 81645

2024 FOR PRICING
2024 DESIGN REVIEW



2 UPPER LEVEL PROPOSED RCP
1/4" : 1'



1 UPPER LEVEL DEMO RCP
1/4" : 1'

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REFLECTED CEILING PLANS

2.4

ELEVATION NOTES

VERIFY ALL DIMENSIONS IN FIELD.
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ELEVATION MATERIALS

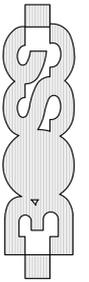
-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



2 SOUTHEAST
 PROPOSED ELEVATION
 1/4" = 1'



1 SOUTHEAST
 DEMO ELEVATION
 1/4" = 1'



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9/7 | 2024 FOR PRICING
 9/22 | 2024 DESIGN REVIEW

EXTERIOR ELEVATIONS

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ELEVATION NOTES

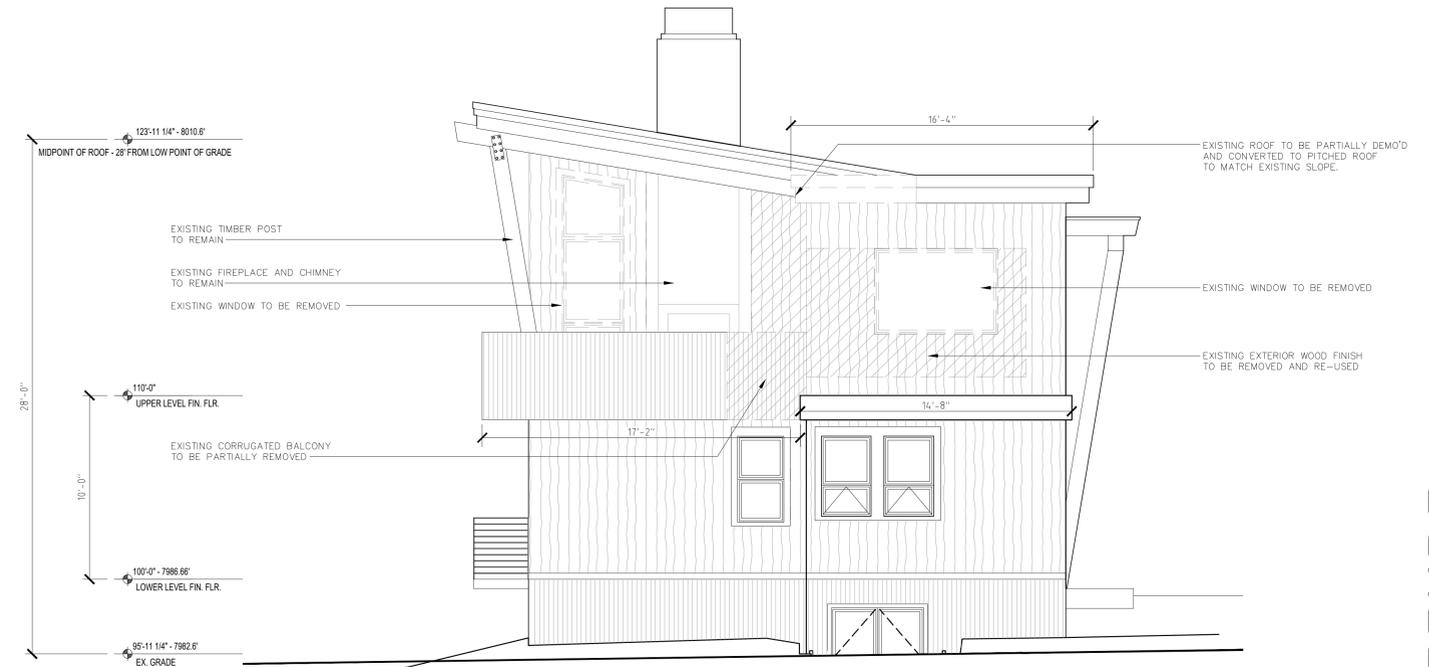
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ELEVATION MATERIALS

-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



2 NORTHEAST
 PROPOSED ELEVATION
 1/4" : 1'



1 NORTHEAST
 DEMO ELEVATION
 1/4" : 1'



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EXTERIOR ELEVATIONS

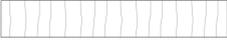
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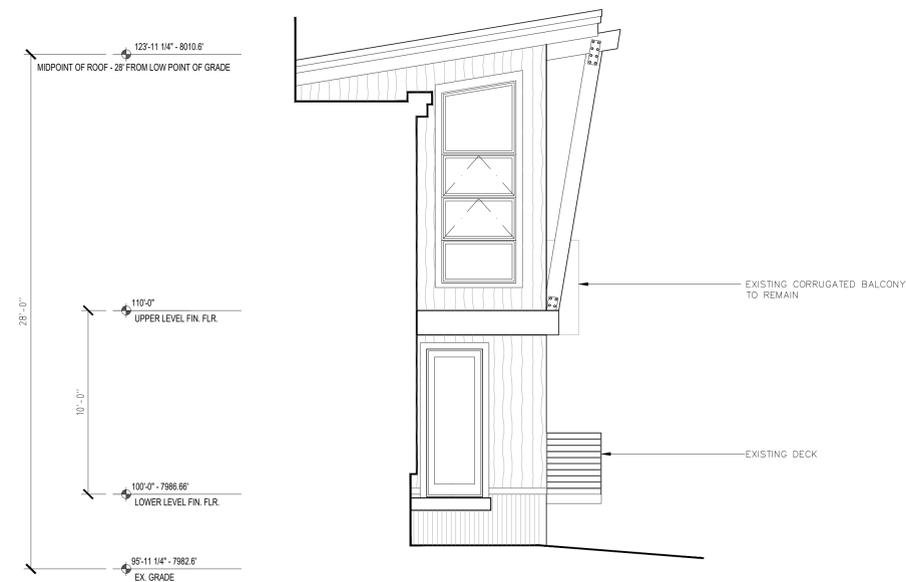
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ELEVATION MATERIALS

-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



2 SOUTHWEST ELEVATION
 NO WORK PROPOSED
 1/4" : 1'



1 NORTHWEST ELEVATION
 NO WORK PROPOSED
 1/4" : 1'



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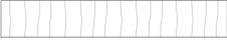
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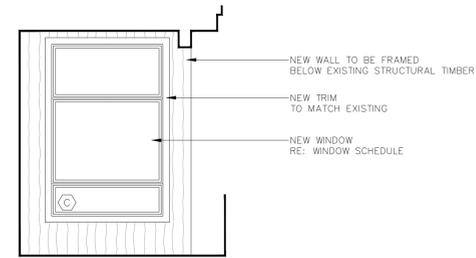
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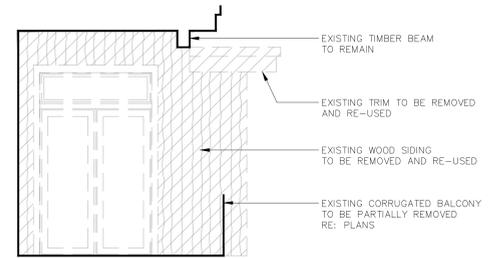
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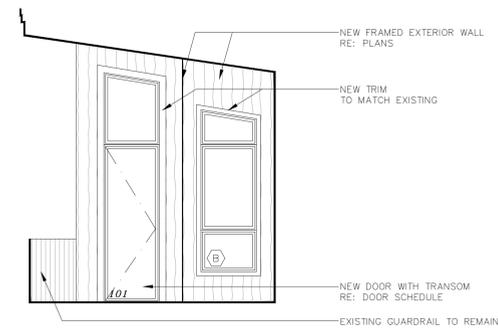
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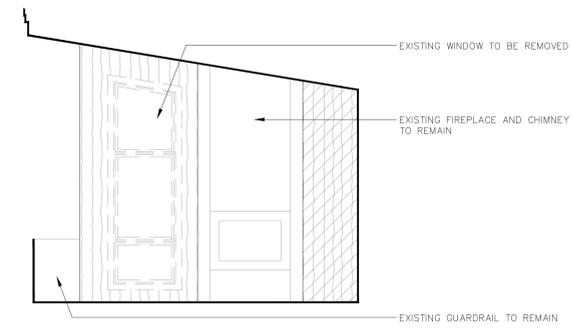
4 SOUTHEAST DECK PROPOSED ELEVATION
 1/4" : 1'



3 SOUTHEAST DECK DEMO ELEVATION
 1/4" : 1'



2 NORTHEAST DECK PROPOSED ELEVATION
 1/4" : 1'



1 NORTHEAST DECK DEMO ELEVATION
 1/4" : 1'



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