






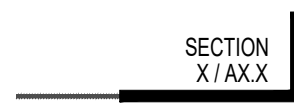
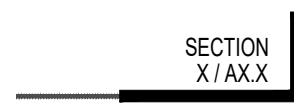


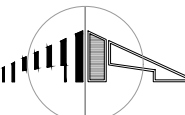
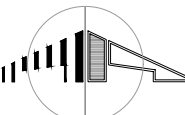





An architectural rendering of a proposed two-story house. The house features a dark, vertically-slatted upper level and a lower level with horizontal wood siding. A large, covered patio with a dark frame and glass panels extends from the front of the house, containing outdoor furniture. The house is situated on a hillside with various trees and shrubs in the foreground and background. The sky is clear blue. The text "VIEW OF PROPOSED PROJECT" is visible in the top right corner.

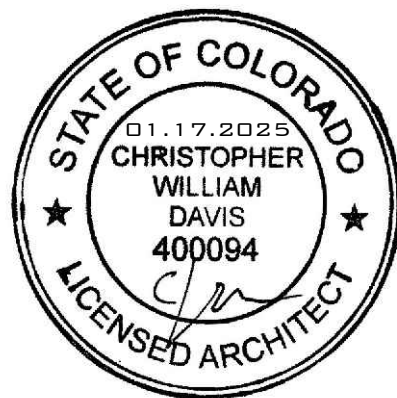
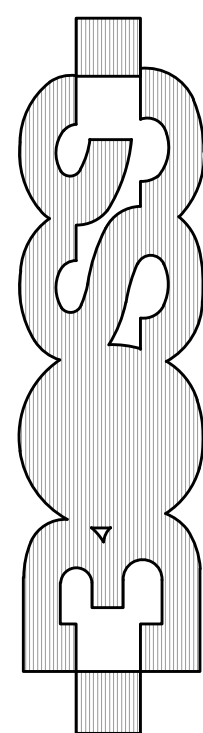
[illegible]

| PROJECT SUMMARY | |
|--------------------|--|
| ADDRESS: | 1010 TWO ELK LANE MINTURN, CO 81645 |
| TAX AREA: | SC024 - MINTURN (TOWN) |
| PARCEL NUMBER: | 2103-363-10-003 |
| LOT SIZE: | .11 ACRES |
| OCCUPANCY: | R-3 |
| CONSTRUCTION TYPE: | V-B |
| LEGAL SUMMARY: | SUBDIVISION: CROSS CREEK PLACE LOT: 2 |
| BUILDING HEIGHT: | 28' MAX ALLOWED PER SEC. 16-2-60, TABLE 16-B "TABLE HEIGHT", MINTURN MUNICIPAL CODE HEIGHT MEASURED FROM FINISHED OR NATURAL GRADE, WHICHEVER IS MORE RESTRICTIVE, TO MIDPOINT OF ROOF |
| PLANS, SQ. FT. | |
| LOT COVERAGE | |
| LOT SIZE | 5,068 SF (.11 ACRES) |
| ALLOWABLE | 2,543 SF (50%) |
| PROPOSED | 2,210 SF (43.6%) |
| MAIN LEVEL | |
| FINISHED | 478 SF |
| GARAGE | 1,020 SF |
| GROSS | 1,498 SF |
| UPPER LEVEL | |
| FINISHED | 984 SF |
| OUTDOOR PAVILION | 512 SF |
| TOTAL FINISHED | 1,462 SF |
| TOTAL GROSS | 2,482 SF |

SYMBOLS.LEGEND

| | |
|---|--|
|  | - AREA NAME |
|  | - AREA NUMBER |
|  | - DOOR NUMBER |
|  | - EXTERIOR ELEVATION NUMBER |
|  | - EXTERIOR ELEVATION SHEET NUMBER |
|  | - DETAIL NUMBER |
|  | - DETAIL SHEET NUMBER |
|  | - BUILDING SECTION NUMBER |
|  | - BUILDING SECTION SHEET NUMBER |
|  | - SPOT ELEVATION REFERENCE |
|  | - WINDOW TYPE |
|  | - INTERIOR GLASS TYPE |
|  | - SKYLIGHT TYPE |
|  | - NORTH ARROW |
|  | - INTERIOR ELEVATION REFERENCE |
|  | - CHANGE IN FLOOR OR CEILING ELEVATION |

| PROJECT TEAM | |
|---|---|
| <u>OWNER</u> ADAM AND LAINE MINNICK 452 LEYDEN STREET DENVER, CO 80220 303.378.6708 303.956.2537 aminnick@stoneisowcapital.com laine.minnick@gmail.com | <u>CIVIL ENGINEER</u> RAPTOR CIVIL ENGINEERING 8620 WOLF COURT SUITE 105B WESTMINSTER, CO 80031 720.774.7736 eric@raptor-civil.com |
| <u>ARCHITECT</u> BOSS ARCHITECTURE CHRIS DAVIS KEVIN STEPHENSON 3300 E 17TH AVE DENVER, COLORADO 80206 303.377.6322 chris@BOSSarchitecture.com kevin@BOSSarchitecture.com | <u>MECHANICAL</u> T.B.D. |
| <u>GENERAL CONTRACTOR</u> THE GROFF COMPANY, LLC 1036 POLAR STAR DR. EAGLE, CO 81631 303.638.0956 fletcher@thegroffcompany.com | <u>LANDSCAPE ARCHITECT</u> T.B.D. |
| <u>STRUCTURAL ENGINEER</u> IMEG CORP. MEGHAN C. BAKEMEYER 1400 BLENARM PLACE, SUITE 101 DENVER, CO 80202 303.623.4927 megan.c.bakemeyer@imegcorp.com | |
| BUILDING CODE INFORMATION | |
| <u>APPLICABLE CODES</u> 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021 INTERNATIONAL FIRE CODE (IFC) 2021 INTERNATIONAL PLUMBING CODE (IPC) | |



OWNERS:
ADAM AND LAINIE MINNICK

LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

| | |
|----|--------------------|
| 01 | 2025 DESIGN REVIEW |
| 02 | 2025 FOR PRICING |
| 03 | 2025 (REVISION.01) |

COVER SHEET

TWO.ELK

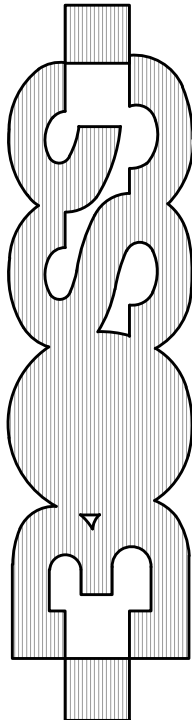
ARCHITECTURE

3300 E 17TH AVE
DENVER, COLORADO 80206 USA

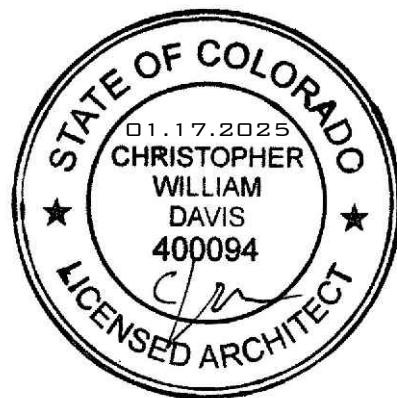
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GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE w/ THE 2021 IRC, ALL MINTURN AMENDMENTS TO THE CODE & ALL FEDERAL, STATE & LOCAL CODES & AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR & RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES & CALL FOR ALL NECESSARY INSPECTIONS.
- CONTRACTOR SHALL VERIFY & COORDINATE ALL NEW & EXISTING CONDITIONS & DIMENSIONS @ JOB SITE FOR COMPARISON w/ DWG'S & SPECIFICATIONS PRIOR TO BIDDING & START OF & DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING w/ WORK.
- DO NOT SCALE DWG'S. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION FOR ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR & COORDINATED w/ ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATION, & DETAILS ARE TO FACE OF WOOD FRAMING AND TO FINISH FACE OF, MASONRY, CONC. OR GRID LINES, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ON THE ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL STEEL OR HEAVY TIMBER MEMBERS ARE TO CENTERLINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES & CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS & DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- "V.I.F. OR F.V." ON DWG'S REFERS TO FIELD VERIFICATION FOR CORRECT DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
CFCI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED
OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
OFOI - OWNER FURNISHED OWNER INSTALLED
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDE, BUT NOT LIMITED TO: STRUCT. MEMBERS, MECH. DUCTS & INSUL., LIGHT FIXTURES, CEILING SYSTEMS, & ANY SPECIAL STRUCTURED SUPPORTS REQUIRED) & SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE T.O. SUBFLOOR INDICATED IN THE WALL SECTIONS & THE REFLECTED CEILING PLANS. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL & CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL & CEILING MOUNTED ELECT. & MECH. DEVICES, ETC. PER THE ARCHITECTS DWG'S. RE: INTERIOR ELEVATIONS, & REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS w/ ARCHITECT PRIOR TO INSTALLATION.
- ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BLDG. CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECH. OR ELECT. EQUIPMENT, WHETHER OR NOT INDICATED ON THE DWG'S. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, & TYPE OF ACCESS PANEL w/ OTHER CONTRACTORS' WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED W/O THE EXPRESSED APPROVAL OF THE ARCHITECT. CLAD & PAINT PANELS TO MATCH ADJACENT FINISHED CONDITION (PROVIDE FOR INTEGRATED LOOK TO WALL OR CEILING ASSEMBLY BY ANY MEANS NECESSARY) OR AS APPROVED BY ARCHITECT.
- IN THE CASE OF A CONFLICT BETWEEN THE DWG'S & THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. IN THE CASE OF A CONFLICT IN THE DWG'S & DETAILS, THE DWG'S w/ THE LARGER SCALE OR THE ASSEMBLY WHICH PRODUCES THE HIGHER QUALITY ASSEMBLY & FINISH SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING w/ THE WORK.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED w/ THE NECESSARY FRAMES & BRACING AROUND THE OPENING.
- THE SPECIFICATIONS & ALL CONSULTANT DWG'S ARE SUPPLEMENTAL TO THE ARCHITECTURAL DWG'S IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE w/ THE ARCHITECTURAL DWG'S BEFORE THE INSTALLATION OF ANY OF THE CONSULTANTS' WORK & TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING, FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR @ HIS/HER EXPENSE & @ NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BLDG. IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING w/ WORK, REINFORCEMENT &/OR SUPPORT SATISFACTORY TO ARCHITECTS & STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY LOCAL REGULATIONS & COUNTY CODE.
- FINAL CLEAN UP & DISPOSAL: REMOVE DEBRIS, RUBBISH & WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA & PAY ALL HAULING & DUMPING COSTS. CONFORM TO PERTAINING FEDERAL, STATE & LOCAL LAWS, REGULATIONS & ORDERS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN & FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, & OTHER BLEMISHES.
- IF THE CONTRACTOR ASCERTAINS @ ANY TIME THAT REQUIREMENT OF THIS CONTRACT CONFLICT w/, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, HE/SHE SHALL NOT PROCEED w/ WORK IN QUESTION, EXCEPT @ HIS/HER OWN RISK, UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING & WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION w/ APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT & REPLACE SUCH WORK w/ ALL NEW COMPLYING WORK @ NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ANY WORK INSTALLED IN CONFLICT w/ THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR @ HIS/HER EXPENSE & @ NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
- STAIR ASSEMBLY:
HEADROOM 6'-8" MIN AND WIDTH 3'-0" MIN
THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4". OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS IS LESS THAN 4".
THE MINIMUM TREAD DEPTH SHALL BE 10"
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM THE TOP TO THE BOTTOM RISER. HANDRAILS SHALL RETURN. HANDRAILS ADJACENT TO A WALL SHALL BE A SPACE OF NOT LESS THAN 1-1/2" FROM THE WALL TO THE HANDRAIL.
OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A SPHERE OF 4" OR MORE IN DIAMETER CANNOT PASS THROUGH. DOORS TO THE EXTERIOR SHALL HAVE A MAX 7-3/4" STEP TO A MINIMUM 36" DEEP LANDING, BUT THE DOOR MAY NOT SWING OVER THE LANDING.
PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARD RAILS NOT LESS THAN 36" IN HEIGHT.
- THERE SHALL BE NO BASEMENT WALL PENETRATIONS THROUGH WATERPROOFING, UNLESS APPROVED BY WATERPROOFING CONSULTANT.



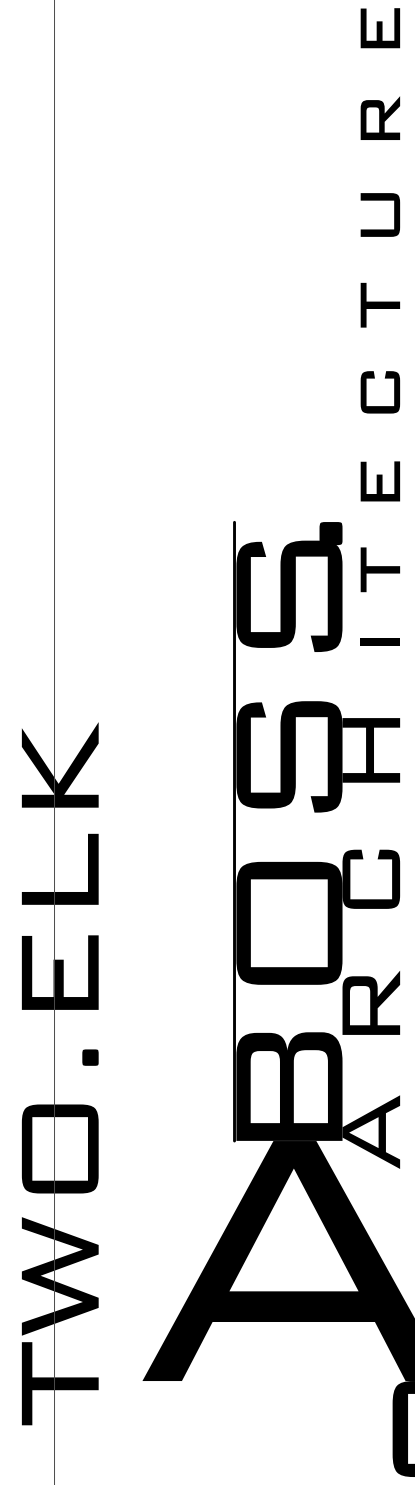
CHRISTOPHER DAVIS
KEVIN STEPHENSON



OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

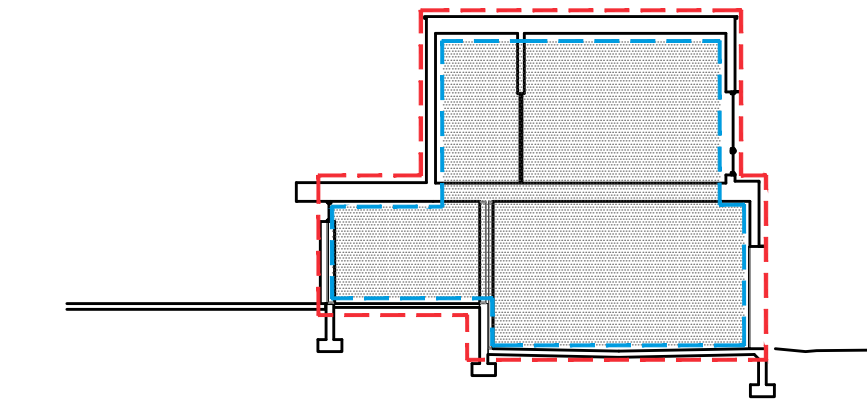
2025 DESIGN REVIEW
2025 FOR PRICING

GENERAL NOTES
AND ASSEMBLIES

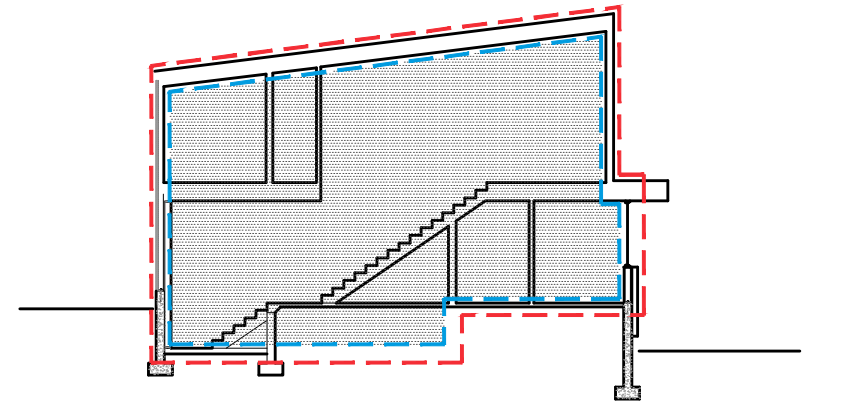


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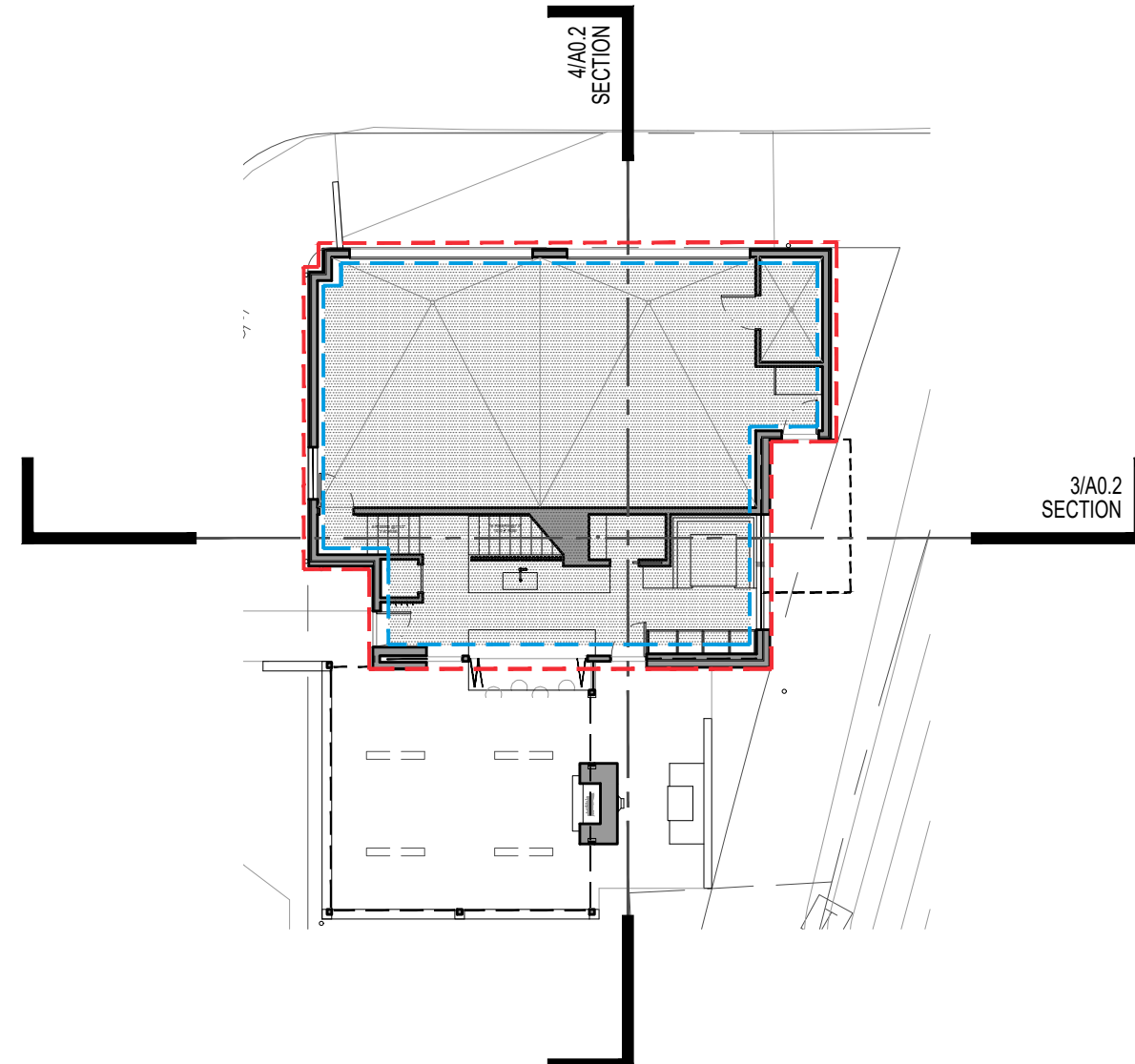
4 THERMAL ENVELOPE SECTION
1 : 1/16"



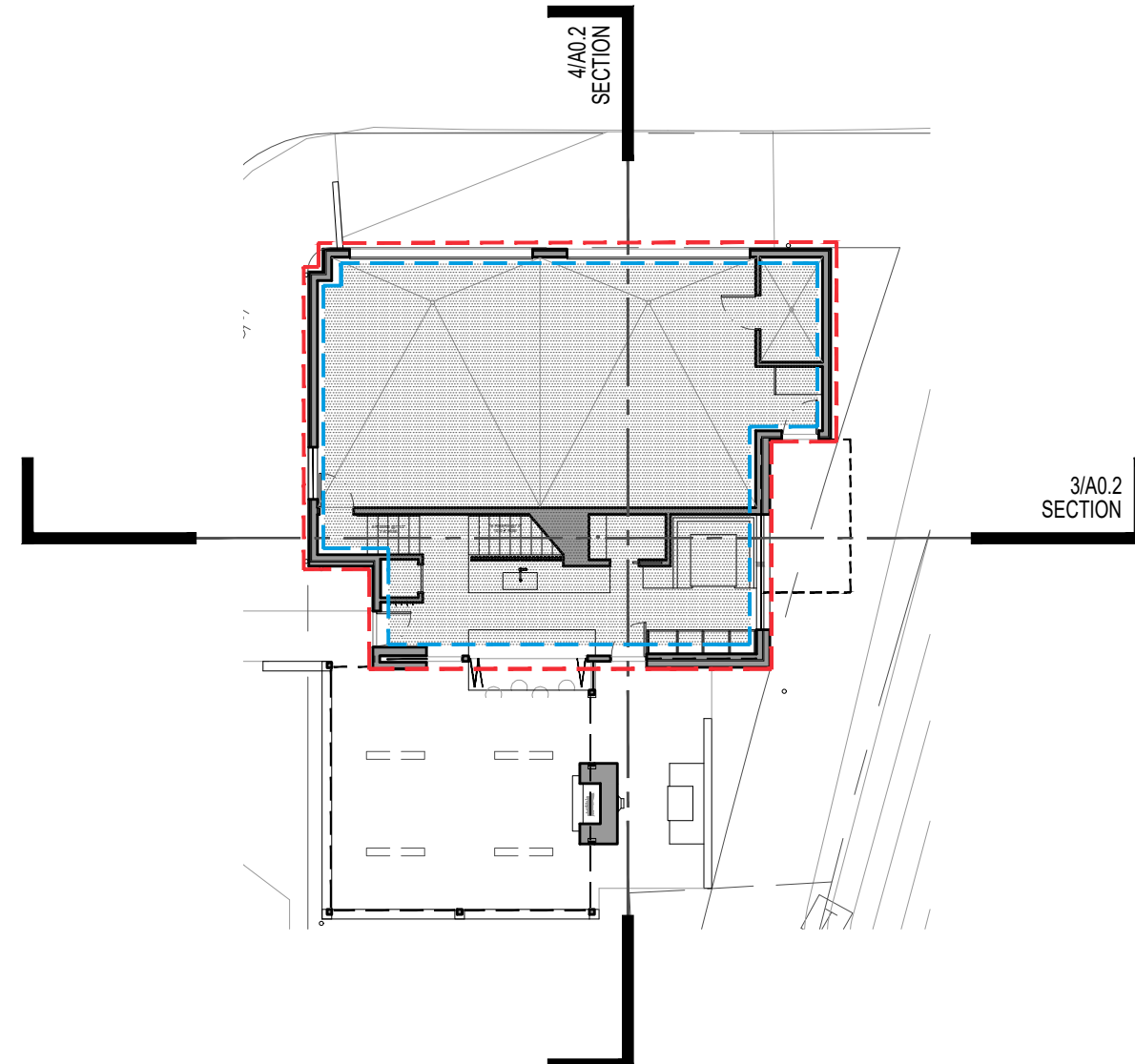
3 THERMAL ENVELOPE SECTION
1 : 1/16"



2 THERMAL ENV. MAIN LEVEL PLAN
1 : 1/16"



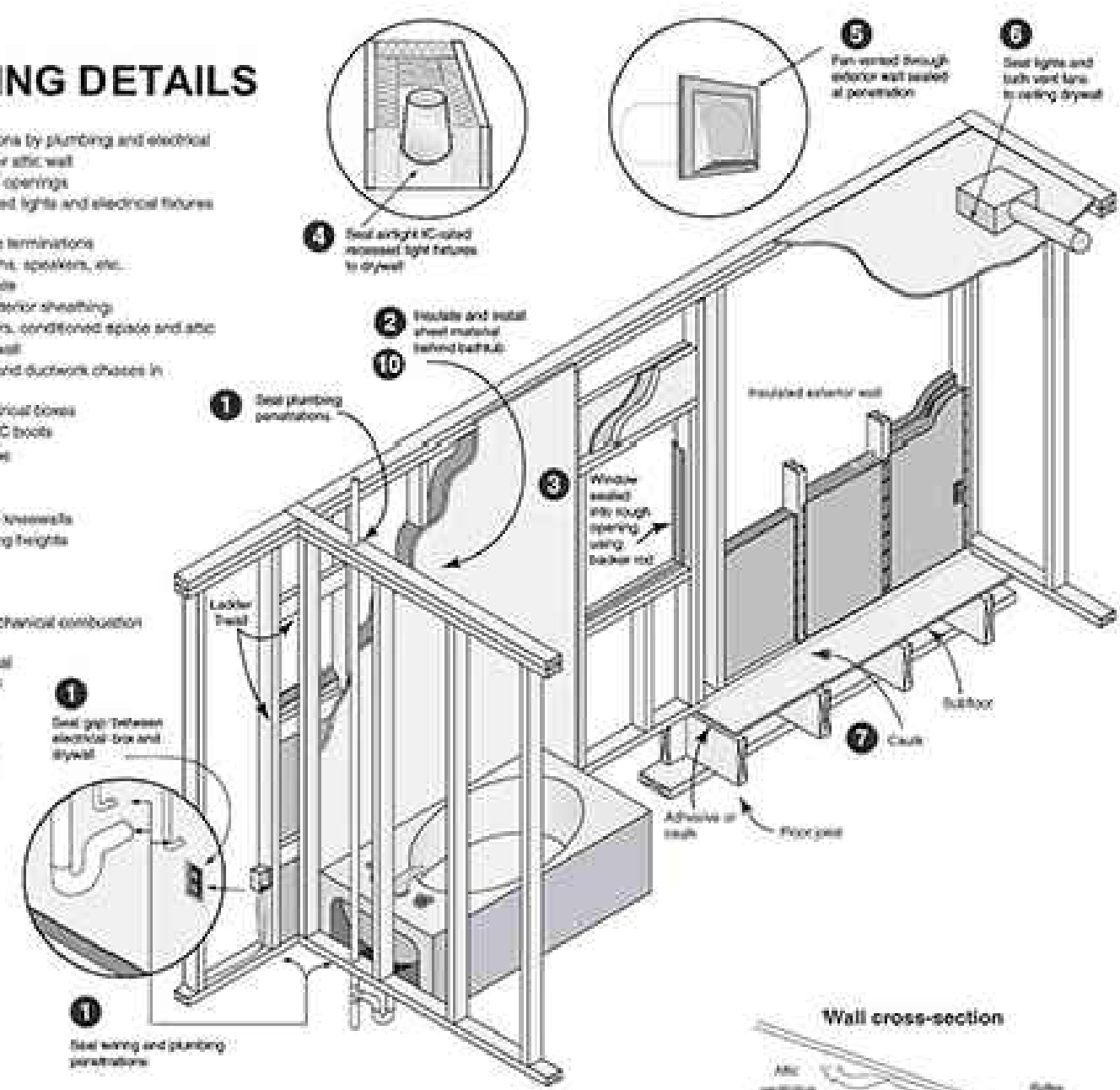
1 THERMAL ENV. BASEMENT LEVEL PLAN
1 : 1/16"



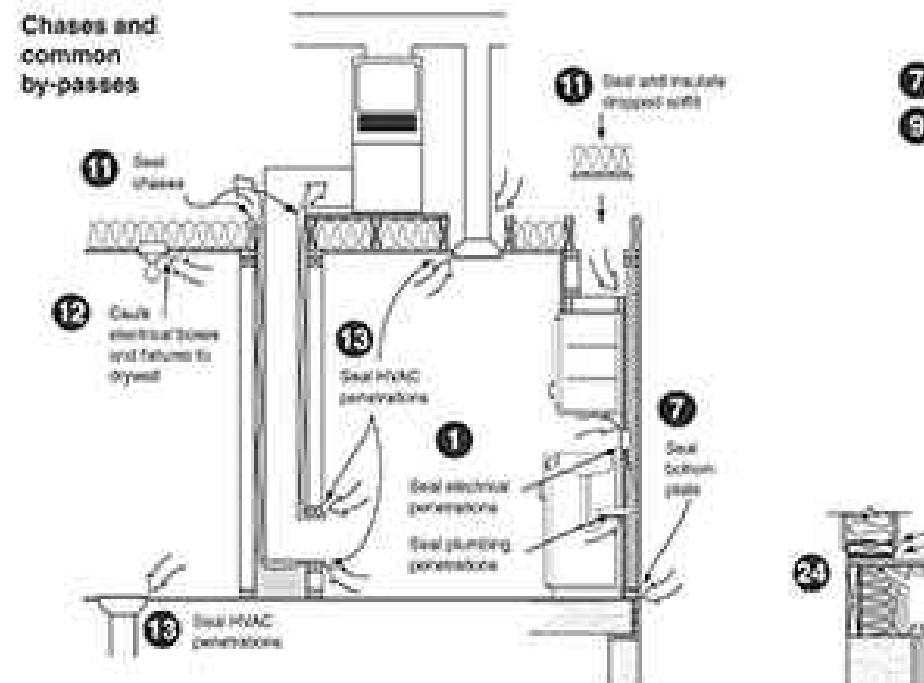
| THERMAL ENVELOPE LEGEND | | |
|---------------------------------------|----------------------|--|
| --- | EXTERIOR AIR BARRIER | INTERIOR CONDITIONED SPACE |
| --- | INTERIOR AIR BARRIER | |

AIR SEALING DETAILS

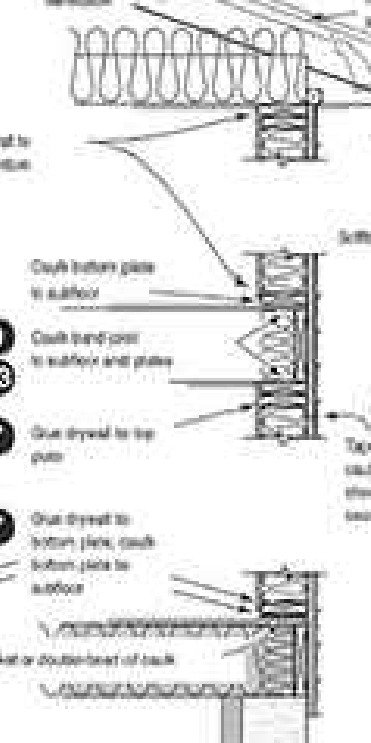
- Flue and vent penetrations by plumbing and electrical
- Tub/shower on outside or attic wall
- Window and door rough openings
- Airtight, gasketed recessed lights and electrical fixtures exposed to attic
- Exterior wall exhaust fan terminations
- Ceiling mounted bath fans, speakers, etc.
- Bottom plate and top plate
- Seams between rigid exterior sheathing
- Band area between floors, conditioned space and attic
- Garden tub on exterior wall
- Mechanical equipment and ductwork chases in attic crawlspaces
- Ceiling/crawlspace electrical boxes
- Ceiling/crawlspace HVAC boots
- Shower and tub drain line
- Fluaplace inserts
- Attic kneewall doors
- Joint cavities under attic knee walls
- Transition between ceiling heights (e.g., 10' to 8')
- Attic scuttle hole
- Attic pull-down stairs
- Wall penetrations of mechanical combustion closets
- Thresholds at mechanical combustion closet doors
- Band joint exposed to exterior
- Band area exposed to unconditioned space, such as basement or garage
- Exterior wall penetrations for refrigeration lines, condensate line, etc.



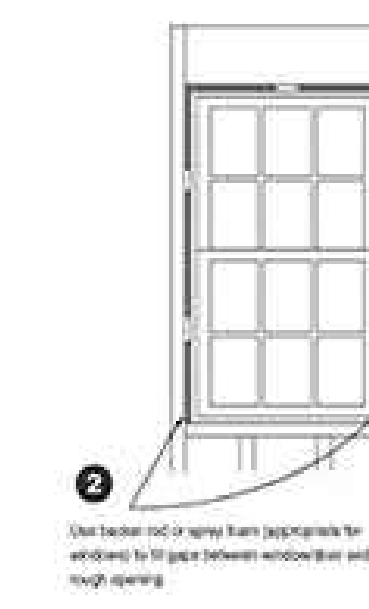
Chases and common by-passes



Wall cross-section



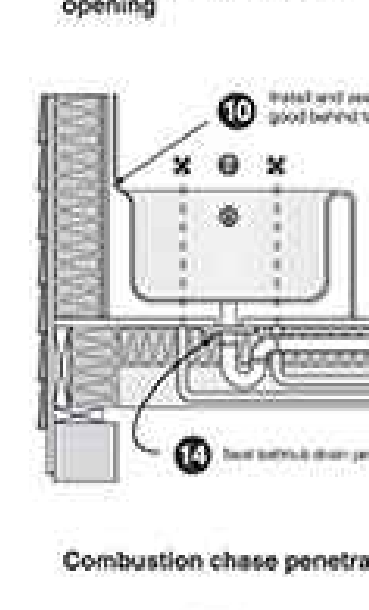
Window rough opening



Attic knee-walls



Shower/tub drain rough opening



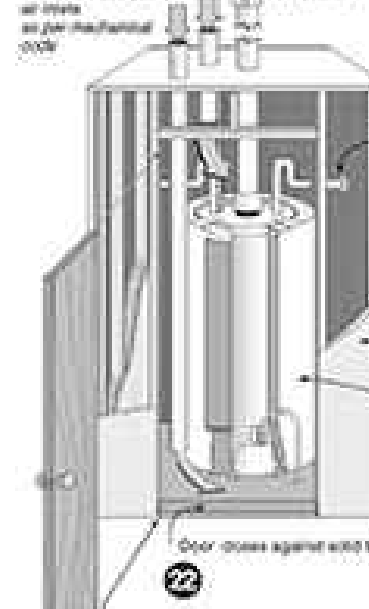
Combustion chase penetrations



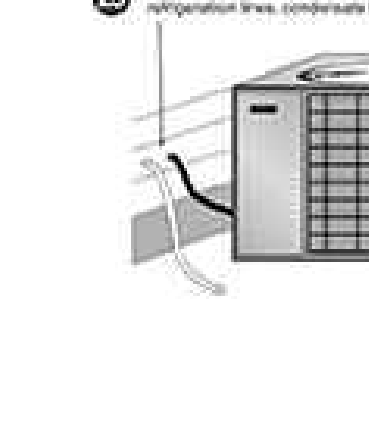
Two-level attic



Combustion closet



Exterior penetrations



2021 IECC COMPLIANCE

APPLICABLE CODE: 2021 IECC
CLIMATE ZONE: 6-8
INTERIOR DESIGN CONDITIONS: 70 DEGREES F FOR HEATING
75 DEGREES F MINIMUM FOR COOLING
COMPLIANCE PATH: PRESCRIPTIVE COMPLIANCE PATH, PER 401.2.1

WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE VAPOR RETARDER REQUIREMENTS OF SECTION 702.7 OF THE IRC.
3" CLOSED CELL SPRAY FOAM PROVIDES CLASS II VAPOR RETARDER, AS REQUIRED BY R702.7.
ALL RIM JOISTS TO BE INSULATED w/ 4.5" MIN. CLOSED CELL SPRAY FOAM INSULATION, TYP. (R-30 MIN.)
THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION, PER IECC R402.4
THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, PER IECC R402.4.1
WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE, PER IECC R402.4.1.1
BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTION R402
MINIMUM REQUIRED R-VALUES, PER TABLE R402.1.3

| COMPONENT | MINIMUM INSULATION VALUE | PROVIDED ASSEMBLY | |
|--------------------------|--------------------------|--|--------|
| CEILING R-VALUE: | R-60 | 10" CLOSED CELL SPRAY FOAM @ R-7/IN TOTAL INSULATION R-VALUE | R-70 |
| | | AT LOCATIONS WITH LESS THAN 10" CEILING CAVITY, INSULATION SHALL BE: 9" CLOSED CELL SPRAY FOAM @ R-7/IN TOTAL INSULATION R-VALUE | R-63 |
| WOOD FRAME WALL R-VALUE: | R-20.5 | 3" CLOSED CELL SPRAY FOAM @ R-7/IN ZIP R-6 INSULATION SHEATHING PANEL @R-6/IN TOTAL INSULATION R-VALUE | R-21+6 |
| BASEMENT WALL R-VALUE: | R-19 | 5.5" BATT INSULATION @ R-3.5/IN TOTAL INSULATION R-VALUE | R-19 |
| SLAB R-VALUE / DEPTH: | R-10 (4' / 4' FT | 2" XPS RIGID INSULATION @ R-5/IN TOTAL INSULATION R-VALUE | R-10 |
| FLOOR CAVITY INSULATION: | R-30 | 4.5" CLOSED CELL SPRAY FOAM @R7/IN TOTAL INSULATION R-VALUE | R-31.5 |

MINIMUM FENESTRATION U-VALUES, PER TABLE R402.1.3

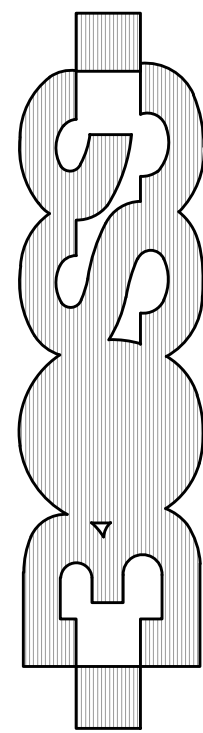
| COMPONENT | MAXIMUM VALUE | PROVIDED ASSEMBLY |
|-----------------------------|---|---|
| FENESTRATION U-FACTOR | U-0.32 (MAXIMUM 0.32 SHALL APPLY AS BUILDING IS LOCATED ABOVE 4,000 FEET IN ELEVATION, PER TABLE 402.1.3 FOOTNOTE '1') | PROVIDED U-VALUES RANGE FROM 0.27-0.30. FOR ALL FIXED WINDOWS, OPERABLE WINDOWS, PATIO DOORS, AND MULTISLIDE DOORS, REFER TO SHEET A7.0 FOR WINDOW SCHEDULE, WITH U-VALUES INDICATED |
| SOLAR HEAT GAIN COEFFICIENT | 0.40 | PROVIDED U-VALUES RANGE FROM 0.19-0.25. FOR ALL FIXED WINDOWS, OPERABLE WINDOWS, PATIO DOORS, AND MULTISLIDE DOORS REFER TO SHEET A7.0 FOR WINDOW SCHEDULE, WITH SHGC VALUES INDICATED |

AIR SEALING

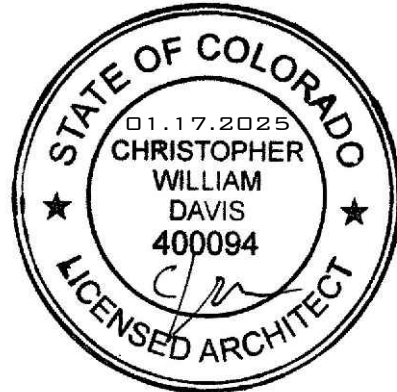
THE BUILDING SHALL BE TESTED FOR AIR LEAKAGE, PER R402.4.1.2.
THE MAXIMUM AIR LEAKAGE RATE SHALL NOT EXCEED 3.0 ACH.
TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/RESNET/ICC 380, ASTM E770, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH WG (50 PASCALS).
A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST.
THE TEST SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE HAVE BEEN SEALED.
THE BUILDING AIR BARRIER SHALL BE CONTINUOUS AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

| COMPONENT | AIR BARRIER CRITERIA | INSULATION INSTALLATION CRITERIA |
|---|---|--|
| GENERAL REQUIREMENTS | A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. | AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. |
| CEILINGS / ATTIC | THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE INSULATION & ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENING, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. | THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE AIR BARRIER. |
| WALLS | THE JUNCTION OF THE FOUNDATION & SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE & THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. | CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY w/ A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT w/ THE AIR BARRIER. |
| WINDOWS, DOORS, AND SKYLIGHTS | THE SPACE BETWEEN WINDOW/DOOR JAMBS & FRAMING, & SKYLIGHTS & FRAMING SHALL BE SEALED. | |
| RIM JOISTS | RIM JOISTS SHALL INCLUDE AN EXTERIOR AIR BARRIER. THE JUNCTION OF THE RIM BOARD TO THE SILL PLATE AND THE RIM BOARD AND THE SUBFLOOR SHALL BE AIR SEALED. | RIM JOISTS SHALL BE INSULATED SO THAT THE INSULATION MAINTAINS PERMANENT CONTACT WITH THE EXTERIOR RIM BOARD. |
| FLOORS (INCLUDING CANTILEVERED FLOORS AND FLOORS ABOVE GARAGES) | THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. | FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT w/ THE UNDERSIDE OF THE SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATIONS SHALL BE PERMITTED TO BE IN CONTACT w/ THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING & EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. |
| BASEMENT CRAWL SPACE AND SLAB FOUNDATIONS | EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER / AIR BARRIER IN ACCORDANCE WITH SECTION R402.2.10. PENETRATIONS THROUGH THE CONCRETE FOUNDATION WALLS AND SLABS SHALL BE AIR SEALED. CLASS 1 VAPOR RETARDERS SHALL NOT BE USED AS AN AIR BARRIER ON BELOW GRADE WALLS AND SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R702.2 OF THE INTERNATIONAL RESIDENTIAL CODE. | CRAWL SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.10. CONDITIONED BASEMENT FOUNDATION WALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.8.1. SLAB ON GRADE FLOOR INSULATION SHALL BE IN ACCORDANCE WITH R402.2.10. |
| SHAFTS, PENETRATIONS | DUCT AND FLUE SHAFTS AND OTHER SIMILAR PENETRATIONS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED TO ALLOW FOR EXPANSION, CONTRACTION, AND MECHANICAL VIBRATION. UTILITY PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED, OR OTHERWISE SEALED, AND SHALL ALLOW FOR EXPANSION, CONTRACTION, AND MECHANICAL VIBRATION. | INSULATION SHALL BE FITTED TIGHTLY AROUND UTILITIES PASSING THROUGH SHAFTS AND PENETRATIONS IN THE BUILDING THERMAL ENVELOPE TO MAINTAIN REQUIRED R-VALUE. |
| NARROW CAVITIES | NARROW CAVITIES OF 1 INCH OR LESS THAT ARE NOT ABLE TO BE INSULATED SHALL BE AIR SEALED. | BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE. |
| GARAGE SEPARATION | AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE & CONDITIONED SPACE. | INSULATED PORTIONS OF THE GARAGE SEPARATION ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH R303 AND R402.2.7. |
| RECESSED LIGHTING | RECESSED LIGHT FIXTURES INSTALLED IN THE THERMAL BUILDING ENVELOPE SHALL BE AIR SEALED IN ACCORDANCE WITH SECTION R402.4.5. | RECESSED LIGHT FIXTURES INSTALLED IN THE THERMAL BUILDING ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED BY INSULATION. |
| PLUMBING, WIRING, OR OTHER OBSTRUCTIONS | ALL HOLES CREATED BY WIRING, PLUMBING, OR OTHER OBSTRUCTIONS IN THE AIR BARRIER SHALL BE AIR SEALED. | INSULATION SHALL BE INSTALLED TO FILL THE AVAILABLE SPACE AND SURROUND WIRING, PLUMBING, OR OTHER OBSTRUCTIONS, UNLESS THE REQUIRED R-VALUE CAN BE MET BY INSTALLING INSULATION AND AIR BARRIER INSULATION AND AIR BARRIER SYSTEMS COMPLETELY TO THE EXTERIOR SIDE OF THE OBSTRUCTIONS. |
| SHOWER / TUB ON EXTERIOR WALL | THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL SEPARATE THEM FROM THE SHOWERS & TUBS. | EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED |
| ELECTRICAL / PHONE BOX ON EXTERIOR WALLS | THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED. | |
| HVAC REGISTER BOOTS | HVAC SUPPLY AND RETURN BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT. | |
| CONCEALED SPRINKLERS | WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES & WALLS OR CEILING | |

AIR SEALING DETAILS
N.T.S.



CHRISTOPHER.DAVIS
KEVIN STEPHENSON



OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

2025 DESIGN REVIEW
2025 FOR PRICING

GENERAL NOTES
AND IECC COMPLIANCE

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ARCHITECTURE
3300 E 17TH AVE
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GARY R. GILMAN
JULIE M. STOXEN
P.O. BOX 1550
VAIL, CO 81658

PARCEL #210336310001
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

PARCEL #210336310006
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016



EAGLE RIVER

PARCEL #210336310003
1010 TWO ELK LANE
MINTURN, CO 81645

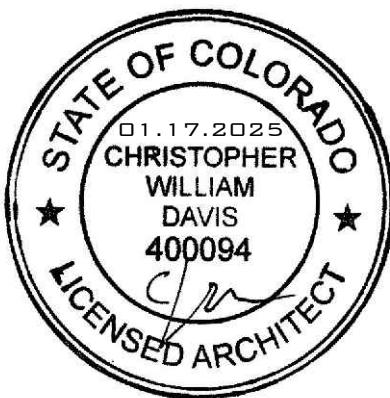
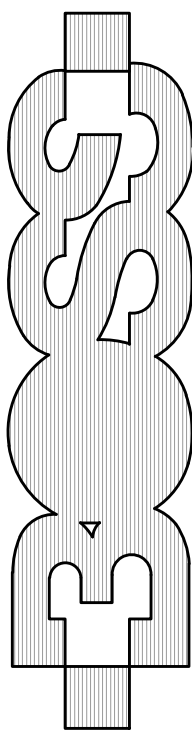
PARCEL #210336310005
ADAM & ELENI MINNICK
452 LEYDEN ST
DENVER CO 80220

HIGHWAY 24

CROSS CREEK

CROSS CREEK ROAD

1  VICINITY MAP
NOT TO SCALE



OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

8/25 | 2025 DESIGN REVIEW
9/25 | 2025 FOR PRICING

VICINITY MAP

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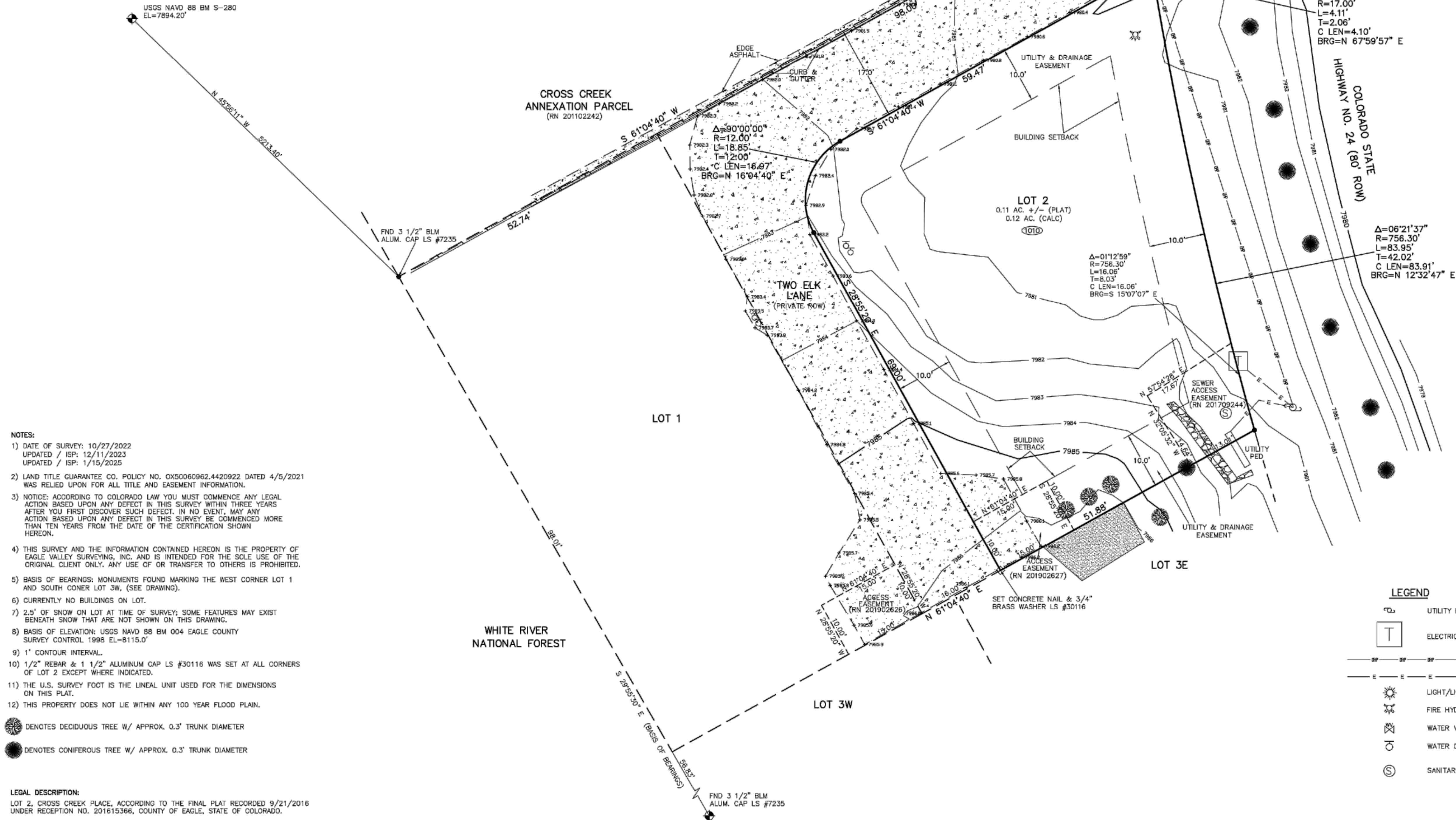
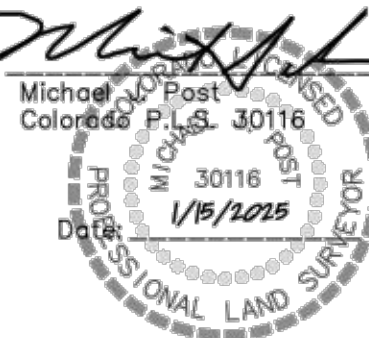
SURVEYOR'S CERTIFICATE:

Certified to: ADAM & ELINI MINNICK 452 LEYDEN ST., DENVER CO. 80220-5954
I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 1/15/2025 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.



SURVEYOR'S CERTIFICATE:

I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



NOTES:

- DATE OF SURVEY: 10/27/2022
UPDATED / ISP: 12/11/2023
UPDATED / ISP: 1/15/2025
- LAND TITLE GUARANTEE CO. POLICY NO. OX50060962.4420922 DATED 4/5/2021 WAS RELIED UPON FOR ALL TITLE AND EASEMENT INFORMATION.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
- BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W, (SEE DRAWING).
- CURRENTLY NO BUILDINGS ON LOT.
- 2.5' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
- BASIS OF ELEVATION: USGS NAVD 88 BM 004 EAGLE COUNTY SURVEY CONTROL 1998 EL=8115.0'
- 1" CONTOUR INTERVAL.
- 1/2" REBAR & 1 1/2" ALUMINUM CAP LS #30116 WAS SET AT ALL CORNERS OF LOT 2 EXCEPT WHERE INDICATED.
- THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
- THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.

- ⊗ DENOTES DECIDUOUS TREE W/ APPROX. 0.3' TRUNK DIAMETER
● DENOTES CONIFEROUS TREE W/ APPROX. 0.3' TRUNK DIAMETER

LEGAL DESCRIPTION:

LOT 2, CROSS CREEK PLACE, ACCORDING TO THE FINAL PLAT RECORDED 9/21/2016 UNDER RECEPTION NO. 201615366, COUNTY OF EAGLE, STATE OF COLORADO.

EAGLE VALLEY SURVEYING, INC.

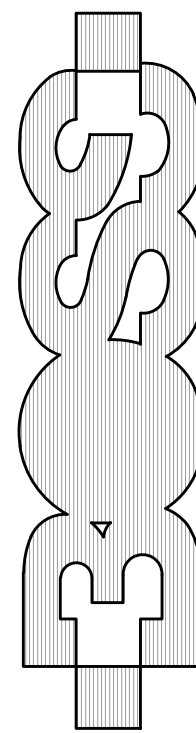
41199 HIGHWAY 6 & 24, EAGLE-VALE
P.O. BOX 1230
EDWARDS, CO. 81632
(970)949-1406

3518-T-ISP-L2-2023-24 DATE: 3/2024
DRN. BY: M. POST PAGE: 1 OF 1

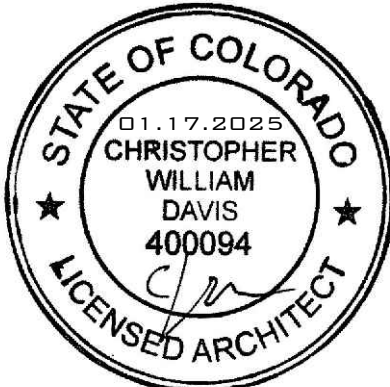
TOPOGRAPHIC SURVEY
IMPROVEMENT SURVEY PLAT
LOT 2, CROSS CREEK PLACE
TOWN OF MINTURN, EAGLE COUNTY, COLORADO

JOB No. 3518

1 SURVEY
1/4" = 1'



CHRISTOPHER DAVIS
KEVIN STEPHENSON



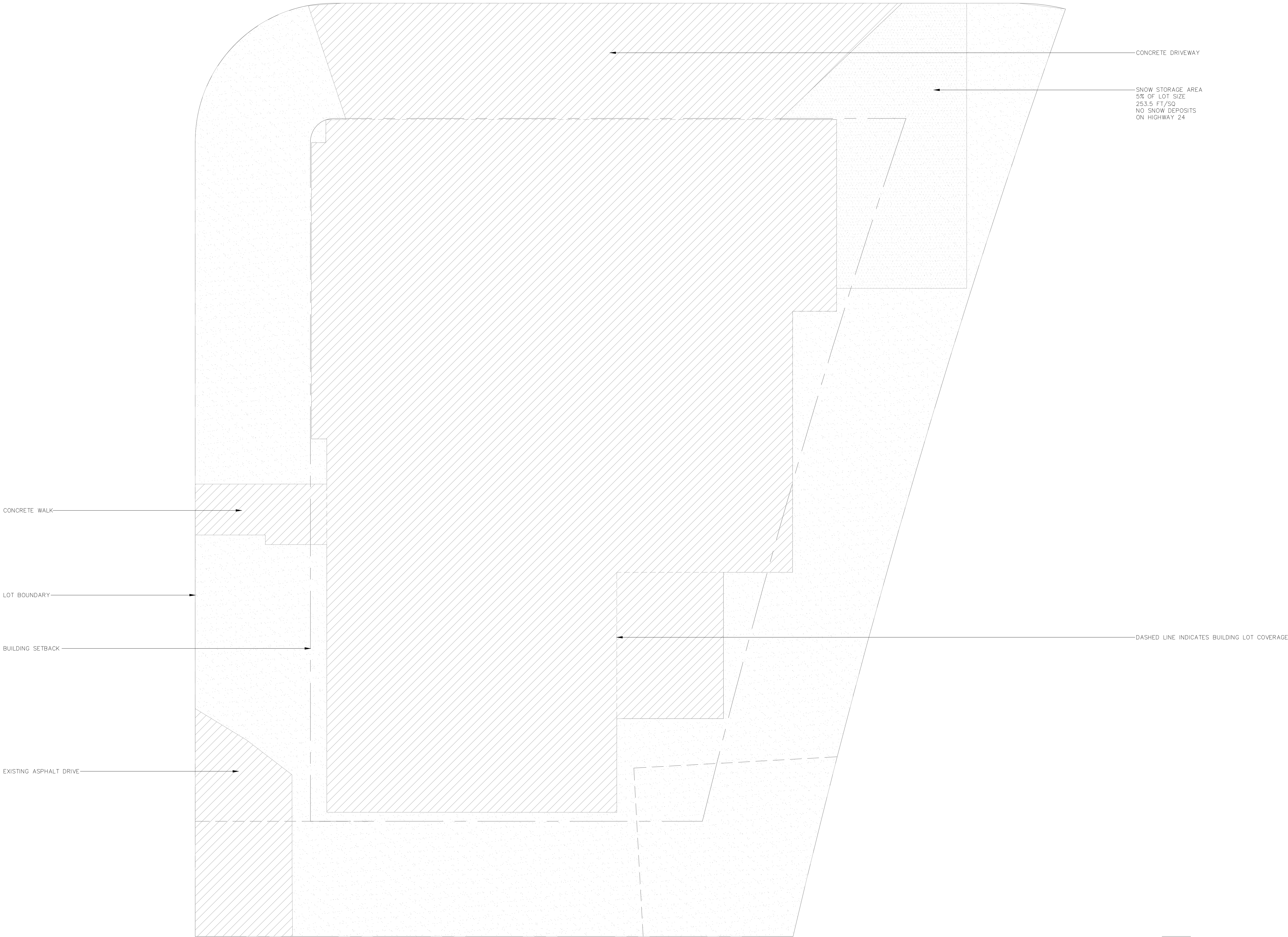
OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

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1/25 2025 FOR PRICING

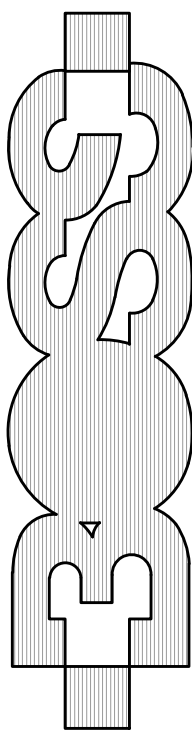
SURVEY

TWO.ELK
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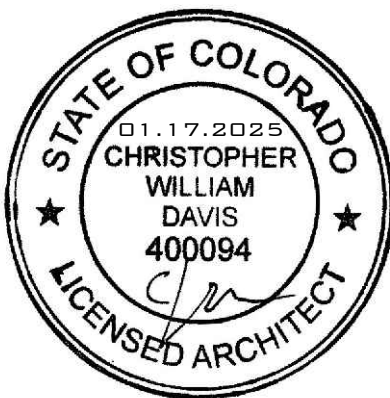


1 LOT COVERAGE DIAGRAM
1/4" = 1'



CHRISTOPHER.DAVIS
KEVIN STEPHENSON

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MINTURN, COLORADO 81645

25 | 2025 DESIGN REVIEW
26 | 2025 FOR PRICING

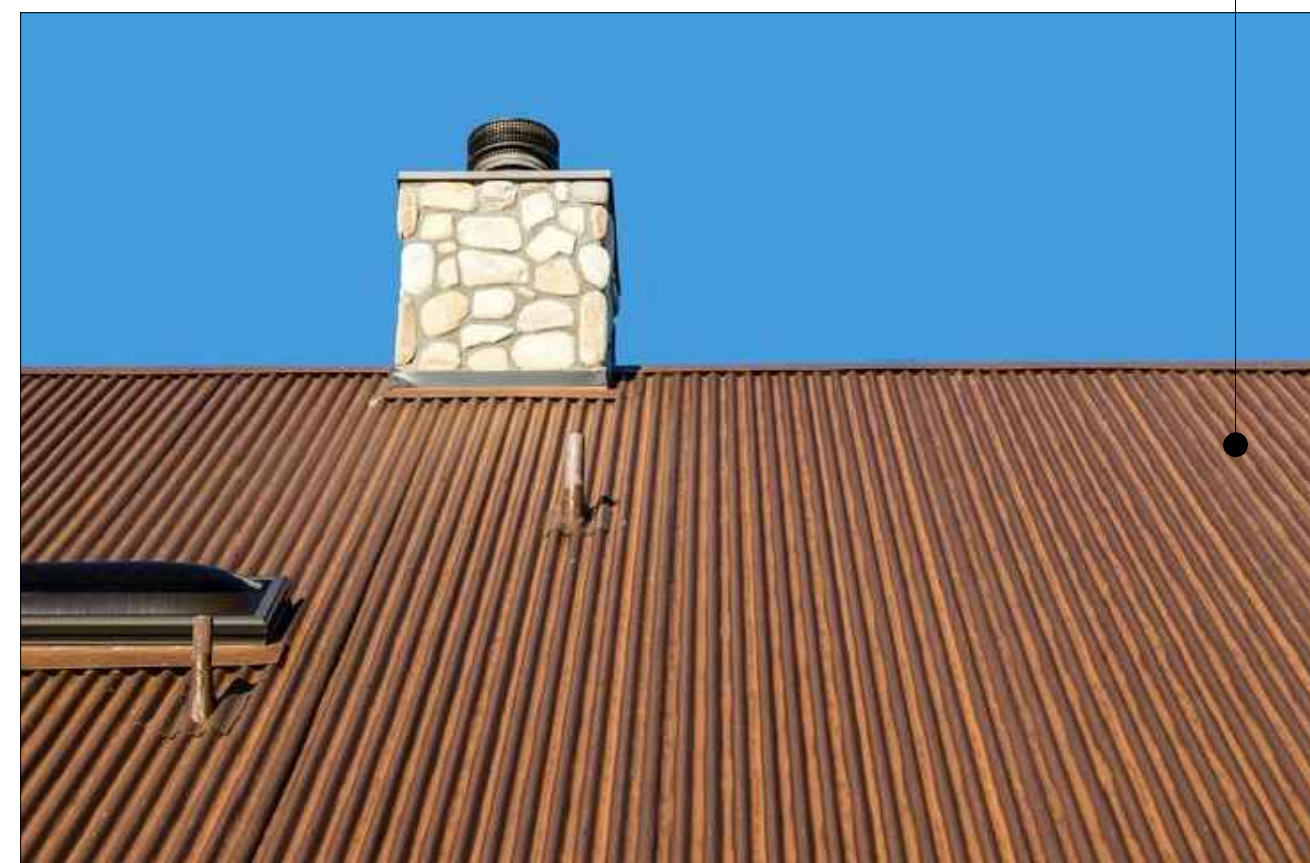
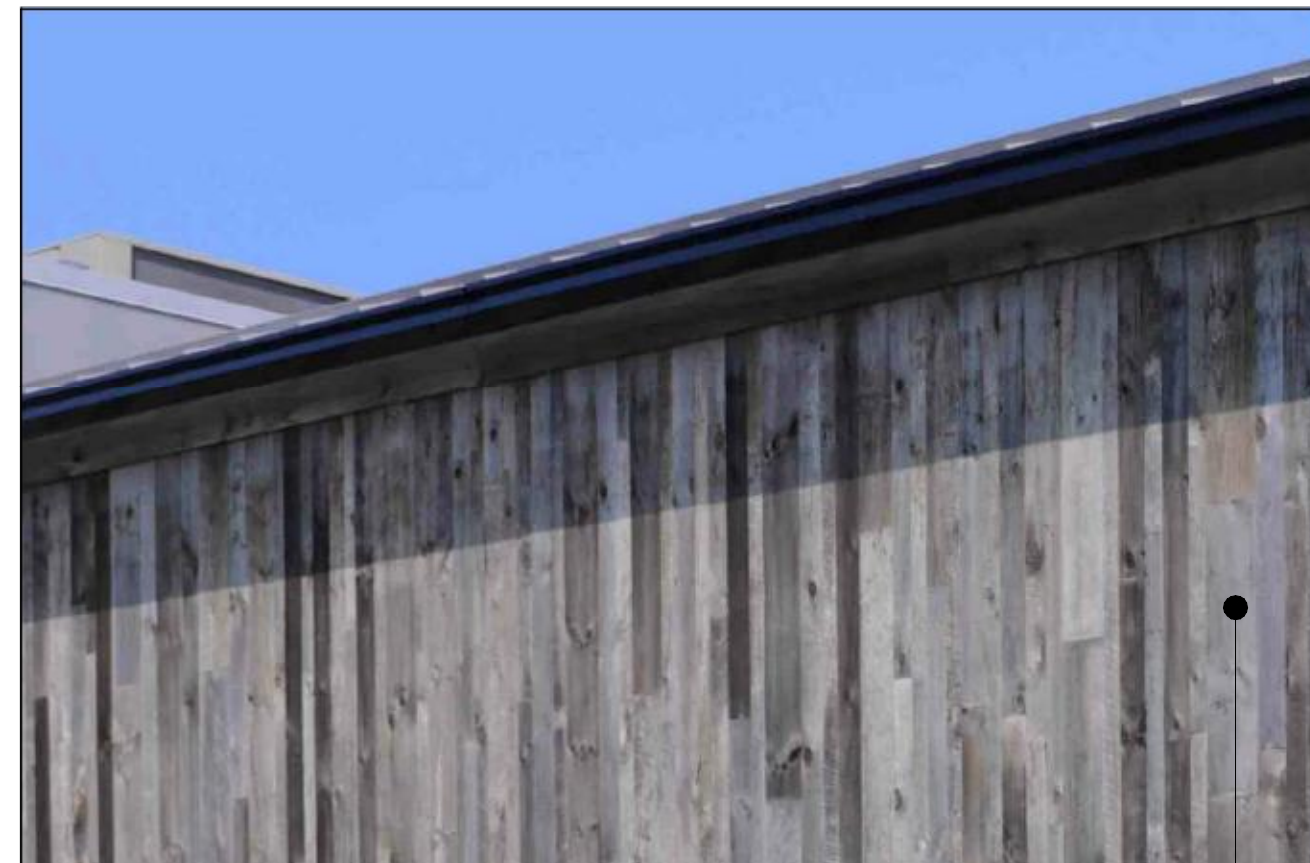
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LOT COVERAGE DIAGRAM



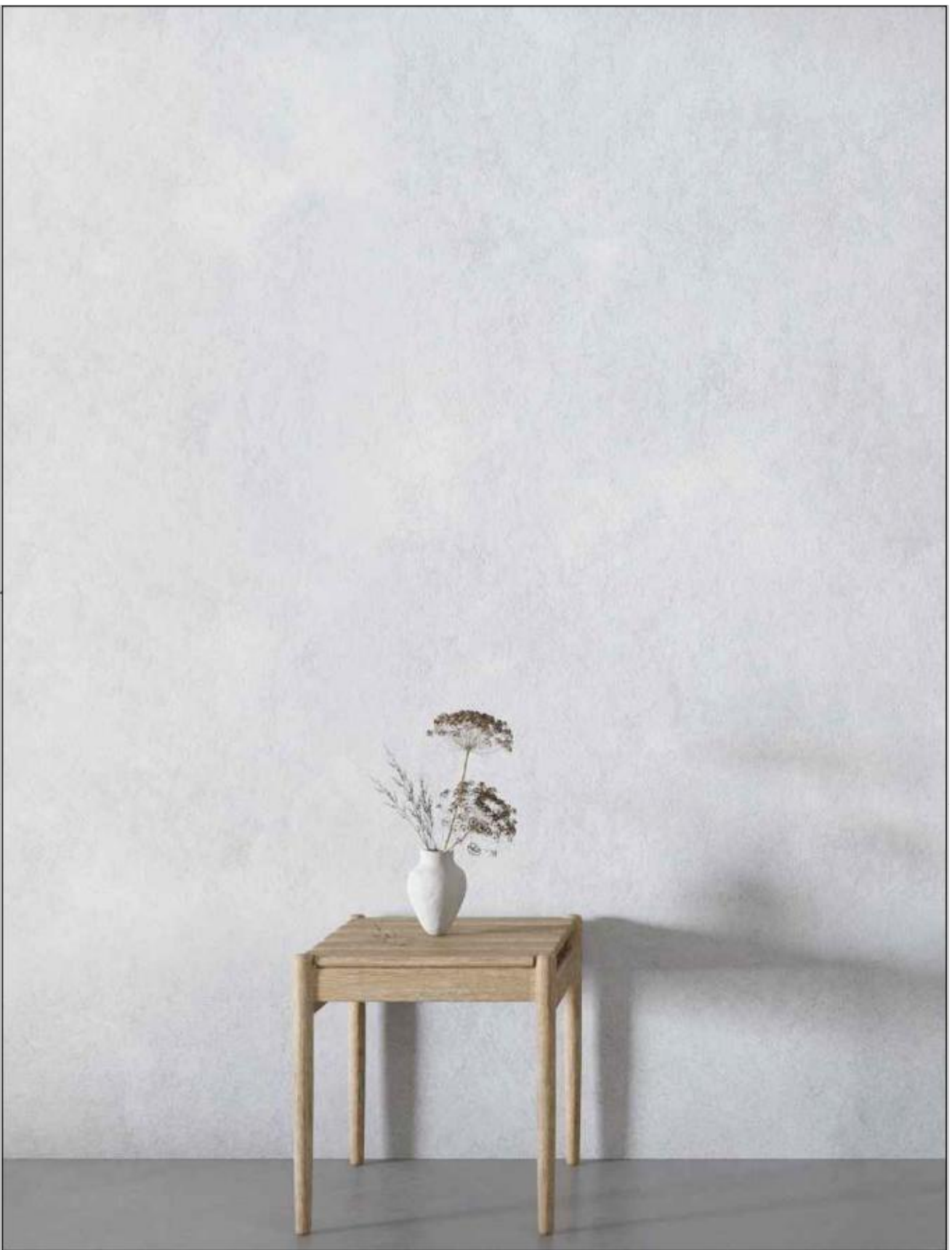
BLACKENED STEEL.
TO BE USED AT GARAGE DOOR, FLASHING,
MULLION CAPS, AND COLUMNS, AND WALL CLADDING



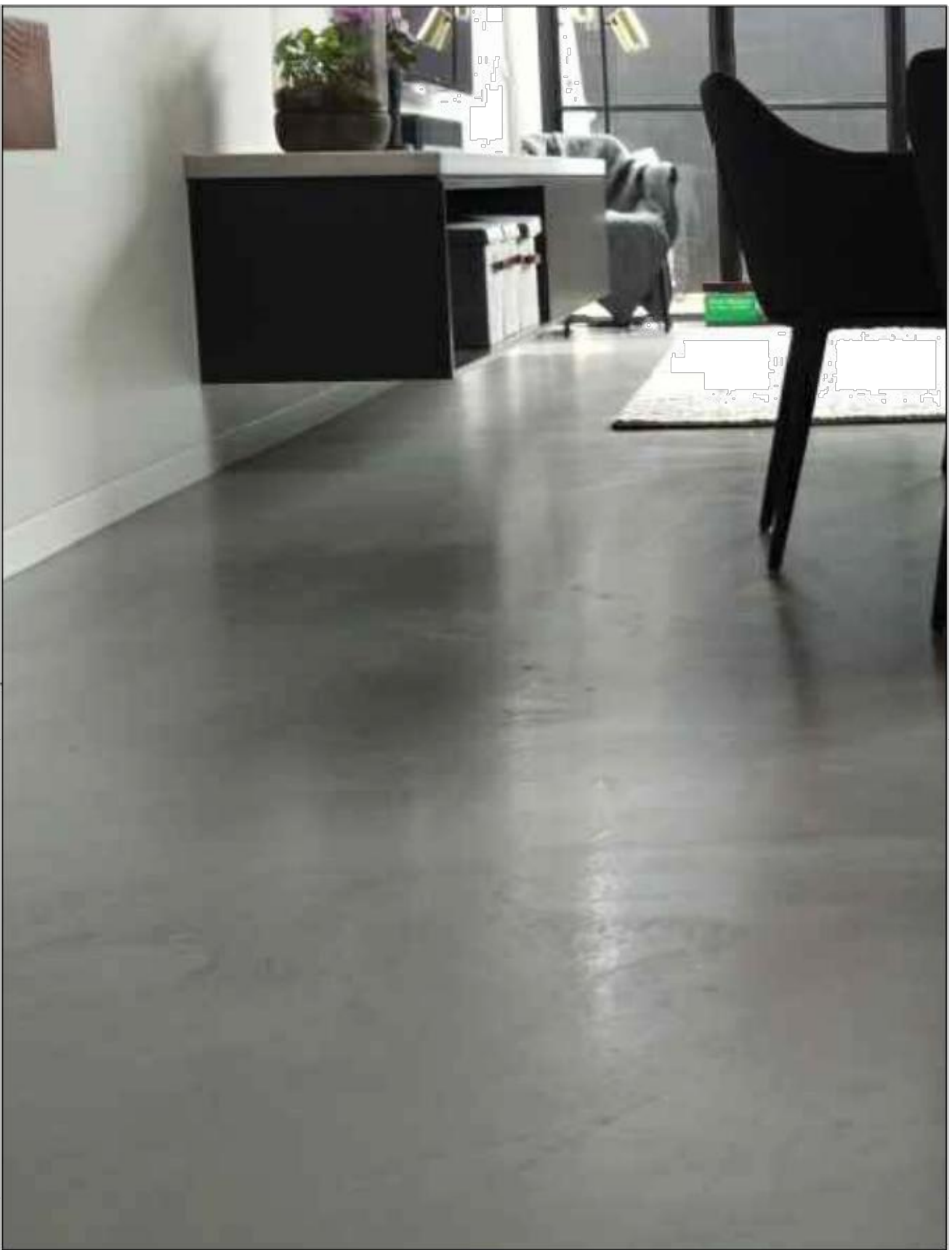
WEATHERING CORRUGATED STEEL AND
RECLAIMED BARNWOOD SIDING
AT EXTERIOR FRAMED WALLS



ROOF MATERIAL
BLACK EPDM ROOFING MEMBRANE
ON ALL ROOFS



PLASTER WALLS.
TO BE USED AT INTERIOR ON ALL FRAMED WALLS



BURNISHED CONCRETE FLOORING.
TO BE USED ON ALL FLOORS AS FINISH
MATERIAL.

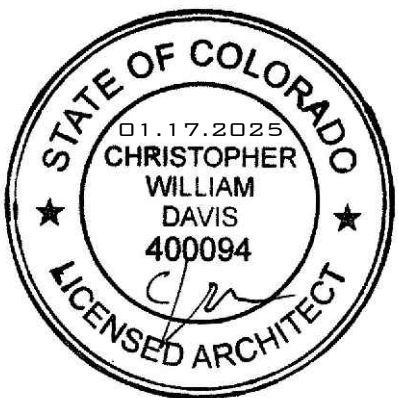
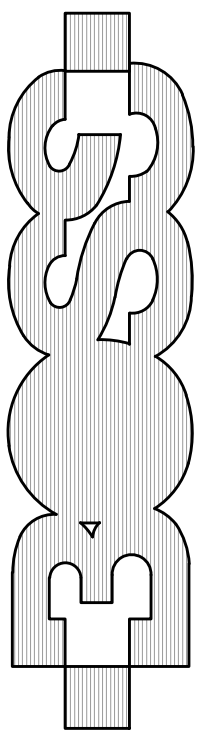


EXPOSED STEEL WITH WOOD SOFFIT
AT COVERED PAVILION



NATIVE LANDSCAPE.
NATIVE GRASS SEED MIX
AND GRANITE BOULDERS FOUND DURING EXCAVATION
TO BE USED AS LANDSCAPE ELEMENTS.

MATERIAL PALETTE
NOT TO SCALE



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MINTURN, COLORADO 81645

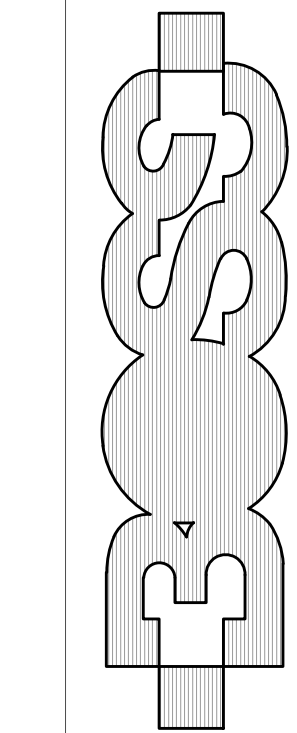
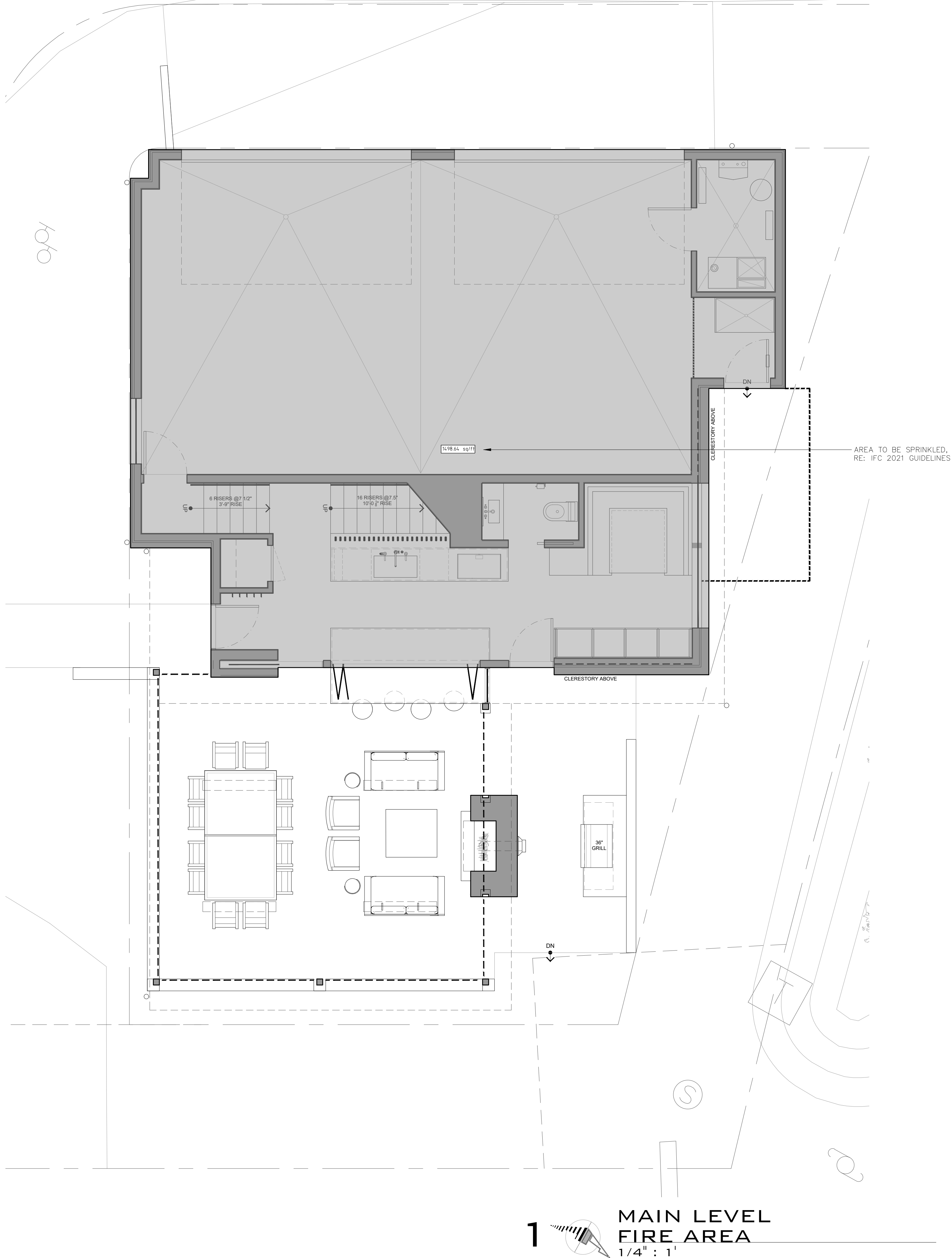
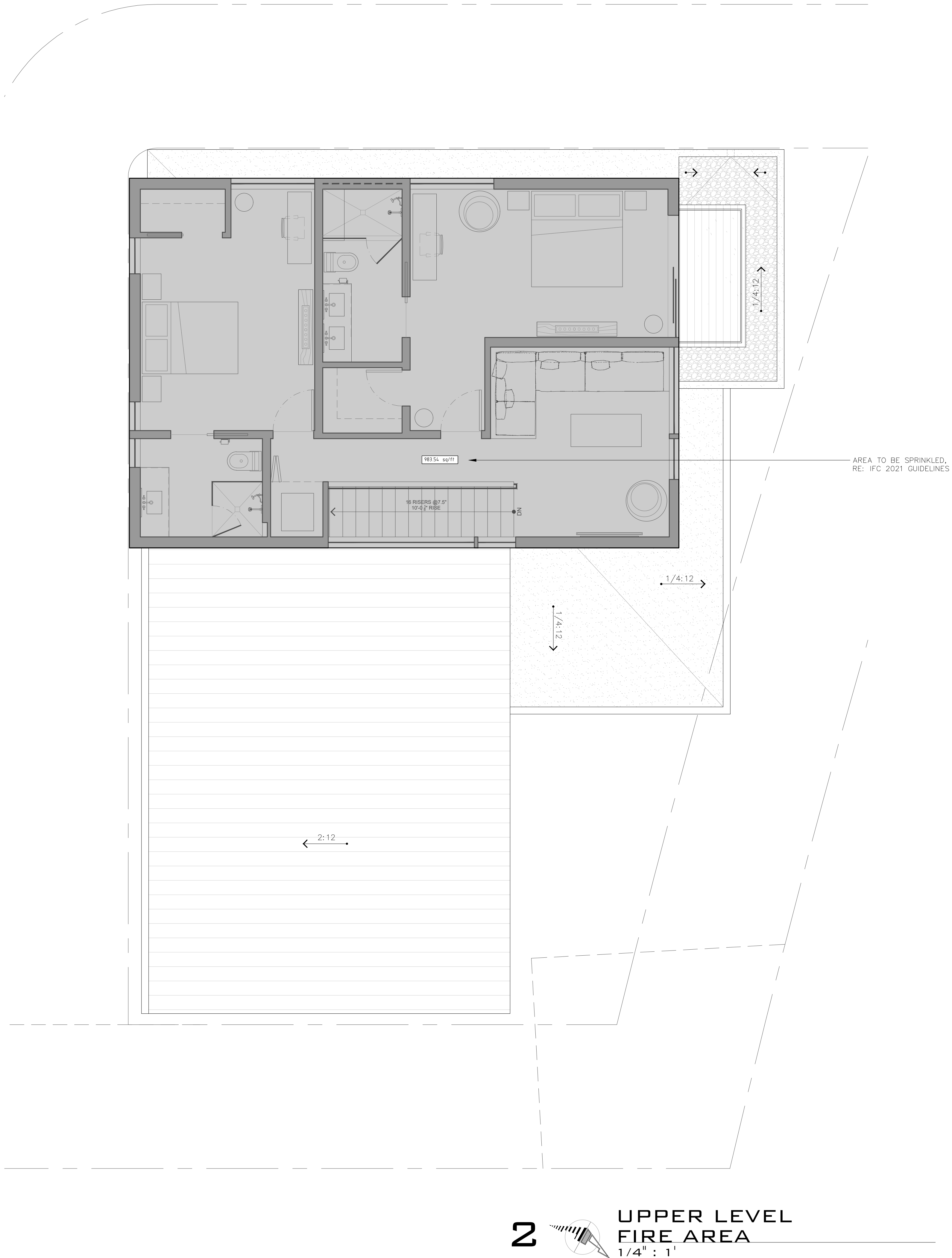
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2025 FOR PRICING

MATERIAL PALETTE

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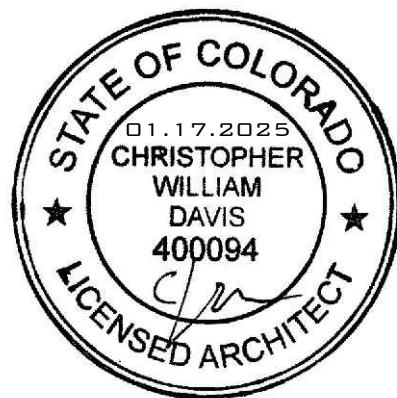
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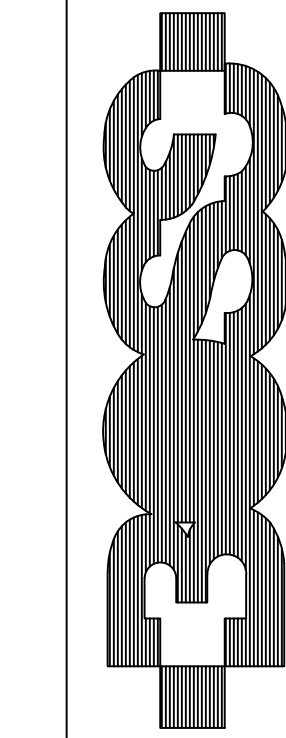
OWNERS:
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LOCATION:
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25 | 2025 DESIGN REVIEW
25 | 2025 FOR PRICING

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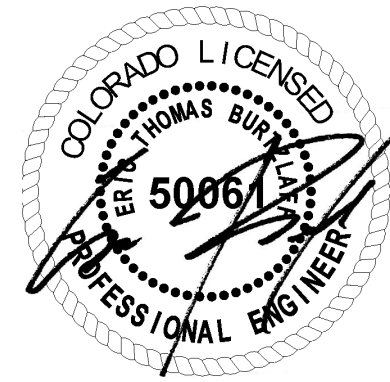
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FIRE PROTECTION PLAN



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01.17.2025

OWNERS:

ADAM AND LAINIE MINNICK

LOCATION:

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MINTURN, COLORADO 81645

2025 DESIGN REVIEW

2025 FOR PRICING

2025 (REVISION.01)



TWO.ELK

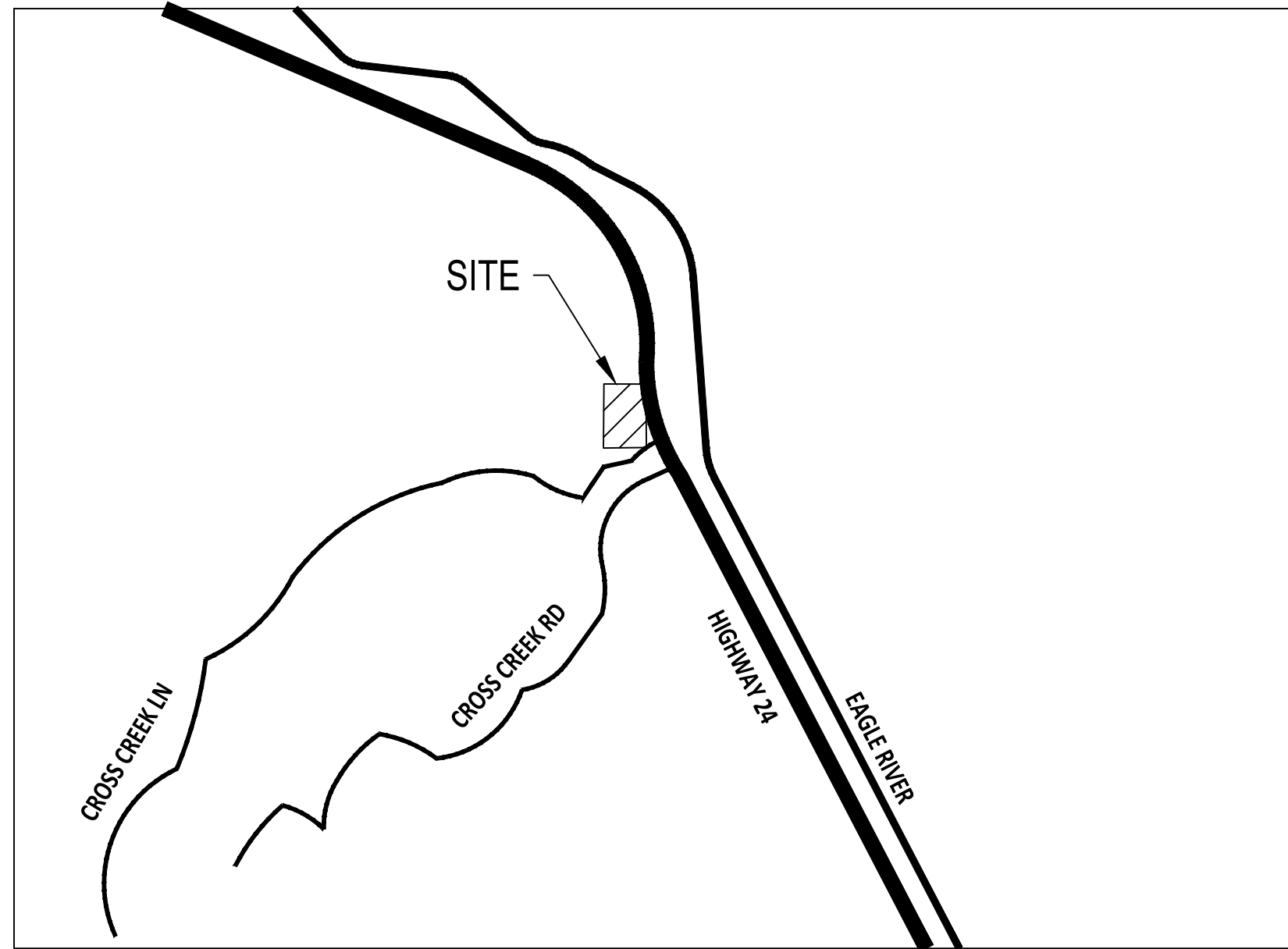
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1.0

VICINITY MAP:



SITE

CROSS CREEK LN

CROSS CREEK RD

HIGHWAY 24

EAGLE RIVER

SHEET INDEX

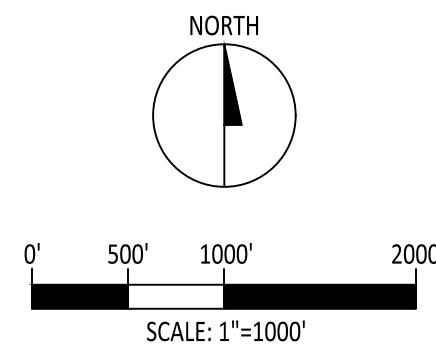
| | |
|------|----------------------|
| C1.0 | COVER SHEET |
| C2.0 | GRADING PLAN |
| C3.0 | EROSION CONTROL PLAN |

| | |
|---------------|----------------|
| FOR REFERENCE | |
| L2.0 | LANDSCAPE PLAN |

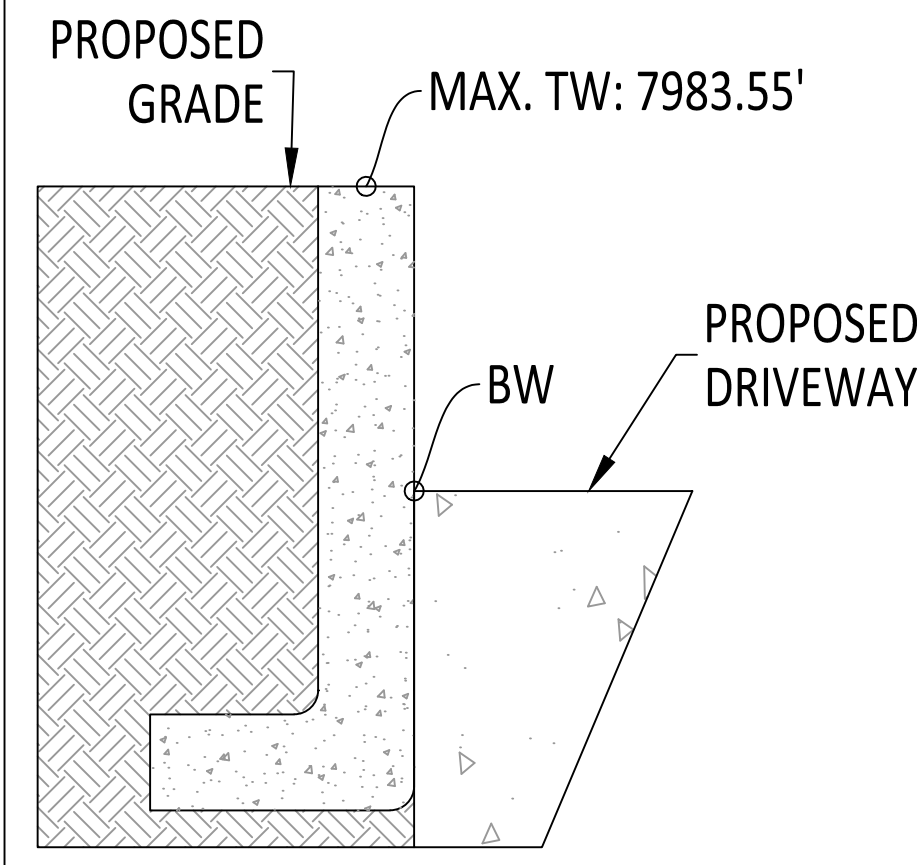
SURVEY STATEMENT:
RAPTOR CIVIL ENGINEERING RELIED ON THE LAND SURVEY
PREPARED BY EAGLE VALLEY SURVEYING, INC DATED APRIL 24TH,
2024. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY
LAND SURVEYOR.

BASIS OF BEARING NOTE:
MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND
SOUTH CORNER LOT 3W.

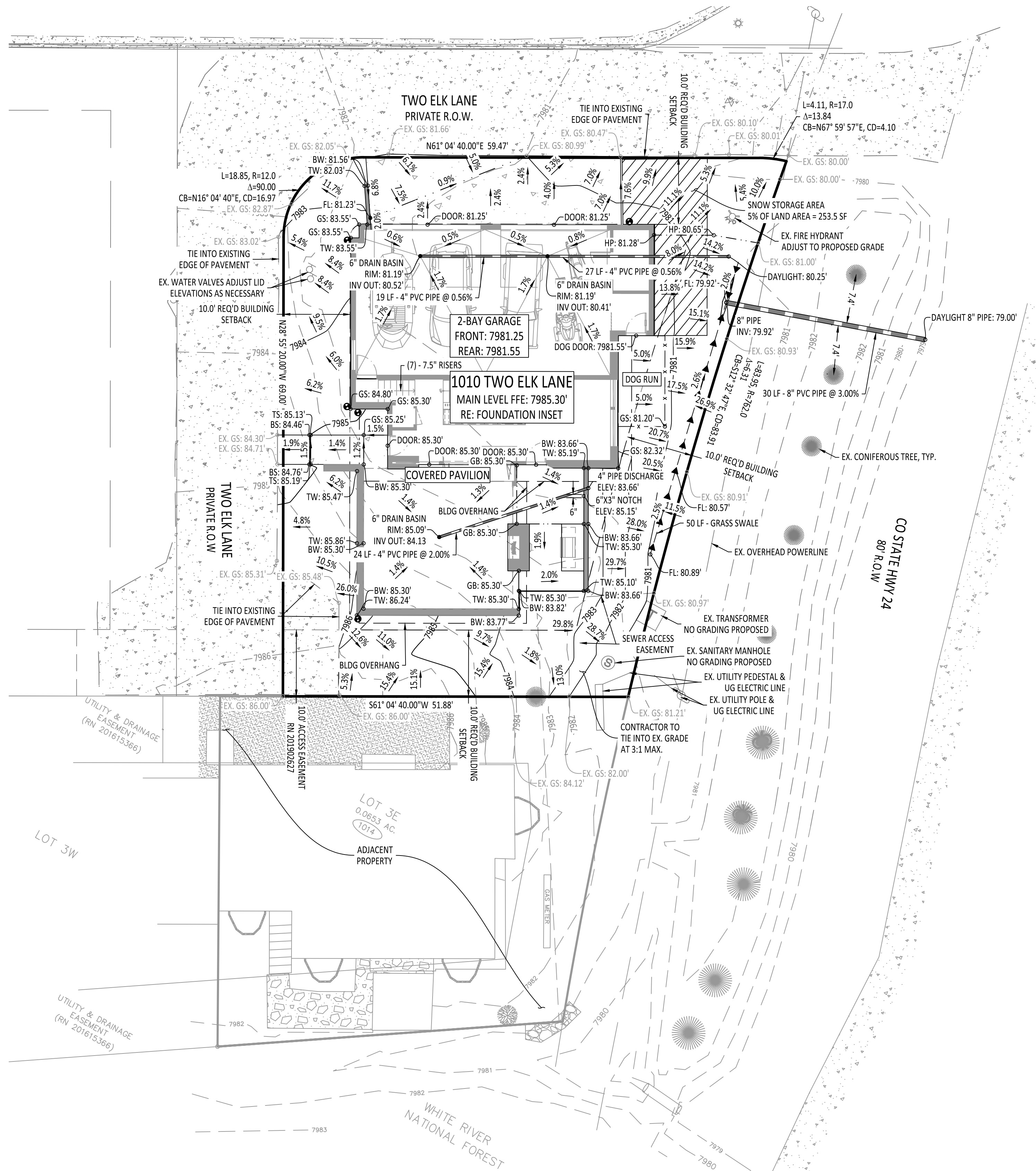
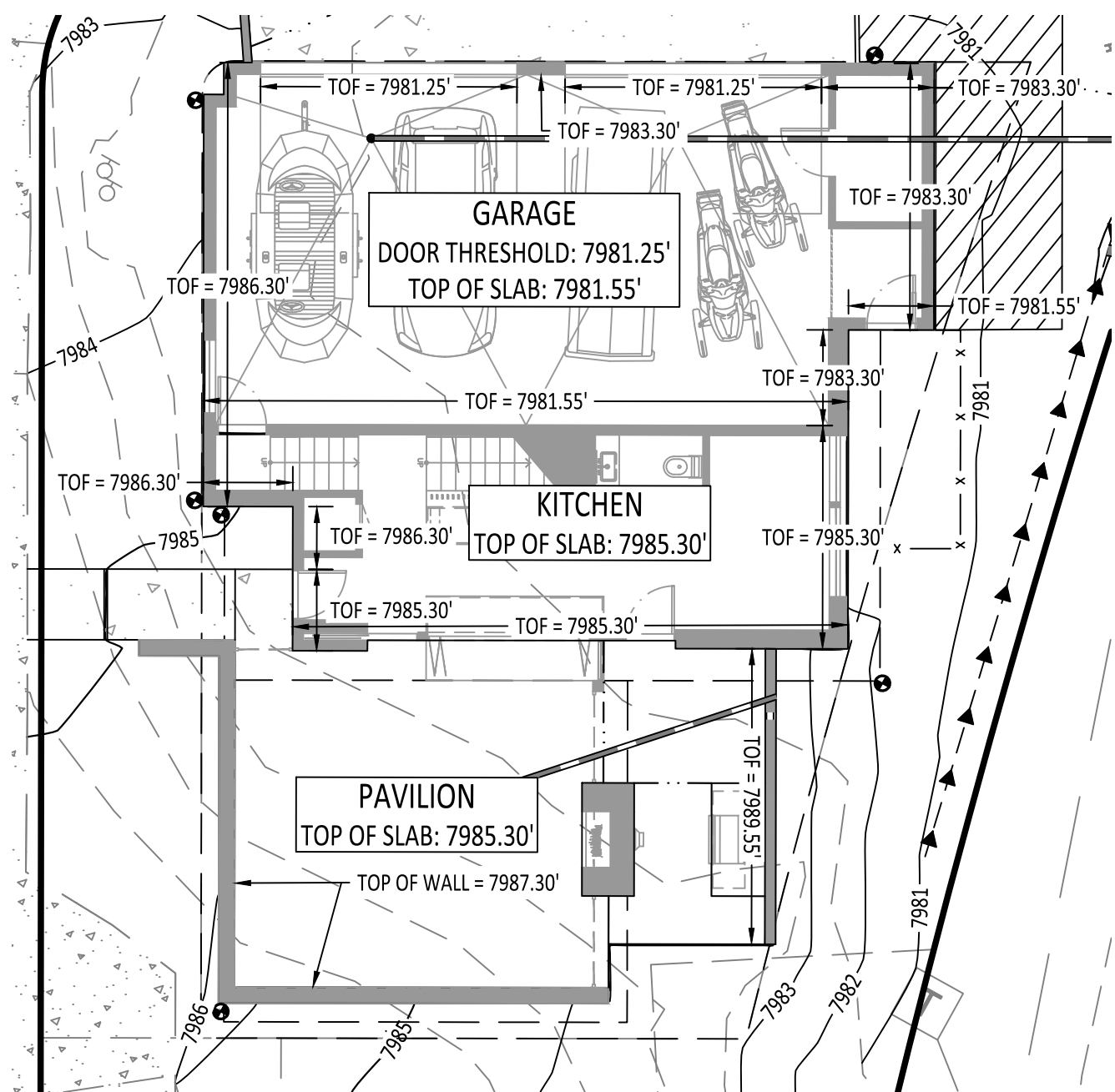
BASIS OF ELEVATION:
USGS NAVD 88 BM 004 EAGLE COUNTY SURVEY CONTROL 1998
ELEVATION = 8115.0'



NON-STRUCTURAL DRIVEWAY RETAINING WALL DETAIL:
NOT TO SCALE



INSET - TOP OF FOUNDATION

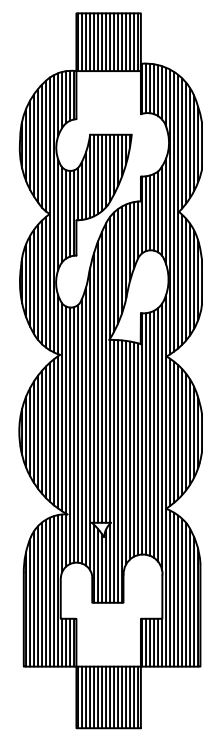


ABBREVIATION LIST:
FG: FINISHED GRADE
EG: EXISTING GRADE
FL: FLOWLINE
HP: HIGH POINT
TC: TOP OF CURB
TOF: TOP OF FOUNDATION
TW: TOP OF WALL
TWV: TOP OF WINDOW WELL
BW: BOTTOM OF WALL
GS: GROUND SHOT
TS: TOP OF STEP
BS: BOTTOM OF STEP
GB: GRADE BREAK
FFE: FINISHED FLOOR ELEVATION

| LEGEND: | |
|---------|------------------|
| | PROPERTY LINE |
| | SETBACK |
| | EASEMENT |
| | ASPHALT |
| | CONCRETE |
| | SNOW STORAGE |
| | RETAINING WALL |
| | UTILITY POLE |
| | DOWNSPOUT |
| | SWALE |
| | SLOPE ARROW |
| | SPOT ELEVATION |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |

- GRADING NOTES:
- SPOT ELEVATIONS TRUNCATED, ADD 7900' TO ALL SURFACE SPOT SHOTS
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION. IF IT IS DETERMINED IN THE FIELD THAT POSITIVE DRAINAGE IS NOT POSSIBLE, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
 - CONTRACTOR SHALL ENSURE FAMILIARITY WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR SURFACE DRAINAGE ON THE PROJECT. CONTRACTOR SHALL ENSURE 4" CLEARANCE FROM BOTTOM OF BUILDING FACADE TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL ENSURE 6" CLEARANCE FROM TOP OF SLAB TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. IF THESE CONDITIONS ARE NOT POSSIBLE IN FIELD, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
 - DOWNSPOUT DISCHARGE SHALL NOT BE ROUTED TOWARD ADJACENT PROPERTIES. ADDITIONALLY, DOWNSPOUTS SHALL BE ROUTED AWAY FROM SIDEWALKS WHENEVER POSSIBLE TO AVOID ICING AND PEDESTRIAN RISK.
 - ALL CONCENTRATED FLOWS SHALL BE RELEASED NO CLOSER THAN 10' TO FRONT PROPERTY LINE AND 5' TO SIDE PROPERTY LINES. ALL FLOWS SHALL BE ROUTED AWAY FROM ADJACENT PROPERTIES.
 - ALL CURBS SHOWN HEREON ARE ASSUMED TO BE 6" VERTICAL CURB UNLESS OTHERWISE NOTED. ALL ADA RAMPS SHOWN HEREON ARE ASSUMED TO BE 12:1 SLOPE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO ALL STRUCTURAL DRAWINGS AND CIVIL ENGINEER DRAWINGS PRIOR TO CONSTRUCTION OF FOUNDATION. ANY DISCREPANCIES SHALL BE BROUGHT TO CIVIL ENGINEER'S ATTENTION IMMEDIATELY.
 - MAXIMUM ADA CROSS SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAILS. CONTRACTOR SHALL CONTACT ENGINEER IF ADA PATHES/ACCESS POINTS DO NOT MEET THESE CONDITIONS IN THE FIELD.

SURVEY STATEMENT:
RAPTOR CIVIL ENGINEERING RELIED ON THE LAND SURVEY PREPARED BY EAGLE VALLEY SURVEYING, INC. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.



CHRISTOPHER DAVIS
KEVIN STEPHENSON



01.17.2025

OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
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MINTURN, COLORADO 8164

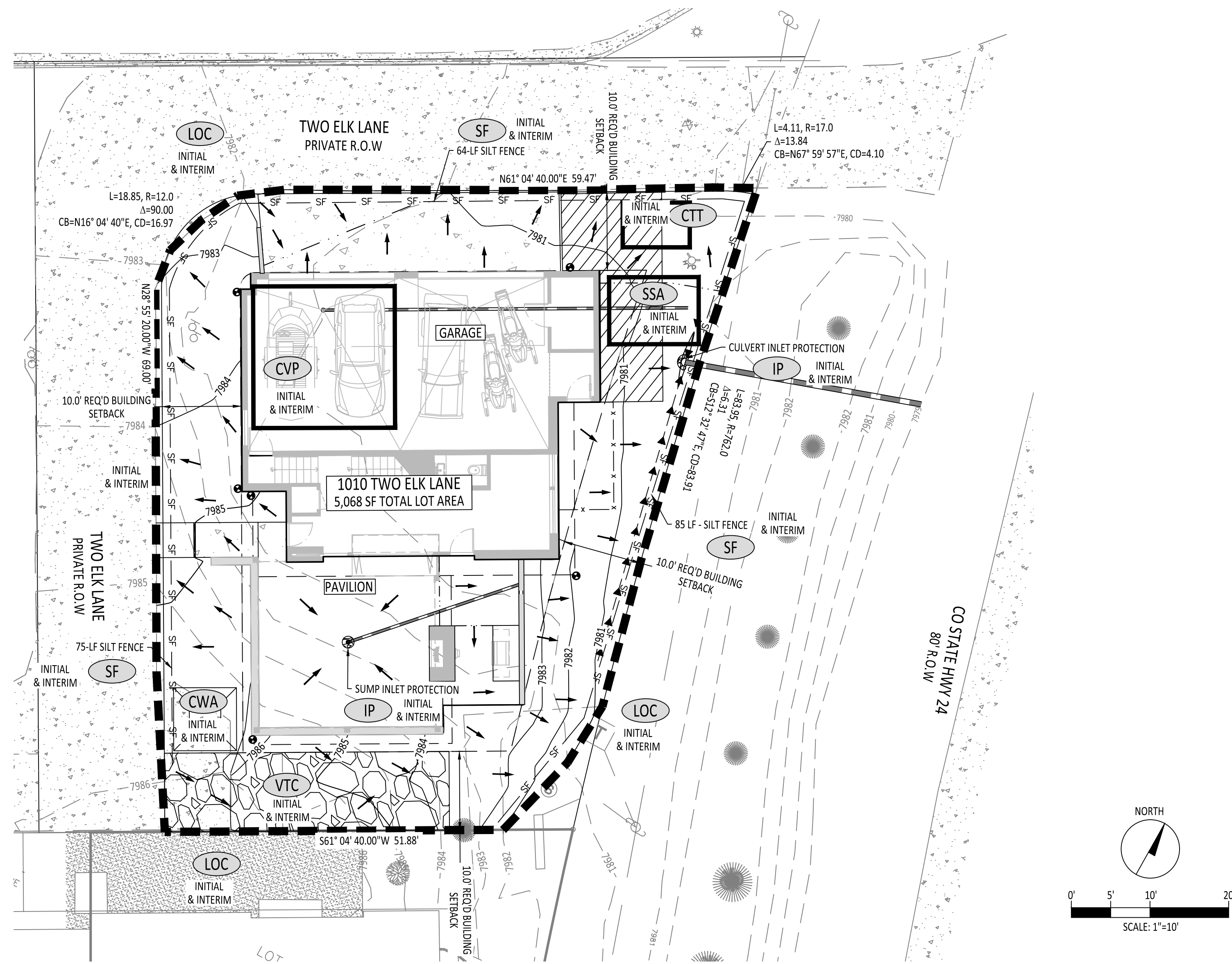
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TWO.ELK

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





3.0



LIMITS OF CONSTRUCTION:
5,084 SF = 0.117 AC.

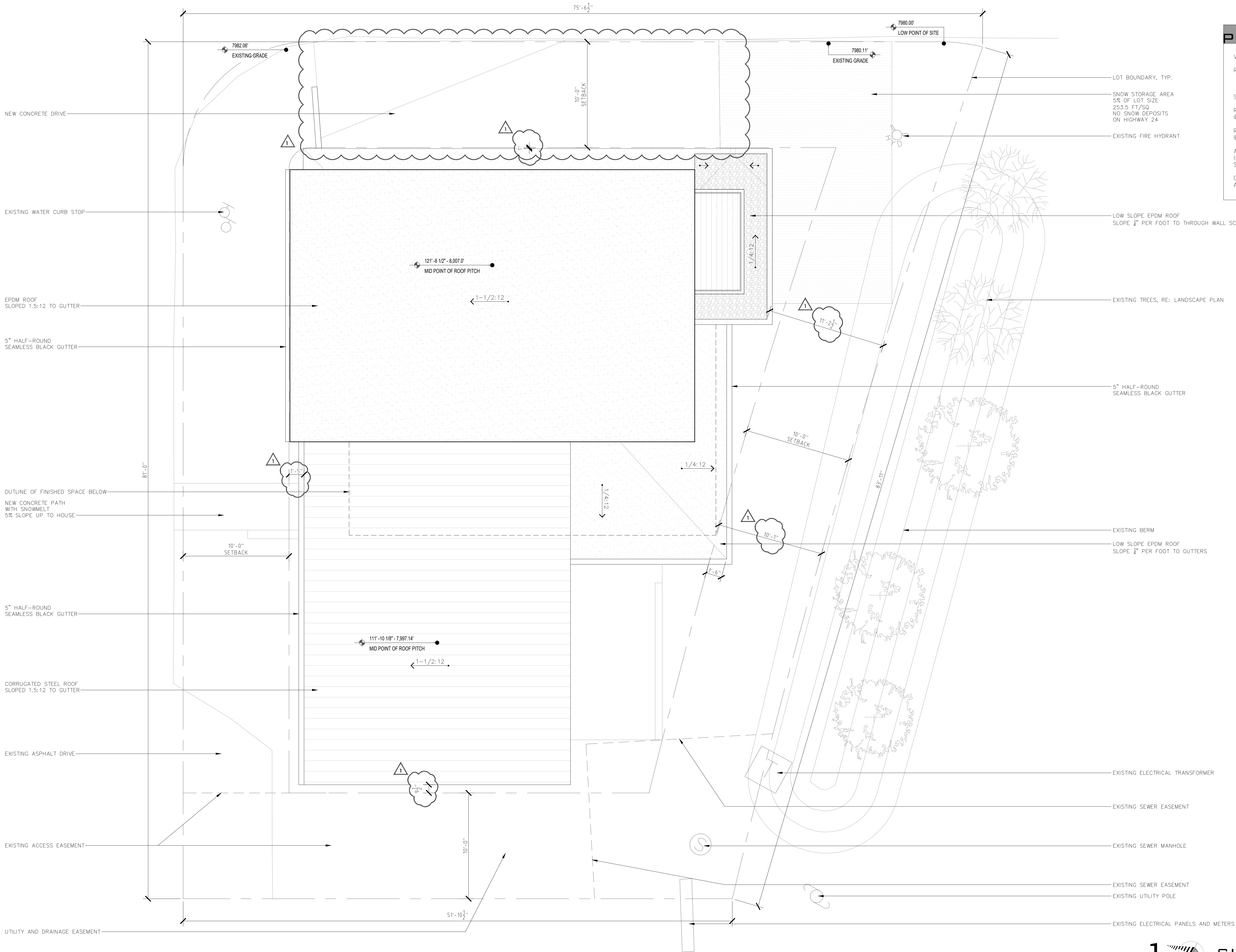
ABBREVIATION LIST:
CF: CONSTRUCTION FENCE
CTT: CONSTRUCTION TRASH & TOILET
CVP: CONSTRUCTION VEHICLE PARKING
CWA: CONCRETE WASHOUT AREA
DC: DUST CONTROL
ECB: EROSION CONTROL BLANKETS
IP: INLET PROTECTION
LOC: LIMITS OF CONSTRUCTION
PS: PERMANENT SEEDING
RS: ROCK SOCK
SCL: SEDIMENT CONTROL LOG
SF: SILTFENCE
SP: STOCKPILE
SSA: STABILIZED STORAGE AREA
VTC: VEHICLE TRACKING CONTROL

LEGEND:

| | |
|---|-------------------------|
|  | PROPERTY LINE |
|  | EASEMENT |
|  | CONCRETE |
|  | RETAINING WALL |
|  | SLOPE ARROW |
|  | EXISTING CONTOUR |
|  | PROPOSED CONTOUR |
| LIMITS OF CONSTRUCTION | |
|  | SILT FENCE |
|  | PERMANENT SEEDING |
|  | EROSION CONTROL BLANKET |
|  | ROCK SOCK |

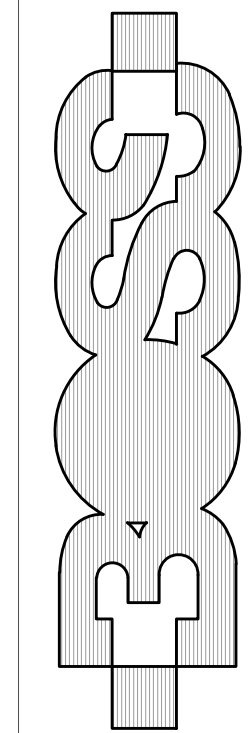
SURVEY STATEMENT:
RAPTOR CIVIL ENGINEERING RELIED ON THE LAND SURVEY PREPARED BY EAGLE VALLEY SURVEYING, INC DATED APRIL 24TH, 2024. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.





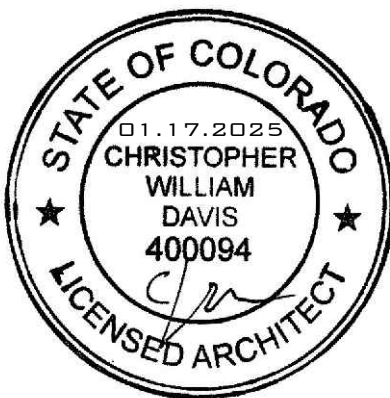
PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.
REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:
- GENERAL NOTES
SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.
REPLACE 5/8" GYP. BD. WITH 5/8" 'GREEN BOARD'
Ⓢ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).
REPLACE 5/8" GYP. BD. WITH 5/8" 'CEMENTITIOUS TILE BACKER BOARD'
Ⓢ ALL LOCATIONS TO RECEIVE TILE.
ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0"
(FINISH FLOOR 100'-0" = 7985.38" RELATIVE TO
SURVEYED PROJECT BENCHMARK; RE:CIVIL)
CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES,
AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.



CHRISTOPHER.DAVIS
KEVIN STEPHENSON

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OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

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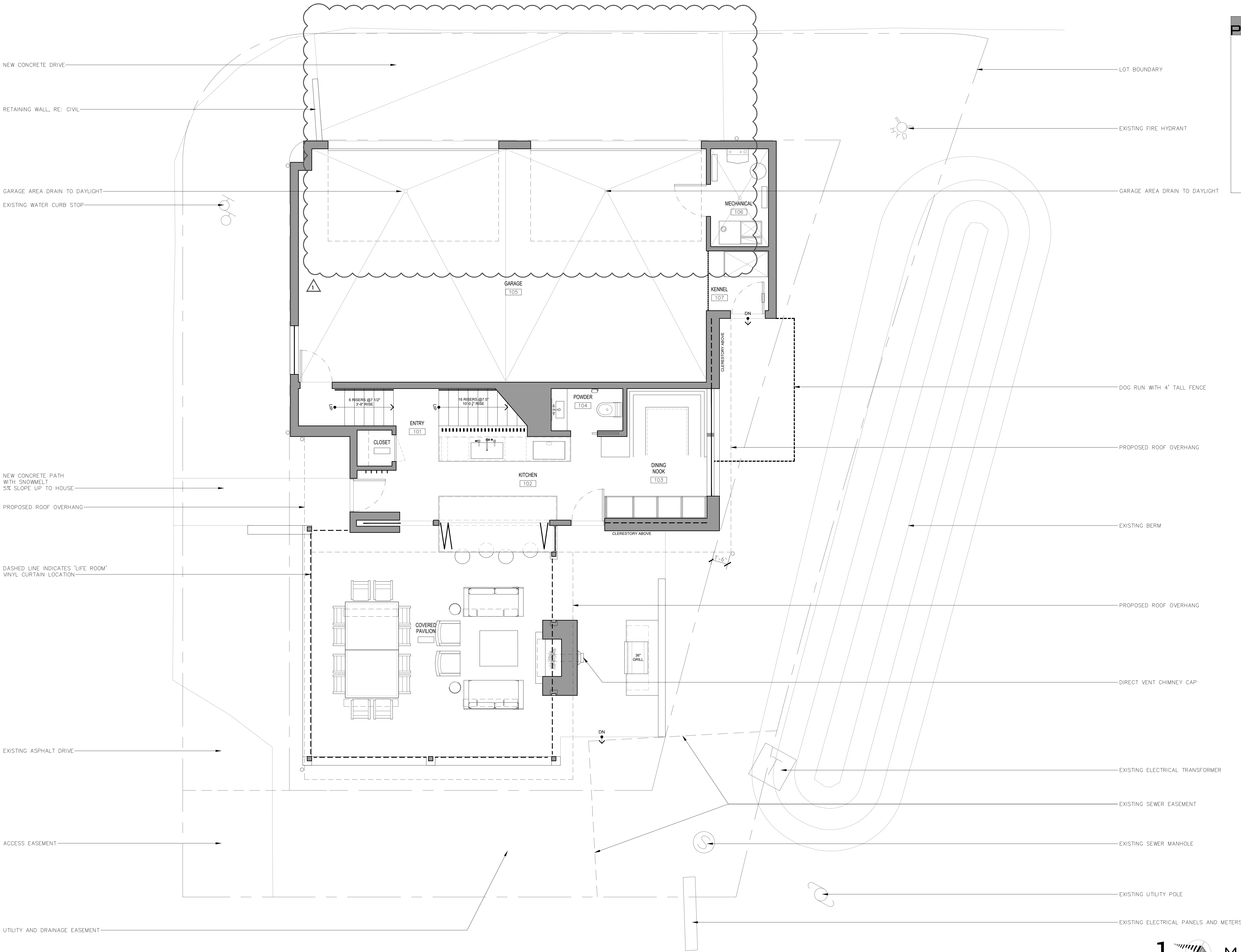
SITE PLAN

TWO.ELK

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PLAN.NOTES

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STATE OF COLORADO
01-17-2025
CHRISTOPHER
DAVIS
400094
LICENSED ARCHITECT

OWNERS:
ADAM AND LAINIE MINNICK

LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

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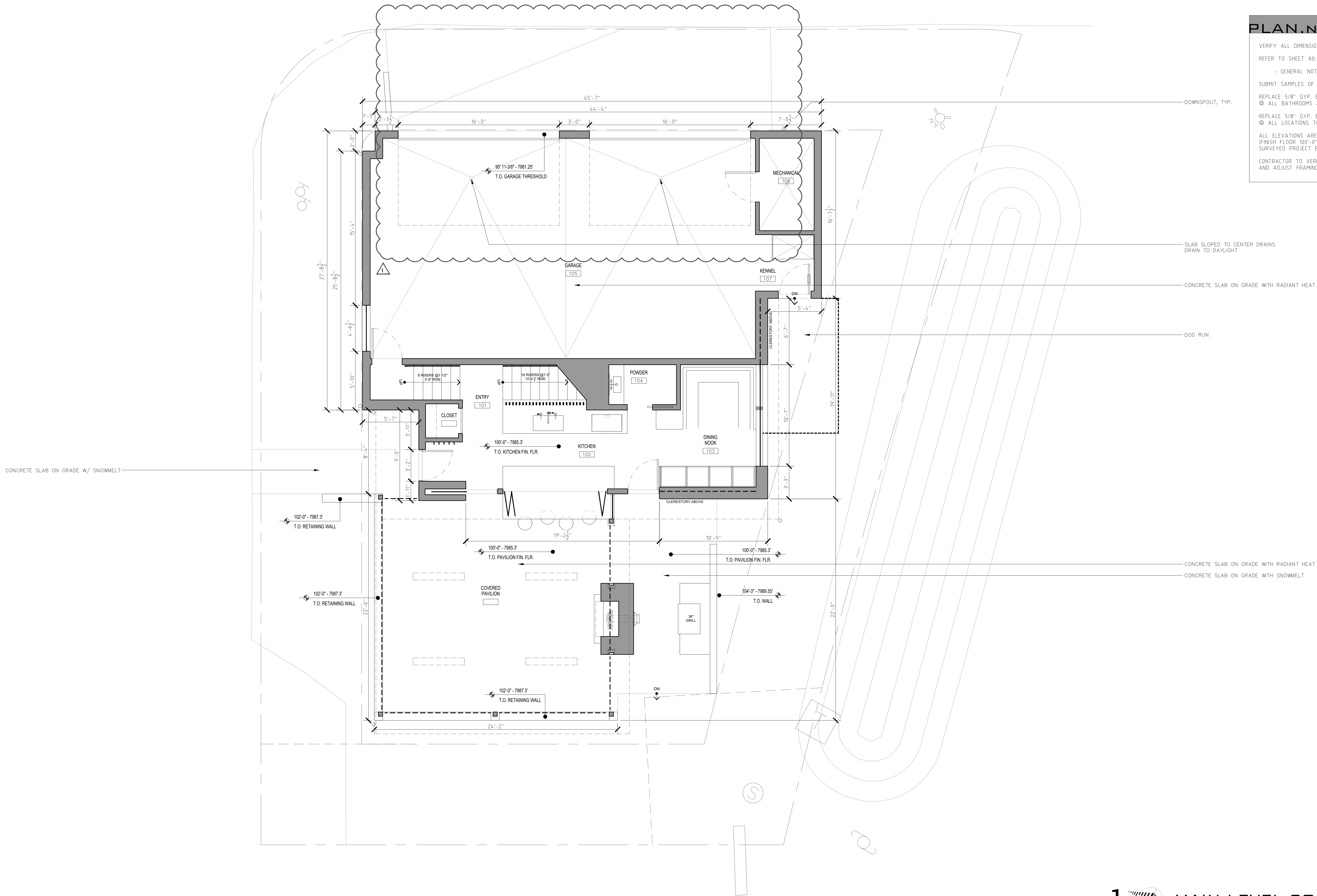
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MAIN LEVEL
FINISH PLAN



PLAN.NOTES

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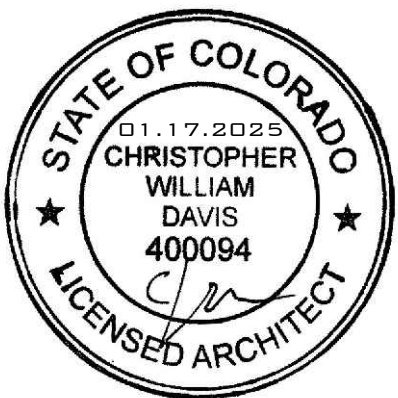
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MAIN LEVEL
CONSTRUCTION PLAN

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PLAN.NOTES

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- GENERAL NOTES

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REPLACE 5/8" GYP. BD. WITH 5/8" 'GREEN BOARD'

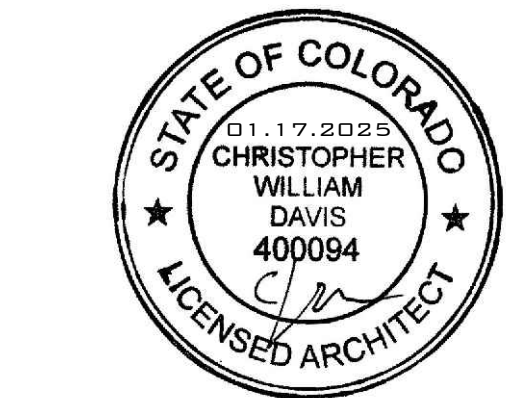
Ⓢ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP. BD. WITH 5/8" 'CEMENTITIOUS TILE BACKER BOARD'

Ⓢ ALL LOCATIONS TO RECEIVE TILE.

ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0" (FINISH FLOOR 100'-0" = 7985.38" RELATIVE TO SURVEYED PROJECT BENCHMARK; RE:(CIVIL))

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.



OWNERS:
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LOCATION:
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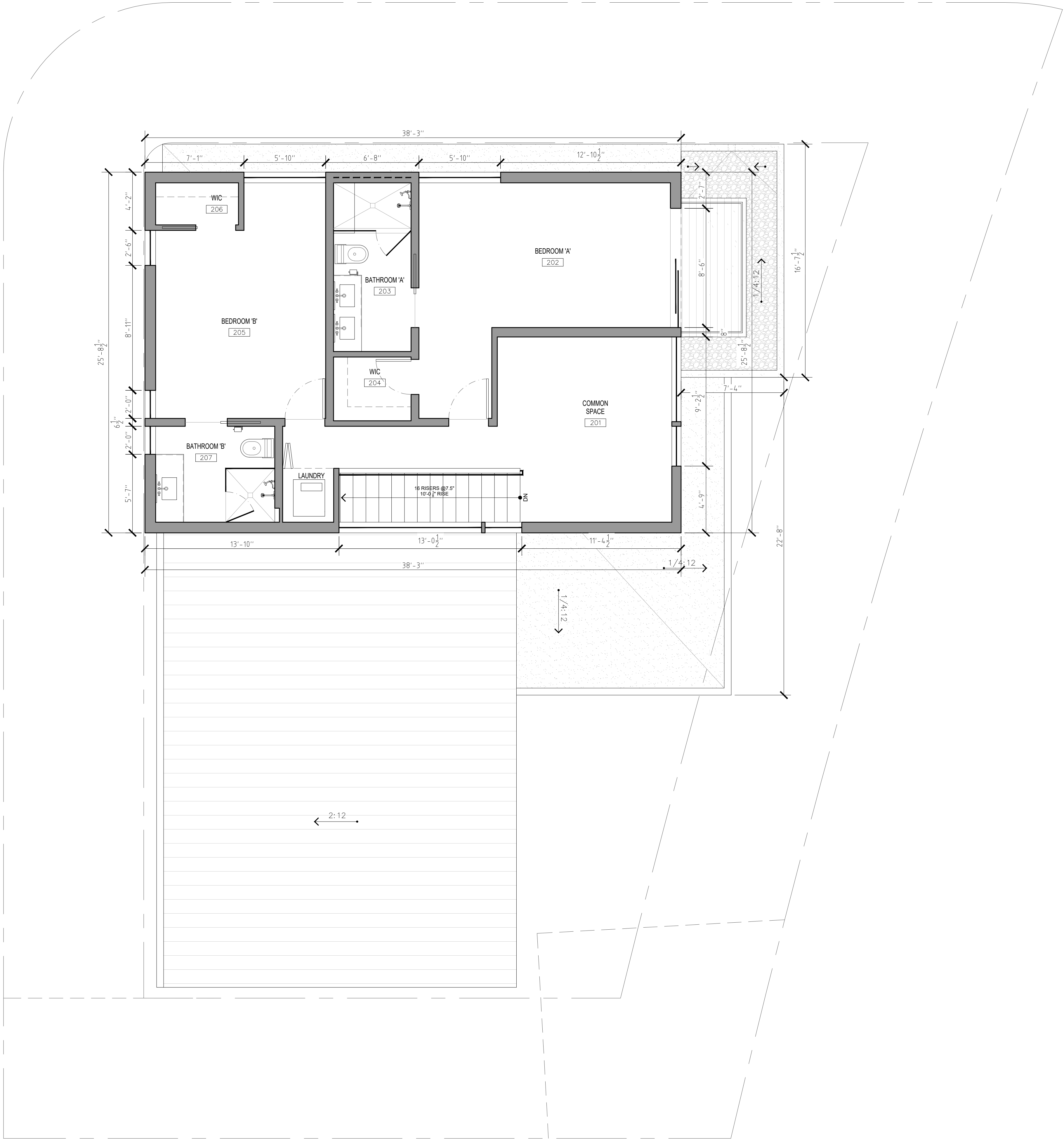
UPPER LEVEL
FINISH PLAN

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REPLACE 5/8" GYP. BD. WITH 5/8" 'GREEN BOARD'

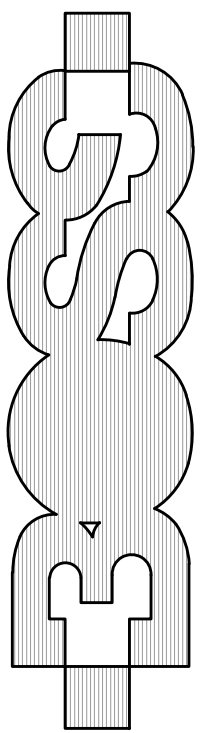
Ⓢ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

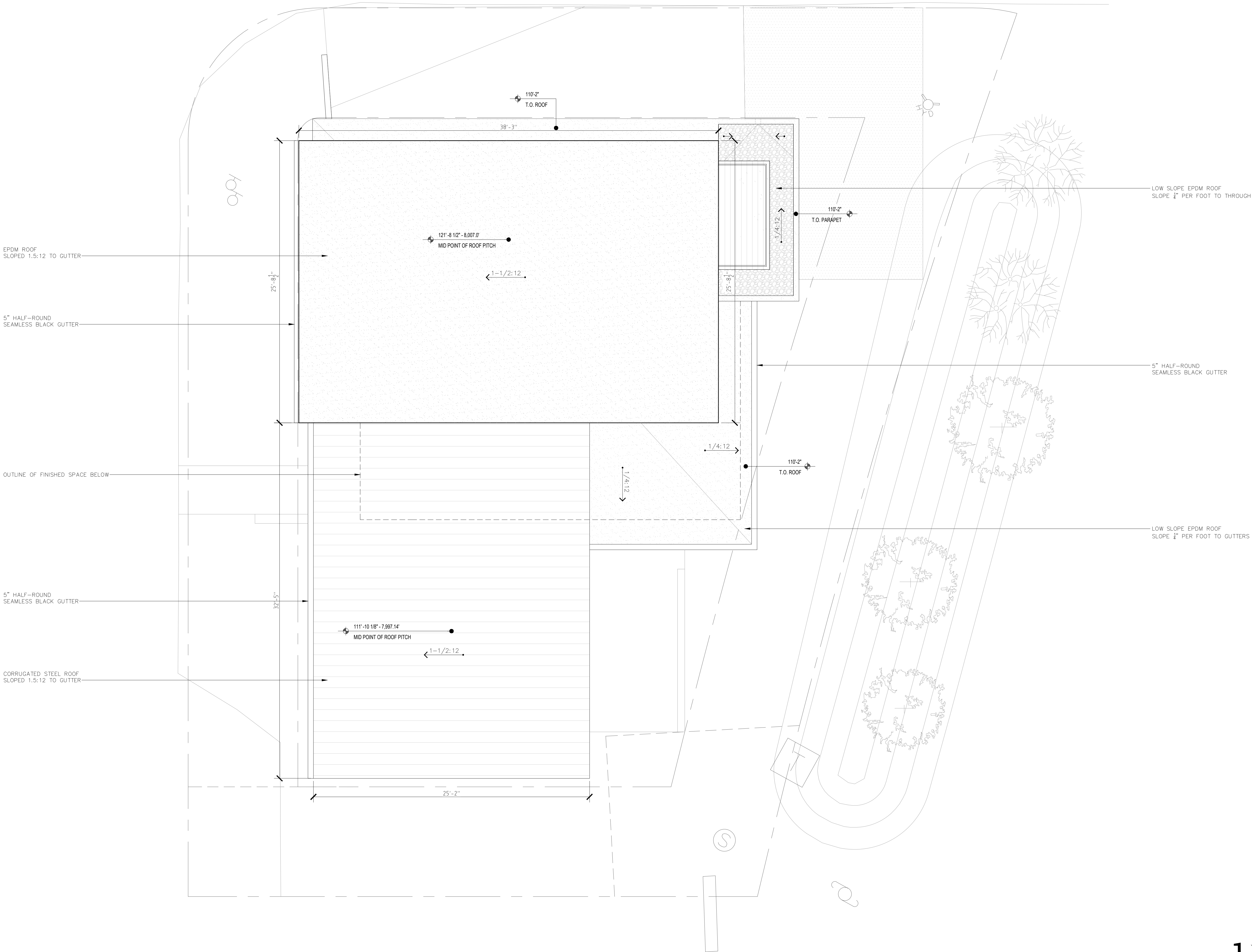
REPLACE 5/8" GYP. BD. WITH 5/8" 'CEMENTITIOUS TILE BACKER BOARD'

Ⓢ ALL LOCATIONS TO RECEIVE TILE.

ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0" (FINISH FLOOR 100'-0" = 7985.38" RELATIVE TO SURVEYED PROJECT BENCHMARK; RE:CIVIL)

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.





PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

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SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

REPLACE 5/8" GYP. BD. WITH 5/8" "GREEN BOARD"

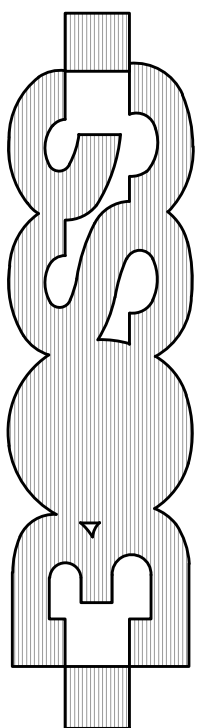
Ⓢ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP. BD. WITH 5/8" "CEMENTITIOUS TILE BACKER BOARD"

Ⓢ ALL LOCATIONS TO RECEIVE TILE.

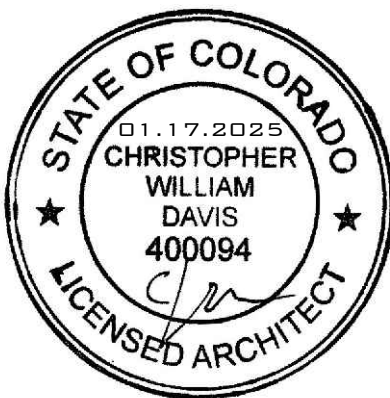
ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0" (FINISH FLOOR 100'-0" = 7985.38" RELATIVE TO SURVEYED PROJECT BENCHMARK; RE:CIVIL)

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.



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LOCATION:
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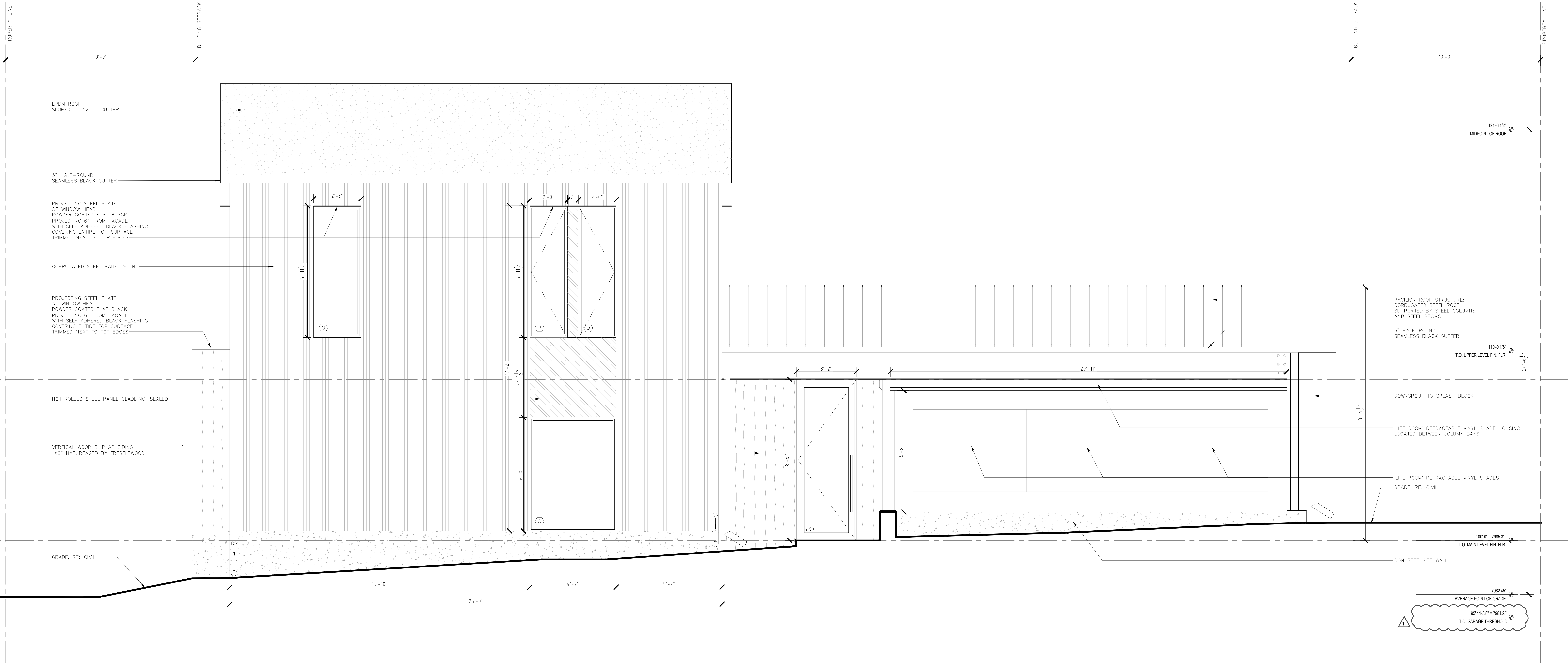
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ROOF PLAN

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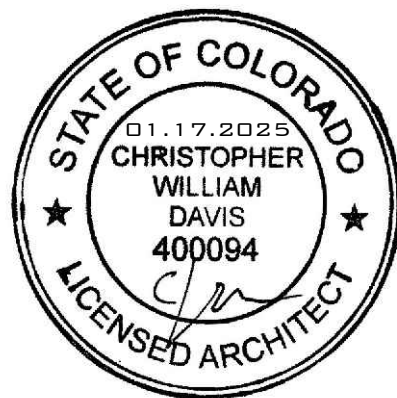
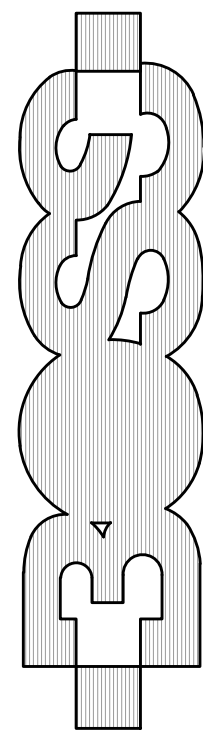


ELEVATION MATERIALS

- CORRUGATED STEEL PANELS
- 1X6 WOOD SIDING
- STEEL PANELS, PAINTED TO MATCH WINDOW FRAMES
- CAST-IN-PLACE CONCRETE

ELEVATION NOTES

- DS SYMBOL INDICATES LOCATION OF DOWNSPOUTS FROM PREFINISHED, SEAMLESS, HALF-ROUND GUTTERS. DOWNSPOUTS SHALL TERMINATE AT EITHER INLET PIPE OR SPLASH BLOCK.
 - ALL GUTTERS SHALL BE SEAMLESS.
 - GUTTERS SHALL BE PROFILE SHOWN IN SECTIONS.
 - REFER TO CIVIL DRAWINGS FOR PIPE ROUTING.
- COORDINATE ALL VENT PIPE / FLUE / AND OTHER ROOF PENETRATIONS w/ ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- VERIFY ALL DIMENSIONS IN FIELD.
- SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.
- COORDINATE MOUNTING HEIGHTS FOR ALL EXTERIOR SCONCES AND SUSPENSION HEIGHTS FOR ALL SUSPENDED LIGHT FIXTURES.

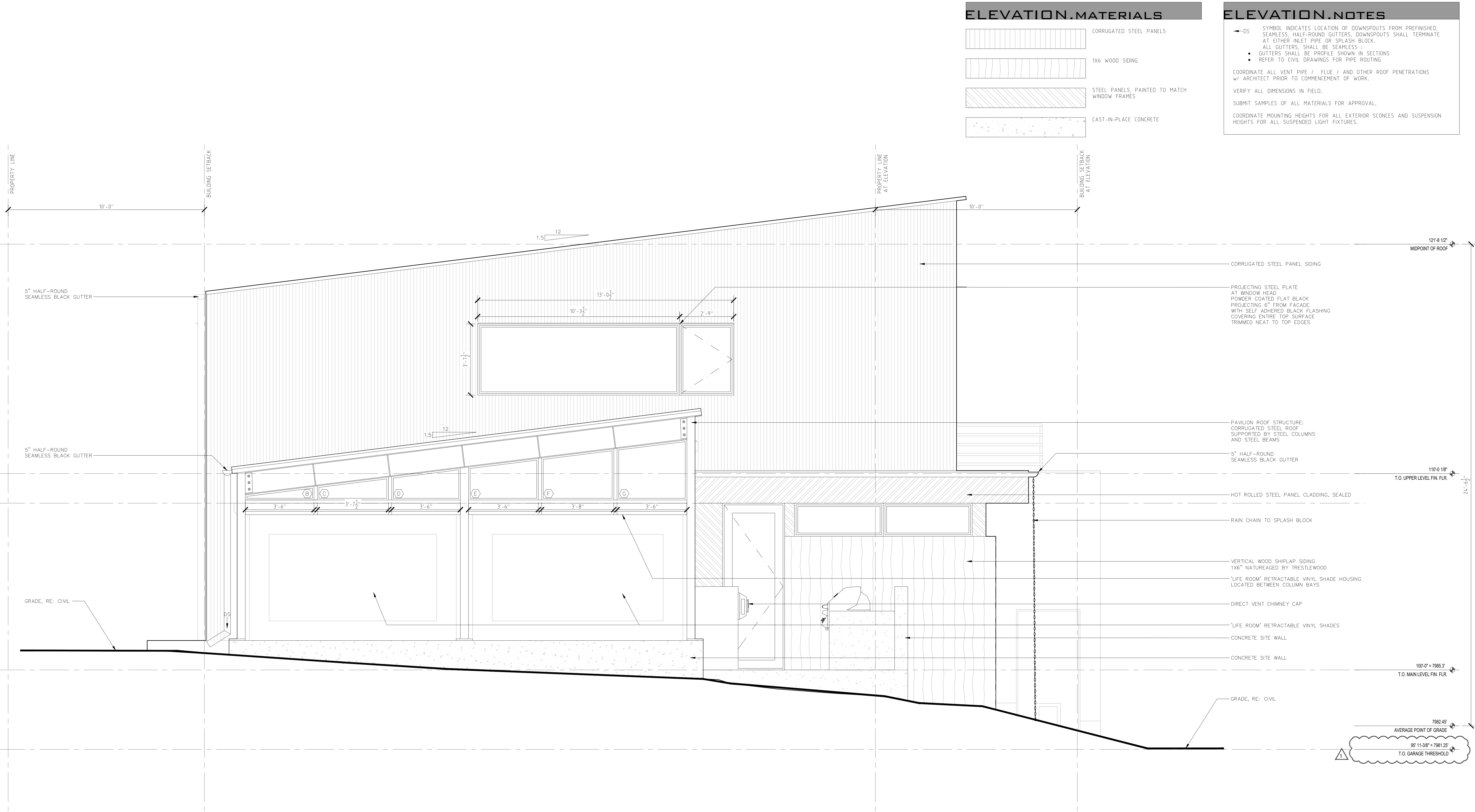


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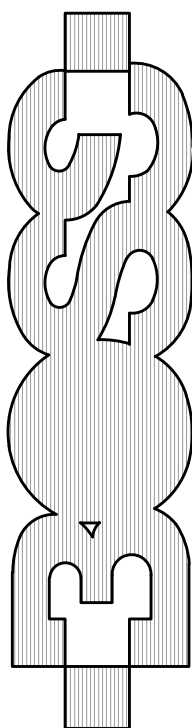
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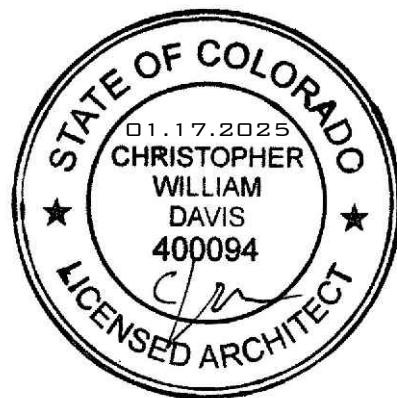
EXTERIOR ELEVATIONS



1 SOUTH ELEVATION
1/2" = 1'



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OWNERS:
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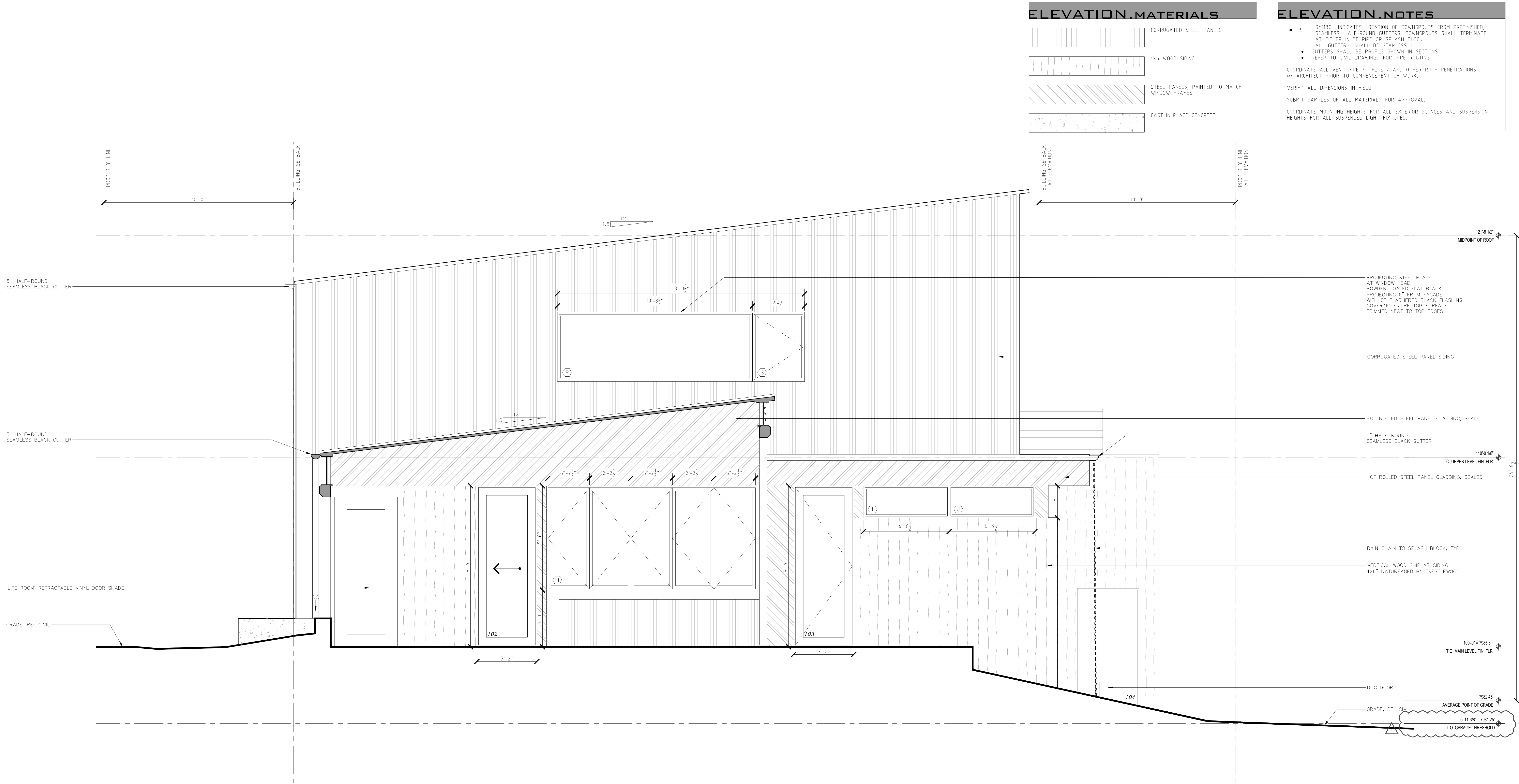
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TWO-ELK

EXTERIOR ELEVATIONS



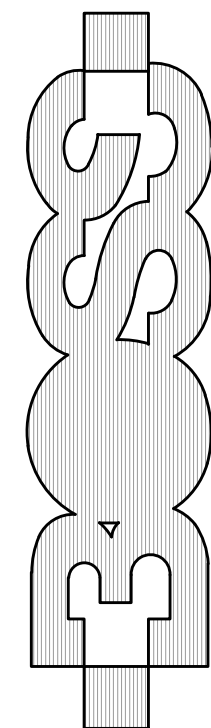
1 SOUTH ELEVATION
1/2" : 1'

ELEVATION MATERIALS

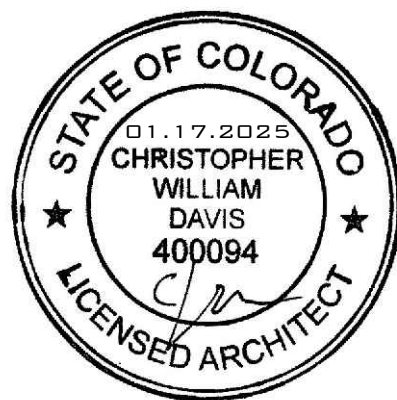
- CORRUGATED STEEL PANELS
- 1X6 WOOD SIDING
- STEEL PANELS, PAINTED TO MATCH WINDOW FRAMES
- CAST-IN-PLACE CONCRETE

ELEVATION NOTES

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KEVIN STEPHENSON

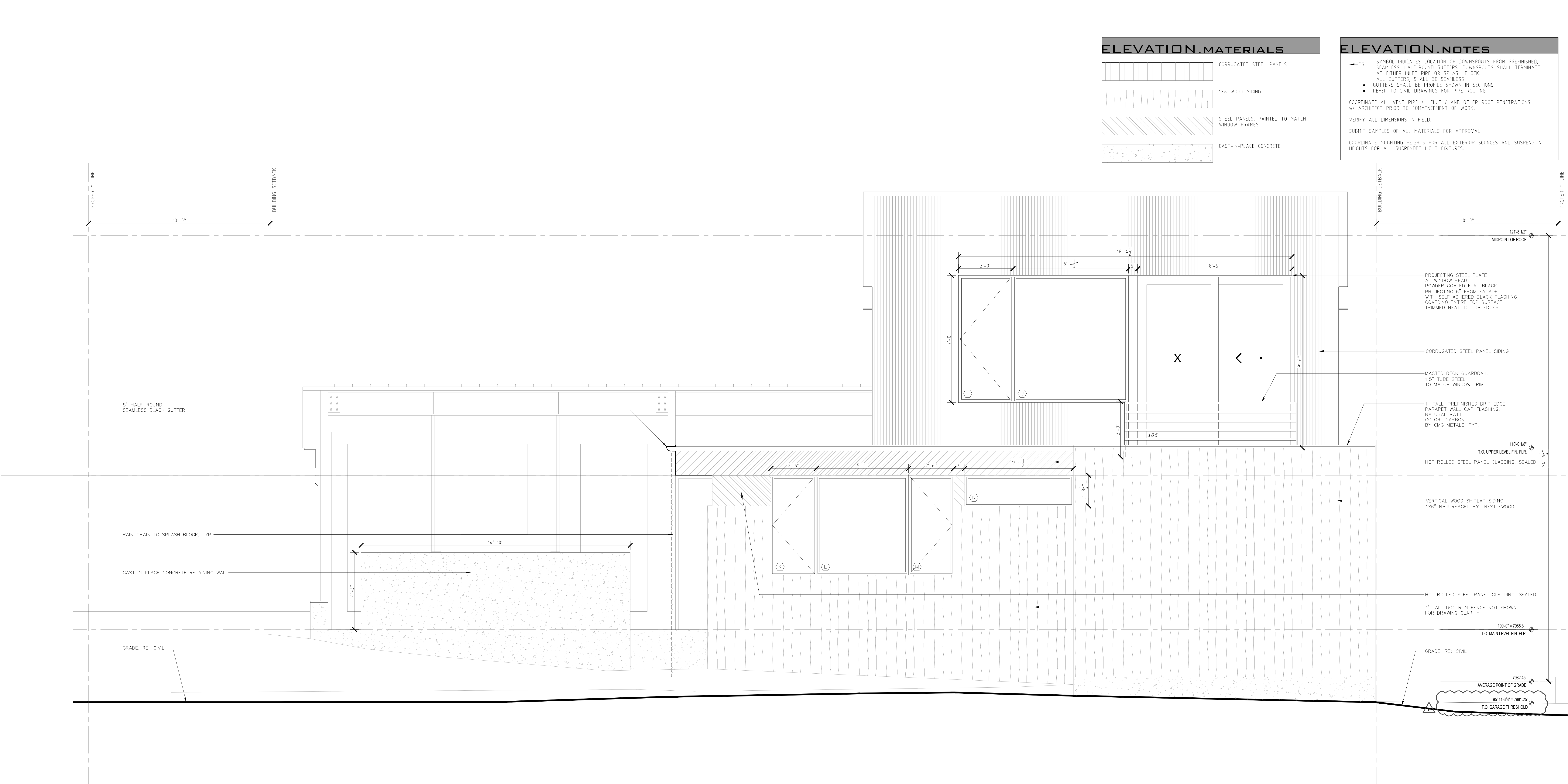


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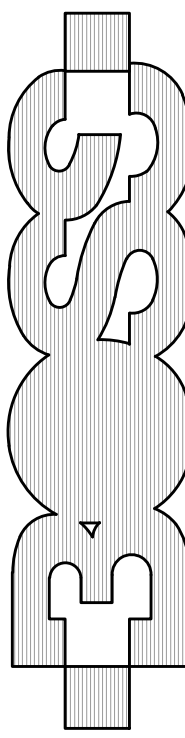
2025 DESIGN REVIEW
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EXTERIOR ELEVATIONS

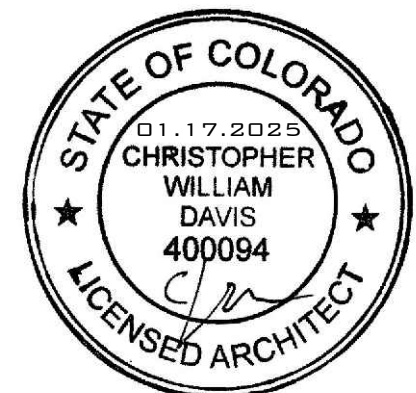
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1 EAST ELEVATION
1/4" = 1'



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OWNERS:
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EXTERIOR ELEVATIONS

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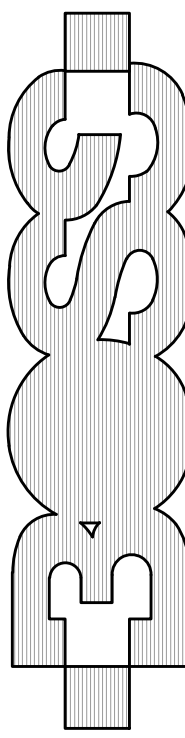
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ELEVATION.MATERIALS

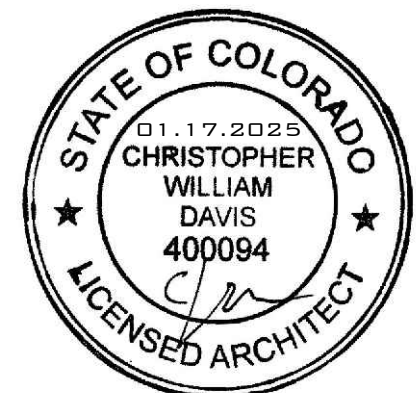
- CORRUGATED STEEL PANELS
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KEVIN STEPHENSON



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EXTERIOR ELEVATIONS

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1 NORTH ELEVATION
1/4" = 1'