R-YALUE PER R402.13 PROVIDED 4 1/2" CLOSED CELL FOAM (R315) + 11" KRAFT FACED BATTS (R30)= R615 2 1/2" CLOSED CELL FOAM (RITS) + 3" BLOWN IN BLANKET (RI2.85)= R3.0.35 4 1/2" CLOSED CELL FOAM (R315)

SLAB LESS THAN R-10 ci 2" RIGID POLYSTYRENE BOARD VERTICAL

**FENESTRATION** U-030 MIN PER INDIVIDUAL WINDOW

GENERAL NOTES:

AND GARAGE WALLS & ROOF.

FROM TOP OF SLAB TO 48" BELOW GRADE MIN.

2. ATTIC SPACES ARE INSULATED AT UNDERSIDE OF ROOF SHEATHING AND ARE UNVENTED. 3. ALL HOT WATER PIPING MUST BE INSULATED WITH MINIMUM R-3 INSULATION (R40352).

4. THREE ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS MUST BE PROVIDED (R4012.5). REFER TO THE LIST BELOW FOR ADDED COMPLIANCE REQUIREMENTS.

5. A PERMANENT CERTIFICATE SHALL BE POSTED WITHIN THE MECHANICAL ROOM (R4013). REFER TO THE LIST BELOW FOR ITEMS REQUIRED ON THE CERTIFICATE.

ADDED ENERGY EFFICIENCY REQUIREMENTS (R4082)

12" BELOW GRADE

1. 40822 MORE EFFICIENT HYAC EQUIPMENT:

2. 40823 REDUCED ENERGY WATER HEATING:

4. 40825 IMPROVED AIR SEALING...

I. GREATER THAN OR EQUAL TO 95 AFUE NATURAL GAS FURNACE AND 16 SEER AIR CONDITIONER. I. GREATER THAN OR EQUAL TO 0.82 EF FOSSIL FUEL SERVICE WATER HEATING SYSTEM. 3. 4082.4 MORE EFFICIENT DUCT THERMAL DISTRIBUTION: 1. 100% OF DUCTS AND AIR HANDLERS LOCATED ENTIRELY WITHIN BUILDING THERMAL ENVELOPE 3. 100% OF DUCT THERMAL DISTRIBUTION SYSTEM LOCATED IN CONDITIONED SPACE PER SECTION 403.3.2 I. THE MEASURED AIR LEAKAGE RATE SHALL BE LESS THAN OR EQUAL TO 3.0 ACH50, WITH EITHER AN

CERTIFICATE LISTING REQUIREMENTS (R401.3):

The predominant R-values of insulation installed in or on ceilings, roofs, walls, foundation components such as slabs, basement walls, crawl space walls and floors and

U-factors of fenestration and the solar heat gain coefficient (SHGC) of fenestration. Where there is more than one value for any component of the building envelope

the certificate shall indicate both the value covering the largest area and the area weighted average value if available.

The results from any required duct system and building envelope air leakage testing performed on the building.

The types, sizes, fuel sources, and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall indicate "gas-fired unvented room heater," "electric furnace" or "baseboard electric heater," as appropriate. An efficiency shall not be indicated for gas-fired unvented room heaters, electric furnaces and electric baseboard heaters.

"Base on situation and the solar heat gain coefficients with and entire that the next domain and the solar heaters. Where on-site photovoltaic panel systems have been installed, the array capacity, inverter efficiency, panel tilt and orientation shall be noted on the certificate.

For buildings where an Energy Rating Index score is determined in accordance with Section R406, the Energy Rating Index score, both with and without any on-site generation, shall be listed on the certificate. The code edition under which the structure was permitted, and the compliance path used

The fuel sources for cooking and clothes drying equipment.

Where combustion equipment is installed, the certificate shall indicate information on the installation of additional electric infrastructure including which equipment and/or appliances include additional electric infrastructure, capacity reserved on the electrical service panel for replacement of each piece of combustion equipment

Where a solar-ready zone is provided, the certificate shall indicate the location, dimensions, and capacity reserved on the electrical service panel.

# BOMBARD RESIDENCE

# 186 MILES END LANE LOT 07, MINTURN NORTH MINTURN, COLORADO

DRB SUBMITTAL SET REVISED DRB SUBMITTAL BUILDING PERMIT SET REVISED PERMIT SET REVISED PERMIT SET #2 OWNER REVISIONS

MAY 17, 2024 JUNE 14, 2024 JULY 8, 2024 **SEPTEMBER 18, 2024** OCTOBER 18, 2024 DECEMBER 23, 2024



# OWNER'S REPRESENTATIVE

RESORT CONCEPTS

PO BOX 5127 EDWARDS, COLORADO 81632 (970) 926-1720

**ARCHITECT** 

EGGERS ARCHITECTURE, INC PO BOX 798

KREMMLING, COLORADO 80459 (970) 409-9790

# STRUCTURAL ENGINEER

SUNDQUIST DESIGN GROUP PO BOX 676

CONIFER, COLORADO 80433 (970) 838-2222

# LANDSCAPE ARCHITECT

TOMINA TOWNSEND PO BOX 3000

EDWARDS, COLORADO 81632

(303) 945-5252

# CIVIL ENGINEER

BOUNDARIES UNLIMITED, INC. 923 COOPER AVENUE, SUITE 201 GLENWOOD SPRINGS, COLORADO 81601

(970) 945-5252

### SURVEYOR

SLAGLE SURVEY SERVICES PO BOX 751

EAGLE, COLORADO 81631

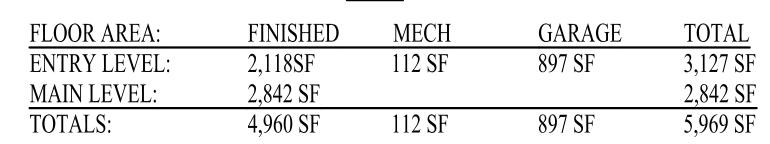
(970) 471-1499

(970) 453-2047

## GEOTECHNICAL ENGINEER

CTL THOMPSON, INC 1790 AIRPORT ROAD, UNIT 2 BRECKENRIDGE, COLORADO 80424

# PROJECT INFORMATION: /13



LOT AREA: 6,882.48 SF

**BUILDING COVERAGE:** 3,347SF 48.63 % 50% ALLOWABLE 4,064 SF 59.05% 60% ALLOWABLE IMPERVIOUS COVERAGE:

#### CODE INFORMATION:

JURISDICTION: TOWN OF MINTURN, COLORADO

CODES:

2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE

+ LOCAL AMENDMENTS

### DRAWING SCHEDULE

COVER

FINAL PLAT MINTURN NORTH P.U.D.

MINTURN NORTH P.U.D. OVERALL GRADING PLAN

SITE GRADING, DRAINAGE & EROSION CONTROL PLAN

CIVIL DETAILS

LANDSCAPE PLANTING PLAN

LANDSCAPE SCHEDULES & DETAILS

A1.1 ENTRY LEVEL PLAN

MAIN LEVEL PLAN

**ROOF PLAN** 

**BUILDING ELEVATIONS** 

**BUILDING ELEVATIONS** 

**BUILDING SECTIONS** 

**BUILDING SECTIONS** 

**DETAILS** 

**DETAILS** 

DOOR/WINDOW SCHEDULE & DETAILS4

ENTRY LEVEL CEILING PLAN

MAIN LEVEL CEILING PLAN

**BUILDING HEIGHT CALCULATIONS** 

STRUCTURAL NOTES & DETAILS

FOUNDATION PLAN

FLOOR FRAMING PLAN

ROOF FRAMING PLAN FOUNDATION DETAILS

FRAMING DETAILS

FRAMING DETAILS

ENTRY LEVEL SCHEMATIC ELECTRICAL PLAN

MAIN LEVEL SCHEMATIC ELECTRICAL PLAN

ROOF SCHEMATIC ELECTRICAL PLAN

PROJECT NO: 2412-22 L07

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION. This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colerado this \( \int \) day \( \sum\_{exc} \) 20 \( \sum\_{exc} \) for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications show hereon, subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easterners dedicated to the public, except a septicifially agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN



TOWN CLERK TOWN OF MINTURN COLORADO

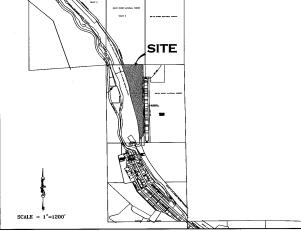
#### LAND USE TABLE

LOT	USE	AREA	ADDRESS
1	SINGLE FAMILY	0.196 Acres	0246 Miles End Lane
2	SINGLE FAMILY	0.189 Acres	0236 Miles End Lane
3	SINGLE FAMILY	0.193 Acres	0226 Miles End Lane
4	SINGLE FAMILY	0.181 Acres	0216 Miles End Lane
5	SINGLE FAMILY	0.191 Acres	0206 Miles End Lane
6	SINGLE FAMILY	0.166 Acres	0196 Miles End Lane
7	SINGLE FAMILY	0.158 Acres	0186 Miles End Lane
8	SINGLE FAMILY	0.166 Acres	0176 Miles End Lane
9	SINGLE FAMILY	0.164 Acres	0166 Miles End Lane
10	SINGLE FAMILY	0.164 Acres	0156 Miles End Lane
11	SINGLE FAMILY	0.164 Acres	0146 Miles End Lane
12	SINGLE FAMILY	0.172 Acres	0136 Miles End Lane
13	SINGLE FAMILY	0.157 Acres	0126 Miles End Lane
14	SINGLE FAMILY	0.176 Acres	0112 Miles End Lane
15	SINGLE FAMILY	0.209 Acres	0096 Miles End Lane
16	SINGLE FAMILY	0.263 Acres	0070 Miles End Lane
17	SINGLE FAMILY	0.189 Acres	0243 Miles End Lane
18	SINGLE FAMILY	0.200 Acres	0221 Miles End Lane
19	SINGLE FAMILY	0.165 Acres	0201 Miles End Lane
20	SINGLE FAMILY	0.164 Acres	0185 Miles End Lane
21	SINGLE FAMILY	0.164 Acres	0171 Miles End Lane
22	SINGLE FAMILY	0.166 Acres	0155 Miles End Lane
23	SINGLE FAMILY	0.174 Acres	0141 Miles End Lane
24	SINGLE FAMILY	0.185 Acres	0125 Miles End Lane
25	SINGLE FAMILY	0.166 Acres	0111 Miles End Lane
26	SINGLE FAMILY	0.202 Acres	0095 Miles End Lane
27	SINGLE FAMILY	0.199 Acres	0083 Miles End Lane
28	SINGLE FAMILY	0.160 Acres	0071 Miles End Lane
29	SINGLE FAMILY	0.159 Acres	0057 Miles End Lane
30	SINGLE FAMILY	0.158 Acres	0043 Miles End Lane
31	SINGLE FAMILY	0.178 Acres	0031 Miles End Lane
32	SINGLE FAMILY	0.177 Acres	0017 Miles End Lane
33	SINGLE FAMILY	0.176 Acres	0003 Miles End Lane
34	SINGLE FAMILY	0.103 Acres	0036 Silver Star Trail
35	SINGLE FAMILY	0.103 Acres	0030 Silver Star Trail
36	SINGLE FAMILY	0.103 Acres	0024 Silver Star Trail
37	SINGLE FAMILY	0.103 Acres	0018 Silver Star Trail
38	SINGLE FAMILY	0.099 Acres	0008 Silver Star Trail
39	SINGLE FAMILY	0.129 Acres	0001 Silver Star Trail
Tract B	OPEN SPACE	2.958 Acres	
Tract C	Town Property	0.904 Acres	0052 Minturn Road (Not of PUD)
Tract D	Right of Way	0.966 Acres	Miles End Lane (North)
Tract D1	Right of Way	0.431 Acres	Miles End Lane (South)
Tract E	Open Space	1.220 Acres	
Tract F	Open Space	0.074 Acres	
Tract G	Right of Way	0.030 Acres	Silver Star Trail
Tract H	Right of Way	0.369 Acres	Fourth Street
то	TAL	13.485 ACRE	S

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

#### FINAL PLAT MINTURN NORTH P.U.D.

Town of Minturn, County of Eagle, State of Colorado



PORTION OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6th P.M.

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

1) The purpose of this Final Plat is to Create various tols with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Mintura Land Use Regulations and Colorado Revised Statutes concerning the subdivision of landin, gate CeV Winft Course and the Northwest Corner Section 26, Township 5 South, Range 8 for monuments marking the subdivision of landing the Revision of Landing the South Course of Landing the South Course of Landing to Landing the Landing to Landing the Landing to Landing the Landing the

TSS RRIW

13S, R81 W.

Hem 11&12-Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern Boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.

Hem 13 - 20 foot Sewer Eassemen, Does not effect this platted Parcel.

Hem 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.

Hem 15 - Does not effect these Platted lands but references vacation of portions of Taylor Addition to the Town of

Mintum.

Item 16 - effects subject parcel as it is an Annexation of property to Town of Mintum recorded in Book 333 at Page 349.

Item 17 & Ite 3. Do not effect subject Parcel.

Item 17 & Ite 3. Do not effect subject Parcel.

Item 19 - Conveyance described in Book 687 at Page 2.68 does not contain any easements not already defined hereon. Item 20 - Does not effect these Patted lands, (a.k.a. subject parcel)

Item 22 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.

Item 23 - Boundary Agreement recorded as Reception No. 200624177, called out as adjoiner hereon.

Item 23 - Boundary Agreement recorded as Reception No. 200624177, called out as adjoiner hereon.

Item 25 & 26 - Parcel is subject to Mapping of Piping and Disches in area of this subject parcel defined in document recorded as Reception No. 201702434 any rights or restrictions and cases to catalon thereof not clear to surveyor from face of documents.

Item 26 - Parcel is subject to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle Item 26 - Parcel is subject to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to the Company of the Control of Company of The Parcel The Agreement No. 1 to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to the Company of the Control of Company of The Company of The Parcel The Agreement No. 1 to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to Eagle extended to 1904 40 force wide easement for right of way from Denver Rio Grand Railroad to 1904 40 force wide easement for right of way from 1904 40 force wide easement for right of way from 1904 40 force wide easement for right

County, the location of which is not determinable from face of document. This Agreement has is to have been Terminate County, the location of which is not determinate from face of occurrent. In an Agree prior to the Recording of this Plat.

5) These platfied lands are subject to:
The Mintum Worth P.U.D. Guide recorded as Reception no. 2024/02232

- The Declayations of Jovenants, Conditions, Restrictions and Easements for Mintum No. 2024/022440

No. <u>DOI-110.72.470</u>.

The non-exclusive Heritage Utility Easement as shown herein on page five (5)- on, over, under, above, across and through those areas designated herein as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Recorderion No. <u>2023</u> 146.

#### PERTAINING TO HEREON CREATED EASEMENTS:

PERLAINING TO HEADUN CREATED ENDAMENTS:

of the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive casements created herein:

a) a non-exclusive utility and drainage casement as shown herein - on, over, under, above, across and through those areas designated hereon as "Utility and Drainage Eastment" AND those areas of each lot outside of Building Envelopes, for areas designated heron as "Unitry and Draing Eastment". Any Diseas careas of each no consisted in Disting Envelopes, the her purpose of 10 her installation, see, pear, replacement, improvement and maintenance of unities of any kind, including but not limited to waterlines and hybrans, somaning sewerines and manifochs, telephone lines, cashe television lines, gasilines electrical lines, fiber optic lines, to design of the community of the community of the community of the community of the ejectron of the community of the improvement of the community of the

improvement and maintenance of states transies includes including out on minical to wastes, gainsts, states, together with right of ingress and eggess thereto.

(b) a non-exclusive Utility Eastment as shown herein - on, over, under, above, across and through those areas edisjanted hereon as "Utility Eastment" for the purpose of the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes,

maintenance of utilities of any kind, including but not limited including the telephone lines, obsteed between the gashness, gashness, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of impress and egress.

O non-exclusive Access, Utility and Drainage, Easement - on, over, under, above, across and through those areas ease have as Fourth Street, Tract D, and Treated and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract DI and Tract G, for the purpose of 10 ingress and Egress, reasonable Pedestrian use including impress and egress of persons including whiche, foot, bicycle or small wheel use in the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, and iii) storm drainage, frainage of vater flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of utilities of only kind, and other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to washes, gutters, ditches, culverts, together with right of ingress and egress thereto

GENERAL NOTES CONTINUED:

d) Tract D. Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access. e) Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq..

FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURNS

7) the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements 7) the owner, hereby dedicates to the Town of Mintum the following non-acclasive eastements: a) non-acclasive Utility, Drainage, Parking, Sows Borage and Landacape Easternet on, over, under, above, across and through those areas designated hereon as "Utility, Drainage, Parking, Snow Storage & Landacape Easterneth for the purpose of it) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egypss, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) he installation, use, repair, replacement, improvement and maintenance of vehicular parking area, together with right of ingress and dense of the process the expensive of presents in the lands which which is for the present them as a proceed to the control of the process of the process of the control of the process of the process of the process of the process of the control of the process of the pro

replacement, improvement and maintenance of vehicular parking area, together with right of ingress and eggess thereds, reasonable Podestrian use including ingress and eggess persona to include whiche, foot, bicycle or non-motorized use, iv) reasonable local snow storage and v) Landscaping use, and maintenance. b) non-exclusive Utility, Drainage, Snow Storage, Landscape and Trial Essement no, over, under, above, across and through those areas designated hereon as "Utility, Drainage, Snow Storage, Landscape and Trial Essement", over, under, above, across and through those areas designated hereon as "Utility, Drainage, Snow Storage, Landscape and Trial Essement", or the purpose of i) he installation, use, prair, replacement, improvement and maintenance of arrival and solong with the installation, use, repair, replacement, improvement and maintenance of arrival repairs and genes to the control of the stallation of the prair, replacement, improvement and maintenance of arrival repairs to the proper storage of the proper storage, in the proper storage of presents to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.

() non-exclusive Utility, Drainage, Snow Storage & Landscape Essement's or the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the installation, use, repair, replacement, improvement and maintenance of utilities of any the purpose of ly the

the purpose in the installation user on a virtual virt

d) non-exclusive Trail Easement on, over, under, above, across and through those areas designated hereon as "Trail Easement" for the purpose of Pedestrian and Trail use including reasonable ingress and egress of

persons to include 100, 100, 100, 100 and 100

#### SURVEYOR'S CERTIFICATE

I Matthew S. Shole, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado, That this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon. and complete part of NTV ONN FORTH TOOL, as and only pasted, used, and as alwam ancount that such plat was made from an accurate survey of said property by me and for under my supervision and accurately shows the location and dimensions of the lote, assuments and rights-of-way of said plat as the same are nonumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS 34998 Professional Land Surveyor

Revised 02-07-24 Edited C.O.D. MSS Revised 12-02-23 Edited Note 6a MSS Revised 11-14-23 minor text MSS Revised 11-07-23 Certain Dimensions MSS Revised 11-06-23 Tract C Easements MSS Revised 11-03-23 Town Comments MSS Revised 10-11-23 Town Comments MSS Revised 10-06-23 Town Comments MSS Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFER YOU FIRST DISCOVERED SLOT DEFECT. IN OU EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN ITS YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC/being sole owner in fee simple, mortgagee or lienholder, of all turtural property situated in the Town of Minturn, Commy of Engles, State of Colorado described

as follows:

Pareel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th, day of December, 2023 as Reception No. 2023 fe485 in the Office of the Engle County Clerk and Recorder, Engle County, Colorado. Containing 13.48 areas more or loss, and has caused the same to be laid out, platted and subdivided, and etsignated as MINTURN NORTH P.U.D. subdivision in the Town of Mintum, County of Engle, State of Colorado, and does bready accept responsibility for the completion of the improvements crequired by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does bereby accept responsibility for the completion of the improvements required by this plat and does bereby accept responsibility for the completion of the improvements are captured by this plat and does bereby decicate and set side the following tracts, parcels and easements as follows:

-To the Town of Mintum Tract If Gourth Streed) and the easements described and depicted hereon in General

Note 7, together with associated public improvements.

-To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC ADDRESS: 225 Main Street, Suite C-101 Edwards, Colorado 81632

BY: RICK HERMES TITLE: MANAGER

STATE OF COLORADO) COUNTY OF BAGLE

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS  $\frac{2}{3}$  DAY OF  $\frac{1}{3}$  DAY OF  $\frac{1$ 

MY COMMISSION EXPIRES: 6 AUG 27 WITNESS MY HAND AND OFFICIAL SEAL

#### SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of Finity Fauley, being ine notated in princissory note secure up decad on this Recorder of Faule (2) on December 2023, at Reception No. 2023 1649), in the Office of the Clerk and Recorder of Fagle County, Colorado, hereby consensts to the Subdivision of the lands set forth in this Final Plat of Mintum North, P.U.D., and subordinates the lieu represented by the aforesaid Deed of Trust to the Dedictations and

STATE OF COLOYZO COUNTY OF EAGL

Subordination by Mortgagee was acknowledged before me this Zb day of

February Hadley as Individual WITNESS MY HAND AND OFFICIAL SEAL MY COMMISSION EXPIRES: WIND SOLUTION AVE. 01, 2025

#### CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of JhluhAY 1 2053, 2008 upon all parcels of real estate described on this Plat are paid in full.

DATED THIS 18+ OF MARL RO681D1

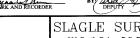
TITLE CERTIFICATE

does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTERS CONTROL OF TENET.

DATED THIS 28 DAY OF CERNALY, A.D., 20 24

CLERK AND RECORDER'S CERTIFICATE \$ 5300

This Plat was filed for record in the Office of the Clerk and Recorder at 12.59 o'clock 14. this 12.02.02.4 CKARK AND RECORDER



#### SLAGLE SURVEY SERVICES

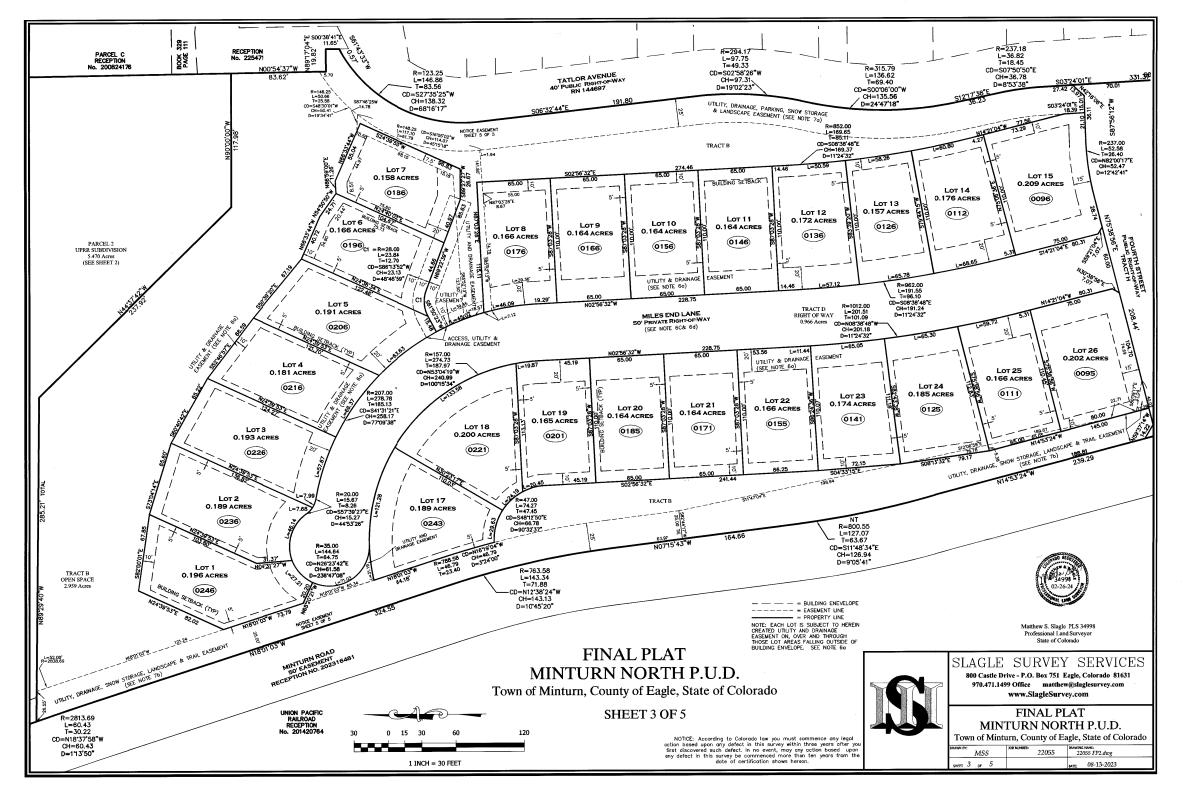
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office matthew@slaglesurvev.com www.SlagleSurvey.com

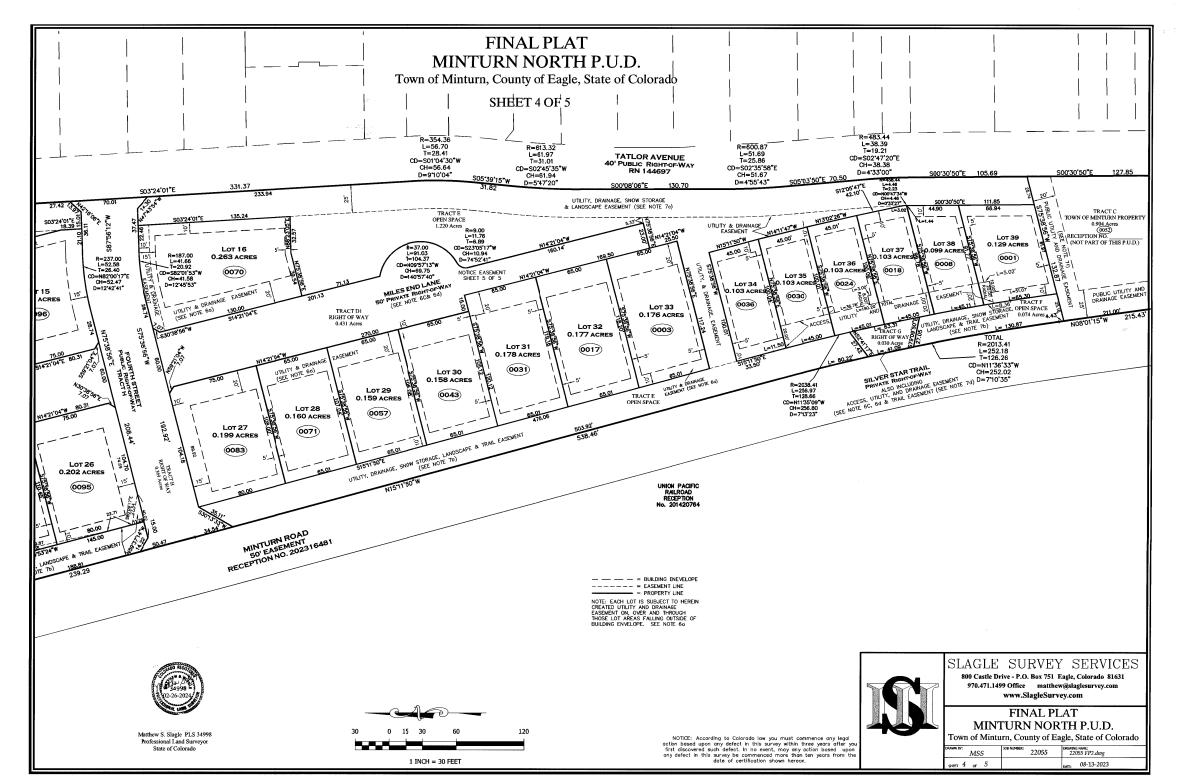
#### FINAL PLAT MINTURN NORTH P.U.D.

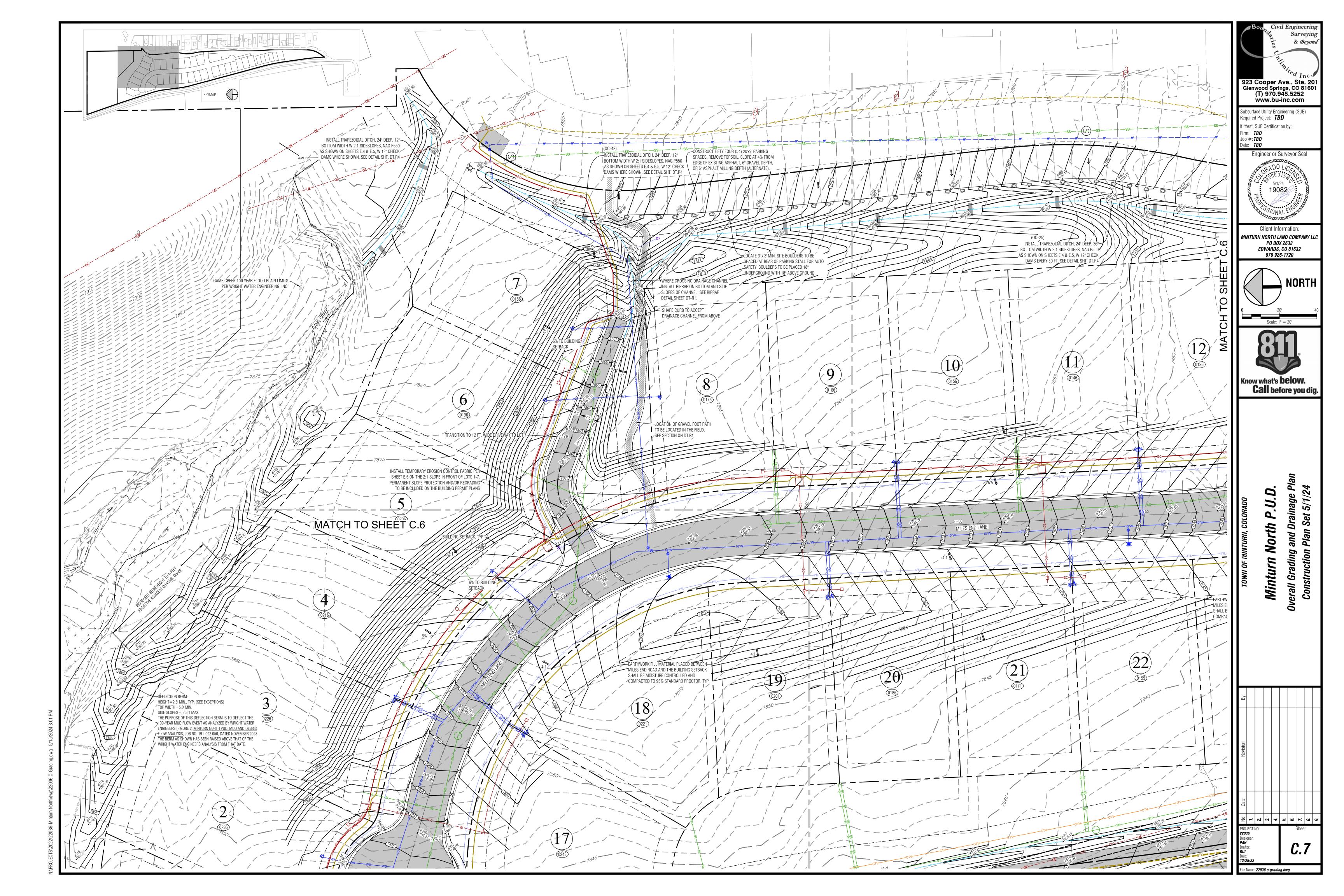
Town of Minturn, County of Eagle, State of Colorado MSS 22055 ANNING NAME: 22055 FP2.dwg

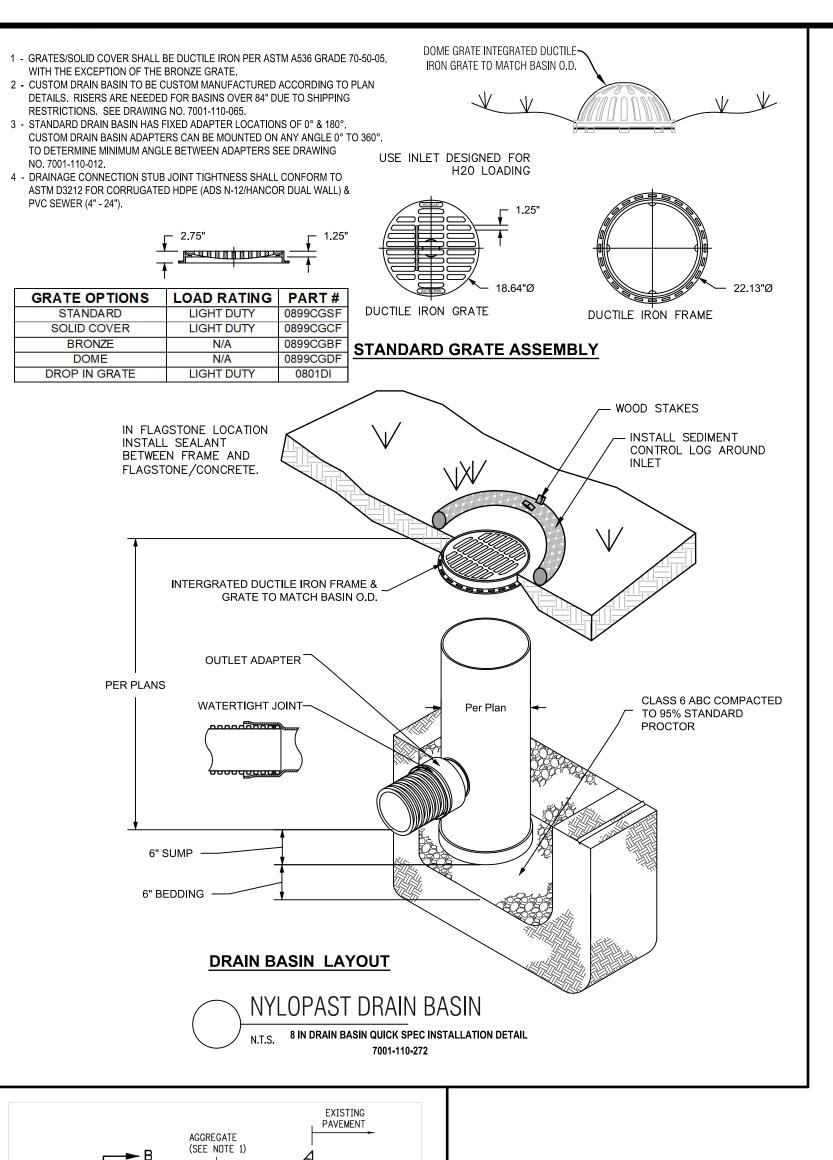
08-13-2023

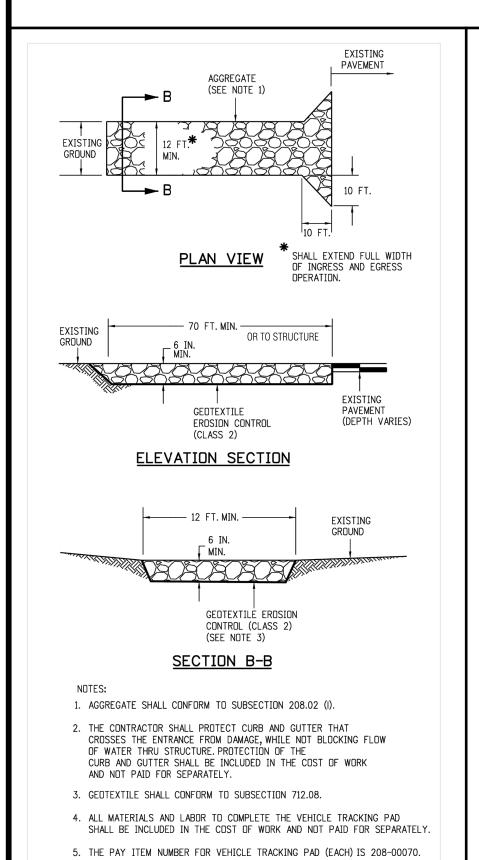
PA



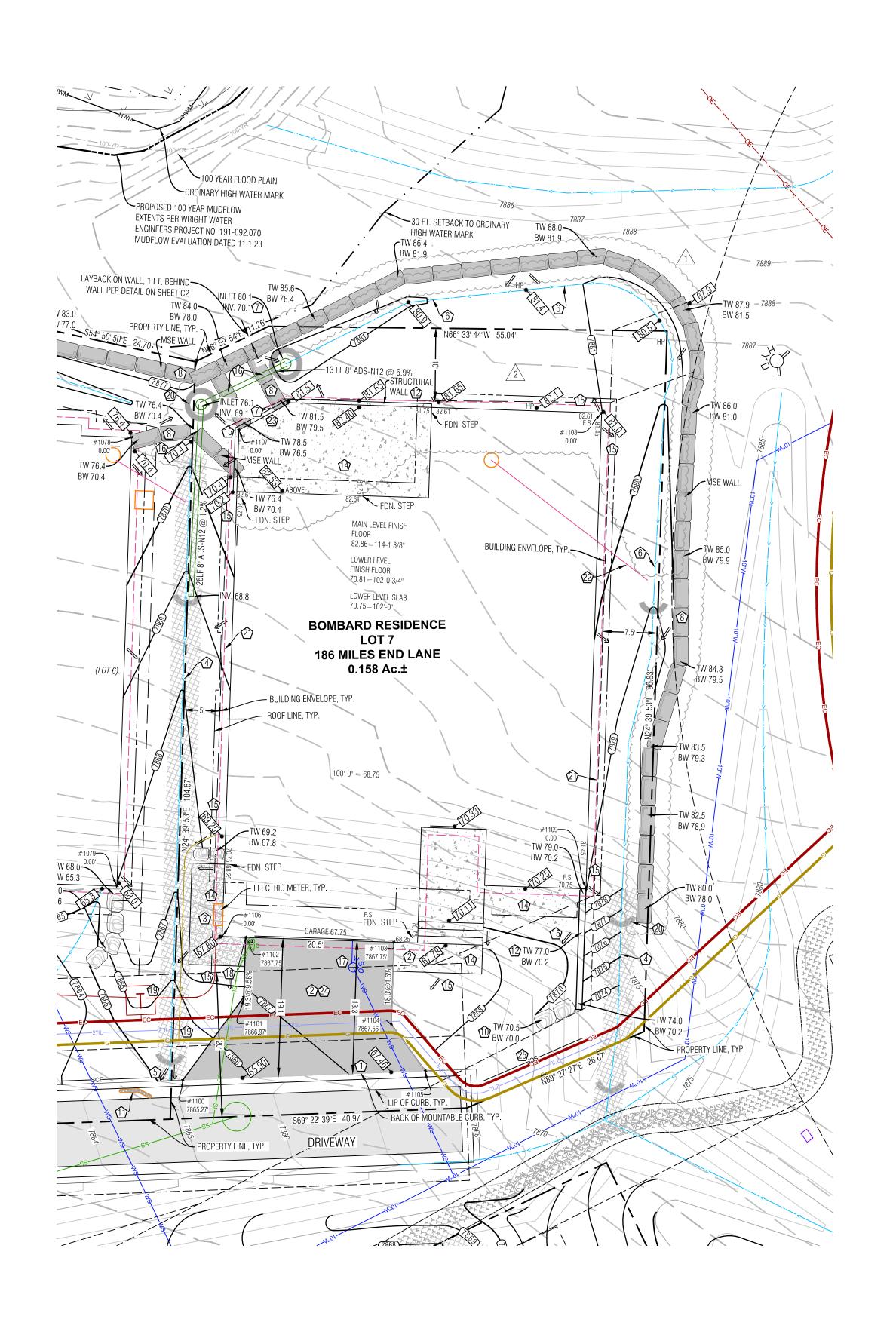


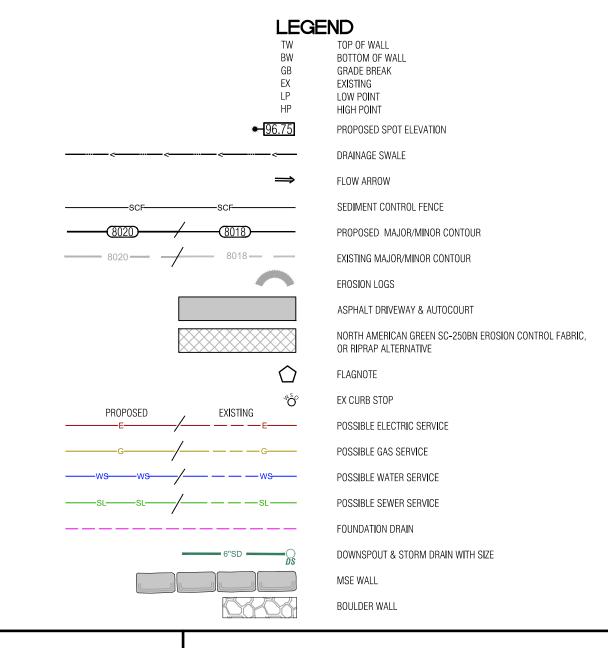






VEHICLE TRACKING PAD





	Po	int Table		
Point #	Desc.	Elev.	North	East
1100	Driveway	7865.27'	4317.88	5538.43
1101	Driveway	7866.97'	4325.20	5550.64
1102	Driveway	7867.75'	4332.69	5554.08
1103	Driveway	7867.75	4324.13	5572.71
1104	Driveway	7867.56'	4313.82	5567.97
1105	Driveway	7867.82	4306.06	5569.82
1106	House Corner	0.00'	4334.05	5551.12
1107	House Corner	0.00'	4397.66	5580.33
1108	House Corner	0.00'	4380.43	5627.44
1109	House Corner	0.00'	4320.68	5600.00

1) BASIS OF ELEVATION: NAVD88 BASED ON THE ORIGINAL TOPOGRAPHIC MAP OF MINTURN NORTH PREPARED BY GORE RANGE SURVEYING, LLC., JOB NO. 19-1203, DATED 4/1/21. NO BENCHMARK WAS NOTED ON THE BASE SURVEY.

2) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE BASED ON THE FINAL PLAT OF MINTURN NORTH PUD, AND SURVEY CONTROL MONUMENTS FOUND AT THE TIME OF THE SURVEY AND SHOWN ON THE SURVEY REFERENCED ABOVE.

3) SEE ADDITIONAL SITE NOTES & DETAILS ON SHEET C2.

4) EXISTING CONTOUR INTERVAL IS 1 FT., PROPOSED CONTOUR INTERVAL IS 1 FT.

5) LOT AREA:  $6.884~\mathrm{SF}\pm$ DISTURBANCE AREA:  $6,884~\mathrm{SF}\pm$ 

6) THIS (CIVIL) PLAN SET IS INTENDED TO BE PLOTTED IN COLOR. FAILURE TO DO SO MAY RESULT IN MISSING DATA & INFORMATION CRITICAL TO THE PROJECT.

#### FLAGNOTES:

MATCH TO BACK OF EXISTING CURB.

(2) PROPOSED ASPHALT DRIVEWAY, AUTO-COURT AND CONCRETE WALKWAYS. STRUCTURAL FILL UNDER THE BUILDING TO FOLLOW THE DIRECTION OF THE GEOTECH REPORT. ALL EARTHWORK CONSTRUCTION TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.

3 PERVIOUS SANDSET PAVERS RE: ARCHITECTURAL

PROVIDE DRAINAGE SWALE AS SHOWN, WITH NORTH AMERICAN GREEN SC250 EROSION FABRIC OR RIPRAP WHERE SLOPE EXCEEDS 5%.

(5) FAN OUT DRAINAGE SWALE TO EVENLY DISSIPATE DRAINAGE, TYP., SPILL THE LOCAL CHANNEL OVER THE TOP OF THE CURB LINE.

6 CREATE DRAINAGE SWALE. LOCATE FLOWLINE AT LEAST 2 FT. HORIZONTALLY AND 8"-12" VERTICALLY LOWER FROM BASE OF WALL. INSTALL NORTH AMERICAN GREEN SC250 EROSION FABRIC WHERE SLOPE EXCEEDS 5%.

(7) INSTALL 8" NYLOPLAST DRAIN BASIN WITH DOME GRATE. SEE DETAIL ON THIS SHEET SHAPE & DRAIN ALL SURROUNDING AREA TO LOW POINT WHICH IS THE INLET. NO DRAINAGE ALLOWED TO RETAINING WALL. INSTALL HEAT TAPE IN BASIN AND OUTLET PIPE.

(8) MSE WALL PER DETAIL ON SHEET C2. WALL DRAIN LINES NOT SHOWN.

(10) INSTALL BOULDER WALL FOR LANDSCAPE AREAS PER THE DETAIL ON SHEET C2. WALL DRAIN LINES NOT SHOWN.

11 INSTALL SILT SOCK WITHIN CURB LINE.

12) STRUCTURAL WALL RE: STRUCTURAL.

14) SLOPE PATIOS, DECKS AND WALKS AT 2% MIN. AWAY FROM THE STRUCTURE.

GRADE AROUND THE PERIMETER OF BUILDING AS NECESSARY 10% FOR 5-FEET MIN. (10 FT. WHERE POSSIBLE) IN UNPAVED AREAS TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION. IT WILL BE IMPORTANT TO CONSTRUCT AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING, WALKS AND WALLS TO EITHER THE AUTOCOURT, THE OUTLET SWALE, OR DOWNWARD SLOPING NATURAL GRADE. VERIFY DRAINAGE AND SWALE INTEGRITY ON A REGULAR BASIS.

76) PROTECT STORM LINES AND UTILITIES WHEN CONSTRUCTING IMPROVEMENTS ABOVE FROM MATERIAL AND EQUIPMENT, TYP.

(17) LOCATE EXISTING CURB STOP, CONFIRM LOCATION AND CONNECTION WITH THE WATER & SANITATION DISTRICT, CONNECT AND EXTEND NEW WATER SERVICE TO MECHANICAL ROOM. WATER SERVICE TO BE 1-1/2" CONTINUOUS COPPER LINE FROM THE CURB STOP TO THE MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS.

(18) APPROXIMATE LOCATION OF SEWER SERVICE STUB. CONNECT AND EXTEND NEW SEWER SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSTALL CLEANOUTS AT HOUSE EXTERIOR AND ALL BEND LOCATIONS.

(19) LOCATE, CONNECT TO, AND EXTEND ELECTRIC, GAS, AND COMMUNICATION SERVICES TO METER CABINET AND GAS METER LOCATION. MAINTAIN COVER & CLEARANCES BETWEEN/OVER NEW SERVICES PER UTILITY REGULATIONS

20 EROSION LOGS PER DETAIL ON SHEET C2.

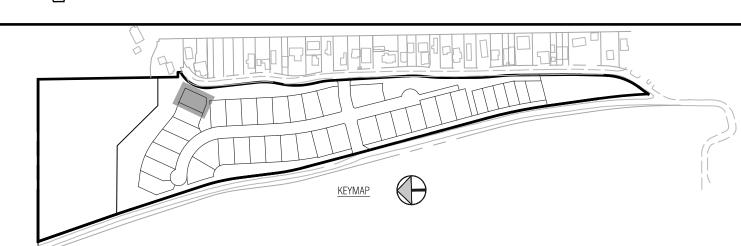
FOUNDATION DRAIN, TYP., INSTALL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. DRAIN @ 0.5% MIN. TO DAYLIGHT, SEE DETAIL ON

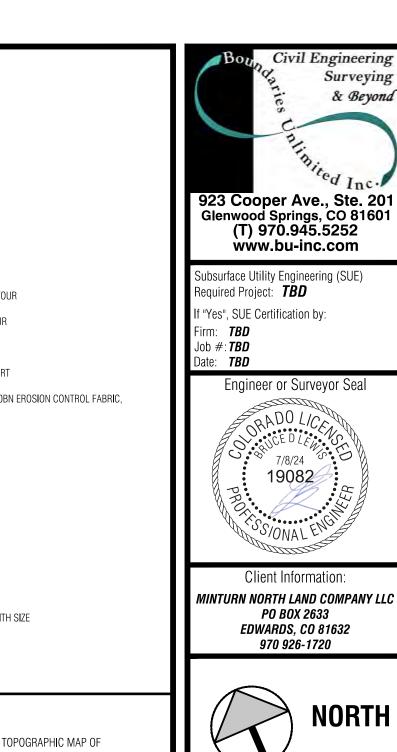
22 EXTEND THE FOUNDATION DRAIN FROM SUMP PUMP IN HOUSE TO DAYLIGHT WITH SOLID PIPE. COVER WITH A RODENT SCREEN AT END.

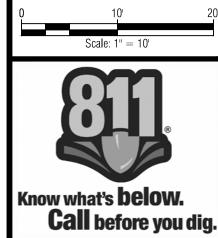
install handrail where necessary, re: architect.

[4] INSTALL VEHICLE TRACKING PAD (DETAIL THIS SHEET) AT LOCATION OF DRIVEWAY. TRACKING PAD TO BE REMOVED PRIOR TO FINAL DRIVEWAY SUBGRADE PREPARATION AND PAVING.

25 SILT FENCE PER DETAIL ON SHEET C2.





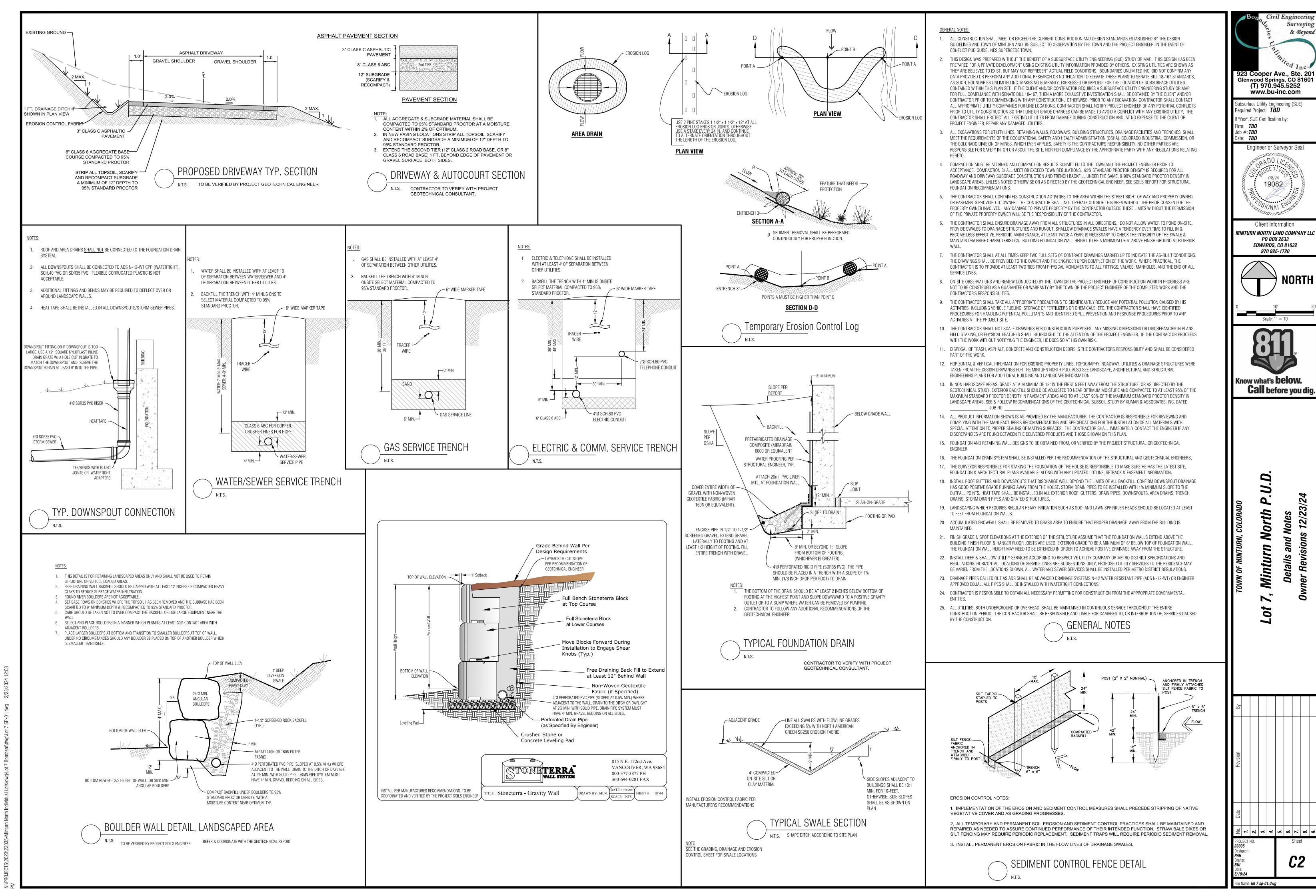


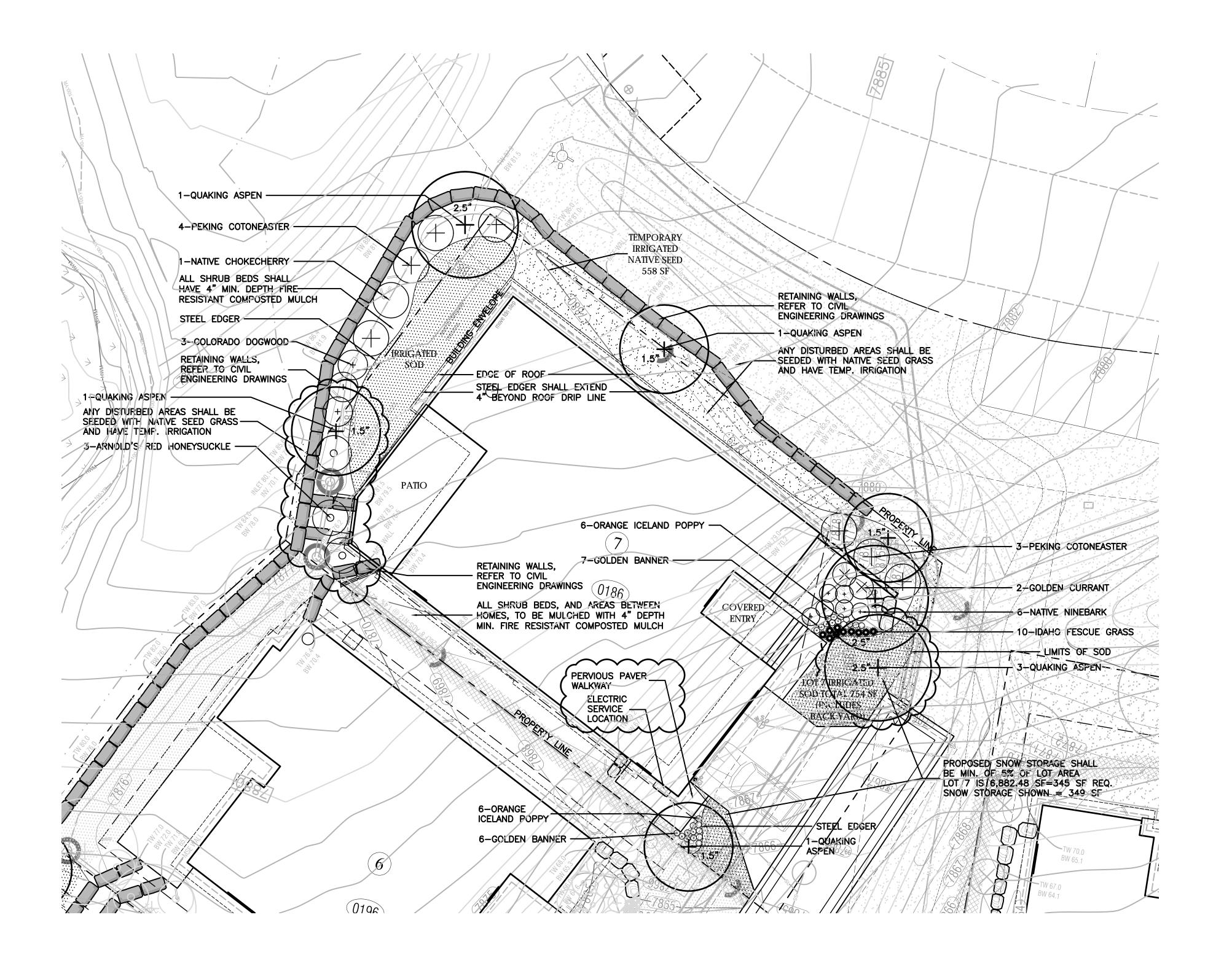
PO BOX 2633

970 926-1720

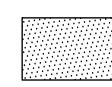
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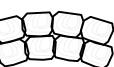
#### LEGEND



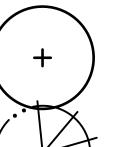
IRRIGATED SOD, REFER TO L2 FOR DETAILS



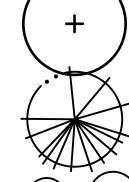
NATIVE SEED MIX WITH TEMPORARY IRRIGATION, REFER TO L2 FOR DETAILS

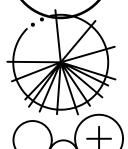


PROPOSED RETAINING WALL, REFER TO CIVIL ENGINEERING FOR DETAILS



PROPOSED DECIDUOUS TREE





PROPOSED EVERGREEN



PROPOSED DECIDUOUS



PROPOSED ORNAMENTAL GRASSES



PROPOSED FLOWERING PERENNIALS



SNOW STORAGE AREA



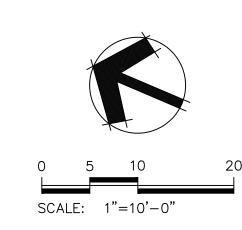
LANDSCAPE ARCHITECT: TOMINA TOWNSEND, LA PO BOX 3000, PMB 301 EDWARDS, CO 81632 P. 303.572.7876 TTownsend@ResortConceptsCO.com

DESIGNED: TT DRAWN: TT CHECKED: RH DATE: May 17, 2024 **REVISIONS:** REVISION BASED ON DRB COMMENTS: 6.14.24

VERIFIED SQUARE FEET OF LOT AREA PERMIT SET: 7.8.24

REVISED PERMIT SET: 9.18.24 ADJUSTED LANDSCAPE FOR NEW WALL

OWNER REVISIONS: 12.23.24



# REVISED PERMIT SET

SHEET TITLE:

PROPOSED LANDSCAPE PLAN

SCALE: 1"=10'-0"

SHEET NUMBER:

## General Notes and Specifications:

- 1. All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
- 2. The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior
- 3. The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
- 4. See Civil Engineering sheets for final grading and drainage.
- 5. Snow Storage area shall be a min. of 25% of all driveway and parking areas.

### Revegetation Notes:

- 1. Seed shall be broadcast and raked to  $\frac{1}{4}$ " depth.
- 2. Apply Biodegradable Green Dyed-Wood Celluose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
- 3. Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete

### Fire Mitigation Recommendations:

- 1. Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
- 2. Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
- 3. Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
- 4. Existing junipers within Zone 1 and Zone 2 must be limbed  $\frac{1}{3}$  of their total height, but no more than 10' height.
- 5. Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
- 6. If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND &	IRRIGATION CALCULATIONS:	
Permanen	t Irrigation	Square Footage of Irrigation
	Permanent Pop—Up Spray Irrigation For Bluegrass Sod	754 SF
999999	Permanent micro—spray or drip irrigation for perennial beds	25 PERENNIALS x 1 SF = 25 SF
+	Permanent Drip Irrigation For B&B Trees	7 TREES x 4.5 SF = 32 SF
+	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	32 SHRUBS x 3 SF = 96 SF
		TOTAL PERMANENT IRRIGATED AREA: 907 SF
	Temporary Spray Irrigation For Native Seed	558 SF

- DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUNDCOVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE.

#### ALL DISTURBED AREAS SHALL BE SEEDED WITH: 'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEVIATE FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	5 10%	5.00
ROCKY MOUNTAIN FESCU	E 10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELT	AIL 2.5%	1.25
STREAMBANK WHEATGRAS	SS 15%	7.50
PRAIRIE JUNEGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN 1 DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632.

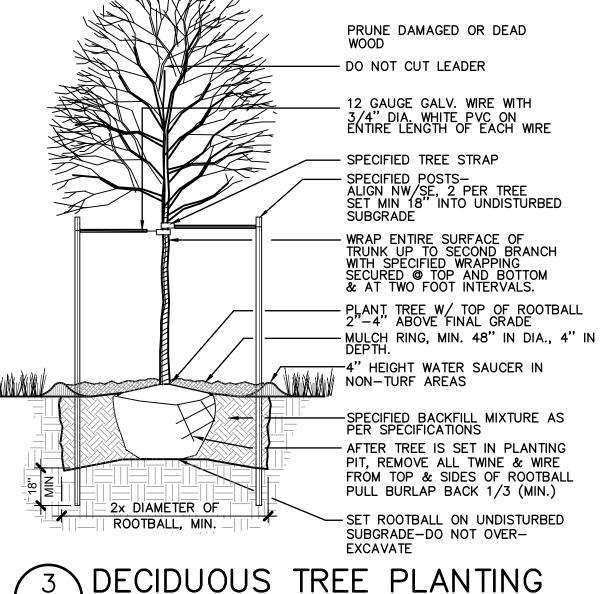
PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

NOTES:

#### **IRRIGATION NOTES:**

- AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
- ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

# DO NOT CUT LEADER - SPECIFIED TREE STRAP NON-TURF AREAS 2x DIAMETER OF EXCAVATE



# SHREDDED CEDAR WOOD MULCH BELOW BUILDING DRIP LINE, 4" TO 6" DEPTH. SET FLUSH WITH FINISH GRADE. PROVIDE SAMPLE. MULCH ARMORED DRIP LINE NOT TO SCALE

DIMENSION

VARIES

(RE: PLAN)

[MIN.] OVERHANG

SHRUBS IN WOOD CHIP OR COBBLE MULCH,

PERENNIALS, NATIVE SEED, OR WILDFLOWER SOD

(REFER TO LANDSCAPE PLAN)

#### PROPOSED PLANT MATERIALS LIST

Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension. Fire Wise Plant Materials 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes Fact Sheet No. 7.422

QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
	DECIDUOUS TREES			
4	Quaking Aspen Populus tremuloides	1 & 2	1.5" cal.	Specimen quality B&B, guyed
3	Quaking Aspen Populus tremuloides	1 & 2	2.5" cal.	Specimen quality B&B, guyed
	ORNAMENTAL GRASSES	<u>(planted @ 12" 0.</u>	C. spacing)	
10	Idaho Fescue Grass, Festuca idahoensi	1 & 2 s 'Siskiyou Blue'	1 gal.	Container Full
	PERENNIAL FLOWERS (p	lanted @ 12" O.C.	spacing)	
12	Orange Iceland Poppy Papaver nudicaule	1 & 2	Flats of 15	
13	Golden Banner Thermopsis divaricarpa	1 & 2	Flats of 15	
	DECIDUOUS SHRUBS			
3	Arnold's Red Honeysuckle Lonicera tatarica 'Arnold		5 gal.	Container, 5 canes minimum 24"—36" ht.
3	Colorado Dogwood Cornus sericea colorader	1 & 2 use	5 gal.	Container, 5 canes minimum 24"—36" ht.
2	Golden Currant Ribes aureum	1 & 2	5 gal.	Container, 5 canes minimum 24"—36" ht.
1	Native Chokecherry Prunus virginiana melanc	1 & 2 ocarpa	5 gal.	Container, 5 canes minimum 24"—36" ht.
6	Native Ninebark Physocarpus monogynus	1 & 2	5 gal.	Container, 5 canes minimum 12"—18" ht.
7	Peking Cotoneaster Cotoneaster lucidus	1 & 2	5 gal.	Container, 5 canes minimum 24"—36" ht.



LANDSCAPE ARCHITECT: TOMINA TOWNSEND, LA PO BOX 3000, PMB 301 EDWARDS, CO 81632 P. 303.572.7876 TTownsend@ResortConceptsCO.com

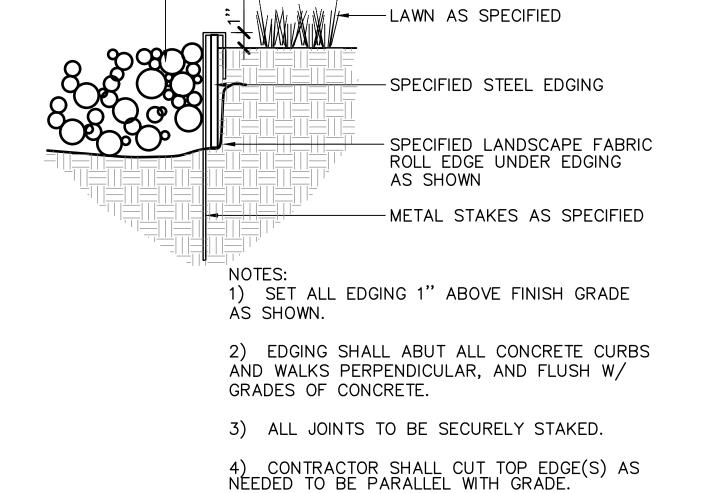
DESIGNED: TT DRAWN: TT CHECKED: RH DATE: May 17, 2024 **REVISIONS:** REVISION BASED ON DRB COMMENTS: 6.14.24 VERIFIED SQUARE FEET OF LOT AREA PERMIT SET: 7.8.24

REVISED PERMIT SET: 9.18.24 ADJUSTED LANDSCAPE FOR NEW WALL OWNER REVISIONS: 12.23.24

**REVISED** 

PERMIT SET SHEET TITLE:

LANDSCAPE NOTES & DETAILS SCALE: NOT TO SCALE SHEET NUMBER:

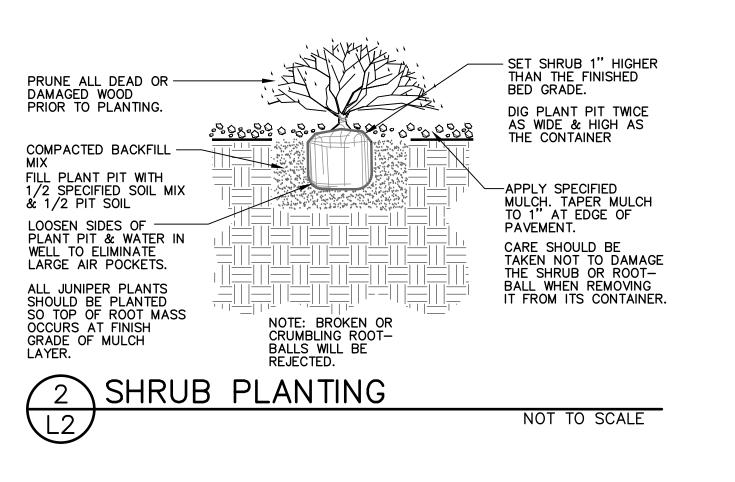


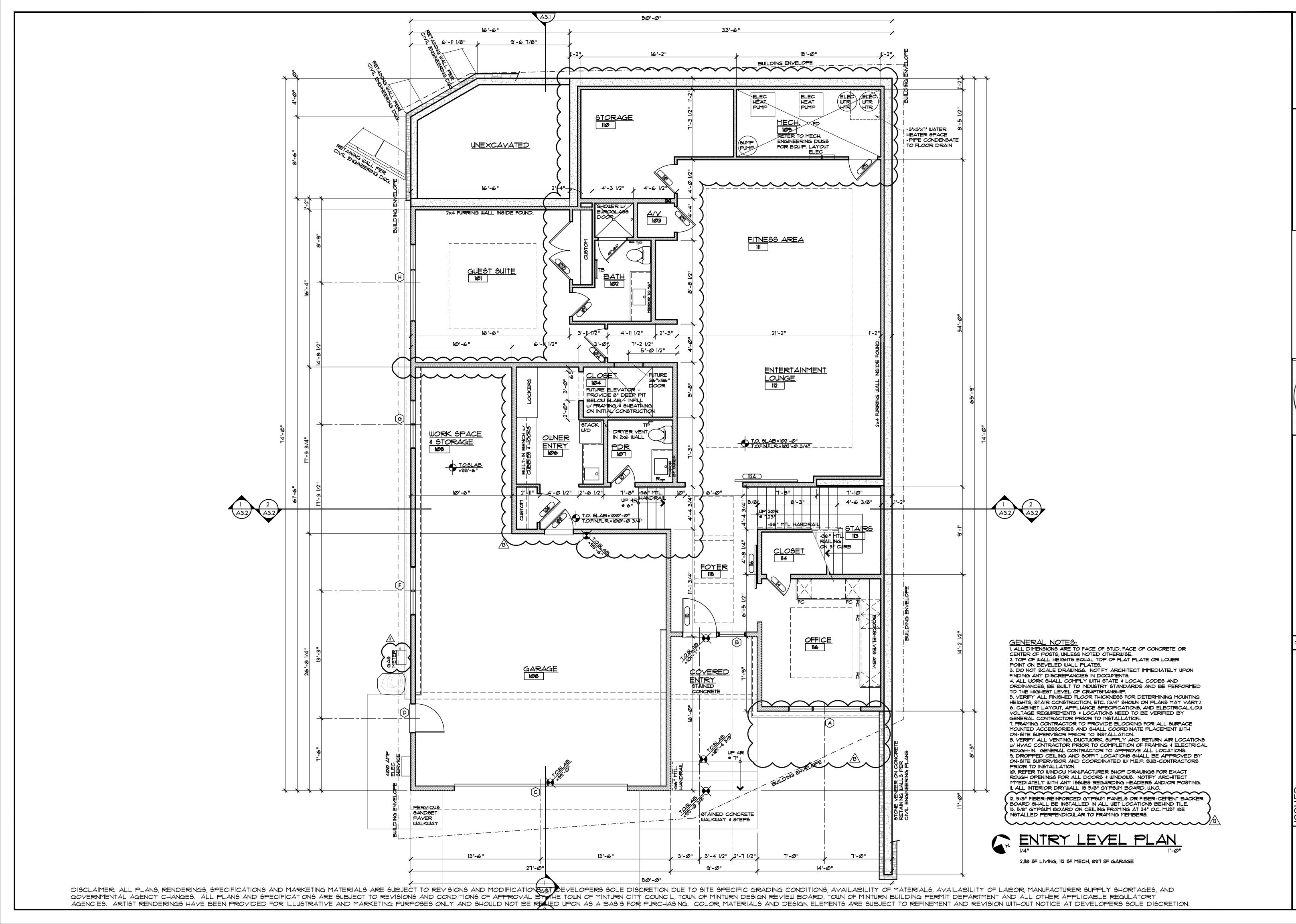
STEEL EDGER

SHRUB BED W/ SPECIFIED

NOT TO SCALE

MULCH DEPTH





RCHITECTURE, INC. O BOX 798 KREMMLING, CO 80459 CELL: (970) 409-9790

ESORT CONCEPTS AR

N STREET, SUITE C-101

POB

(970) 926-1720



BOMBARD
186 MILES END LANE
LOT 07, MINTURN NORTH

DATE BY COMMENTS

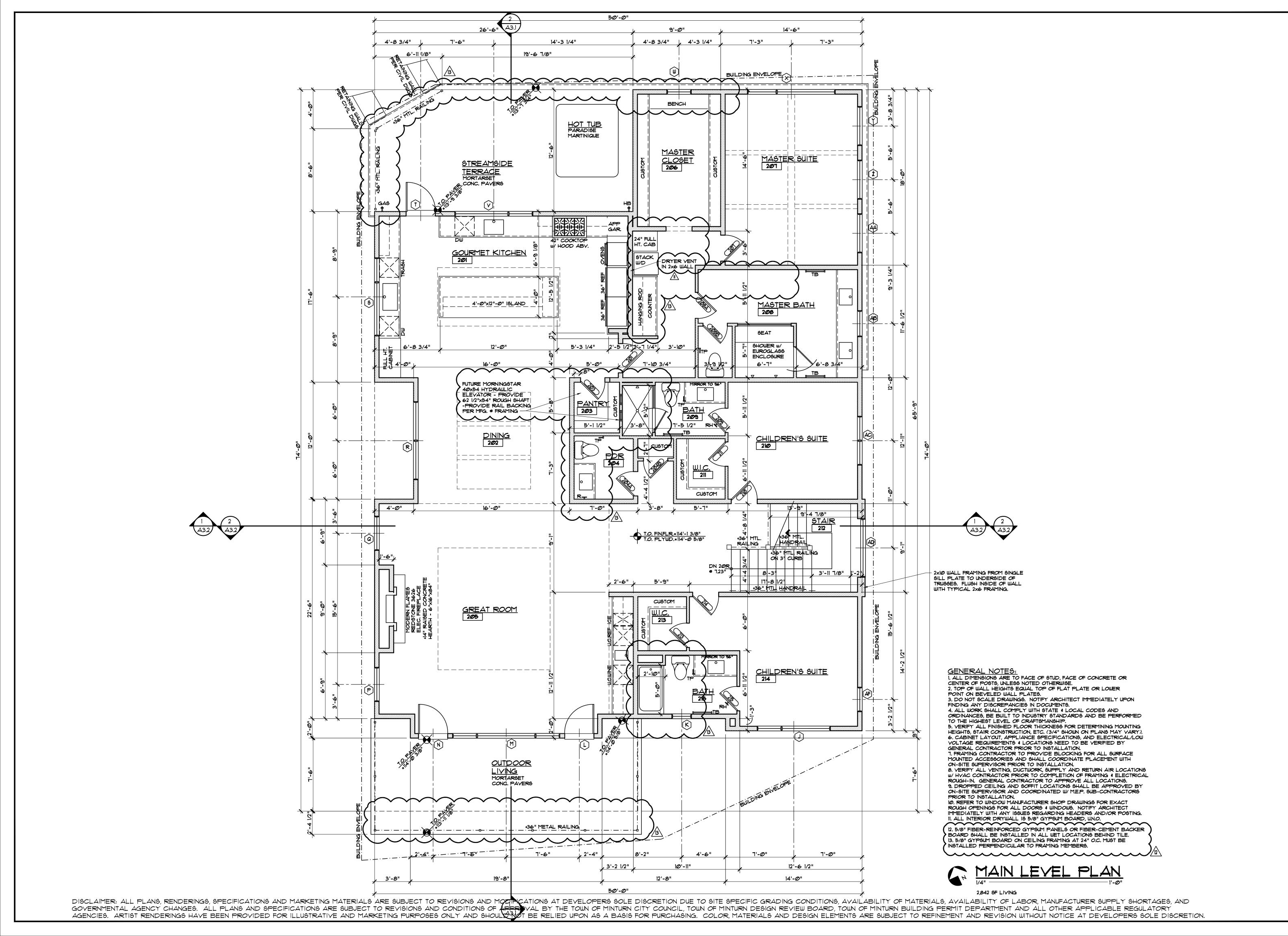
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9-18-24 DWE REVISED PERMIT SET #2

1-8-24 DWE BUILDING PERMIT SET

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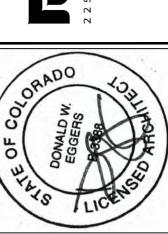
ARCHITECTURE, INC. PO BOX 798 KREMMLING, CO 80459 (970) 724-3411 CELL: (970) 409-9790

RESORT CONCEPTS

MAIN STREET, SUITE C-101

EDWARDS, COLORADO

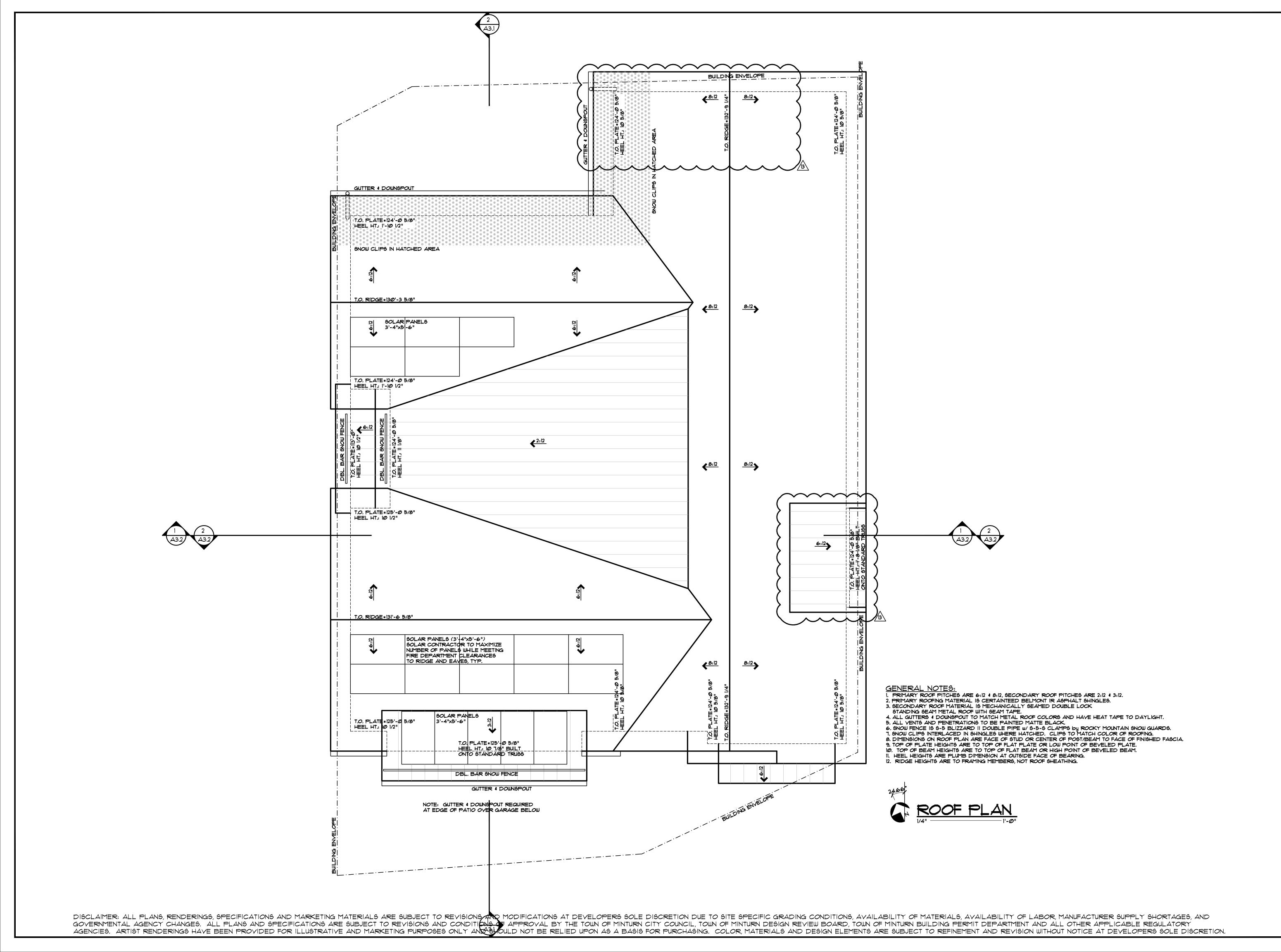
(970) 926-1720



BOMBARD
186 MILES END LANE
LOT 07, MINTURN NORTH
MINTURN, COLORADO

PRC	)JEC	T NO:	2412	2-22	L07
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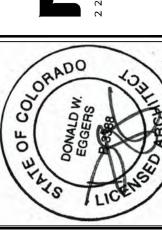
ARCHITECTURE, INC. PO BOX 798 KREMMLING, CO 80459 (970) 724-3411 CELL: (970) 409-9790

RESORT CONCEPTS

5 MAIN STREET, SUITE C-101

EDWARDS, COLORADO

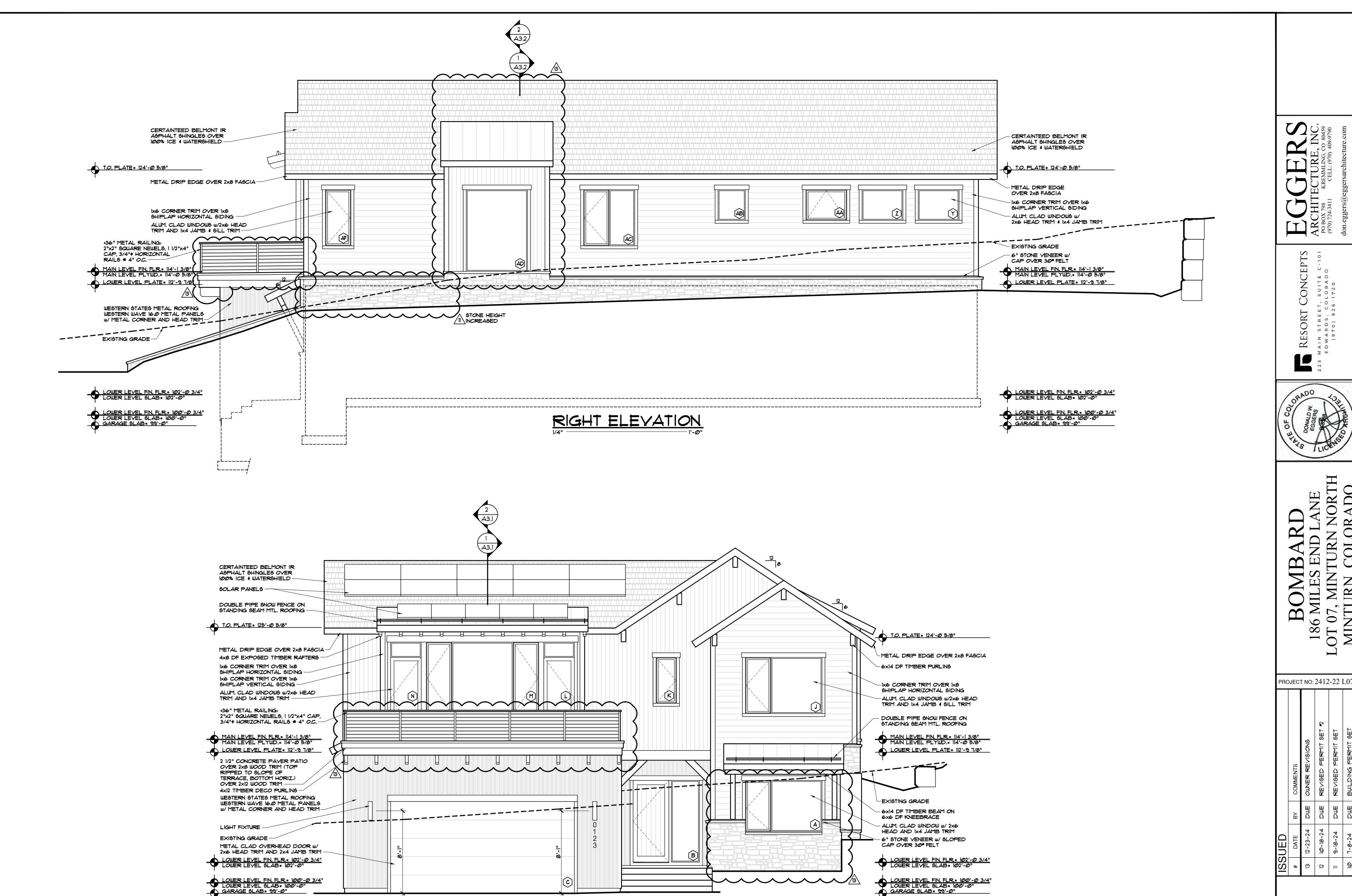
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186 MILES END LANE LOT 07, MINTURN NORT MINTURN, COLORADO

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FRONT ELEVATION

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

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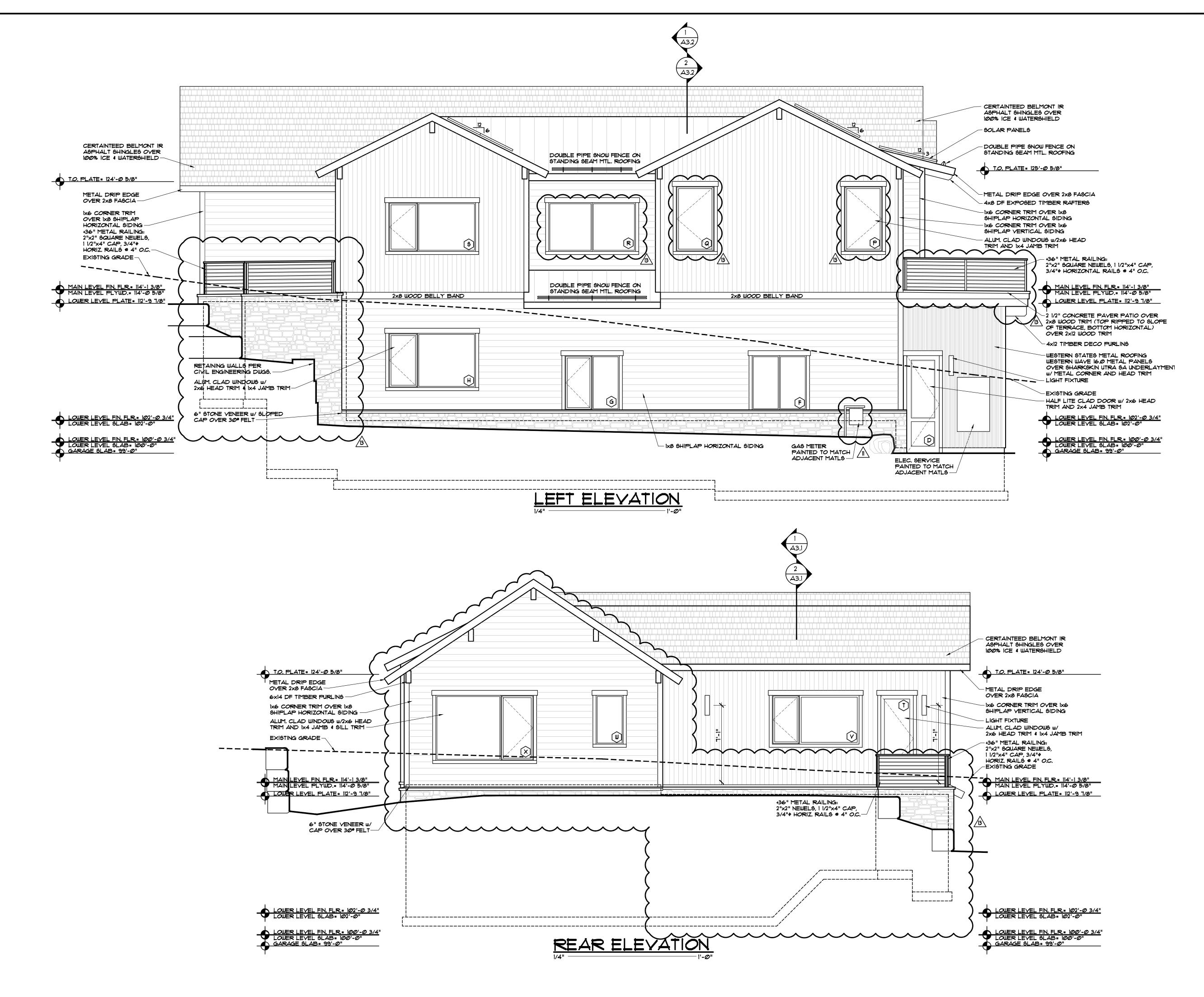


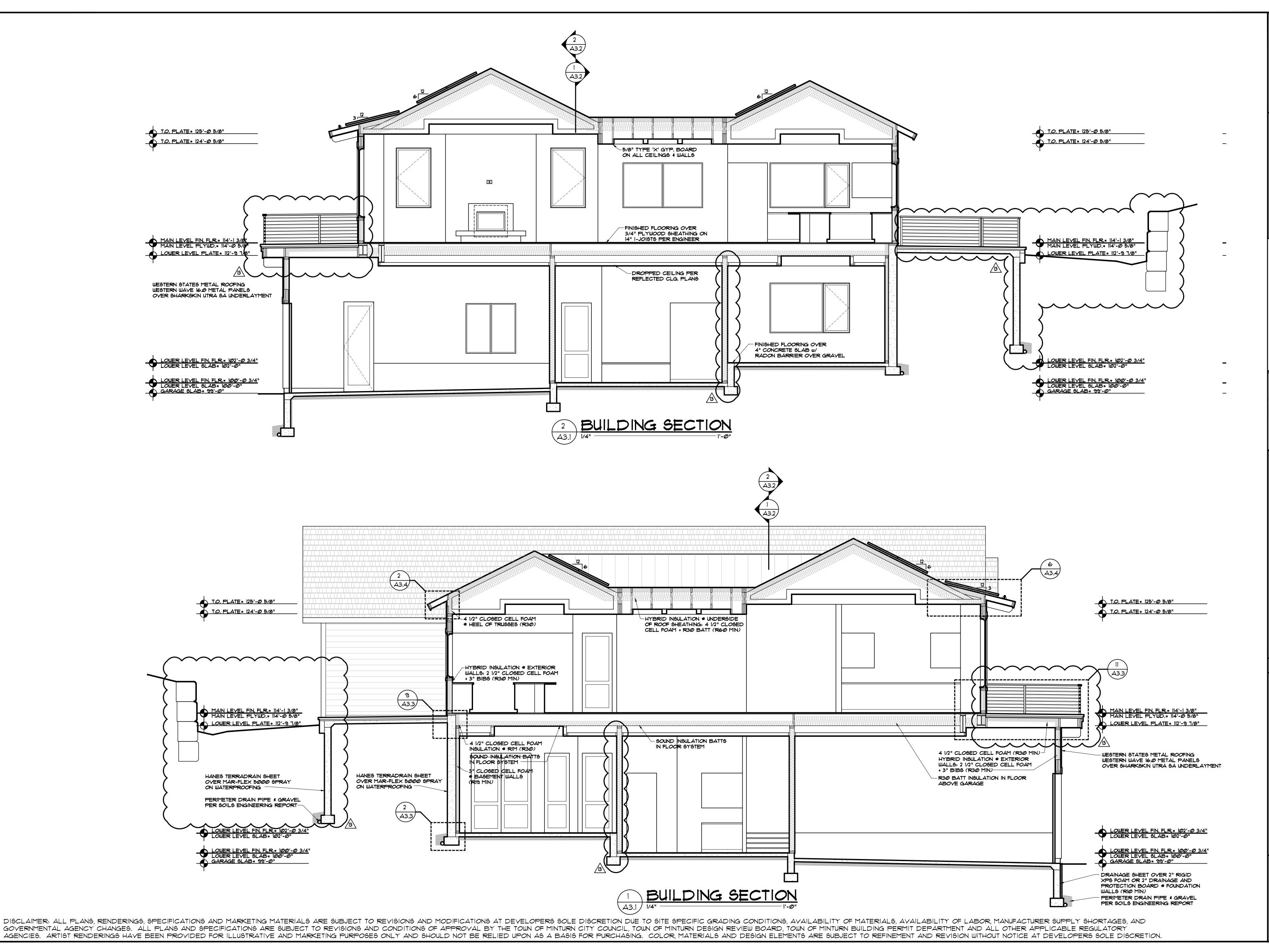
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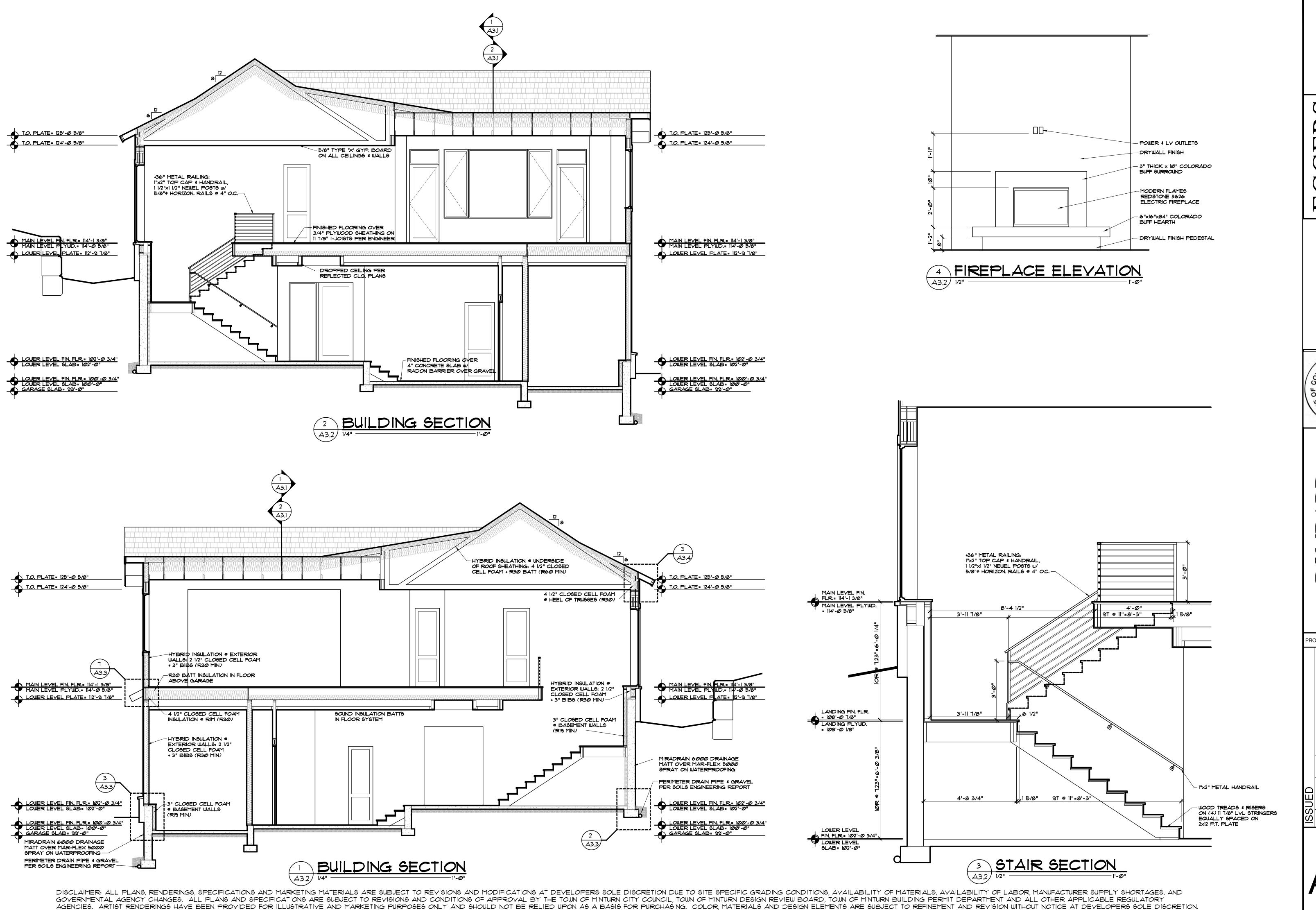
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PROJECT NO: 2412-22 L07

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RESORT



RCHITECTURE, 20 BOX 798 KREMMLING, CO 70) 724-3411 CELL: (970) 40

RESORT CONCEPTS

SE MAIN STREET, SUITE C-101

EDWARDS, COLORADO

(970) 926-1720

SAPATE OF COLOMALD W. BOWALD W. DOWALD W. DOWA

BOMBARD
186 MILES END LANE
LOT 07, MINTURN NORTH
MINTURN, COLORADO

DATE BY COMMENTS

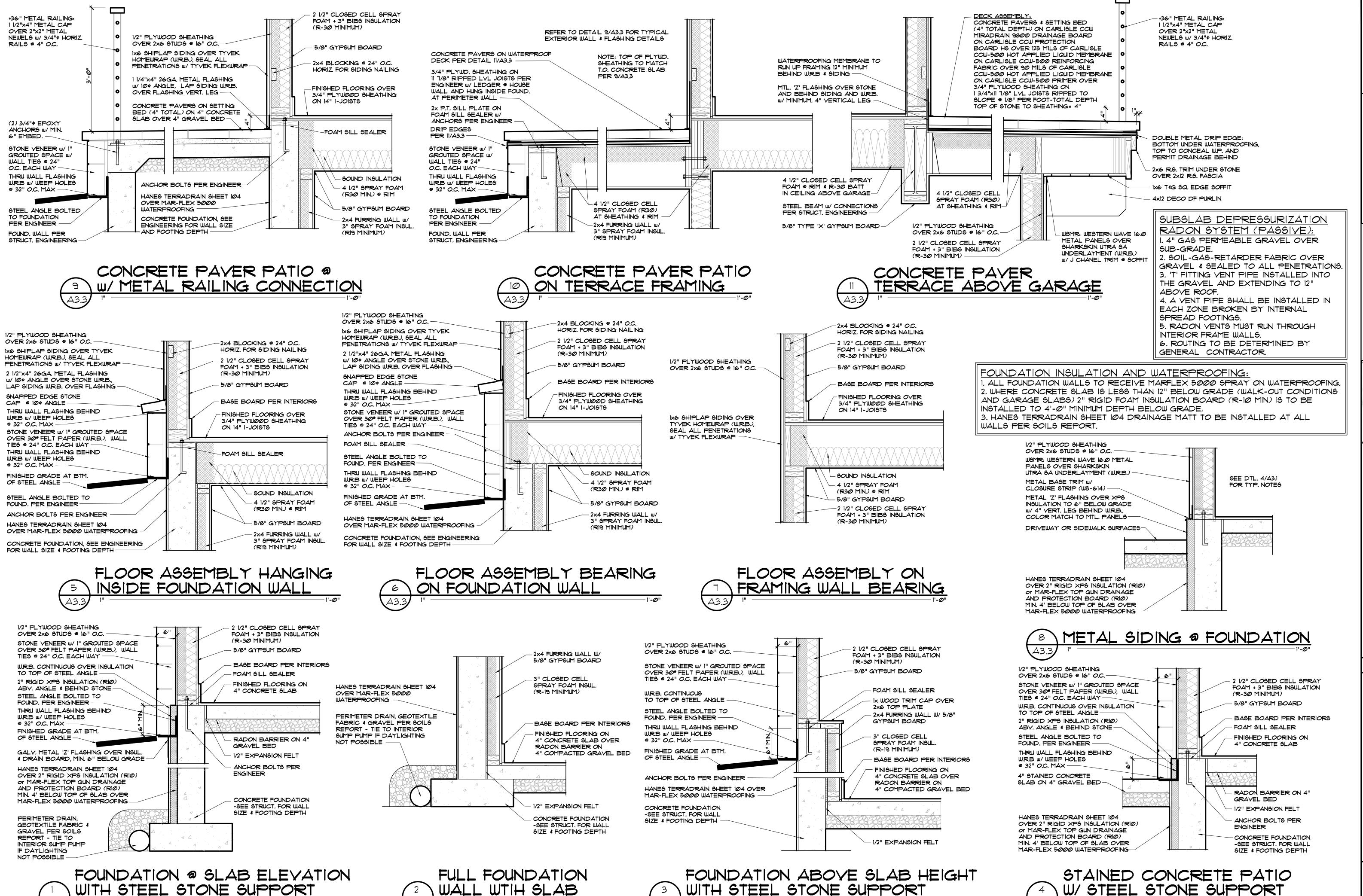
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-8-24 DWE BUILDING PERMIT SET

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CHITECTURE, INC. 80X 798 KREMMLING, CO. 80459

RESORT CONCEPTS

WARDS, COLORADO
(970) 926-1720

BOMBARD
186 MILES END LANE
OT 07, MINTURN NORTH
MINTURN, COLORADO

DATE BY COMMENTS

12-23-24 DWE OWNER REVISIONS

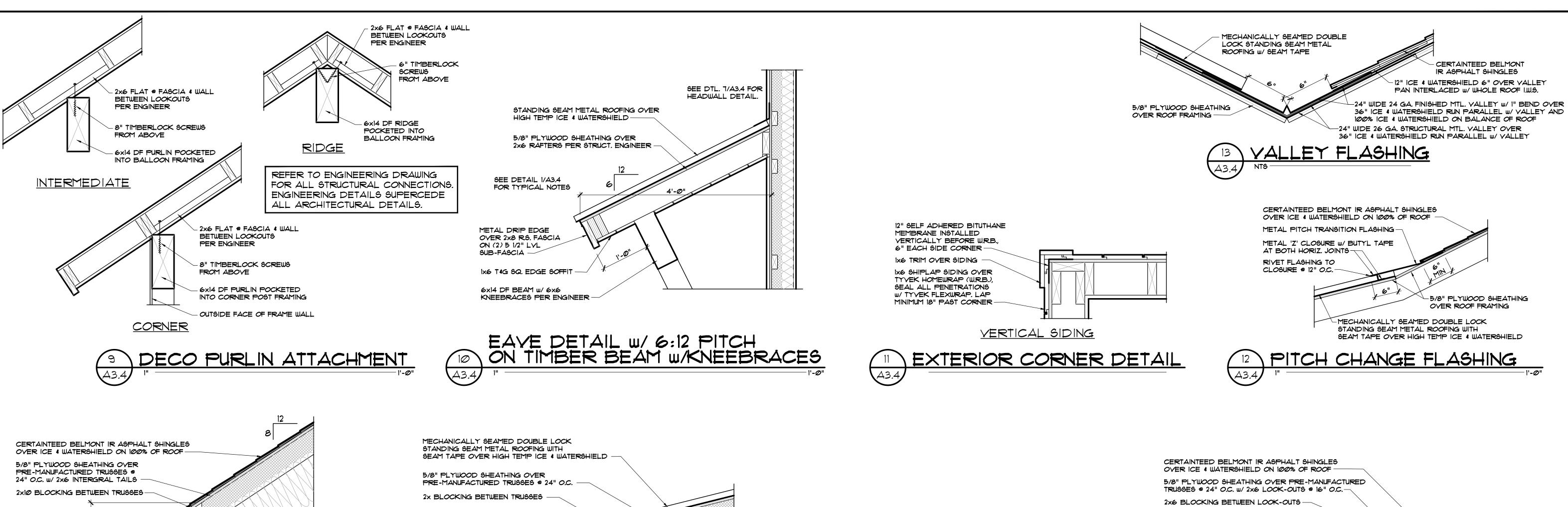
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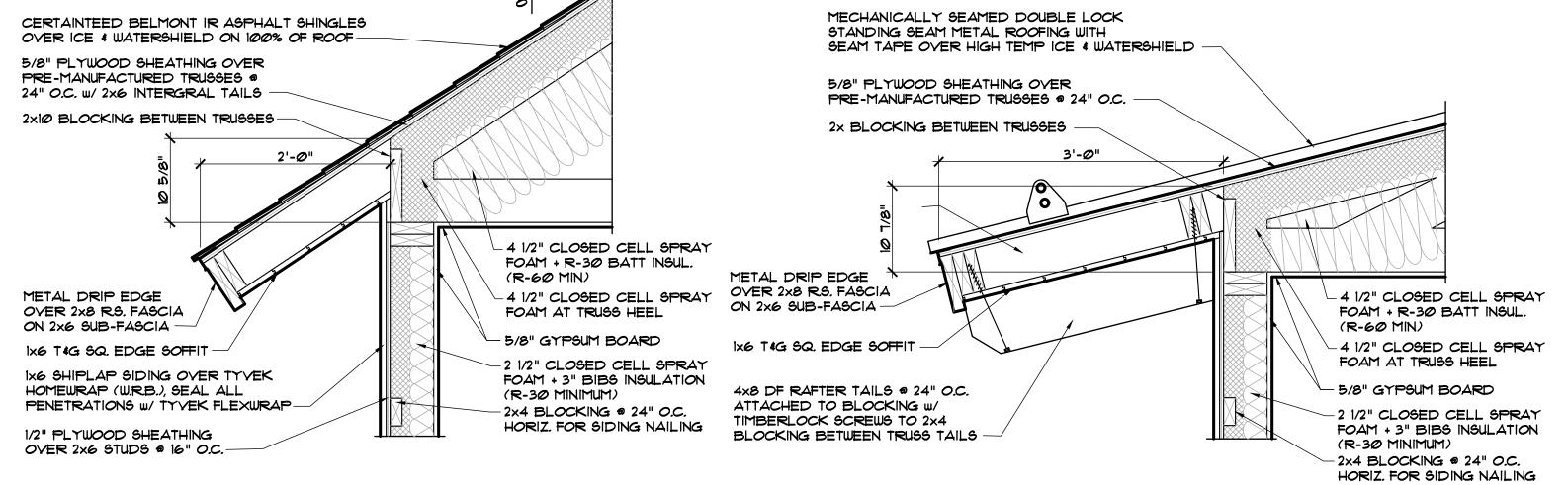
9-18-24 DWE REVISED PERMIT SET #2

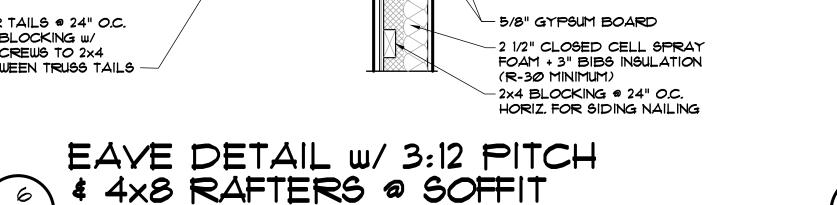
1-8-24 DWE BUILDING PERMIT SET

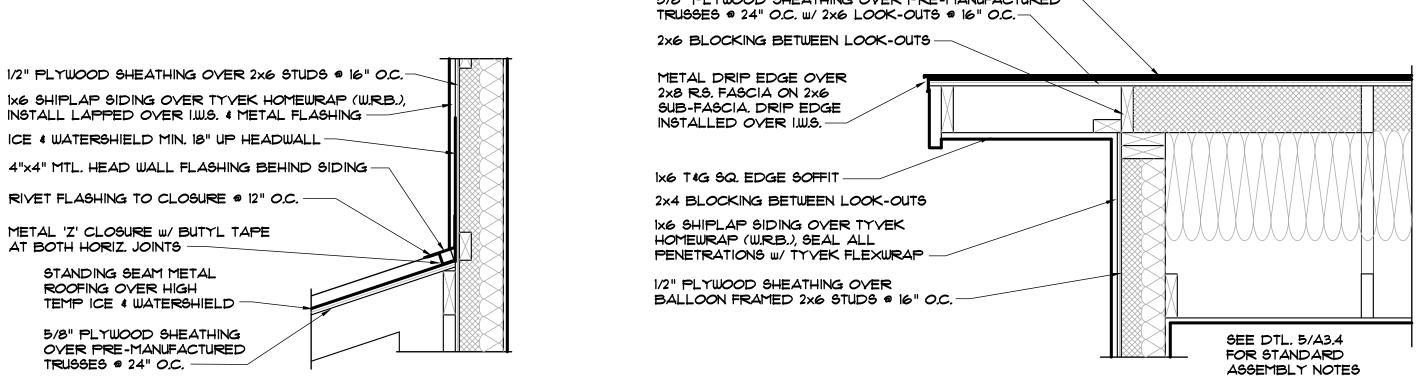
1-8-24 DWE BUILDING PERMIT SET

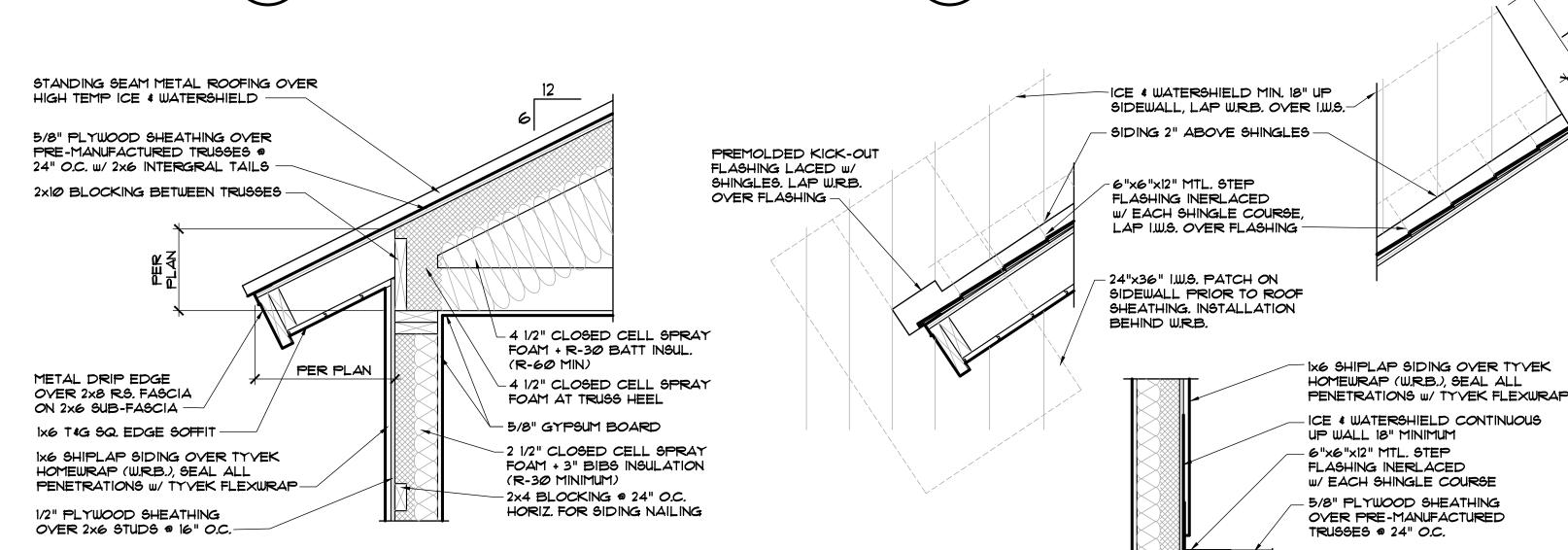
**\3.3** 



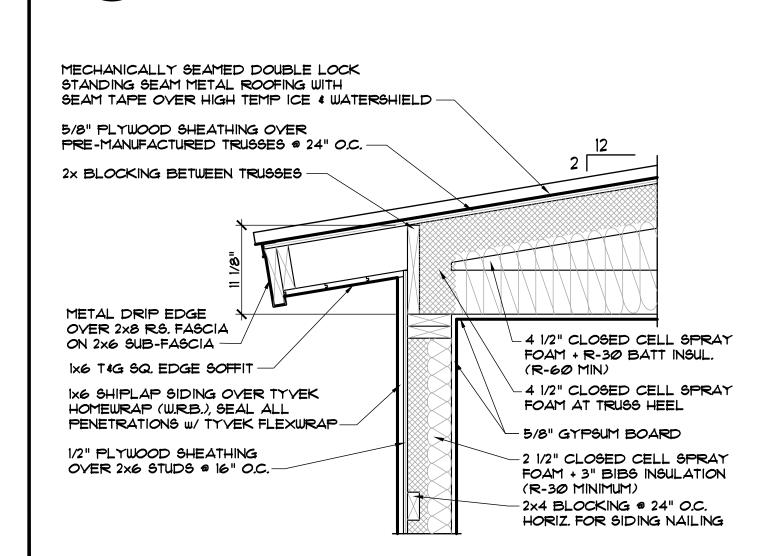








HEAD WALL FLASHINGS



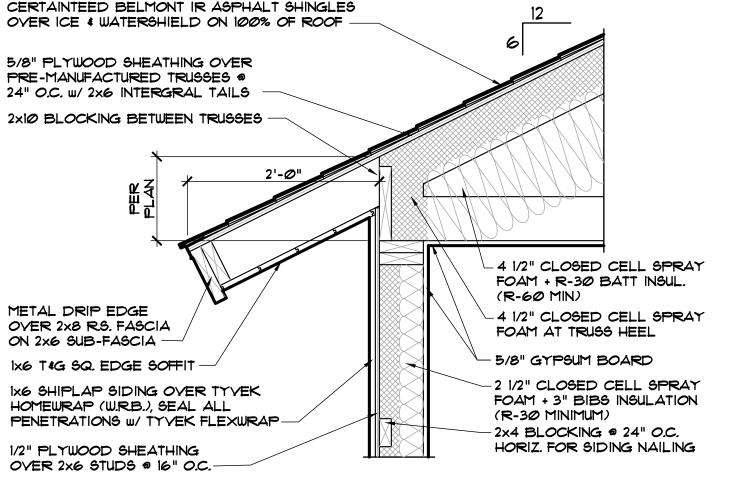
EAVE DETAIL W/ 2:12 PITCH ON

PRE-MANUFACTURED TRUSSES

A3.4

EAVE DETAIL W/ 8:12 PITCH ON

PRE-MANUFACTURED TRUSSES



EAVE DETAIL W/ 6:12 PITCH ON EAVE DETAIL W/ 6:12 PITCH ON PRE-MANUFACTURED TRUSSES PRE-MANUFACTURED TRUSSES

SIDE WALL FLASHINGS

RAKE DETAIL W/ SHINGLES

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PROJECT NO: 2412-22 L0

INSTALLATION REQUIREMENTS & THEIR INSTRUCTIONS.

NOTE: WINDOW AND DOOR INSTALLATION, INCLUDING WATER RESISTANT BARRIER, FLASHINGS,

SEALANTS AND THEIR SEQUENCE SHALL BE COMPLETED PER THE MANUFACTURER'S

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AND

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#### EXTERIOR DOOR & WINDOW SCHEDULE

WINDOW LETTER	WINDOW SIZE	HEAD HEIGHTS	COMMENTS
A	2'-6"x5'-0" CSMT + 5'-0"x5'-0" FIXED MULLED	8'-Ø"	
В	2'-9"x8'-@" FIXED (T)	8'-0"	
С	18'-0"x9'-0" OVERHEAD DOOR	9'-Ø"	METAL CLAD
D	3'-@"x9'-@" HALF LITE CLAD DOOR	9'-Ø"	
F	(2) 2'-6"x5'-@" FIXED MULLED	9'-Ø"	
G	2'-6"x5'-0" C9MT + 2'-6"x5'-0" FIXED MULLED	9'-Ø"	
H	2'-8"x5'-@" C9MT + 5'-4"x5'-@" FIXED MULLED	8'-0"	
J	2'-6"x5'-6" CSMT + 5'-0"x5'-6" FIXED MULLED	8'-0"	
K	2'-@"x4'-6" CSMT (T)	8'-0"	
L	3'-@"x1'-6" FIXED OVER 3'-@"x8'-@" FULL LITE DOOR MULLED (T)	9'-6"	
М	2'-6"x7'-0" CSMT + 6'-0"x7'-0" FIXED + 2'-6"x 7'-0" CMST MULLED	9'-6"	
N	3'-@"xi'-6" FIXED OVER 3'-@"x8'-@" FULL LITE DOOR MULLED (T)	9'-6"	
2	3'-6"x6'-Ø" CSMT	9'-6"	
Q	3'-6"x6'-Ø" C5MT	9'-6"	
R	(2) 4'-@"x4'-6" FIXED MULLED	8'-0"	
S	2'-8"x4'-6" CSMT + 5'-4"x4'-6" FIXED MULLED	8'-0"	
†	3'-0"x8'-0" FULL LITE DOOR	8'-0"	
Y	2'-8"x4'-6" CSMT + 5'-4"x4'-6" FIXED MULLED	8'-0"	
W	2'-6"x4'-6" FIXED	8'-0"	
×	6'-0"x6'-0" FIXED + 3'-0"x6'-0" CSMT MULLED	8'-0"	
Y	4'-@"x3'-@" FIXED	8'-0"	
Z	4'-@"x3'-@" FIXED	8'-@"	
ДД	4'-0"x3'-0" AWNING	8'-0"	
AB	2'-8"x3'-Ø" FIXED	8'-0"	
AC	2'-6"x5'-6" C9MT + 2'-6"x5'-6" FIXED MULLED	8'-@"	
AD	6'-0"x8'-0" FIXED	8'-0"	
ÆF	2'-6"x5'-6" CSMT	8'-0"	

WINDOW & EXTERIOR DOOR NOTES:

- 1. ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS BY SIERRA PACIFIC IN BLACK COLOR. 2. WINDOW MANUFACTURER TO PROVIDE TEMPERED GLAZING IN ALL LOCATIONS AS REQUIRED BY THE 2021 I.R.C. (INDICATED BY (T) IN SCHEDULE.
- 3. ALL WINDOWS TO MEET ENERGY CODE RATING PER THE 2021 I.R.C.( U VALUE = 0.30 MAXIMUM, SHGC VALUE NOT REQUIRED IN ZONE 6.
- 4. PROVIDE SCREENS AT ALL OPERATING WINDOWS & DOORS.
- 5. DOOR HARDWARE AND HINGES TO MATCH INTERIOR HARDWARE COLORS. 6. WINDOW HEAD HEIGHTS ARE TO MATCH HEAD HEIGHT OF EXTERIOR DOORS
- 1. HEAD HEIGHTS ARE ABOVE FINISHED FLOOR LEVELS.

#### INTERIOR DOOR SCHEDULE

	D00R #	DOOR TYPE	SIZE	DOOR MATERIAL	FRAME MATERIAL	FINISH	HARDWARE SET	COMMENTS
ß	1Ø1A	SWING	3'-Ø" × 8'-Ø" × 1 3/4"	MOOD	WOOD	STAIN	PRIVACY	
	101B	SWING	PR. 3'-0" x 8'-0" x 1 3/4"	WOOD	WOOD	STAIN	DUMMY	SPRING LATCHES @ HEAD
ß	102	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
13 13	103	SWING	2'-8" × 8'-Ø" × 1 3/4"	MOOD	WOOD	STAIN	PASSAGE	
ß	104	DELETED						
	106	SWING	3'-Ø" × 8'-Ø" × 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
	107	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	108	SWING	3'-Ø" × 8'-Ø" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	20 MIN./SELF-CLOSING/WEATHER STRIP
	109	SWING	3'-Ø" × 8'-Ø" × 1 3/4"	MOOD	WOOD	STAIN	PASSAGE	20 MIN./SELF-CLOSING/WEATHER STRIP
	110	SWING	3'-Ø" × 8'-Ø" × 2 1/4"	WOOD	WOOD	STAIN	PASAGE	
	112	BARN	6'-6" × 8'-3" SLAB	WOOD	WOOD	STAIN	BARN	
	114	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
	115	SWING	3'-6" × 8'-0" × 2 1/4"	WOOD	WOOD	STAIN	PRIVACY	CUSTOM ENTRY DOOR
	116	BARN	4'-6" x 8'-3" SLAB	WOOD	WOOD	STAIN	BARN	
	2Ø1	SWING	3'-0" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
Г	2Ø3	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
	2 <b>0</b> 4A	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	204B	SWING	2'-6" × 8'-0" × 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
ß	206	DELETED						
T	2Ø7	SWING	2'-8" x 8'-0" x 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	2Ø8A	SWING	2'-8" × 8'-Ø" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	208B	SWING	2'-6" x 8'-0" x 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	2Ø9	SWING	2'-6" × 8'-Ø" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	210	SWING	2'-8" × 8'-Ø" × 1 3/4"	WOOD	WOOD	STAIN	PRIVACY	
	211	SWING	2'-6" x 8'-0" x 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
	213	SWING	2'-6" x 8'-0" x 1 3/4"	WOOD	WOOD	STAIN	PASSAGE	
	214	SWING	2'-8" x 8'-0" x 1 3/4"	MOOD	WOOD	STAIN	PRIVACY	
	215	SWING	2'-6" × 8'-Ø" × 1 3/4"	MOOD	WOOD	STAIN	PRIVACY	

INTERIOR DOOR NOTES:

- SEE INTERIOR SPECS FOR DOOR SPECIES AND PROFILE.
- 2. PROVIDE DOOR STOPS, EITHER HINGE OR BASEBOARD, AT ALL DOORS. 3. HINGES ARE TO MATCH INTERIOR HARDWARE FINISH
- 4. PROVIDE DEADBOLTS AT DOORS INTO GARAGES. 5. ALL SHOWER DOORS ARE 1'-0" EUROGLASS w/ 8'-0" OPENING.

PRC	)JEC	ΓNO:	2412	2-22]	L07
	COMMENTS	OWNER REVISIONS	REVISED PERMIT SET #2	REVISED PERMIT SET	BUILDING PERMIT SET
	ВУ	DWE	DWE	DWE	DWE
ISSUED	DATE	12-23-24	10-18-24	9-18-24	7-8-24
ISS	#	5	12	11	<u>Ø</u>

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RESORT

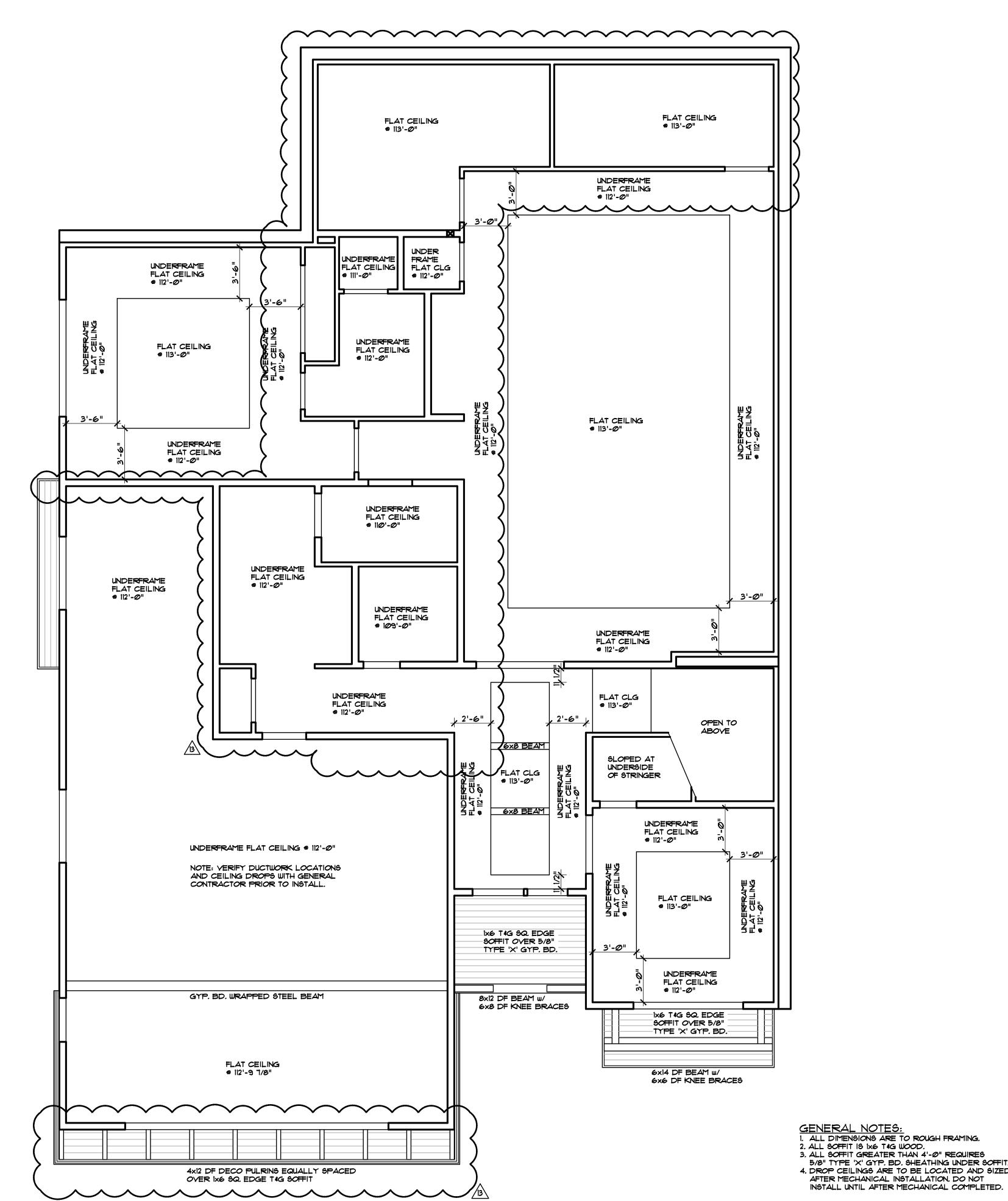


RESORT CONCEPTS



MILES END L MINTURN J URN, COT 186 MI OT 07, I MINTU

UED			PRC
DATE	ВУ	COMMENTS	DJEC <sup>-</sup>
12-23-24	DWE	OUNER REVISIONS	ΓNO:
10-18-24	DWE	REVISED PERMIT SET #2	2412
9-18-24	∃m⊂	REVISED PERMIT SET	2-22]
1-8-24	DWE	BUILDING PERMIT SET	L07



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO ROUGH FRAMING.
2. ALL SOFFIT IS IXED THE WOOD. 3. ALL SOFFIT GREATER THAN 4'-0" REQUIRES
5/8" TYPE 'X' GYP. BD. SHEATHING UNDER SOFFIT.
4. DROP CEILINGS ARE TO BE LOCATED AND SIZED

LOWER LEVEL CEILING



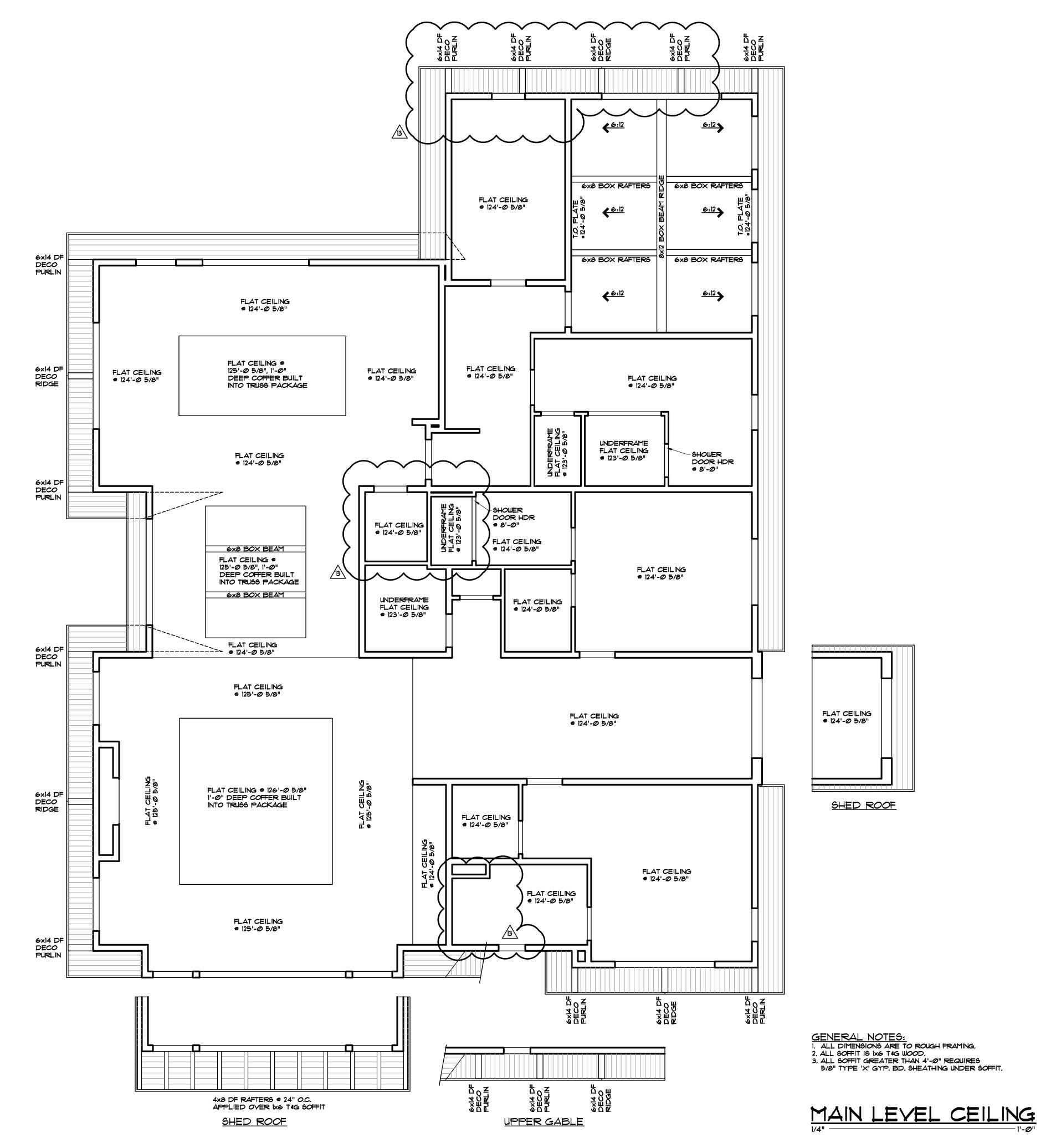
RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

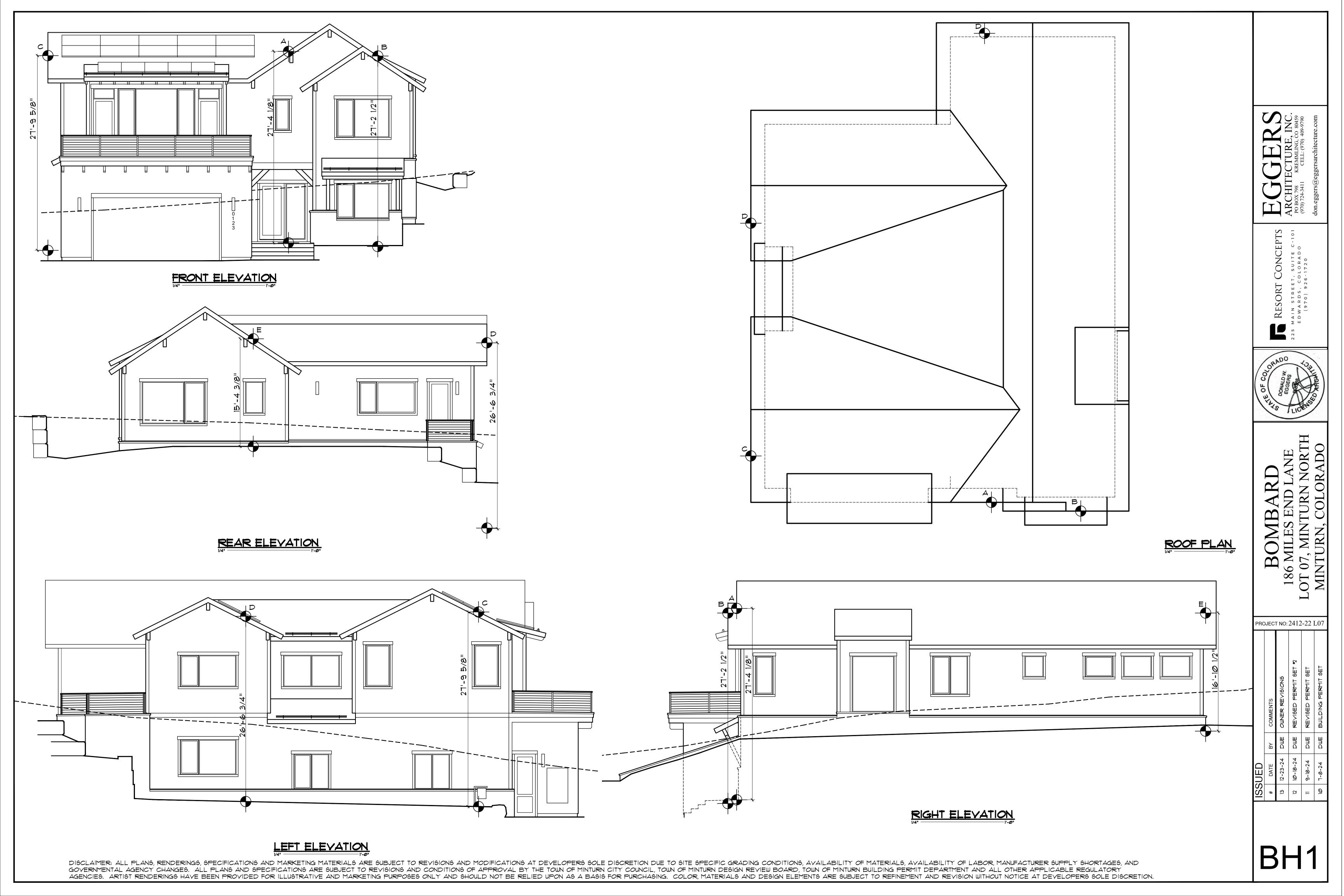


BOMBARD
186 MILES END LANE
LOT 07, MINTURN NORTH
MINTURN, COLORADO

RC	ROJECT NO: 2412-22 L07				
	COMMENTS	OWNER REVISIONS	REVISED PERMIT SET *2	REVISED PERMIT SET	BUILDING PERMIT SET
	ВУ	₽ME	DWE	∃ma	⊒m⊆
LU	DATE	-23-24	0-18-24	-18-24	-8-24

**44.2** 





#### GENERAL STRUCTURAL NOTES

#### TRUCTURAL DESIGN CRITERIA

These General Structural Notes apply to these Structural Drawings and supplement the project Specifications. Refer to the Project Manual for additional requirements.

2. This project is located in Minturn, Colorado and has been designed in accordance with the 2021 Edition of the International Residential Code (including applicable amendments and supplements).

#### . Design Loads:

A.	Roof Live Load:	Uniform Snow	100 psf
В.	Floor Live Loads:	Residential Light Storage Mechanical Room Areas Stairs & Corridors Balconies & Decks	40 psf 125 psf 50 psf 100 psf 100 psf
C.	Wind Analysis:	Basic Wind Speed Exposure	105 mph (3-second gust) 'C'

Seismic Analysis: Seismic Design Category 'B'

E. Frost / Fdn. Depth: 48" minimum below exterior ground surface to bottom of footing elevation

#### . Structural Design References:

American Concrete Institute (ACI); ACI 301, ACI 318, ACI 530 American Institute of Steel Construction (AISC); ASD 9th Edition American Institute of Timber Construction (AITC); 4th Edition American Iron and Steel Institute (AISI) American Plywood Association (APA) American Society of Civil Engineers (ASCE); ASCE 7 American Society for Testing and Materials (ASTM) American Welding Society (AWS) National Design Specification for Wood Construction (NDS) International Residential Code (IRC)

#### OORDINATION:

#### Dimensions:

Written dimensions take precedence over scaled dimensions. All dimensions noted within the Structura Drawings shall be verified with the Architectural Drawings. Refer to Mechanical, Electrical, Plumbing, and Architectural Drawings for openings not noted within the Structural Drawings. Any dimensional liscrepancies shall be noted in writing for review by the Architect and Structural Engineer.

#### . Shop Drawings: Shop drawings shall be prepared by the fabricator. Copying of these Construction Documents for use as shop drawings will not be permitted.

#### . Field Verification:

The Contractor shall verify existing conditions prior to commencement of work, and shall notify the Architect and Structural Engineer for any interpretation or clarification.

#### . Field Modifications to Structural Members:

The Contractor is responsible for securing the Architect's and Structural Engineer's approval prior to any cutting, notching, drilling or other modifications which may affect the integrity of the structure. When such modifications have been approved, they are to be completed in accordance with applicable building codes and manufacturer's instructions.

#### . Duty of Cooperation:

ssuance of these documents presupposes further cooperation among the Owner, Contractor, Architect and Structural Engineer. Building design and construction are complex, and every contingency cannot be anticipated. Although the Structural Engineer(s) have performed their services with due care and liligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered through the use of these documents shall be promptly reported to the Architect and Structural Engineer for further clarification. Failure to do so may compound misinterpretation and increase construction costs, and such failure shall relieve the Structural Engineer of responsibility from consequences which may arise.

#### 6. Changes to the Work:

ubstitution of noted structural products or "approved equivalent" products will be acceptable only with the written approval of the Structural Engineer. Changes to the Contract Documents made without approval are unauthorized and shall relieve the Structural Engineer of responsibility from consequences which may arise.

These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the jobsite safety of all personnel, work, materials, utilities, equipment and adjacent properties in accordance with accepted codes, regulations and industry practices.

#### STRUCTURAL CONCRETE

. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute (ACI). Refer to the "Field Observations" paragraph of these General Structural Notes for observation requirements. All concrete shall be of stone aggregate, unless noted otherwise. Refer to the Project Manual and Specifications for additional requirements (durability, color, finish, etc.). The use of any concrete additive containing chlorides is prohibited.

#### Minimum 28-day compressive strength shall be as follows:

A.	Foundation Walls	3,000 ps
B.	Footings	3,000 ps
C.	Slabs on Grade	4,000 ps

. Reinforcing is to be new billet steel ASTM A615 Grade 60 (field bent or welded bars shall be ASTM A706, Grade 60). No welding of reinforcement is permitted unless detailed. No splices of reinforcement are permitted except as detailed or authorized by Structural Engineer. Provide corner and bars to match all horizontal reinforcing. Provide minimum (2)#5 bars around all sides of all openings in concrete and extend 2'-0" minimum past edges of openings. Where permitted, use contact lap splices (40 bar diameters minimum lap). Welded wire fabric (W.W.F.) shall be in accordance with ASTM A185. Provide a minimum (1) full mesh lap at splice locations.

4. Placing of Reinforcement: Form ties are to be used for bar supports only when the clear dimensions shown on the details can be maintained. Provide wire chairs, bolsters, additional reinforcement, and accessories necessary to support reinforcement at position shown in the Structural Drawings. Support of reinforcement on wood, brick, or other unacceptable material will not be permitted.

#### 5. The following minimum concrete cover over reinforcing shall be provided unless noted otherwise

٩.	Concrete cast against and permanently exposed to earth	3 inches
3.	Concrete exposed to earth or weather (#5 bars and smaller)	1-1/2 inches
~	n' n	1/ 1

Piers, Beams and Columns 1-1/2 inches

#### STRUCTURAL STEEL

. Structural steel, including embedded angles, plates or other sections has been designed and shall be detailed and erected in accordance with the American Institute of Steel Construction (AISC), ASD Specifications and Code of Standard Practice. Steel detailing and erection shall accommodate provisions of AISC and OSHA standards (including OSHA Steel Erection Standard Part 1926, Subpart "R").

. Minimum yield strengths (Fy) are 35 ksi for pipes (ASTM A53, Grade B), 46 ksi for tubes (ASTM A500, Grade B), 50 ksi for wide flange members (ASTM A572, Grade 50), and 36 ksi for all others (ASTM A36).

#### R. Connections:

Use standard framed beam connections meeting requirements of the AISC Manual of Steel Construction (ASD). Use 3/4" diameter minimum A325N bolts or welded equivalent. Minimum welds are per AISC, and not less than 3/16" continuous fillet using E70XX electrodes (unless noted otherwise). Welding of rebar anchors to angles or plates shall be completed to develop a minimum 150% of the yield strength of the reinforcing bar. Headed stud anchors shall conform to AWS D1.1 and shall be automatically end welded in the shop (unless noted otherwise). See specifications for testing requirements.

#### STRUCTURAL TIMBER:

G. T&G Wood Decking

. Structural Timber has been designed and shall be constructed in conformance with provisions of the NDS Specification for Stress Grade Lumber and its Fastenings. The Contractor shall not cut, notch, or otherwise modify timber members without the written consent of the Structural engineer. Provide oss-bridging at 8'-o"o.c. maximum, and provide solid blocking between joists at all bearing supports.

#### Framing Lumber (minimum requirements) shall be as follows:

A.	Wall Studs	Hem-Fir (HF) Construction Grade
В.	Floor Joists (2x members)	Hem-Fir (HF) #2 Grade or Better
C.	Floor Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer
D.	Roof Rafters (2x members)	Hem-Fir (HF) #2 Grade or Better
Ε.	Roof Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer
F.	Posts / Columns	Douglas-Fir (DF) #1 Grade Post & Timber

3. Wall, roof, and floor sheathing shall meet the minimum requirements of the APA and AITC. Provide thicknesses and fasten to framing members as noted in the Structural Drawings. Panels are to be oriented to span along their strong axis, and all panel joints are to be staggered.

Douglas-Fir (DF) Commercial Grade

4. Pre-fabricated structural connectors shall be as manufactured by Simpson Strong-Tie Company or oproved equivalent.

5. I-joists (BCI) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size and series as noted in the Structural Drawings. The Supplier shall furnish shop drawings showing all joist members, bridging, blocking, and miscellaneous accessories for review by the Structural Engineer prior to installation. Refer to the Manufacturer Installation Guide for further construction

6. Laminated Veneer Lumber (LVL) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size as noted in the Structural Drawings (Fb = 2,800 psi minimum). Refer to the Manufacturer Installation Guide for further construction requirements.

#### STRUCTURAL TIMBER (CONT.):

Glue-Laminated (GL) members shall Visually Graded Western Species, conforming to combination 24F-V4 (multiple span beams shall be 24F-V8) strength and stiffness requirements, unless otherwise noted. Ship members to the jobsite stored in manufacturer's protective wrapping. Refer to Architectural drawings for appearance grade requirements.

3. Pre-Engineered wood roof trusses shall be designed by a registered Professional Engineer licensed in the State of Colorado. Calculated live load deflections of all trusses shall not exceed 1/240 of the span ength. Shop drawings and calculations bearing the seal and signature of the design engineer shall be ubmitted for the review of the Structural Engineer. These submittals shall indicate the design loads, locations of all trusses, connection plate sizes and capacities, and the size and grade of lumber to be used. Shop drawing review by the Structural Engineer must be completed prior to truss fabrication. The truss nanufacturer shall indicate and provide blocking at bearing locations and lateral bridging as required for

Tongue and Groove (T&G) Wood Decking shall be installed with tongues oriented upslope on sloped oofs. It shall be laid with patterned faces down and exposed on the underside. Controlled random lay-up shall be provided with a minimum distance of two feet between end joints in adjacent rows. Each row shall be toe-nailed through the tongue and face nailed with one nail to each support. Provide 16d nails for 2" nominal decking and 40d toe-nails and 60d face-nails for 3" and 4" nominal decking. Spike rows ogether with 8" spikes at 30" o.c. through pre-drilled holes in 3" and 4" nominal decking.

#### FOUNDATIONS

The structure shall be founded upon spread footings placed upon APPROVED undisturbed native soils OR compacted structural fill with a maximum allowable bearing pressure of 2,500 psf.

#### Retaining walls have been designed in accordance with the following design values:

A.	Coefficient of Friction	0
-	* · 1 m · 1 m	

Lateral Earth Pressure 55 pcf C. Passive Pressure 325 pcf

Refer to Geotechnical Report #SU01922.000-120-R1, dated 08-26-2020, prepared by TL | Thompson, Inc.; Breckenridge, Colorado for other pertinent soils information. ontractor shall be fully familiar with all aspects of the report before beginning onstruction and shall refer to the report for specifications and details for placement of tructural fill, vapor barriers, gravel layers, perimeter drains, and any other soils related

Foundation walls are designed to be supported top and bottom by floor construction. Walls are not to be backfilled until such floors are in place or adequate shoring is provided.

Provide 1-1/2" void below all non-bearing partitions constructed upon concrete slabs-on-grade, IF in-place subgrade soils show potential for expansion/swell conditions. The Soils Engineer is to review subgrade conditions as part of an "open-hole" investigation, and should provide further direction if expansive soils are present.

The Soils Engineer shall review all foundation excavations prior to the placement of  $-oldsymbol{oldsymbol{oldsymbol{1}}}$ formwork or reinforcement. All structural fill shall be observed and tested by the Soils ingineer during the grading and fill placement process.

#### PECIAL INSPECTIONS

. It is the responsibility of the Contractor to coordinate all structural inspections as required by governing building codes and the Construction Documents. A qualified independent testing company is to provide Special Inspections for portions of the Work, as indicated in the Construction Documents and as required by local jurisdictions.

. The Special Inspector shall be responsible for completing, maintaining, and resubmitting all special nspection logs and forms required by Local Building Officials.

#### BEARING WALL OR STONE VENEER ABOVE SAWCUT JOINTS IN SLAB AT LOCATIONS NOTED 3/4" T. & G. FLOOR 1/4 OF SLAB WHILE CONCRETE IS SHEATHING THICKNESS-STILL GREEN RE: PLAN T.O. SHEATHING (2) LVL BLOCKING FLOOR JOIST BETWEEN JOISTS (BEYOND) CONCRETE SLAB RE: PLAN SIMPSON L90 SOLID INFILL AT EACH SIDE FLOOR JOIST WEB

3/4"=1'-0"

3/4"=1'-0"

REFER TO PLANS AND

FOOTING-TO-WALL

DOWELS NOT SHOWN

FOR DETAIL CLARITY

3/4"=1'-0"

8d NAILS @ 4" o.c.

3/4" T. & G. FLOOR

SOLID BLOCK FIRST

SHEATHING

- I-JOIST

DETAILS FOR WALL

3'-0" (MAX.)

Tupical Control Joint (C.J.)

,40 BAR DIAMETERS

(MIN. LAP)

Typical Corner Reinforcing

(40) BAR

DIAMETERS

MINIMUM LAP

(TYPICAL)

Typical Footing Step Detail

Typical Floor Framing Detail

FDN. WALL

RE: PLAN

T.O.F.

RE: PLAN

RE: PLAN

T.O.F.

CONTINUOUS

FOOTING

SI.I

2x6 @ 16" o.c

T.O. SHEATHING

CONTINUOUS

RIM BOARD BY

JOIST SUPPLIER

I/2" APA RATED

WALL SHEATHING

STUDWALL

RE: PLAN

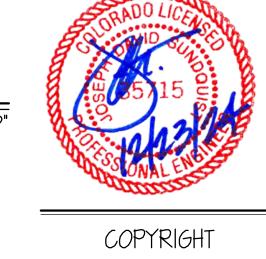
CORNER BARS SHALL

MATCH SIZE AND SPACING

OF SMALLEST DIAMETER

WALL REINFORCING BARS

Tupical Floor Blocking Detail



SUNDQUIST

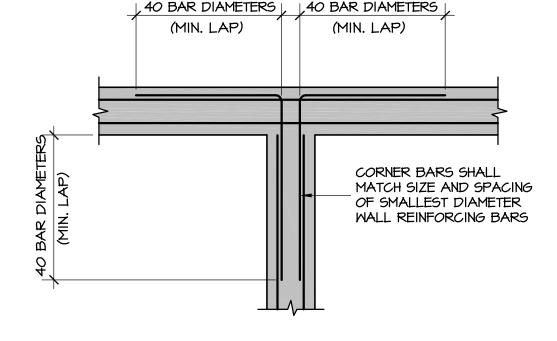
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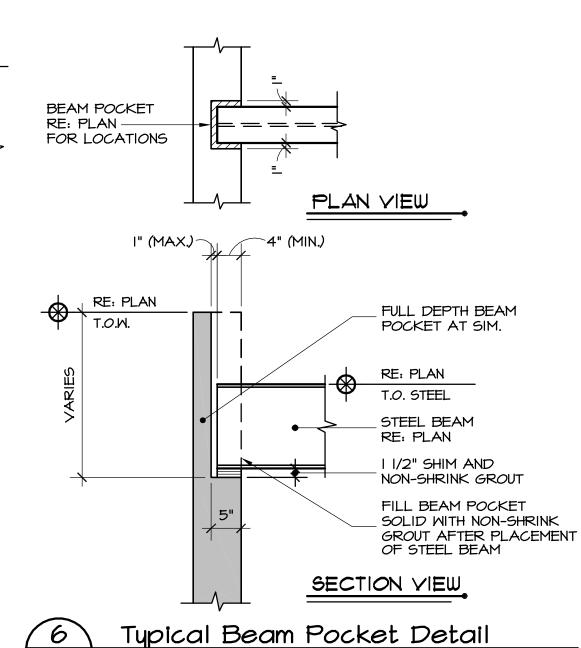
(303) 838-2222

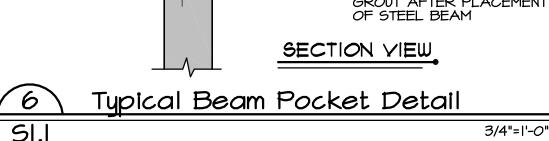
www.sundquistdesign.com

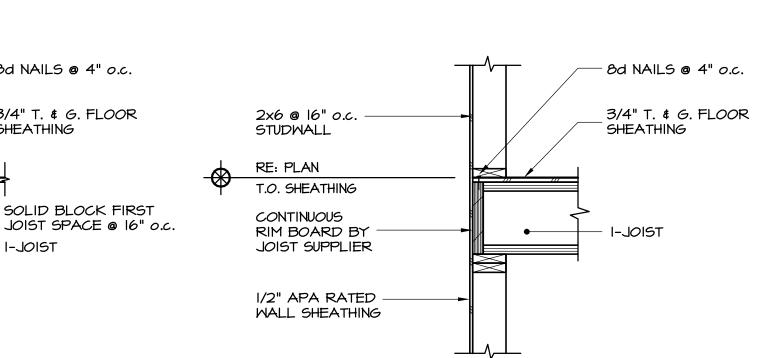
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Tupical Intersection Reinforcing 3/4"=1'-0"







Tupical Floor Framing Detail

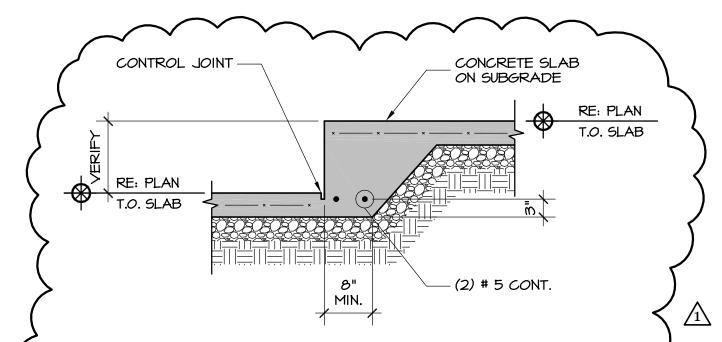
12/23/2024 SDG Project No. • 24-122 • SDG Drawn By • JDS Checked By

Mint

Date • Issue 05/07/24 • Review Set 05/08/24 • Review Set 06/13/24 • Review Set <u>07/05/24</u> • Review Set 07/08/24 • Building Permit 09/18/24 • Revised Permit Set 12/23/24 • Owner Revisions Title • General Notes and

Standard Details

# 2 Exterior Slab Edge Detail



3/4"=1'-0"

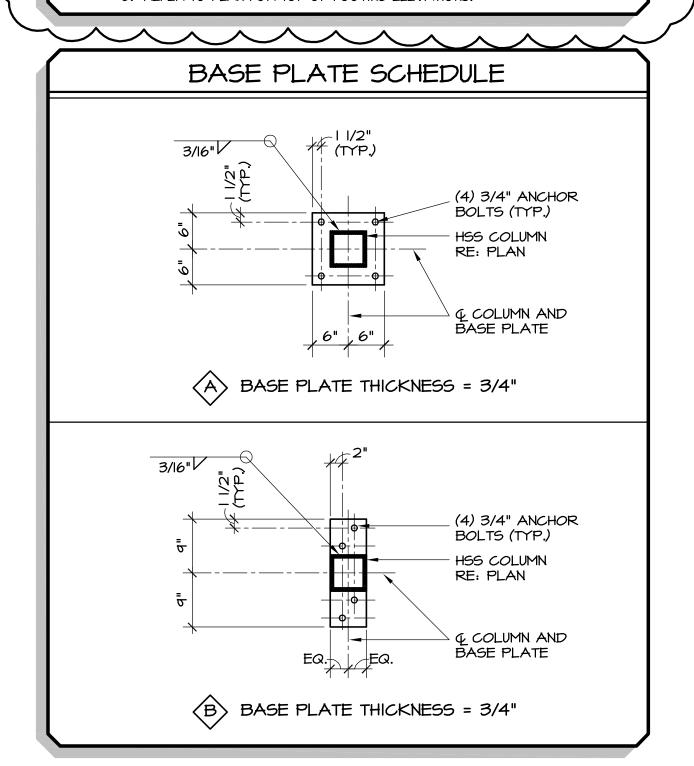
# 3 Slab Step Detail

PAD FOOTING SCHEDULE					
MARK	FOOTING DIMENSIONS Plan Size Depth		REINFORCING		
A	4'-0" × 4'-0"	0'-10"	(5) # 5 Bars Each Way		
В	5'-0" x 5'-0"	0'-10"	(6) # 5 Bars Each May		
6	5'-0" × 8'-6"	0'-10"	# 5 Bars @ 12" o.c. Each Way		
D	4'-0" × 4'-0"	l'-0"	(5) # 5 Bars Each Way		
E	5'-0" x 6'-6"	0'-10"	# 5 Bars @ 12" o.c. Each Way		

NOTES: I. PAD FOOTINGS ARE TO BE CENTERED BELOW COLUMN CENTERLINES (U.N.O.).

2. PROVIDE 3" CLEAR DISTANCE FROM BOTTOM OF FOOTING TO REINFORCING.

3. REFER TO PLAN FOR TOP OF FOOTING ELEVATIONS.



# Foundation Plan

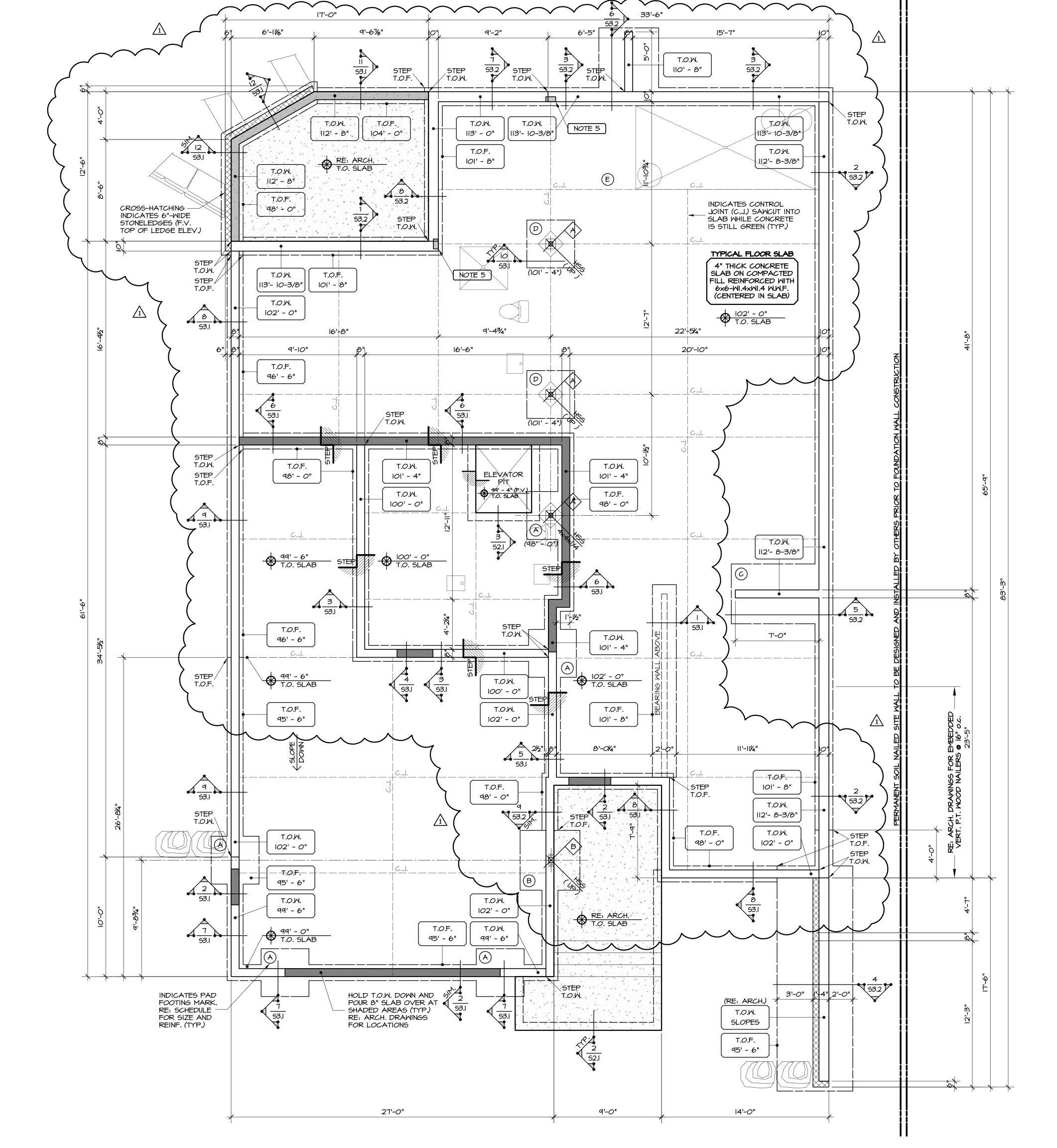
SCALE: 1/4"=1'-0"

- NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.

  2. REFER TO SOILS REPORT FOR ALL EXCAVATION, FILL, COMPACTION,
  AND OTHER SUBGRADE CONSIDERATIONS. COORDINATE ALL DRAINAGE,
  WATERPROOFING, VAPOR BARRIERS AND OTHER PREPARATIONS
  - WITH ARCHITECTURAL DRAWINGS AND SOILS REPORT.

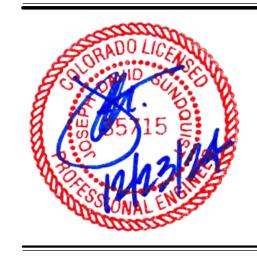
    3. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FOUNDATION PENETRATIONS.
  - 4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
    5. REFER TO DETAIL 6/SI.I FOR TYPICAL BEAM POCKET REQUIREMENTS.
  - 6. G.C. IS TO VERIFY THAT A MINIMUM FROST DEPTH OF 48" HAS BEEN ACHIEVED
  - FOR THE FOUNDATION WALLS AND EXTERIOR PIERS.

    7. G.C. TO COORDINATE UFER GROUND LOCATION (CEE).



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 07/05/24
 • Review Set

 07/08/24
 • Building Permit

 $\begin{array}{c|cccc}
\hline
07/08/24 & & \text{Review Set} \\
\hline
07/08/24 & & \text{Building Permit} \\
\hline
09/18/24 & & \text{Revised Permit Set} \\
\hline
12/23/24 & & \text{Owner Revisions}
\end{array}$ 

Title • Foundation Plan

S2.1

#### TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL's (MINIMUM) OR (3) 2x10 WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

I-JOIST HANGER SCHEDULE			
SINGLE I-JOIST			
JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL	
14" BCI 5000	ITS2.06/I4	1052.06/14	
14" BCI 6000 / 60	ITS2.37/I4	1052.37/14	
14" BCI 90	ITS3.56/I4	IUS3.56/I4	

LVL BEAMS AND HEADER HANGER SCHEDULE					
I-PLY: I-3/4" VERSA-LAM	I-PLY: I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL			
14"	MITI4	HUI4			
2-PLY: I-3/4" VERSA-LAM	1 LYL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL			
4"	HB3.56/I4	HHU5410			
3-PLY: I-3/4" VERSA-LAM L	3-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL			
l4"	HGLTV5.37	HGUS5.50/12			
4-PLY : I-3/4" VERSA-LAM LVL					
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL			
14"	HGLTV7	HGU7.25-SDS			

TYPICAL FRAMING PLAN NOTES				
PLAN NOTATIONS:	GL: GLU-LAMINATED BEAM BGI: I-JOIST			
BEAM BEARING CO	LVL: LAMINATED VENEER BEAM NDITION:			
(3) (A)	INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)			
HEADER BEARING	CONDITION:			
INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) T = TRIMMER STUDS K = KING STUDS				
MISCELLANEOUS CONDITIONS:				
FROM A L POSTING	S COLUMN / STUDS LEVEL ABOVE, DOWN TO THE FRAMING LEVEL  S COLUMN / STUDS POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL			

TYF	TYPICAL SHEATHING NAILING NOTES					
APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS		
FL00R5	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"0.c.	8d RING SHANK NAILS (ALT. IOd COMMON) GLUED WITH CONST. ADHESIVE		
WALLS	I/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS		
ROOF5	5/8" APA RATED EXPOSURE I RATED 40/20	6"o.c.	12"o.c.	IOd COMMON NAILS		
NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.						

NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.

2. REFER TO THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR
ADDITIONAL SHEATHING REQUIREMENTS

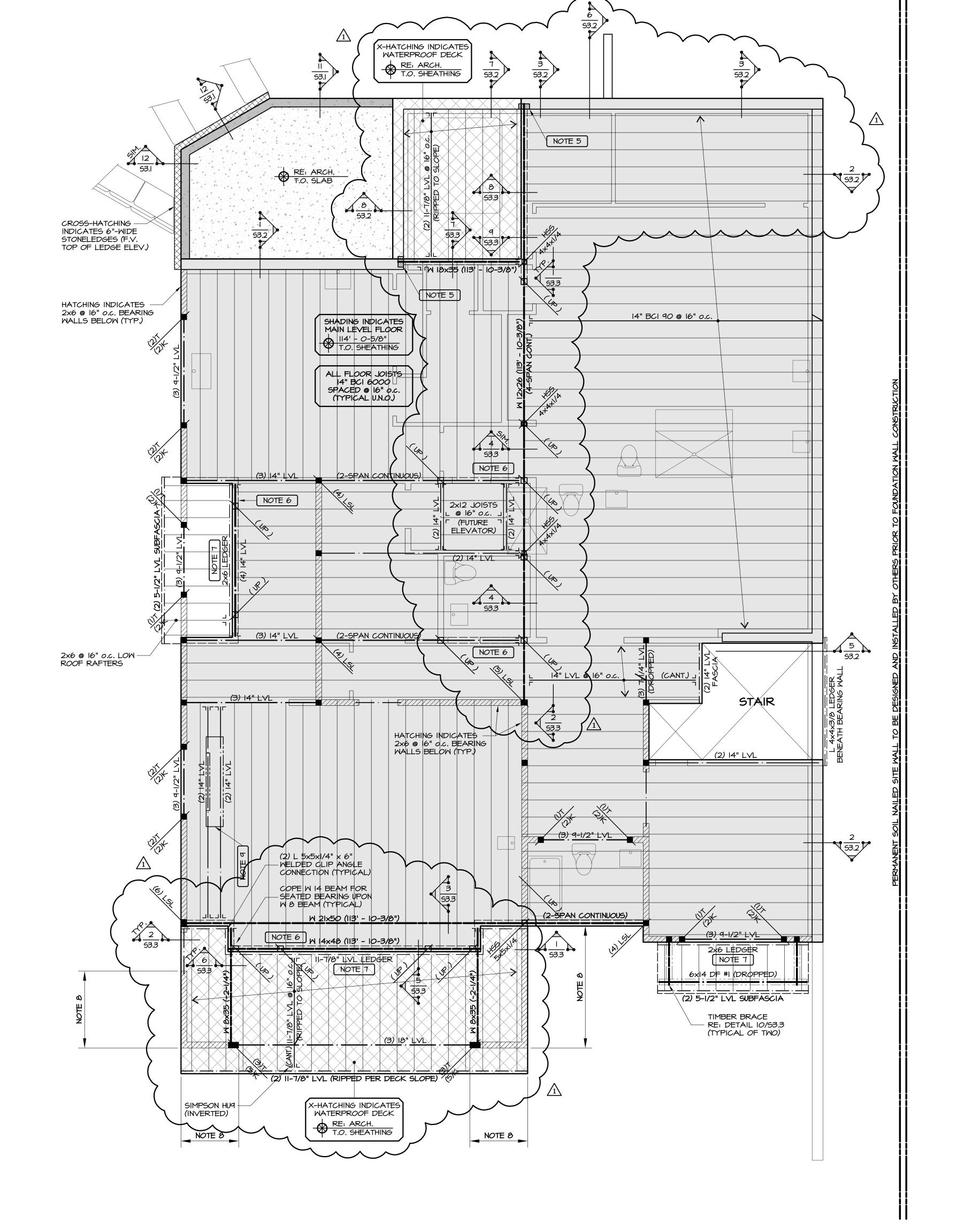
ADDITIONAL SHEATHING REQUIREMENTS.

3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

SCALE: 1/4"=1'-0"

# Main Level Floor & Low Roof Framing Plan

- NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
  - REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FLOOR PENETRATIONS.
     ALL FLOOR BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
  - 4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
  - 5. REFER TO DETAIL 6/SI.I FOR TYPICAL BEAM POCKET REQUIREMENTS.
  - INDICATES 2x6 @ 16" o.c. BEARING WALLS ABOVE.
     ATTACH LEDGER TO WALL / RIM WITH (3) ROWS OF 5"-LONG LEDGER-LOCK SCREWS SPACED @ 16" o.c. (MAX.).
  - 6. THIS WALL IS TO BE FRAMED WITH I-3/4" x 5-1/2" LSL STUDS @ 16" o.c.
     9. PROVIDE BLOCKING BETWEEN JOISTS AT STONE VENEER AND / OR BEARING WALLS FROM ABOVE (RE: DETAIL 2/SI.I).



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 • Revised Permit Set

12/23/24 • Owner Revisions

Title • Main Level Floor and

Low Roof Framing Plan

S2 4

NOTE 8

#### TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL's (MINIMUM) OR (3) 2x10 WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

#### PRE-ENGINEERED ROOF TRUSSES

#### MINIMUM STRUCTURAL DESIGN CRITERIA:

- THE PRE-ENGINEERED TRUSS SUPPLIER IS TO DESIGN ALL TRUSS MEMBERS IN ACCORDANCE WITH THE MINIMUM DESIGN CRITERIA NOTED BELOW (ALL TRUSS CONNECTIONS AND BRIDGING BY TRUSS DESIGNER / SUPPLIER). ALL TRUSS CALCULATIONS SUBMITTED TO THE ARCHITECT AND
  - TO THE ENGINEER OF RECORD MUST INCLUDE REFERENCE TO THESE DESIGN STANDARDS.
  - I. ROOF LIVE LOAD (SNOW) = 100 psf NOT REDUCED.
  - 2. ROOF DEAD LOAD (TOP CHORD) = 20 psf.
  - 3. ROOF DEAD LOAD (BOTTOM CHORD) = 5 psf.

#### TYPICAL FRAMING PLAN NOTES

PLAN NOTATIONS: GL: GLU-LAMINATED BEAM BCI: I-JOIST LVL: LAMINATED VENEER BEAM BEAM BEARING CONDITION: INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) HEADER BEARING CONDITION INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) T = TRIMMER STUDS K = KING STUDS

#### & INDICATES COLUMN / STUDS FROM A LEVEL ABOVE, POSTING DOWN TO THE CURRENT FRAMING LEVEL

MISCELLANEOUS CONDITIONS:

INDICATES COLUMN / STUDS POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL

#### TYPICAL SHEATHING NAILING NOTES

		./ \	O IV VIEIT	10 10 123
APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FL00RS	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"0.c.	8d RING SHANK NAILS (ALT. IOd COMMON) GLUED WITH CONST. ADHESIVE
WALLS	I/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS
R00F5	5/8" APA RATED EXPOSURE I RATED 40/20	6"o.c.	12"o.c.	IOd COMMON NAILS

NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE. 2. REFER TO THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR

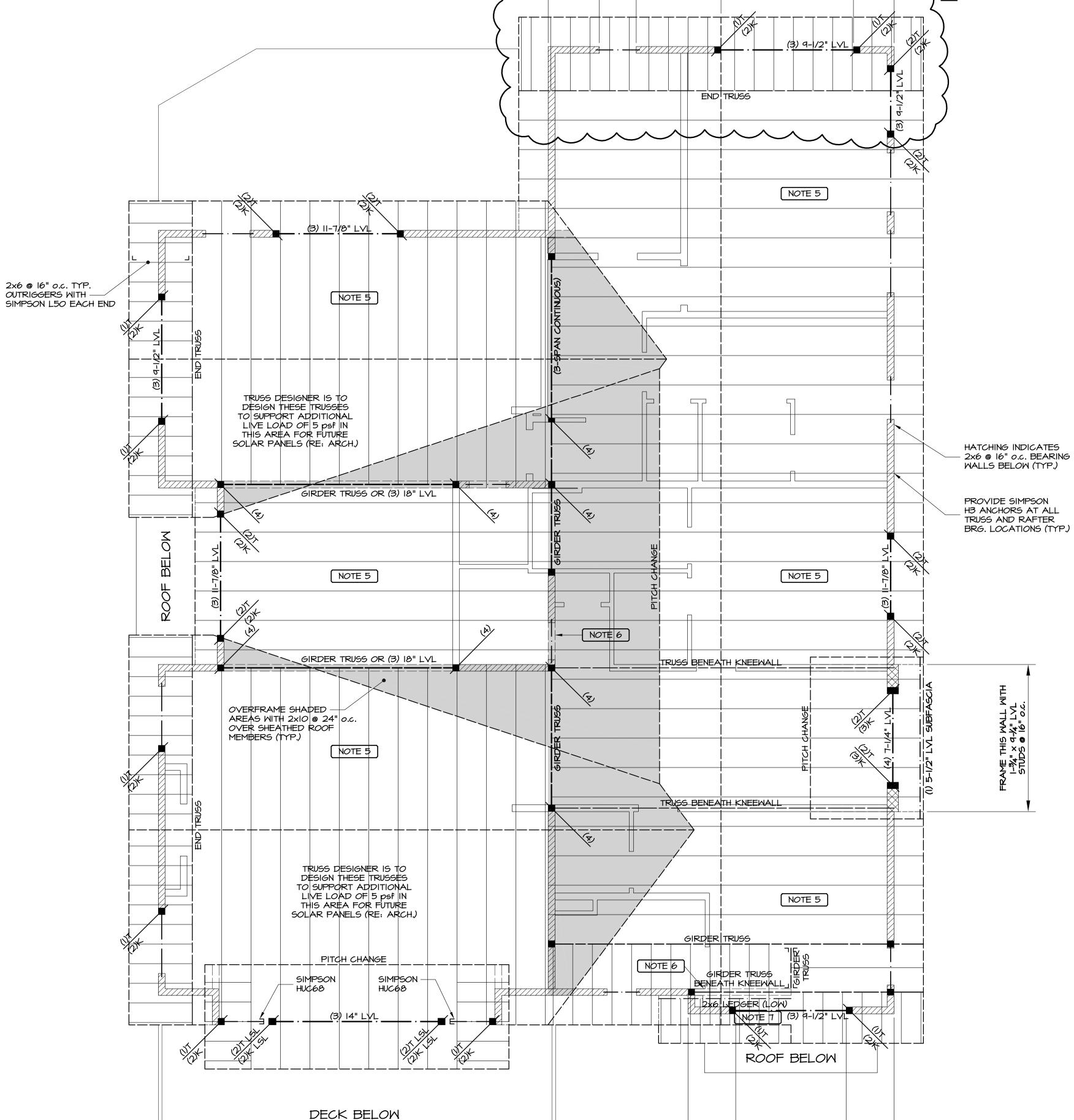
ADDITIONAL SHEATHING REQUIREMENTS. 3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED

AT WALL PANELS ONLY.

# High Roof Framing Plan

SCALE: 1/4"=1'-0"

- NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
  - 2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. ROOF PENETRATIONS. 3. ALL 2x AND LVL BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
  - 4. ALL HEAVY TIMBER AND GLU-LAM ROOF BEAMS ARE DROPPED (U.N.O.) 5. ALL ROOF MEMBERS ARE PRE-ENGINEERED TRUSSES @ 24" o.c. (U.N.O.).
  - 6. INDICATES 2x6 @ 16"o.c. KNEEWALL DOWN TO LOWER ROOF PLANE.
  - 7. ATTACH LEDGER TO WALL/RIM WITH (3) ROWS OF 5"-LONG LEDGER-LOCK
  - SCREWS SPACED @ 16" o.c. (MAX.).
  - 8. THIS WALL IS TO BE FRAMED WITH I-3/4" x 5-1/2" LSL STUDS @ 16" o.c. 9. ALL WALL STUDS THAT EXCEED IS FT. IN HEIGHT ARE TO BE FRAMED USING LSL/LVL MATERIAL.



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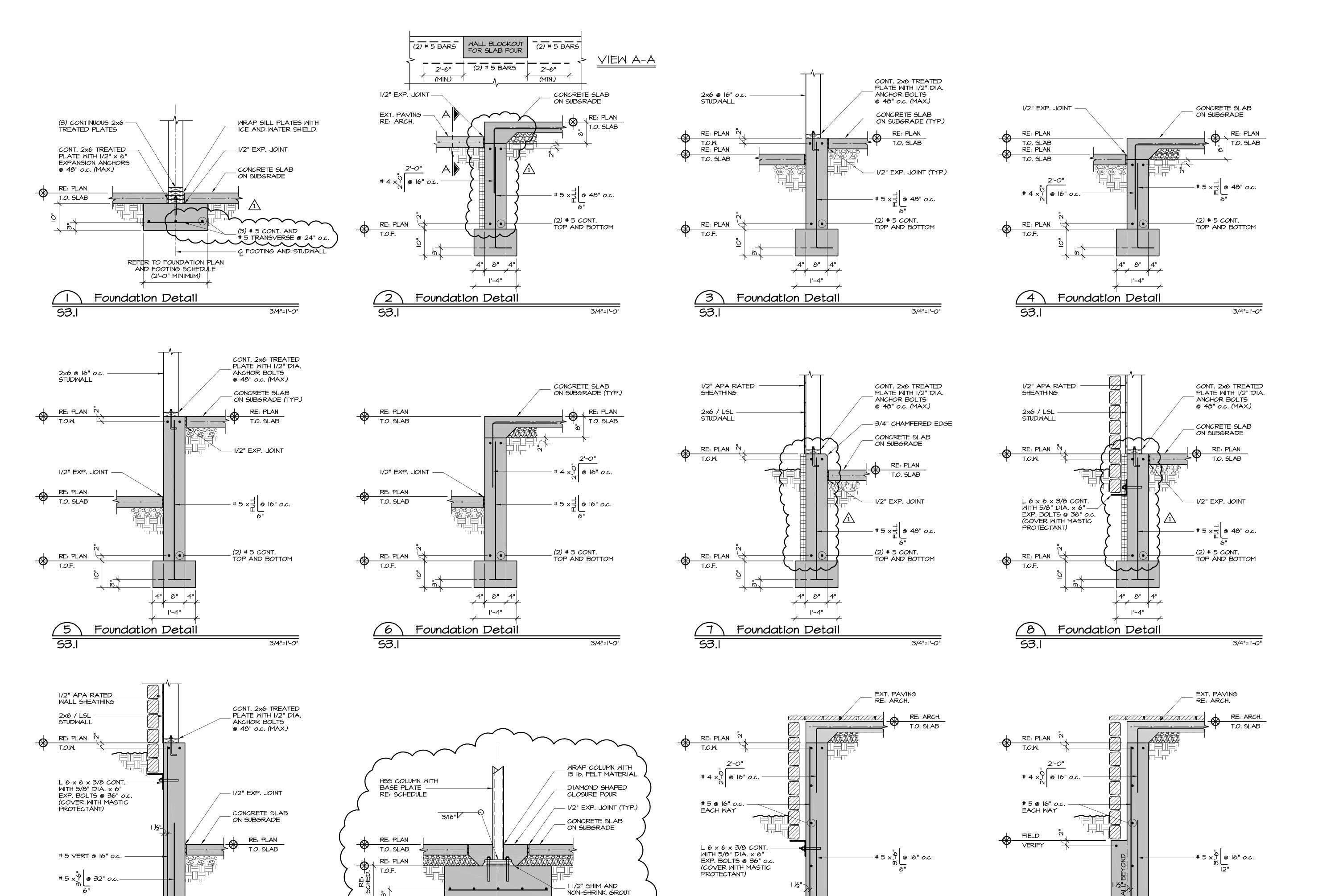
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12/23/24 • Owner Revisions

NOTE 8

NOTE 8

Title • High Roof Framing Plan



G FOOTING AND COLUMN

3/4"=1'-0"

REFER TO FOUNDATION PLAN AND FOOTING SCHEDULE

Foundation Detail

T.O.F.

Foundation Detail

\_(2) # 5 CONT.

T.O.F.

Foundation Detail

TOP AND BOTTOM

3/4"=1'-0"

(2) # 5 CONT.

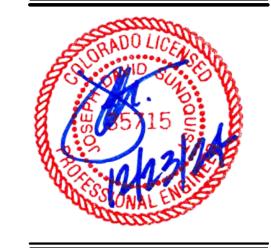
TOP AND BOTTOM

3/4"=1'-0"

T.O.F.



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\_(3) # 5 CONT.

1'-10"

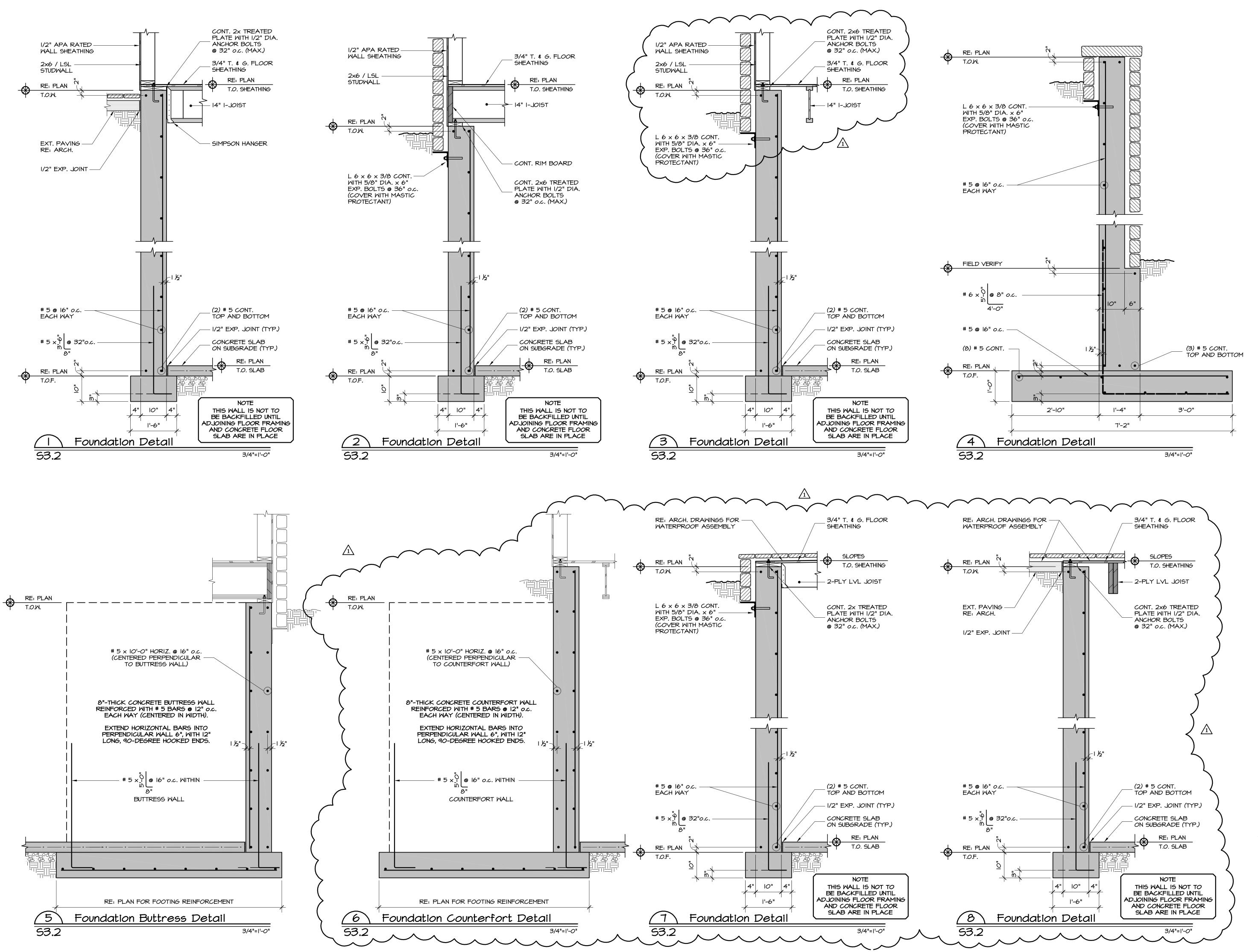
Foundation Detail

TOP AND BOTTOM

3/4"=1'-0"

Title • Foundation Details

S<sub>3.1</sub>



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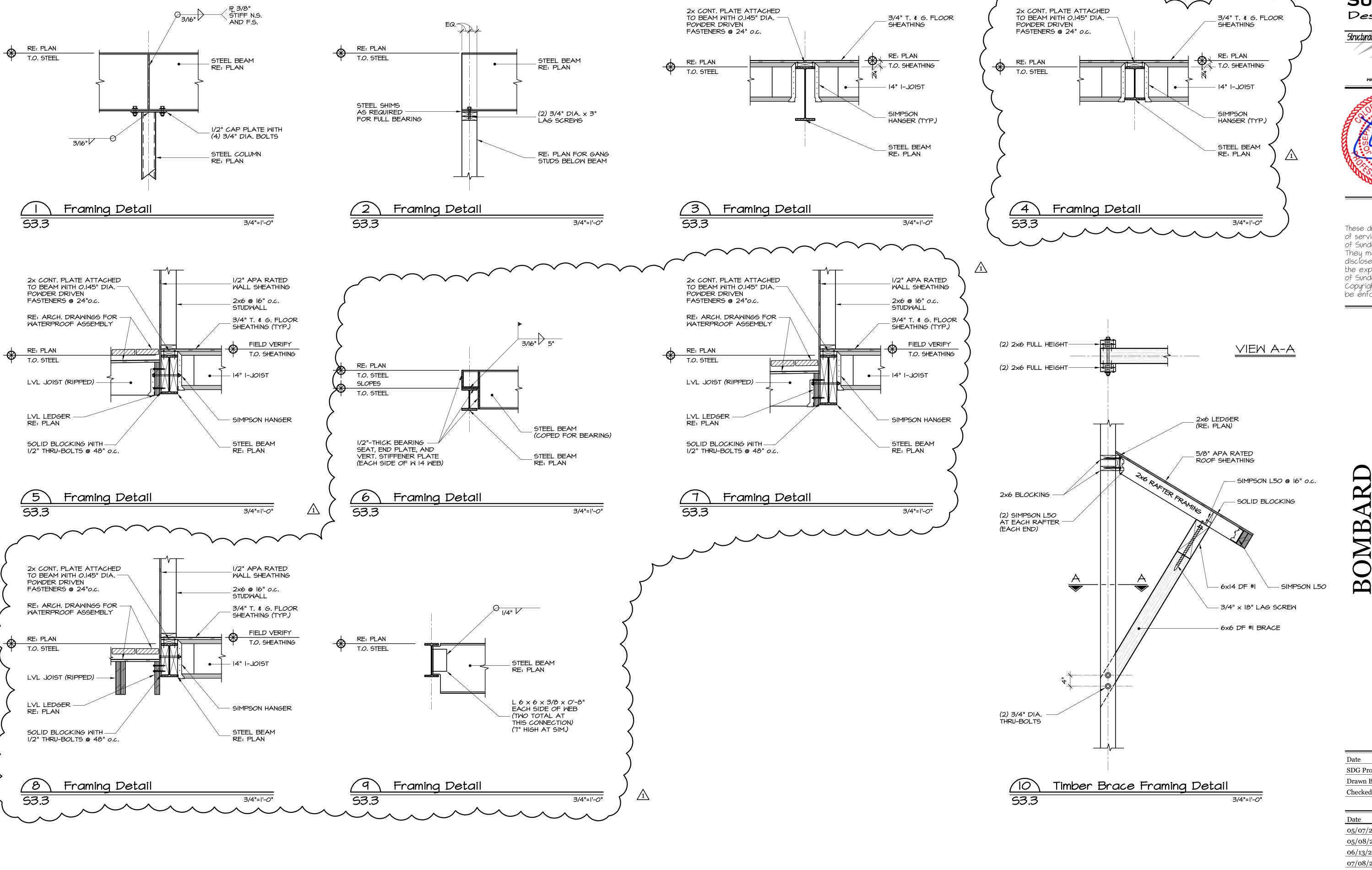
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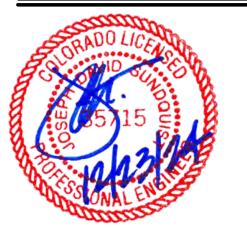
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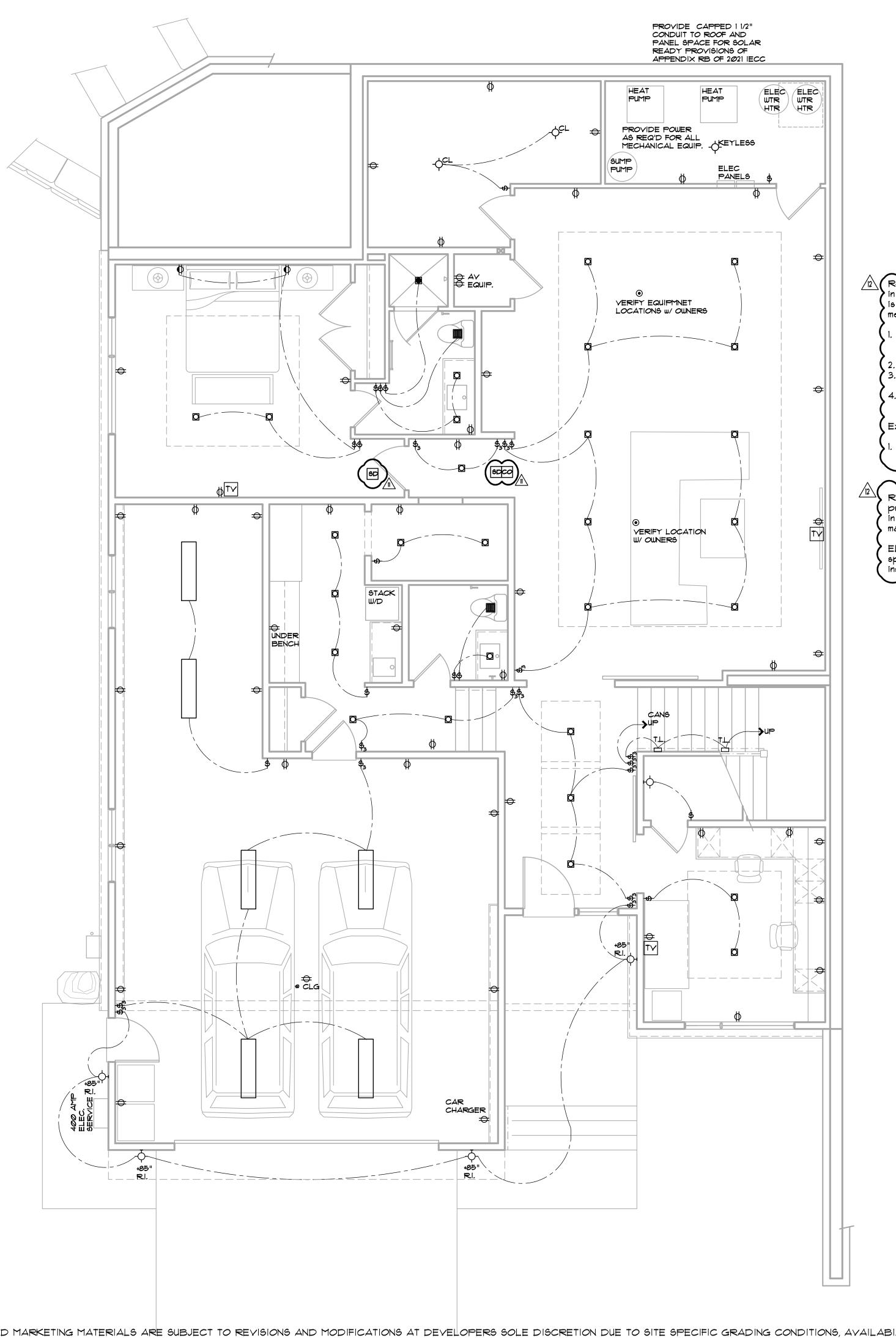
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Title • Framing Details



PROJECT NO: 2412-22 L07



R404.4 Additional electric infrastructure. All combustion equipment shall be installed in accordance with Section R403.5.4 and shall be provided with a junction box that is connected to an electrical panel by continuous raceways and conductors that meet the following requirements:

The junction box, raceway, and bus bar in the electric panel and conductors serving the electric panel shall be sized to accommodate electric equipment that is sized to serve the same load as the combustion equipment. The panel shall have reserved physical space for a dual-pole circuit breaker. The junction box and electrical panel directory entry for the dedicated circuit breaker space shall have labels stating "For future electric equipment." The junction box shall allow for the electric equipment to be installed within the same place of the combustion equipment that it replaces.

Exceptions:

Fossil fuel space heating equipment where a 208/240-volt electrical circuit with a minimum capacity of 40 amps exists for space cooling equipment. 

RD104 One- and two-family dwellings and townhouses. One EV ready space shall be provided for each dwelling unit. The branch circuit shall be identified as EV ready in the service panel or subpanel directory, and the termination location shall be marked as EV ready.

ELECTRIC VEHICLE READY SPACE (EV READY SPACE). An automobile parking space that is provided with a branch circuit and receptacle that will support an installed EVSE. Labeled as "CAR CHARGER" on electrical plan. 

ELECTRICAL LEGEND 4" LED DOWNLIGHT CAN 4" LED DIRECTIONAL CAN 4" LED SHOWER CAN + CHANDELIER BY OWNER P PENDANT BY OWNER  $\varphi_{ extsf{CL}}$  CLOSET DOME LIGHT

- EXTERIOR WALL SCONCE MONOPOINT SPOT LIGHT

☐ STEP LIGHT DOOR HEADER LED LIGHT

1'X4' LED

CEILING FAN BY OWNER SMOKE ALARM

CARBON MONOXIDE DETECTOR **EXHAUST FAN** 

FLOOR OUTLET ₱ 1/2 HOT SWITCHED OUTLET

TV TELEVISION

GENERAL ELECTRICAL NOTES: 1. OUTLETS SHOWN ARE SPECIFIC TO NEEDS. ELECTRICAL CONTRACTOR TO REVIEW PLANS AND COMMUNICATE TO GENERAL CONTRACTOR ANY ADDITIONAL OUTLETS NEEDED TO MEET CODE AND ANY OUTLETS SHOWN THAT ARE IN EXCESS TO MINIMUM CODE REQUIREMENTS. 2. CONTRACTOR TO PROVIDE LIFE SAFETY DETECTORS AND SENSORS PER CODE MINIMUM. LOCATIONS TO BE APPROVED BY GENERAL CONTRACTOR PRIOR TO INSTALL. 3. REFER TO FINAL CABINET SHOPS FOR FINAL APPLIANCE, PLUMBING AND ELECTRICAL LOCATIONS. 4. REFER TO LANDSCAPE PLANS FOR IRRIGATION AND SITE LIGHTING POWER REQUIREMENTS. 5. ALL INTERIOR LIGHTING CIRCUITS SHALL BE PROVIDED WITH DIMMERS, EXCEPT BATHROOMS AND

6. ALL EXTERIOR LIGHTING CIRCUITS SHALL BE INSTALLED WITH A MANUAL ON/OFF SWITCH WHICH PERMITS ' AUTOMATIC SHUT-OFF ACTIONS AND SHALL AUTOMATICALLY SHUT OFF WHEN DAYLIGHT. (R404.3).

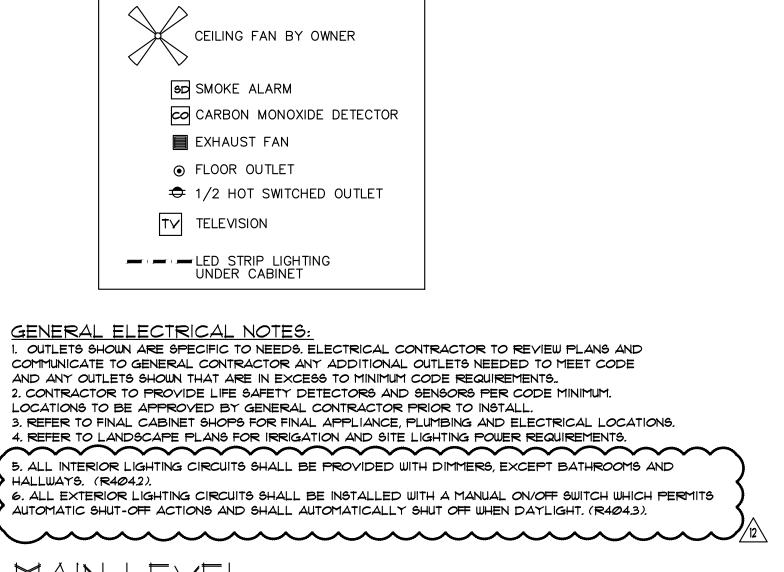
ENTRY LEVEL SCHEMATIC ELECTRICAL PLAN

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.



MILES END I MINTURN JURN, COLO BC 6 MJ 07, J

PROJECT NO: 2412-22 L07



ELECTRICAL LEGEND

4" LED DIRECTIONAL CAN

4" LED DOWNLIGHT CAN

• 4" LED SHOWER CAN CHANDELIER BY OWNER

 $\varphi_{ extsf{CL}}$  closet dome light

☐ STEP LIGHT

DOOR HEADER LED LIGHT

1'X4' LED

-O+ EXTERIOR WALL SCONCE

MONOPOINT SPOT LIGHT

