

DESIGN REVIEW BOARD APPLICATION

MEETING DATE:September 10 th 2024
TYPE OF REVIEW: FINAL COURTESYX CASE #
PROJECT INFORMATION
PROJECT NAME:Milton Montessori School
PROJECT ADDRESS:3501 & 3499 Bethany Bend, Milton, GA 30004
OVERLAY/FORM-BASED CODE:
HAS LDP/BUILDING PERMIT BEEN SUBMITTED FOR REVIEW? YES NO
PROJECT TYPE (CHECK ONE): SITE/LANDSCAPE BUILDINGX SALES TRAILER DEMOLITION ZONING/USE PERMIT/VARIANCE OTHER (EXPLAIN)
PROJECT DESCRIPTION:Building 24000 sf of new space for elementary and Middle school
APPLICANT/REPRESENTATIVE INFORMATION CONTACT PERSON NAME:Biju Eappen
COMPANY:Sapient Minds LLC
ADDRESS:3505 Bethany Bend, Milton GA 30004
PHONE:404-232-5227 FAX:

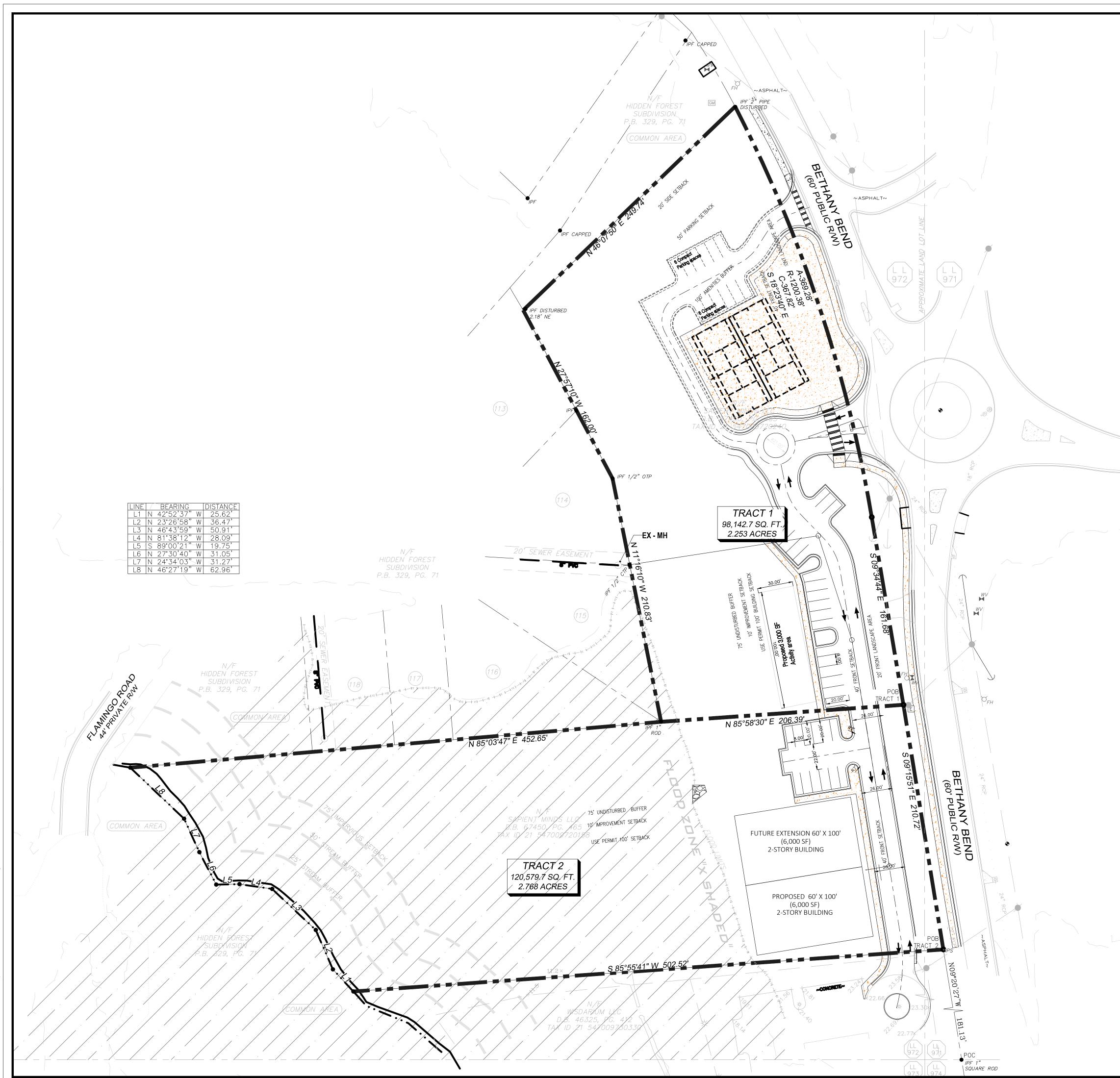
EMAIL: _mms@themiltonmontessorischool.com_

APPLICANT'S SIGNATURE: To the best of my knowledge, this application is correct and complete. I understand that I, or my representative should be in attendance at the Design Review Board meeting on <u>09/10/2024</u>, at 6:00pm, to present this project. To the best of my knowledge, I have met all applicable Overlay/Form Based Code conditions (Hwy 9/Deerfield, Birmingham, Crabapple, Rural Milton.)

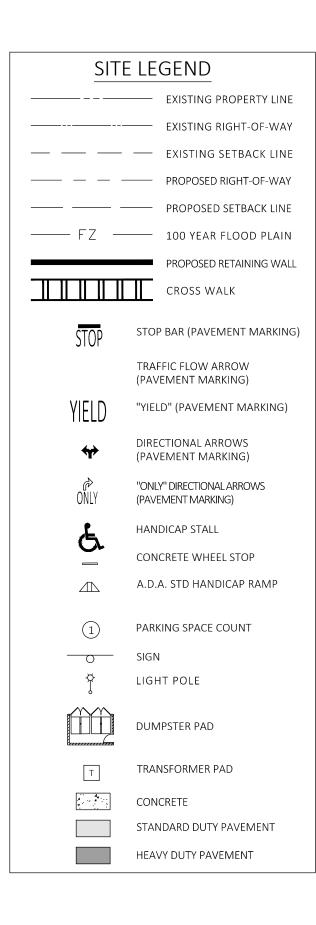
Applicant: <u>Biju Eappen (Sapient Minds LLC)</u> Date <u>08/19/2024</u>

2006 Heritage Walk Milton, GA 30004 P: 678.242.2500 | F: 678.242.2499 info@cityofmiltonga.us | www.cityofmiltonga.us





GENERAL SITE NOTES ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL INTERIOR CURB RADII TO BE 5' UNLESS OTHERWISE NOTED. PARKING LOT AND ROAD STRIPING SHALL BE IN ACCORDANCE WITH GDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE. TOPOGRAPHIC SURVEY BY LANDPRO, DATED XXXXXX 20XX. FLOODPLAIN IS PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 13121C0470F, DATED 9/18/2013. OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING. ALL NEW ASPHALT AND OR PAVEMENT SHALL MEET THE GEOTECHNICAL REPORT RECOMMENDATION. REPORT PREPARED BY XXXXXX DATED XX/XX/2020 . TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. ALL BARRICADES AND SIGNS SHALL BE FURNISHED AND USED BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL/STATE AND CURRENT SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGN, TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDINGS. 16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC., GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.





MILTON MONTESSORI 3505 BETHANY BEND MILTON, GA 30004 PHONE: ###-####	24 HOUR CONTACT: MILTON MONTESSORI: 770-664-2869
PREPARED BY:	990 HAMMOND DRIVE, SUITE 900 ATLANTA, GA 30328 770.857.8400
COPYRIGHT ©2023 B COPYRIGHT ©2023 B LLC. ALL RIGHTS RESEF DOCUMENT IS THE PR ENGINEERS, LLC AND I FOR THE PROJECT SPE NOT TO BE USED ON C EXTENSIONS TO THIS F WHOLE OR IN PART, B EXPRESSED WRITTEN, LOWE ENGINEERS, LLC THIS MEDIA SHOULD I CONSIDERED A CERTIF UNLESS IT IS PROPERL' SEALED CONSTRUCTION SITE S RESPONSIBILITY OF TH NEITHER THE OWNER SHALL BE EXPECTED T RESPONSIBILITY FOR S WORK, OF PERSONS E WORK, OF ANY NEARE ANY OTHER PERSON	FOR UCTION UCTION VED. THIS OPERTY OF LOWE STO BE USED ONLY CIFIED HEREIN. IT IS THER PROJECTS OR PROJECT, IN XCEPT BY AGREEMENT WITH WOT BE IED DOCUMENT Y SIGNED AND AFETY IS THE SOLE E CONTRACTOR; NOR THE ENGINEER O ASSUME ANY AFFTY OF THF
	ZONING: ZONING LAND LOT: LAND LOT TAX DISTRICT: DISTRICT TAX PARCEL ID: 21 547009720240 / 21 547009720158
NOILINON VOING KWON PROJECT MAN YOUNG KWON PROJECT #:	40' 60' 40' 60' 1" = 40' 06/05/2024 JK BA IAGER:



ABV

A.C

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<u>TENANT</u>

CONTACT PERSON: E-MAIL: <u>ARCHITECT</u> **ORIGINATION DESIGN, LLC** 3225 Shallowford Rd. suite 920 Marietta, GA 30062 404-542-0838 info@originationdesign.com

www.originationdesign.com

www.originationdesign.com

THE DRAWINGS.

MECHANICAL, ELECTRICAL, PLUMBING ORIGINATION DESIGN, LLC 3225 Shallowford Rd. suite 920 Marietta, GA 30062 404-542-0838 info@originationdesign.com

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF ORIGINATION DESIGN, LLC. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY HIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. ORIGINATION DESIGN, LLC. ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION

ISSUE DATE, AND DATE OF FINAL REVISION FOR

			···
	(NOT ALL ABBREVIATIONS MAY BE US	SED IN THIS DO	CUMENT)
	ANCHOR BOLT ABOVE ASPHALTIC CONCRETE	L LAM. LAV.	ANGLE LAMINATED LAVATORY
	ALUM. COMPOSITE METAL PANEL LB(ACOUSTIC CEILING PANEL	S). or# POUN LG.	D(S) LONG
	ABOVE FINISH FLOOR ALUMINUM ABRASIVE QUARRY TILE ARCHITECT OF RECORD ARCHITECTURAL	LT. MAT'L. MAX./MIN. M.B.	LIGHT MATERIAL MAXIMUM/ MACHINE B
	BOARD BLOCKING BOUNDARY NAIL BEAM	MEZZ. MISC. M.0. M.P.S.	MEZZANINE MISCELLAN MASONRY MODULAR I SYSTEM
	BOTTOM OF CEILING BOTTOM OF JOIST BUILT-UP ROOFING BOTT. or (B) BOTTOM	M.S.B. MTD. MTL.	MAIN SWITO MOUNTED METAL
	CONDUIT CENTER LINE CABINET CEMENTITIOUS BACKER BOARD NOM	ŇÁ OR N/A N.I.C.	NEW NOT APPLIC NOT IN COM
	CORE DRILL CERAMIC CONTROL JOINT (COLD JOINT)	NO. or# N.T.S.	NUMBER/N NOT TO SC
	CEILING CAULKING	0.C. 0.F.C.I.	ON CENTER OWNER FU CONTRACT
	CLEAR CONCRETE MASONRY UNIT COLUMN	OFD. 0.F.0.1.	OVERFLOW OWNER FU OWNER INS
IT.	CONCRETE CONNECTION CONSTRUCTION CONSTRUCTION JOINT	O.D. OPN'G. OPP. PART'N	OUTSIDE D OPENING OPPOSITE PARTITION
	CONTINUOUS CONTRACTOR COMPACTED/ COMPACTION CERAMIC TILE	P. LAM PL. P.L. or It	PLASTIC LA PARALLAM PLATE PROPERTY
	DOUBLE DEGREE DETAIL DIAMETER DIAGONAL DIMENSION	PLAS. PLBG. PLYWD. P.O.C. PR. PSF PSI	PLASTER PLUMBING PLYWOOD POINT OF C PAIR POUNDS PE POUNDS PE
	DOWNSPOUT DRAWING(S) EXISTING	P.T.	PRESSURE
	EACH ELECTRICAL CONTRACTOR	Q.T. RAD. OR (R)	QUARRY TI RADIUS
	ELECTRICAL ELEVATION EDGE NAIL EDGE OF COUNTER/ EQUIPMENT REII	RCP R.D. REF.	REFLECTEI ROOF DRAI REFERENC
	EQUAL EXISTING RELOCATED EXPANSION EXTERIOR	REV. RQMTS. S.C. SCHED. SHT.	REVERSE REQUIREM SOLID COR SCHEDULE SHEET
	FACTORY FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISHED FLOOR FINISHED FLOOR LEVEL FURNITURE, FIXTURES & EQUIPMENT	SHT'G SIM. SM SMS SPEC.(S) SQ. SQ. IN./ FT. S.S.	SHEATHING SIMILAR SHEET MET SHEET MET SPECIFICA SQUARE SQUARE IN STAINLESS
	FLOAT GLASS FLOOR FINISH FACE OF FINISH FACE OF MASONRY	STD. STL. STOR. STRUCT. SUSP. SYM.	STANDARD STEEL STORAGE STRUCTUR SUSPENDE SYMMETRIC
	FACE OF STUD FIRE RETARDANT FIBERGLASS REINFORCED PANEL TEI FOOT /FEET FOOTING FIELD VERIFY		

DN	S
S DOCU	MENT)
LA	NGLE MINATED WATORY
OUND(S	3)
	DNG GHT
Mi Mi Mi Mi Mi S Mi Mi	ATERIAL AXIMUM/ MINIMUM ACHINE BOLT EZZANINE ISCELLANEOUS ASONRY OPENING ODULAR PANELBOARD /STEM AIN SWITCH BOARD OUNTED ETAL

NEW NOT APPLICABLE NOT IN CONTRACT NUMBER NUMBER/NOMINAL

NOT TO SCALE ON CENTER OWNER FURNISHED CONTRACTOR INSTALLED OVERFLOW DRAIN **OWNER FURNISHED OWNER INSTALLED** OUTSIDE DIAMETEF OPENING

OPPOSITE PARTITION PLASTIC LAMINATE OR PARALLAM (BEAM) PLATE PROPERTY LINE PLASTER PLUMBING

PLYWOOD POINT OF CONNECTION PAIR POUNDS PER SQ. FOOT POUNDS PER SQ. INCH PRESSURE TREATED

QUARRY TILE RADIUS REFLECTED CEILING PLAN ROOF DRAIN REFERENCE

REVERSE REQUIREMENTS SOLID CORE SCHEDULE SHEET SHEATHING SIMILAR SHEET METAL SHEET METAL SCREW SPECIFICATION(S) SQUARE SQUARE INCH/FOOT STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED

SYMMETRICAL

DRAWINGS AND SPECIFICATIONS.

5.CONTRACTOR IS RESPONSIBLE FOR THE MORE COSTLY RESOLUTION ON ALL ONFLICTING INFORMATION PRESENTED ON THE PLANS, OR BETWEEN THE EXISTING CONDITIONS AND THE PLANS. 6.IF A CONFLICT OCCURS BETWEEN THE DESIGN DRAWINGS AND SPECIFICATIONS, PROMPTLY NOTIFY THE ARCHITECT IN WRITING. AT THAT POINT, A WRITTEN INTERPRETATION WILL BE MADE BY THE ARCHITECT AND SAID DECISION SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.

THIS ARCHITECT WILL NOT HAVE CONTROL OF, AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE, NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.

PHASE OF THIS PROJECT.

CABINETS.

APPROPRIATE N.E.M.A. OR OTHER INDUSTRY STANDARDS. 1. LAYOUT ALL PARTITIONS AND CABINETS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS AND CABINETS WILL BE INSTALLED AS NOTED ON THE DRAWINGS. IF APPLICABLE, GENERAL CONTRACTOR MUST OBTAIN RESOLUTION FROM ARCHITECT FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF WALL PARTITIONS AND

12. EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR HIS SUPPLIED MATERIALS. 13. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND /OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY ISCREPANCIES, CONTACT THE ARCHITECT FOR WRITTEN AND/ OR GRAPHIC DIRECTION PRIOR TO PROCEEDING

WITH THAT WORK. 14. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY THE ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TYPICALLY TAKES PRECEDENCE OVER SMALLER SCALE DRAWINGS VERIFY WITH ARCHITECT. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.

OR INSTALLED ITEMS.

BECOME DAMAGED.

1. ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE

2.MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE INCLUDED IN, AND NOT SUPPLEMENTARY TO, THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND OTHER DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR FOR WRITTEN AND GRAPHIC CLARIFICATION. 3. THE CONTRACTOR SHALL FOCUS SPECIAL ATTENTION ON A FIELD REVIEW OF THE EXISTING SITE PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT ARE FOUND TO BE INCONSISTENT WITH THESE DOCUMENTS OR WHERE THE INTENT IS IN DOUBT SHOULD BE

BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMITTAL. CONTRACTOR SHALL NOT RELY UPON ORAL COMMUNICATIONS; ALL COMMUNICATIONS MUST BE IN WRITTEN OR GRAPHIC FORMAT. 4.REVISIONS TO WORK OR PLANS MUST BE APPROVED BY THE CITY AND/ OR LOCAL JURISDICTION'S INSPECTION SERVICES PRIOR TO IMPLEMENTATION. ANY ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT. NO AL TERA TIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY USING PREDETERMINED ARCHITECT SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVES.

8.ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/ OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS, I.E.; STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION

9.WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE AND AVOID OMISSIONS. 10.UNLESS NOTED OTHERWISE, ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET

15. PROVIDE SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED

16. WEATHER CONDITIONS: CONTRACTOR(S) WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT ANY PORTION OF THE WORK WHICH MAY HAVE

17. SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED O.S.H.A. STANDARDS FOR THE PROTECTION AND SAIFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT WILL BE HELD HARMLESS BY GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRE I ACTUAL/ POST CONSTRUCTION PHASES OF THIS PROJECT.

18. CONTRACTORS WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG W/ A BROOM/ VACUUM FINISH AT THE END OF EACH WORKING DAY. 19. TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS TYPICALLY.

20. PAINT ALL WALL SURFACES. DOOR FRAMES. BULKHEADS AND CEILINGS IN ROOMS WHERE INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVEABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS. ALL NEW PAINTING SHALL INCLUDE (1) ONE COAT PRIMER AND (2) TWO COATS OF PAINT (UNLESS NOTED OTHERWISE).

21. ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.

ELEVATION IDENTIFICATION - ELEVATION DESIGNATION SHEET REFERENCE NO. PARTIAL SECTION IDENTIFICATION – SECTION DESIGNATION XX AXXX - SHEET REFERENCE NO. INTERIOR ELEVATION IDENTIFICATION ELEVATION DESIGNATION DETAIL DESIGNATION SHEET REFERENCE NO. GRID LINE IDENTIFICATION GRID LINE FACE OF STUD FACE OF MASONRY CENTER LINE OF COLUMN (A) F.O.M.⁺ CEILING IDENTIFICATION ACT-1 - MATERIAL DESIGNATION (AP-1) GRAPHIC NAME +10'-01 🔶 - HEIGHT REFERENCE NOTE ROOM IDENTIFICATION ROOM

— ROOM NAME 01 🕂 CPT-1 MATERIAL FINISH

SECTION DETAIL IDENTIFICATION - DETAIL DESIGNATION SHEET REFERENCE NO. ELEVATION REFERENCE IDENTIFICATION SECTION / ELEVATION / FINISH FLOOR FLOOR DATUM PROJECT REFERENCE NORTH ARROW \bigcirc PROJECT SYMBOL IDENTIFICATION (D01) DOOR NUMBER (101) WINDOW NUMBER

ENLARGED DETAIL IDENTIFICATION

✓ DETAIL DESIGNATION

SHEET REFERENCE NO.

P-2 MATERIAL NAME I FINISH NAME \langle W-1 \rangle WALL TYPE F-01 FIXTURE/ EQUIPMENT TYPE FDXSCXX-1 PROJECT ANNOTATION IDENTIFICATION 2 B REVISION / ADDENDUM NUMBER

23 KEYNOTE NUMBER

DEFERRED SUBMITTAL

- PLANS FOR FIRE SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER SEPARATE PERMITS WHEN APPLICABLE.
- CONTRACTOR TO SUBMIT TO THE FIRE DEPARTMENT FIRE SPRINKLER SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
- ALL BUILDING AND SITE SIGNAGE TO BE UNDER SEPARATE REVIEW AND APPROVAL
- 4. ALL SITE WORK TO BE UNDER A SEPARATE REVIEW AND APPROVAL.

Р	ROJECT I	NFO	RMATIC	DN		
PROF	POSED USE	PROPO	SED NEW CONSTRU	JCTION FOR A DAYCA	RE	
CODES CONST	ACTOR SHALL BE RESPO OR STATUS WHETHER O RUCTION DOCUMENTS ABLE CODES:					QUE
BUILDING: 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS (2014) (2015) (2017)(2018) CC PLUMBING: 2018 INTERNATIONAL PLUMBING CODE WITH GEORGIA AMENDMENTS (2014)(2015) CC ELECTRICAL: 2018 INTERNATIONAL ELECTRICAL CODE WITH NO GEORGIA AMNENDMENTS CC MECHANICAL: 2018INTERNATIONAL MECHANICAL CODE WITH GEORGIA AMENDMENTS (2014)(2015) CC SAFETY: 2018 INTERNATIONAL MECHANICAL CODE WITH GEORGIA AMENDMENTS (2014)(2015) CC SAFETY: 2018 INTERNATIONAL FIRE CODE WITH GEORGIA AMENDMENTS (2013) GE FIRE: 2018 INTERNATIONAL FIRE CODE WITH GEORGIA AMENDMENTS (2014) CC GAS: 2018 INTERNATIONAL FUEL AND GAS CODE WITH 2012 GEORGIA AMENDMENTS (2014) CC GAS: 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA AMENDMENTS (2014)(2015) CC ENERGY: 2008 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA AMENDMENTS (2011)(2012) AF ACCESSIBILITY: 2010 AMERICANS WITH DISABILITIES ACT C. C. O.C.G.A. SECTION 120-3-20 (.0108); CHAPTER 30-3-7(g) ACCESS AND USE OF DUBLIC EACULITIES BX HANDIC ADEPED DEDSONS CC					SHEI COVER CS-1 GENER GN-1 GN-1 ARCHI S10 ARCHI A30	
GEORGI	Y PLANS ARE INTENDED TO A ACCESSIBILITY CODE (BIBLE DESIGN					A30 A40 A50 A50 A60 A60
CODE COMPL						A60
	JS OCCUPANCY GROUP:					A10
	ANCY GROUP: RUCTION TYPE:	E V-B	DAYCARE SPRINKLERED			A10 A10
BUILDING SUN		V D				A10 A20 A20
TENANT FLC	OOR AREA:	24,0	000 S.F.			A20
TOTAL BUILI	DING HEIGHT	,)"(2- STORIES)			
OCCUPANT LO	DAD UPANT LOAD:	584	PERSONS			
PARKING SUM SITE AND PA		(EXI	STING REMAIN UN	CHANGED)		
	KE	YMA	١P			[
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	THIS MAP IS REFI	MERRED FRC	BETHANY BE			TI E C

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SHEET	SHEET TITLE	Sheet Issue Date
_		•
COVER		
CS-100	COVER SHEET	07/04/24
GENERAL		
GN-100	GENERAL CONSTRUCTION NOTES	06/13/24
GN-101	ADA ACCESSIBILITY STANDARDS	06/11/24
ARCHITEC	TURAL	
S100	ARCHITECTURAL SITE PLAN	07/04/24
ARCHITEC	TURAL	
A300	RENDRED ELEVATIONS - PHASE ONE	08/27/24
A301	RENDRED ELEVATIONS - PHASE ONE	08/27/24
A400	3D EXTERIOR SHOTS - PHASE ONE	08/27/24
A500	RENDRED ELEVATIONS - PHASE ONE & TWO	08/27/24
A501	RENDRED ELEVATIONS - PHASE ONE & TWO	08/27/24
A600	3D EXTERIOR SHOTS - PHASE ONE & TWO	08/27/24
A601	3D EXTERIOR SHOT	08/27/24
A602	EXTERIOR MATERIALS	08/25/24
A100	BASEMENT FLOOR PLAN	08/01/24
A101	PROPOSED FIRST FLOOR PLAN	08/01/24
A102	PROPOSED SECOND FLOOR PLAN	08/01/24
A103	ROOF PLAN	08/01/24
A106	BUILDING SECTIONS	06/11/24
A200	PROPOSED BASEMENT FLOOR RCP	08/22/24
A201	PROPOSED FIRST FLOOR RCP	08/01/24
A202	PROPOSED SECOND FLOOR RCP	08/01/24

DESCRIPTIVE SUMMARY OF WORK

PROVIDE NEW CONSTRUCTION FOR A DAYCARE. HE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. EQUIPMENT ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. EQUIPMENT ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

EXTERIOR

 NEW EXTERIOR WALLS NEW EXTERIOR FINISHES

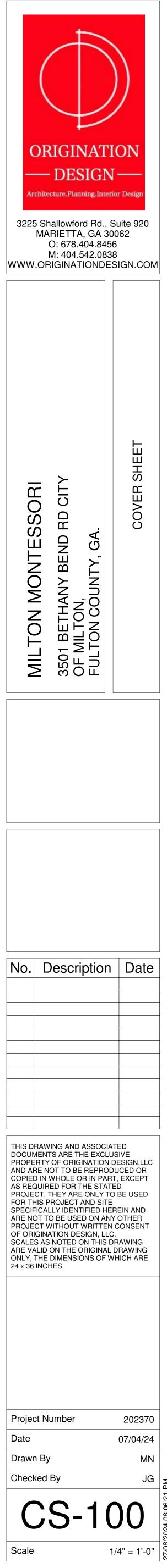
INTERIOR

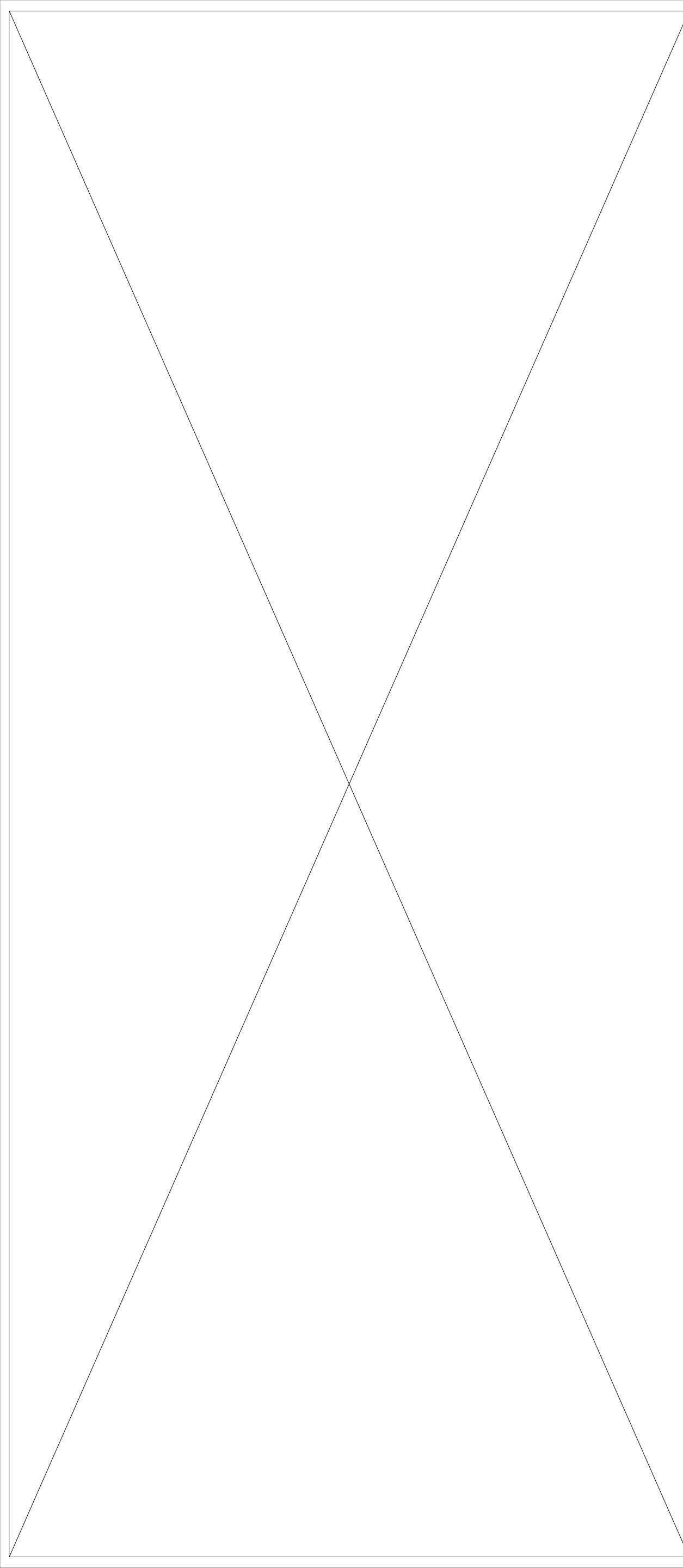
NEW INTERIOR PARTITION WALLS NEW LIGHTING FIXTURES

NEW EQUIPMENT NEW INTERIOR FINISHES NEW ELECTRICAL OUTLETS

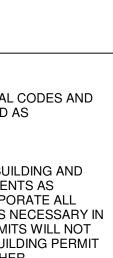
NEW RESTROOM FIXTURES







GENERAL RESPONSIBILITIES	FINISHES NOTES	GENERAL NOTES	GENERAL NOTES
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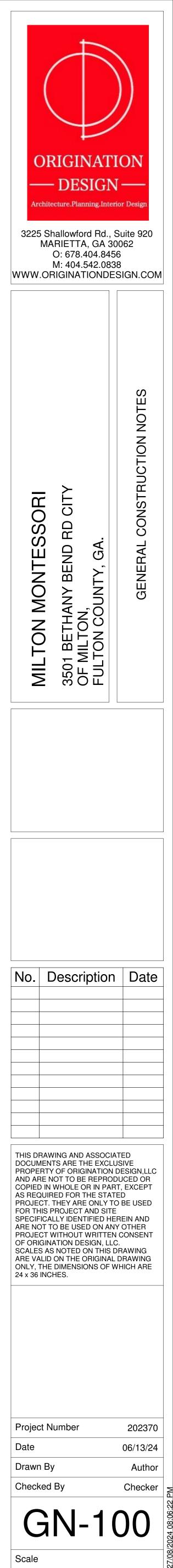
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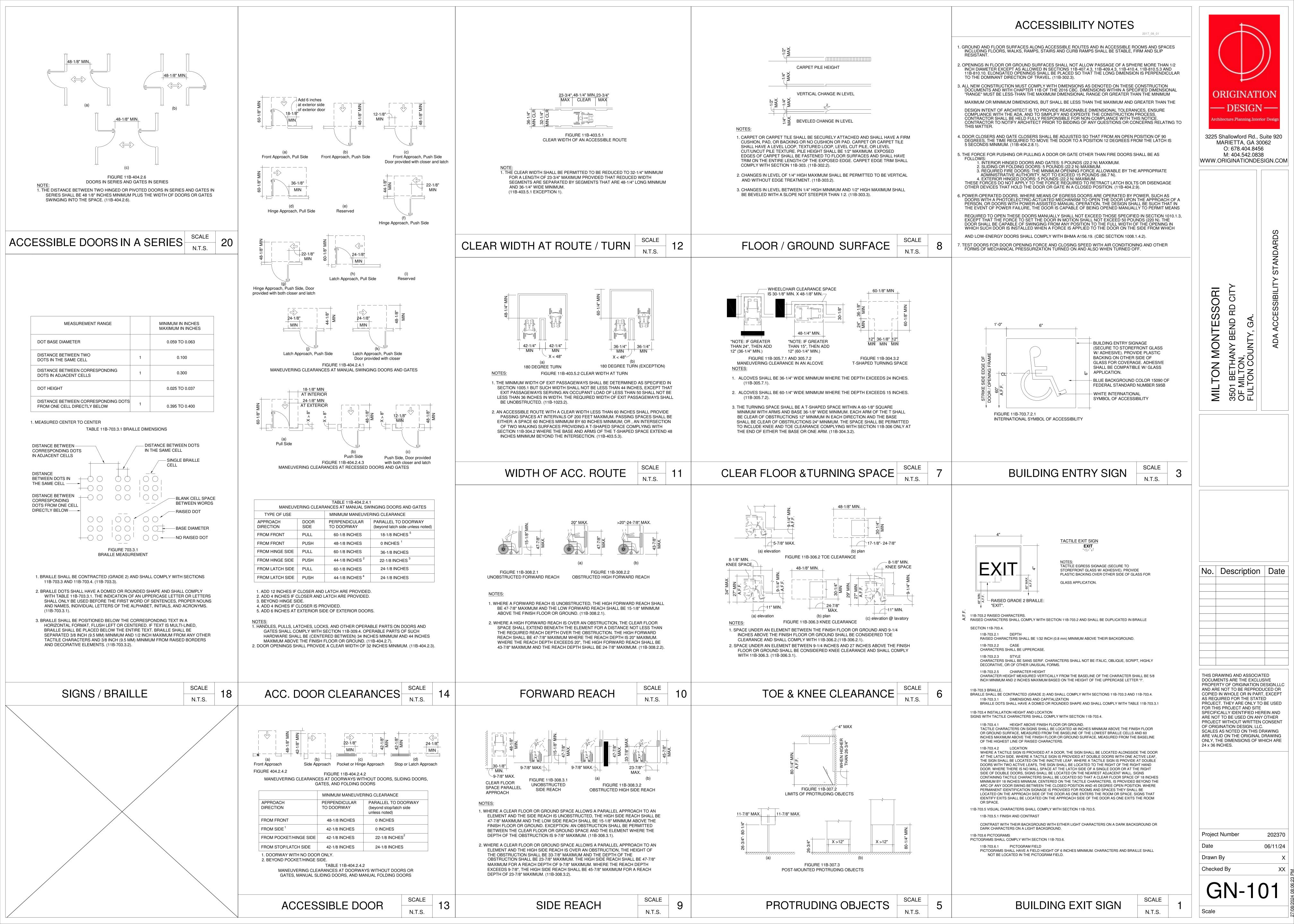
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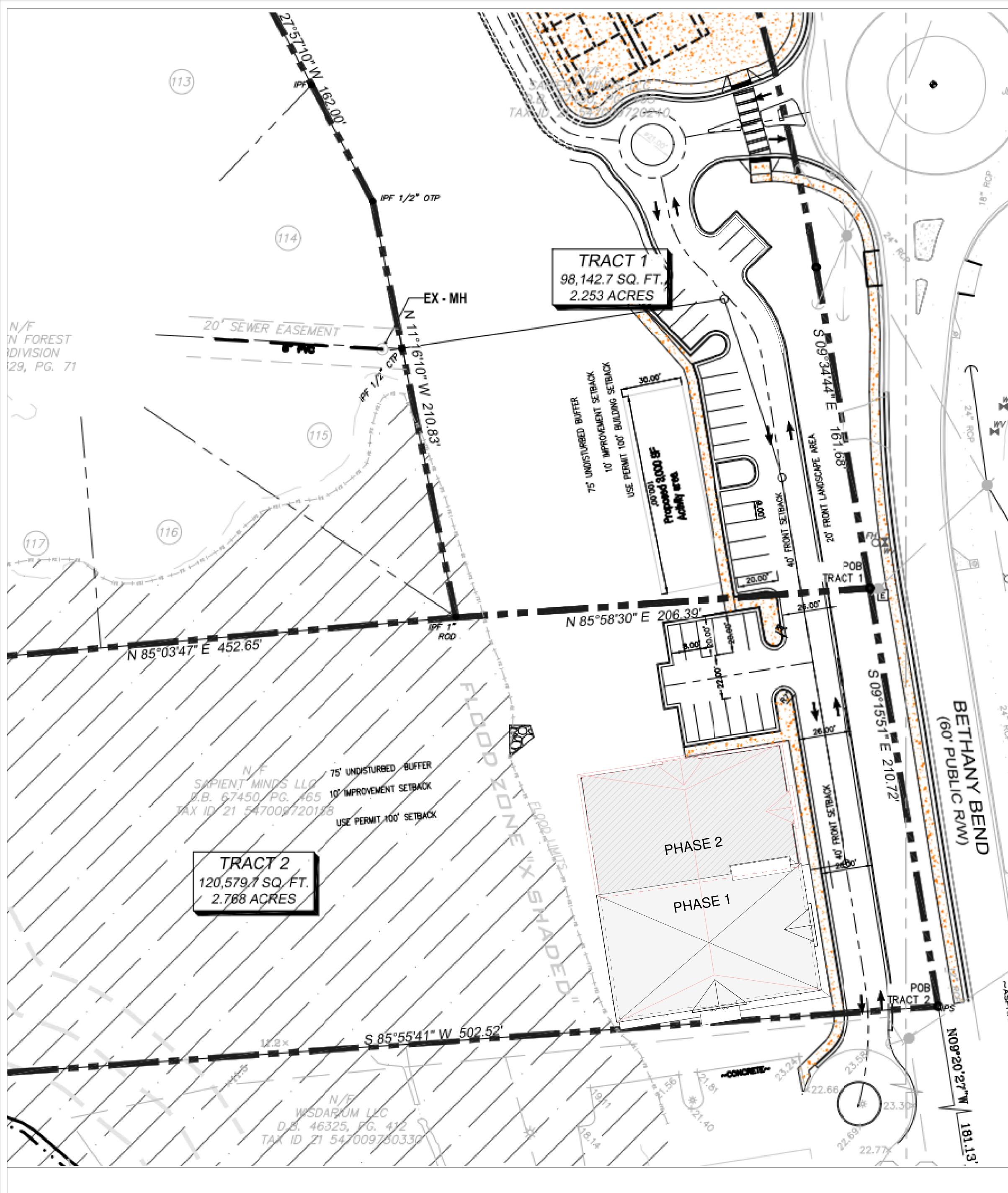
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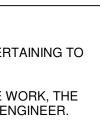
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	GENERA	L NOTES
	 REFER TO CIVIL ENGINEERING DRAWINGS FOR DRAINAGE DESIGN, CURB CUTS, PAVING, AN CONTRACTOR SHALL COORDINATE, PRIOR T FINISH FLOOR ELEVATION WITH THE CIVIL EN SEE STRUCTURAL ENGINEERING DRAWINGS CONCRETE AND COLUMN. COORDINATE EXTERIOR UTILITY LOCATIONS COMPANIES PRIOR TO COMMENCEMENT OF G.C. TO FOLLOW THE MINIMUM REQUIREMENT WALL UNO PER CIVIL DRAWINGS AND SOIL R GENERAL CONTRACTOR TO PROVIDE PAINTI AND SYMBOLS IN ACCORDANCE WITH SPECIENT ALL ACCESSIBLE ROUTES SHALL COMPLY W ALL EXTERIOR SIGNAGE SHALL BE AS DIRECT THESE CONSTRUCTION DOCUMENTS) AND IN LOCAL CODES. GENERAL CONTRACTOR TO TO SIGNAGE & FOUNDATION ARE O.F.O.I. 	ID PARKING LOT DIMENSIONS. TO THE COMMENCEMENT OF SITE WO NGINEER AND THE STRUCTURAL ENG & FOR INFORMATION CONCERNING ST & W/ CIVIL ENGINEERING DWGS & WIT & CONSTRUCTION. NTS FOR PAVEMENT DESIGN RECOMI REPORT. ED STRIPING, WORDING, DIRECTIONA IFICATIONS, NATIONAL AND LOCAL CO TTH ADA GUIDELINES. TED BY OWNER (EXCEPT AS DETAILE N COMPLIANCE WITH ADA GUIDELINE
	 9. GENERAL CONTRACTOR TO ENSURE GAS MI REQUIRED BY LOCAL UTILITY JURISDICTION 10. ALL ROOF DRAINS TO TIE INTO STORM DRAIN 11. EACH ACCESSIBLE PARKING SHALL BE POST INTERNATIONAL SYMBOL OF ACCESSIBILITY PERMIT ONLY" AND ANY OTHER INFORMATIC 12. ALL SIDEWALKS TO BE MIN.5'-0" IN WIDTH UN 13. DETECTABLE WARNINGS ARE REQUIRED WH WAY AND ARE NOT SEPARATED BY A CURBS 14. PARKING SHALL BE SLOPED A MINIMUM OF 2 PERMITTED AT ACCESSIBLE PARKING SPACE ALL DIRECTIONS. 	& CODE REQUIREMENTS. NAGE SYSTEM (SEE CIVIL). TED W/ PERMANENT SIGN BEARING T AND THE CAPTION "PARKING BY DISA ON THAT MAY BE REQUIRED LOCALLY ILESS NOTED. HERE WALKS CROSS OR ADJOIN A VE OR OTHER ELEMENT. 2% FOR SITE DRAINAGE. THE MAXIMU
	KEYN	OTES
	1 TRASH/RECYCLE ENCLOSURI 2 PROVIDE 1" PVC ELECTRICAL BUILDING TO J-BOX INSIDE EN ENCLOSURE .(BIB MAY BE ON WITHIN 25' FROM ENCLOSURI 3 ASPHALT OR CONC. PAVING 3 PROVIDE POSITIVE DRAINAGE 4 ACCESSIBLE PARKING SPACE & ACCESS AISLES MUST MEE REQUIREMENTS - PROVIDE S SIZE, QUANTITY & LOCATIONS APPLICABLE CODES AS DETE PROVIDE A MAXIMUM SLOPE RECOMMENDED, REFER TO DO BECORATIVE PAVING AT THE 7 5 PAINTED PARKING STRIPE ON DECORATIVE PAVING AT THE 7	CONDUIT WITH PULL STRIN NCLOSURE .PROVIDE HOSE I BUILDING WHERE HOSE BIE E) SHALL COMPLY W/ LOCAL RE E AWAY FROM BLDG ES, SIGNAGE, LOGOS,WHEEI T ALL ACCESSIBILITY PACES IN S REQ'D BY ACCESSIBILITY PACES IN S REQ'D BY ACCESSIBILITY A ERMINED BY LOCAL JURISDIC OF EITHER DIRECTION OF 1: HADG FOR FURTHER INFORM N PAVEMENT SURFACE, TYP E DROP-OFF / BUILDING ENTF
ARCHITECTURAL SITE PLAN 01	ACTUAL BUILDING AREA k 1st Floor 2nd Floor	6,000 SF 6,000 SF
ARCHITECTURAL SITE PLAN	TOTAL FLOOR AREA	12,000 SF



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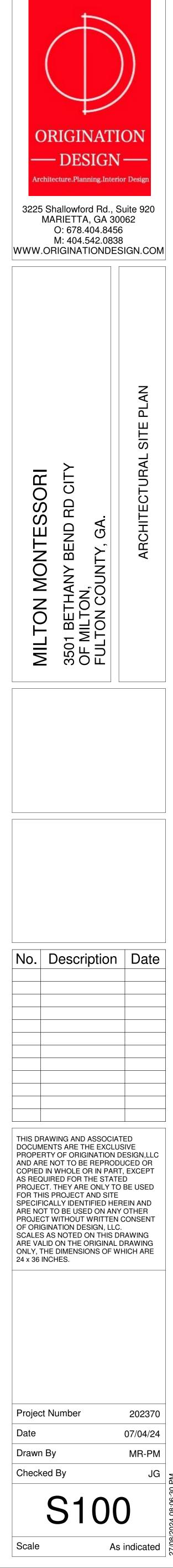
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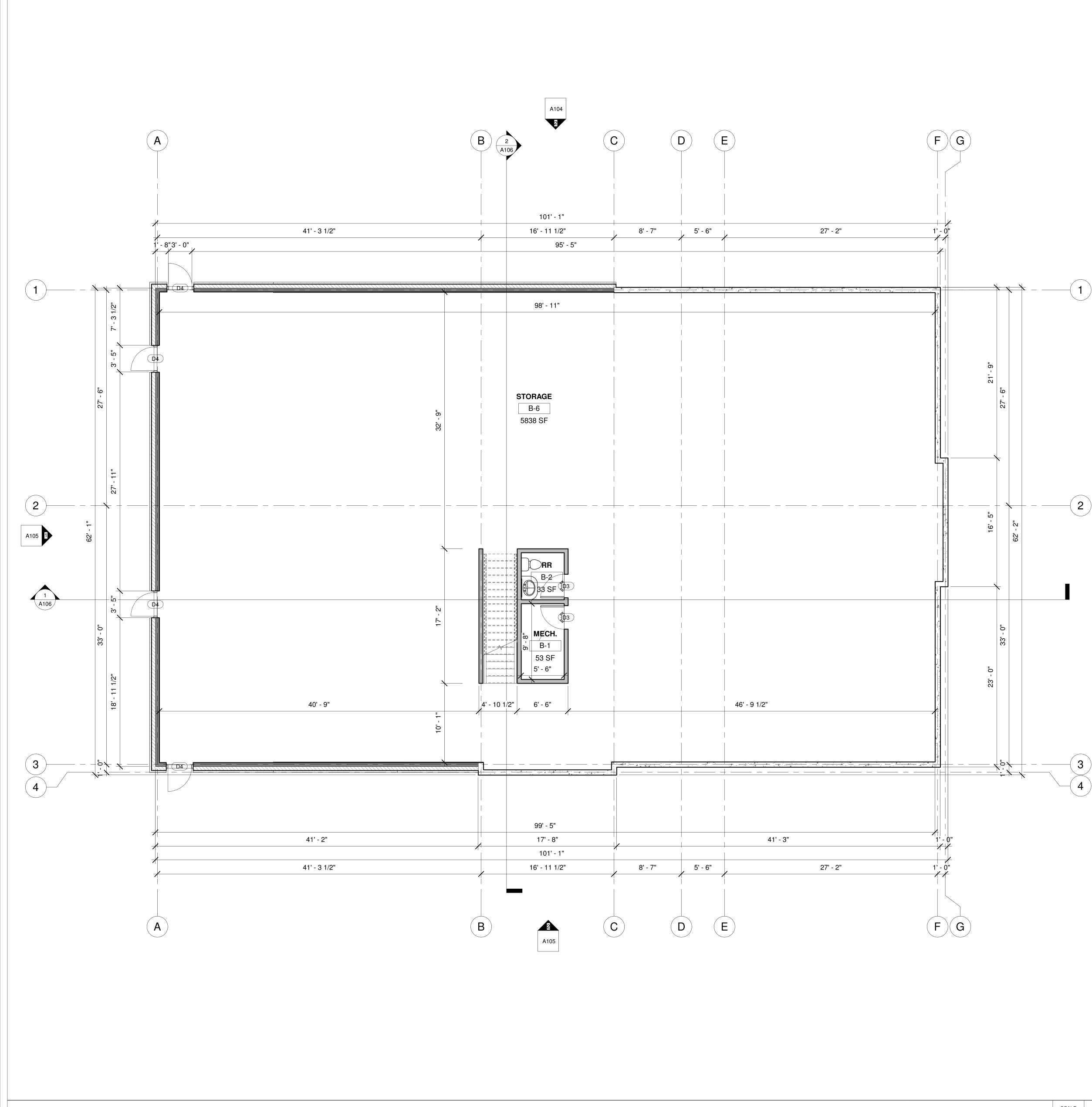
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		LEGEND	GENERAL NOTES		
	MORE INFORMATION 4" INTERIOR WOOD S FOR MORE INFORMA 4" INTERIOR WOOD S 6" INTERIOR WOOD S 6" EXTERIOR METAL S MORE INFORMATION 8" INTERIOR WOOD S	TUD LOW WALL, SEE STRUCTURAL DRAWINGS TION. TUD WALL TO 1'-0" ABOVE CEILING, U.N.O. TUD WALL TO 1'-0" ABOVE CEILING, U.N.O. STUD WALL. SEE STRUCTURAL DRAWINGS FOR TUD WALL TO 1'-0" ABOVE CEILING, U.N.O.	 CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMME CONSTRUCTION. OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCT OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRU ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O. ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA IN COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SC AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/FEDERAL LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES & THE AMERIC DISABILITIES ACT OF 2010 (ADAAG). REPORT ANY DISCREPANCIES TO TH ARCHITECT BEFORE PROCEEDING WITH WORK. PROVIDE WALL BACKING FOR REINFORCEMENT AS REQUIRED. 		
 ALL STUD W STRUCTURA ALL INTERIC BRACED TO SEE RCP FC 	AL DRAWINGS. OR WALLS AT EXPOSED STRUCTURE ABOVE. OR MOR INFORMATION.	ED AT 16" O.C. MAX., COORDINATE WITH CEILING TO EXTEND TO DECK OR MUST BE	 CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES V PARTITION. TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFOR COMMENCING FRAMING. PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND C FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTI CEILING MOUNTED EQUIPMENT. ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR F PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMET WHEREVER POSSIBLE. ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON C BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY 		
Number	NAME	ASCHEDULE	12. PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DET		
3-1	PROPOSED BASEMENT	53 SF			
3-2 3-6	RR STORAGE	33 SF 5838 SF 5924 SF	EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHA		
IST FLOOR	RECEPTION	359 SF			
-15 -6 -8	CLASSROOM CLASSROOM CLASSROOM	1301 SF 723 SF 1278 SF	AREAS OF GYP. BD. (TYP).		
-12 -11	CLASSROOM ADA RR	1246 SF 73 SF	CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELI GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PAI		
-2 -9 -3	OFFICE RR ELEC.	121 SF 33 SF 52 SF	18. FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPA		
5 7 4 5	RR PRINTING	37 SF 37 SF	19. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERG		
k) 7	LAUNDRY RR RR	51 SF 33 SF 33 SF	20. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN		
	RR RR RR RR	33 SF 33 SF	21. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT D JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.		
	RR CORRIDOR STORAGE	33 SF 302 SF 57 SF	22. REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQ'S.		
FLOOR		5835 SF	23. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINIS 24. ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.		
	CLASSROOM CLASSROOM	1400 SF 1430 SF	PLUMBING AND WATER LINES AT TOILET STACKS AND VANITIES WHEN		
	RR CLASSROOM RR	40 SF 1617 SF 30 SF	26. HATCHES ARE FOR REPRESENTATIONAL PURPOSES ONLY, THEY DO NO		
 2)	RR RR	30 SF 30 SF	CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COM CONSTRUCTION.		
	RR ADA RR RR	30 SF 61 SF 40 SF	EQUIPMENT SUPPLIED PRIOR TO CONSTRUCTION.		
	CORRIDOR CLASSROOM ADA RR	347 SF 722 SF 26 SF	28. FOR SIZE & SPACING OF WOOD STUDS. REFER TO STRUCTURAL DWGS, NOTES. PROVIDE SPACING PER STRUCTURAL DRAWINGS.		
			32. A FIRE DEPARTMENT SIAMESE CONNECTION SHALL BE PROVIDED IN A L APPROVED BY THE FIRE PREVENTION DEPARTMENT WITHIN 150 FEET O		
			 FIRE HYDRANT. 33. G.C. TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WI BEFORE PROCEEDING WITH WORK. 34. FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PER TO INSTALLATION. 35. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DE'L LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS W/IN TH SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS. 36. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYS PRIOR TO INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, W NATIONAL STATE & LOCAL CODES. 37. FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELEC'D RAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY. 38. DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIE ACCORDANCE WITH NFPA 101, ECTION 28.3.4 39. ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROC CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES. 40. ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED S IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION V FIRE MARSHAL DEPARTMENT. 		



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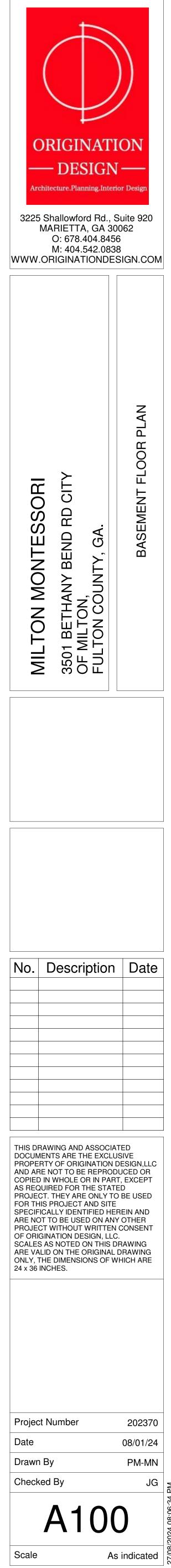
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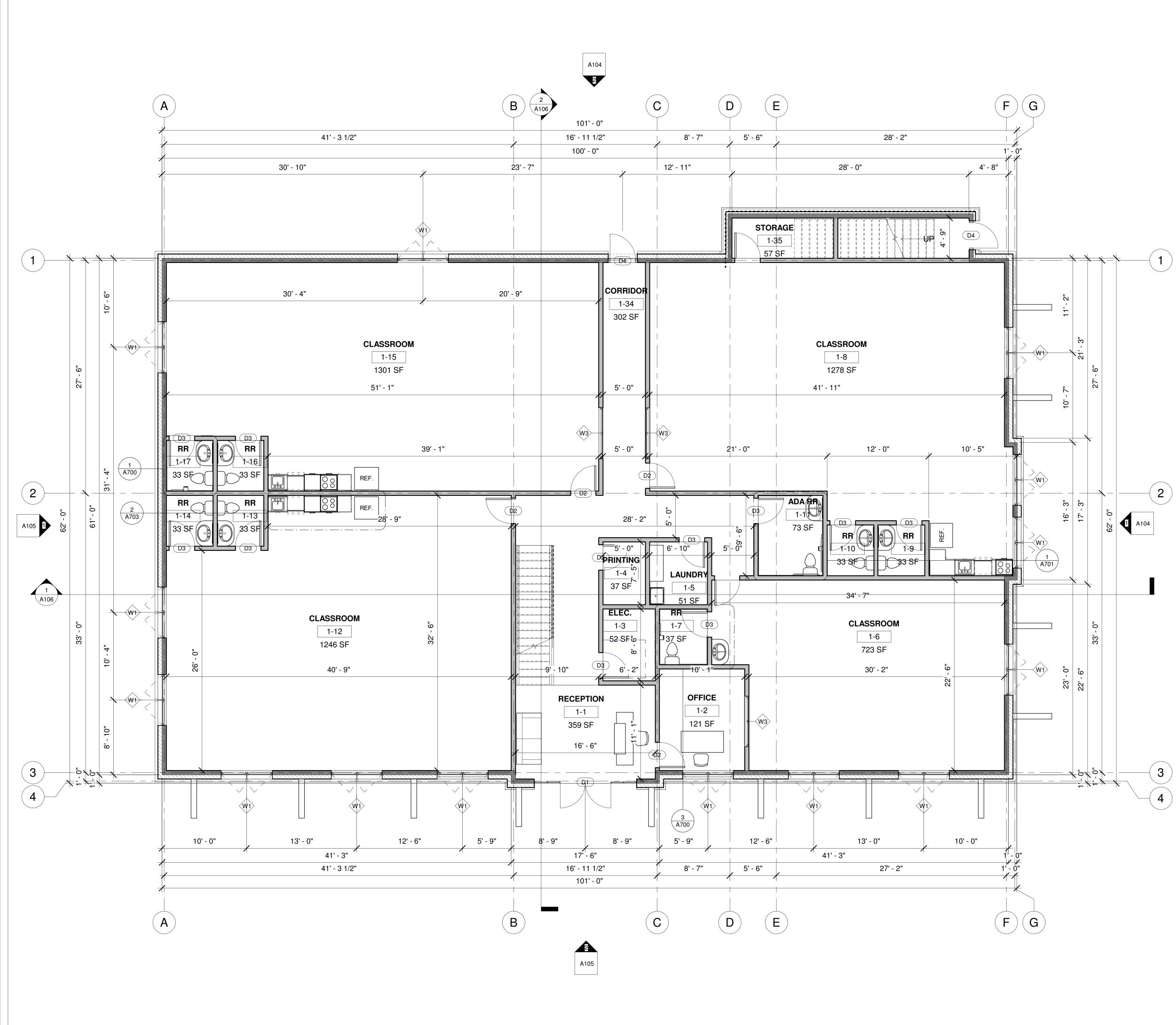
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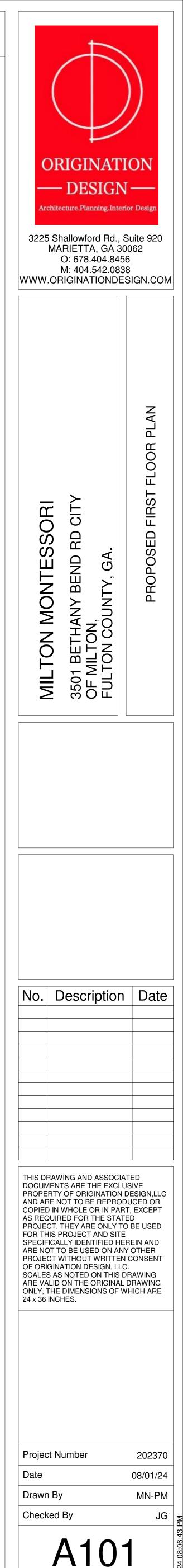






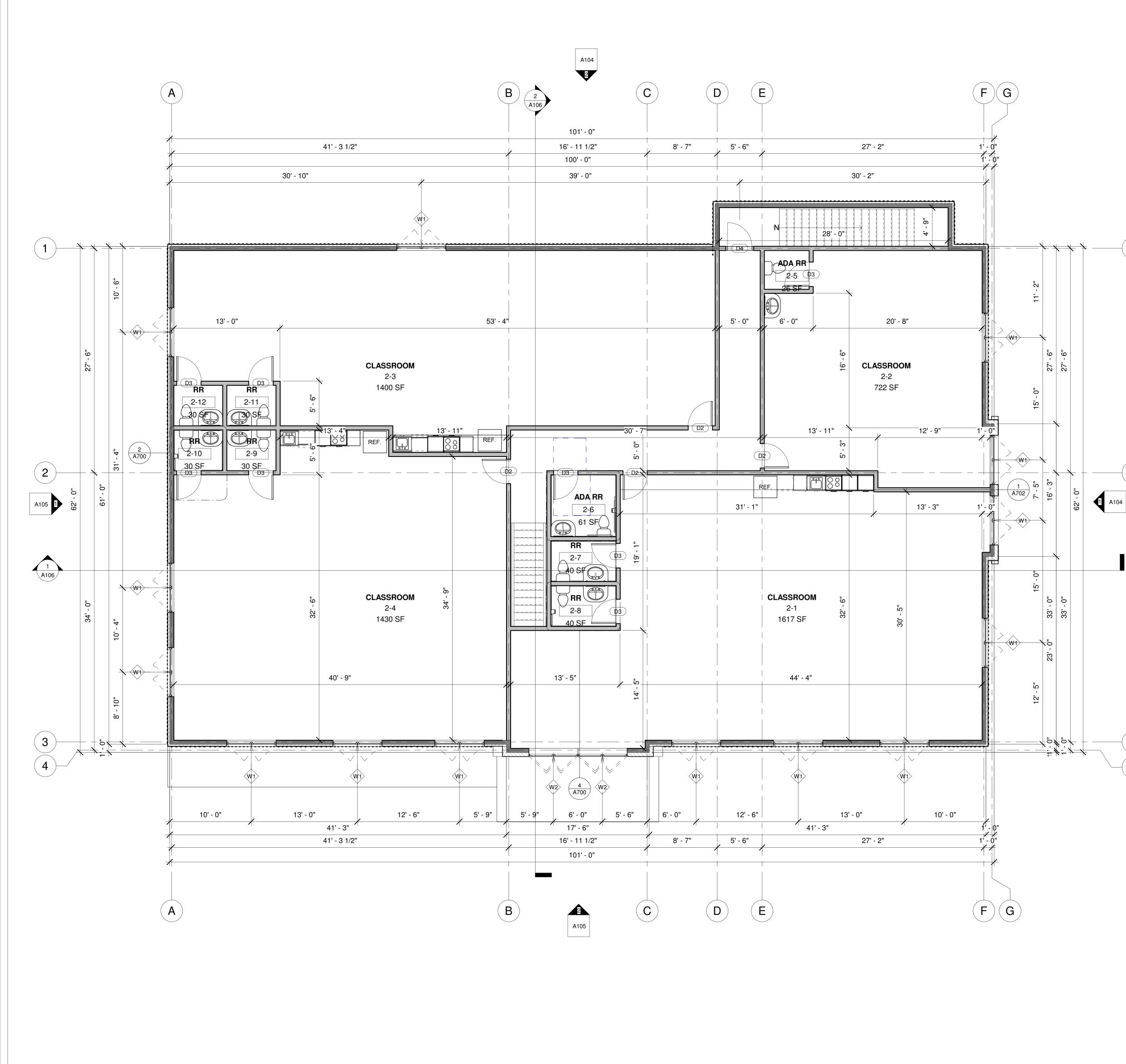
PROPOSED FIRST FLOOR PLAN 3/16" = 1'-0" 01

WALL LEGEND		EGEND	GENERAL NOTES		
	MORE INFORMATION. 4" INTERIOR WOOD STUD FOR MORE INFORMATION 4" INTERIOR WOOD STUD	WALL TO 1'-0" ABOVE CEILING, U.N.O.	 CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O. ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED. 		
6" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O. 6" EXTERIOR METAL STUD WALL. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. 8" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O. 10" EXTERIOR CONCRETE WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.		WALL. SEE STRUCTURAL DRAWINGS FOR WALL TO 1'-0" ABOVE CEILING, U.N.O.	 COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/FEDERAL& STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES & THE AMERICANS WITH DISABILITIES ACT OF 2010 (ADAAG). REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. PROVIDE WALL BACKING FOR REINFORCEMENT AS REQUIRED. 		
 ALL STUD V STRUCTUR ALL INTERI BRACED TO 	AL DRAWINGS.	۲ 16" O.C. MAX., COORDINATE WITH NG TO EXTEND TO DECK OR MUST BE	 CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION. TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFORE COMMENCING FRAMING. PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT. ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHEREVER POSSIBLE. 		
R	OOM AREA	SCHEDULE	11. ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.		
Number BASEMENT FLOOR B-1	- PROPOSED BASEMENT FLOO MECH.	AREA DR RCP 53 SF	 12. PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL. 13. PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL. 		
B-2 B-6	RR STORAGE	33 SF 5838 SF 5924 SF			
1ST FLOOR 1-1 1-15	RECEPTION	359 SF 1301 SF	15. ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.		
1-15 1-6 1-8 1-12	CLASSROOM CLASSROOM CLASSROOM CLASSROOM	723 SF 1278 SF	AREAS OF GYP. BD. (TYP).		
1-11 1-2	ADA RR OFFICE	1246 SF 73 SF 121 SF	17. GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.		
1-9 1-3 1-7	RR ELEC. RR	33 SF 52 SF 37 SF	18. FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL, GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.		
1-4 1-5 1-14 1-10	PRINTING LAUNDRY RR RR	37 SF 51 SF 33 SF 33 SF	19. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES. 20. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON		
1-10 1-17 1-16	RR RR	33 SF 33 SF	PLANS. 21. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR		
1-13 1-34 1-35	RR CORRIDOR STORAGE	33 SF 302 SF 57 SF	JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD. 22. REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQ'S.		
2ND FLOOR		5835 SF	23. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH. 24. ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.		
2-3 2-4 2-7	CLASSROOM CLASSROOM RR	1400 SF 1430 SF 40 SF	25. CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST DRILLING THROUGH		
2-1 2-11 2-12	CLASSROOM RR RR	1617 SF 30 SF 30 SF	26. HATCHES ARE FOR REPRESENTATIONAL PURPOSES ONLY, THEY DO NOT REFLECT ACTUAL SIZES OR PATTERNS OF IRECTION OF MATERIALS.		
2-10 2-9 2-6	RR RR ADA RR	30 SF 30 SF 61 SF	CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. 27. CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON FIXTURES &		
2-8 2-25 2-2	RR CORRIDOR CLASSROOM	40 SF 347 SF 722 SF	EQUIPMENT SUPPLIED PRIOR TO CONSTRUCTION.		
			 OTHER VENDORS FOR BLOCKING AND ROUGH-IN REQUIREMENTS. 31. REFER TO CIVIL FOR SITE SPECIFIC FINISH FLOOR ELEVATION AT BUILDING. FIRST FLOOR ELEVATION IS INDICATED AS 0'-0". 32. A FIRE DEPARTMENT SIAMESE CONNECTION SHALL BE PROVIDED IN A LOCATION APPROVED BY THE FIRE PREVENTION DEPARTMENT WITHIN 150 FEET OF THE FIRE HYDRANT. 33. G.C. TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK. 34. FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION. 35. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS W/IN THE PUBLIC SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS. 36. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, WITH ANY NATIONAL STATE & LOCAL CODES. 37. FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL DRAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY. 38. DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, ECTION 28.3.4 39. ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES. 40. ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT. 		



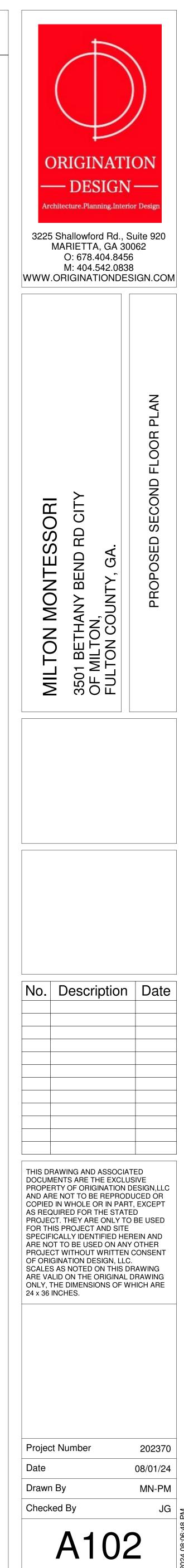
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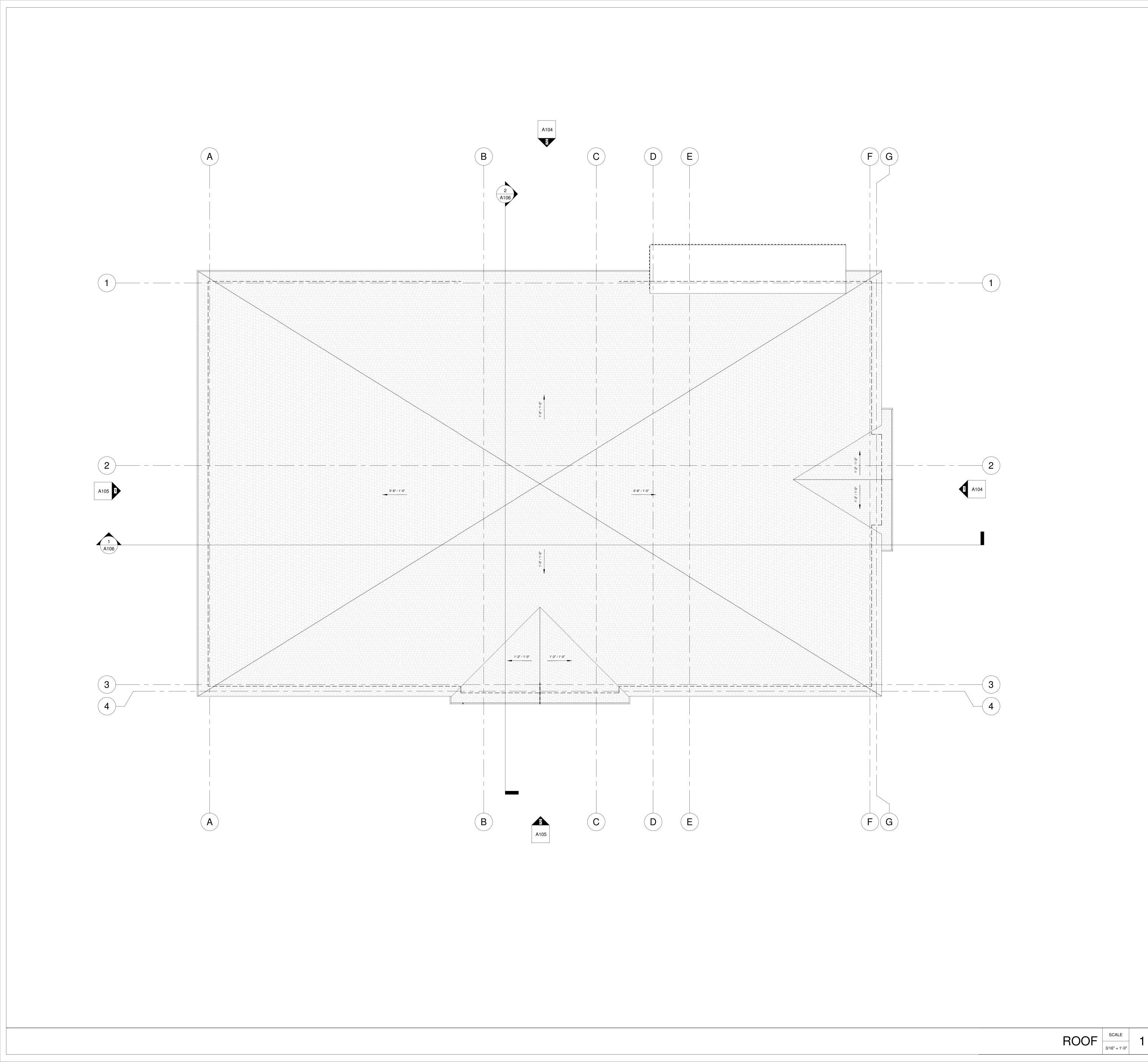
2ND FLOOR PLAN SCALE 1 3/16" = 1'-0"

	WALL LEGEND	GENERAL NOTES
	6" EXTERIOR WOOD STUD WALL, SEE STRUCTURAL DRAWINGS MORE INFORMATION. 4" INTERIOR WOOD STUD LOW WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.	
	4" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O. 6" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.	 ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O. ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED. COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE
	6" EXTERIOR METAL STUD WALL. SEE STRUCTURAL DRAWINGS MORE INFORMATION. 8" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.	 ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/FEDERAL& STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES & THE AMERICANS WITH DISABILITIES ACT OF 2010 (ADAAG). REPORT ANY DISCREPANCIES TO THE
<u> </u>	10" EXTERIOR CONCRETE WALL, SEE STRUCTURAL DRAWINGS MORE INFORMATION.	 PROVIDE WALL BACKING FOR REINFORCEMENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS
ALL STUD W/ STRUCTURA ALL INTERIO BRACED TO S	(PES MAY NOT BE USED. ALLS ARE TO BE FRAMED AT 16'' O.C. MAX., COORDINATE WITH L DRAWINGS. R WALLS AT EXPOSED CEILING TO EXTEND TO DECK OR MUST BE STRUCTURE ABOVE. <i>R MOR INFORMATION.</i>	 PARTITION. TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFORE COMMENCING FRAMING. 9. PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT. 10. ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHEREVER POSSIBLE.
RC Number	NAME AREA SCHEDULE	11. ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.
BASEMENT FLOOR - B-1 B-2		 12. PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL. 13. PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL.
B-6		14. ALL LIGHT FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHALL BE PAINTED TO MATCH THE ADJACENT FINISH U.N.O.
1ST FLOOR 1-1 1-15	CLASSROOM 13	15. ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.
1-6 1-8 1-12	CLASSROOM12CLASSROOM12	 16. USE USG DRYWALL SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. BD. (TYP). 6 SF 17. GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND
I-11 I-2 I-9	OFFICE 1 RR	CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
-3 -7 -4	RR PRINTING	 52 SF 57 SF 57 SF 58 FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL, GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.
-5 -14 -10	RR RR	11 SF19. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.33 SF20. INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON
-17 -16 -13	RR RR	PLANS. B3 SF 21. GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR
-34 -35	CORRIDOR 3 STORAGE	JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD. JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD. 22. REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQ'S. 25. SF
ND FLOOR 3		23. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH. 24. ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.
-3 -4 -7 -1	CLASSROOM 14 RR	20. SF 20. SF 25. CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST DRILLING THROUGH 10. SF 10. STALLING ART, MIRRORS, HOOKS, OR SHELVING ABOVE EACH FIXTURE.
-11 -12	RR RR	26. HATCHES ARE FOR REPRESENTATIONAL PURPOSES ONLY, THEY DO NOT REFLECT ACTUAL SIZES OR PATTERNS OF IRECTION OF MATERIALS.
-10 -9 -6	RR ADA RR	30 SF CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING 30 SF CONSTRUCTION. 31 SF CONSTRUCTION.
8 25 2	CORRIDOR 3	 27. CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON FIXTURES & EQUIPMENT SUPPLIED PRIOR TO CONSTRUCTION. 22 SF 28. FOR SIZE & SPACING OF WOOD STUDS. REFER TO STRUCTURAL DWGS, AND
		 REFER TO CIVIL FOR SITE SPECIFIC FINISH FLOOR ELEVATION AT BUILDING. FIRST FLOOR ELEVATION IS INDICATED AS 0'0". A FIRE DEPARTMENT SIAMESE CONNECTION SHALL BE PROVIDED IN A LOCATION APPROVED BY THE FIRE PREVENTION DEPARTMENT WITHIN 150 FEET OF THE FIRE HYDRANT. G.C. TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK. FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS W/IN THE PUBLIC SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION AND SHALL DE RESPONSIBLE TO COMPLY, WITH ANY NATIONAL STATE & LOCAL CODES. FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL DRAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY. DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, ECTION 28.3.4 ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES. ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT.



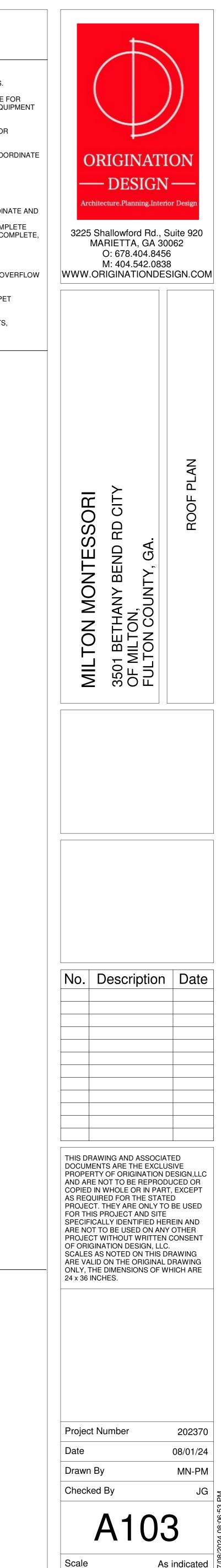
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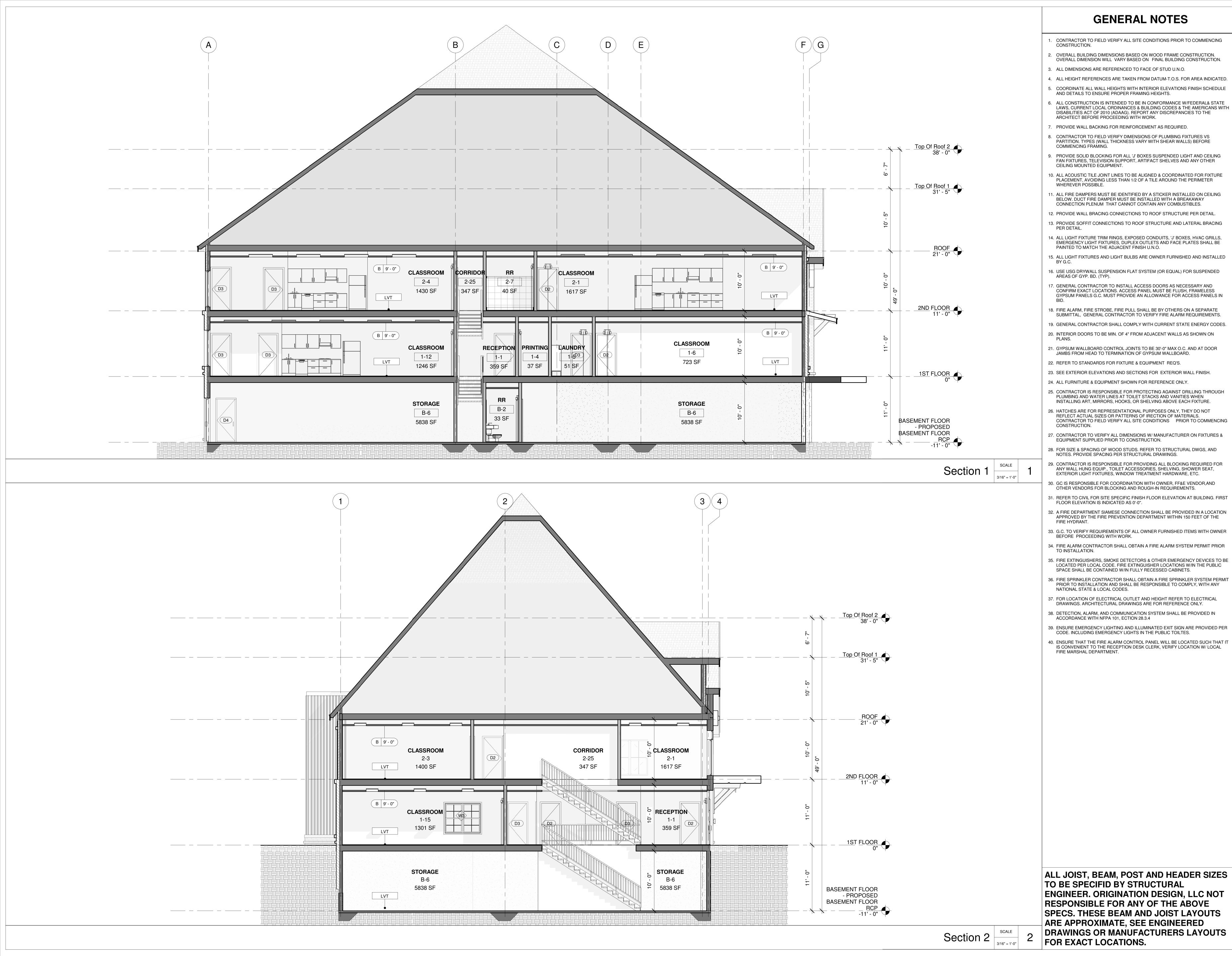


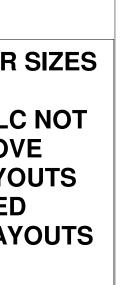
GENERAL NOTES

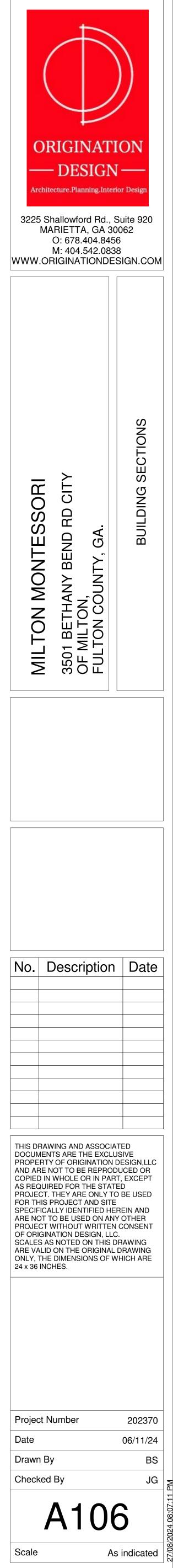
- 1. GC TO INSTALL AND SEAL ROOF PENETRATIONS, CURBS AND SLEEPERS. HVAC VENDOR TO PROVIDE ROOF CURBS AND VENDOR IS RESPONSIBLE FOR PROVISION/COORDINATION OF ROOF PENETRATIONS REQUIRED FOR EQUIPMENT INSTALLATION.
- 3. FLASH PLUMBING VENT AND ELECTRICAL PIPES. SEE MEP DRAWINGS FOR LOCATIONS.
- 4. GC TO PROVIDE POWER AND BLOCKING FOR ALL BUILDING SIGNAGE. COORDINATE WITH SIGN VENDOR.
- 5. ALL FLASHINGS TO BE INSTALLED PER SMACNA STANDARDS.
- 6. ALL FLASHINGS TO BE INSTALLED PER SMACNA STANDARDS. 7. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND /OR INSTALL ALL ADJACENT AND /OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE
- INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION. 8. ALL FLAT ROOFS TO HAVE A MINIMUM SLOPE OF 1/4.
- 9. MAXIMUM DISTANCE FROM THE HIGHEST POINT ON FLAT ROOF TO THE OVERFLOW DRAIN IN 2".
- COORDINATE ROOF DRAIN AND OVERFLOW DRAIN LOCATIONS W/PARAPET KICKERS. SEE STRUCT. DWGS FOR ACTUAL SIZE OF KICKERS.
- 11. ALL STRUCTURAL DETAILS SHALL INCLUDE LOADS, WIND REQUIREMENTS, BUILDING ENVELOPE, FOUNDATION, WALL SYSTEM AND STAIR SYSTEM.

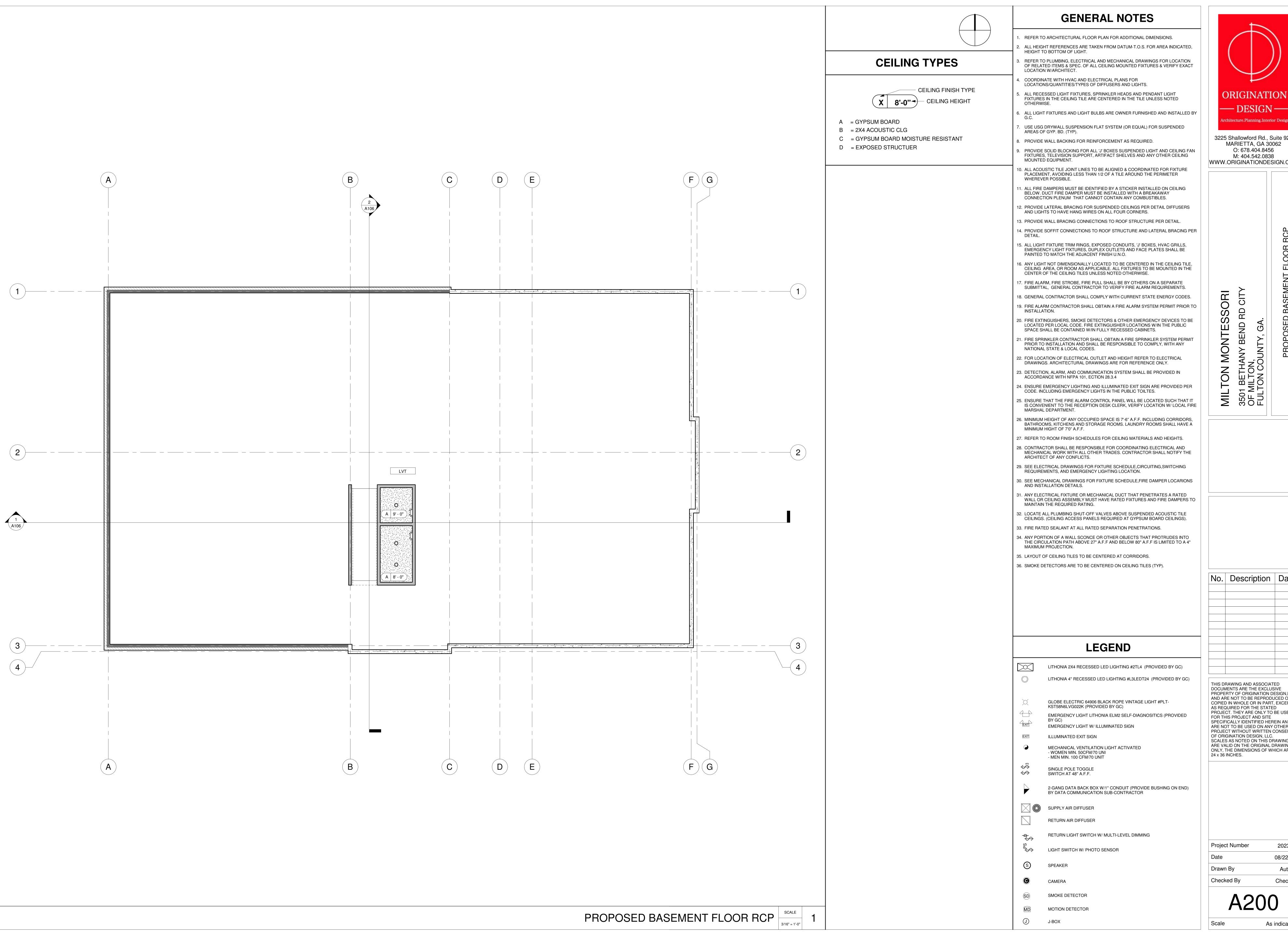


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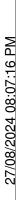
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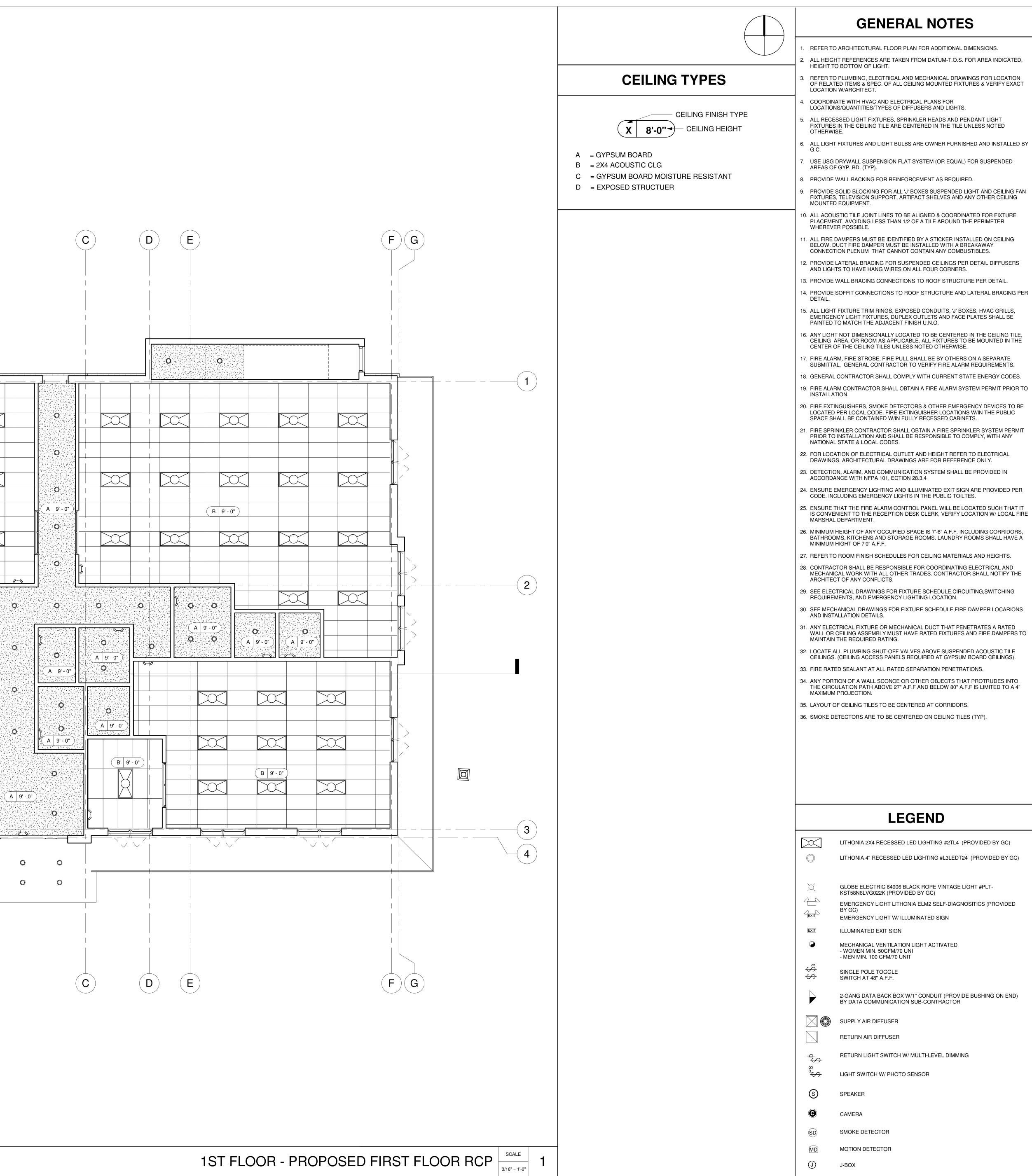
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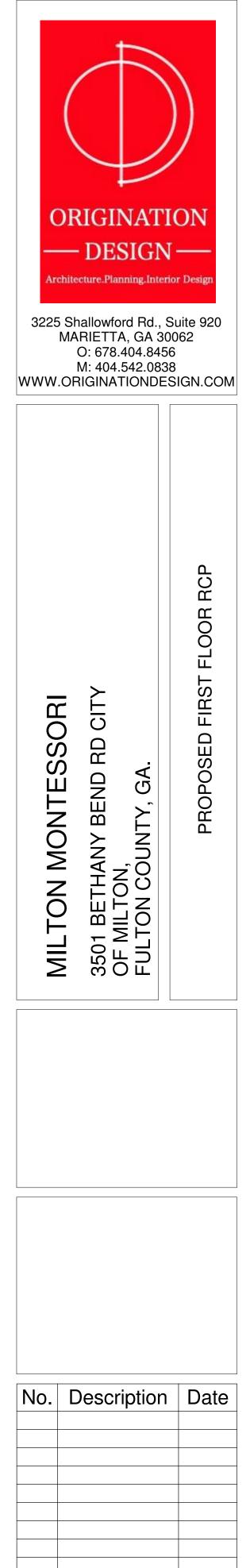
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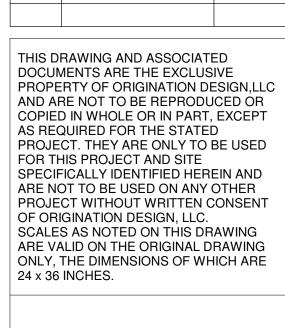


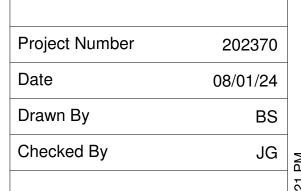
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2	A 9' - 0"	A 9' - 0"				
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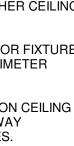
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			GENERAL NOTES
(1)	CEILING TYPES CEILING FINISH TYPE X 8'-0" CEILING HEIGHT A = GYPSUM BOARD B = 2X4 ACOUSTIC CLG C = GYPSUM BOARD MOISTURE RESISTANT D = EXPOSED STRUCTUER	 2. ALL HEIGH HEIGHT T 3. REFER TO OF RELAT LOCATION 4. COORDIN LOCATION 5. ALL RECE FIXTURES OTHERWI 6. ALL LIGHT G.C. 7. USE USG AREAS OF 8. PROVIDE 9. PROVIDE 9. PROVIDE 9. PROVIDE 10. ALL ACOL PLACEME WHEREVE 11. ALL FIRE I BELOW. D CONNECT 12. PROVIDE AND LIGHT 13. PROVIDE 14. PROVIDE 14. PROVIDE DETAIL. 15. ALL LIGHT EMERGEN PAINTED 16. ANY LIGHT CEILING CENTER OF 17. FIRE ALAF SUBMITTA 18. GENERAL 19. FIRE ALAF 20. FIRE EXTILOCATED 	ARCHITECTURAL FLOOR PLAN FOR ADDITIONAL DIMENSIONS. AT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED, DODTOM OF LIGHT. OPLUMBING, ELECTRICAL AND MECHANICAL DRAWINGS FOR LOCATION ED ITEMS & SPEC. OF ALL CEILING MOUNTED FIXTURES & VERIFY EXACT IW/ARCHITECT. ATE WITH HVAC AND ELECTRICAL PLANS FOR ISQUANTITES/TYPES OF DIFFUSERS AND LIGHTS. SSED LIGHT FIXTURES, SPRINKLER HEADS AND PENDANT LIGHT IN THE CEILING TILE ARE CENTERED IN THE TILE UNLESS NOTED SE. FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY DRYWALL SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED E GYP. BD. (TYP). WALL BACKING FOR REINFORCEMENT AS REQUIRED. SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN I, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING DEQUIPMENT. ISTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE NT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER ER POSSIBLE. DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING VICT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY TON PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES. LATERAL BRACING FOR SUSPENDED CEILINGS PER DETAIL DIFFUSERS TS TO HAVE HANG WIRES ON ALL FOUR CORNERS. WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL. SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER "FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, MUCH THE ADJACENT FINISH U.N.O. T NOT DIMENSIONALLY LOCATED TO BE CENTERED IN THE CEILING FILE, AREA, OR ROOM AS APPLICABLE. ALL FIXTURES TO BE MOUNTED IN THE DF THE CEILING TILES UNLESS NOTED OTHERWISE. RM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE N, GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS. CONTRACTOR SHALL ODENDLY WITH CURRENT STATE ENERGY CODES. AM CONTRACTOR SHALL ODENDLY WITH CURRENT STATE ENERGY CODES. AM CONTRACTOR SHA
		 SPACE SH PRIOR TO NATIONAL 21. FIRE SPR PRIOR TO NATIONAL 22. FOR LOC/ DRAWING 23. DETECTION 23. DETECTION 24. ENSURE FINITION 25. ENSURE FINITION 25. ENSURE FINITION 26. MINIMUM 27. REFER TO 28. CONTRACT 28. CONTRACT 29. SEE ELECO REQUIRED 30. SEE MECH AND INST 31. ANY ELECO WALL OR MAINTAIN 32. LOCATE A CEILINGS 33. FIRE RATI 34. ANY POR THE CIRC MAXIMUM 35. LAYOUT O 	PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WIN THE PUBLIC AIAL BE CONTAINED WIN FULLY RECESSED CABINETS. INKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, WITH ANY STATE & LOCAL CODES. ATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL S. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY. IN, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN INCE WITH NFPA 101, ECTION 28.3.4 EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER SLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES. ITHAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT NIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT. HEIGHT OF ANY OCCUPIED SPACE IS 7-6" A.F.F. INCLUDING CORRIDORS, MS, KITCHENS AND STORAGE ROOMS. LAUNDRY ROOMS SHALL HAVE A HIGHT OF 70" A.F.F. IN ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS. ITOR SHALL BE RESPONSIBLE FOR COORDINATING ELECTRICAL AND CAL WORK WITH ALL OTHER TRADES. CONTRACTOR SHALL NOTIFY THE IT OF ANY CONFLICTS. ITRICAL DRAWINGS FOR FIXTURE SCHEDULE, CIRCUITING, SWITCHING WENTS, AND EMERGENCY LIGHTING LOCATION. IANICAL DRAWINGS FOR FIXTURE SCHEDULE, FIRE DAMPER LOCARIONS ALLATION DETAILS. ITRICAL FIXTURE OR MECHANICAL DUCT THAT PENETRATES A RATED CELLING ASSEMBLY MUST HAVE RATED FIXTURES AND FIRE DAMPERS TO THE REQUIRED RATING. ILL PLUMBING SHUT-OFF VALVES ABOYE SUSPENDED ACOUSTIC TILE (CEILING ASSEMBLY MUST HAVE RATED FIXTURES AND FIRE DAMPERS TO THE REQUIRED RATING. INO OF A WALL SCONCE OR OTHER OBJECTS THAT PROTRUDES INTO ULATION PATH ABOVE 27" A.F.F. AND BELOW 80" A.F.F. IS LIMITED TO A 4" PROJECTION. IF CEILING TILES TO BE CENTERED AT CORRIDORS. ETECTORS ARE TO BE CENTERED AT CORRIDORS. ETECTORS ARE TO BE CENTERED AT CORRIDORS.
		× ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓	LEGEND LITHONIA 2X4 RECESSED LED LIGHTING #2TL4 (PROVIDED BY GC) LITHONIA 4" RECESSED LED LIGHTING #1.3LEDT24 (PROVIDED BY GC) GLOBE ELECTRIC 64906 BLACK ROPE VINTAGE LIGHT #PLT- KST58N6LVG022K (PROVIDED BY GC) EMERGENCY LIGHT LITHONIA ELM2 SELF-DIAGNOSITICS (PROVIDED BY GC) MECHANICAL VENTILATION LIGHT ACTIVATED MECHANICAL VENTILATION LIGHT ACTIVATED . WOMEN MIN. 50CFM/70 UNIT SINGLE POLE TOGGLE SWITCH AT 48" A.F.F. JCANG DATA BACK BOX W/1" CONDUIT (PROVIDE BUSHING ON END) BY DATA COMMUNICATION SUB-CONTRACTOR SUPPLY AIR DIFFUSER RETURN AIR DIFFUSER RETURN LIGHT SWITCH W/ MULTI-LEVEL DIMMING LIGHT SWITCH W/ PHOTO SENSOR SPEAKER CAMERA SMOKE DETECTOR
CP SCALE 1 3/16" = 1'-0"		Ū	J-BOX



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Project Number

Checked By

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SECOND FLOOR RCP

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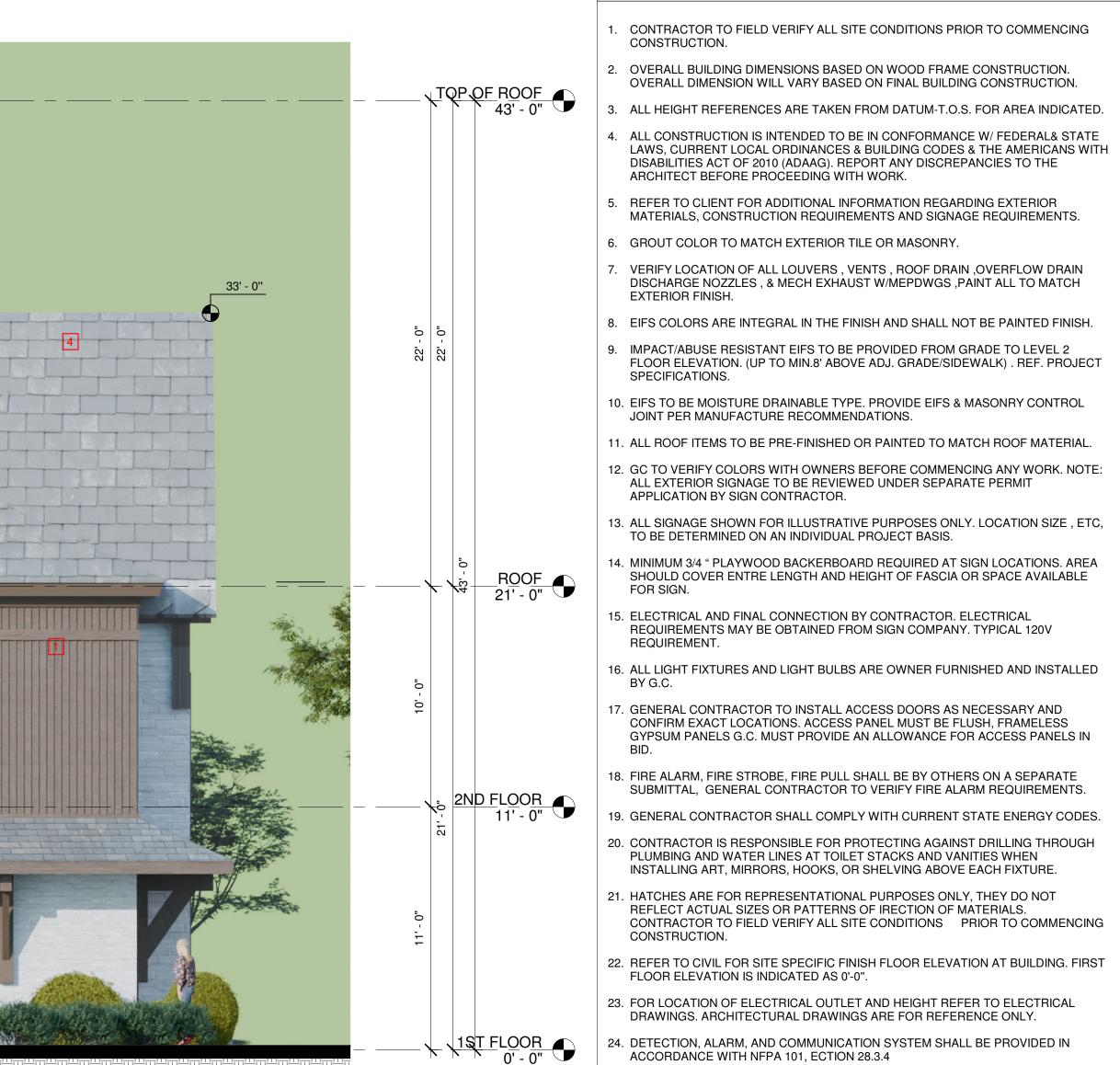
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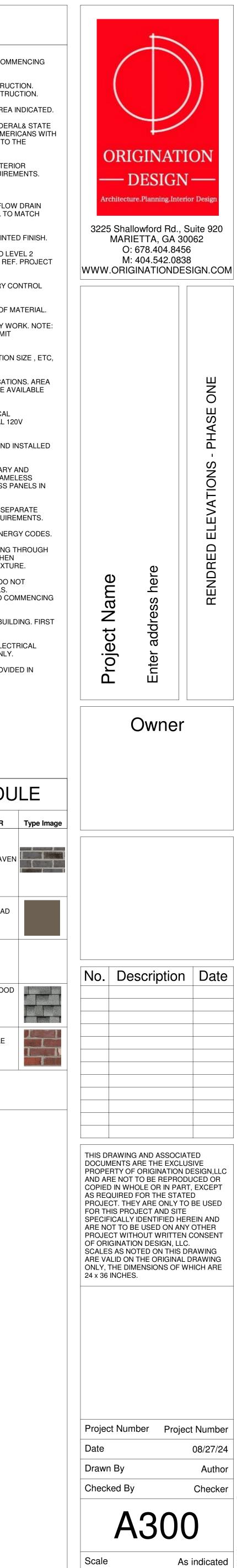


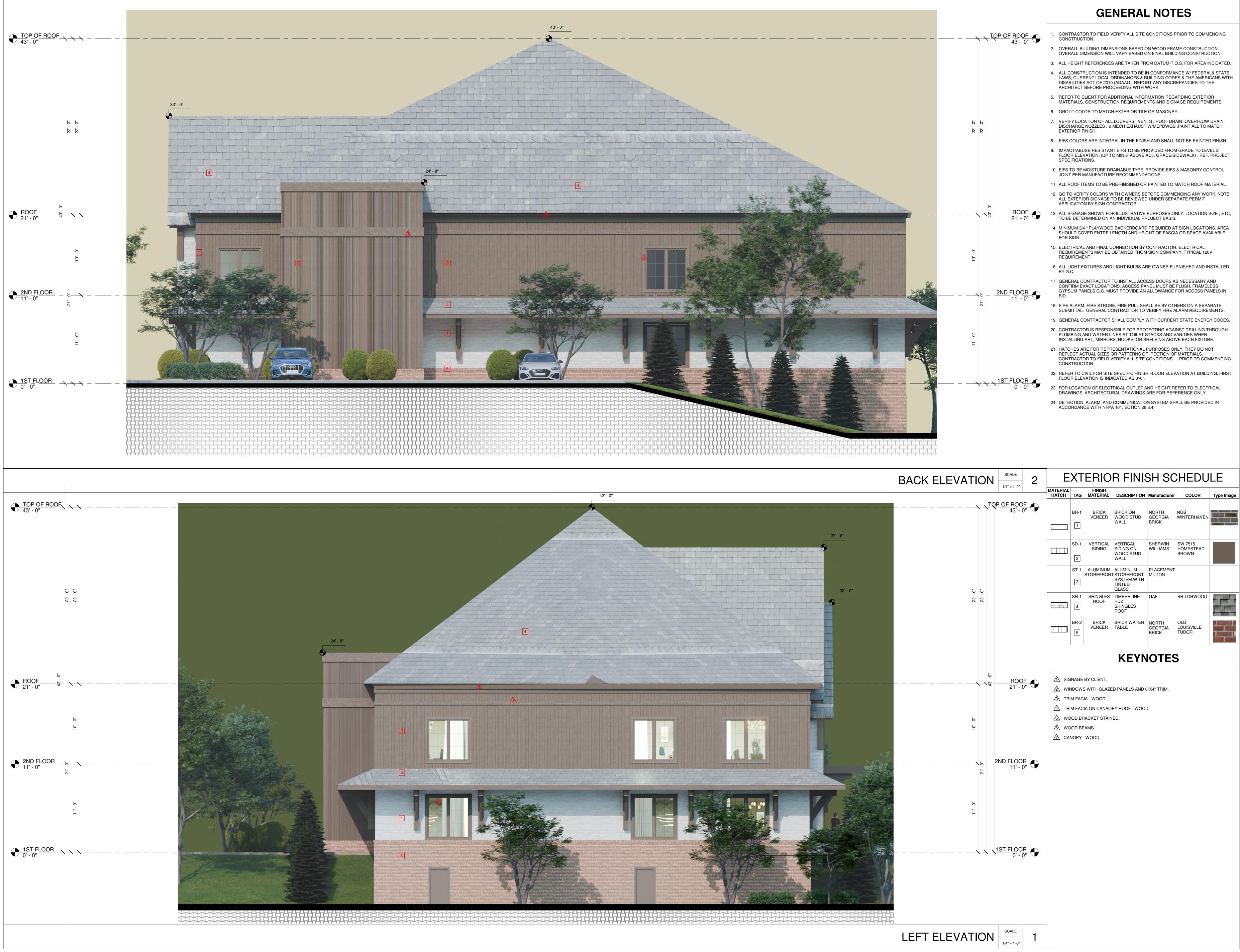
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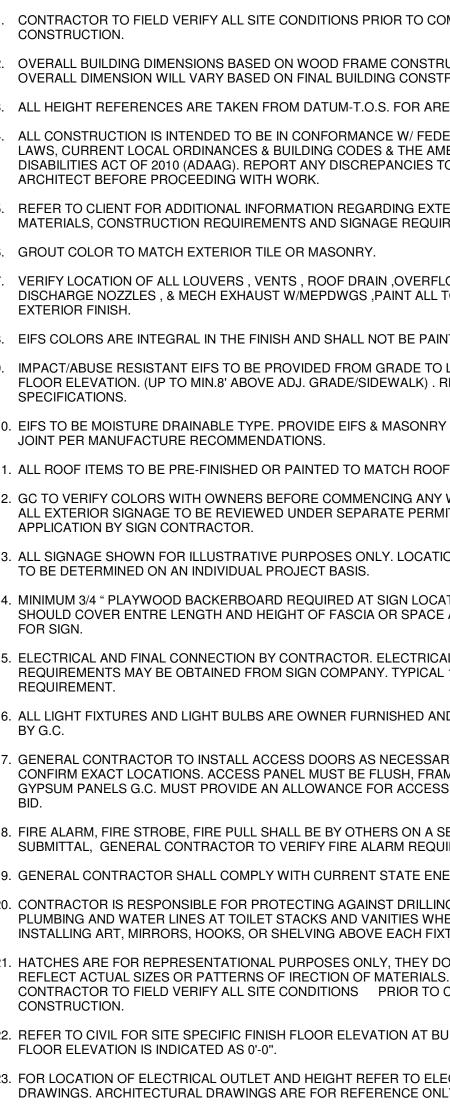
GENERAL NOTES

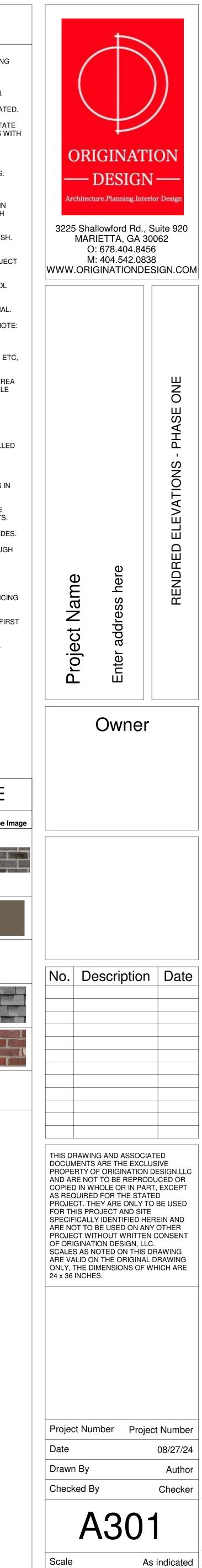


FRO	NT ELEVATION	SCALE 2		XT		R FINIS	SH SC	HEDU
			MATERIAL HATCH	TAG	FINISH MATERIAL	DESCRIPTION	Manufacturer	COLOR
				BR-1	BRICK VENEER	BRICK ON WOOD STUD WALL	NORTH GEORGIA BRICK	NGB WINTERHAVEN
		<u>OP OF ROOF</u> 43' - 0"		SD-1	VERTICAL SIDING	VERTICAL SIDING ON WOOD STUD WALL	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN
				ST-1 3	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT SYSTEM WITH TINTED GLASS	PLACEMENT MILTON	
				SH-1	SHINGLES ROOF	TIMBERLINE HDZ SHINGLES ROOF	GAF	BRITCHWOOD
	22' - 0" 22' - 0"			BR-2 5	BRICK VENEER	BRICK WATER TABLE	NORTH GEORGIA BRICK	OLD LOUISVILLE TUDOR
			KEYNO					S
	10 [.] - 0" 43 [.] - 0"	<u>ROOF</u> 21' - 0"	 SIGNAGE BY CLIENT. WINDOWS WITH GLAZED PANELS AND 6"X4" TRIM. TRIM FACIA - WOOD. TRIM FACIA ON CANAOPY ROOF - WOOD. WOOD BRACKET STAINED. WOOD BEAMS. CANOPY - WOOD. 					
		2ND FLOOR 11' - 0"						
	11 0"							
		<u>1ST FLOOR</u> 0' - 0"						
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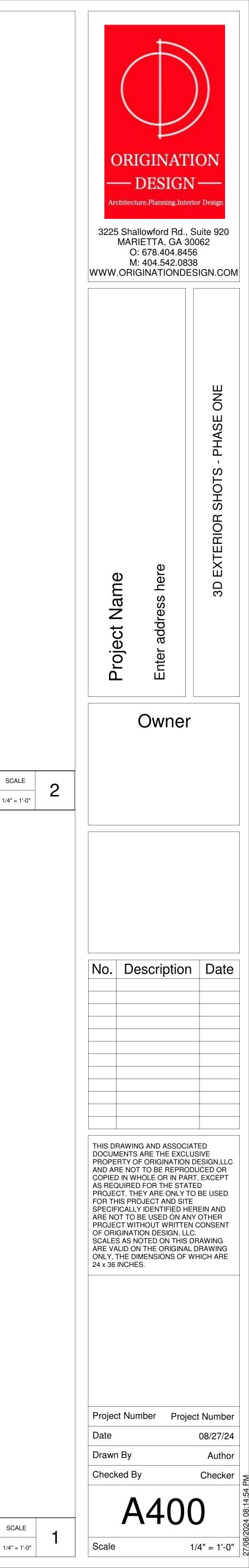






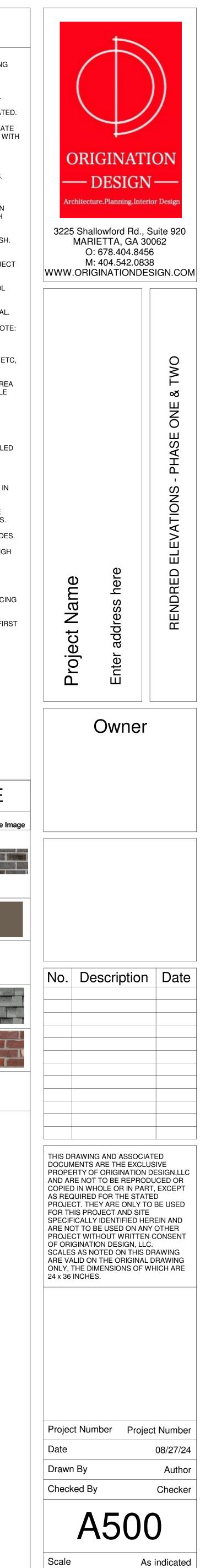


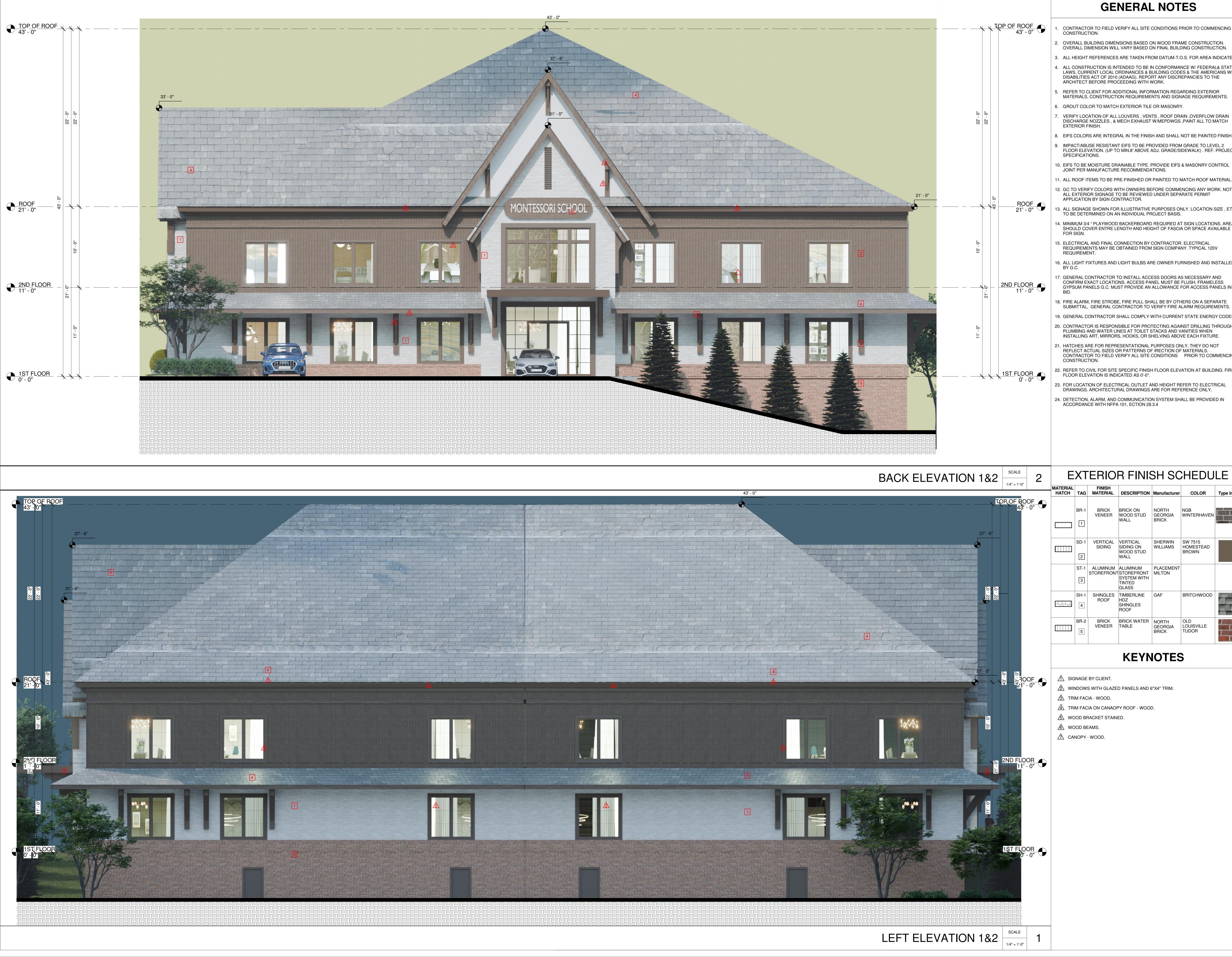
EXTERIOR SHOT - BACK & SIDE VIEW 2



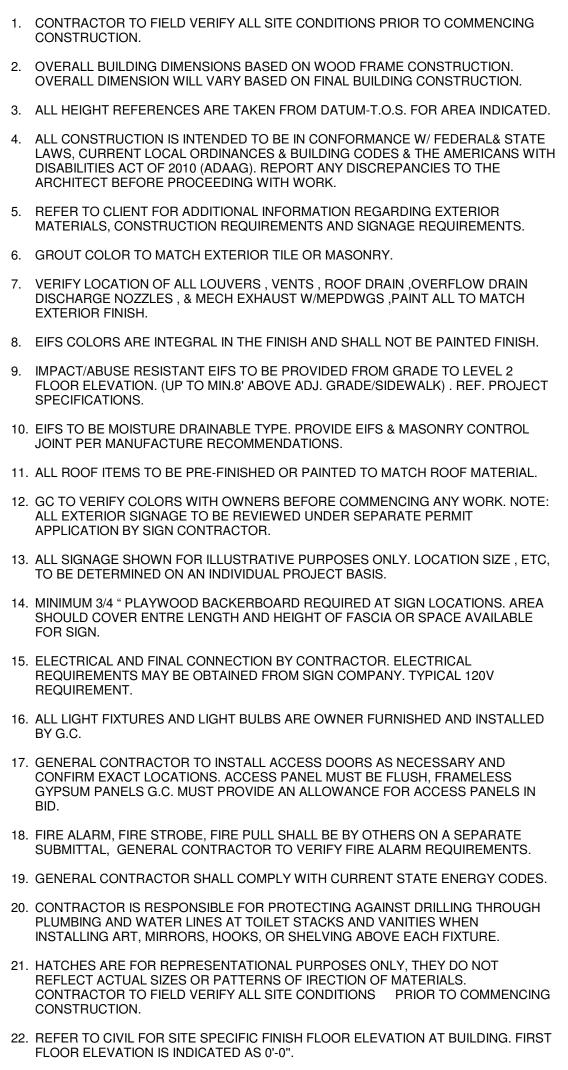


GENERAL NOTES





GENERAL NOTES



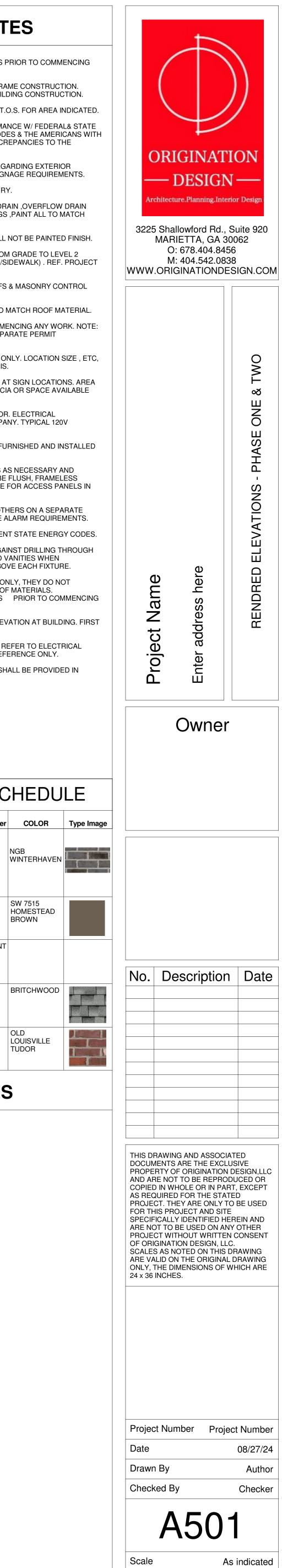


24. DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, ECTION 28.3.4

BROWN

OLD

LOUISVILLE







EXTERIOR SHOT 1&2 - BACK & SIDE VIEW

