



DESIGN REVIEW BOARD APPLICATION

MEETING DATE: September 10th 2024

TYPE OF REVIEW: FINAL ☐ **COURTESY** ☒ **CASE #** _____

PROJECT INFORMATION

PROJECT NAME: Milton Montessori School

PROJECT ADDRESS: 3501 & 3499 Bethany Bend, Milton, GA 30004

OVERLAY/FORM-BASED CODE: _____

HAS LDP/BUILDING PERMIT BEEN SUBMITTED FOR REVIEW? YES ☐ NO ☐

PROJECT TYPE (CHECK ONE): SITE/LANDSCAPE _____
 BUILDING ☒ _____
 SALES TRAILER _____
 DEMOLITION _____
 ZONING/USE PERMIT/VARIANCE _____
 OTHER (EXPLAIN) _____

PROJECT DESCRIPTION: Building 24000 sf of new space for elementary and Middle school

APPLICANT/REPRESENTATIVE INFORMATION

CONTACT PERSON NAME: Biju Eappen

COMPANY: Sapient Minds LLC

ADDRESS: 3505 Bethany Bend, Milton GA 30004

PHONE: 404-232-5227 **FAX:** _____

EMAIL: mms@themiltonmontessorischool.com

APPLICANT'S SIGNATURE: *To the best of my knowledge, this application is correct and complete. I understand that I, or my representative should be in attendance at the Design Review Board meeting on 09/10/2024, at 6:00pm, to present this project. To the best of my knowledge, I have met all applicable Overlay/Form Based Code conditions (Hwy 9/Deerfield, Birmingham, Crabapple, Rural Milton.)*

Applicant: Biju Eappen (Sapient Minds LLC) **Date** 08/19/2024



LINE	BEARING	DISTANCE
L1	N 42°52'37" W	25.62'
L2	N 23°26'58" W	36.47'
L3	N 46°43'59" W	50.91'
L4	N 81°38'12" W	28.09'
L5	S 89°08'21" W	19.75'
L6	N 27°30'40" W	31.05'
L7	N 24°34'03" W	31.27'
L8	N 46°27'19" W	62.96'

GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL INTERIOR CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.
- PARKING LOT AND ROAD STRIPING SHALL BE IN ACCORDANCE WITH GDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE.
- TOPOGRAPHIC SURVEY BY LANDPRO, DATED XXXXXX 20XX.
- FLOODPLAIN IS PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 13121C0470F, DATED 9/18/2013.
- OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- ALL NEW ASPHALT AND OR PAVEMENT SHALL MEET THE GEOTECHNICAL REPORT RECOMMENDATION. REPORT PREPARED BY XXXXXX DATED XX/XX/2020.
- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. ALL BARRICADES AND SIGNS SHALL BE FURNISHED AND USED BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL/STATE AND CURRENT SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGN, TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS.
- SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
- SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC., GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- FZ 100 YEAR FLOOD PLAIN
- PROPOSED RETAINING WALL
- CROSS WALK
- STOP STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "YIELD" (PAVEMENT MARKING)
- DIRECTIONAL ARROWS (PAVEMENT MARKING)
- "ONLY" DIRECTIONAL ARROWS (PAVEMENT MARKING)
- HANDICAP STALL
- CONCRETE WHEEL STOP
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- SIGN
- LIGHT POLE
- DUMPSTER PAD
- TRANSFORMER PAD
- CONCRETE
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT

MILTON MONTESSORI
3505 BETHANY BEND
MILTON, GA 30004
PHONE: ###-###-###

LOWE
ENGINEERS
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PRELIMINARY
NOT FOR
CONSTRUCTION

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THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT IS PROPERLY SIGNED AND SEALED.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE USER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR ANY OTHER PERSON.

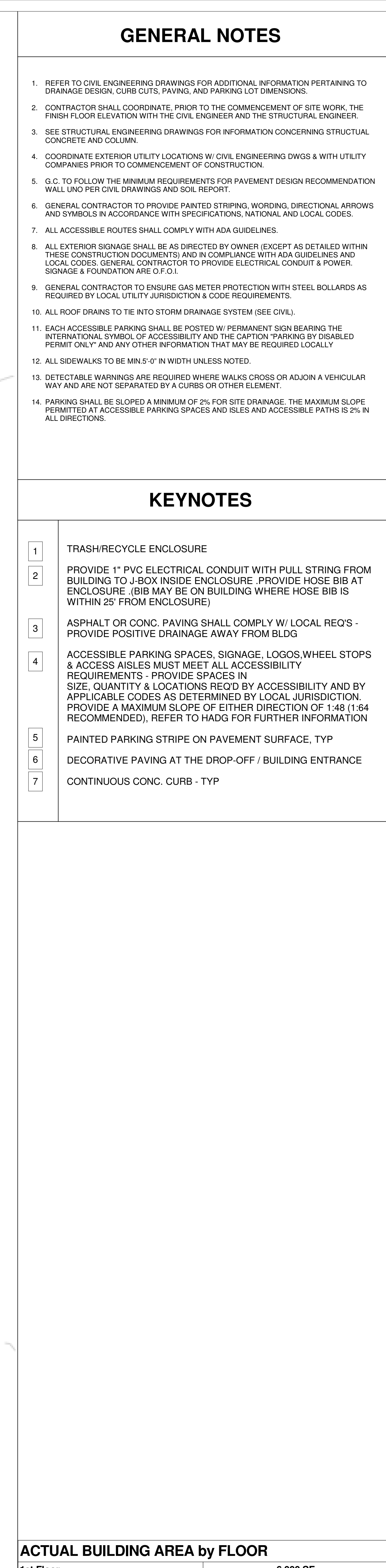
SITE PLAN
MILTON MONTESSORI
BETHANY BEND
MILTON, GA 30004

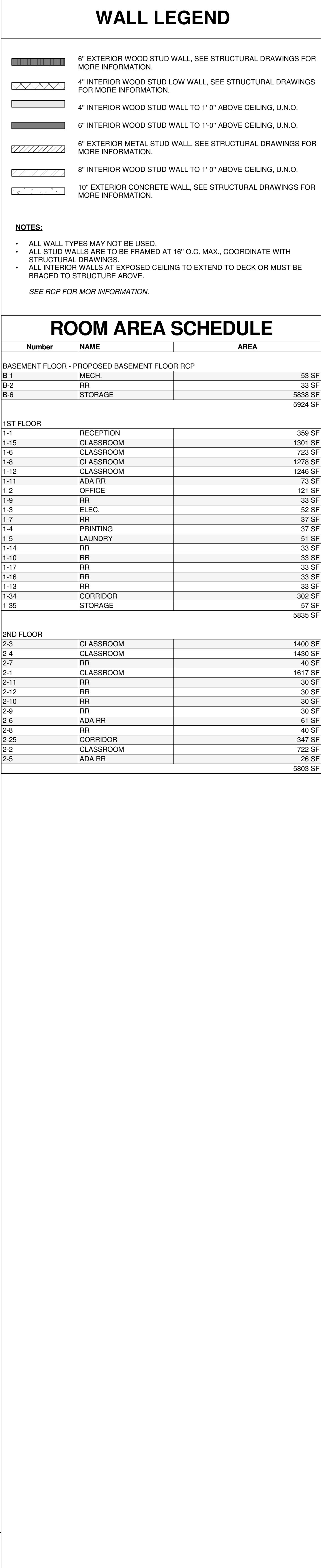
ZONING: ZONING
LOT
TAX DISTRICT: DISTRICT
TAX PARCEL ID: 21-547009720138

REVISIONS	DESCRIPTION
NO.	DATE

SCALE: 1" = 40'
DATE: 06/05/2024
DRAWN BY: IK
CHECKED BY: BA
PROJECT MANAGER: YOUNG KWON, PE
PROJECT #: 24-220008
SHEET C3.00

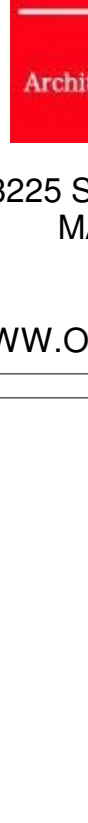






- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O.
- ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM T.O.S. FOR AREA INDICATED.
- COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS.
- ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE WITH FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES & THE AMERICANS WITH DISABILITIES ACT OF 2010 (ADAA). REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- PROVIDE WALL BRACING FOR REINFORCEMENT AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFORE COMMENCING FRAMING.
- PROVIDE SUD BLOCKING FOR ALL 'J' BOXES SHELVED AND LIGHT AND SOUND FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT
- ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE ALONG THE PERIMETER WHEREVER POSSIBLE.
- ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.
- PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL.
- PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL.
- ALL LIGHT FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHALL BE PAINTED TO MATCH THE ADJACENT FINISH U.N.O.
- ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.
- USE USG DRYWALL SUSPENSION PLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. PLD. (TYP).
- GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND FORM EXHAUST LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
- FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL. GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- GYPSUM WALLBOARD CONNECTION JOINTS TO BE 30" 0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS.
- SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH.
- ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.

ROOM AREA SCHEDULE			
Number	NAME	AREA	
BASEMENT FLOOR - PROPOSED BASEMENT FLOOR RCP			
B-1	MECH.		53 SF
B-2	RR		33 SF
B-6	STORAGE		5838 SF
			5924 SF
1ST FLOOR			
1-1	RECEPTION		359 SF
1-15	CLASSROOM		1301 SF
1-6	CLASSROOM		723 SF
1-8	CLASSROOM		1278 SF
1-12	CLASSROOM		1246 SF
1-11	ADA RR		73 SF
1-2	OFFICE		121 SF
1-9	RR		33 SF
1-3	ELEC.		52 SF
1-7	RR		37 SF
1-4	PRINTING		37 SF
1-5	LAUNDRY		51 SF
1-14	RR		33 SF
1-10	RR		33 SF
1-17	RR		33 SF
1-16	RR		33 SF
1-13	RR		33 SF
1-34	CORRIDOR		302 SF
1-35	STORAGE		57 SF
			5835 SF
2ND FLOOR			
2-3	CLASSROOM		1400 SF
2-4	CLASSROOM		1430 SF
2-7	RR		40 SF
2-1	CLASSROOM		1617 SF
2-11	RR		30 SF
2-12	RR		30 SF
2-10	RR		30 SF
2-9	RR		30 SF
2-6	ADA RR		61 SF
2-8	RR		40 SF
2-25	CORRIDOR		347 SF
2-2	CLASSROOM		722 SF
2-5	ADA RR		26 SF
			6569 SF



ORIGINATION

DESIGN

Architecture · Planning · Interior Design

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MILTON MONTESSORI

3501 BETHANY BEND RD CITY

OF MILTON,

FULTON COUNTY, GA.

BASEMENT FLOOR PLAN

No.

Description

Date

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Project Number

202370

Date

08/01/24

Drawn By

PM-MN

Checked By

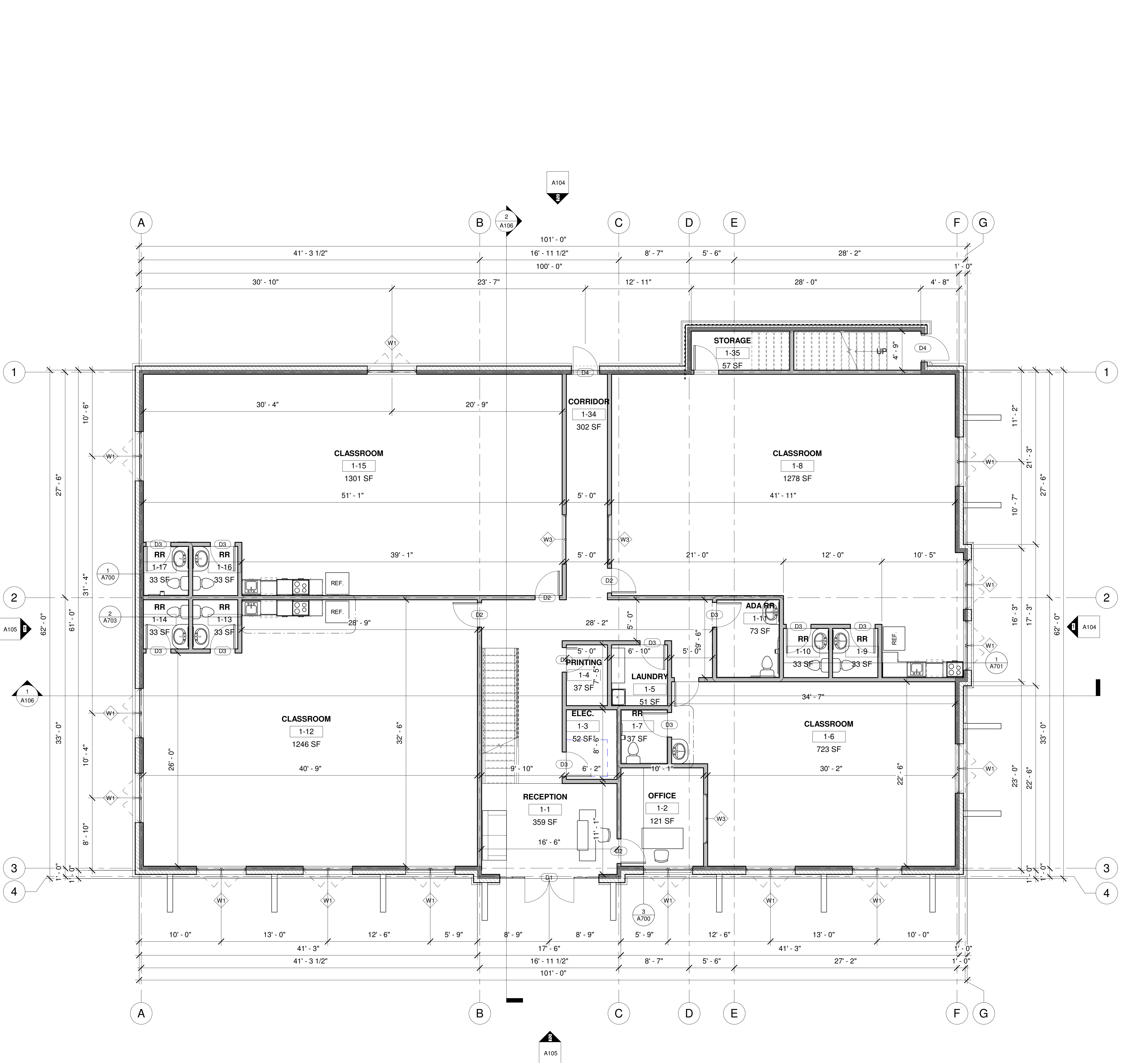
JG

A100

Scale

As indicated

08/01/2024 08:06:34 PM



WALL LEGEND

- 6" EXTERIOR WOOD STUD WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 4" INTERIOR WOOD STUD LOW WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 4" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 6" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 6" EXTERIOR METAL STUD WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 8" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 10" EXTERIOR CONCRETE WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.

NOTES:

- ALL WALL TYPES MAY NOT BE USED.
- ALL STUD WALLS ARE TO BE FRAMED AT 16" O.C. MAX., COORDINATE WITH STRUCTURAL DRAWINGS.
- ALL INTERIOR WALLS AT EXPOSED CEILING TO EXTEND TO DECK OR MUST BE BRACED TO STRUCTURE ABOVE.

SEE RCP FOR MOR INFORMATION.

ROOM AREA SCHEDULE

Number	NAME	AREA
BASEMENT FLOOR - PROPOSED BASEMENT FLOOR RCP		
B-1	MECH.	53 SF
B-2	RR	33 SF
B-6	STORAGE	5838 SF

1ST FLOOR		
1-1	RECEPTION	359 SF
1-15	CLASSROOM	1301 SF
1-6	CLASSROOM	723 SF
1-8	CLASSROOM	1278 SF
1-12	CLASSROOM	1246 SF
1-11	ADA RR	73 SF
1-2	OFFICE	121 SF
1-9	RR	33 SF
1-3	ELEC.	52 SF
1-7	RR	37 SF
1-4	PRINTING	37 SF
1-5	LAUNDRY	51 SF
1-14	RR	33 SF
1-10	RR	33 SF
1-17	RR	33 SF
1-16	RR	33 SF
1-13	RR	33 SF
1-34	CORRIDOR	302 SF
1-35	STORAGE	57 SF
		5835 SF

2ND FLOOR		
2-3	CLASSROOM	1400 SF
2-4	CLASSROOM	1430 SF
2-7	RR	40 SF
2-1	CLASSROOM	1617 SF
2-11	RR	30 SF
2-12	RR	30 SF
2-10	RR	30 SF
2-9	RR	30 SF
2-6	ADA RR	61 SF
2-8	RR	40 SF
2-25	CORRIDOR	347 SF
2-2	CLASSROOM	722 SF
2-5	ADA RR	26 SF
		5803 SF

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O.
- ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED.
- COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS.
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- PROVIDE WALL BRACING FOR REINFORCEMENT AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION, TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFORE COMMENCING FRAMING.
- PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT.
- ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHEREVER POSSIBLE.
- ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.
- PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL.
- PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL.
- ALL LIGHT FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHALL BE PAINTED TO MATCH THE ADJACENT FINISH U.N.O.
- ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.
- USE USG DRYWALL SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. BD. (TYP).
- GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
- FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL. GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- GYPSUM WALLBOARD CONTROL JOINTS TO BE 3/8" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REGS.
- SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH.
- ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST DRILLING THROUGH PLUMBING AND WATER LINES AT TOILET STACKS AND VANITIES WHEN INSTALLING ART, MIRRORS, HOOKS, OR SHELVING ABOVE EACH FIXTURE.
- HATCHES ARE FOR REPRESENTATIONAL PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL SIZES OR PATTERNS OF REICTION OF MATERIALS. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON FIXTURES & EQUIPMENT SUPPLIED PRIOR TO CONSTRUCTION.
- FOR SIZE & SPACING OF WOOD STUDS, REFER TO STRUCTURAL DWGS, AND NOTES. PROVIDE SPACING PER STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL BLOCKING REQUIRED FOR ANY WALL HUNG EQUIP. TOILET ACCESSORIES, SHELVING, SHOWER SEAT, EXTERIOR LIGHT FIXTURES, WINDOW TREATMENT HARDWARE, ETC.
- GC IS RESPONSIBLE FOR COORDINATION WITH OWNER, FF&E VENDOR, AND OTHER VENDORS FOR BLOCKING AND ROUGH-IN REQUIREMENTS.
- REFER TO CIVIL FOR SITE SPECIFIC FINISH FLOOR ELEVATION AT BUILDING. FIRST FLOOR ELEVATION IS INDICATED AS 0'-0".
- A FIRE DEPARTMENT SIAMSESE CONNECTION SHALL BE PROVIDED IN A LOCATION APPROVED BY THE FIRE PREVENTION DEPARTMENT WITHIN 150 FEET OF THE FIRE HYDRANT.
- G.C. TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
- FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION.
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS W/IN THE PUBLIC SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS.
- FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, WITH ANY NATIONAL STATE & LOCAL CODES.
- FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL DRAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY.
- DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, ECTION 28.3.4
- ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES.
- ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT.



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MILTON MONTESSORI
3501 BETHANY BEND RD CITY
OF MILTON,
FULTON COUNTY, GA.

PROPOSED FIRST FLOOR PLAN

No.	Description	Date

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Project Number	202370
Date	08/01/24
Drawn By	MN-PM
Checked By	JG

A101

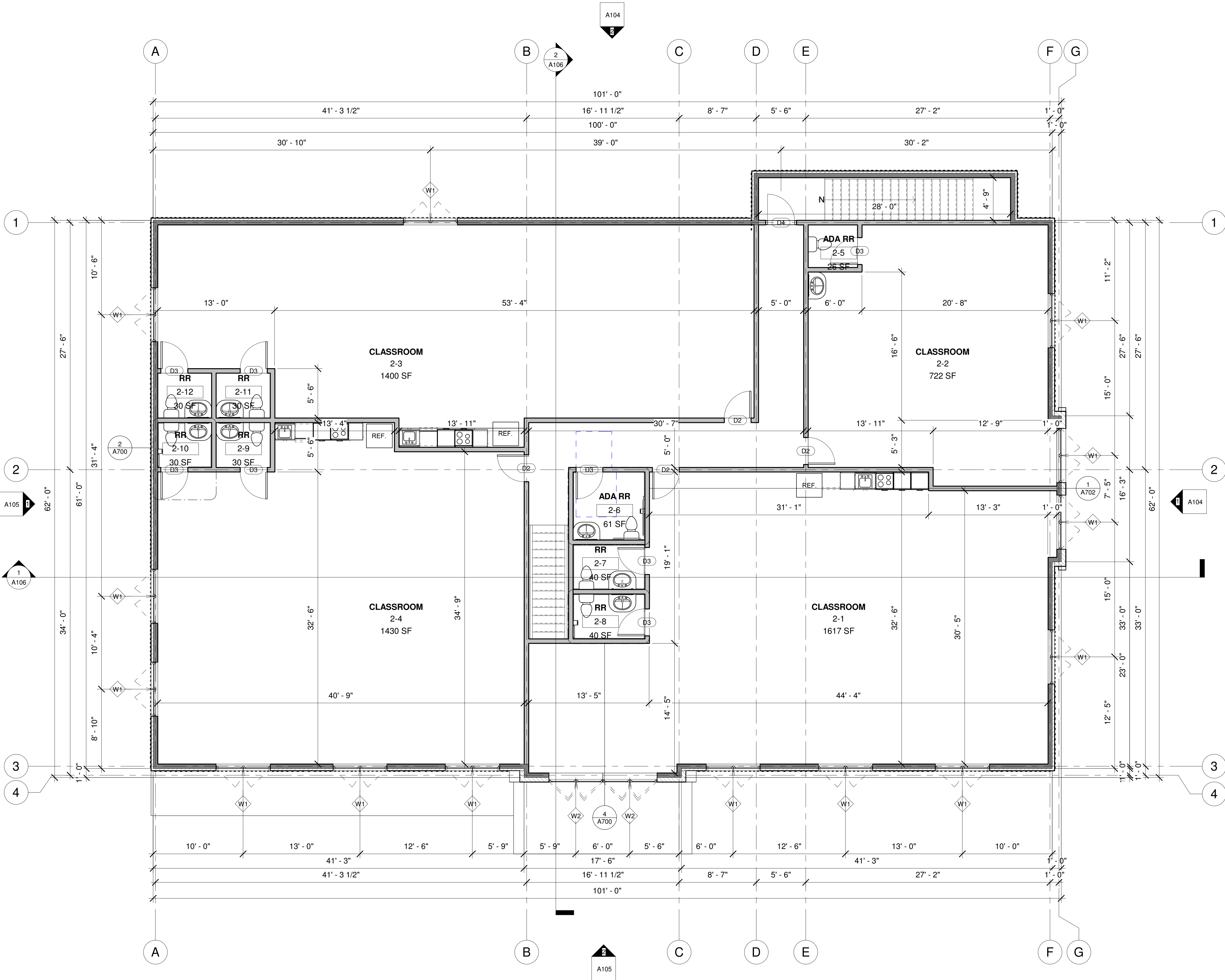
Scale As indicated

PROPOSED FIRST FLOOR PLAN

SCALE
3/16" = 1'-0"

01

27/08/2024 08:06:43 PM



WALL LEGEND

- 6" EXTERIOR WOOD STUD WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 4" INTERIOR WOOD STUD LOW WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 4" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 6" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 6" EXTERIOR METAL STUD WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 8" INTERIOR WOOD STUD WALL TO 1'-0" ABOVE CEILING, U.N.O.
- 10" EXTERIOR CONCRETE WALL, SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.

- NOTES:
- ALL WALL TYPES MAY NOT BE USED.
 - ALL STUD WALLS ARE TO BE FRAMED AT 16" O.C. MAX., COORDINATE WITH STRUCTURAL DRAWINGS.
 - ALL INTERIOR WALLS AT EXPOSED CEILING TO EXTEND TO DECK OR MUST BE BRACED TO STRUCTURE ABOVE.
- SEE RCP FOR MOR INFORMATION.

ROOM AREA SCHEDULE

Number	NAME	AREA
BASEMENT FLOOR - PROPOSED BASEMENT FLOOR RCP		
B-1	MECH.	53 SF
B-2	RR	33 SF
B-6	STORAGE	5838 SF
1ST FLOOR		
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1-10	RR	33 SF
1-17	RR	33 SF
1-16	RR	33 SF
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1-35	STORAGE	57 SF
		5835 SF
2ND FLOOR		
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2-1	CLASSROOM	1617 SF
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GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O.
- ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED.
- COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS.
- ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES & THE AMERICANS WITH DISABILITIES ACT OF 2010 (ADAAG). REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- PROVIDE WALL BACKING FOR REINFORCEMENT AS REQUIRED.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION. TYPES (WALL THICKNESS VARY WITH SHEAR WALLS) BEFORE COMMENCING FRAMING.
- PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT.
- ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHENEVER POSSIBLE.
- ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.
- PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL.
- PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL.
- ALL LIGHT FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHALL BE PAINTED TO MATCH THE ADJACENT FINISH U.N.O.
- ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.
- USE USG DRYWALL, SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. BD. (TYP).
- GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
- FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL. GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQS.
- SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH.
- ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST DRILLING THROUGH PLUMBING AND WATER LINES AT TOILET STACKS AND VANITIES WHEN INSTALLING ART, MIRRORS, HOOKS, OR SHELVING ABOVE EACH FIXTURE.
- HATCHES ARE FOR REPRESENTATIONAL PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL SIZES OR PATTERNS OF IRECTION OF MATERIALS. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON FIXTURES & EQUIPMENT SUPPLIED PRIOR TO CONSTRUCTION.
- FOR SIZE & SPACING OF WOOD STUDS, REFER TO STRUCTURAL DWGS, AND NOTES. PROVIDE SPACING PER STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL BLOCKING REQUIRED FOR ANY WALL HUNG EQUIP. TOILET ACCESSORIES, SHELVING, SHOWER SEAT, EXTERIOR LIGHT FIXTURES, WINDOW TREATMENT HARDWARE, ETC.
- G.C. IS RESPONSIBLE FOR COORDINATION WITH OWNER, FF&E VENDOR, AND OTHER VENDORS FOR BLOCKING AND ROUGH-IN REQUIREMENTS.
- REFER TO CIVIL FOR SITE SPECIFIC FINISH FLOOR ELEVATION AT BUILDING. FIRST FLOOR ELEVATION IS INDICATED AS 0'-0".
- A FIRE DEPARTMENT SIAMSE CONNECTION SHALL BE PROVIDED IN A LOCATION APPROVED BY THE FIRE PREVENTION DEPARTMENT WITHIN 150 FEET OF THE FIRE HYDRANT.
- G.C. TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
- FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION.
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS W/IN THE PUBLIC SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS.
- FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, WITH ANY NATIONAL STATE & LOCAL CODES.
- FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL DRAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY.
- DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCOORDANCE WITH NFPA 101, ECTION 28.3.4
- ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES.
- ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT.



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PROPOSED SECOND FLOOR PLAN

No.	Description	Date

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Project Number	202370
Date	08/01/24
Drawn By	MN-PM
Checked By	JG

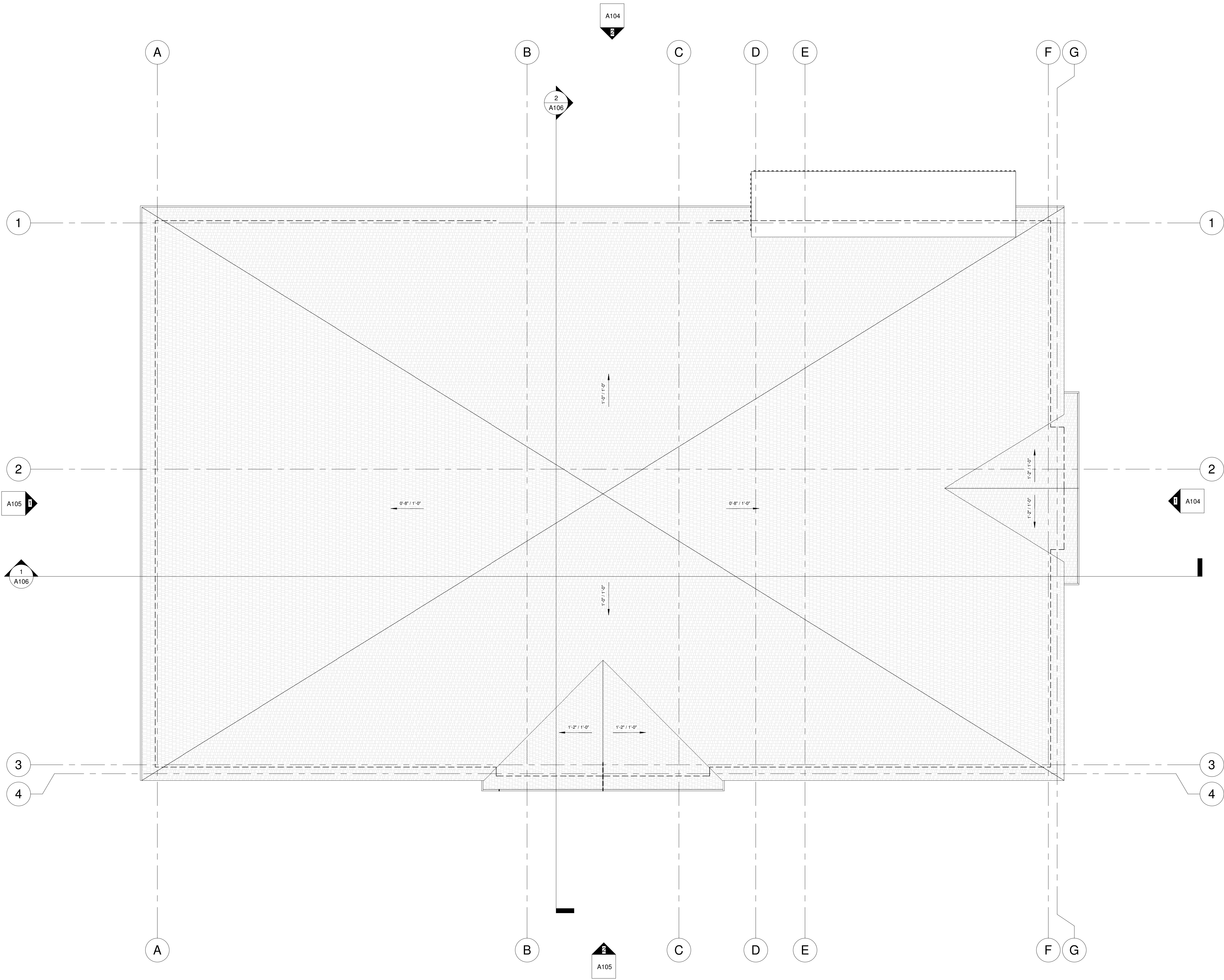
A102

Scale As indicated

2ND FLOOR PLAN

SCALE
3/16" = 1'-0"

1



GENERAL NOTES

- GC TO INSTALL AND SEAL ROOF PENETRATIONS, CURBS AND SLEEPERS.
- HVAC VENDOR TO PROVIDE ROOF CURBS AND VENDOR IS RESPONSIBLE FOR PROVISION/COORDINATION OF ROOF PENETRATIONS REQUIRED FOR EQUIPMENT INSTALLATION.
- FLASH PLUMBING VENT AND ELECTRICAL PIPES. SEE MEP DRAWINGS FOR LOCATIONS.
- GC TO PROVIDE POWER AND BLOCKING FOR ALL BUILDING SIGNAGE. COORDINATE WITH SIGN VENDOR.
- ALL FLASHINGS TO BE INSTALLED PER SMACNA STANDARDS.
- ALL FLASHINGS TO BE INSTALLED PER SMACNA STANDARDS.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND /OR INSTALL ALL ADJACENT AND /OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
- ALL FLAT ROOFS TO HAVE A MINIMUM SLOPE OF 1/4.
- MAXIMUM DISTANCE FROM THE HIGHEST POINT ON FLAT ROOF TO THE OVERFLOW DRAIN IN 2'.
- COORDINATE ROOF DRAIN AND OVERFLOW DRAIN LOCATIONS W/PARAPET KICKERS. SEE STRUCT. DWGS FOR ACTUAL SIZE OF KICKERS.
- ALL STRUCTURAL DETAILS SHALL INCLUDE LOADS, WIND REQUIREMENTS, BUILDING ENVELOPE, FOUNDATION, WALL SYSTEM AND STAIR SYSTEM.



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ROOF PLAN

No.	Description	Date

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Project Number	202370
Date	08/01/24
Drawn By	MN-PM
Checked By	JG

A103

Scale As indicated

ROOF

SCALE
3/16" = 1'-0"

1

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- ALL DIMENSIONS ARE REFERENCED TO FACE OF STUD U.N.O.
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- COORDINATE ALL WALL HEIGHTS WITH INTERIOR ELEVATIONS FINISH SCHEDULE AND DETAILS TO ENSURE PROPER FRAMING HEIGHTS.
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- PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT.
- ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHEREVER POSSIBLE.
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- ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.
- USE USG DRYWALL SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. BD. (TYP).
- GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
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- GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQ'S.
- SEE EXTERIOR ELEVATIONS AND SECTIONS FOR EXTERIOR WALL FINISH.
- ALL FURNITURE & EQUIPMENT SHOWN FOR REFERENCE ONLY.
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- ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILTES.
- ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK. VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT.



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BUILDING SECTIONS

Section 1

SCALE
3/16" = 1'-0"

1

ALL JOIST, BEAM, POST AND HEADER SIZES TO BE SPECIFID BY STRUCTURAL ENGINEER. ORIGINATION DESIGN, LLC NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECS. THESE BEAM AND JOIST LAYOUTS ARE APPROXIMATE, SEE ENGINEERED DRAWINGS OR MANUFACTURERS LAYOUTS FOR EXACT LOCATIONS.

Section 2

SCALE
3/16" = 1'-0"

2

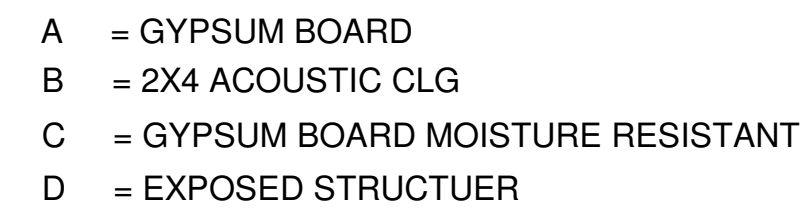
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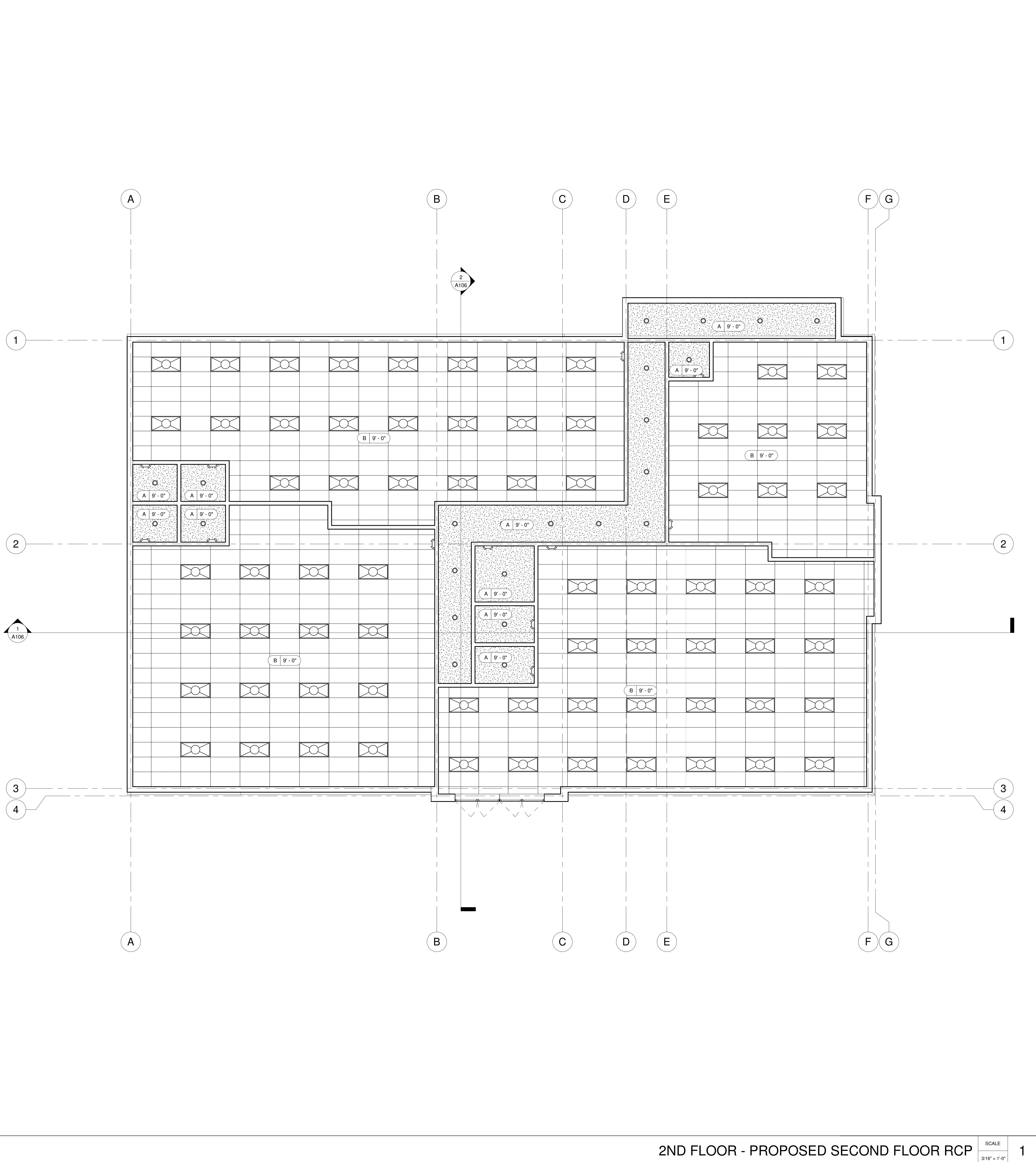
Project Number	202370
Date	06/11/24
Drawn By	BS
Checked By	JG

A106

Scale As indicated



SCALE
$3/16" = 1'-0"$



CEILING TYPES

CEILING FINISH TYPE

X

8'-0"

CEILING HEIGHT

A = GYPSUM BOARD
B = 2X4 ACOUSTIC CLG
C = GYPSUM BOARD MOISTURE RESISTANT
D = EXPOSED STRUCTUER

1. REFER TO ARCHITECTURAL FLOOR PLAN FOR ADDITIONAL DIMENSIONS.

2. ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED, HEIGHT TO BOTTOM OF LIGHT.

3. REFER TO PLUMBING, ELECTRICAL AND MECHANICAL DRAWINGS FOR LOCATION OF RELATED ITEMS & SPEC. OF ALL CEILING MOUNTED FIXTURES & VERIFY EXACT LOCATION W/ARCHITECT.

4. COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.

5. ALL RECESSED LIGHT FIXTURES, SPRINKLER HEADS AND PENDANT LIGHT FIXTURES IN THE CEILING TILE ARE CENTERED IN THE TILE UNLESS NOTED OTHERWISE.

6. ALL LIGHT FIXTURES AND LIGHT BULBS ARE OWNER FURNISHED AND INSTALLED BY G.C.

7. USE USG DRYWALL SUSPENSION FLAT SYSTEM (OR EQUAL) FOR SUSPENDED AREAS OF GYP. BD. (TYP).

8. PROVIDE WALL BACKING FOR REINFORCEMENT AS REQUIRED.

9. PROVIDE SOLID BLOCKING FOR ALL 'J' BOXES SUSPENDED LIGHT AND CEILING FAN FIXTURES, TELEVISION SUPPORT, ARTIFACT SHELVES AND ANY OTHER CEILING MOUNTED EQUIPMENT.

10. ALL ACOUSTIC TILE JOINT LINES TO BE ALIGNED & COORDINATED FOR FIXTURE PLACEMENT, AVOIDING LESS THAN 1/2 OF A TILE AROUND THE PERIMETER WHEREVER POSSIBLE.

11. ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.

12. PROVIDE LATERAL BRACING FOR SUSPENDED CEILINGS PER DETAIL DIFFUSERS AND LIGHTS TO HAVE HANG WIRES ON ALL FOUR CORNERS.

13. PROVIDE WALL BRACING CONNECTIONS TO ROOF STRUCTURE PER DETAIL.

14. PROVIDE SOFFIT CONNECTIONS TO ROOF STRUCTURE AND LATERAL BRACING PER DETAIL.

15. ALL LIGHT FIXTURE TRIM RINGS, EXPOSED CONDUITS, 'J' BOXES, HVAC GRILLS, EMERGENCY LIGHT FIXTURES, DUPLEX OUTLETS AND FACE PLATES SHALL BE PAINTED TO MATCH THE ADJACENT FINISH U.N.O.

16. ANY LIGHT NOT DIMENSIONALLY LOCATED TO BE CENTERED IN THE CEILING TILE, CEILING AREA, OR ROOM AS APPLICABLE. ALL FIXTURES TO BE MOUNTED IN THE CENTER OF THE CEILING TILES UNLESS NOTED OTHERWISE.

17. FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL. GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS.

18. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.

19. FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION.

20. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WIN THE PUBLIC SPACE SHALL BE CONTAINED W/IN FULLY RECESSED CABINETS.

21. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION AND SHALL BE RESPONSIBLE TO COMPLY, WITH ANY NATIONAL STATE & LOCAL CODES.

22. FOR LOCATION OF ELECTRICAL OUTLET AND HEIGHT REFER TO ELECTRICAL DRAWINGS. ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY.

23. DETECTION, ALARM, AND COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, ECTION 28.3.4

24. ENSURE EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGN ARE PROVIDED PER CODE. INCLUDING EMERGENCY LIGHTS IN THE PUBLIC TOILETS.

25. ENSURE THAT THE FIRE ALARM CONTROL PANEL WILL BE LOCATED SUCH THAT IT IS CONVENIENT TO THE RECEPTION DESK CLERK, VERIFY LOCATION W/ LOCAL FIRE MARSHAL DEPARTMENT.

26. MINIMUM HEIGHT OF ANY OCCUPIED SPACE IS 7'-6" A.F.F. INCLUDING CORRIDORS, BATHROOMS, KITCHENS AND STORAGE ROOMS. LAUNDRY ROOMS SHALL HAVE A MINIMUM HIGHT OF 7'0" A.F.F.

27. REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.

28. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ELECTRICAL AND MECHANICAL WORK WITH ALL OTHER TRADES. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS.

29. SEE ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE,CIRCUITING,SWITCHING REQUIREMENTS, AND EMERGENCY LIGHTING LOCATION.

30. SEE MECHANICAL DRAWINGS FOR FIXTURE SCHEDULE,FIRE DAMPER LOCARIONS AND INSTALLATION DETAILS.

31. ANY ELECTRICAL FIXTURE OR MECHANICAL DUCT THAT PENETRATES A RATED WALL OR CEILING ASSEMBLY MUST HAVE RATED FIXTURES AND FIRE DAMPERS TO MAINTAIN THE REQUIRED RATING.

32. LOCATE ALL PLUMBING SHUT-OFF VALVES ABOVE SUSPENDED ACOUSTIC TILE CEILINGS. (CEILING ACCESS PANELS REQUIRED AT GYPSUM BOARD CEILINGS).

33. FIRE RATED SEALANT AT ALL RATED SEPARATION PENETRATIONS.

34. ANY PORTION OF A WALL SCONCE OR OTHER OBJECTS THAT PROTRUDES INTO THE CIRCULATION PATH ABOVE 27" A.F.F AND BELOW 80" A.F.F IS LIMITED TO A 4" MAXIMUM PROJECTION.

35. LAYOUT OF CEILING TILES TO BE CENTERED AT CORRIDORS.

36. SMOKE DETECTORS ARE TO BE CENTERED ON CEILING TILES (TYP).

LEGEND

LITHONIA 2X4 RECESSED LED LIGHTING #2TL4 (PROVIDED BY GC)

LITHONIA 4" RECESSED LED LIGHTING #L3LED24 (PROVIDED BY GC)

GLOBE ELECTRIC 64906 BLACK ROPE VINTAGE LIGHT #PLT-KST58NLVG022K (PROVIDED BY GC)

EMERGENCY LIGHT LITHONIA ELM2 SELF-DIAGNOSTICS (PROVIDED BY GC)

EMERGENCY LIGHT W/ ILLUMINATED SIGN

ILLUMINATED EXIT SIGN

MECHANICAL VENTILATION LIGHT ACTIVATED
- WOMEN MIN. 50CFM/70 UNI
- MEN MIN. 100 CFM/70 UNIT

SINGLE POLE TOGGLE SWITCH AT 48" A.F.F.

2-GANG DATA BACK BOX W/1" CONDUIT (PROVIDE BUSHING ON END) BY DATA COMMUNICATION SUB-CONTRACTOR

SUPPLY AIR DIFFUSER

RETURN AIR DIFFUSER

RETURN LIGHT SWITCH W/ MULTI-LEVEL DIMMING

LIGHT SWITCH W/ PHOTO SENSOR

SPEAKER

CAMERA

SMOKE DETECTOR

MOTION DETECTOR

J-BOX

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Project Number202370

Date08/01/24

Drawn ByBS

Checked ByJG

A202

ScaleAs indicated

ORIGINATION
— DESIGN —
Architecture.Planning.Interior.Design

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PROPOSED SECOND FLOOR RCP

No.	Description	Date

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Date08/01/24

Drawn ByBS

Checked ByJG

A202

ScaleAs indicated

27/08/2024 08:37:26 PM



FRONT ELEVATION

SCALE
1/4" = 1'-0"
2



RIGHT ELEVATION - FACING BETHANY BEND ST.

SCALE
1/4" = 1'-0"
1

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
2. OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
3. ALL HEIGHT REFERENCES ARE TAKEN FROM DATUM-T.O.S. FOR AREA INDICATED.
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5. REFER TO CLIENT FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.
6. GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.
7. VERIFY LOCATION OF ALL LOUVERS, VENTS, ROOF DRAIN, OVERFLOW DRAIN DISCHARGE NOZZLES, & MECH EXHAUST W/MEPDWGS. PAINT ALL TO MATCH EXTERIOR FINISH.
8. EIFS COLORS ARE INTEGRAL IN THE FINISH AND SHALL NOT BE PAINTED FINISH.
9. IMPACT/ABUSE RESISTANT EIFS TO BE PROVIDED FROM GRADE TO LEVEL 2 FLOOR ELEVATION. (UP TO MIN.8' ABOVE ADJ. GRADE/SIDEWALK). REF. PROJECT SPECIFICATIONS.
10. EIFS TO BE MOISTURE DRAINABLE TYPE. PROVIDE EIFS & MASONRY CONTROL JOINT PER MANUFACTURE RECOMMENDATIONS.
11. ALL ROOF ITEMS TO BE PRE-FINISHED OR PAINTED TO MATCH ROOF MATERIAL.
12. GC TO VERIFY COLORS WITH OWNERS BEFORE COMMENCING ANY WORK. NOTE: ALL EXTERIOR SIGNAGE TO BE REVIEWED UNDER SEPARATE PERMIT APPLICATION BY SIGN CONTRACTOR.
13. ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
14. MINIMUM 3/4" PLAYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
15. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
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19. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
20. CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST DRILLING THROUGH PLUMBING AND WATER LINES AT TOILET STACKS AND VANITIES WHEN INSTALLING ART, MIRRORS, HOOKS, OR SHELVING ABOVE EACH FIXTURE.
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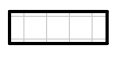

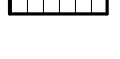


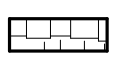
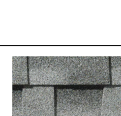
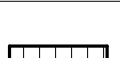

Project Name

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RENDRD ELEVATIONS - PHASE ONE

Owner

EXTERIOR FINISH SCHEDULE

MATERIAL HATCH	TAG	FINISH MATERIAL	DESCRIPTION	Manufacturer	COLOR	Type Image
	BR-1 [1]	BRICK VENEER	BRICK ON WOOD STUD WALL	NORTH GEORGIA BRICK	NGB WINTERHAVEN	
	SD-1 [2]	VERTICAL SIDING	VERTICAL SIDING ON WOOD STUD WALL	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN	
	ST-1 [3]	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT SYSTEM WITH TINTED GLASS	PLACEMENT MILTON		
	SH-1 [4]	SHINGLES ROOF	TIMBERLINE HDZ SHINGLES ROOF	GAF	BRITCHWOOD	
	BR-2 [5]	BRICK VENEER	BRICK WATER TABLE	NORTH GEORGIA BRICK	OLD LOUISVILLE TUDOR	

KEYNOTES

- △ SIGNAGE BY CLIENT.
- △ WINDOWS WITH GLAZED PANELS AND 6"x4" TRIM.
- △ TRIM FACIA - WOOD.
- △ TRIM FACIA ON CANAPOY ROOF - WOOD.
- △ WOOD BRACKET STAINED.
- △ WOOD BEAMS.
- △ CANOPY - WOOD.

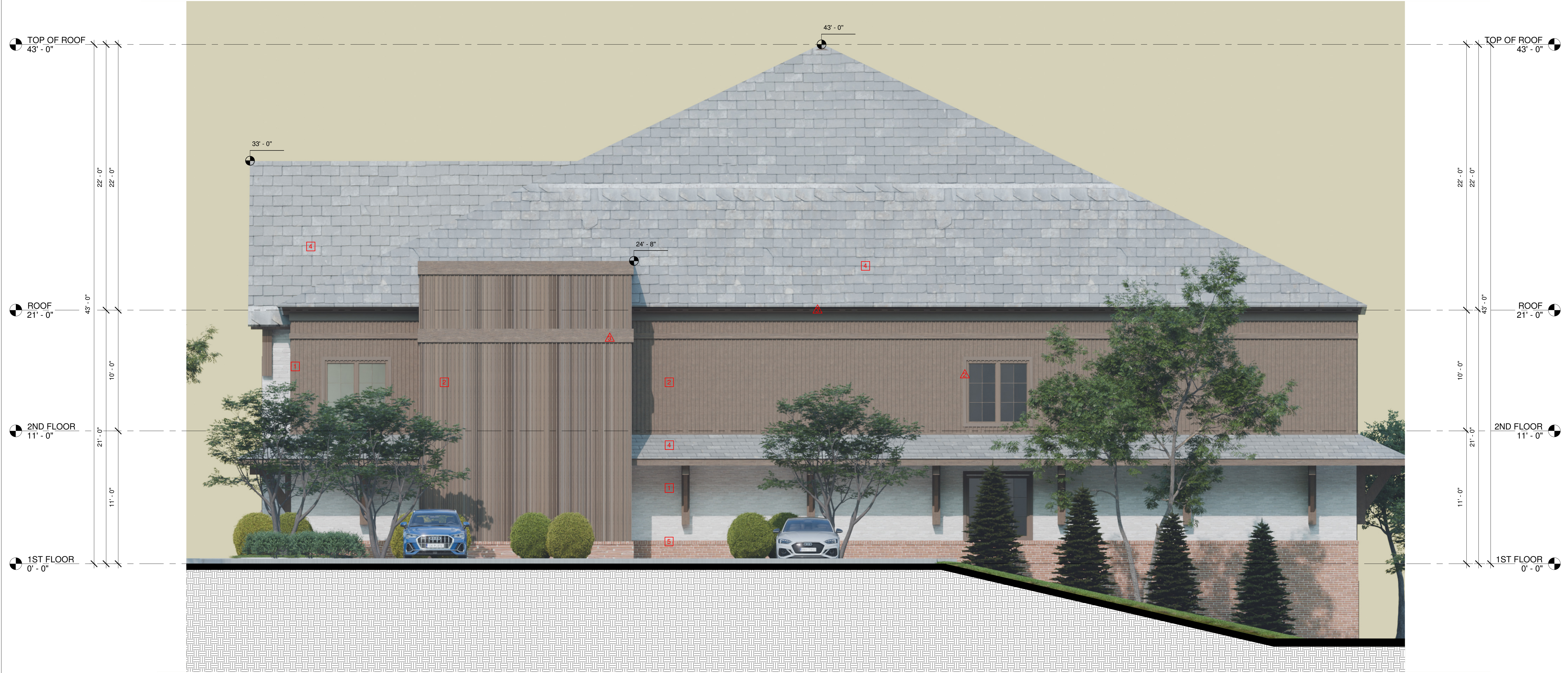
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Checked By	Checker

A300

Scale As indicated



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RENDRD ELEVATIONS - PHASE ONE

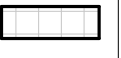



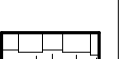
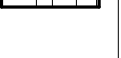



Owner

BACK ELEVATION

SCALE
1/4" = 1'-0"

2

EXTERIOR FINISH SCHEDULE

MATERIAL HATCH	TAG	FINISH MATERIAL	DESCRIPTION	Manufacturer	COLOR	Type Image
	BR-1 [1]	BRICK VENEER	BRICK ON WOOD STUD WALL	NORTH GEORGIA BRICK	NGB WINTERHAVEN	
	SD-1 [2]	VERTICAL SIDING	VERTICAL SIDING ON WOOD STUD WALL	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN	
	ST-1 [3]	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT SYSTEM WITH TINTED GLASS	PLACEMENT MILTON		
	SH-1 [4]	SHINGLES ROOF	TIMBERLINE HDZ SHINGLES ROOF	GAF	BRITCHWOOD	
	BR-2 [5]	BRICK VENEER	BRICK WATER TABLE	NORTH GEORGIA BRICK	OLD LOUISVILLE TUDOR	

KEYNOTES

- △ SIGNAGE BY CLIENT.
- △ WINDOWS WITH GLAZED PANELS AND 6"x4" TRIM.
- △ TRIM FACIA - WOOD.
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- △ WOOD BEAMS.
- △ CANOPY - WOOD.



LEFT ELEVATION

SCALE
1/4" = 1'-0"

1

No. Description Date

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EXTERIOR SHOT - BACK & SIDE VIEW

SCALE
1/4" = 1'-0"

2



EXTERIOR SHOT - FRONT & SIDE VIEW

SCALE
1/4" = 1'-0"

1



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3D EXTERIOR SHOTS - PHASE ONE

Owner

No.	Description	Date

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Date	08/27/24
Drawn By	Author
Checked By	Checker

A400

Scale 1/4" = 1'-0"

27/08/2024 08:14:54 PM

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
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RENDERED ELEVATIONS - PHASE ONE & TWO

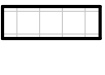
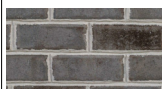
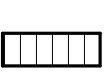





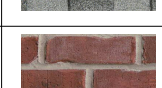
Owner

FRONT ELEVATION 1&2

SCALE
1/4" = 1'-0"

2

EXTERIOR FINISH SCHEDULE

MATERIAL HATCH	TAG	FINISH MATERIAL	DESCRIPTION	Manufacturer	COLOR	Type Image
	BR-1 [1]	BRICK VENEER	BRICK ON WOOD STUD WALL	NORTH GEORGIA BRICK	NGB WINTERHAVEN	
	SD-1 [2]	VERTICAL SIDING	VERTICAL SIDING ON WOOD STUD WALL	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN	
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KEYNOTES

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RIGHT ELEVATION 1&2 - FACING BETHANY BEND

SCALE
1/4" = 1'-0"

1



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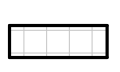




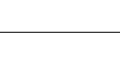



Owner

BACK ELEVATION 1&2

SCALE
1/4" = 1'-0"

2

EXTERIOR FINISH SCHEDULE

MATERIAL HATCH	TAG	FINISH MATERIAL	DESCRIPTION	Manufacturer	COLOR	Type Image
	1	BRICK VENEER	BRICK ON WOOD STUD WALL	NORTH GEORGIA BRICK	NGB WINTERHAVEN	
	2	VERTICAL SIDING	VERTICAL SIDING ON WOOD STUD WALL	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN	
	3	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT SYSTEM WITH TINTED GLASS	PLACEMENT MILTON		
	4	SHINGLES ROOF	TIMBERLINE HDZ SHINGLES ROOF	GAF	BRITCHWOOD	
	5	BRICK VENEER	BRICK WATER TABLE	NORTH GEORGIA BRICK	OLD LOUISVILLE TUDOR	

KEYNOTES

- △ SIGNAGE BY CLIENT.
- △ WINDOWS WITH GLAZED PANELS AND 6"x4" TRIM.
- △ TRIM FACIA - WOOD.
- △ TRIM FACIA ON CANOPY ROOF - WOOD.
- △ WOOD BRACKET STAINED.
- △ WOOD BEAMS.
- △ CANOPY - WOOD.

No. Description Date

No.	Description	Date

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Project Number Project Number

Date 08/27/24

Drawn By Author

Checked By Checker

A501

Scale As indicated

LEFT ELEVATION 1&2

SCALE
1/4" = 1'-0"

1





EXTERIOR SHOT 1&2 - BACK & SIDE VIEW

SCALE
1/4" = 1'-0"

1



EXTERIOR SHOT 1&2 - FRONT & SIDE VIEW

SCALE
1/4" = 1'-0"

2



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Project Name

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3D EXTERIOR SHOTS - PHASE ONE & TWO

Owner

No.	Description	Date

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Project Number	Project Number
Date	08/27/24
Drawn By	Author
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A600

Scale 1/4" = 1'-0"



Project Name

Enter address here

3D EXTERIOR SHOT

Owner

No.	Description	Date

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