

2001 TAROB COURT

MILPITAS, CA

SEPTEMBER 10, 2021



RESIDENTIAL BUILDINGS GENERAL INFORMATION

DESCRIPTION	CONDOMINIUM UNITS WITH INDIVIDUAL ENTRANCES AND PRIVATE TANDEM GARAGES WITH DIRECT ACCESS TO EACH DWELLING UNIT	
DWELLING UNITS	32	
HEIGHT	3 AND 4 STORIES	
CONSTRUCTION TYPE	V-A	
OCCUPANCY TYPES		
RESIDENTIAL UNITS	R-2	
PRIVATE GARAGES	U	
ADAPTABLE UNITS		
REQUIRED	10% OF 32 UNITS = 4	
PROVIDED	4	

BUILDING DATA

	Gross Living Area SF	Garage Area SF	Total SF	Private Open Space SF	Unit Count
Building 1	25,242	7,626	32,868	1,764	16 Units
Building 2	25,242	7,626	32,868	1,764	16 Units
Totals	50,484	15,252	65,736	3,528	32 Units

UNIT MIX

Unit Name	Description	Garage SF	Garage Type	Quantity	%	Unit Net SF*	Unit Gross SF**	Total Net SF*	Total Unit Gross SF**
Unit 1	2 Bedroom + 2 Bath	489	Tandem 2 Car	4	12.5%	1,365	1,854	5,460	7,416
Unit 2	3 Bedroom + 2 Bath	474	Tandem 2 Car	8	25.0%	1,414	1,888	11,312	15,104
Unit 4	3 Bedroom + 2 Bath	486	Tandem 2 Car	4	12.5%	1,430	1,916	5,720	7,664
Unit 5	3 Bedroom + 3 Bath	471	Tandem 2 Car	8	25.0%	1,619	2,090	12,952	16,720
Unit 7	3 Bedroom + 3 Bath	474	Tandem 2 Car	8	25.0%	1,880	2,354	15,040	18,832
Subtotal				32	100.0%			50,484	65,736
Avg. Unit Square Footage								1,578	2,054

APPLICANT:
TTLC TAROB 4, LLC
12647 ALCOSTA BLVD., SUITE 470
SAN RAMON, CA 94583
ATTN: LEAH BENISTON
925.380.1699

ARCHITECT:
SDG ARCHITECTS, INC.
3361 WALNUT BLVD., SUITE 120
BRENTWOOD, CA 94513
ATTN: SCOTT PRICKETT
925.634.7000

CIVIL ENGINEER:
WOOD RODGERS, INC.
4670 WILLOW RD #125
PLEASANTON, CA 94588
ATTN: KARRIE MOSCA
925.847.1547

LANDSCAPE ARCHITECT:
R3 STUDIOS, INC.
201 4TH STREET, SUITE 101B
OAKLAND, CA 94607
ATTN: ROMAN DE SOTA
510.452.1490

AFFORDABLE UNITS- NOTES

A. NUMBER OF UNITS: 5
B. AFFORDABLE LEVEL: MODERATE
 PROPOSED SIZES:
 PLAN 2- 4 UNITS @ 1,414 SF
 PLAN 4- 1 UNIT @ 1,430 SF
C. ALL AFFORDABLE UNITS WILL BE BUILT CON-
CURRENTLY WITH THE MARKET RATE UNITS.
D. AN EXECUTED AGREEMENT IMPOSING APPRO-
PRIATE OWNERSHIP CONTROLS ON THE AFFORD-
ABLE UNITS IS REQUIRED. THIS WILL BE
COMPLETED DURING THE BUILDING PERMIT
PROCESS.

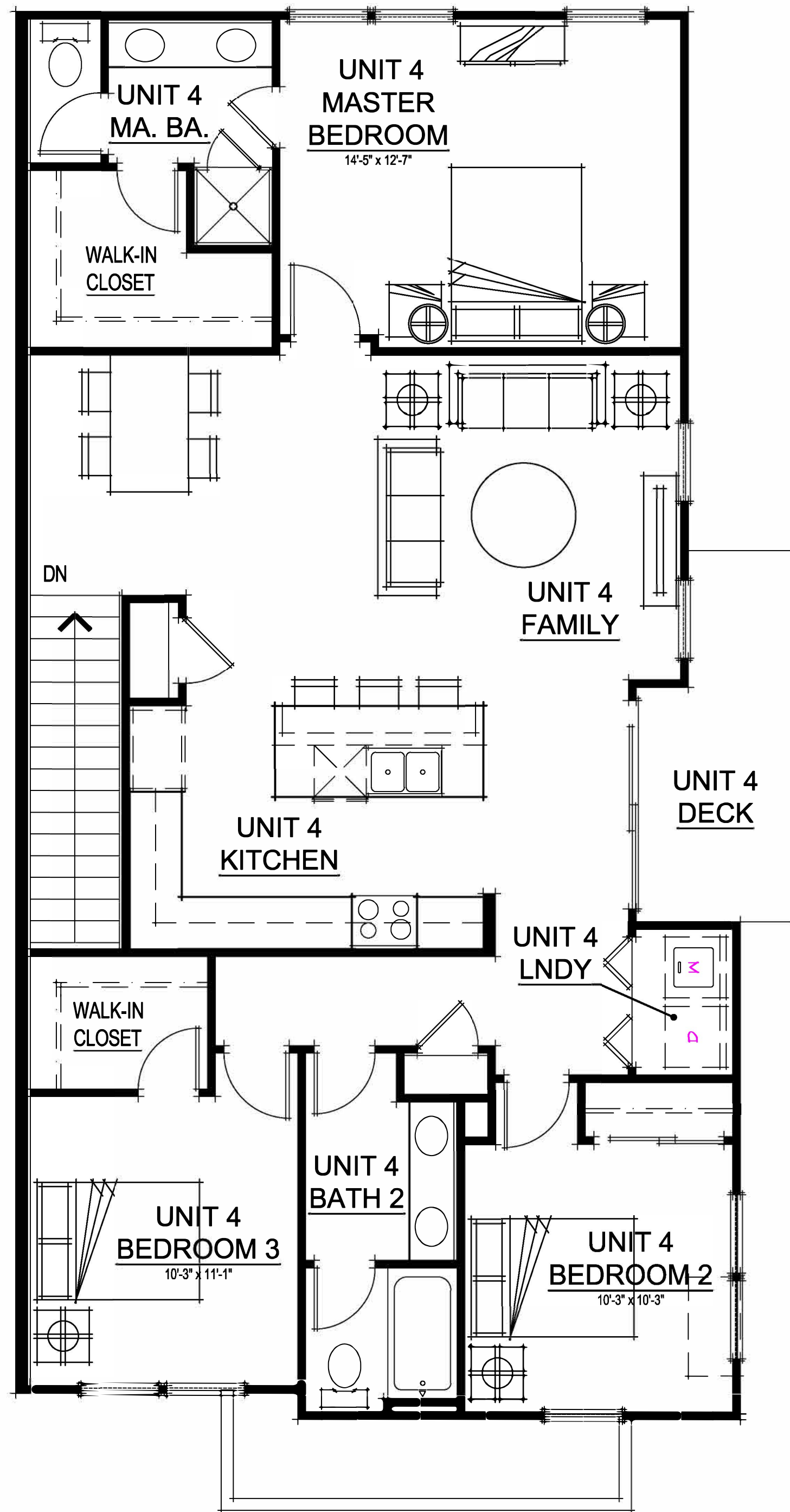
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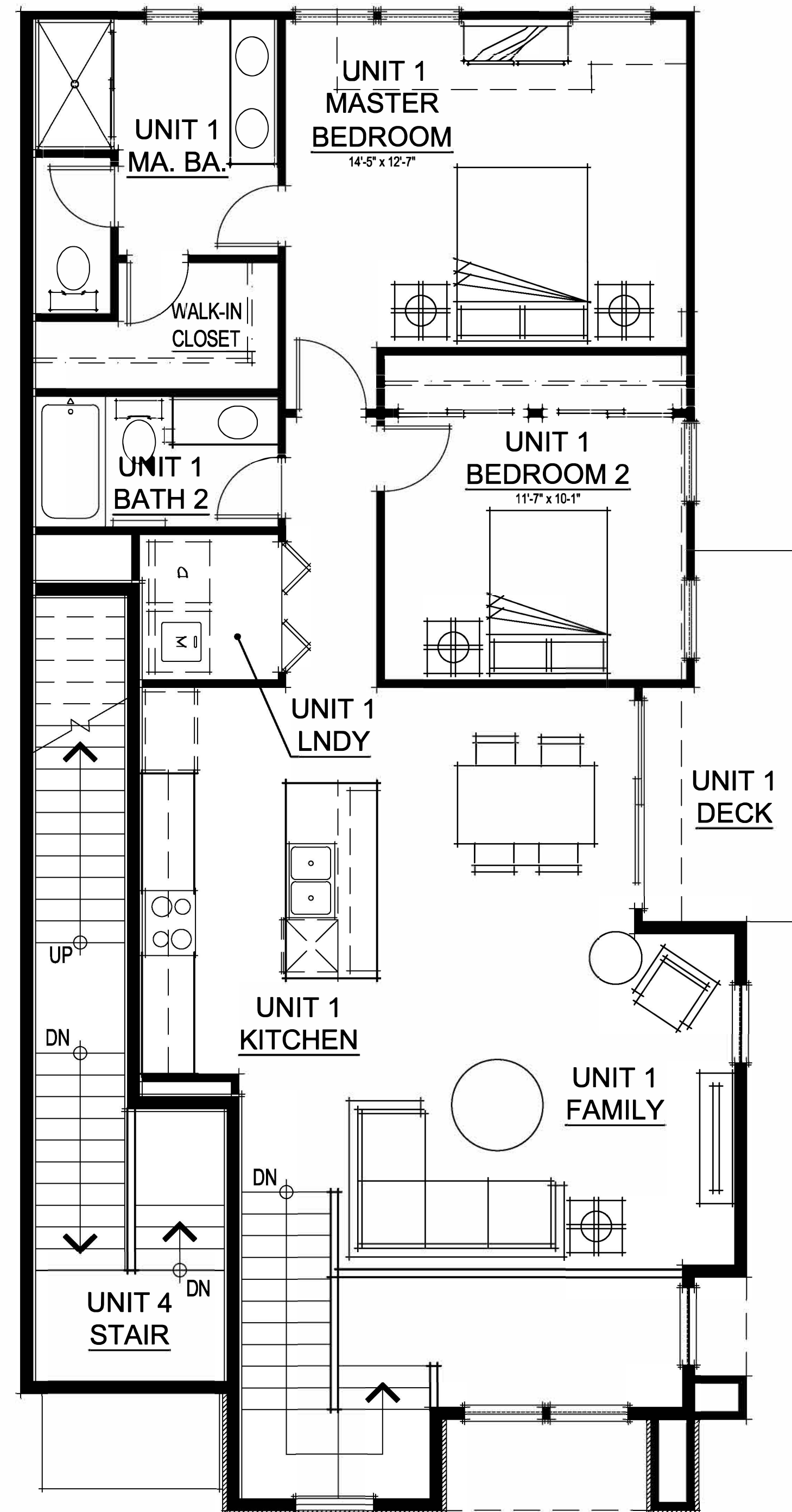
CIVIL
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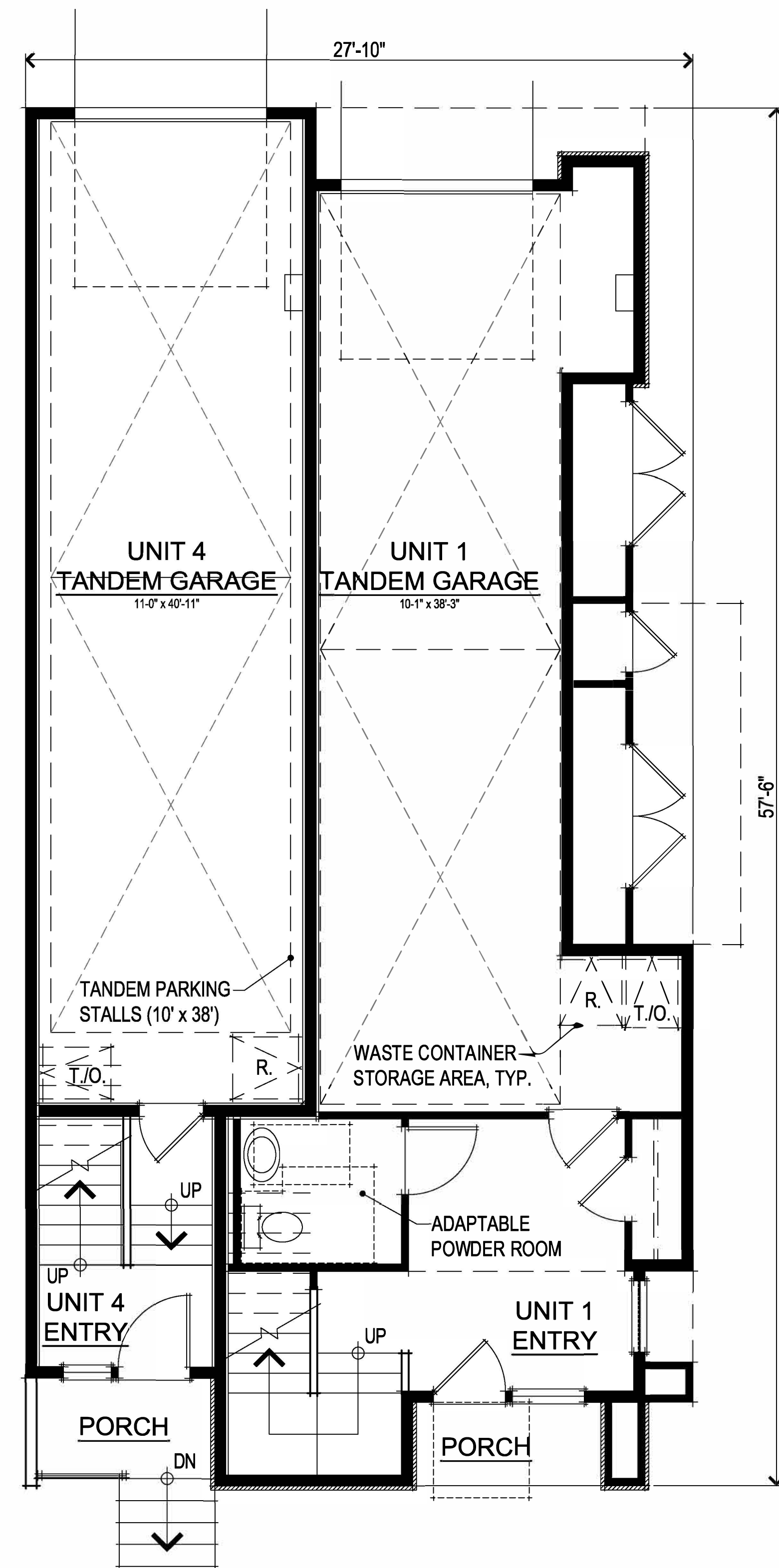




THIRD FLOOR PLAN



SECOND FLOOR PLAN

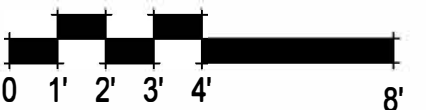


FIRST FLOOR PLAN

NOTE:
UNIT 1 IS AN ADA ADAPTABLE UNIT

UNIT 1 SQUARE FOOTAGES	
FIRST FLOOR	258 SQ. FT.
SECOND FLOOR	1107 SQ. FT.
TOTAL LIVING	1365 SQ. FT.
TANDEM GARAGE	489 SQ. FT.
PORCH	28 SQ. FT.
DECK	75 SQ. FT.

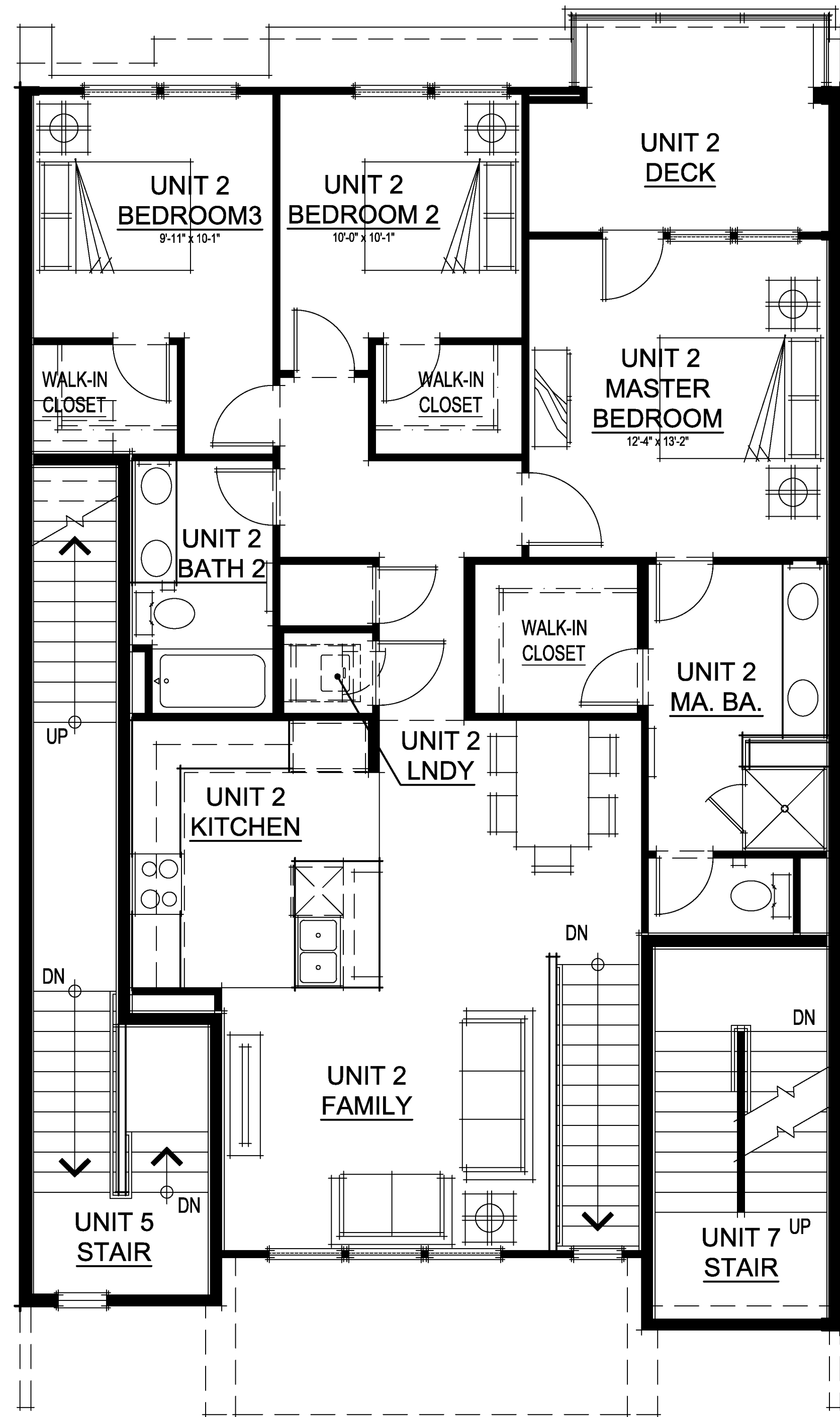
UNIT 4 SQUARE FOOTAGES	
FIRST FLOOR	90 SQ. FT.
1ST-3RD STAIRS	77 SQ. FT.
THIRD FLOOR	1340 SQ. FT.
TOTAL LIVING	1430 SQ. FT.
TANDEM GARAGE	486 SQ. FT.
PORCH	32 SQ. FT.
DECK	75 SQ. FT.



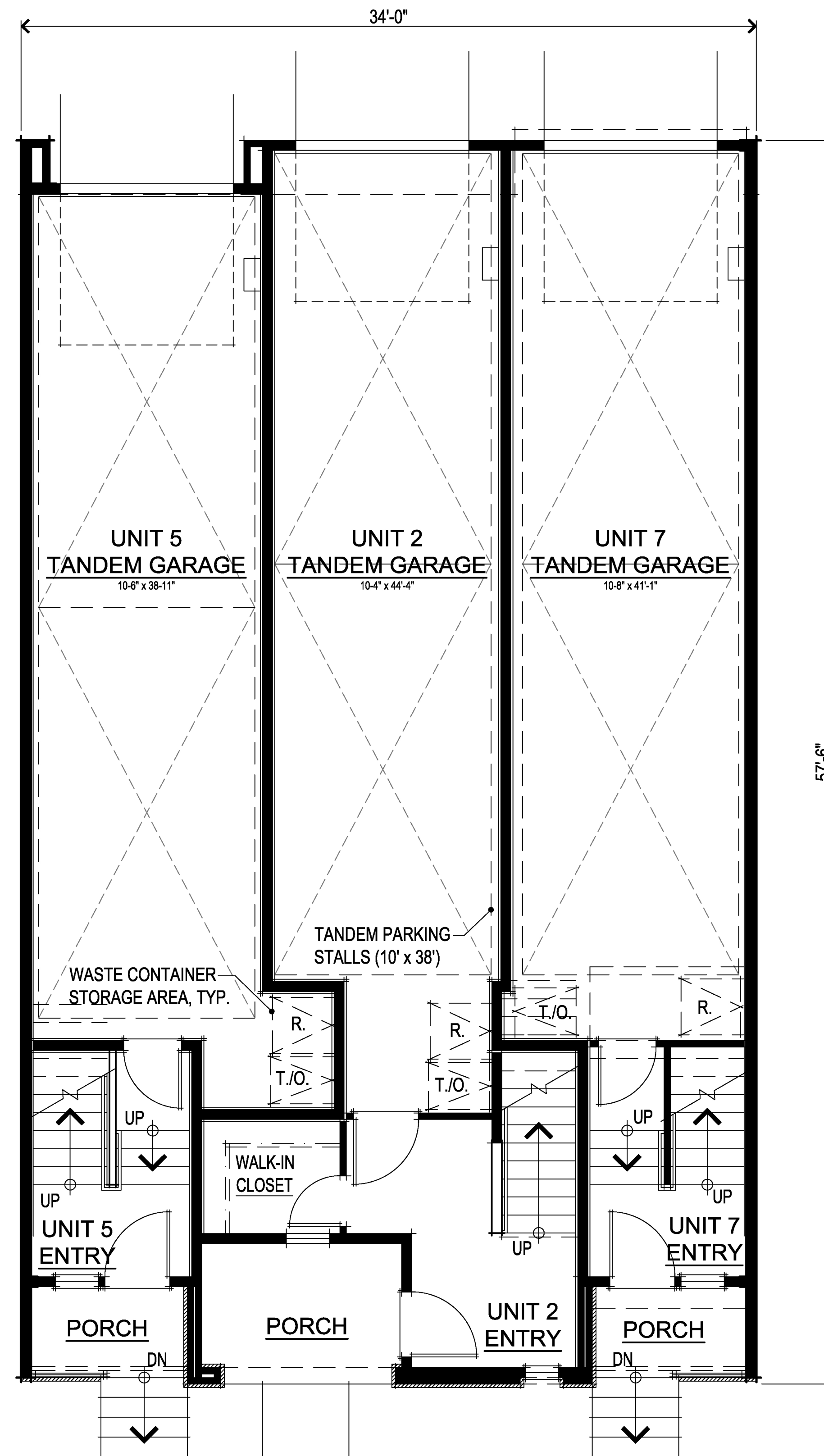
UNITS 1 & 4 FLOOR PLANS

A01

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SECOND FLOOR PLAN

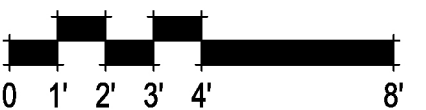


FIRST FLOOR PLAN

UNIT 5 SQUARE FOOTAGES	
FIRST FLOOR	92 SQ. FT.
1ST-3RD STAIRS	97 SQ. FT.
THIRD FLOOR	715 SQ. FT.
FOURTH FLOOR	715 SQ. FT.
TOTAL LIVING	1619 SQ. FT.
TANDEM GARAGE	471 SQ. FT.
PORCH	33 SQ. FT.
DECK 1	87 SQ. FT.
DECK 2	87 SQ. FT.

UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	173 SQ. FT.
SECOND FLOOR	1241 SQ. FT.
TOTAL LIVING	1414 SQ. FT.
TANDEM GARAGE	474 SQ. FT.
PORCH	62 SQ. FT.
DECK	87 SQ. FT.

UNIT 7 SQUARE FOOTAGES	
FIRST FLOOR	89 SQ. FT.
1ST-3RD STAIRS	126 SQ. FT.
THIRD FLOOR	834 SQ. FT.
FOURTH FLOOR	831 SQ. FT.
TOTAL LIVING	1880 SQ. FT.
TANDEM GARAGE	474 SQ. FT.
PORCH	31 SQ. FT.
DECK	105 SQ. FT.



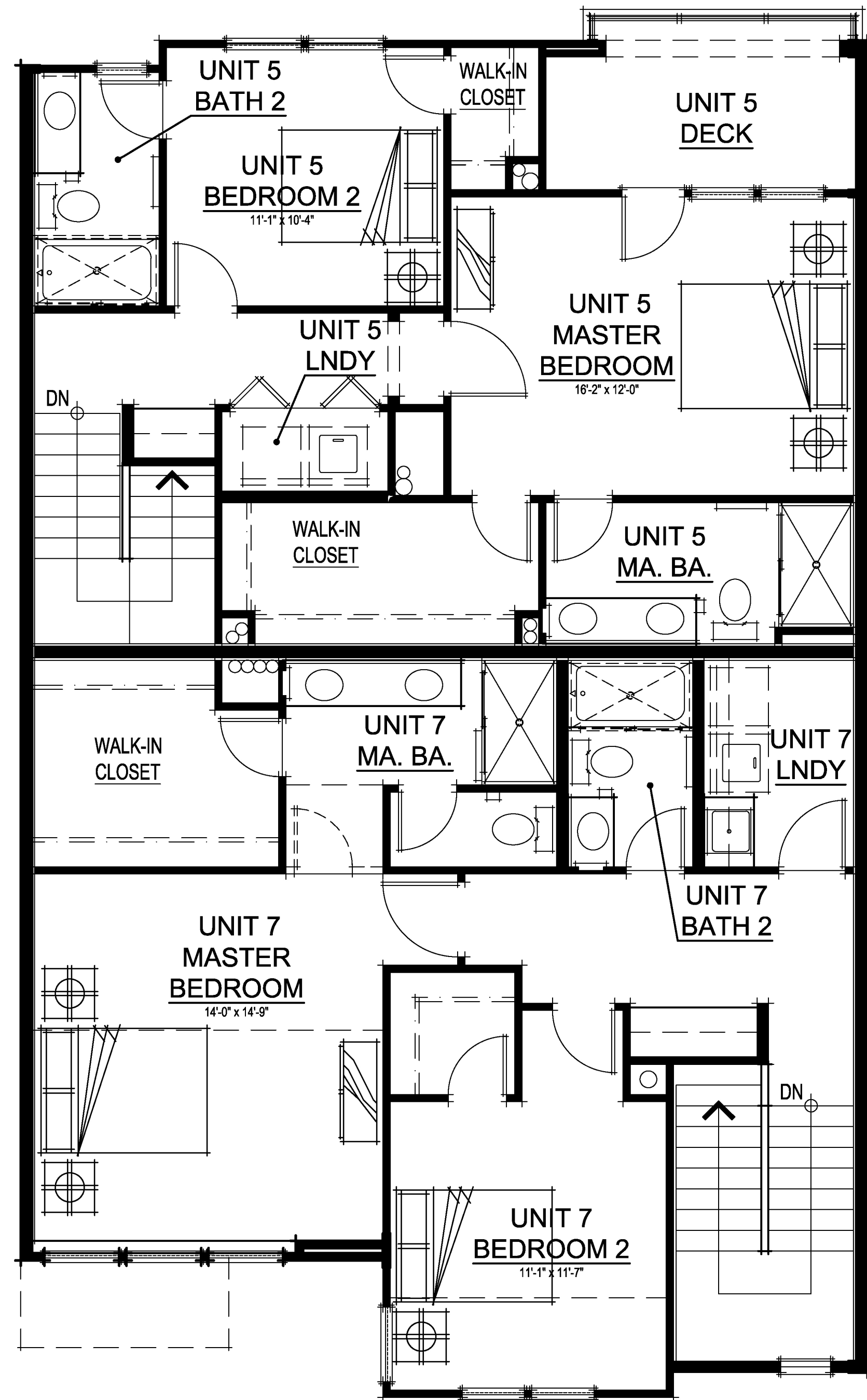
UNITS 2, 5 & 7 FLOOR PLANS
A02

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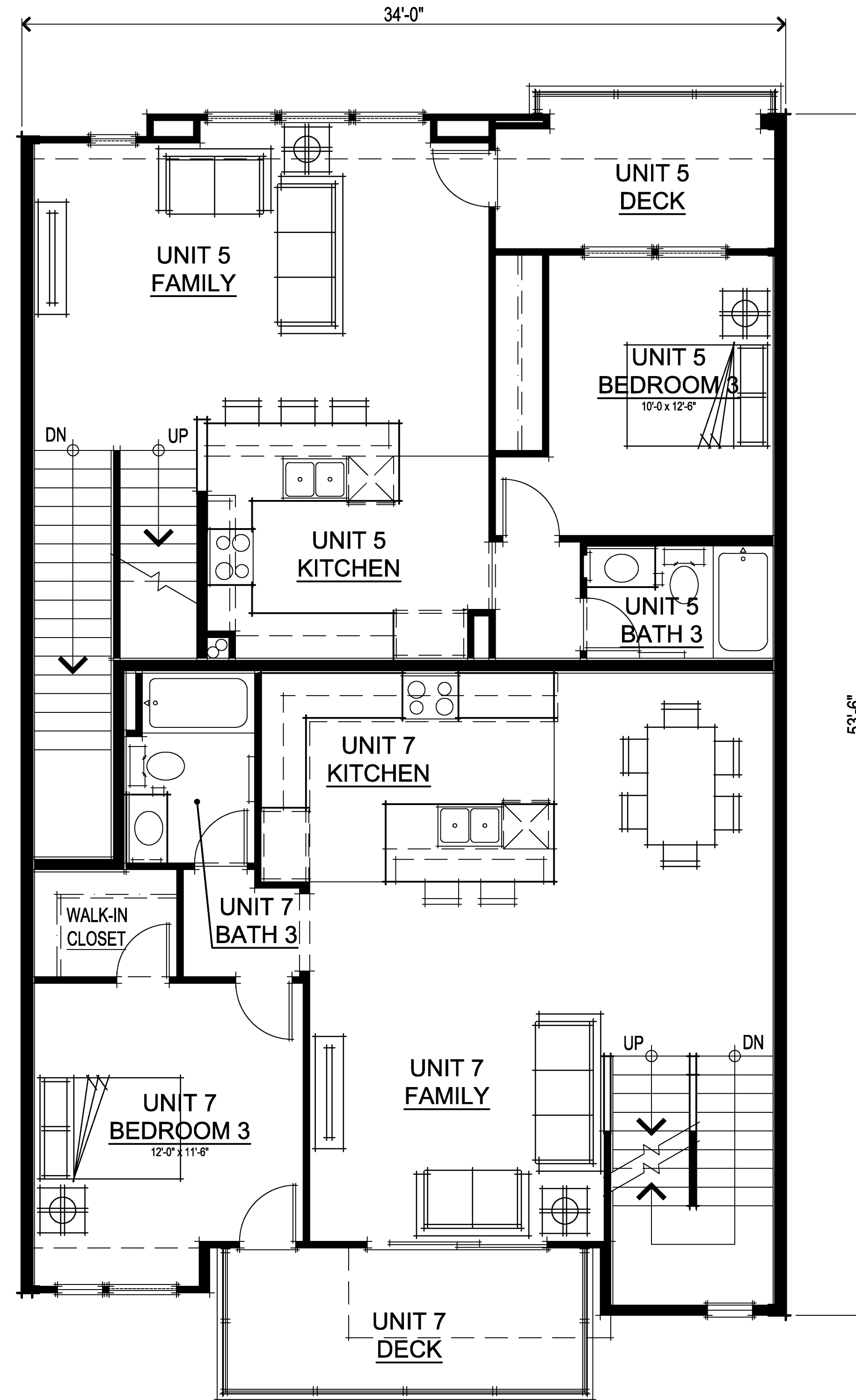
TTLIC Tarob 4, LLC
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
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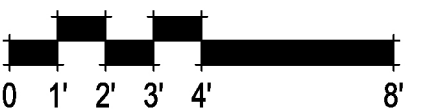


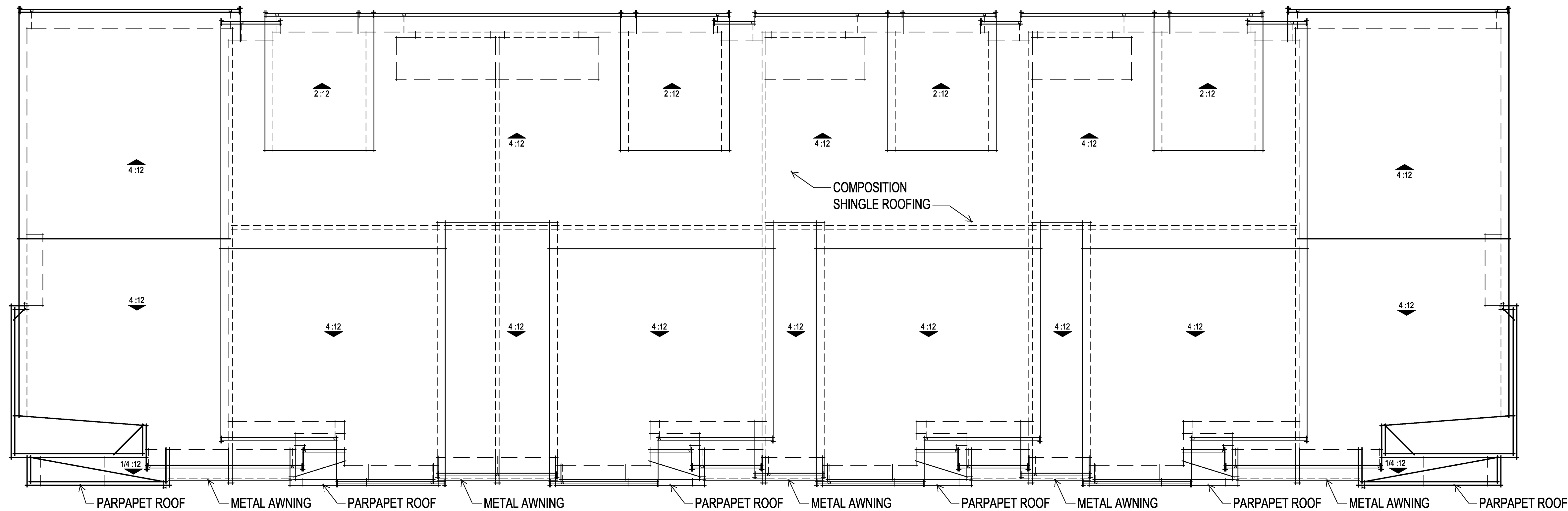


FOURTH FLOOR PLAN



THIRD FLOOR PLAN





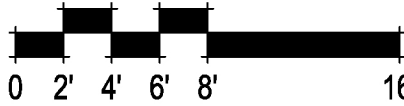
ROOF PLAN



EXTERIOR MATERIALS

- 1 HORIZONTAL SIDING
- 2 STUCCO W/ LIGHT SAND FINISH
- 3 STONE TILE VENEER
- 4 ARCHITECTURAL QUALITY COMPOSITION SHINGLE ROOFING
- 5 WOOD WINDOW TRIM
- 6 CONTEMPORARY GARAGE DOOR
- 7 METAL RAILING w/ HORIZONTAL PLANK RAILS
- 8 METAL AWNINGS
- 9 PRE-FINISHED METAL COPING
- 10 ENTRY WALL SCENCE
- 11 FIXTURE OVER GARAGE DOOR
- 12 ENTRY DOOR

FRONT ELEVATION



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16-UNIT BUILDING FRONT ELEVATION & ROOF PLAN
A04



LEFT ELEVATION

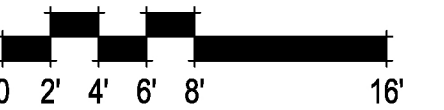


CONDENSER
UNIT, TYP.

RIGHT ELEVATION

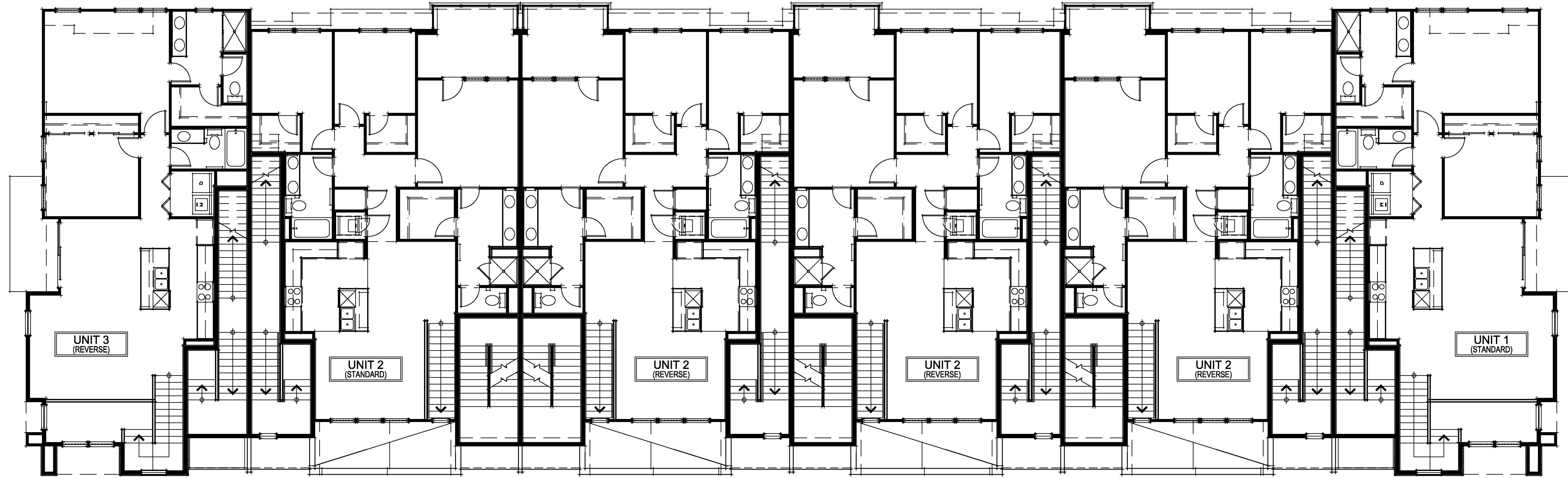


REAR ELEVATION

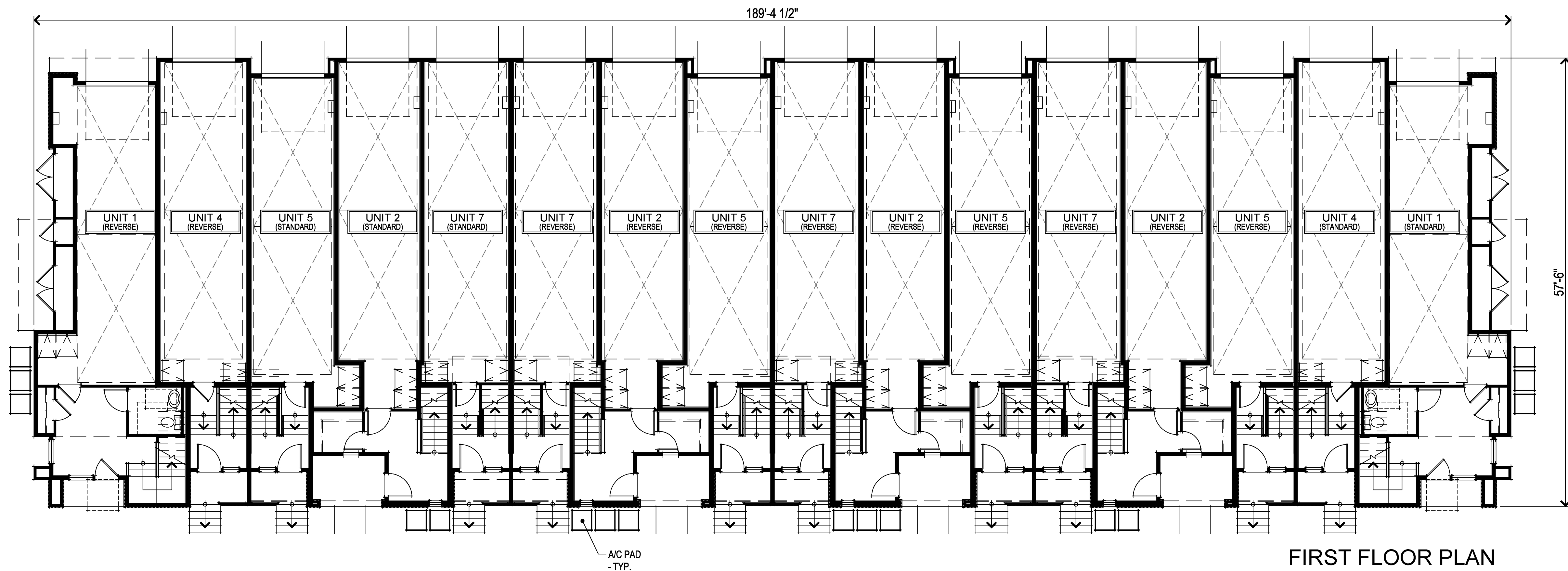


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16-UNIT BUILDING ELEVATIONS
A05



SECOND FLOOR PLAN



FIRST FLOOR PLAN



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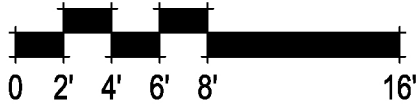
16-UNIT BUILDINGS FLOOR PLANS
A06



FOURTH FLOOR PLAN



THIRD FLOOR PLAN



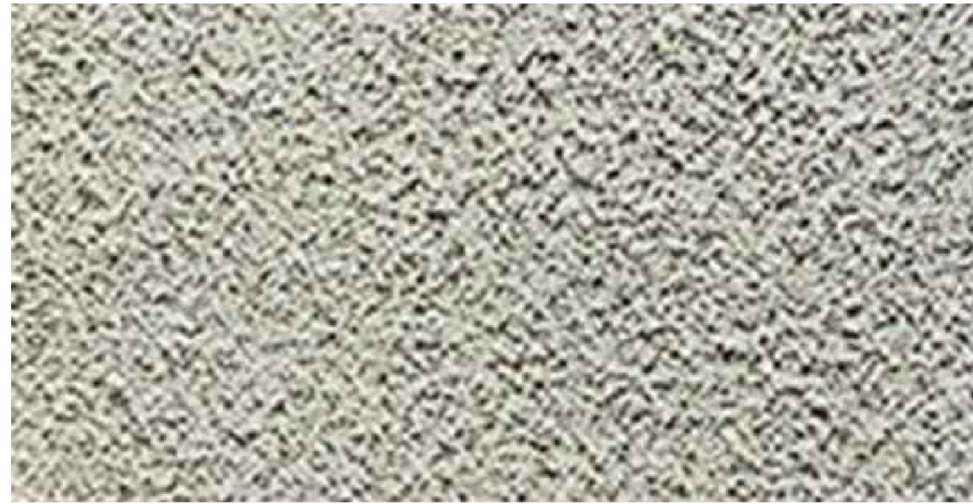
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16-UNIT BUILDINGS FLOOR PLANS
 A07

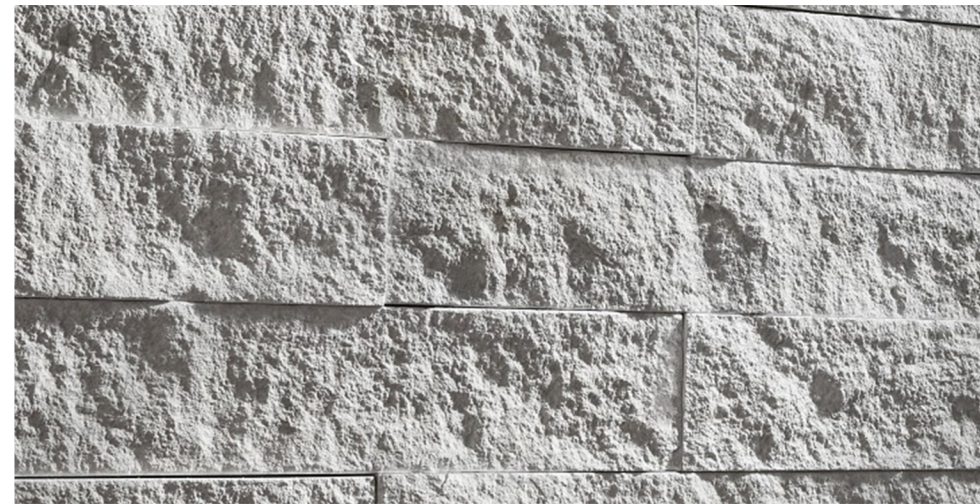
MATERIALS



1 HORIZONTAL SIDING
OCCURS WITH ALL BODY COLORS & ACCENT COLORS



2 STUCCO
LIGHT SAND FINISH
OCCURS WITH BODY 1 COLOR & ACCENT COLOR



3 STONE TILE VENEER
ELDORADO STONE: VANTAGE 30 - SOUTHERN PEAK



4 COMPOSITION SHINGLE ROOF
CERTAINTED: LANDMARK - WEATHERED WOOD



5 WOOD WINDOW TRIM



6 CONTEMPORARY GARAGE DOOR
GRAND HARBOR: SERIES 1 - DESIGN 11



7 METAL RAILING
WITH HORIZONTAL WOOD PLANK RAILS



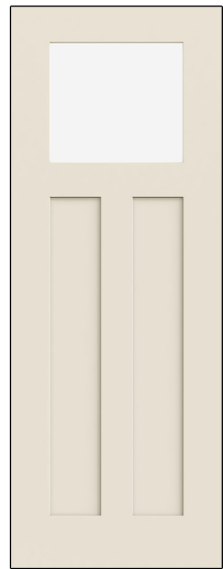
8 METAL AWNINGS



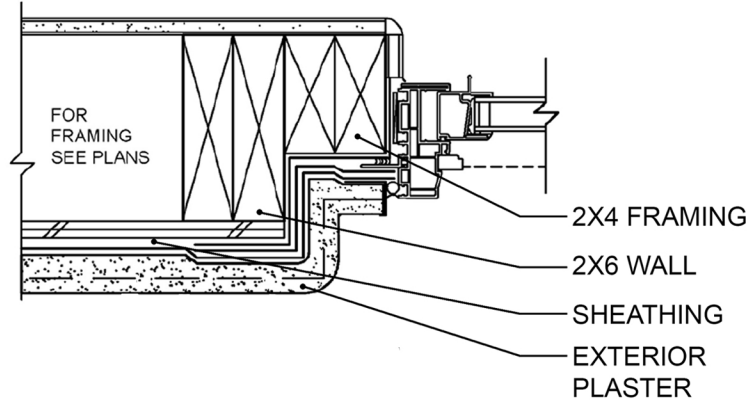
10 CONTEMPORARY WALL SCONCE
MODERN FORMS: HILINE - WS-W23



11 LED SURFACE MOUNT FIXTURE
WPX LED

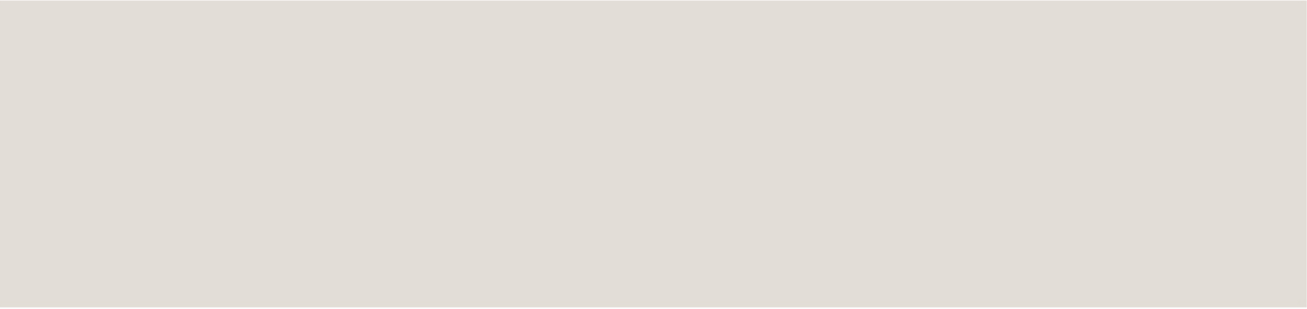


12 FRONT ENTRY DOOR



RECESSED WINDOW DETAIL
(NO TRIM)

COLOR SCHEME



Body 1
SW 7011 Natural Choice
(254-C6)



Body 5
SW 6183 Dried Thyme
(215-C5)



Body 6
SW 032 Needlepoint Navy



Accent & Fascia
SW 7673 Pewter Cast
(282-C4)

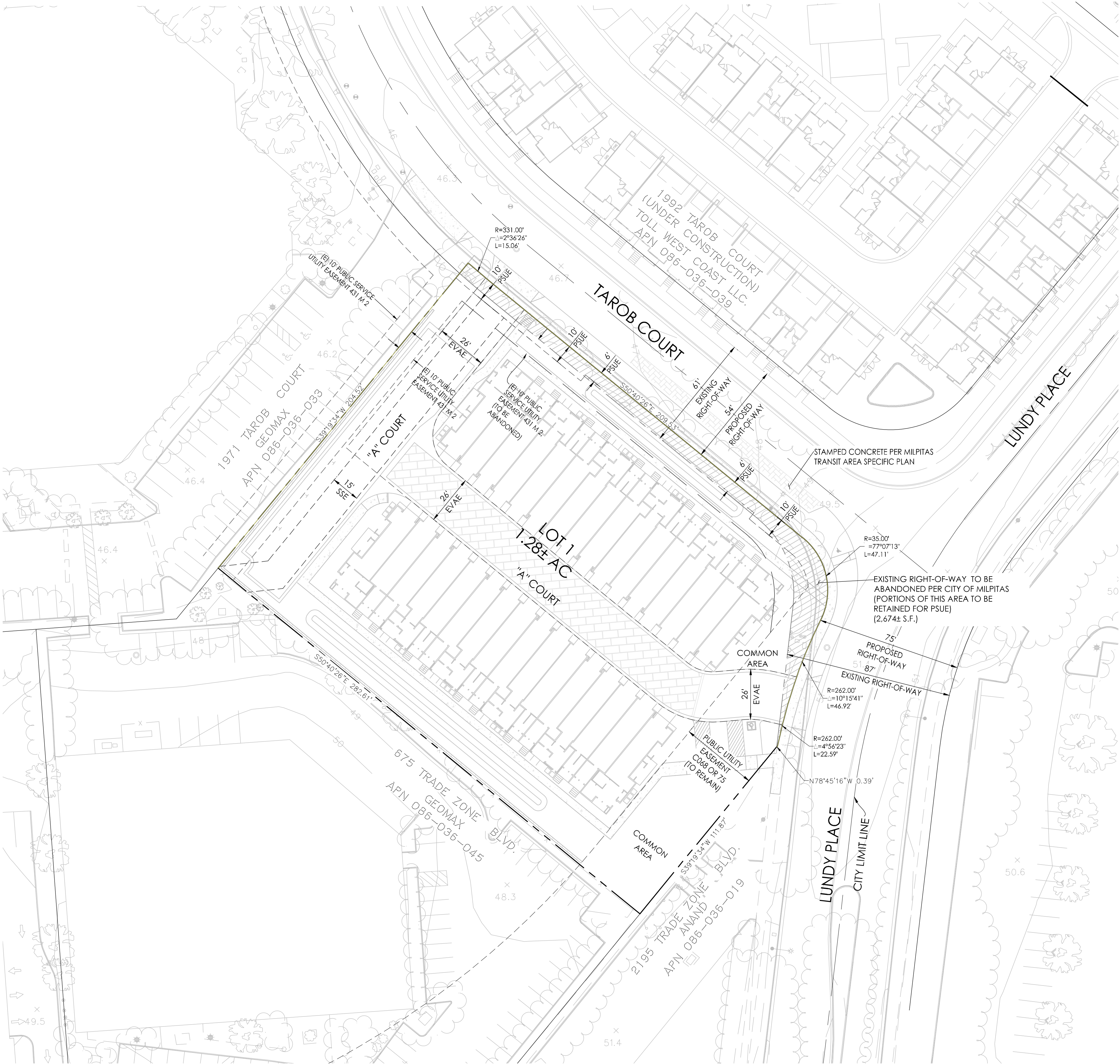


Entry Door
SW 7068 Grizzle Gray
(236-C6)

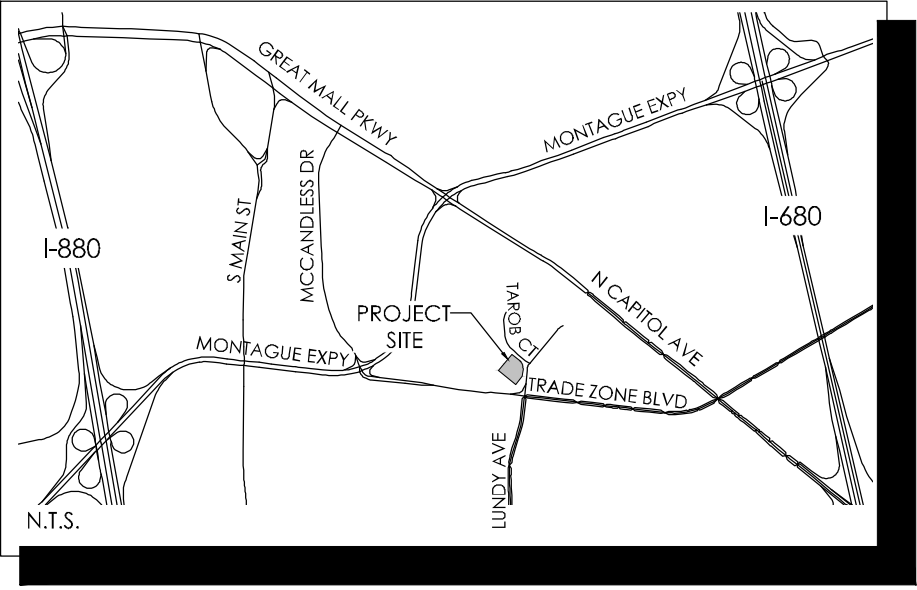
EXTERIOR MATERIALS

- 1 HORIZONTAL SIDING
- 2 STUCCO W/ LIGHT SAND FINISH
- 3 STONE TILE VENEER
- 4 ARCHITECTURAL QUALITY COMPOSITION SHINGLE ROOFING
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- 10 ENTRY WALL SCONCE
- 11 FIXTURE OVER GARAGE DOOR
- 12 ENTRY DOOR

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Milpitas, CA
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LOCATION MAP



LEGEND

PROPOSED		EXISTING
	PROJECT BOUNDARY	
	RIGHT-OF-WAY	
	EASEMENT LINE	
	CENTERLINE	
	BUILDING	
	HARDSCAPE	
	TREE	
	ACCESSIBLE PATH OF TRAVEL	
	RIGHT OF WAY ABANDONMENT	
	CONCRETE	
	PERVIOUS PAVERS	

ABBREVIATIONS

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
PSUE	PUBLIC SERVICE UTILITY EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
SSE	SANITARY SEWER EASEMENT

SHEET INDEX

TM01	VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
TM02	EXISTING CONDITIONS & DEMOLITION PLAN
TM03	PRELIMINARY SITE PLAN
TM04	PRELIMINARY UTILITY PLAN
TM05	PRELIMINARY SOLID WASTE HANDLING PLAN
TM06	PRELIMINARY FIRE TRUCK ACCESS PLAN
TM07	PARKING PLAN
TM08	PRELIMINARY STORMWATER CONTROL PLAN
TM09	PRELIMINARY GRADING & DRAINAGE PLAN
TM10	PRELIMINARY FLOODPLAIN MANAGEMENT PLAN
TM11	CONDITIONS OF APPROVAL
P 1.0	OPEN SPACE EXHIBIT



PROJECT NOTES

APPLICANT
TILC TAROB 4, LLC
12647 ALCOSTA BOULEVARD, SUITE 470
SAN RAMON, CA 94583
CONTACT: LEAH BENISTON PHONE: (925) 380-1699

OWNER
CAROL I CORTESE
3626 NORCROSS CT.
SAN JOSE, CA 95148

ENGINEER/PLANNER
WOOD RODGERS, INC.
4670 WILLOW ROAD, SUITE 125
PLEASANTON, CA 94588
CONTACT: KARRIE MOSCA/PAUL MEUSER
PHONE: (925) 847-1547

PROJECT ADDRESS
2001 TAROB COURT, MILPITAS, CA 95035

ASSESSOR'S PARCEL NO.
086-036-034

AREA
1.22± ACRES EXISTING
1.28± ACRES PROPOSED (AFTER ABANDONMENT OF RIGHT-OF-WAY)

DENSITY
25.0± DWELLING UNITS/ACRE

NUMBER OF LOTS / UNITS
1 LOT / 32 CONDOMINIUM UNITS

EXISTING USE
INDUSTRIAL

PROPOSED USE
MULTI-FAMILY RESIDENTIAL

EXISTING GENERAL PLAN
MULTI-FAMILY RESIDENTIAL HIGH DENSITY (MFH) 21-40 UNITS/GROSS ACRE

PROPOSED GENERAL PLAN
MULTI-FAMILY RESIDENTIAL HIGH DENSITY (MFH) 21-40 UNITS/GROSS ACRE

EXISTING ZONING
R3 - HIGH DENSITY, TRANSIT ORIENTED

PROPOSED ZONING
R3 - HIGH DENSITY, TRANSIT ORIENTED

PARK DISTRICT
MILPITAS RECREATION SERVICES DIVISION

FIRE PROTECTION
MILPITAS FIRE DEPARTMENT

SCHOOL DISTRICT
BERRYESSA UNION SCHOOL DISTRICT

SEWER
CITY OF MILPITAS

STORM DRAIN
CITY OF MILPITAS

WATER
CITY OF MILPITAS

ELECTRICITY & GAS
PG&E

TELEPHONE
AT&T, COMCAST

CABLE TV
AT&T, COMCAST

FLOOD ZONE
A CLOMR-F DATED NOVEMBER 19, 2019 HAS BEEN ISSUED TO REFLECT THE CHANGE IN FEMA ZONE FROM "AO" TO "X".

MAP NUMBER: 06085C0069H
CASE NUMBER: 19-09-2315C

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 3, NAD83, AS MEASURED BETWEEN FOUND MONUMENTS IN TAROB COURT, SAID BEARING BEING N53°39'32"W. ALL DISTANCES SHOWN ARE GROUND BASED, TO OBTAIN GRID DISTANCES DIVIDE GROUND DISTANCE BY A COMBINATION FACTOR = 1.000049802

BENCHMARK
USC&GS BRASS DISK IN TOP OF NORTH END OF WEST HEADWALL, WPRR CULVERT CROSSING OF PENITENCIA CREEK, NORTH OF LUNDY ROAD, ELEV=51.880' (NAVD88)

DATUM
NORTHERN AMERICAN DATUM OF 1983 (NAD83), AND CALIFORNIA COORDINATE OF 1983, ZONE 3

CONDOMINIUM MAP
A CONDOMINIUM MAP WILL BE RECORDED FOR LOT 1, THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT.

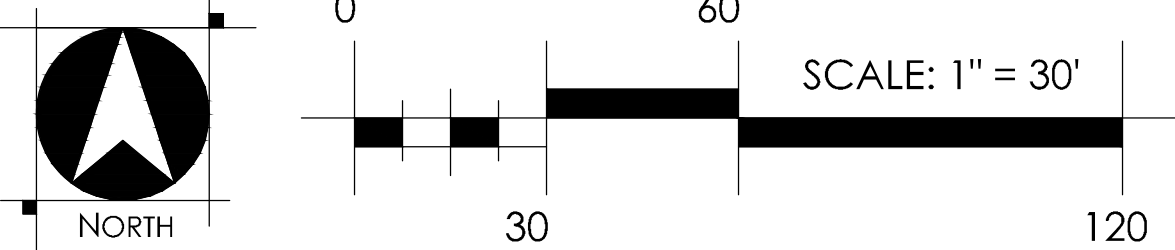
DIMENSIONS
ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL SUBDIVISION MAP.

NOTES
1. SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.
2. ADDITIONAL EASEMENTS MAY BE NECESSARY ON PRIVATE LOTS, SUCH AS PUBLIC SERVICE EASEMENTS FOR JOINT TRENCH FACILITIES. ADDITIONAL EASEMENTS WILL BE ADDED TO THE FINAL MAP.

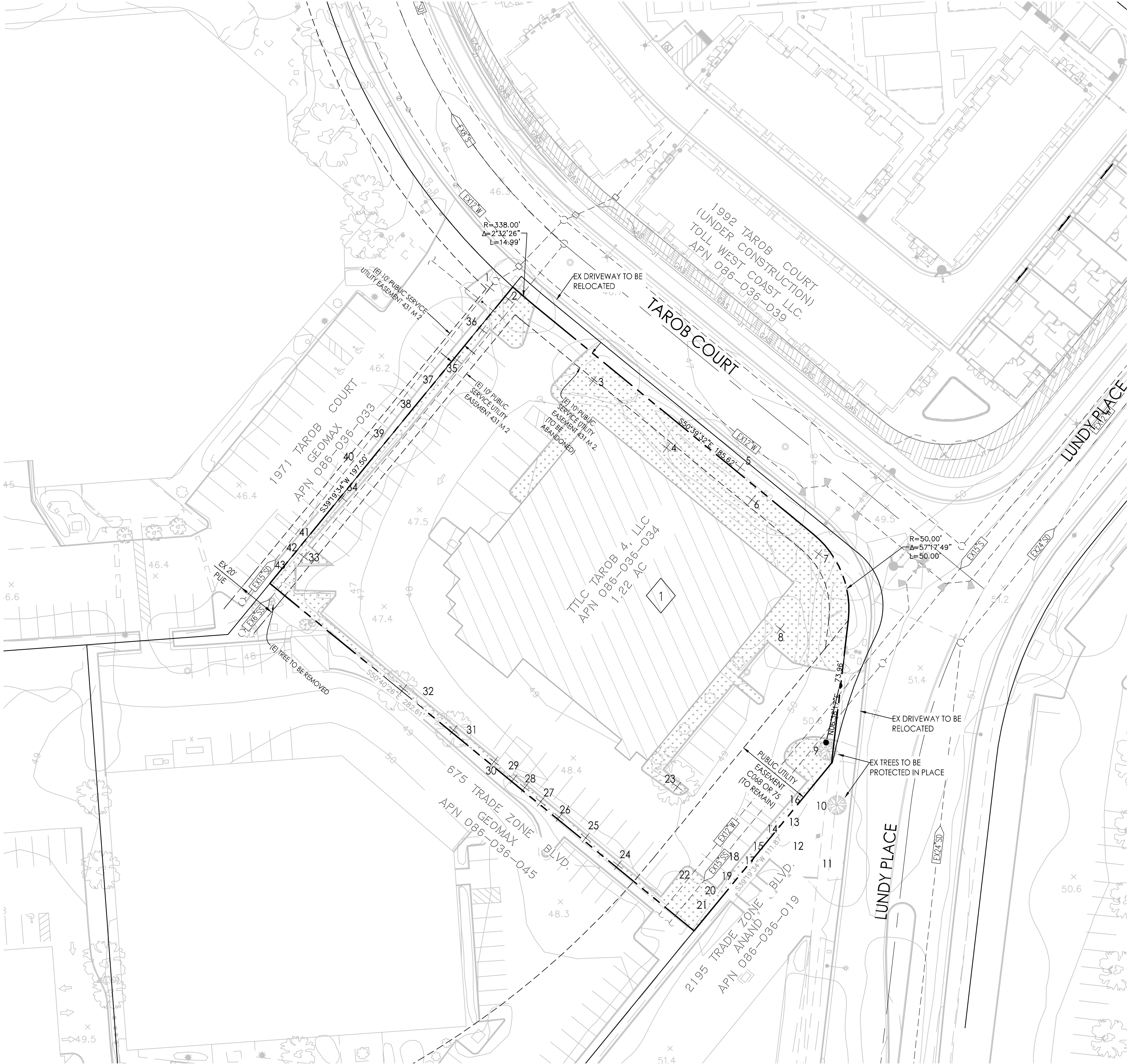
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VESTING TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES
TM01

THE TRUE LIFE COMPANIES
TTLc Tarob 4, LLC
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300



WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
Pleasanton, CA. 94588 Fax 925.847.1557



ABBREVIATIONS

E	EAST
EAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
G	GAS
L	LENGTH
N	NORTH
OH	OVERHEAD LINE
PFWLE	PRIVATE FIRE WATER LINE EASEMENT
PRICE	PRIVATE INGRESS & EGRESS EASEMENT
PV	POST INDICATOR VALVE
PMSDE	PRIVATE MUTUAL STORM DRAIN EASEMENT
PPE	PRIVATE PARKING EASEMENT
PRSSSE	PRIVATE SANITARY SEWER EASEMENT
PSUE	PUBLIC SERVICE UTILITY EASEMENT
PWLE	PRIVATE WATER LINE EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
S	SOUTH
SS	SANITARY SEWER
SD	STORM DRAIN
PSDE	PRIVATE STORM DRAIN EASEMENT
SF	SQUARE FEET
W	WATER

LEGEND

PROPOSED		EXISTING
---	PROJECT BOUNDARY	---
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	CENTERLINE	---
---	MONUMENT LINE	---
---	SANITARY SEWER	EX. 8" SS
---	STORM DRAIN	EX. 18" SD
---	POTABLE WATER	EX. 10" W
---	POWER POLE	
---	STREETLIGHT	
---	TREE	
	TREE NUMBER	32
	BUILDING TO BE DEMOLISHED	
1	ALL BUILDINGS, STRUCTURES, PAVEMENT, CURBS & HARDSCAPE TO BE DEMOLISHED WITHIN PROJECT BOUNDARY	

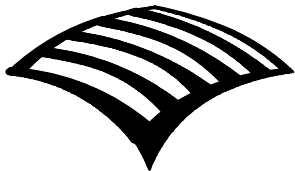
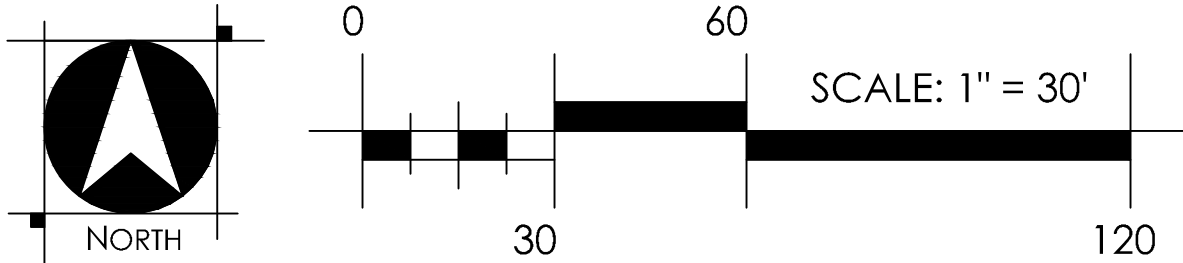
TREE TABLE		
TREE NUMBER		DESCRIPTION
X	1	8" LONDON PLANE
X	2	13" LONDON PLANE
X	3	21" LONDON PLANE
X	4	21" LONDON PLANE
X	5	14" LONDON PLANE
X	6	16" LONDON PLANE
X	7	20" LONDON PLANE
X	8	11" CAMPHOR
	9	15" LONDON PLANE
	10	10" JAPANESE BLACK PINE
	11	15" JAPANESE BLACK PINE
	12	15" COAST REDWOOD
	13	14" COAST REDWOOD
	14	8" SILVER DOLLAR GUM
	15	14" COAST REDWOOD
	16	25" SILVER DOLLAR GUM
	17	9" SILVER DOLLAR GUM
	18	26" SILVER DOLLAR GUM
	19	9" CANARY ISLAND PINE
	20	21" CANARY ISLAND PINE
	21	19" CANARY ISLAND PINE
	22	11" LONDON PLANE
X	23	11" LONDON PLANE
X	24	18" RAYWOOD ASH
X	25	16" RAYWOOD ASH
X	26	11" VALLEY OAK
X	27	6" XYLOSMA
X	28	5" XYLOSMA
X	29	6" XYLOSMA
X	32	12" XYLOSMA
X	33	13" LONDON PLANE
X	34	9" RAYWOOD ASH
X	35	17" RAYWOOD ASH
X	36	16" RAYWOOD ASH

NOTE: TREES MARKED WITH AN "X" ARE TO BE REMOVED. FIELD VERIFICATION OF TREE LOCATIONS NECESSARY PRIOR TO REMOVAL. SEE ARBORIST REPORT FOR MORE DETAIL.

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THE TRUE LIFE COMPANIES
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12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

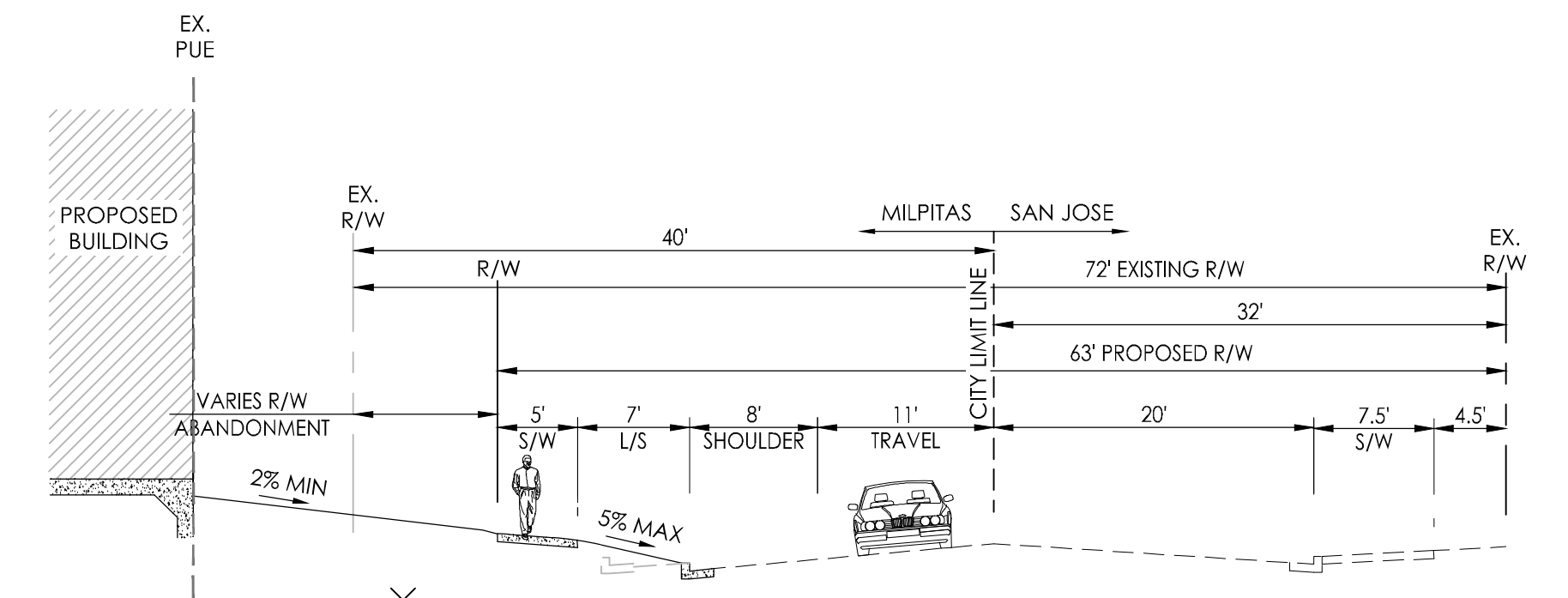
EXISTING CONDITIONS PLAN & DEMOLITION PLAN
TM02



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4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
Pleasanton, CA. 94588 Fax 925.847.1557

- NUMBER OF UNITS: 5
- AFFORDABLE LEVEL: MODERATE
PROPOSED SIZES:
PLAN 2- 4 UNITS @ 1,414 SF
PLAN 4- 1 UNIT @ 1,430 SF
- ALL AFFORDABLE UNITS WILL BE BUILT CONCURRENTLY WITH THE MARKET RATE UNITS.
- AN EXECUTED AGREEMENT IMPOSING APPROPRIATE OWNERSHIP CONTROLS ON THE AFFORDABLE UNITS IS REQUIRED. THIS WILL BE COMPLETED DURING THE BUILDING PERMIT PROCESS.

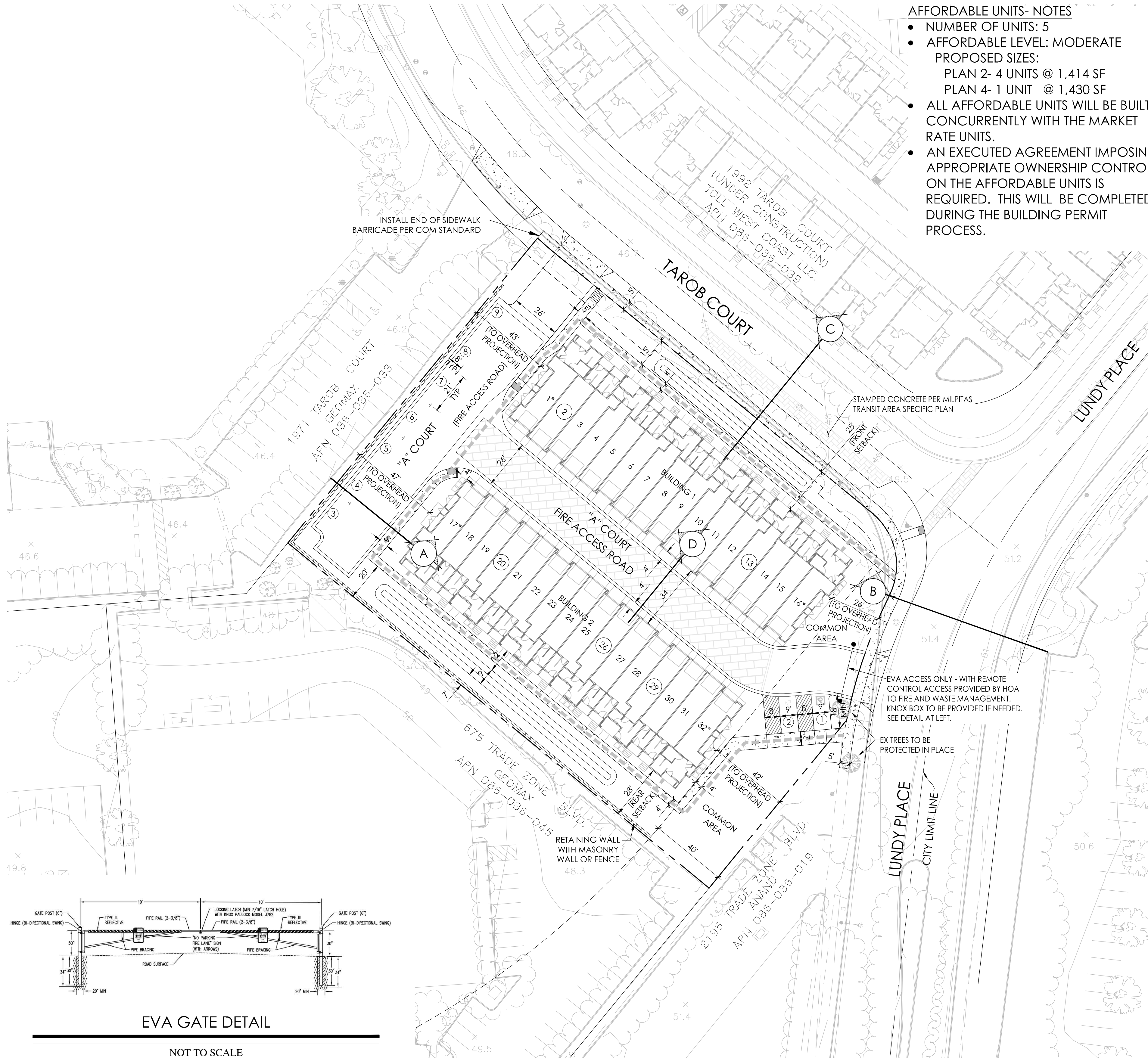
1. UNITS DENOTED WITH A * INDICATE ADA ACCESSIBLE UNITS.
2. UNITS DENOTED WITH A (X) INDICATE AFFORDABLE UNITS.



PUBLIC STREET SECTION - HALF SECTION
NOT TO SCALE



PUBLIC STREET SECTION - HALF SECTION
NOT TO SCALE



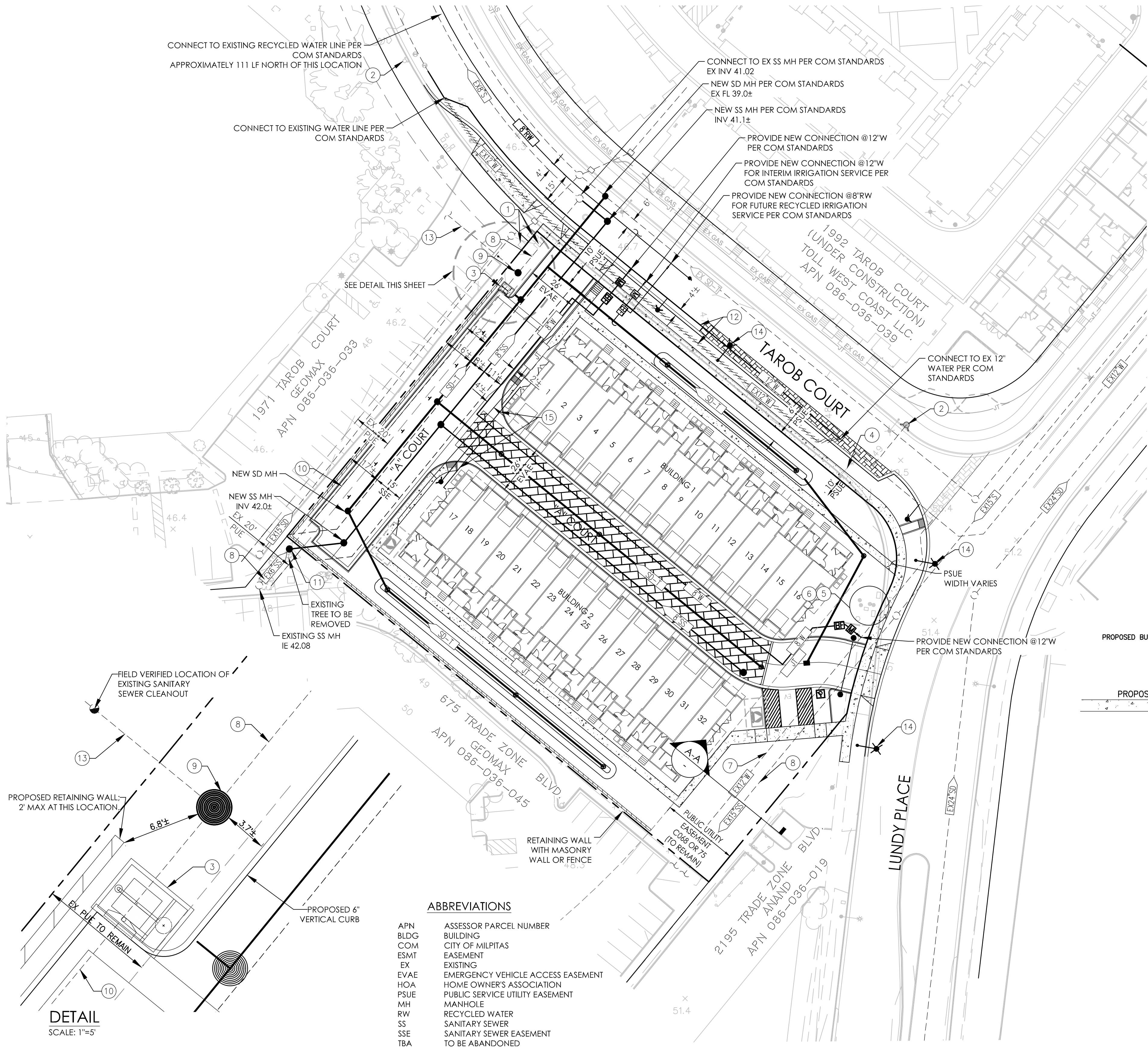
NOT TO SCALE

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LEGEND

EXISTING

PROPOSED

RIGHT-OF-WAY

PROJECT BOUNDARY

TREATED STORMWATER (SD-T)

STORM DRAIN OR SANITARY SEWER MANHOLE

AREA DRAIN

SANITARY SEWER PIPE

BLDG SANITARY SEWER SERVICE (SIZE TBD)

WATER PIPE

FIRE HYDRANT

MASTER WATER METER & BACKFLOW PREVENTOR DOMESTIC WATER/IRRIGATION SERVICE

PROPOSED TRANSFORMER LOCATION

PROPOSED FILTERRA. SEE DETAIL ON TM09

REMOVE EXISTING PIPE

UTILITY NOTES

1. STORM DRAIN

- MINIMUM SLOPE: 0.005 WITH MINIMUM VELOCITY OF 2 FEET/SECOND
- MINIMUM PIPE SIZE: 12"
- STORM DRAIN FACILITIES MAY BE RCP OR N-12 PIPE

2. SANITARY SEWER

- MINIMUM SLOPE: 0.0035 (EXISTING SLOPE: 0.0035±)
- SANITARY SEWER PIPE TO BE SDR-26 PVC

4. WATER PIPE TO BE CLASS 200 AWWA C900

5. UTILITIES SHOWN ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO CHANGES PENDING FINAL DESIGN. FINAL DESIGN SHALL ADHERE TO COM STANDARDS.

6. ALL ON-SITE WATER AND STORM DRAIN TO BE OWNED AND MAINTAIN BY THE PROJECT HOA.

7. ON SITE SEWER WITHIN SSE TO BE OWNED AND MAINTAINED BY THE COM. SEWER OUTSIDE OF SSE, WITHIN PRIVATE STREET TO BE OWNED AND MAINTAINED BY THE HOA.

GENERAL NOTES

1 EX JOINT TRENCH BOXES TO REMAIN

2 EX FIRE HYDRANT

3 PROPOSED FILTERRA BIORETENTION SYSTEM; SEE SHEET TM09 FOR DETAILS

4 EXISTING STREET LIGHT TO BE REMOVED

5 EX WATER SERVICE TO BE REMOVED. EXISTING FIRE SERVICE & PERTINENT APPURTENANCES SHALL BE REMOVED.

6 EX IRRIGATION SERVICE TO REMAIN FOR PUBLIC IRRIGATION

7 EX WATER PIPE TO REMAIN

8 EX SANITARY SEWER PIPE TO REMAIN

9 CONNECT TO EX SANITARY SEWER WITH NEW MANHOLE PER COM STANDARDS

10 EX SANITARY SEWER PIPE TO BE REMOVED BETWEEN NEW MANHOLES; SEE 9 & 11

11 CONNECT TO EX SANITARY SEWER WITH NEW MANHOLE PER COM STANDARDS

12 EXISTING WATER MAIN TO BE RELOCATED AS SHOWN

13 EXISTING SANITARY SEWER FROM 1971 TAROB COURT TO REMAIN

14 INSTALL NEW STREET LIGHT PER THE CITY'S TRANSIT AREA SPECIFIC PLAN

15 PROPOSED FIRES SERVICE LINES TO BUILDINGS 1 & 2 WITH BACKFLOW DEVICES IN CLOSET.

PROPOSED R/W

EXISTING 40' PUE

APN 086-036-019

PROPOSED BUILDING WALL

PROPOSED FF

4' MIN

10.8±

2±

CONSTRUCT SWALE TO DRAIN TO ON SITE DRAINAGE SYSTEM

PROPOSED GROUND

EXISTING GROUND

EXISTING 12"W

4±

12±

THEORETICAL LIMITS OF A FUTURE TEMPORARY TRENCH EXCAVATION

EXISTING 15"SS

20.7± TYP

6.9± TYP

12.4± TYP

SECTION A-A

NOT TO SCALE

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Milpitas, CA
SEPTEMBER 10, 2021

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PRELIMINARY UTILITY PLAN
TM04

NORTH

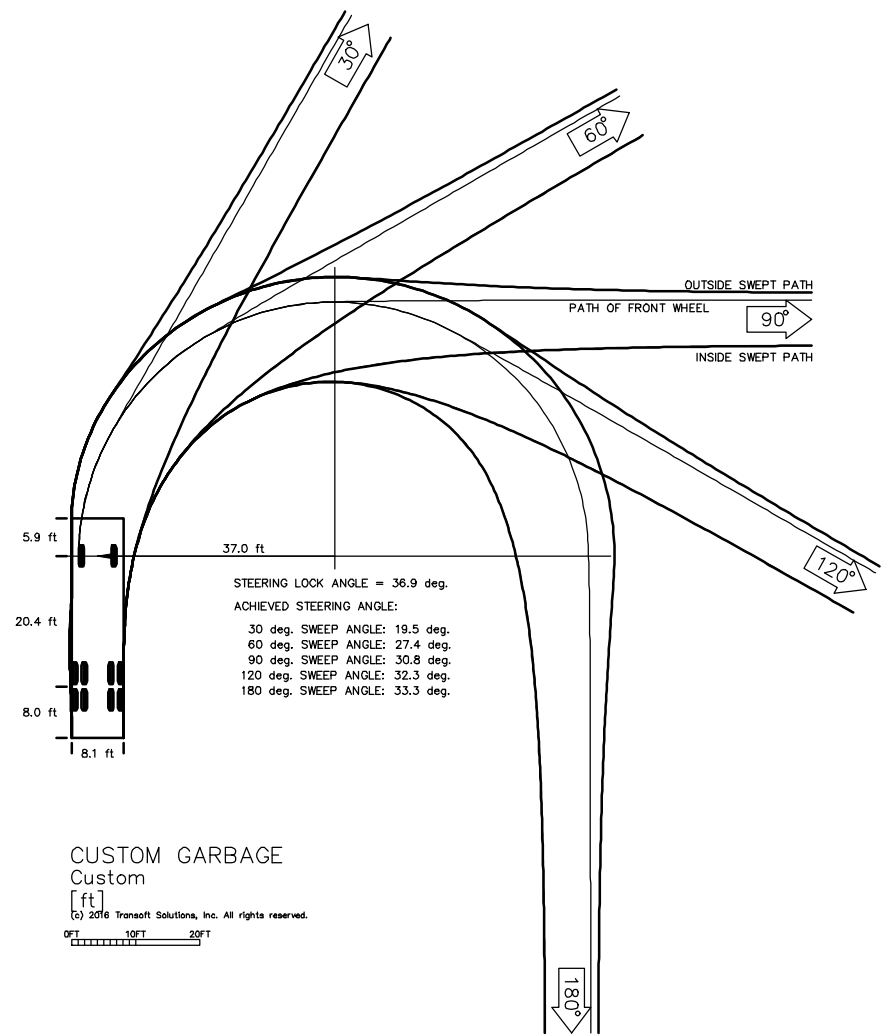
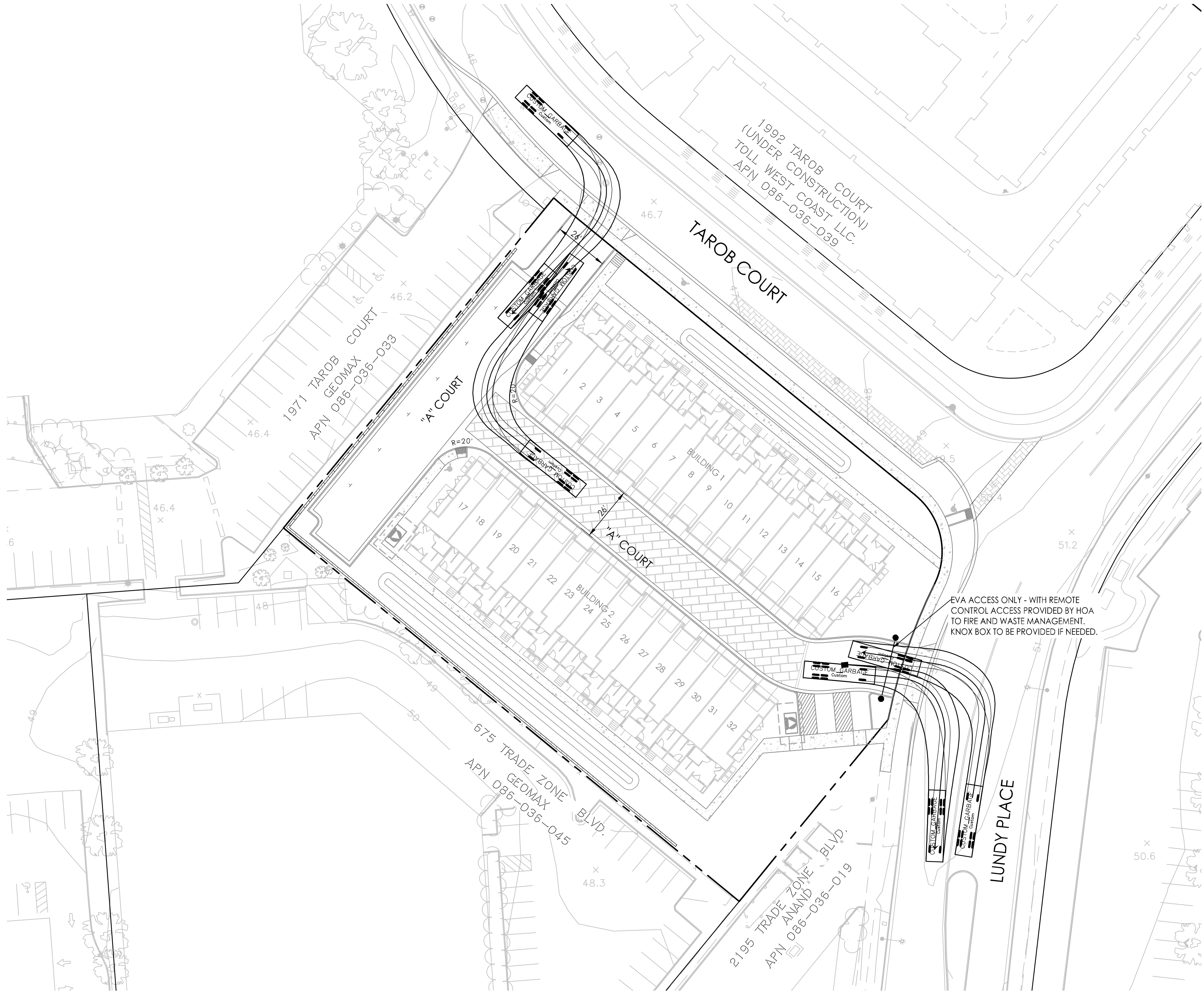
0 30 60 120

SCALE: 1" = 30'

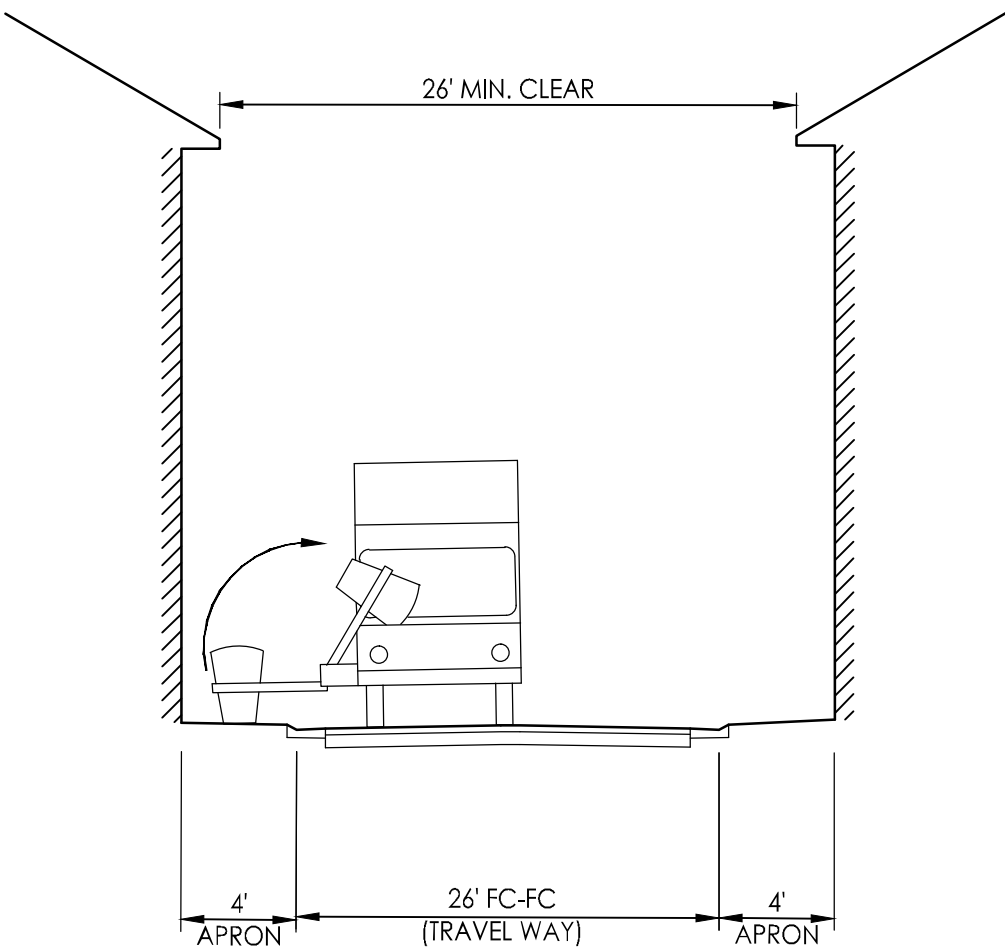
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GARBAGE TRUCK TEMPLATE
NOT TO SCALE

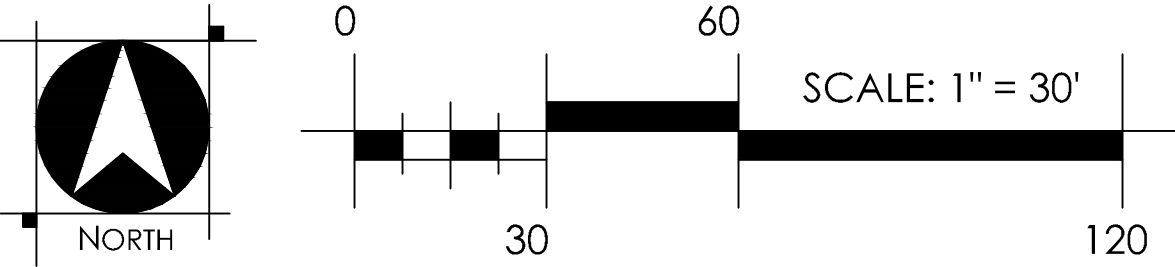


PROPOSED TRASH PICKUP SECTION
NOT TO SCALE
* COLLECTION CANS TO BE STORED WITHIN GARAGE OF EACH INDIVIDUAL UNIT

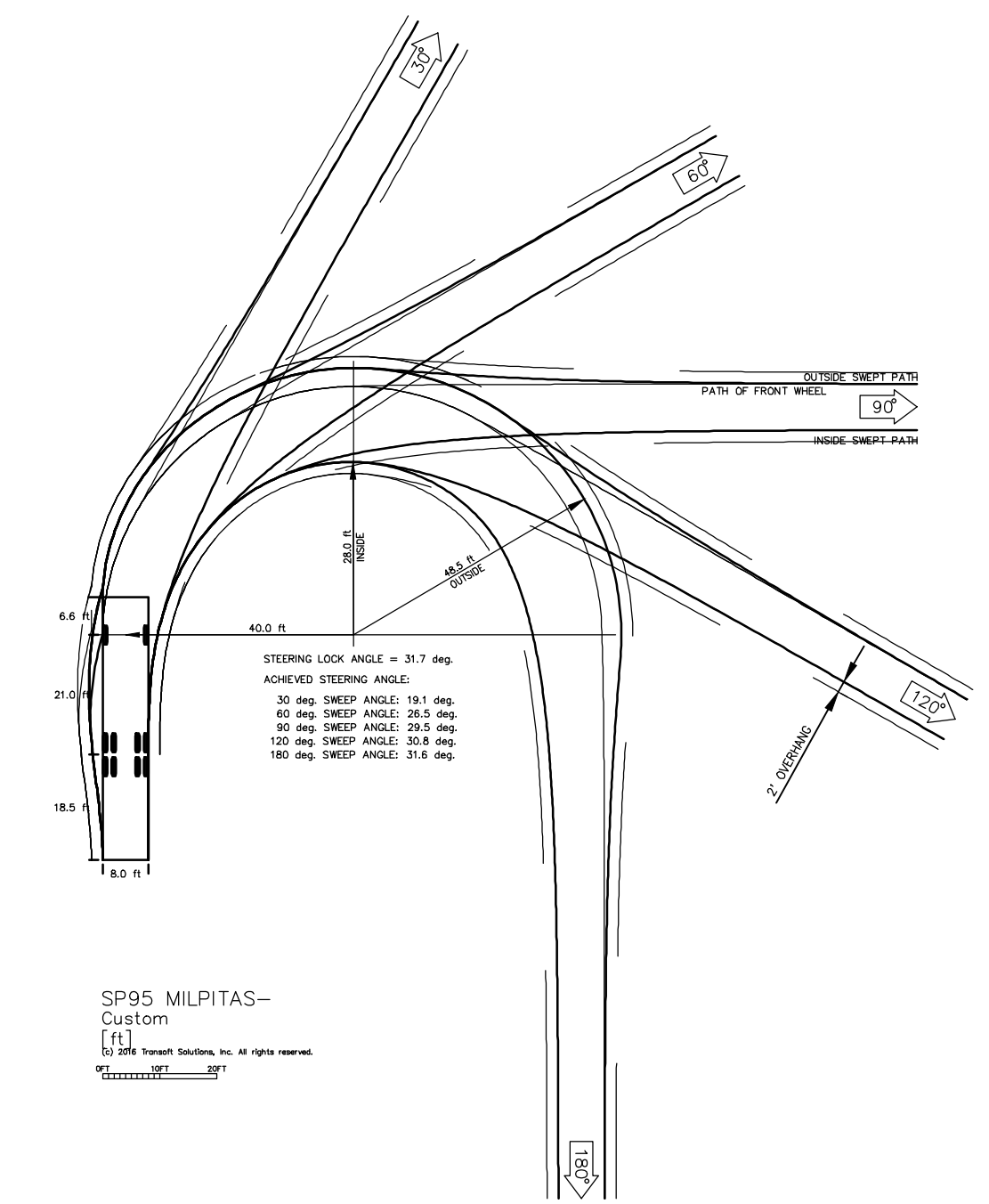
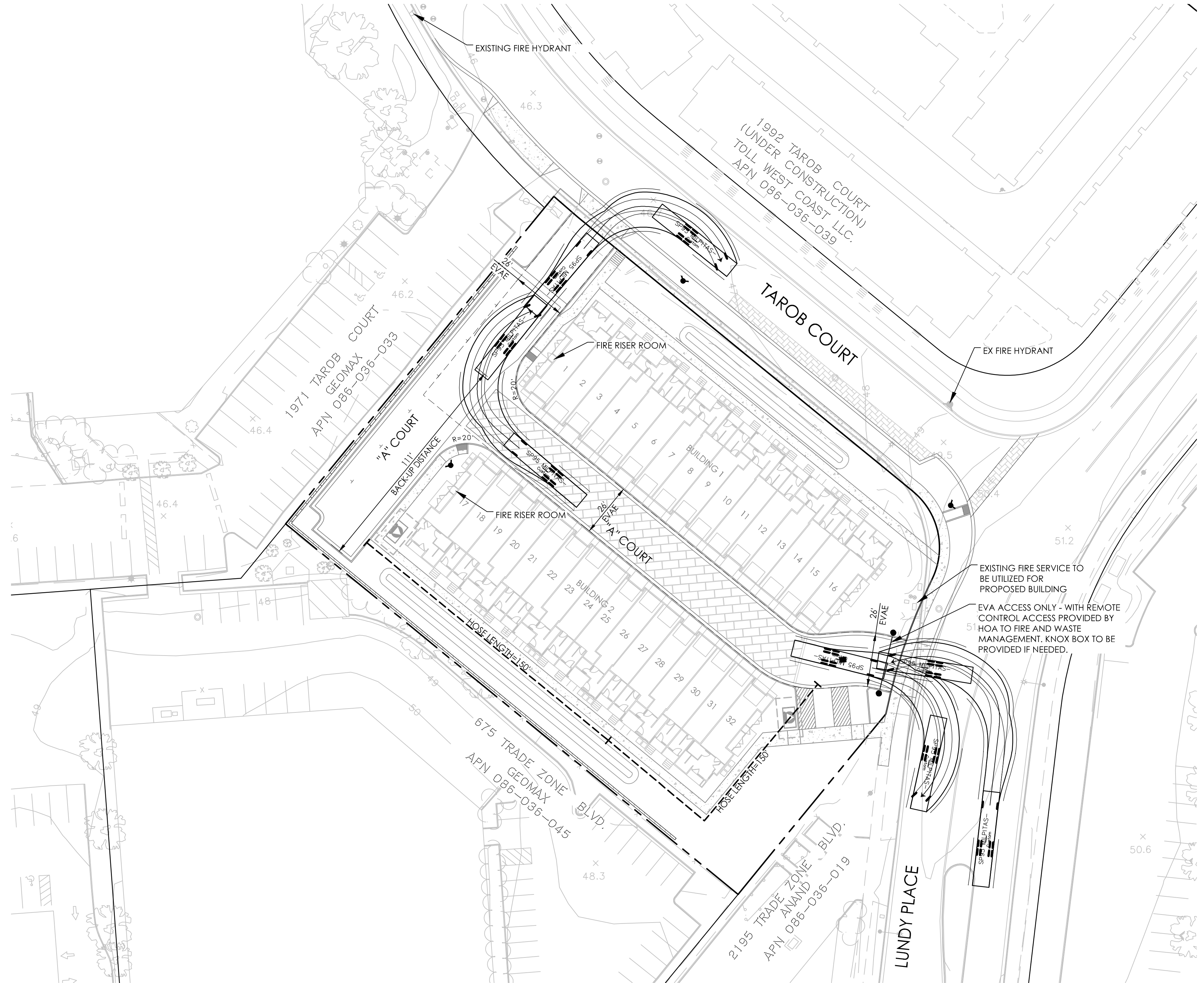
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PRELIMINARY SOLID WASTE HANDLING PLAN
TM05



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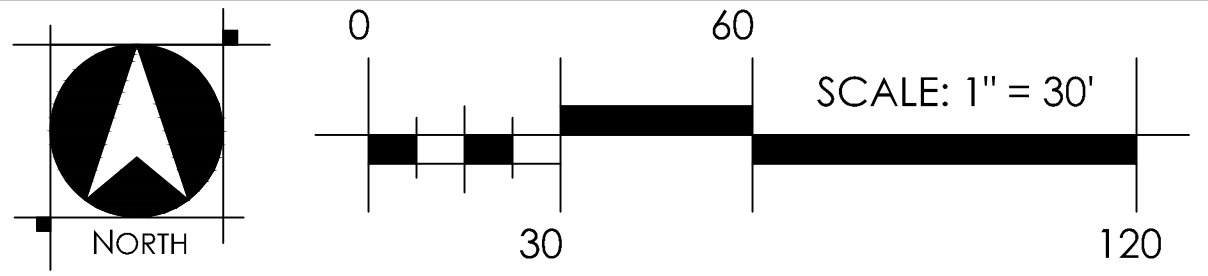


MILPITAS FIRE TRUCK TEMPLATE
NOT TO SCALE

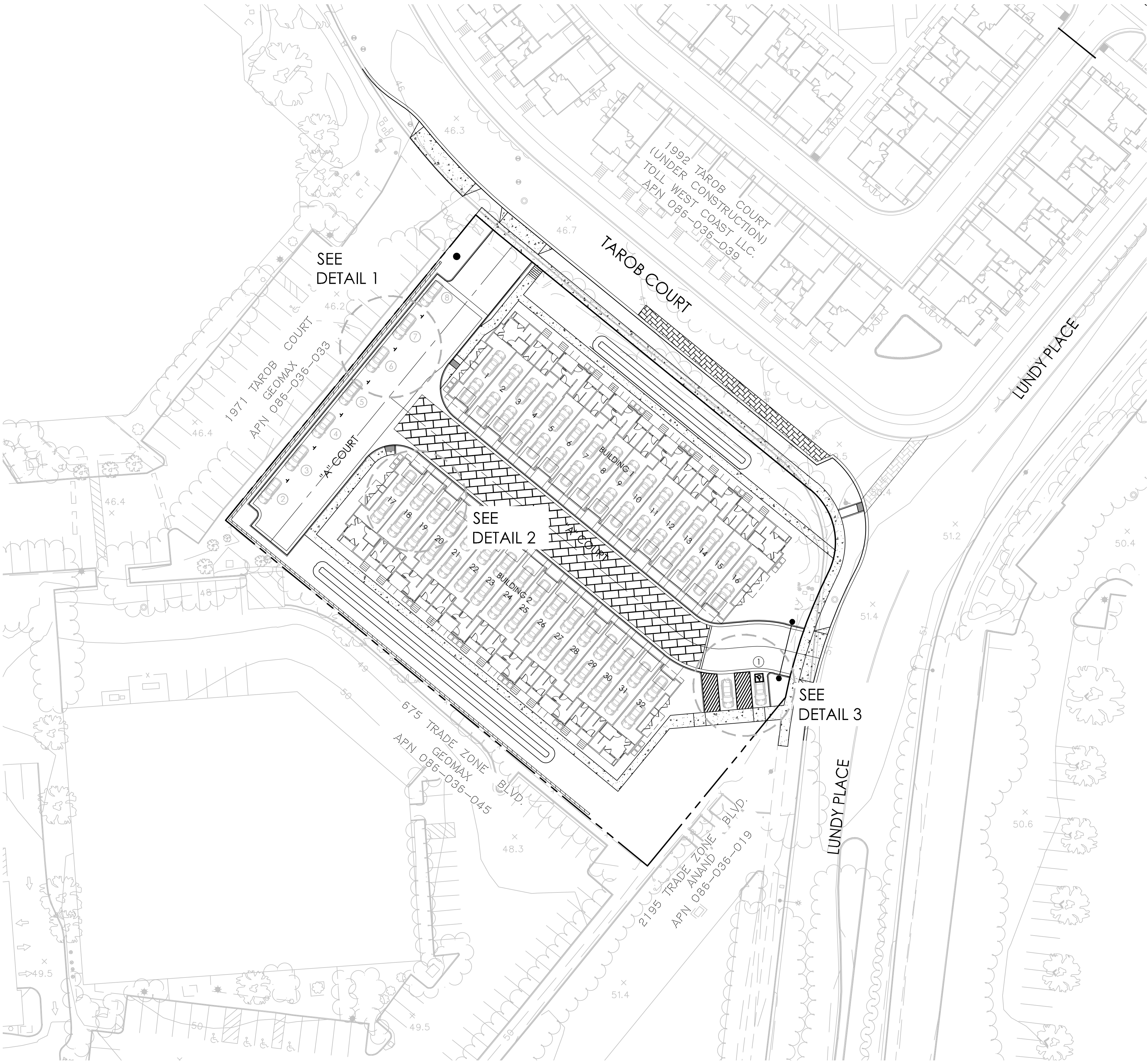
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PRELIMINARY FIRE TRUCK ACCESS PLAN
TM06

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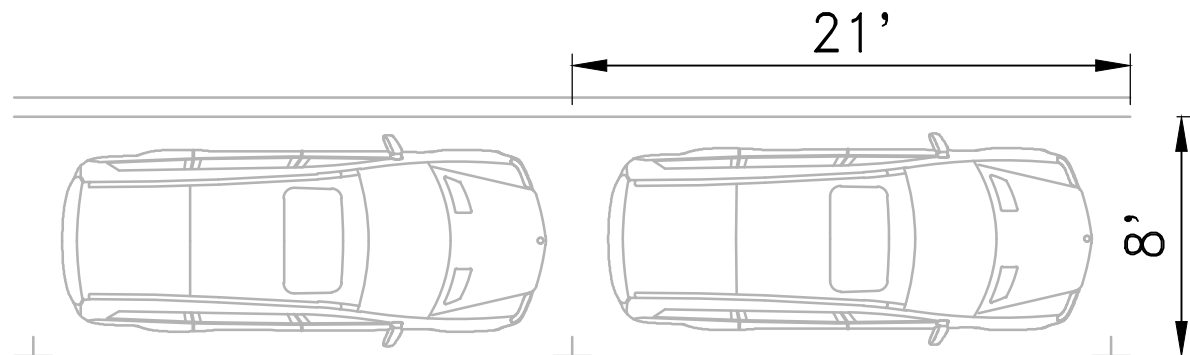
PARKING SUMMARY

DESCRIPTION	UNIT COUNT	REQUIRED PARKING RATIO	PARKING REQUIRED	PROVIDED PARKING RATIO	PARKING PROVIDED
GARAGE SPACES	32	1.6 SPACES/ DU	51.2	2.0 SPACES/DU	64
ON-SITE GUEST	-	20% OF REQUIRED	10.2	-	8
TOTAL	32	-	61.4	-	74

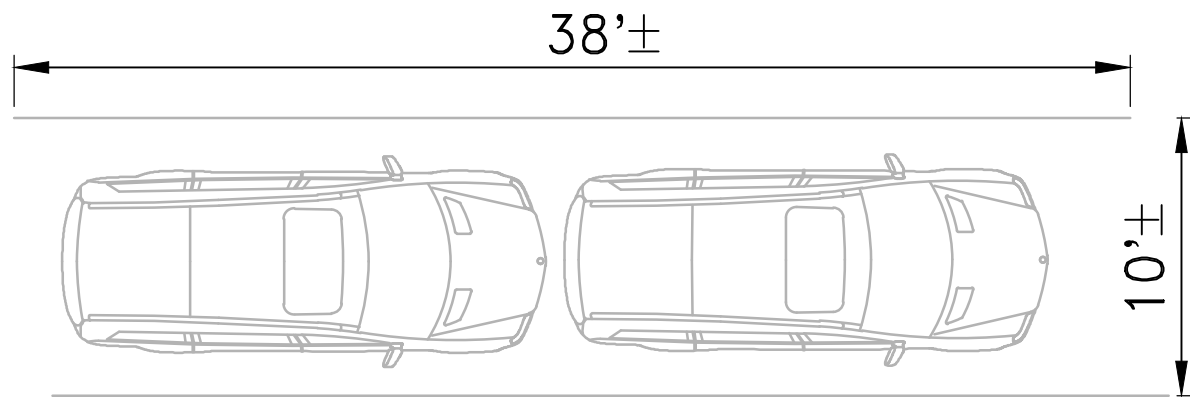
NOTES:

- 1. GUEST PARKING INCLUDES 1 VAN ACCESSIBLE SPACE AND 1 EV STATION.
- 2. GUEST PARKING IS BASED ON PRELIMINARY DESIGN. ACTUAL PARKING PROVIDED MAY VARY WITH FINAL DESIGN IN ACCORDANCE WITH MINIMUM GUEST REQUIREMENTS.

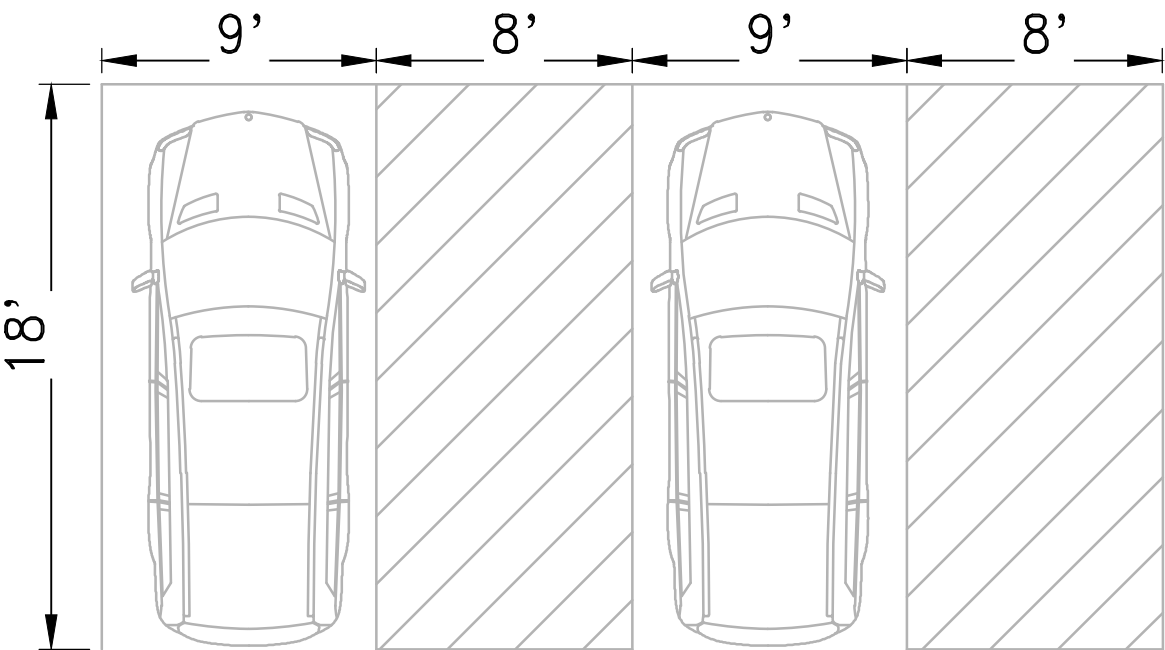
PARKING DETAIL 1
(PARALLEL GUEST)



PARKING DETAIL 2
(TANDEM GARAGE)



PARKING DETAIL 3
(ADA ACCESSIBLE VAN & EV)



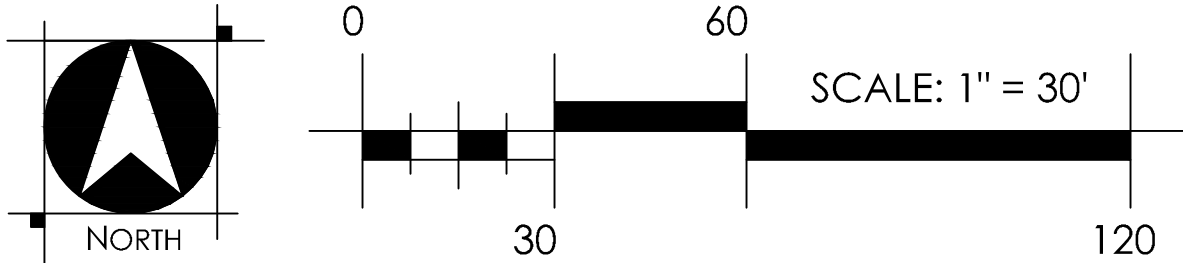
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SEPTEMBER 10, 2021

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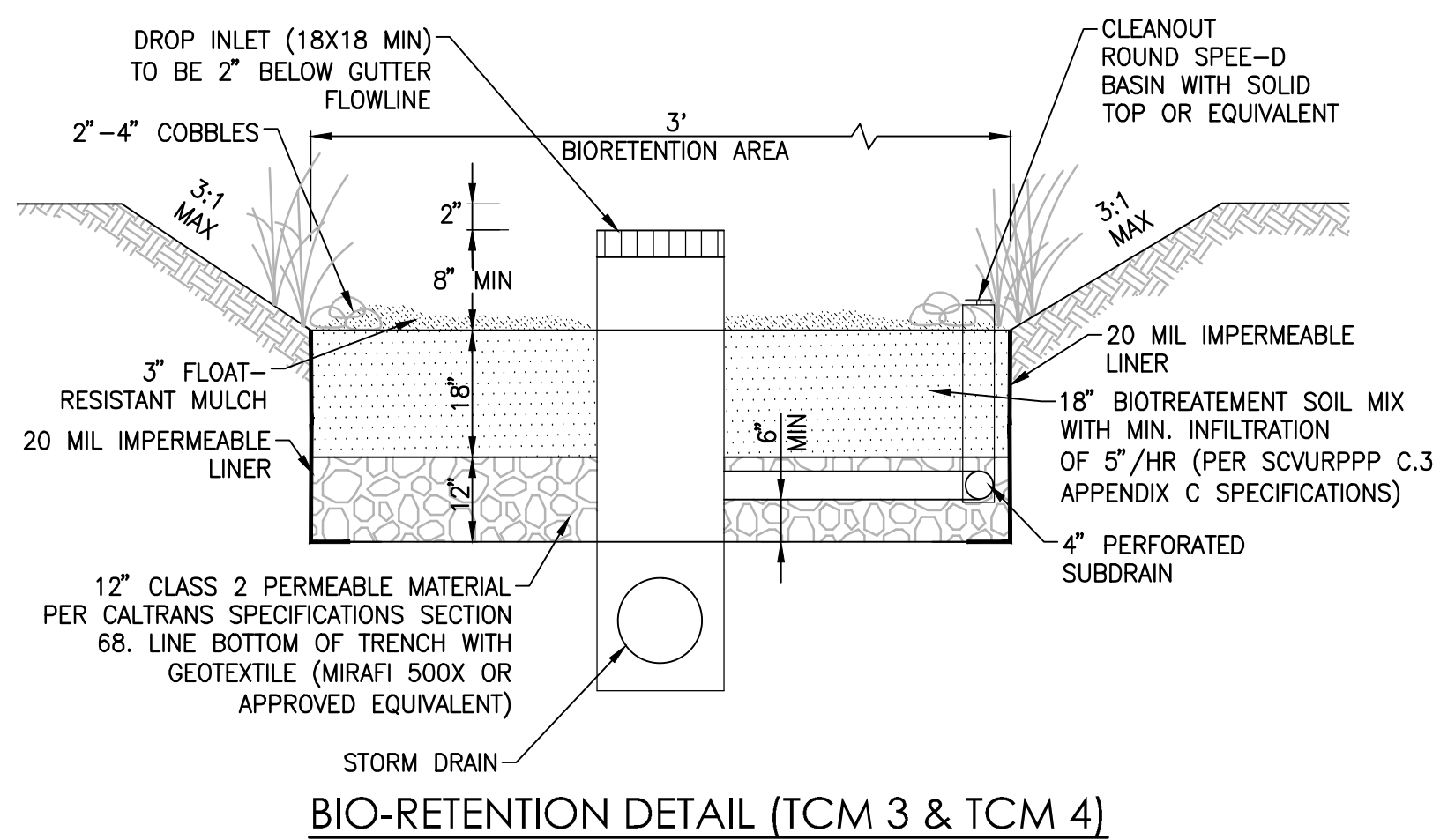
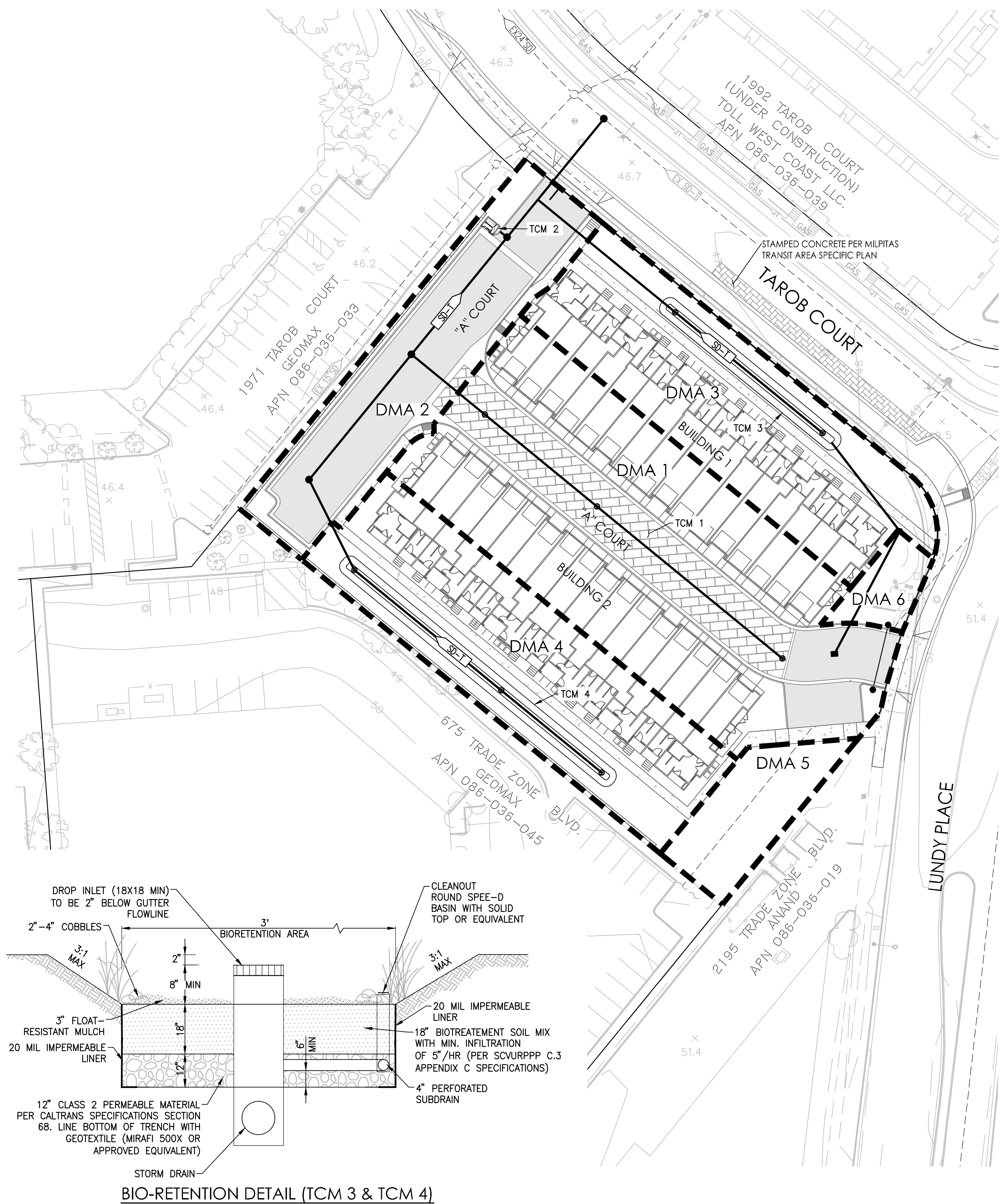
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PARKING PLAN
TM07



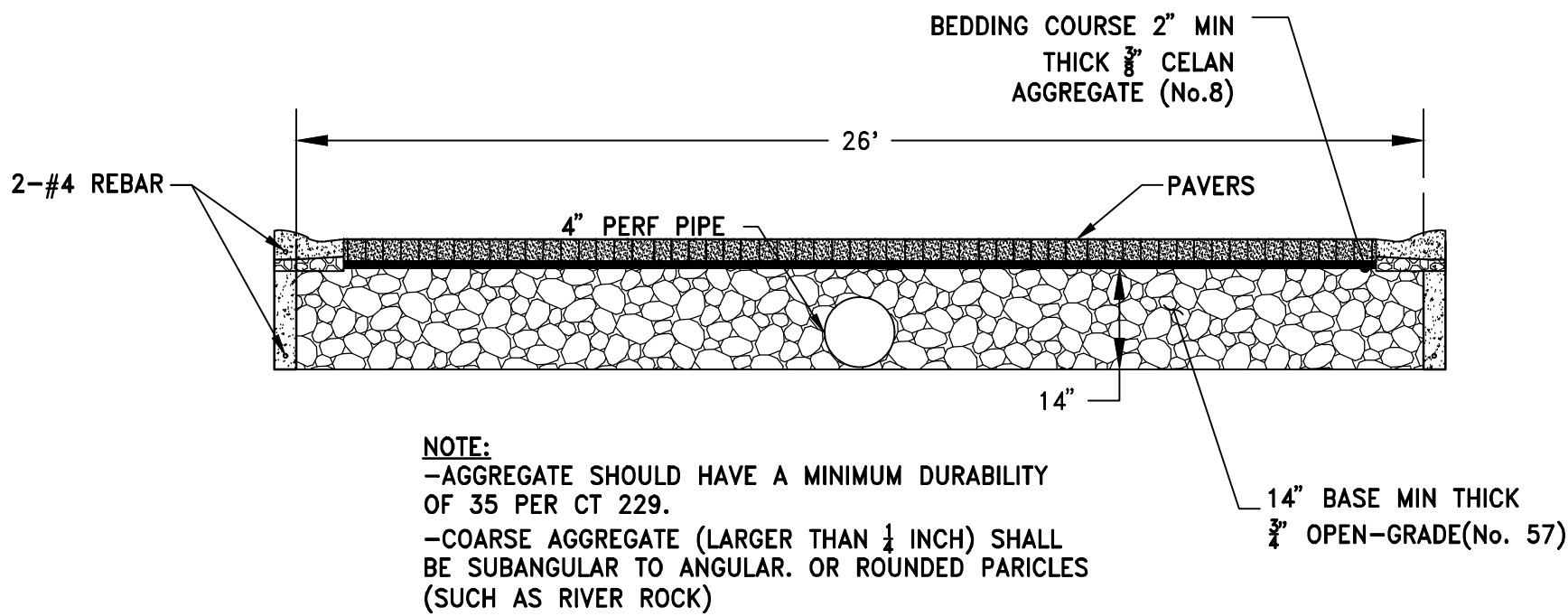


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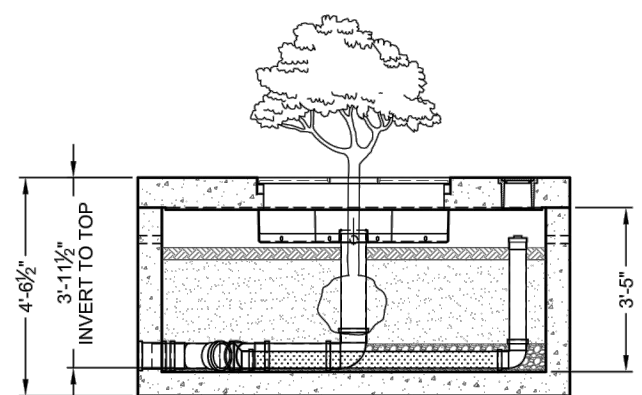
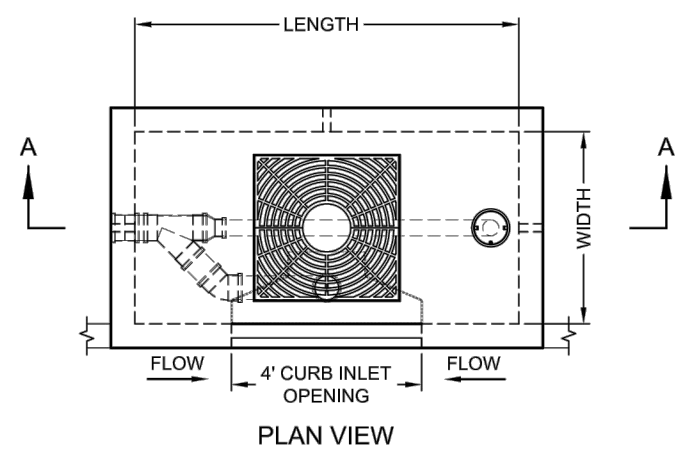
DRAINAGE MANAGEMENT AREA (DMA)	TOTAL DRAINAGE AREA (SF)	BUILDING (SF)	PAVEMENT (SF)	TOTAL IMPERVIOUS (SF)	PERVIOUS PAVERS (SF)	LANDSCAPE (SF)	TOTAL PERVIOUS (SF)	TOTAL EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA**	PROVIDED TREATMENT AREA (SF)	PONDING DEPTH (IN)	TREATMENT CONTROL MEASURE	TREATMENT TYPE
DMA 1	20,835	13,257	2,921	16,178	4,523	134	4,657	16,644	N/A	N/A	8"	TCM 1	PERVIOUS PAVERS
DMA 2	8,656	0	7,347	7,347	0	1,309	1,309	7,478	N/A	N/A	N/A	TCM 2	FILTERRA (35% max) ⁴
DMA 3	11,034	5,803	845	6,648	0	4,386	4,386	7,087	283	289	6	TCM 3	BIO-RETENTION
DMA 4	11,379	5,796	936	6,732	0	4,647	4,647	7,197	288	456	6	TCM 4	BIO-RETENTION
DMA 5	2,891	0	0	0	0	2,891	2,891	289	N/A	N/A	N/A	N/A	SELF-RETAINING
DMA 6	1,161	0	0	0	0	1,161	1,161	116	N/A	300	N/A	N/A	SELF-RETAINING
Total	55,956	24,856	12,049	36,905	0	14,528	19,051	38,810	571	1,045			

- NOTES:
- ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) C.3. STORMWATER HANDBOOK DATED JUNE 2016.
 - HYDROMODIFICATION IS NOT REQUIRED BECAUSE PROPOSED PROJECT IMPERVIOUS SURFACE IS LESS THAN EXISTING IMPERVIOUS SURFACE ON THE SITE.
 - PROVIDED SURFACE AREA OF THE BIO-RETENTION FACILITIES IS SUPPORTED BY USING THE 4% METHOD AND ARE DESIGNED FOR A MIN PONDING DEPTH OF 6". SEE PRELIMINARY STORM WATER MANAGEMENT PLAN FOR CALCULATIONS.
 - PER THE CITY OF MILPITAS SPECIAL PROJECTS WORKSHEET, THIS PROJECT QUALIFIES AS A SPECIAL PROJECT PER CATEGORY "C" WITH A TOTAL TOD CREDIT OF 35%. SEE THE PRELIMINARY STORMWATER MANAGEMENT PLAN, APPENDIX A FOR DETAILED CALCULATIONS.



PERVIOUS PAVER DETAIL
NOTE: DETAIL SHALL MEET SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PROGRAM - C.3 STORMWATER WATER HANDBOOK.

- LEGEND
- DRAINAGE MANAGEMENT AREA BOUNDARY
 - AC PAVEMENT
 - CONCRETE
 - PERVIOUS PAVERS
 - TREATMENT CONTROL MEASURE
 - AREA DRAIN
 - PROPOSED FILTERRA- SEE DETAIL BELOW
 - TREATED STORMWATER (SD-T)



SECTION A-A
LONG SIDE INLET CONFIGURATION

LONG SIDE CURB INLET							
DESIGNATION	SIZE	LENGTH	WIDTH	MAX. OUTLET/ BYPASS PIPE DIA.	MAX. BYPASS FLOW (CFS)	UNDER- DRAIN PIPE DIA. (PERF)	TREE GRATE QTY. & SIZE
FTBC0804	8 x 4	6'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTBC0804	8 x 4	6'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTBC0806	8 x 6	8'-0"	6'-0"	10" SDR 35	2.37	4" SDR 35	(1) 4' x 4'
FTBC1006	10 x 6	10'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(1) 4' x 4'
FTBC1204	12 x 4	12'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(2) 3' x 3'
FTBC1206	12 x 6	12'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(2) 4' x 4'
FTBC1307	13 x 7	13'-0"	7'-0"	10" SDR 35	2.37	6" SDR 35	(2) 4' x 4'

INTERNAL PIPE CONFIGURATION MAY VARY DEPENDING ON VAULT SIZE



Filtterra Sizing Spreadsheet
Uniform Intensity Approach
Storm Intensity = 0.20 in/hr

Filtterra Infiltration Rate = 100 (in/hr)
Filtterra Flow per Square Foot = 0.0023 (ft3/sec/ft2)

Filtterra Flow Rate, Q = 0.0023 ft3/sec x Filtterra Surface Area
Rational Method, Q = C x I x A

Site Flowrate, Q = (C x DI x DA x 43560) / (12 x 3600)
OR DA = (12 x 3600 x Q) / (C x 43560 x DI)

where Q = Flow (ft3/sec)
DA = Drainage Area (acres)
DI = Design Intensity (in/hr)
C = Runoff coefficient (dimensionless)

			DI 0.2	C 1.00	C 0.85	C 0.50
Available Filterra Box Sizes			Filtterra Flow Rate, Q (ft3/sec)	100% Imperv. DA (acres)	Commercial max DA (acres)	Residential max DA (acres)
L (ft)	W (ft)	Filterra Surface Area (ft2)				
4	4	16	0.0370	0.184	0.216	0.367
6	4	24	0.0556	0.275	0.324	0.551
6.5	4	26	0.0602	0.298	0.351	0.597
8	4	32	0.0741	0.367	0.432	0.735
12	4	48	0.1111	0.551	0.648	1.102
6	6	36	0.0833	0.413	0.486	0.826
8	6	48	0.1111	0.551	0.648	1.102
10	6	60	0.1389	0.689	0.810	1.377
12	6	72	0.1667	0.826	0.972	1.653
13	7	91	0.2106	1.045	1.229	2.089

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800-338-1122 613-645-7000 613-645-7993 FAX

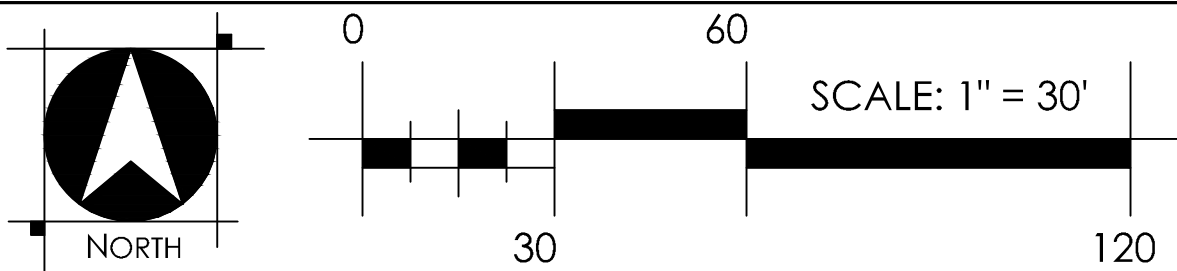
FILTERRA
INTERNAL BYPASS CURB (FTIBC)
CONFIGURATION DETAIL

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SEPTEMBER 10, 2021

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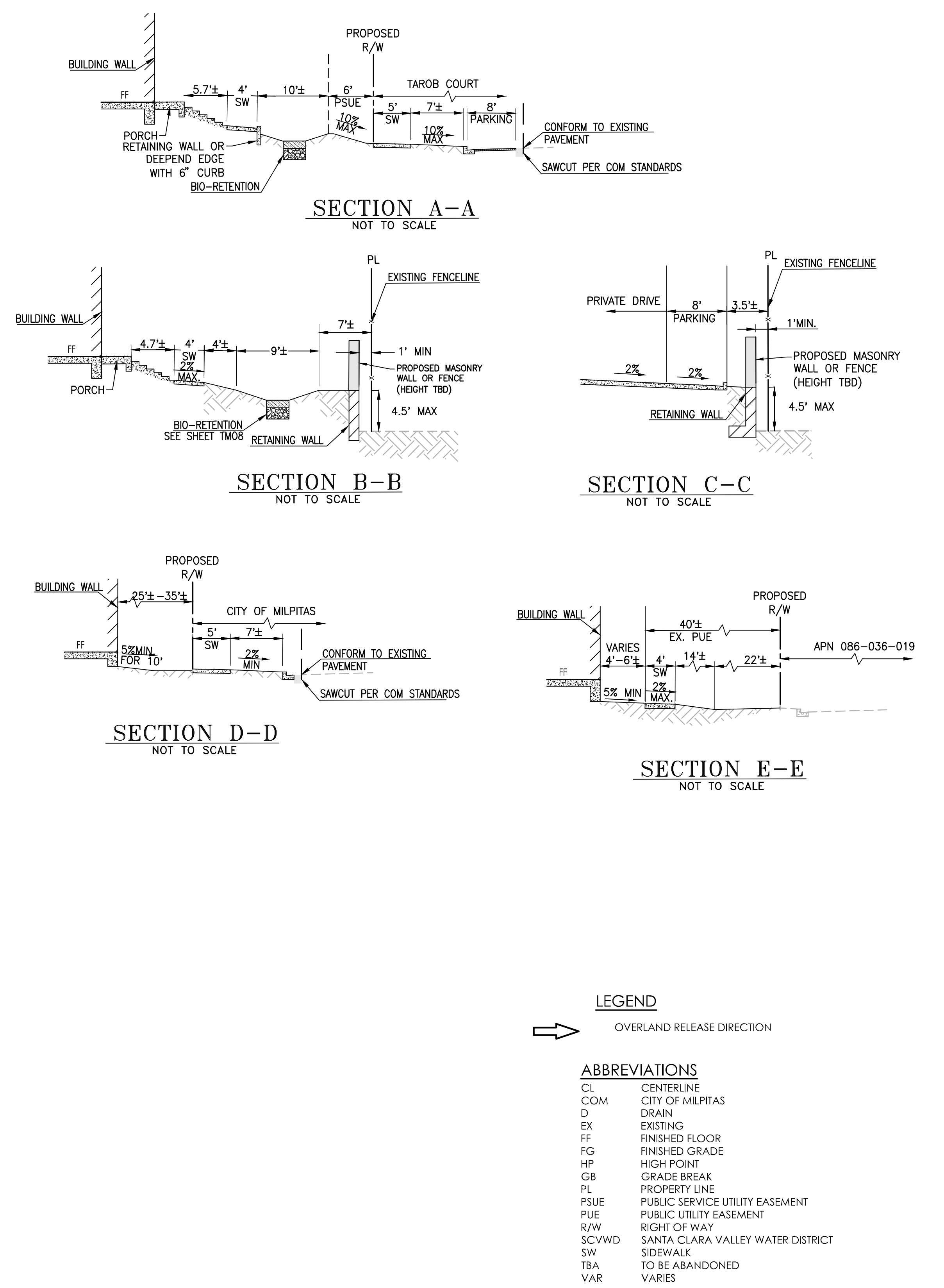
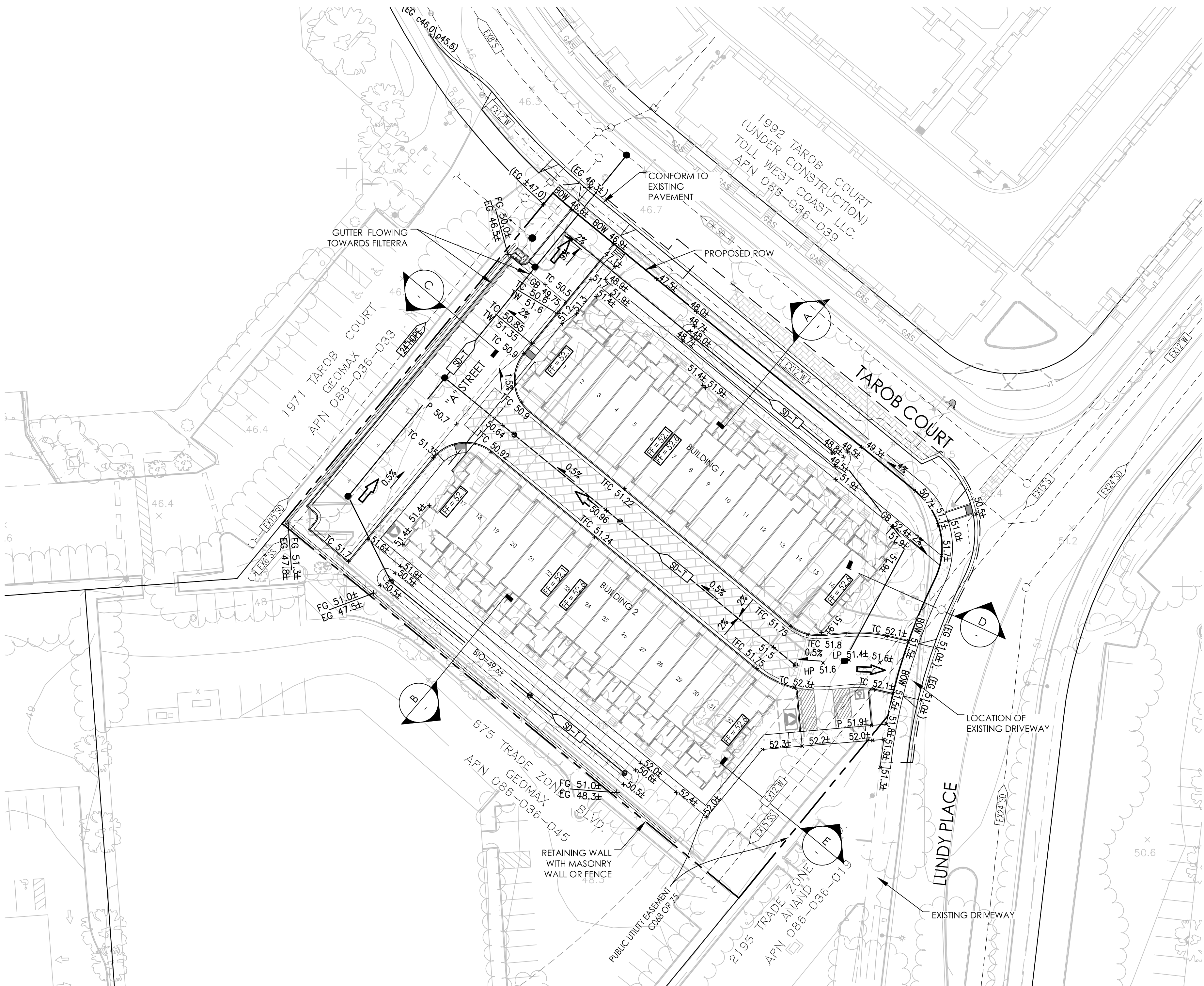
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PRELIMINARY STORMWATER CONTROL PLAN
TM08




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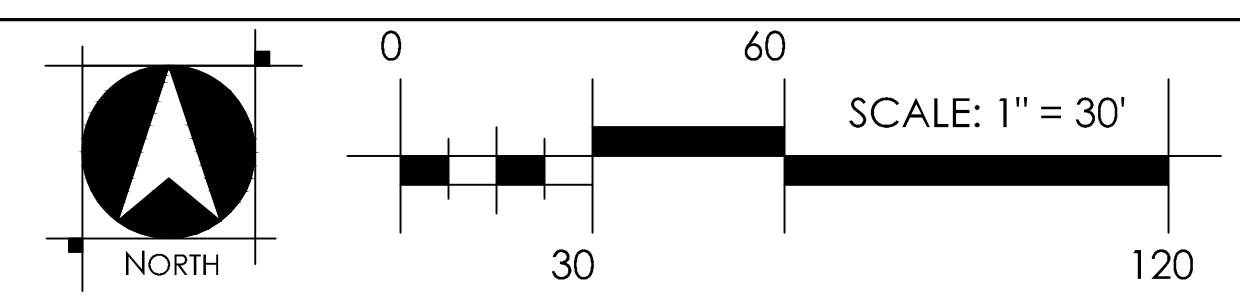


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JUNE 30, 2021

PRELIMINARY GRADING AND DRAINAGE PLAN TMO9

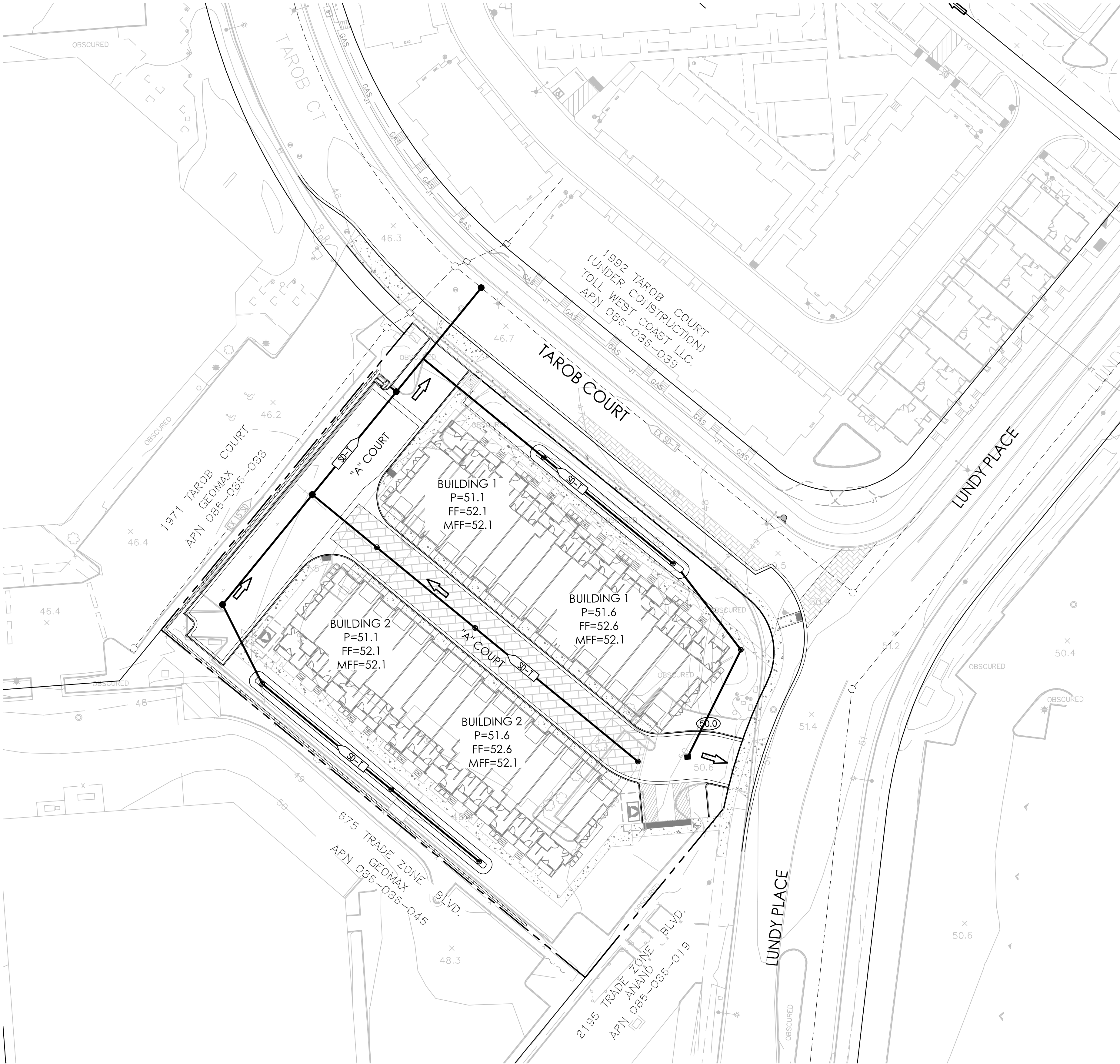


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ABBREVIATIONS

BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
BSW	BACK OF SIDEWALK
CL	CENTERLINE
D	DRAIN
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FF	FINISHED FLOOR
FG	FINISHED GRADE
HAG	HIGHEST ADJACENT GRADE (EXISTING) 50.0
OR	OVERLAND RELEASE
P	PAD ELEVATION
PL	PROPERTY LINE
MFF	MINIMUM FINISHED FLOOR
R/W	RIGHT OF WAY
SCVWD	SANTA CLARA VALLEY WATER DISTRICT
SW	SIDEWALK
VAR	VARIES
SDT	TREATED STORMWATER
SDUT	UNTREATED STORMWATER
SDOF	OVERFLOW FOR STORM EVENTS ABOVE THE WATER QUALITY EVENT
SDFM	FORCEMAIN STORMWATER
WSEL	EAST PENITENCIA WATER SURFACE ELEVATION

FEMA BFE	WSEL	STUDY BFE	MAX BFE	HAG	MFF	BLDG FF	BLDG P
49.5	NA	51.1	51.1	50	52.1	52.1	51.1

NOTES:

- FLOOD ZONE: AO(1) – FLOOD DEPTHS ARE 1', SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
 - ALL USES ARE RESIDENTIAL
 - FLOOD PROOFING IS NOT REQUIRED. ALL BUILDINGS AND ABOVE GROUND UTILITIES TO BE RAISED TO ABOVE THE BASE FLOOD ELEVATION.
 - RECEIVING WATER: PENITENCIA CREEK
 - SEE SHEET TM09 FOR GRADING CROSS SECTIONS
- HAG VALUE DETERMINED IN COORDINATION WITH SCHAAF & WHEELER

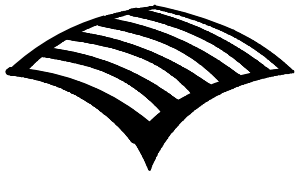
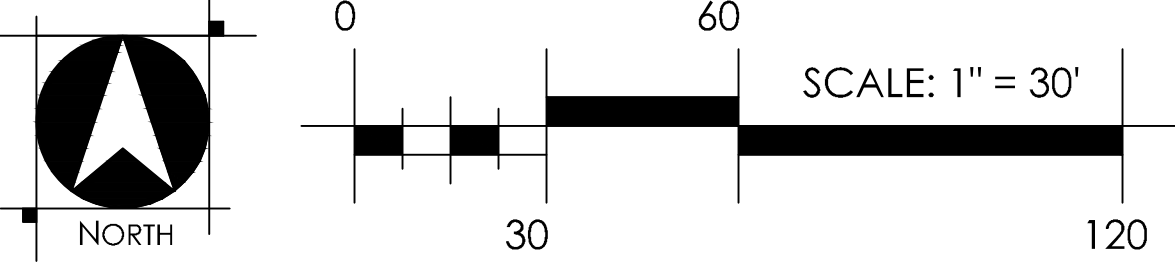
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PRELIMINARY FLOODPLAIN MANAGEMENT PLAN
TM10



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RESERVED FOR CONDITIONS OF APPROVAL

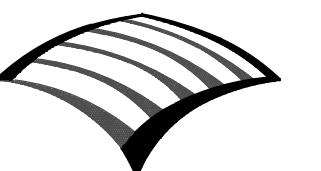
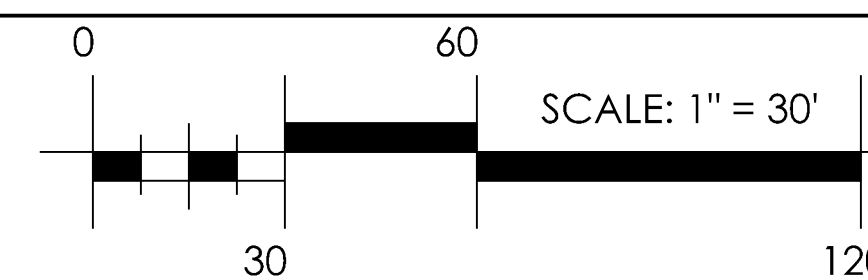
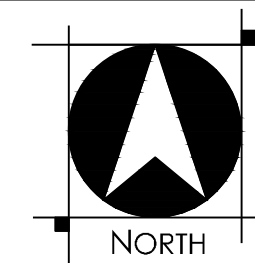
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CONDITIONS OF APPROVAL
TM 11



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LEGEND

PRIVATE RECREATIONAL AREA (0.14 ACRES)

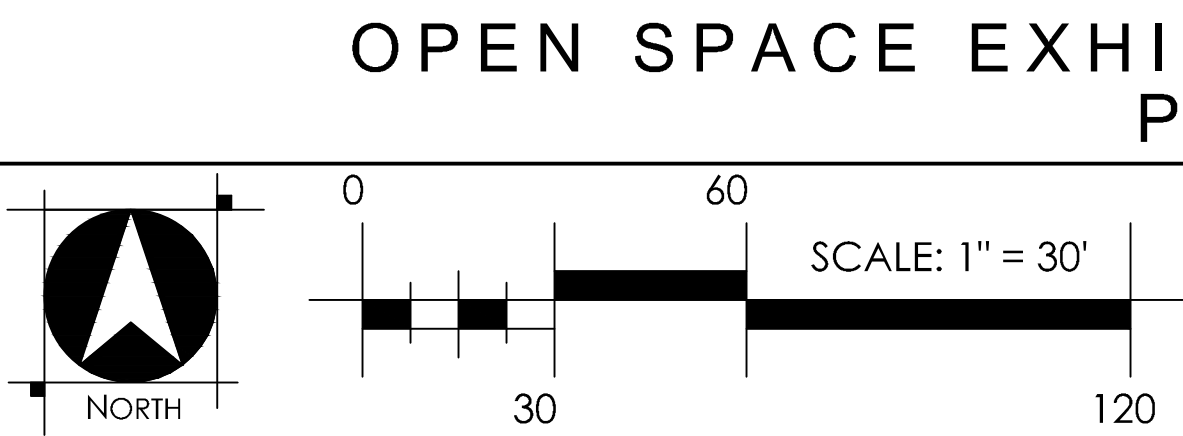
OTHER PRIVATE OPEN SPACE & LANDSCAPING (0.32 ACRES)

TOTAL LANDSCAPE & OPEN SPACE = 0.46 ACRES

PARK ACREAGE SUMMARY (TASP REQUIREMENT)			
DESCRIPTION	TASP CODE	REQUIRED PARKS AND OPEN SPACE (AC.)	PROVIDED PARK (AC.)
PARKS AND OPEN SPACE	3.5 ACRES OF PARKLAND PER 1000 POPULATION. UP TO 1.5 OF EACH 3.5 PARK ACRES MAY BE SATISFIED BY THE PROVISION OF PRIVATE RECREATION AREAS. THE REMAINING 2.0 ACRES PER 1000 REQUIREMENT MUST BE SATISFIED BY EITHER DEDICATION OF LAND TO THE CITY FOR PUBLIC PARKS AND OPEN SPACE OR PAYMENT OF AN IN-LIEU FEE.	POPULATION = # UNITS X 2.52 PERSONS/UNIT	PRIVATE RECREATION AREA = 0.14 ACRES
		POPULATION = 32 X 2.52 = 80.6 PERSONS	
		PARK ACREAGE REQUIRED = 3.5 X 80.6/1000 = 0.28 ACRES	
		PRIVATE RECREATION AREA ALLOWED = 1.5/3.5 X 0.28 = 0.12 ACRES	

R3 ZONING CODE OPEN SPACE (MUNI CODE XI-10-4.05.C)			
DESCRIPTION	CODE REQUIREMENT	REQUIRED AREA (AC.)	PROVIDED AREA (AC.)
LANDSCAPE AND OPEN SPACE REQUIREMENTS	A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE TOTAL LOT AREA SHALL BE LANDSCAPED OR RECREATIONAL OPEN SPACE, EXCLUSIVE OF PARKING AND VEHICULAR TRAFFIC AREA AND SHALL BE SHOWN ON SITE PLAN IN DETAIL FOR PLANNING COMMISSION APPROVAL.	25% X 1.22 = 0.31 ACRES	0.46 ACRES (37.7%)
	AN AVERAGE OF TWO HUNDRED SQUARE FEET OF USABLE OPEN SPACE SHALL BE PROVIDED FOR EACH DWELLING UNIT. "USABLE OPEN SPACE" SHALL MEAN ANY OPEN SPACE, THE SMALLEST DIMENSION OF WHICH IS AT LEAST 4 1/2 FEET AND WHICH IS NOT USED AS STORAGE OR FOR MOVEMENT OF MOTOR VEHICLES; EXCEPT THAT YARDS ABUTTING A PUBLIC STREET, WHICH ARE NOT ADEQUATELY SCREENED FOR PRIVACY, IN THE OPINION OF THE PLANNING COMMISSION, SHALL NOT QUALIFY AS USABLE OPEN SPACE. BALCONIES, PORCHES, OR ROOF DECKS MAY BE CONSIDERED USABLE OPEN SPACE WHEN PROPERLY DEVELOPED FOR WORK, PLAY OR OUTDOOR LIVING AREAS. AT LEAST THIRTY (30) PERCENT OF REQUIRED OPEN SPACE SHALL BE CONTIGUOUS TO AND PROVIDE FOR PRIVATE USABLE OPEN SPACE OF THE INDIVIDUAL DWELLING UNIT.	200 X 32 = 6,400 SQ FT = 0.15 ACRES	PRIVATE RECREATIONAL AREA = 0.14 ACRES
			PRIVATE OPEN SPACE (BALCONIES) = 1784 SF/BUILDING = 1784 X 2 = 3,568 SF = 0.08 ACRES TOTAL PRIVATE OPEN SPACE = 0.22 ACRES = 299.5 SF/UNIT

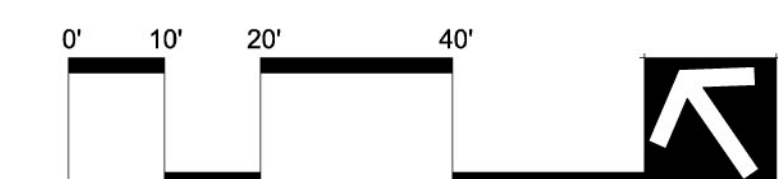
2001 TAROB COURT
Milpitas, CA
SEPTEMBER 10, 2021





PLAN VIEW

Scale: 1"=20'-0"



2001 TAROB COURT
Milpitas, CA
September 10, 2021

Illustrative Site Plan
L001



TTLIC Tarob 4, LLC

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LANDSCAPE ARCHITECTURE
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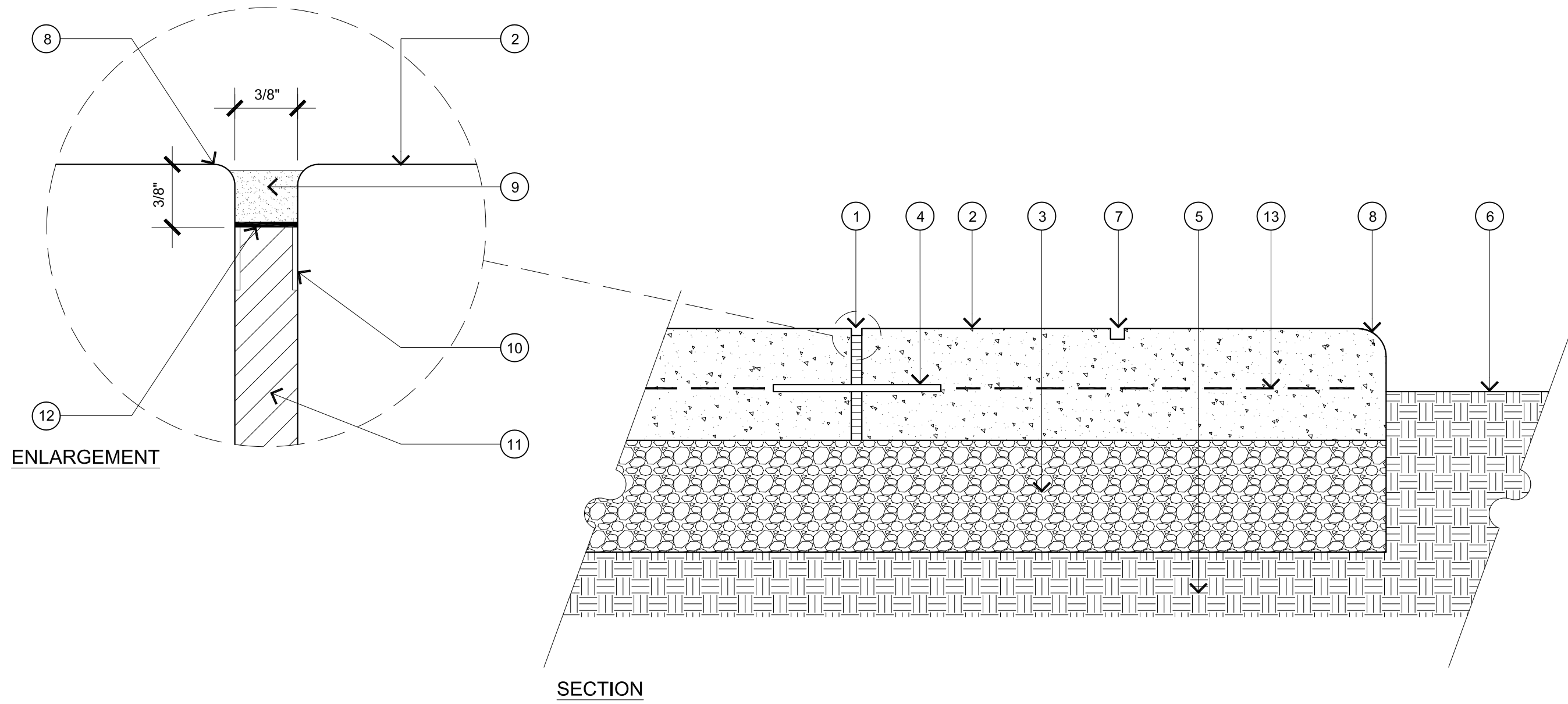




TREE MATRIX
TOTAL EXISTING TREES ON SITE: 34
TOTAL EXISTING TREES TO BE REMOVED: 34
TOTAL PROPOSED NEW TREES: 128

2001 TAROB COURT
Milpitas, CA
September 10, 2021

Preliminary Landscape Plan
L002



- 1 3/8" EXPANSION JOINT WITH SEALANT & BACKER ROD. EXPANSION JOINTS SHALL OCCUR EVERY 25' C.C. EACH WAY. REFER TO PLAN FOR LOCATIONS.
- 2 4" THICK CONCRETE PAVING - REFER TO CONSTRUCTION LEGEND FOR COLOR AND FINISH
- 3 4" THICK CLASS II AGGREGATE SUB BASE
- 4 #4 X 24" LONG DOWELS @ 24" O.C.
- 5 90% COMPACTED SUB GRADE
- 6 FINISH GRADE AT PLANTING AREA 1" BELOW AT TURF AREAS, 2" AT SHRUB AND GROUND COVER AREAS
- 7 SAWCUT JOINT- 1" DEEP X 1/4" WIDE SAWCUT @ 12" C.C. EACH WAY, REFER TO PLANS FOR LOCATIONS (TYP.)
- 8 RADIUSED EDGE
- 9 SEALANT - ALSO INSTALL WHERE PAVING ABUTS TO BUILDING FOUNDATIONS.
- 10 PVC CAP
- 11 EXPANSION MATERIAL
- 12 BOND BREAKER TAPE
- 13 #3 REBAR @ 18" O.C. BOTH WAYS

NOTE:
CONCRETE MIX SHALL BE LOW SHRINK.

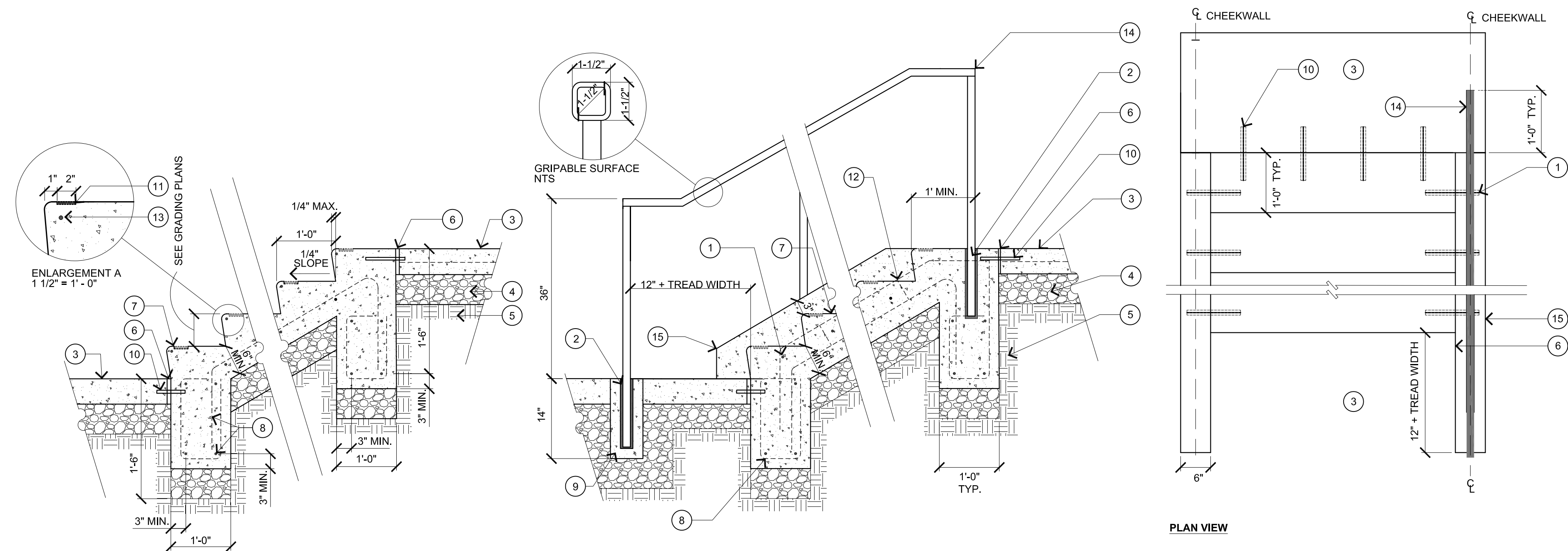


COLORS TO COMPLIMENT ARCHITECTURE, FOR DETAIL REFER TO PLANS PREPARED BY WOOD RODGERS, INC. CIVIL ENGINEERS

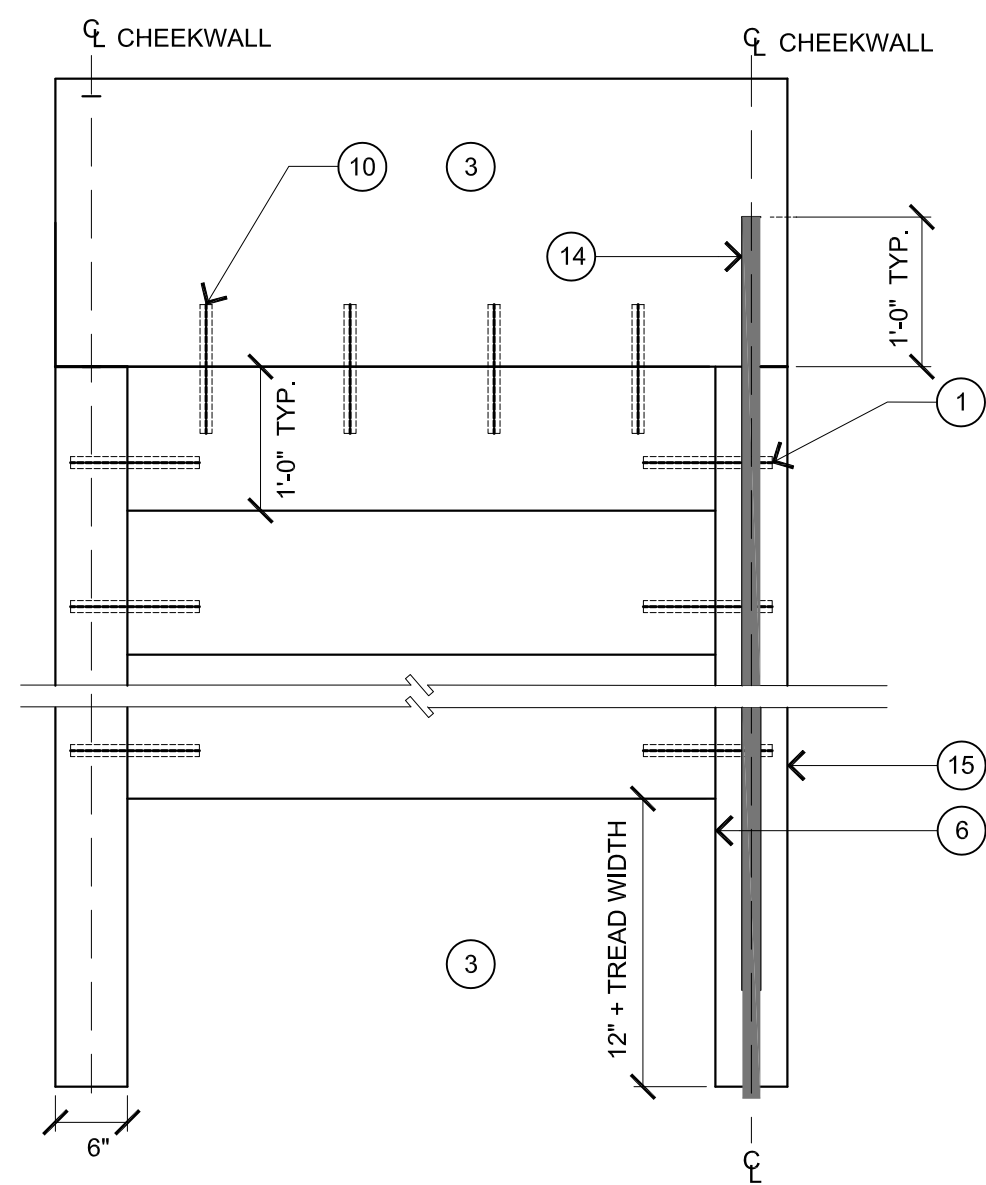
1 CONCRETE PAVING

SCALE : 3/8"=1'-0"

2 PERMEABLE PAVERS



SECTION - CONCRETE STEPS WITH CHEEKWALL



PLAN VIEW

- 1 #4 REBAR @ 12" O.C. CENTERED IN TREADS/RISERS AND AS ILLUSTRATED IN FOOTING
- 2 3" X 12" CAN FORM, POUR ROCK SOLID.
- 3 CONCRETE PAVING
- 4 CALTRANS CLASS II AB AT 95% RELATIVE COMPACTION - THICKNESS PER SOILS REPORT
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 6 3/8" PREMOLDED EXPANSION JOINT - REFER TO DETAIL 1 THIS SHEET
- 7 REINFORCED CONCRETE STEPS, ALL STEPS SHALL BE SLIP-RESISTANT.
- 8 #4 REBAR @ CONTINUOUS.
- 9 THICKENED CONCRETE TO SUPPORT POST - 18" DEEP X 6.5" Ø
- 10 12" GREASED #4 STEEL DOWEL @ 18" O.C. AT ALL CONSTRUCTION JOINTS.
- 11 1/4" WARNING GROOVES CUT INTO NOSING OR 2" INLAY WARNING STRIP WITH CONTRASTING COLOR, ALL TREADS (TYP.).
- 12 #3 REBAR TIES @ 18" O.C.
- 13 #4 NOSE BAR 3" FROM EDGE.
- 14 HANDRAIL - REFER TO PLAN FOR LOCATION, CONSTRUCTION LEGEND FOR SPECIFICATION
- 15 CONCRETE CHEEKWALL

NOTE: REFER TO LOCAL CODES FOR HANDRAILS AS REQUIRED

3 CONCRETE STEPS WITH CHEEK WALL AND HANDRAIL

SCALE : 3/4"=1'-0"

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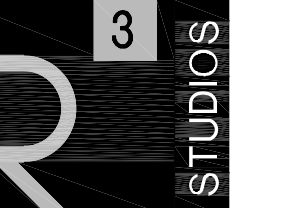


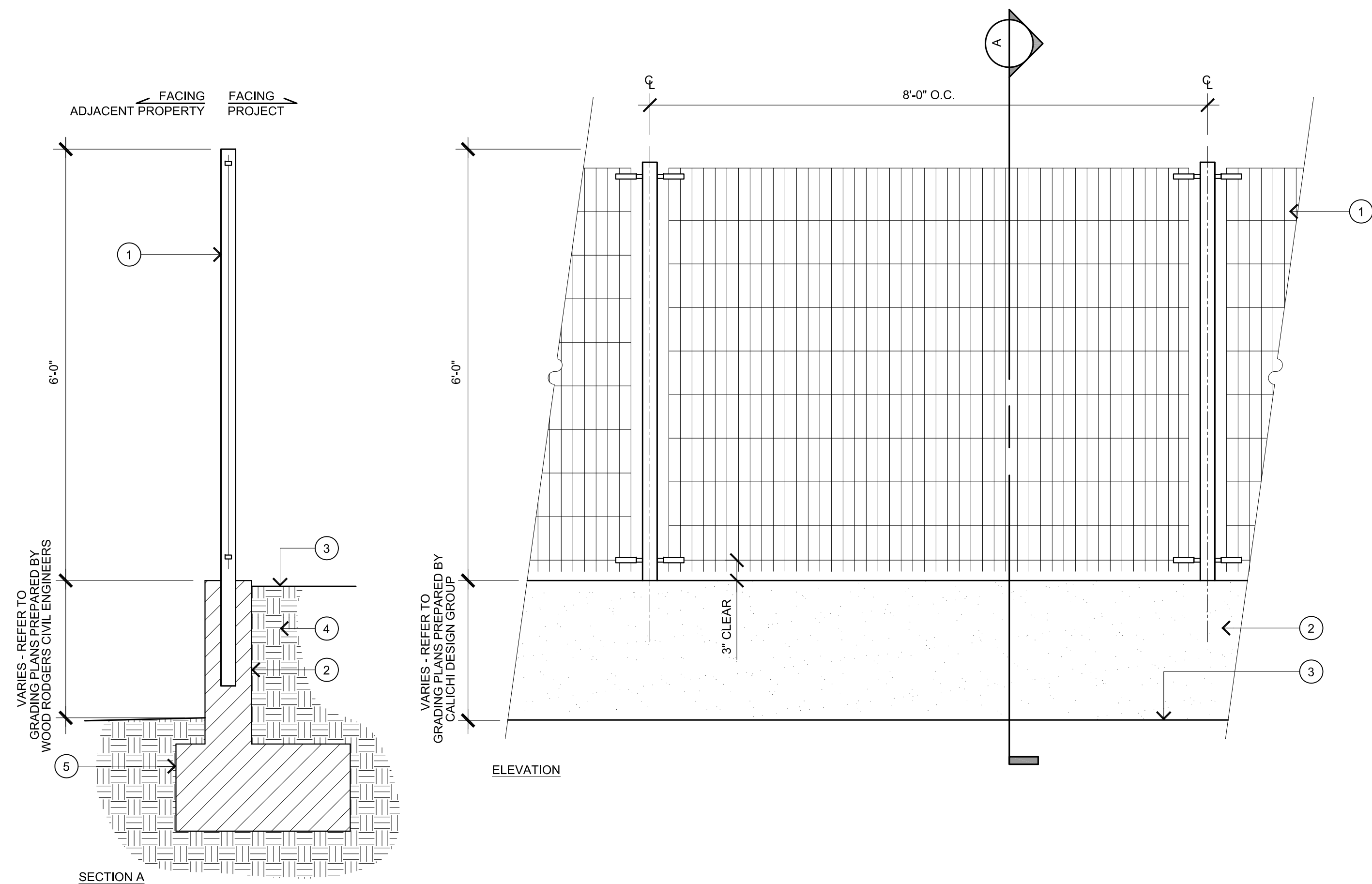
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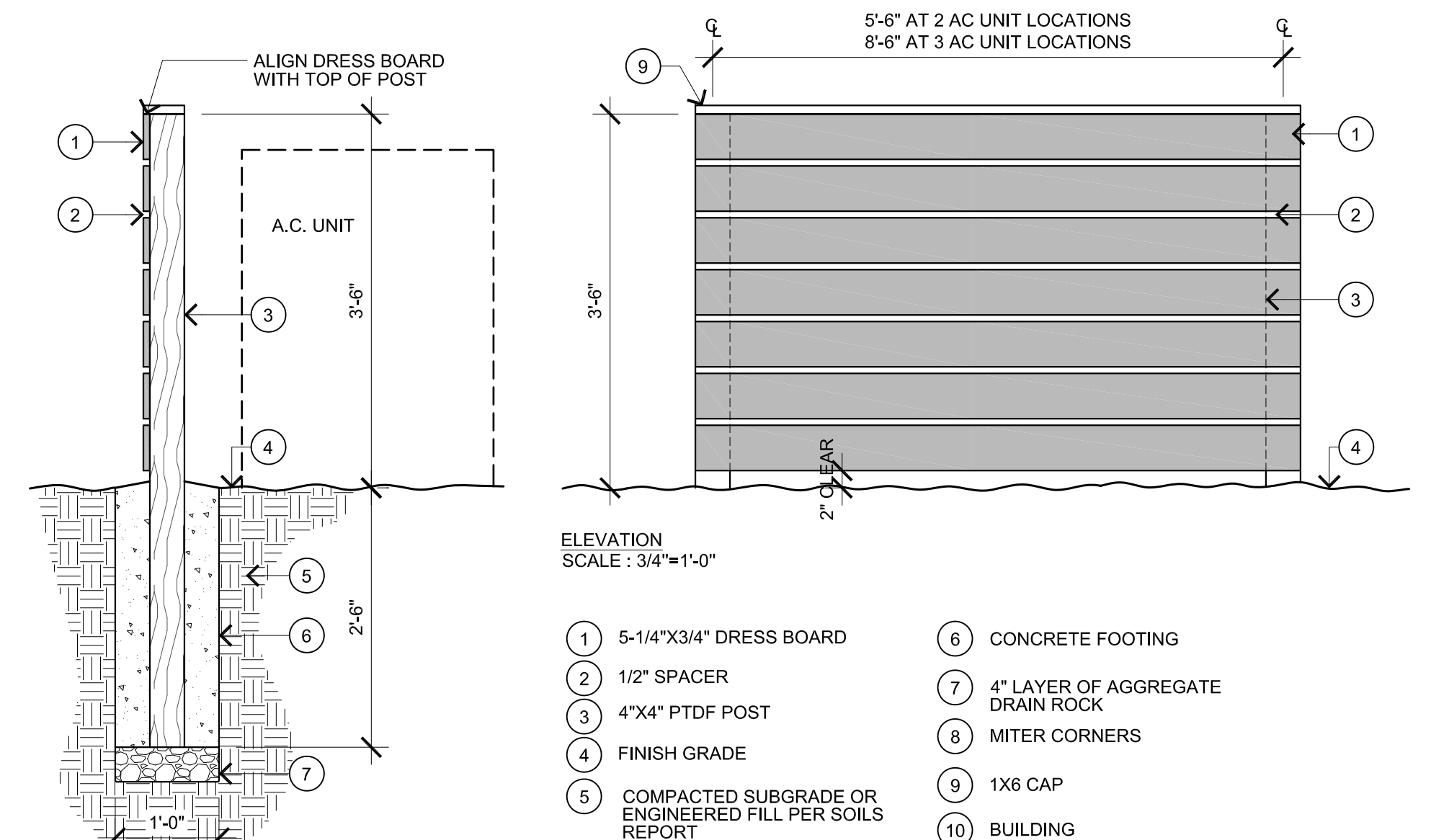
Construction Details
L003

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- 1 ELITE FENCE AND GATE (INSTALLED WITH PICKETS DOWN) - FINISH TO BE CHOCOLATE BROWN
- 2 RETAINING WALL- REFER TO PLANS PREPARED BY WOOD RODGERS CIVIL ENGINEERS AND PLANS PREPARED BY STRUCTURAL ENGINEER
- 3 FINISH GRADE
- 4 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 5 CONCRETE FOOTING - REFER TO PLANS PREPARED BY STRUCTURAL ENGINEER

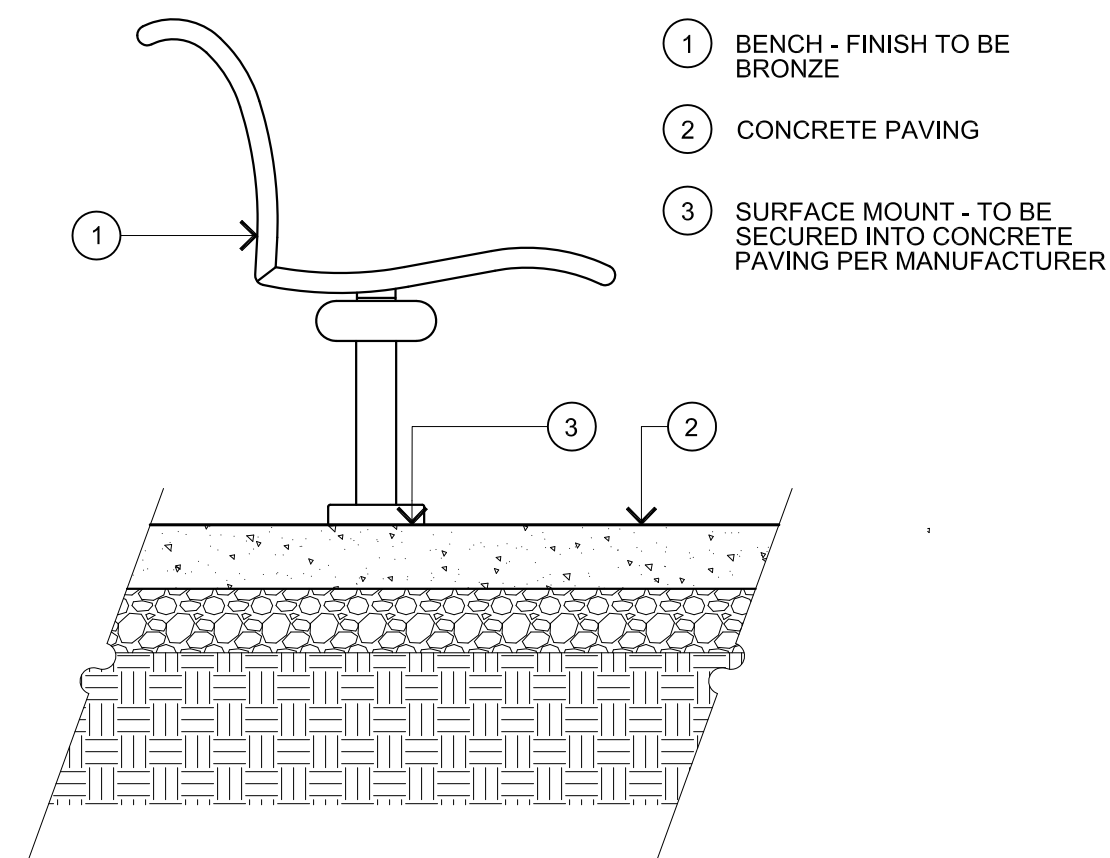
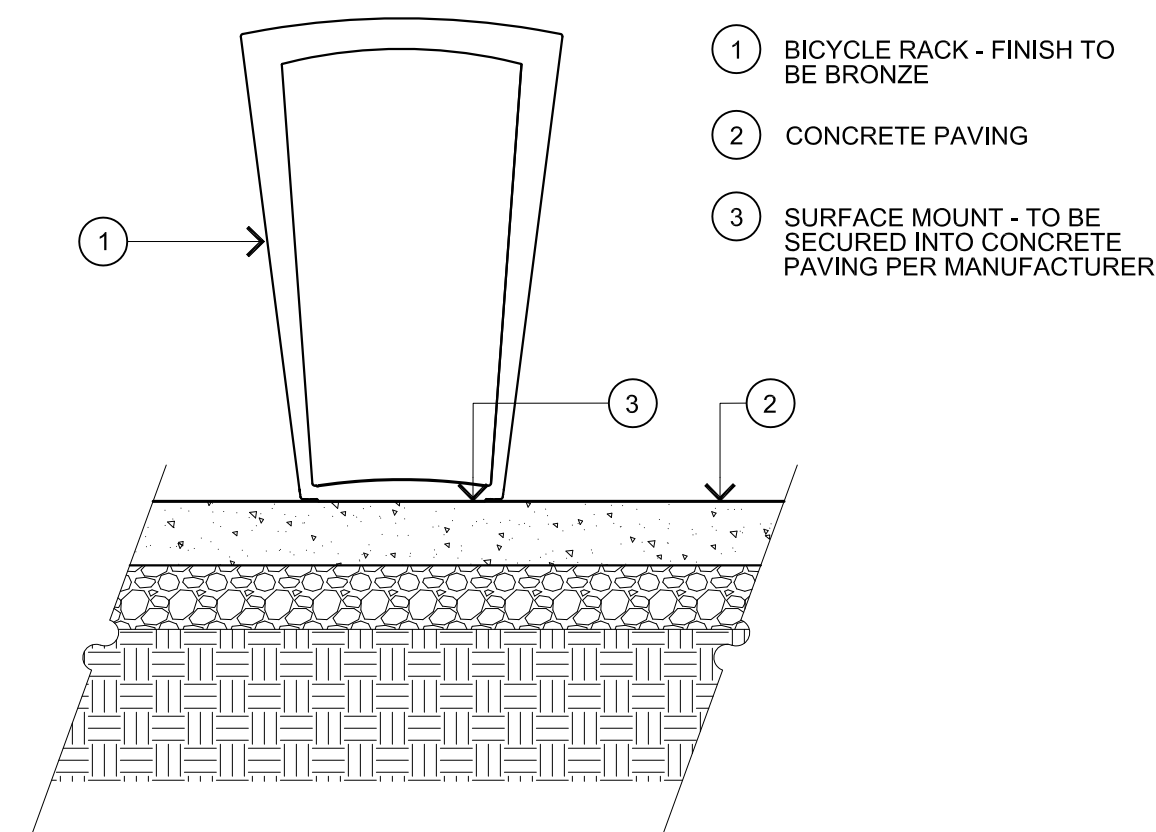
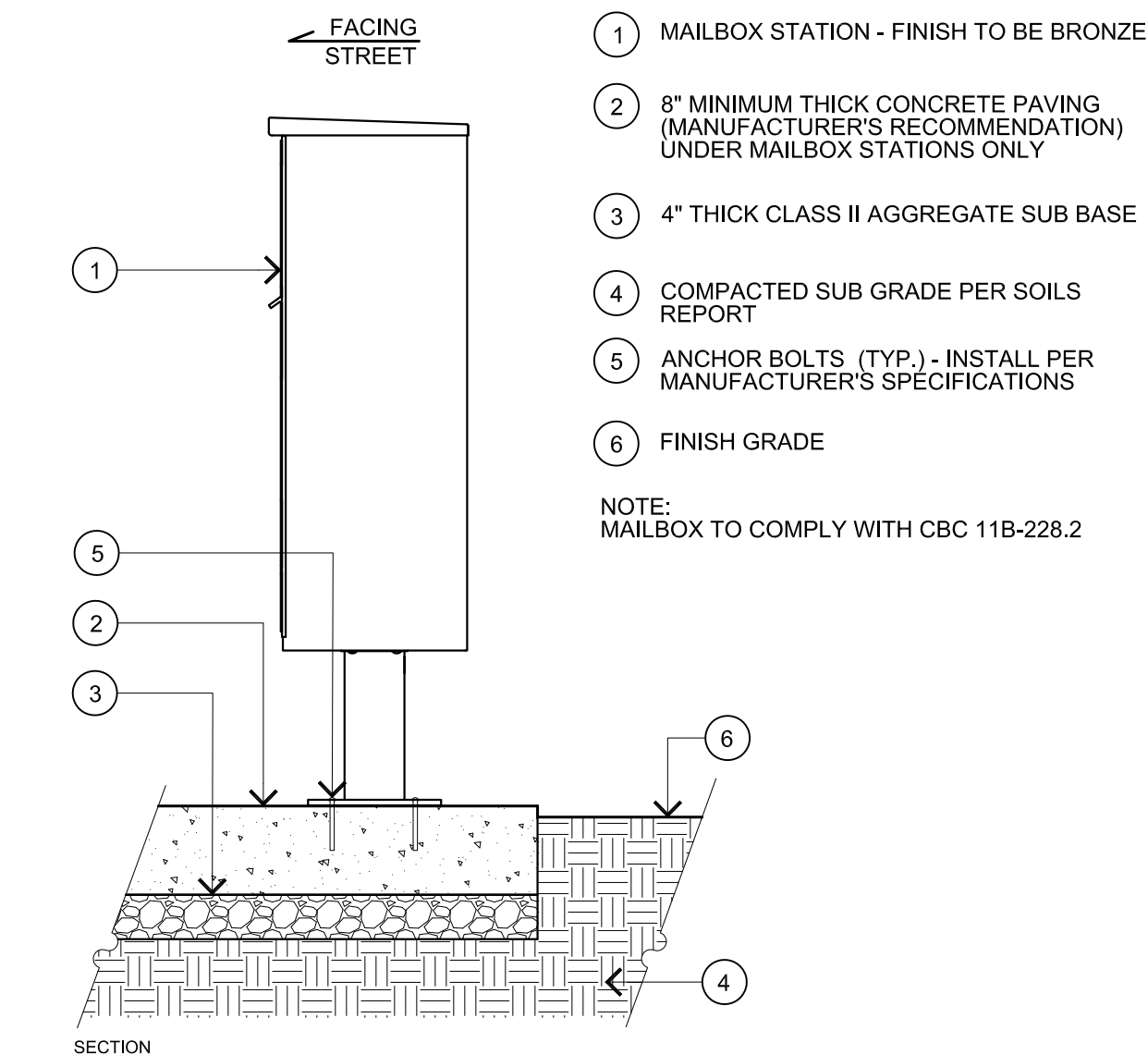


NOTE:
- ALL SCREWS SHALL BE GALVANIZED

1 WELDED WIRE MESH FENCE ON RETAINING WALL

SCALE: 3/4" = 1'-0"

2 AIR CONDENSER SCREEN



3 MAILBOX STATION

SCALE : 3/4"=1'-0"

4 BICYCLE RACK

SCALE : 1"=1'-0"

5 BENCH

SCALE : 1"=1'-0"

2001 TAROB COURT
Milpitas, CA
September 10, 2021

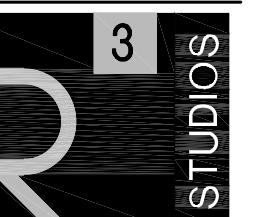


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Construction Details
L004

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LANDSCAPE ARCHITECTURE
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IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
5. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
6. IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S), PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
7. PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
8. INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
9. IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
10. INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN

11. SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
12. INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
13. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
14. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
15. THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER), ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
16. INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCVS LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
17. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
18. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
19. INSTALL NON POP-UP ROTARY SPRINKLERS 24" FROM WALKS AND CURBS.
20. LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.
21. LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
22. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
23. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
24. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
25. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

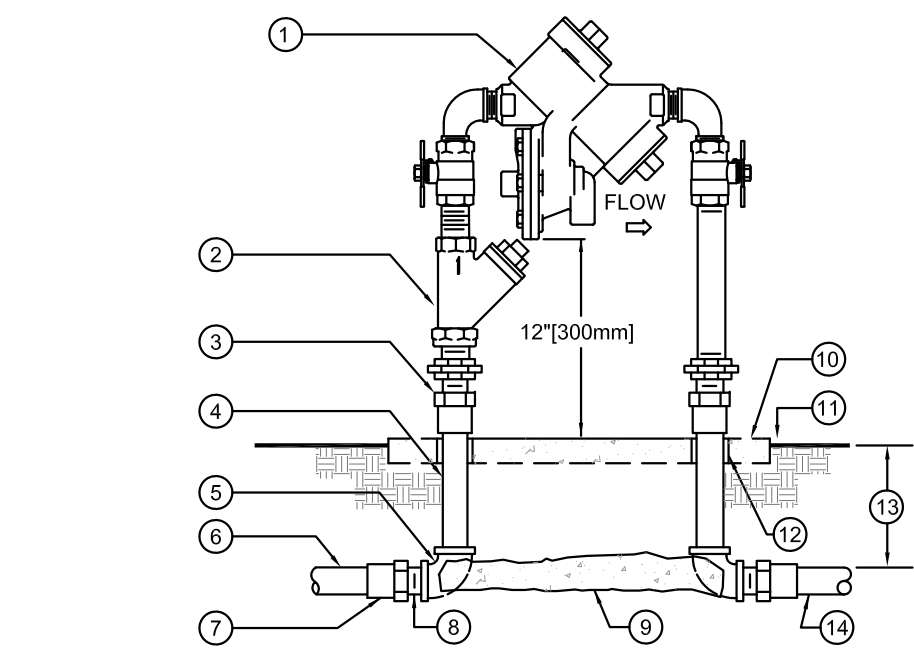
26. IRRIGATION DEMAND: REFER TO PLANS.
27. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
28. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
29. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
30. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	570Z-6P-PRX-COM/ O-T-15-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	2.3,1.16, 0.58	30	12–15
	570Z-6P-PRX-COM/ O-T-12-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	1.5,0.75,.37	30	10–12
	570Z-6P-PRX-COM/ O-T-10-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	1.03,0.51, 0.23	30	8–10
	570Z-12P-PRX-COM/ O-T-15-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	2.3,1.16, 0.58	30	12–15
	570Z-12P-PRX-COM/ O-T-12-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	1.5,0.75,.37	30	10–12
	570Z-12P-PRX-COM/ O-T-10-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	1.03,0.51, 0.23	30	8–10
	570S/FB-25-PC	TORO BUBBLER, 1 PER SHRUB	0.25	30	TRICKLE
	570S/FB-50-PC	TORO BUBBLER, 2 PER TREE	0.5	30	TRICKLE
	T-YD-500-34	TORO AIR RELIEF VALVE			
	FCH-H-FIPT	TORO FLUSH VALVE			
	T-DL-MP9	TORO DRIP ZONE INDICATOR			
	P-220-26-6	TORO MASTER VALVE (NORMALLY CLOSED)			
	TFS-150	TORO FLOW SENSOR			
	P-220-26 SERIES	TORO REMOTE CONTROL VALVE			
	P220-27-04/ T-ALFD10150-L	TORO REMOTE CONTROL VALVE WITH A PRESSURE REGULATOR (SET TO 45 PSI) AND A 1" DISC FILTER			
	33 DNP	RAIN BIRD QUICK COUPLING VALVE			
	T113-K	NIBCO GATE VALVE (LINE SIZE)-2.5" AND SMALLER.			
	975XLSEU-2"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY			
	MC-30E/CL-R1	IRRITROL MC-E CONTROLLER IN A PEDESTAL ENCLOSURE WITH MAINTENANCE REMOTE. USE IN CONJUNCTION WITH CLIMATE LOGIC WEATHER SENSING SYSTEM.			
	CL-100-WIRELESS	IRRITROL CLIMATE LOGIC WEATHER SENSING SYSTEM. AUTOMATICALLY GATHERS ON-SITE WEATHER INFORMATION AND CALCULATES WATER REQUIREMENTS AND WATERING SCHEDULES.			
		CONTROLLER AND STATION NUMBER			
		FLOW (GPM)			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		ASSOCIATED REMOTE CONTROL VALVE			
		CONTROLLER AND STATION NUMBER			
		AREA (SQ. FT.)			
		FLOW (GPM)			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		ASSOCIATED REMOTE CONTROL VALVE			
		MAIN LINE: 2 1/2" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.			
		DRIP ZONE: TORO DL2000 SERIES DRIPLINE WITH LOC-EZE FITTINGS, PART #RGP-212. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. MINIMUM PIPE SIZE OF PVC LATERAL LINE WITHIN DRIP AREAS TO BE 1". EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW. SEE DETAILS FOR FURTHER INFORMATION.			
		DRIP ZONE: TORO BLUE STRIPE POLYETHYLENE HOSE. INSTALL ON-GRADE AS DETAILED. SEE DETAILS FOR INSTALLATION AND PART NUMBERS. INSTALL A END CLAMP AT THE END OF EACH DRIP ZONE REGION.			
		FLOW SENSOR/ MASTER CABLE: APPROXIMATE ROUTING OF FLOW SENSOR AND MASTER VALVE WIRES IN SEPARATE 1" CONDUITS. REFER TO DETAILS FOR MORE INFORMATION.			

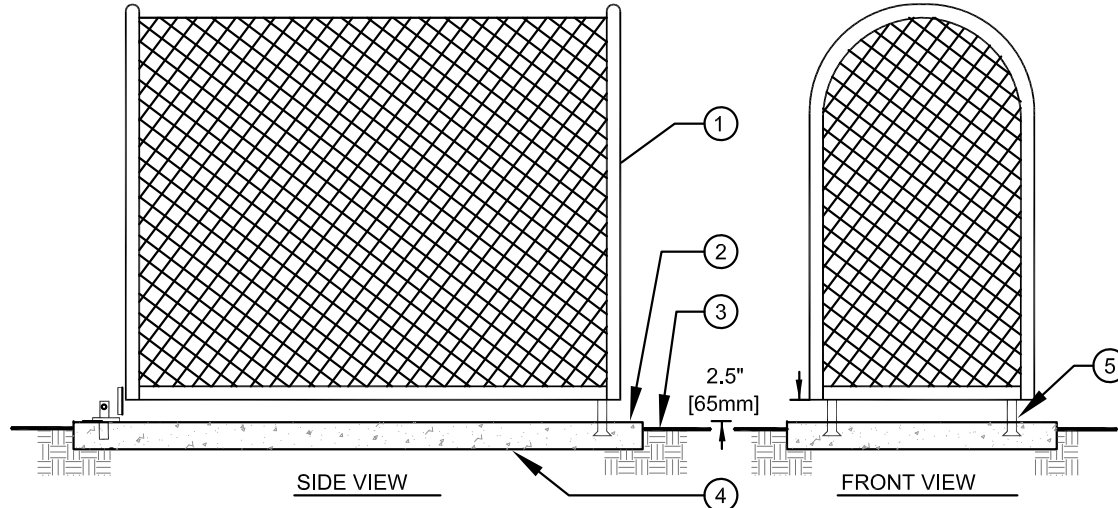
2001 TAROB COURT
Milpitas, CA
September 10, 2021

Irrigation Notes & Legend (Privately Maintained Landscape Areas)
L005

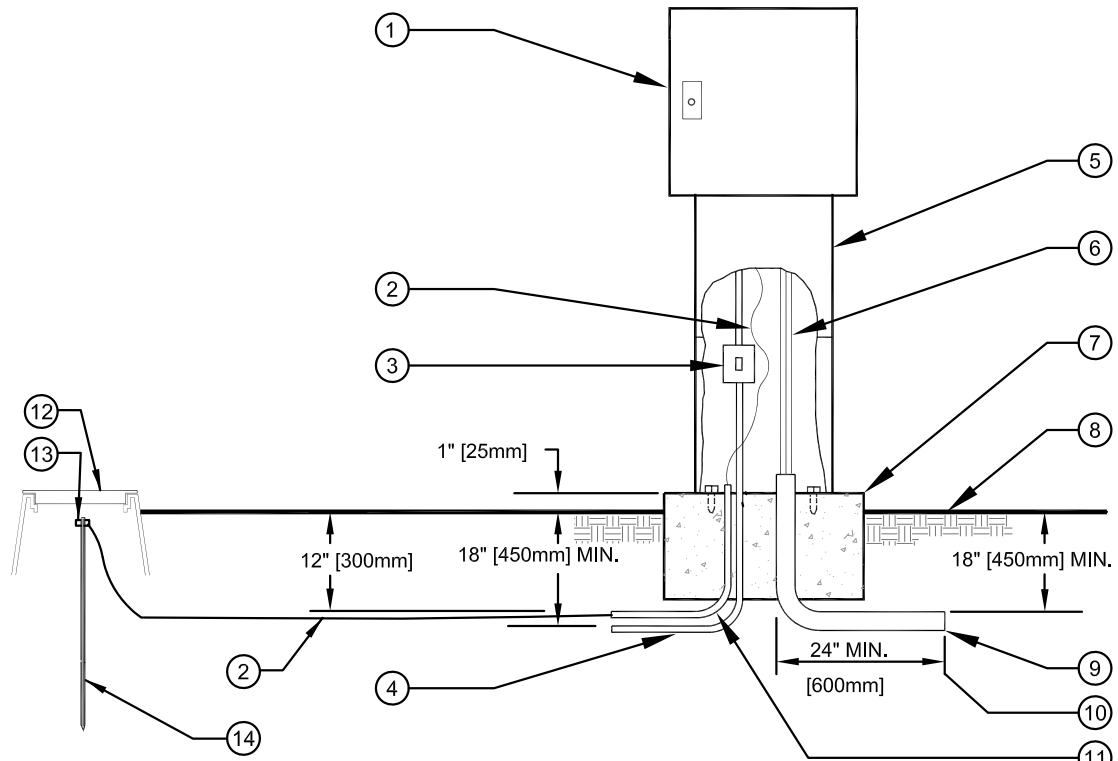


- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
- 2 YB "Y" STRAINER SYSTEM (AS REQUIRED).
- 3 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 6 PVC MAIN LINE TO POINT OF CONNECTION.
- 7 BUSH AS NECESSARY FOR SIZE TRANSITION.
- 8 SCHEDULE 40 PVC MALE ADAPTER- 2 TOTAL.
- 9 CONCRETE SUPPORT BLOCK.
- 10 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 11 FINISH GRADE.
- 12 PVC SLEEVE BOTH SIDES.
- 13 REFER TO IRRIGATION LEGEND
- 14 PVC MAIN LINE TO IRRIGATION SYSTEM.

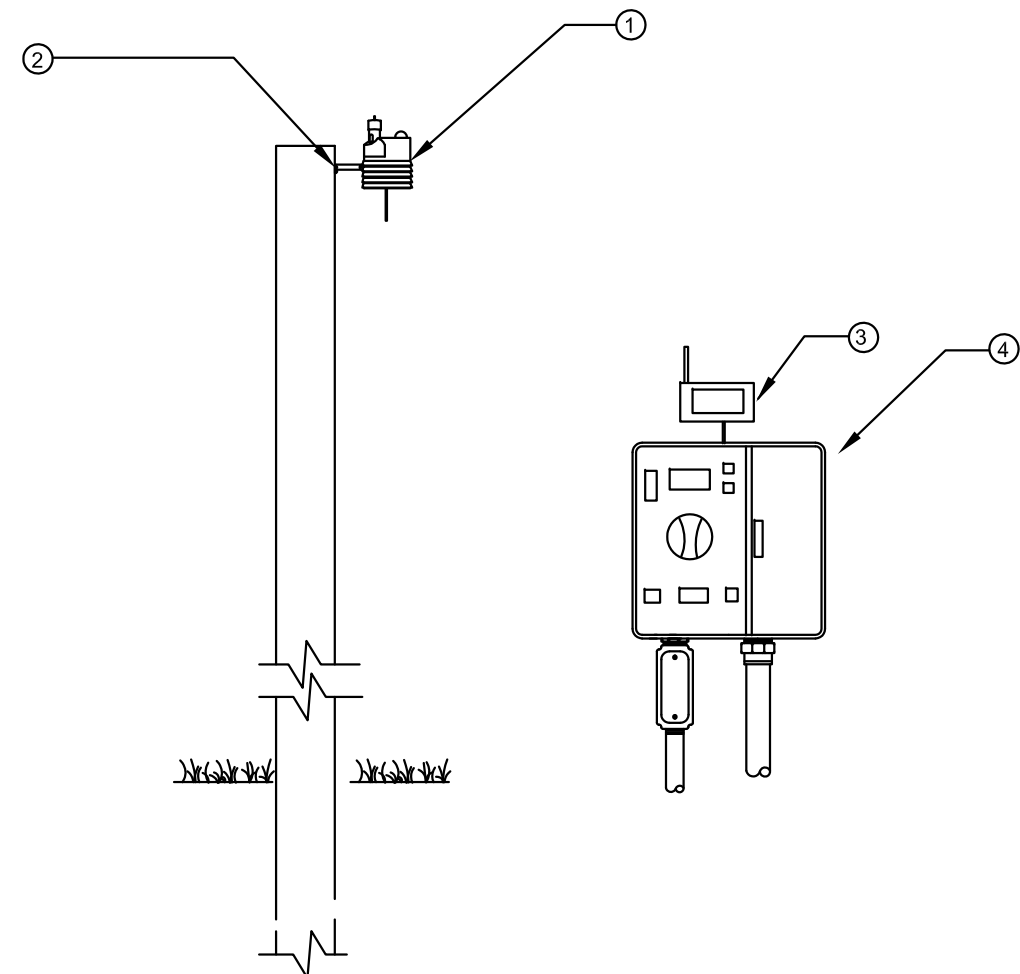
- NOTES:
1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
- 2 SET PAD 1/2" (13MM) ABOVE FINISH GRADE
- 3 FINISH GRADE
- 4 6" (150mm) THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" (150mm) BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- 5 MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD, PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.

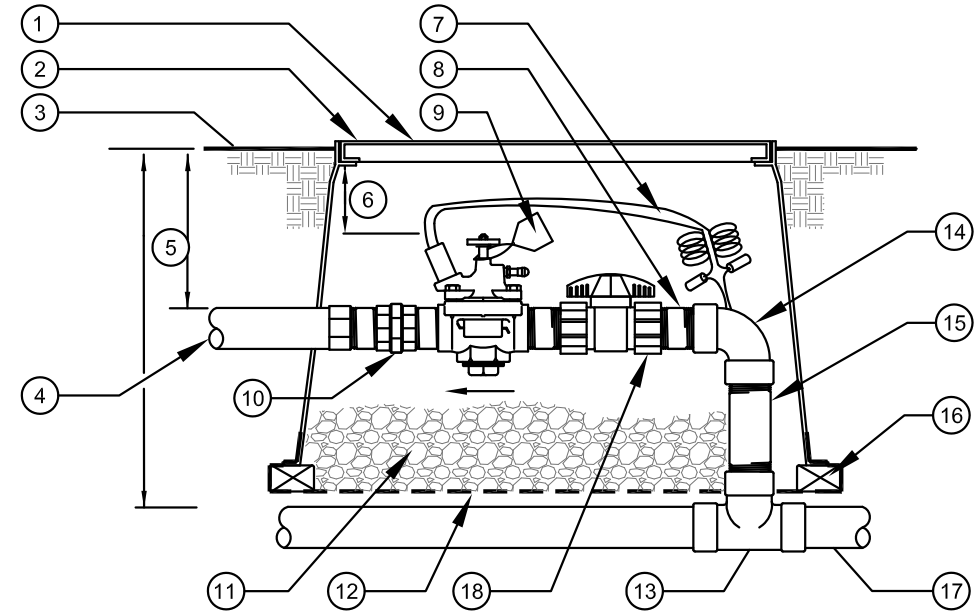


- 1 IRRIGATION CONTROLLER.
- 2 #6 BARE COPPER GROUND WIRE.
- 3 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
- 4 120 VOLT A.C. ELECTRICAL SERVICE FROM SOURCE TO CONTROLLER LOCATION PROVIDED BY CONTRACTOR. IRRIGATION CONTRACTOR TO PROVIDE RIGID STEEL CONDUIT FROM SERVICE STUB-OUT TO CONTROLLER GC/FI SWITCH AND COMPLETE ELECTRICAL SERVICE TO CONTROLLER.
- 5 PEDESTAL ENCLOSURE.
- 6 LOW VOLTAGE CONTROL WIRING.
- 7 CONCRETE PAD-6" (150mm) THICK (MIN.) EXTEND 6" (150mm) BEYOND EACH SIDE AND BACK, 24" (600mm) IN FRONT AND 1" (25mm) ABOVE FINISH GRADE.
- 8 FINISH GRADE.
- 9 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT WITH SWEEP ELL FOR LOW VOLTAGE WIRE.
- 10 24" MIN. (600mm) AND OR 12" (300mm) BEYOND HARDSCAPE.
- 11 1/2" (40mm) PVC SWEEP ELL FOR GROUND WIRE.
- 12 6" ROUND BLACK PLASTIC BOX WITH T-LID FOR GROUND ROD.
- 13 CADWELD CONNECTIONS
- 14 8' LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 10' AWAY FROM CONTROLLER.



NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.

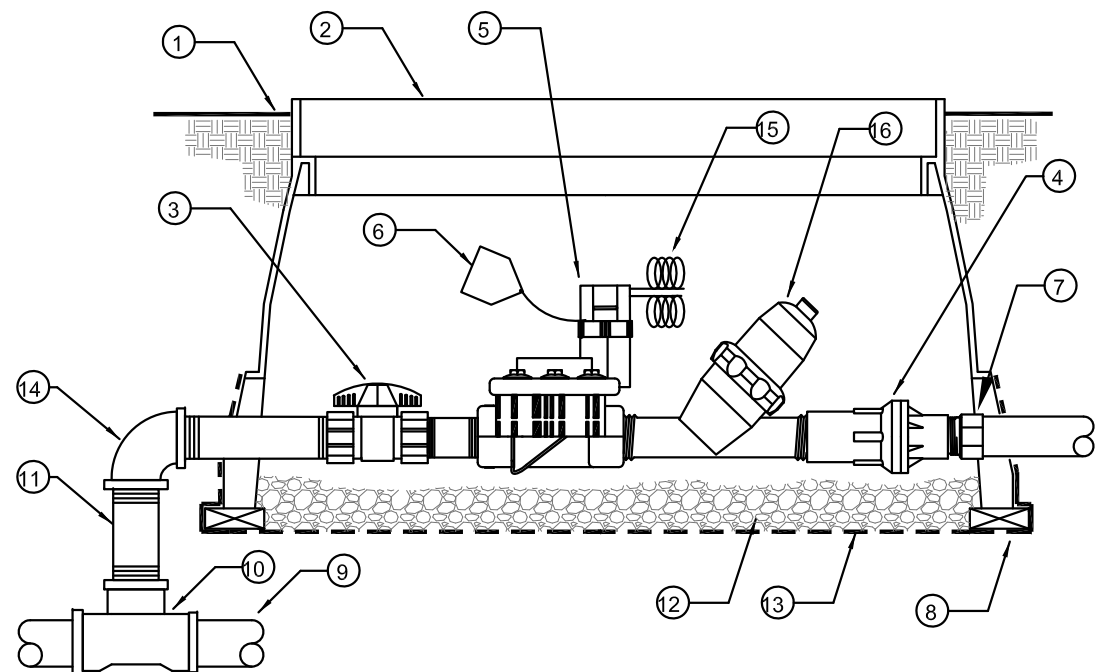
- 1 WIRELESS CLIMATE SENSOR TRANSMITTER
- 2 SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN. IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
- 3 SENSOR RECEIVER
- 4 CONTROLLER



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE.
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" (75mm) MIN. 6" (150mm) MAX.
- 7 VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3' (1m) OF EXCESS UP WIRE IN A 1" (25mm) DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK-4" (100mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 19 GAUGE 1/2" (12mm) SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (TXT).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK-1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

1 REDUCED PRESSURE BACKFLOW ASSEMBLY

SCALE: NONE



- 1 FINISH GRADE
- 2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- 4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- 5 REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- 6 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 7 SCHEDULE 40 MALE ADAPTER
- 8 BRICK-1 EACH CORNER.
- 9 PVC MAIN LINE.
- 10 UPC APPROVED SCHEDULE 40 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (102mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (TXT).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3' (1m) OF EXCESS UF WIRE IN A 1" (25mm) DIAMETER COIL.
- 16 Y-FILTER (INCLUDED IN DRIP ZONE KIT)

INSTRUCTIONS:

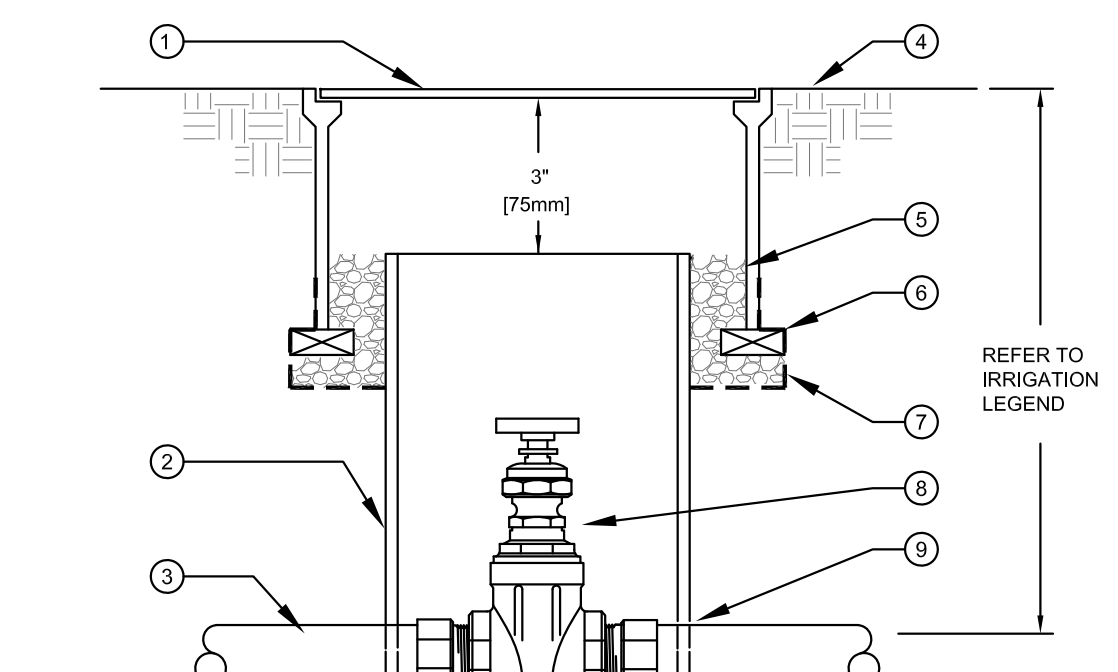
1. STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

7 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE

3 CONTROLLER - PEDESTAL MOUNT

SCALE: NONE



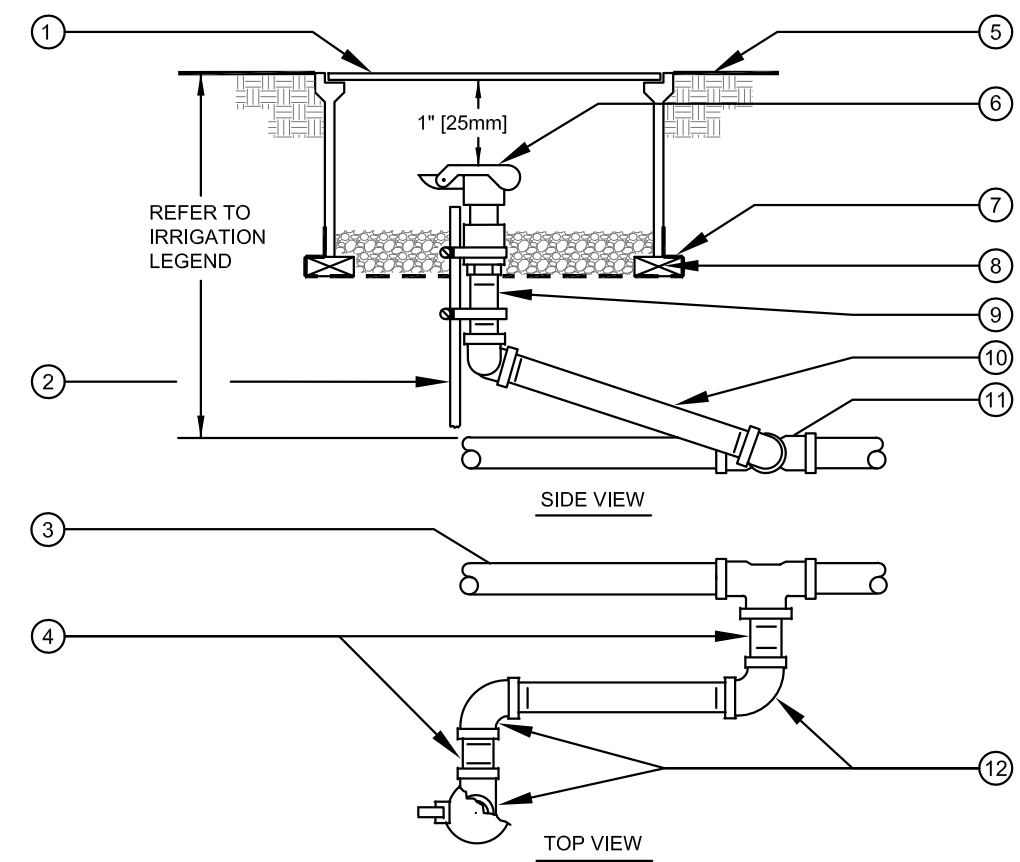
- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" (200mm) CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (100mm) DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.

8 GATE VALVE

SCALE: NONE

4 WIRELESS WEATHER SENSOR

SCALE: NONE



- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 1 1/4" x 1 1/4" x 3/16" (30mm x 30mm x 5mm) ANGLE IRON 30" (760mm) LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
- 3 PVC MAIN LINE.
- 4 3" (75mm) LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 5 FINISH GRADE.
- 6 QUICK COUPLING VALVE.
- 7 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 8 BRICK - 2 TOTAL.
- 9 SCHEDULE 80 PVC THREADED NIPPLE.
- 10 10" (250mm) LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
- 12 SCHEDULE 80 PVC THREADED 90° ELL.

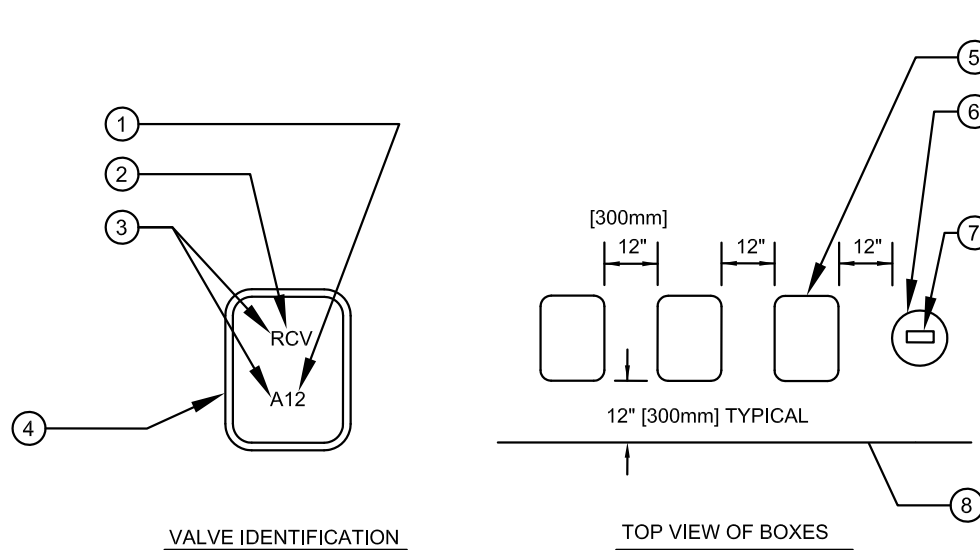
NOTE: NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

9 QUICK COUPLING VALVE

SCALE: NONE

5 REMOTE CONTROL VALVE

SCALE: NONE



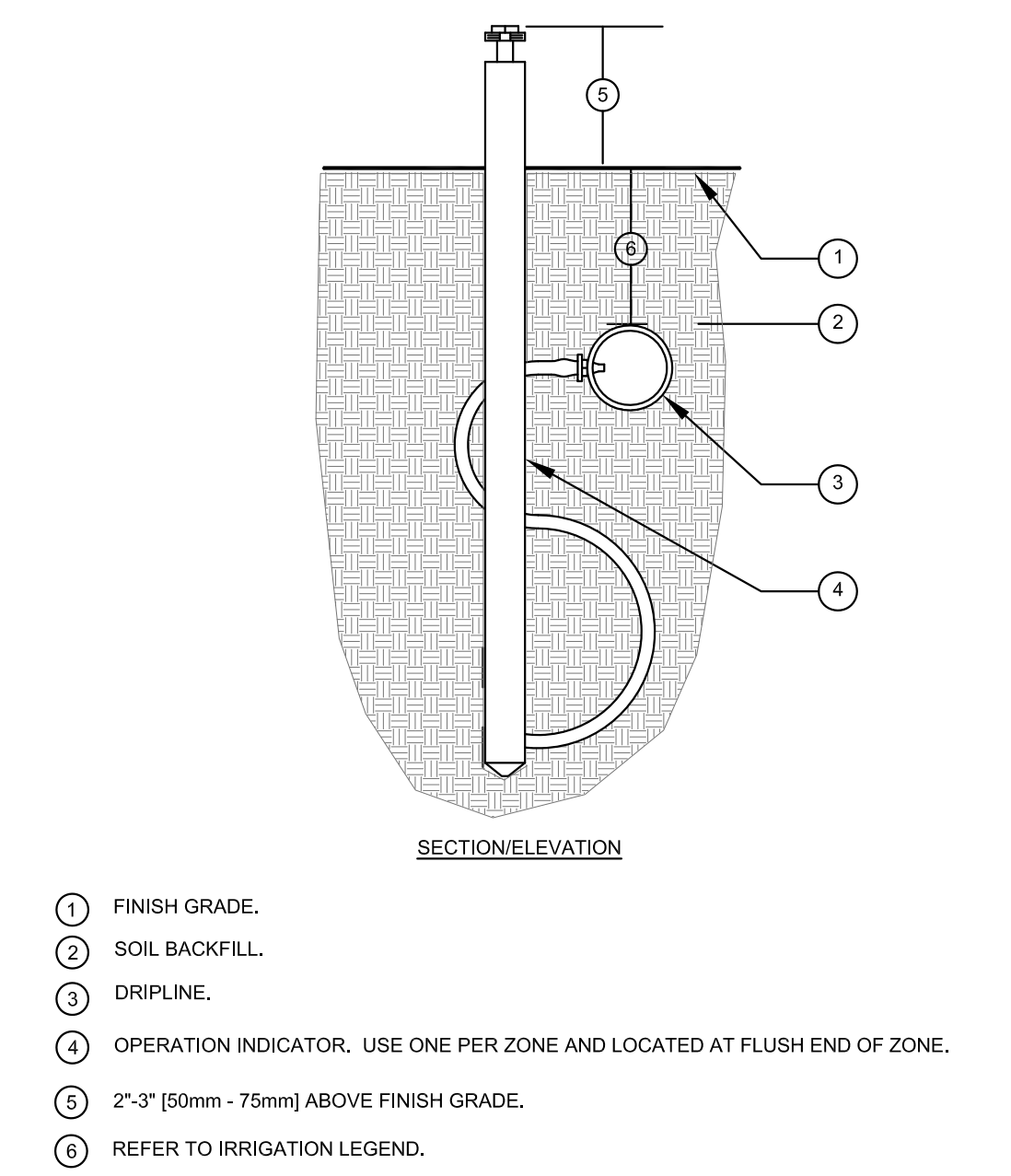
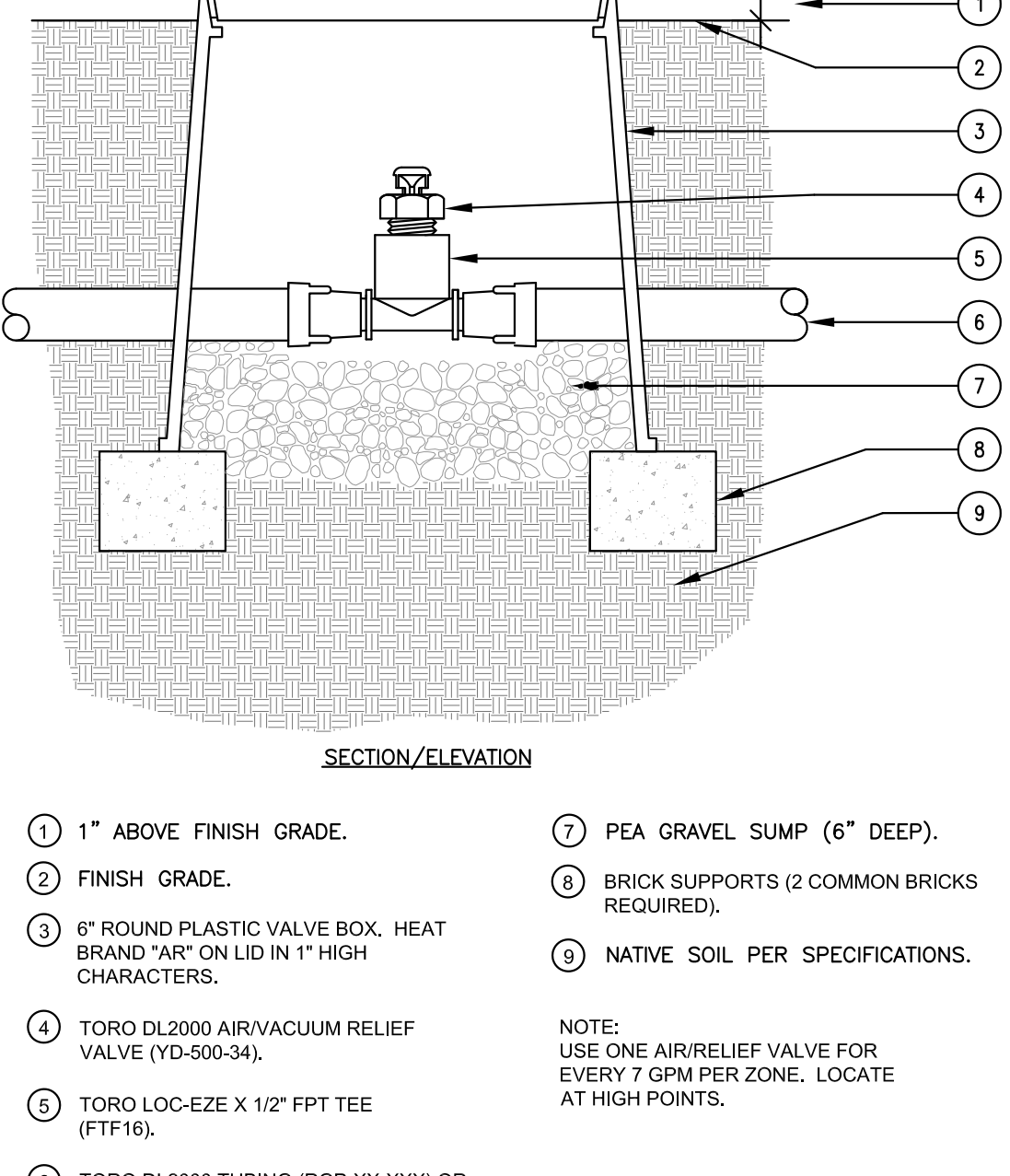
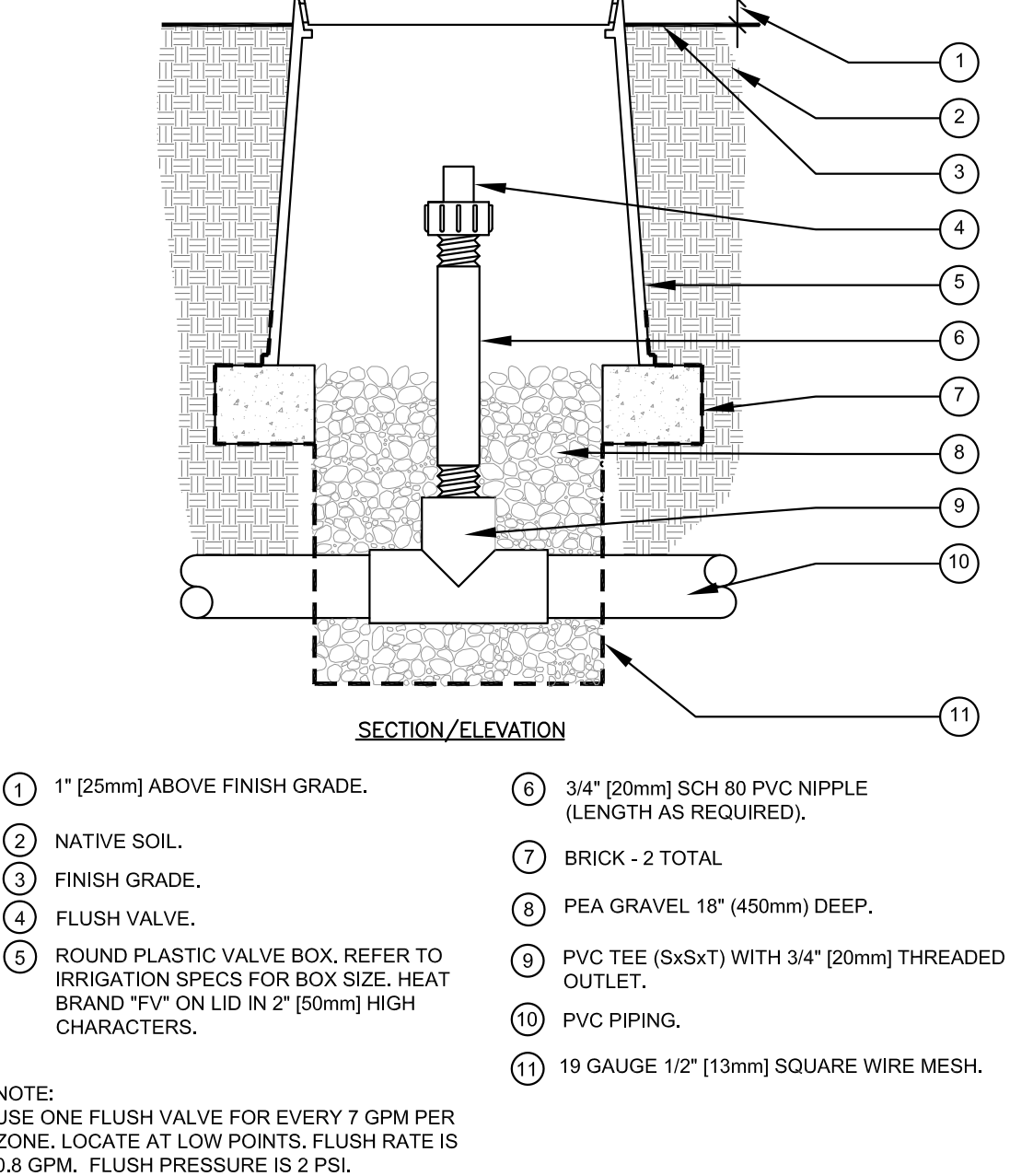
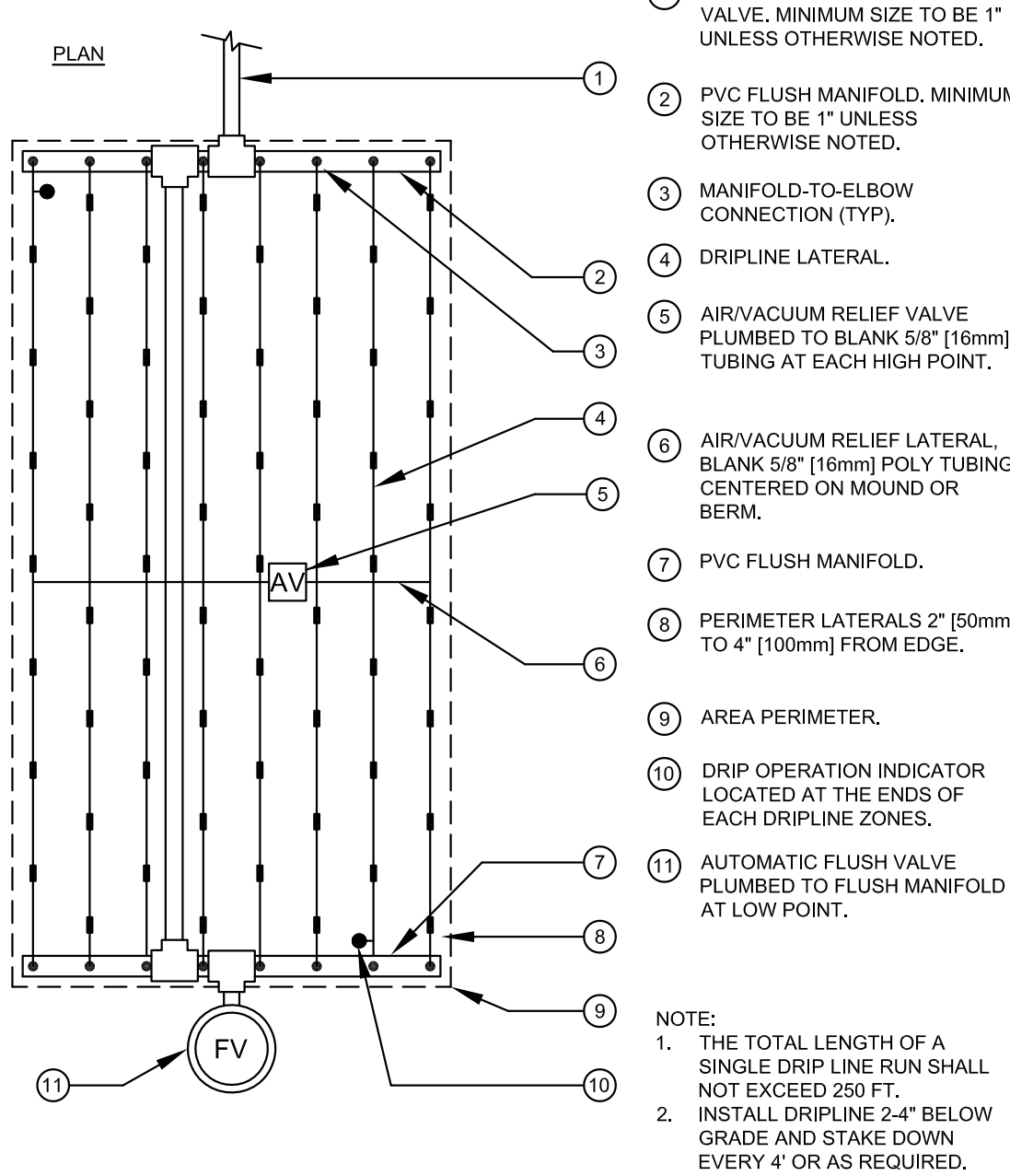
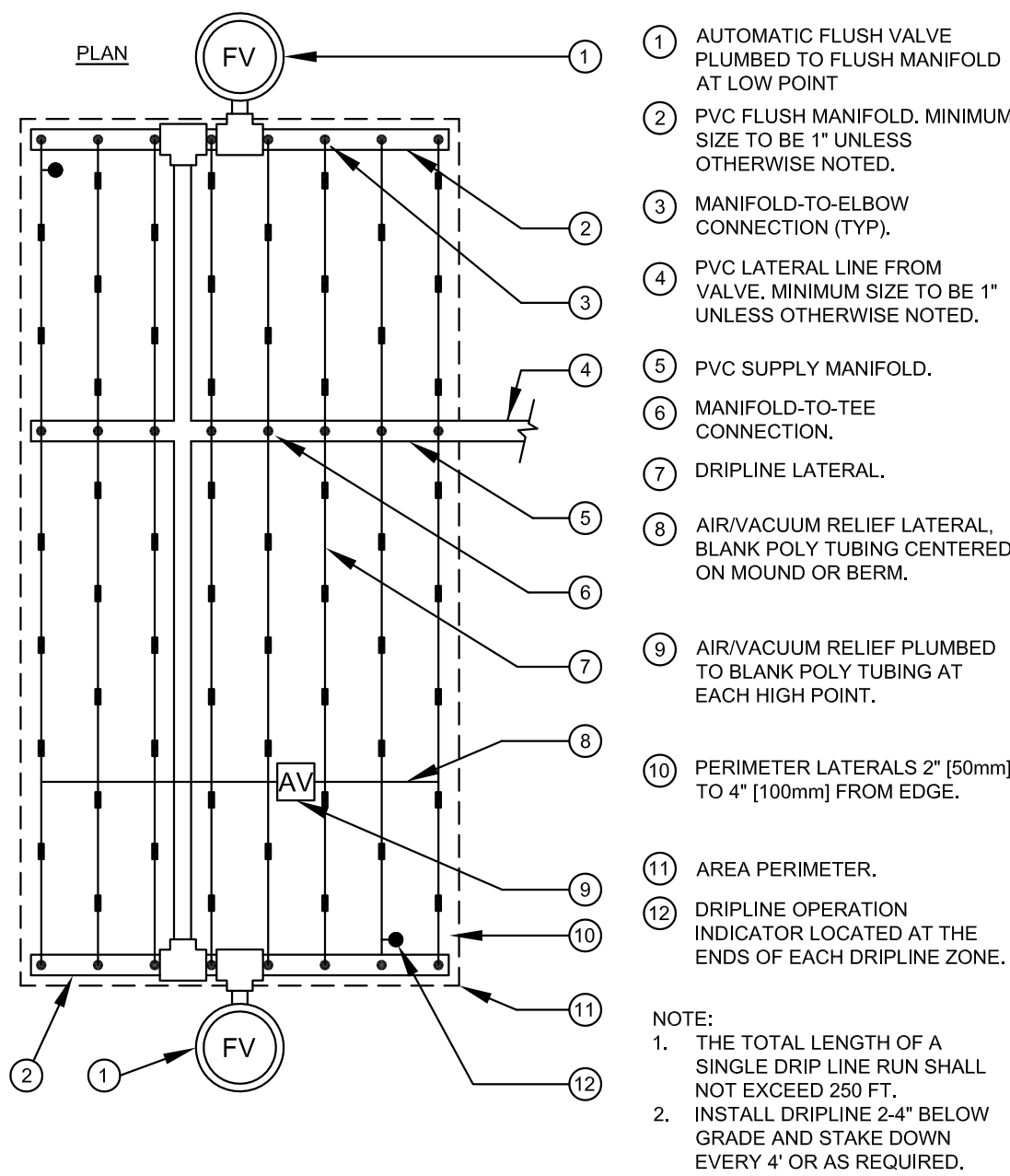
- 1 CONTROLLER AND STATION
- 2 VALVE TYPE
- 3 HEAT BRAND LETTERS AND NUMBERS INTO LID.
- 4 VALVE BOX COVER
- 5 RECTANGULAR VALVE BOX
- 6 ROUND VALVE BOX FOR QCV AND GATE VALVE
- 7 HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
- 8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.

INSTRUCTIONS:

1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" (25mm) ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

6 REMOTE CONTROL VALVE (DRIPZONE)

SCALE: NONE



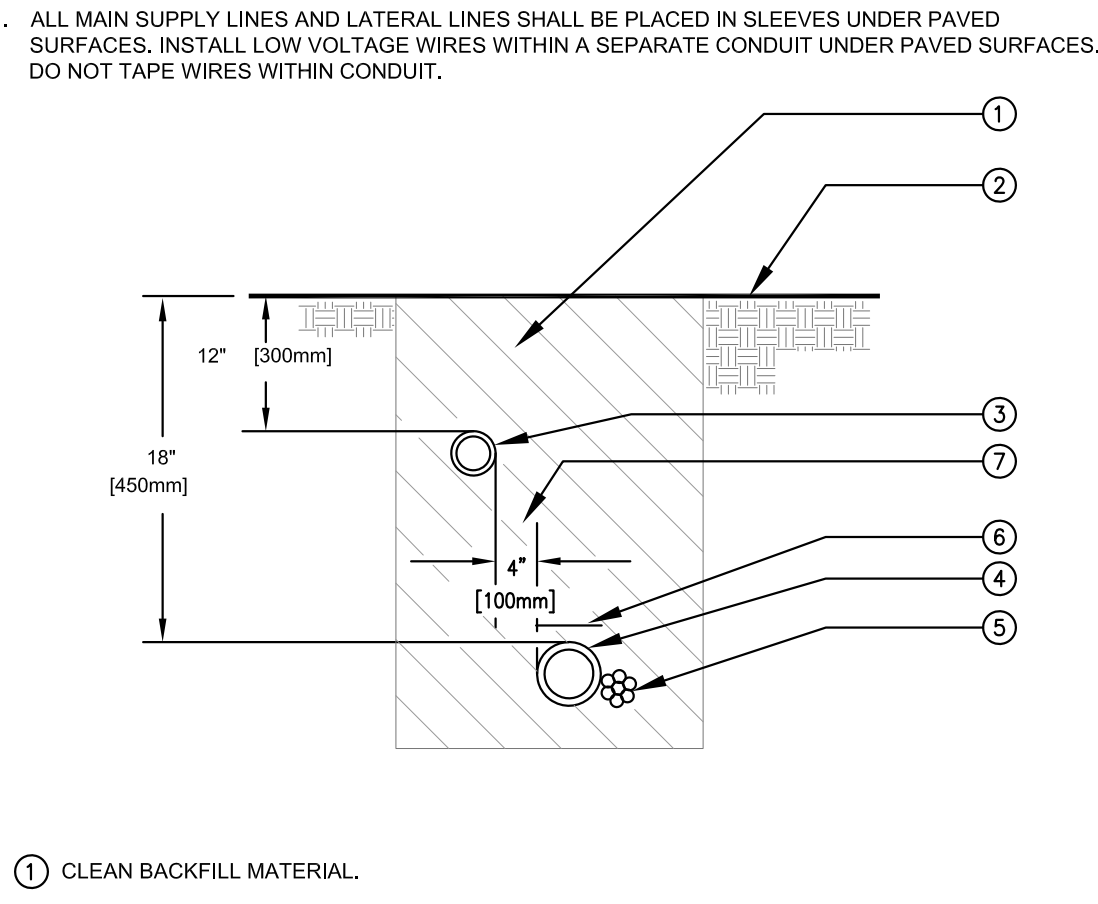
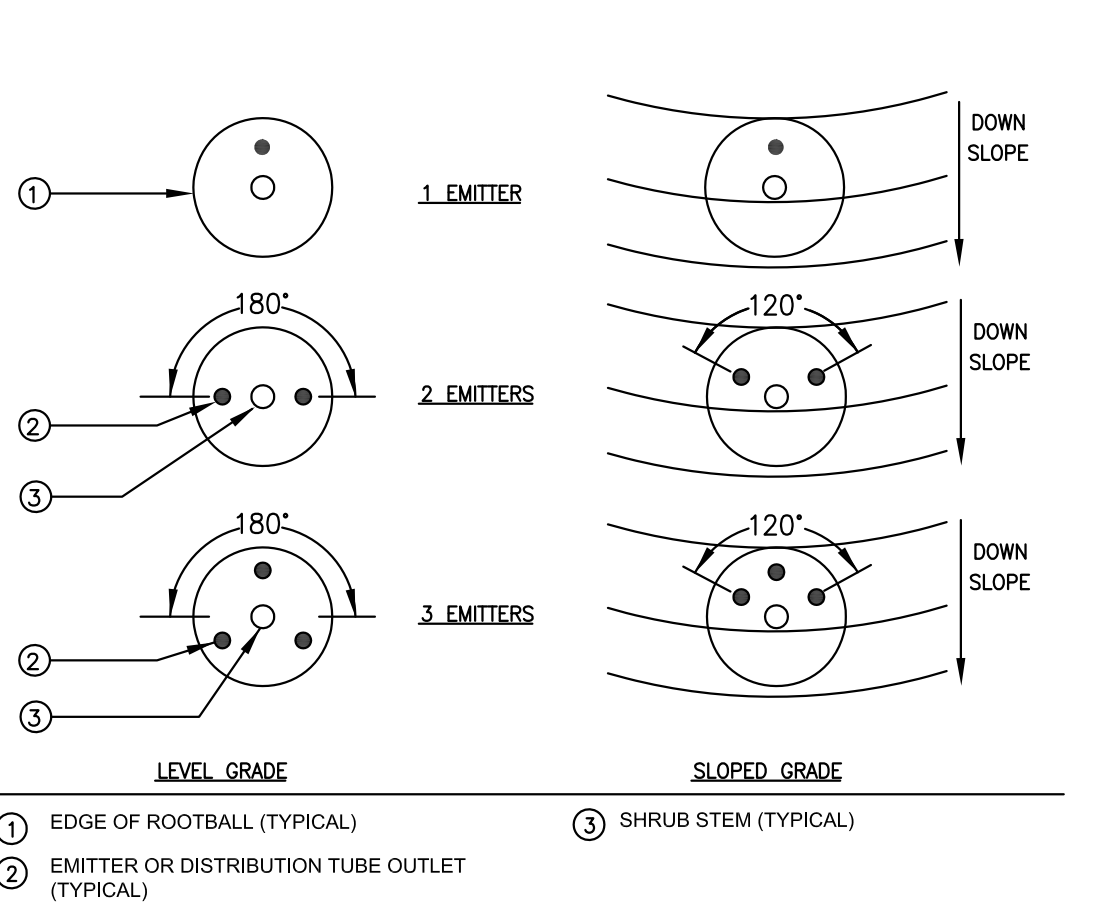
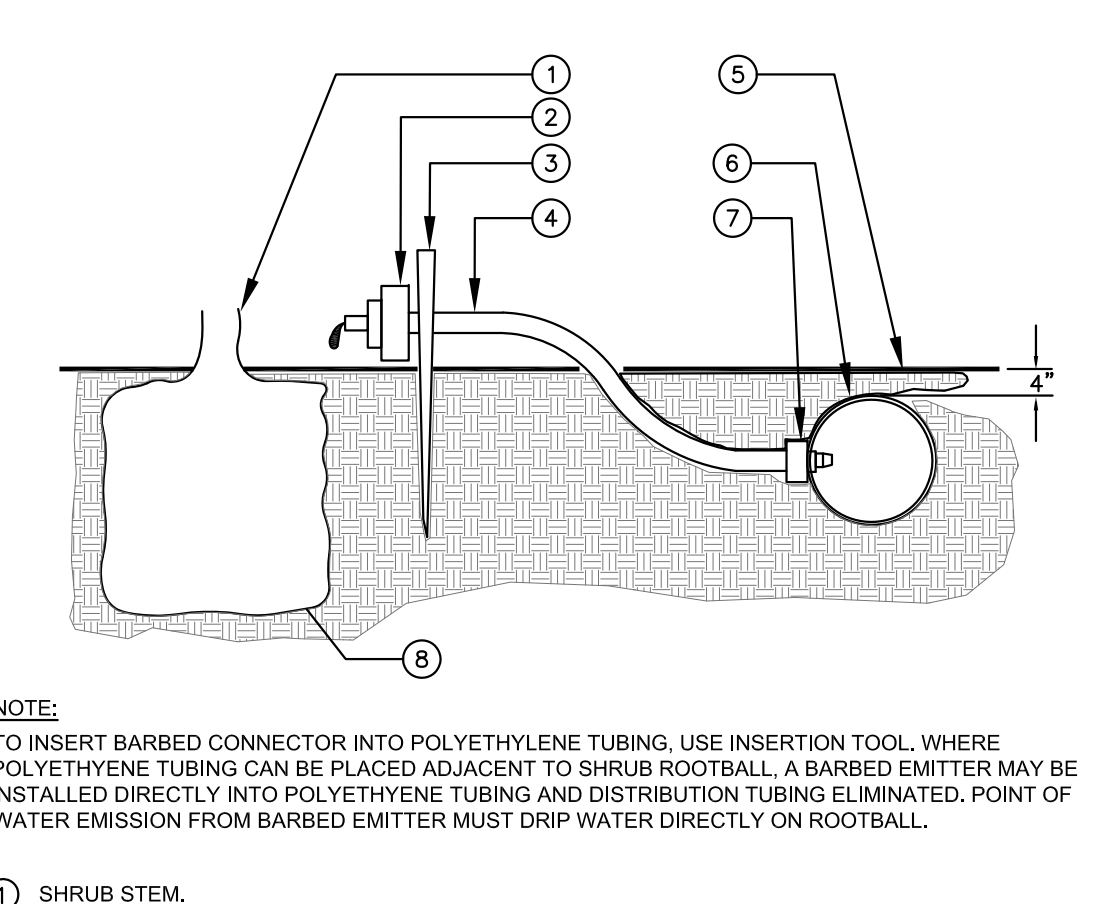
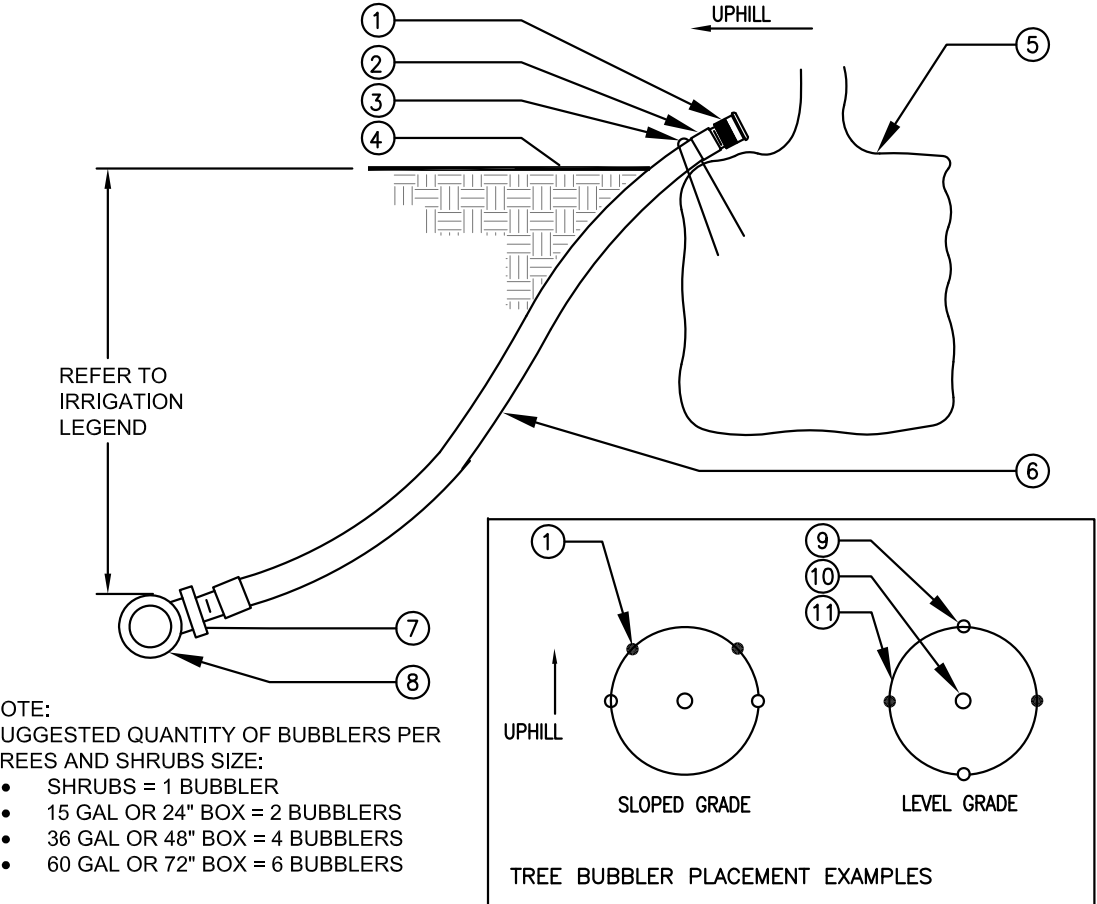
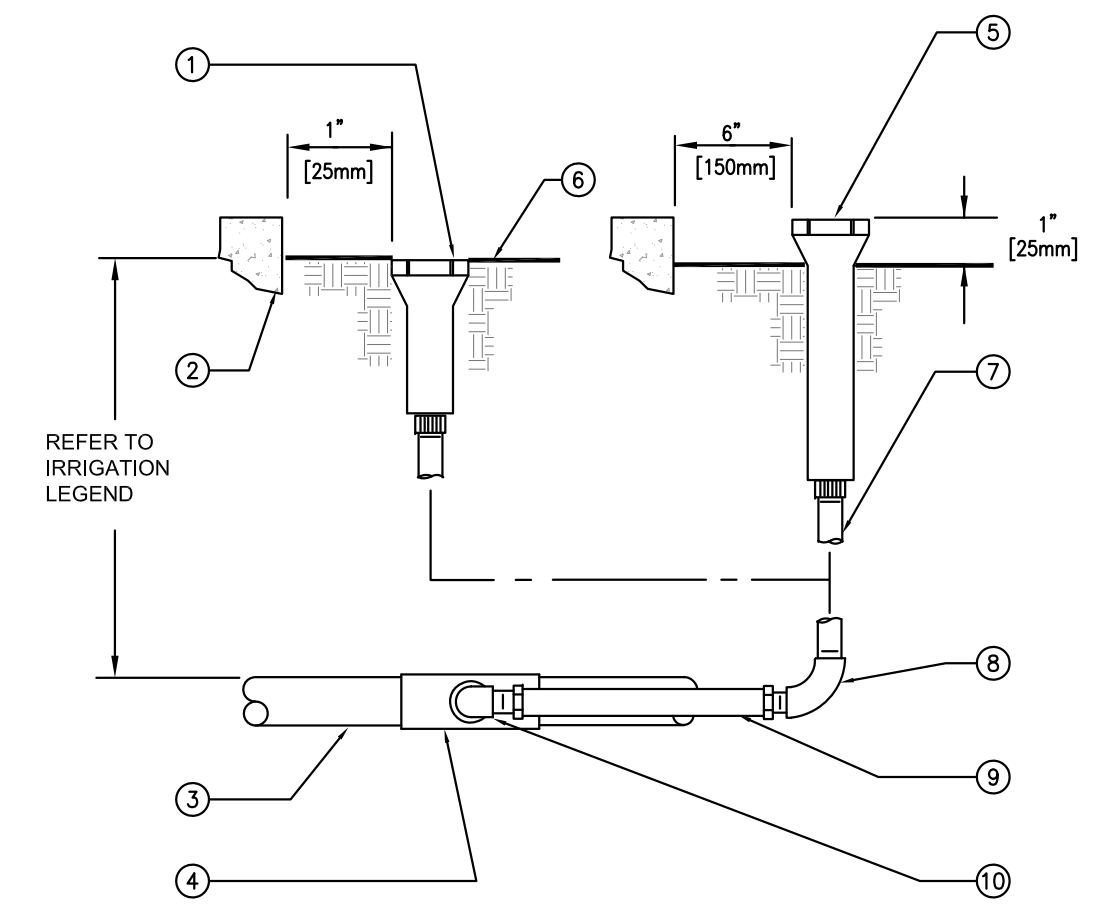
1 TORO DL 2000 CENTER FEED LAYOUT

2 TORO DL 2000 END FEED LAYOUT

3 TORO DL 2000 FLUSH VALVE (PVC TEE)

4 TORO DL 2000 AIR VACUUM RELIEF VALVE

5 TORO DL 2000 OPERATION INDICATOR



- POP-UP LAWN SPRAY SPRINKLER
- WALL, WALK, CURB OR BUILDING
- PVC LATERAL LINE
- UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
- POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
- FINISH GRADE
- 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
- 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
- 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

- BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
- 1/2" [13mm] SCH. 40 MALE ADAPTER.
- 6" [150mm] STEEL STAPLE.
- FINISH GRADE.
- TREE OR SHRUB ROOTBALL.
- 1/2" [13mm] IPS FLEXIBLE PVC.
- PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
- PVC LATERAL LINE.
- TREE STAKES.
- TREE OR SHRUB.
- EDGE OF ROOTBALL (TYPICAL).

- SHRUB STEM.
- EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
- TUBING SUPPORT STAKE (SALCO DTS-200-400)
- 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
- FINISH GRADE.
- SALCO PVC FLEX HOSE, INSTALL 4" [100mm] BELOW FINISH GRADE.
- BARBED MALE ADAPTER.
- EDGE OF ROOTBALL.

EMITTER SCHEDULE			
PLANT SIZE	EMITTER SPECIFICATION	FLOW (GPH)/PER EMITTER OR OUTLET	QUANTITY OF EMITTERS PER SHRUB/TREE
1 GALLON SHRUBS	USE SLV-PS-CV-1	1 GPH	2
5 GALLON SHRUBS	USE SLV-PS-CV-2	2 GPH	2
15 GALLON	USE SLV-PS-CV-2	2 GPH	3

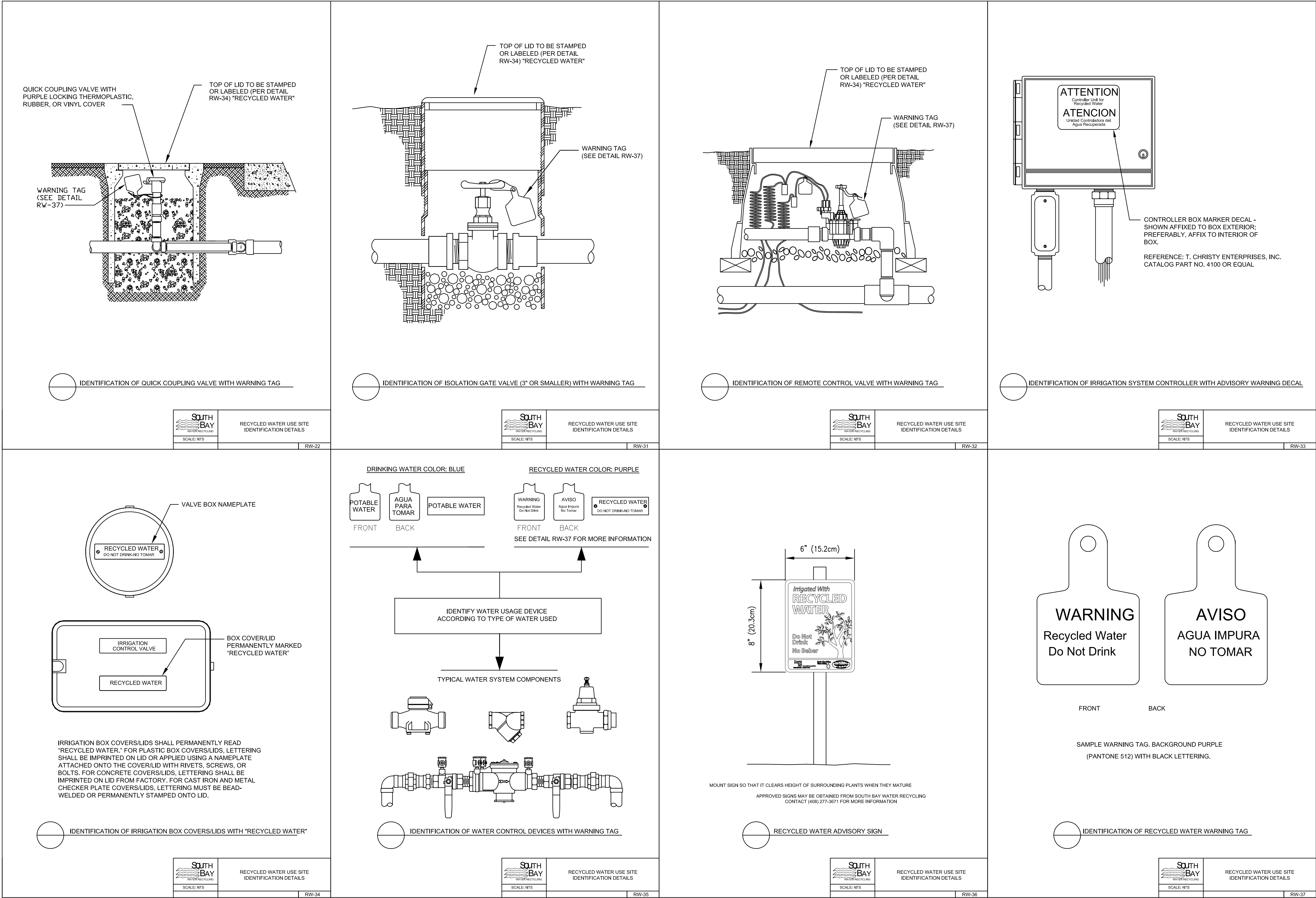
6 POP-UP SPRAY SPRINKLER RISER

7 TREE AND SHRUB BUBBLER

8 SALCO FLEX TUBING EMITTER PLACEMENT

9 SALCO EMITTER PLACEMENT AND

10 TRENCHING



PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	EXPOSURE	COMMENTS	WUCOLS
STREET TREES:					
PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	SUN	STANDARD	M
NARROW EVERGREEN TREES:					
ARBUTUS 'MARINA'	NCN	24" BOX	N/A	STANDARD	M
MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	MAGNOLIA	36" BOX	SUN/SHADE	STANDARD	M
MAGNOLIA 'LITTLE L GEM'	LITTLE GEM MAGNOLIA	24" BOX	N/A	STANDARD	L
TRISTANIA LAURINA	NCN	24" BOX	N/A	STANDARD	L
ACCENT TREES:					
AGONIS 'AFTERDARK'	NCN	24" BOX	N/A	STANDARD	M
SMALL FLOWERING ACCENT TREES:					
CHIONANTHUS RETUSUS	NCN	24" BOX	SUN/SHADE	STANDARD	L
CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	24" BOX	N/A	STANDARD	M
LAGERSTROEMIA INDICA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	SUN	STANDARD	L
MALUS SPECIES	CRABAPPLE	24" BOX	SUN	STANDARD	L
FOUNDATION SHRUBS:					
COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GALLON	SUN		L
CORREA SPECIES	AUSTRALIAN FUCHSIA	5 GALLON	SUN/ PART SHADE		L
HIMALAYACALAMUS FALCONERI 'DAMARAPA'	CANDY STRIPE BAMBOO	5 GALLON	SUN/ PART SHADE		L
LOROPETALUM CHINESE	NCN	5 GALLON	PART SHADE		M
RAPHIOLEPIS INDICA 'SPRING RAPTURE'	INDIAN HAWTHORN	5 GALLON	SUN/ PART SHADE		L
ROSMARINUS 'BLUE SPIRES'	UPRIGHT ROSEMARY	5 GALLON	SUN/ PART SHADE		L
OSMANTHUS FRAGRENS	NCN	5 GALLON	SUN/ PART SHADE		L
INTERMEDIATE SHRUBS:					
CORREA SPECIES	AUSTRALIAN FUCHSIA	5 GALLON	SHADE/SUN		L
DIETES VEGETA	FORTNIGHT LILY	5 GALLON	SHADE/SUN		L
LIRIOPE GIGANTEA	LIRIOPE	5 GALLON	SHADE/SUN		L
NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GALLON	SHADE/SUN		M
PHORMIUM SPECIES	NEW ZEALAND FLAX	5 GALLON	SUN		L
PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	PITTOSPORUM	5 GALLON	SUN/SHADE		L
ROSA SPECIES	SHRUB ROSE	5 GALLON	SUN		M
LAVANDULA SPECIES	LAVENDER	5 GALLON	SUN		L
FOREGROUND SHRUBS:					
AGAPANTHUS SPECIES	LILY OF THE NILE	1 GALLON	SHADE/SUN		M
HEMEROCALLIS HYBRIDS	EVERGREEN DAYLILY	1 GALLON	SUN		M
'ORANGE/YELLOW MIX 50/50'					
KNIPHOFIA	RED-HOT POKER	1 GALLON	SUN		L
LAVANDULA 'MUNSTEAD'	ENGLISH LAVENDER	1 GALLON	SUN		L
LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY	1 GALLON	SHADE		M
ANIGOZANTHOS	KANGAROO PAW	1 GALLON	SUN		L
PHORMIUM SPECIES (DWARF)	NEW ZEALAND FLAX	1 GALLON	SUN		L
SEDUM SPECIES	NCN	1 GALLON	SUN		L
SENECIO SPECIES	NCN	1 GALLON	SUN		L
CAREX SPECIES	CAREX	1 GALLON	SUN/SHADE		L
PITTOSPORUM SPECIES	TOBIRA	5 GALLON	SUN		L
GROUNDCOVERS:					
GREVILLEA LANIGERA 'COASTAL GEM'	NCN	1 GALLON	SUN/SHADE		L
ROSA 'PEACH DRIFT'	PEACH DRIFT	2 GALLON	SUN		M
ROSA 'PINK DRIFT'	PINK GROUNDCOVER ROSE	2 GALLON	SUN		L
ZAUSCHNERIA SPECIES	CALIFORNIA FUCHSIA	1 GALLON	SUN		L
GRASSES:					
CALOMOGROTIS SPECIES	REED GRASS	1 GALLON	SUN		L
FESTUCA MAIREI	ATLAS FESCUE	1 GALLON	SUN		L
LOMANDRA	LOMANDRA	1 GALLON	SUN		L
MUHLENBERGIA SPECIES	DEER GRASS	1 GALLON	SUN		L
PENNISETUM SPECIES	FOUNTAIN GRASS	1 GALLON	SUN		L
VINES:					
FICUS PUMILA	CREEPING FIG	5 GALLON	SUN/SHADE		M
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GALLON	SUN/SHADE		M
JASMINUM SPECIES	JASMINE	5 GALLON	SUN/SHADE		M
STORM WATER TREATMENT SHRUBS AND GRASSES:		1 GALLON	MIX EVENLY		
SPECIES/COMMON NAME					
ARISTIDA PURPUREA - PURPLE THREE-AWN	JUNCUS PATENS - BLUE RUSH				
BOUTELOUA GRACIS - BLUE GRAMA	LEYMUS CONDENSATUS - GIANT WILD RYE				
CAREX TEMULICOLA - BERKELEY SEDGE	MELICA CALIFORNICA - CALIFORNIA MELIC				
CHONDRPETALUM TECTORUM - CAPE RUSH	MIMULUS SPECIES - MONKEY FLOWER				

NOTE:

SEVERAL TREE SPECIES ARE LISTED PER TREE TYPE TO ALLOW FOR FLEXIBILITY IN THE EVENT THAT A SPECIFIC SPECIES IS UNAVAILABLE AT INSTALLATION OR PLANTING AREA IS LIMITED BY UTILITIES. NOT ALL SPECIES OF TREES, SHRUBS, GROUNDCOVERS OR GRASS WILL BE PROPOSED FOR CONSTRUCTION DOCUMENTS.

MINIMUM TREE CLEARANCE NOTE:

1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
4. 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
5. 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.

WATER CONSERVATION CONCEPT STATEMENT:

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE FOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURN AND GROUNDCOVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAN 5,000 S.F. SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUNDCOVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND RPRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT A MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM SHALL INCORPORATE PRESSURE COMPESATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

WATER USE RATING LEGEND:

EBMUD CATEGORIES OF WATER NEEDS FROM:
PLANTS & LANDSCAPES FOR SUMMER DRY CLIMATES OF THE SAN FRANCISCO BAY REGION BY THE EAST BAY MUNICIPAL UTILITY DISTRICT, 2004

MOD	MODERATE WATER
OCC	OCCASIONAL WATER
INF	INFREQUENT WATER
NONE	NO ADDITIONAL WATER

WUCOLS III CATEGORIES OF WATER NEEDS FROM:
UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, UNITED STATES BUREAU OF RECLAMATION

H	HIGH
M	MODERATE
L	LOW
VL	VERY LOW

CALIFORNIA NATIVE PLANTS (CNP) FOR THE GARDEN BY CAROL BORNSTEIN, DAVID FROSS, BART O'BRIEN

MOD	MODERATE WATER
OCC	OCCASIONAL WATER
INF	INFREQUENT WATER

ON-SITE	TOTAL PLANTS	SUBTOTAL PLANTS WITH OCC/INF/NONE/ LOW/VERY LOW WATER REQUIREMENTS
PERCENTAGE OF PLANTS MEETING LOW WATER REQUIREMENTS: 94.7% MORE THAN 75% REQUIRED		

2001 TAROB COURT
Milpitas, CA
September 10, 2021

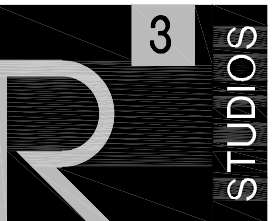


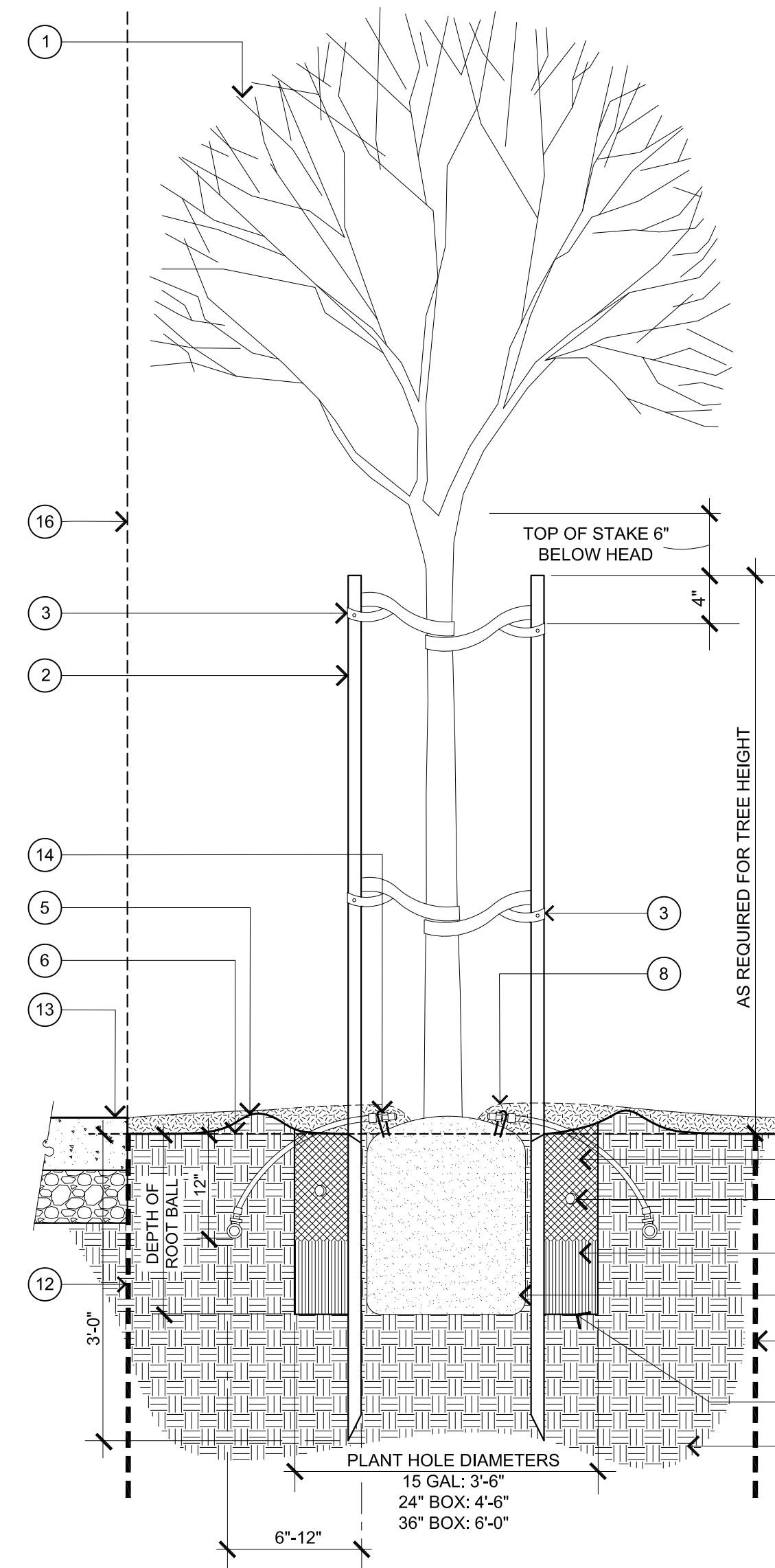
TTLc Tarob 4, LLC

12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

Proposed Plant Palette
L009

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
201 4th street suite 101B, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com

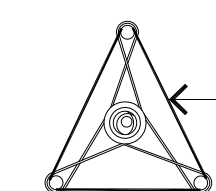




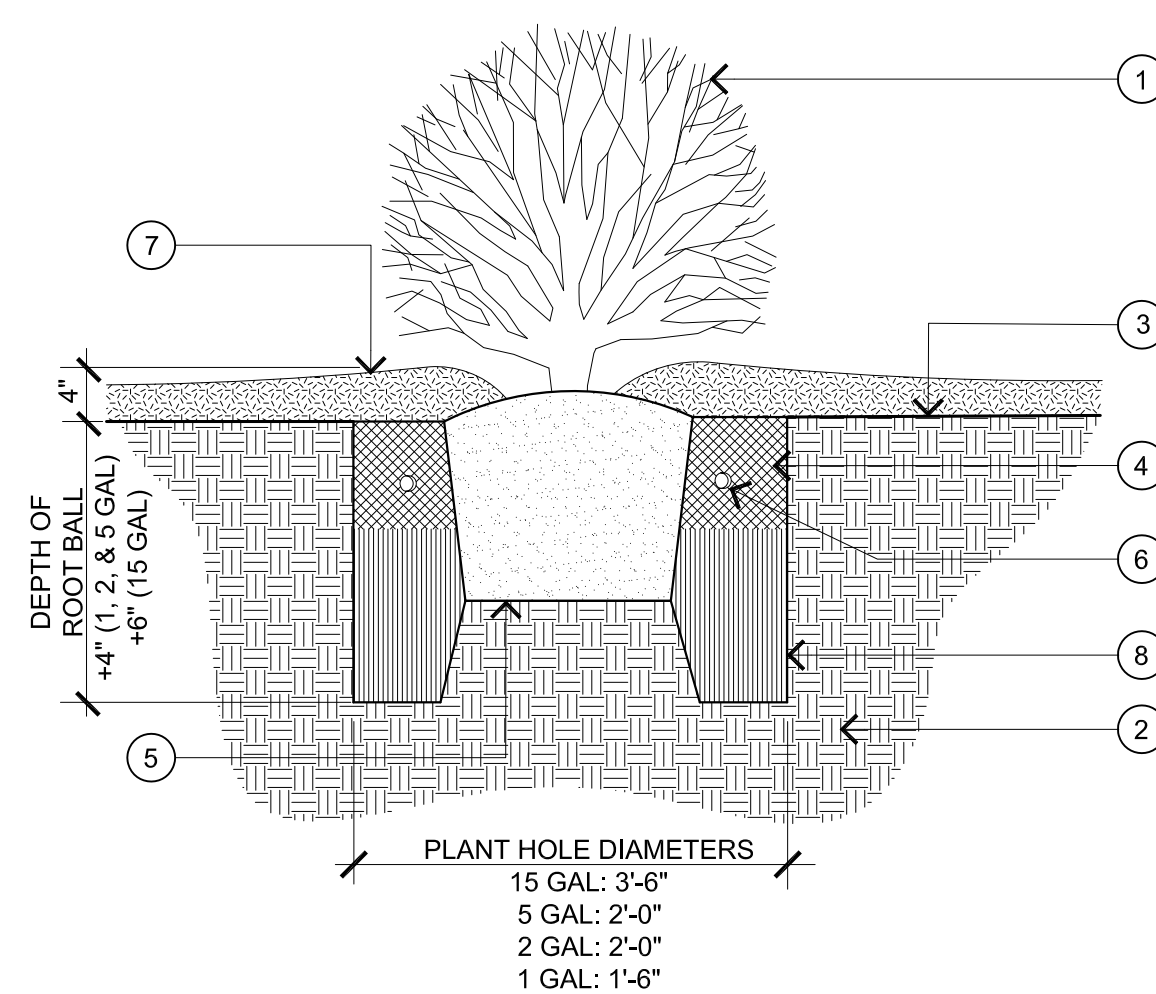
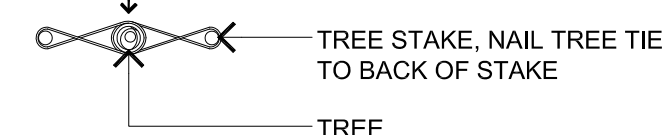
- 1 TREE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 LODGE POLE PINE TREE STAKES: 3"x10' LONG TREE STAKES FOR WINDY CONDITIONS AND 36" BOX AND LARGER TREES
- 3 TREE TIE: WONDER TREE-TIE(800-910-2810) MODEL# W14-46, W24-84 OR APPROVED EQUAL. LOOP IN A FIGURE EIGHT AND NAIL TO BACK OF STAKE WITH GALVANIZED THREADED NAILS. ALLOW 3" OF MOVEMENT OF TREE IN ALL DIRECTIONS.
- 4 TREE ROOTBALL SET ON 12" LAYER UNDISTURBED NATIVE SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES. TAMP SOIL TO 85% RELATIVE COMPACTION. SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
- 5 3" EARTH BERM FOR WATER BASIN
- 6 FINISH GRADE. SET 1" BELOW AT TURF AREAS AND 2" AT SHRUB AND GROUNDCOVER AREAS
- 7 BACK FILL MIX: (TOP 12 INCHES ONLY): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM TRUNK OF TREE
- 9 PULVERIZED NATIVE SOIL
- 10 FERTILIZER TABS (21 GRAM, 20-10-5):
- 15 GAL: 7 TABS
- 24" BOX: 15 TABS
- 36" BOX: 24 TABS
- 11 PLANTING HOLE, PULVERIZED NATIVE SOIL BELOW 12" FROM FINISHED GRADE: SCARIFY WALLS
- 12 ROOT BARRIER(AS NEEDED): REFER TO PLANTING NOTES AND SPECIFICATIONS
- 13 PAVING: REFER TO PLAN
- 14 1/4 GPM IRRIGATION BUBBLER, OFFSET FROM TREE TUCKED TO ROOTBALL
- 15 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 16 BUILDING OR WALL

NOTES:

ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.



PREVAILING WIND



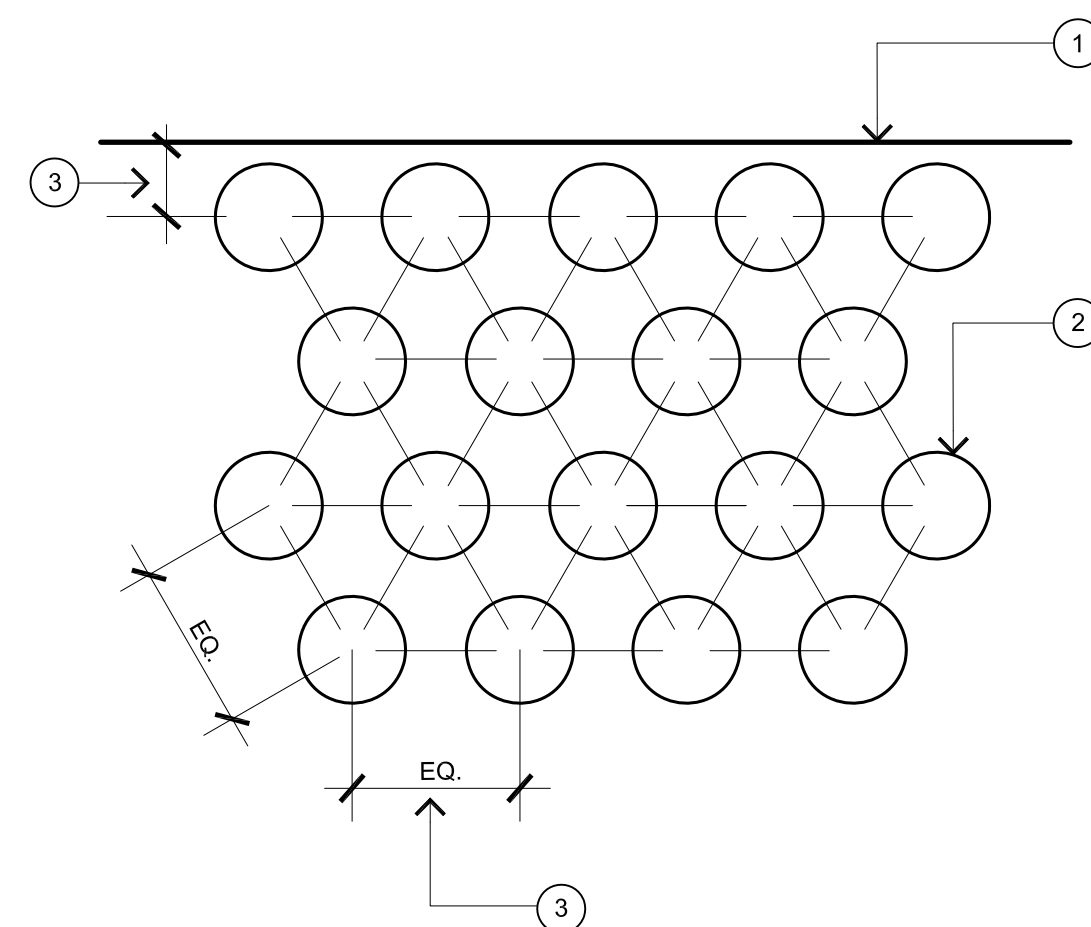
- 1 SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 3 FINISH GRADE
- 4 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HEIGHT): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 5 SHRUB ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
- 6 FERTILIZER TABS (21 GRAM, 20-10-5):
- 1 GALLON: 1 TAB
- 2 GALLON: 2 TABS
- 5 GAL: 3 TABS
- 15 GAL: 5 TABS
- 7 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
- 8 PULVERIZED NATIVE SOIL

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2 SHRUB PLANTING

N.T.S.



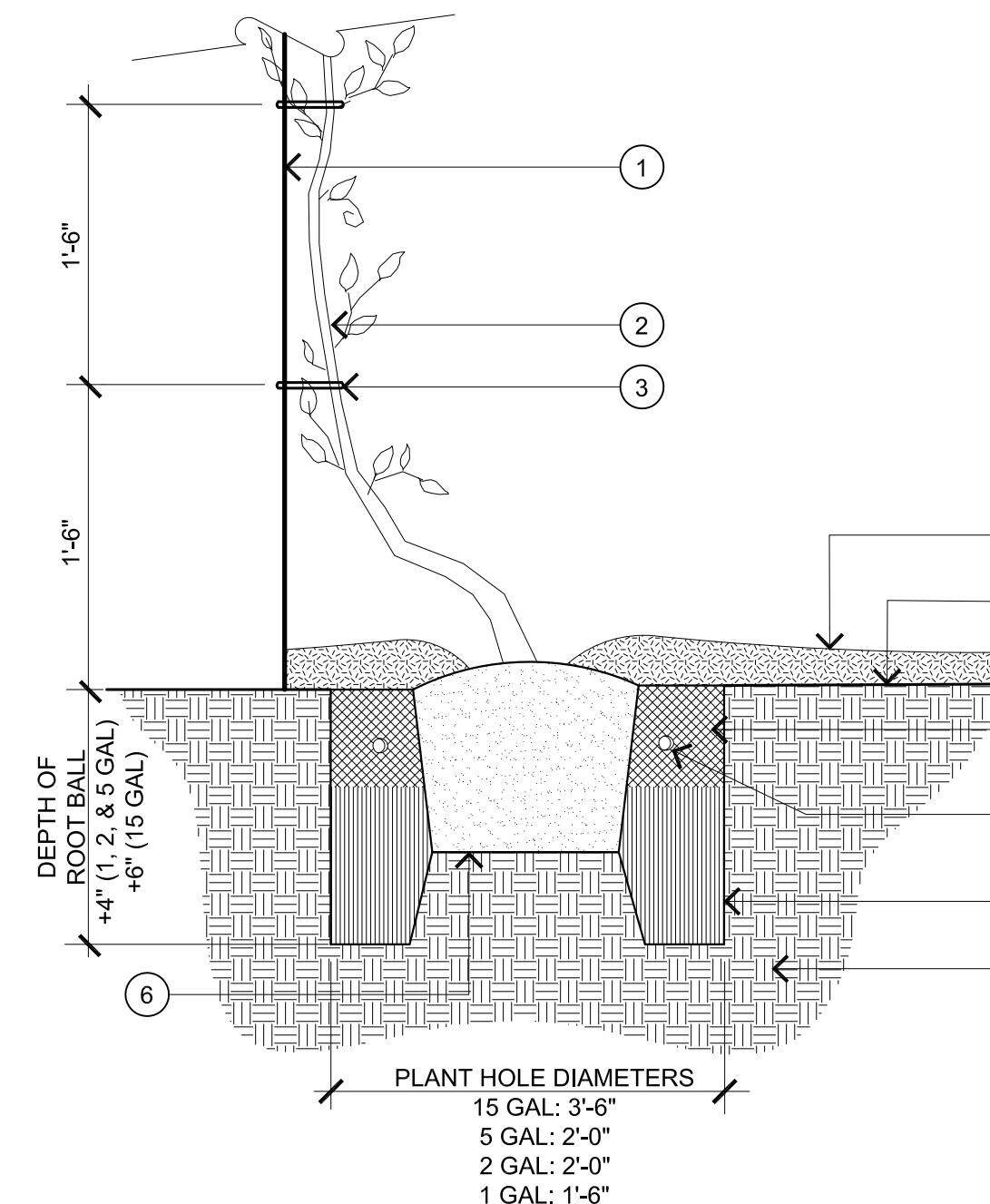
- 1 EDGE OF PAVING, HEADER, FACE OF BUILDING, WALL, ETC.
- 2 GROUNDCOVER OR SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 3 GROUNDCOVER AND SHRUB SPACING PER PLANTING PLAN AND LEGEND

NOTES:

1. ALL PLANTS SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. CENTERLINE OF PLANTS SHALL BE 1/2 OF EQUAL SPACING MINIMUM FROM EDGE OF PLANTING AREA.
3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.
4. KEEP MULCH CLEAR OF PLANT BASE.
5. ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.

4 GROUNDCOVER PLANTING

N.T.S.



- 1 WELDED WIRE MESH FENCE ON RETAINING WALL - REFER TO DETAIL 1 SHEET L004
- 2 VINE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 3 VINE TIES AT 1'-6" INTERVALS AS SHOWN: REFER TO SPECIFICATIONS
- 4 FINISH GRADE
- 5 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HT.): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 6 VINE ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE
- 7 FERTILIZER TABS (21 GRAM, 20-10-5):
- 1 GALLON: 1 TAB
- 2 GALLON: 2 TABS
- 5 GAL: 3 TABS
- 15 GAL: 5 TABS
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
- 9 PULVERIZED NATIVE SOIL
- 10 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT

NOTES:

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3 VINE PLANTING/STAKING

N.T.S.

