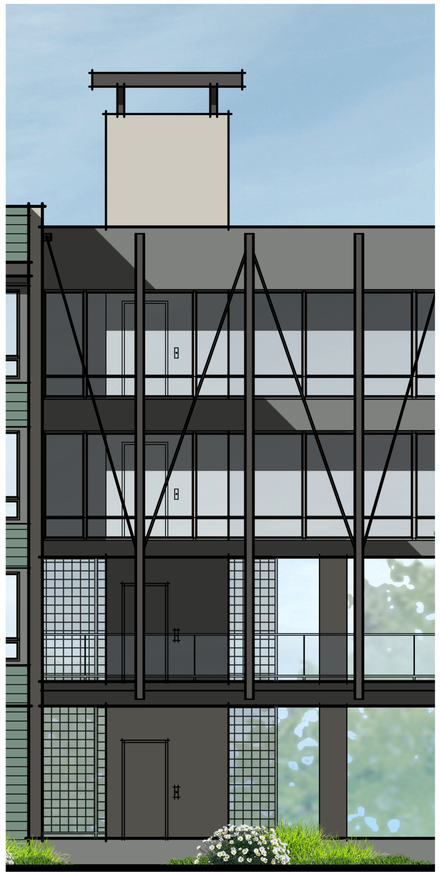
2001 TAROB COURT

MILPITAS, CA

MAY 8, 2019 (REVISED: JULY 10, 2019)



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The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
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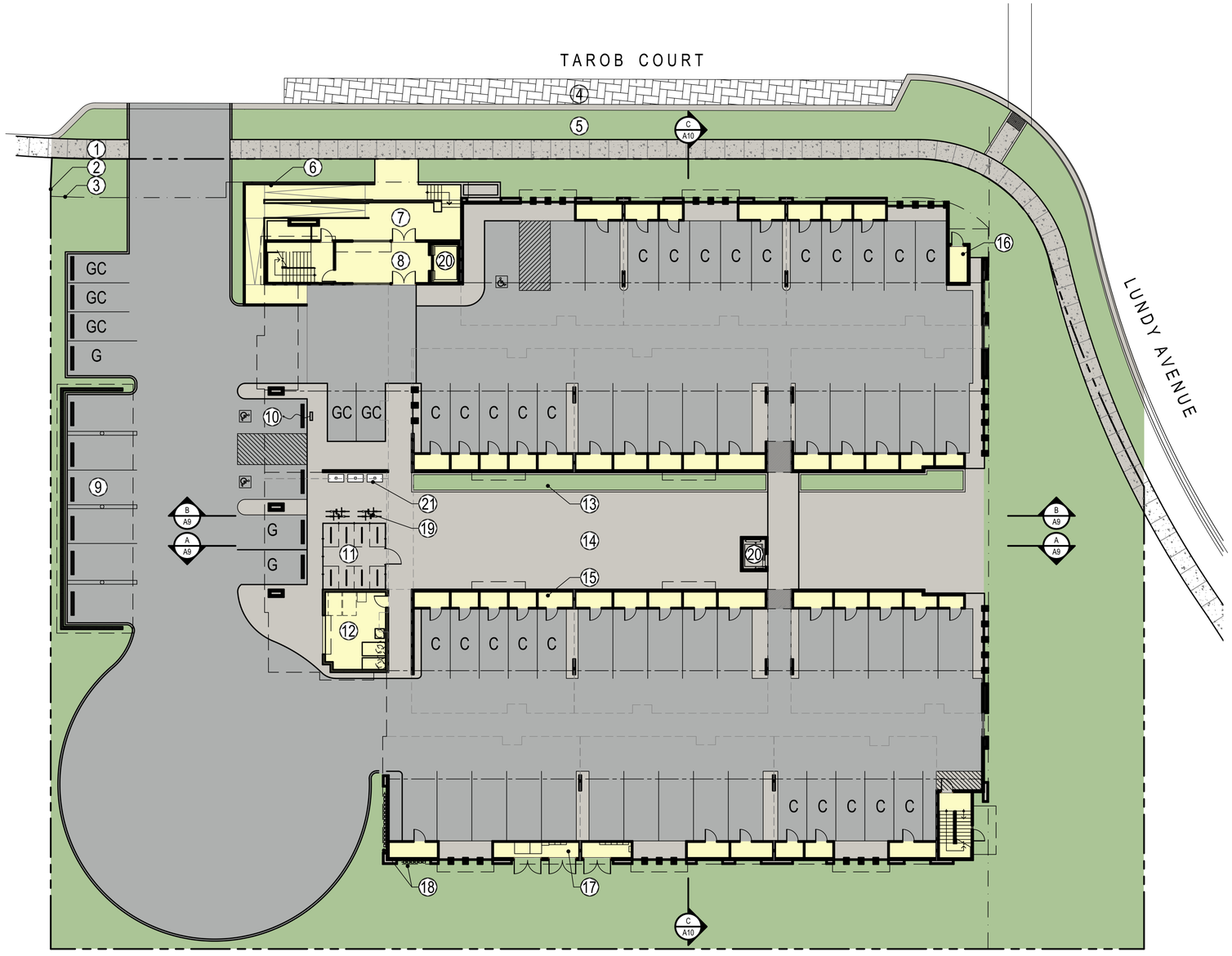

SITE PLAN

PROJECT DESCRIPTION

4-STORY CONDOMINIUM BUILDING WITH 40 RESIDENTIAL DWELLING UNITS ABOVE GROUND PARKING

ZONING: R3-TOD

BUILDING INFORMATION

UNIT MIX:

PLAN 1 2BR	1,277 SF	15	19,155
PLAN 2 2BR	1,470 SF	3	4,410
PLAN 3 ALT 3BR	1,482 SF	2	2,964
PLAN 3 3BR	1,486 SF	6	8,916
PLAN 4 3BR	1,520 SF	14	21,280
TOTAL UNITS		40	56,725

DWELLINGS:	40
DENSITY (40 DU / 1.22 ACRES):	32.8 DU/AC
NUMBER OF STORIES:	4 STORIES
BUILDING HEIGHT (NOT INCLUDING MECH. SCREENS):	APPROX. 49'
ALLOWABLE BUILDING HEIGHT:	75'
AREA:	
GARAGE	18,220 SF
LIVING	56,719 SF
LOBBIES & CIRCULATION	13,654 SF
COMMON TERRACE & LOUNGE	1,120 SF
UTILITY	697 SF
PRIVATE STORAGE	2,352 SF
TOTAL	92,762 SF

OCCUPANCY GROUPS	R-2 (CONDOMINIUMS) S-2 (PARKING)
CONSTRUCTION TYPE	TYPE V-A SPRINKLERED

PARKING	REQUIRED	PROVIDED
RESIDENTIAL - 40 UNITS AT 1.6 COVERED SPACE EACH	64 SPACES	64
GUEST - 15% OF REQUIRED	10 SPACES	10
TOTAL	**74 SPACES**	**74**

COMPACT & STANDARD SPACES PROVIDED	
TOTAL COMPACT (40% ALLOWED)	30 (30 / 74 = 40%)
TOTAL STANDARD	44
TOTAL PROVIDED	**74**

BICYCLE PARKING		REQUIRED	PROVIDED
LONG TERM	1 PER 4 UNITS	10 SPACES	16
SHORT TERM	5% OF PARKING	4 SPACES	4

EV CHARGING STATIONS	**PROVIDED**
ACCESSIBLE CHARGING SPACES	1
EV READY SPACES - LOCATION T.B.D.	3 (MIN.)

PRIVATE STORAGE ROOMS PROVIDED 43

KEYNOTES

1. SIDEWALK
2. PROPERTY LINE
3. PROPOSED P.U.E.
4. ON-STREET PARALLEL PARKING
5. LANDSCAPING
6. ACCESSIBLE RAMP FROM ENTRY TO SIDEWALK
7. ENTRY TERRACE
8. LOBBY
9. COVERED PARKING - SEE SHEET **A10**
10. ELECTRIC VEHICLE CHARGING STATION
11. BICYCLE STATION - LONG-TERM STORAGE
12. TRASH ROOM - SEE SHEET **A10**
13. WATER TREATMENT PLANTER
14. COURTYARD
15. PRIVATE STORAGE ROOMS, TYP.
16. FIRE RISER ROOM
17. ELECTRICAL CABINETS
18. GAS METERS
19. SHORT TERM BICYCLE PARKING
20. ELEVATOR
21. MAILBOXES

G GUEST PARKING SPACE
C COMPACT PARKING SPACE
GC COMPACT GUEST PARKING SPACE

NORTH

0 4' 8' 12' 16' 32'

2001 TAROB COURT
Milpitas, CA
May 8, 2019 (REVISED: JULY 10, 2019)

ARCHITECTURAL SITE PLAN
A1

The True Life Companies
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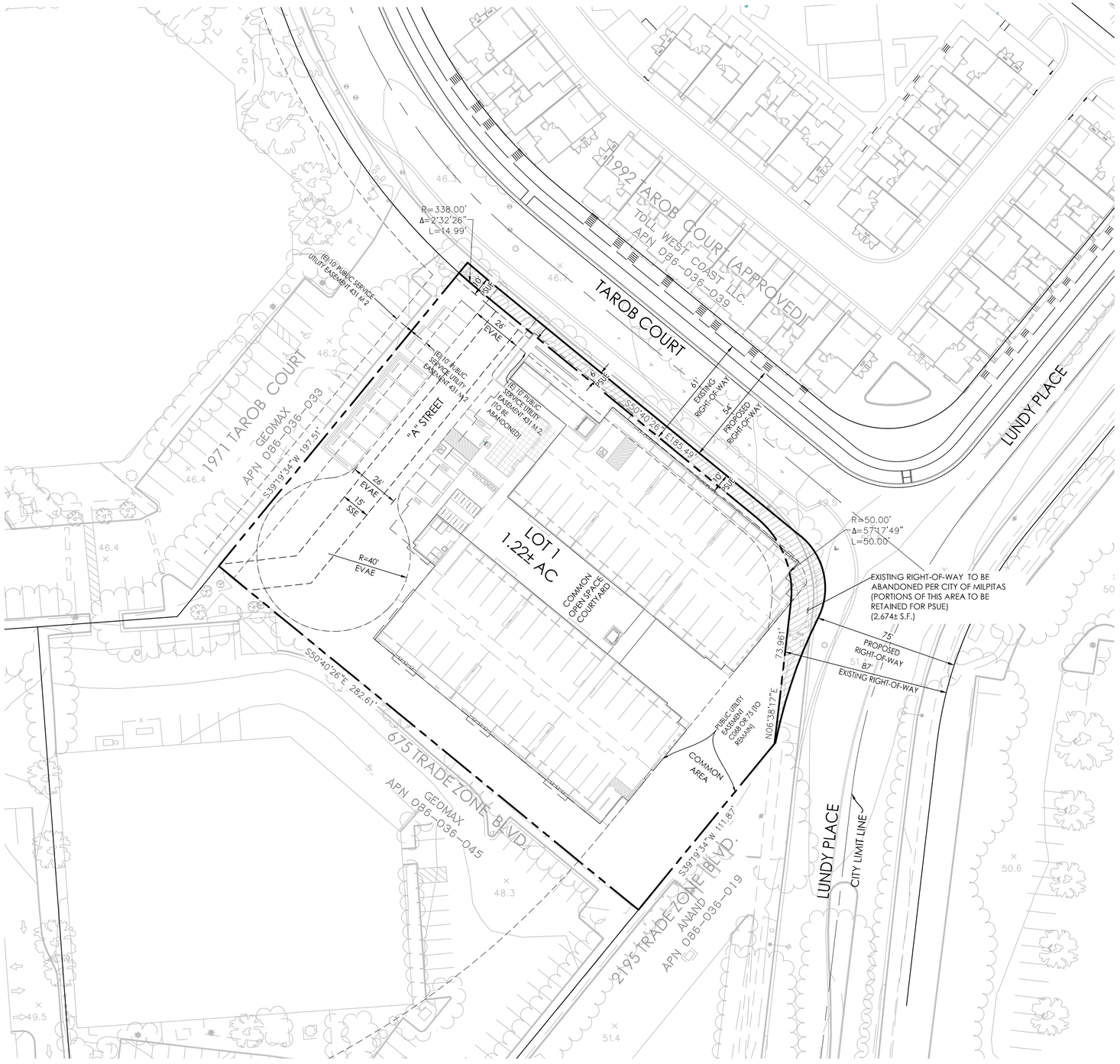
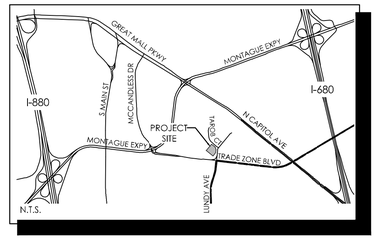


LOCATION MAP



LEGEND

PROPOSED		EXISTING
	PROJECT BOUNDARY	
	RIGHT-OF-WAY	
	EASEMENT LINE	
	CENTERLINE	
	BUILDING	
	HARDSCAPE	
	TREE	
	RIGHT OF WAY ABANDONMENT	

ABBREVIATIONS

EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
PSUE	PUBLIC SERVICE UTILITY EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
SSE	SANITARY SEWER EASEMENT

SHEET INDEX

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TM07	SOLID WASTE/FIRE ACCESS PLAN
TM08	PARKING PLAN
TM09	PRELIMINARY STORMWATER CONTROL PLAN
TM10	CONDITIONS OF APPROVAL
P 1.0	OPEN SPACE EXHIBIT

PROJECT NOTES

APPLICANT
THE TRUE LIFE COMPANIES, LLC
12647 ALCOSTA BOULEVARD, SUITE 470
SAN RAMON, CA 94583
CONTACT: LEAH BENISTON PHONE: (925) 380-1699

OWNER
CAROLI CORTESE
3626 NORCROSS CT.
SAN JOSE, CA 95148

ENGINEER/PLANNER
WOOD RODGERS, INC.
4670 WILLOW ROAD, SUITE 125
PLEASANTON, CA 94588
CONTACT: KARRIE MOSCA/PAUL MEUSER
PHONE: (925) 847-1547

PROJECT ADDRESS
2001 TAROB COURT, MILPITAS, CA 95035

ASSESSOR'S PARCEL NO.
086-036-034

AREA
1.22± ACRES GROSS

DENSITY
32.8± DWELLING UNITS/ACRE

NUMBER OF LOTS / UNITS
1 LOT| 40 CONDOMINIUM UNITS

EXISTING USE
INDUSTRIAL

PROPOSED USE
MULTI-FAMILY RESIDENTIAL

EXISTING GENERAL PLAN
MULTI-FAMILY RESIDENTIAL HIGH DENSITY (MFH) 21-40 UNITS/GROSS ACRE

PROPOSED GENERAL PLAN
MULTI-FAMILY RESIDENTIAL HIGH DENSITY (MFH) 21-40 UNITS/GROSS ACRE

EXISTING ZONING
R3 - HIGH DENSITY, TRANSIT ORIENTED

PROPOSED ZONING
R3 - HIGH DENSITY, TRANSIT ORIENTED

PARK DISTRICT
MILPITAS RECREATION SERVICES DIVISION

FIRE PROTECTION
MILPITAS FIRE DEPARTMENT

SCHOOL DISTRICT
BERRYESSA UNION SCHOOL DISTRICT

SEWER
CITY OF MILPITAS

STORM DRAIN
CITY OF MILPITAS

WATER
CITY OF MILPITAS

ELECTRICITY & GAS
PG&E

TELEPHONE
AT&T, COMCAST

CABLE TV
AT&T, COMCAST

FLOOD ZONE
"AO" - FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.

MAP NUMBER: 06085C0067J

EFFECTIVE DATE: FEBRUARY 19, 2014

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 3, NAD83. AS MEASURED BETWEEN FOUND MONUMENTS IN TAROB COURT. SAID BEARING BEING N50°39'32"W. ALL DISTANCES SHOWN ARE GROUND BASED. TO OBTAIN GRID DISTANCES DIVIDE GROUND DISTANCE BY A COMBINATION FACTOR = 1.0000049802

BENCHMARK
USC&GS BRASS DISK IN TOP OF NORTH END OF WEST HEADWALL WPRR CULVERT CROSSING OF PENITENCIA CREEK, NORTH OF LUNDY ROAD. ELEV=51.880' (NAVD88)

DATUM
NORTHERN AMERICAN DATUM OF 1983 (NAD83), AND CALIFORNIA COORDINATE OF 1983, ZONE 3

CONDOMINIUM MAP
A CONDOMINIUM MAP WILL BE RECORDED FOR LOT 1. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT.

DIMENSIONS
ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL SUBDIVISION MAP.

NOTES
1. SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.
2. ADDITIONAL EASEMENTS MAY BE NECESSARY ON PRIVATE LOTS, SUCH AS PUBLIC SERVICE EASEMENTS FOR JOINT TRENCH FACILITIES. ADDITIONAL EASEMENTS WILL BE ADDED TO THE FINAL MAP.

2001 TAROB COURT
Milpitas, CA
May 8, 2019

VESTING TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES

TM01

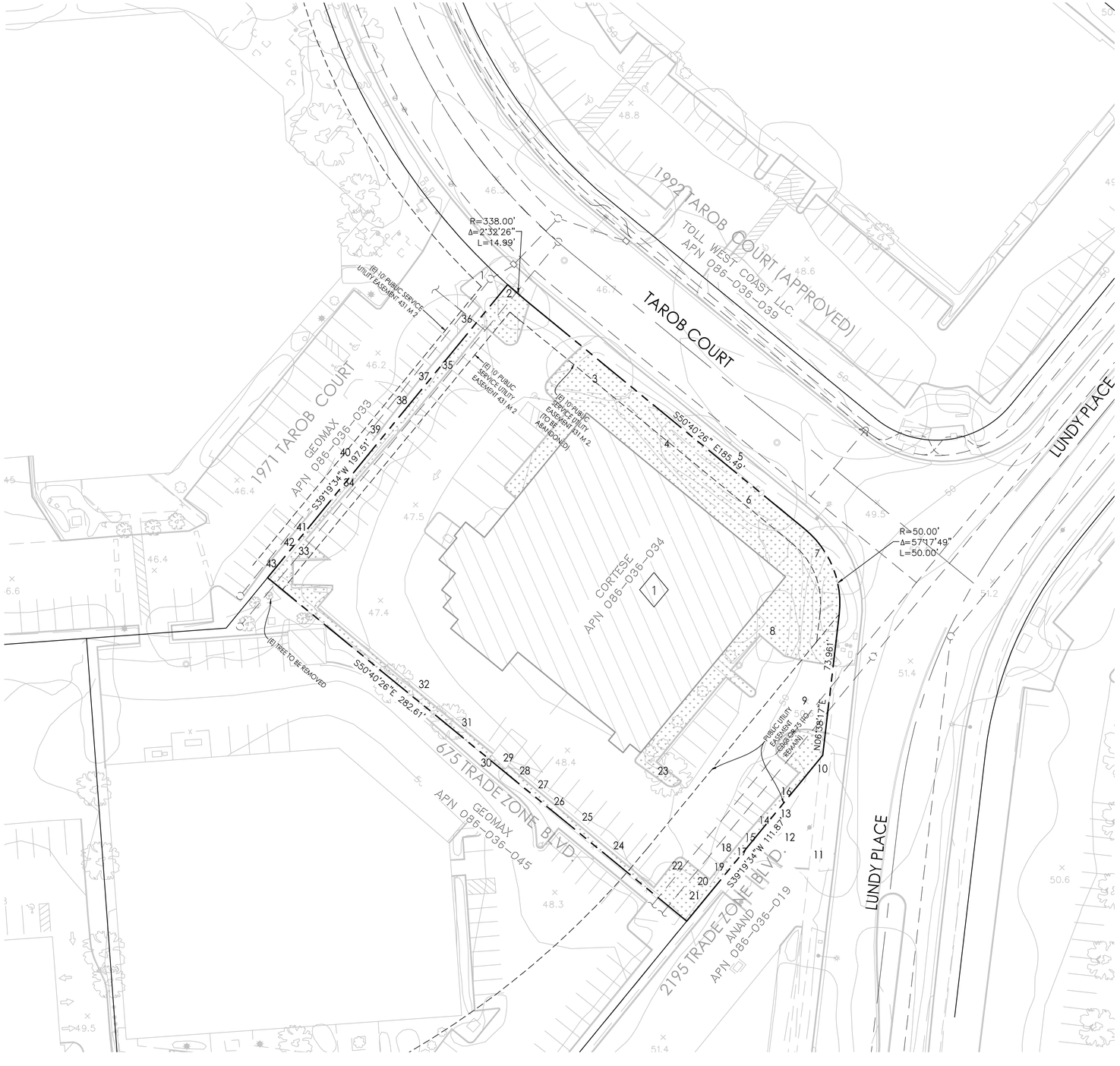
The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

NORTH

0 30 60 120

SCALE: 1" = 30'

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
Pleasanton, CA. 94588 Fax 925.847.1557



ABBREVIATIONS

E	EAST
EAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
G	GAS
L	LENGTH
N	NORTH
OH	OVERHEAD LINE
PFWLE	PRIVATE FIRE WATER LINE EASEMENT
PRIEE	PRIVATE INGRESS & EGRESS EASEMENT
PIV	POST INDICATOR VALVE
PMSDE	PRIVATE MUTUAL STORM DRAIN EASEMENT
PPE	PRIVATE PARKING EASEMENT
PRSSE	PRIVATE SANITARY SEWER EASEMENT
PSUE	PUBLIC SERVICE UTILITY EASEMENT
PWLE	PRIVATE WATER LINE EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
S	SOUTH
SS	SANITARY SEWER
SD	STORM DRAIN
PSDE	PRIVATE STORM DRAIN EASEMENT
SF	SQUARE FEET
W	WATER

LEGEND

PROPOSED		EXISTING
	PROJECT BOUNDARY	
	PROPERTY LINE	
	EASEMENT LINE	
	CENTERLINE	
	MONUMENT LINE	
	SANITARY SEWER	EX.8"SS
	STORM DRAIN	EX.18"SD
	POTABLE WATER	EX.10"W
	POWER POLE	
	STREETLIGHT	
	TREE	
	TREE NUMBER	32
	BUILDING TO BE DEMOLISHED	

1 ALL BUILDINGS, STRUCTURES, PAVEMENT, CURBS & HARDSCAPE TO BE DEMOLISHED WITHIN PROJECT BOUNDARY

TREE TABLE

TREE NUMBER		DESCRIPTION
X	1	8" LONDON PLANE
X	2	13" LONDON PLANE
X	3	21" LONDON PLANE
X	4	21" LONDON PLANE
X	5	14" LONDON PLANE
X	6	16" LONDON PLANE
X	7	20" LONDON PLANE
X	8	11" CAMPHOR
	9	15" LONDON PLANE
	10	10" JAPANESE BLACK PINE
	11	15" JAPANESE BLACK PINE
	12	15" COAST REDWOOD
	13	14" COAST REDWOOD
	14	8" SILVER DOLLAR GUM
	15	14" COAST REDWOOD
	16	25" SILVER DOLLAR GUM
	17	9" SILVER DOLLAR GUM
	18	26" SILVER DOLLAR GUM
	19	9" CANARY ISLAND PINE
	20	21" CANARY ISLAND PINE
	21	19" CANARY ISLAND PINE
	22	11" LONDON PLANE
X	23	11" LONDON PLANE
X	24	18" RAYWOOD ASH
X	25	16" RAYWOOD ASH
X	26	11" VALLEY OAK
X	27	6" XYLOSMA
X	28	5" XYLOSMA
X	29	6" XYLOSMA
X	32	12" XYLOSMA
X	33	13" LONDON PLANE
X	34	9" RAYWOOD ASH
X	35	17" RAYWOOD ASH
X	36	16" RAYWOOD ASH

NOTE: TREES MARKED WITH AN "X" ARE TO BE REMOVED. FIELD VERIFICATION OF TREE LOCATIONS NECESSARY PRIOR TO REMOVAL. SEE ARBORIST REPORT FOR MORE DETAIL.

2001 TAROB COURT

Milpitas, CA

May 8, 2019

EXISTING CONDITIONS PLAN & DEMOLITION PLAN

TM02

The True Life Companies

12647 Alcosta Blvd., Suite 470 San Ramon CA 94583

925.824.4300

NORTH

0 30 60 120

SCALE: 1" = 30'

WOOD RODGERS

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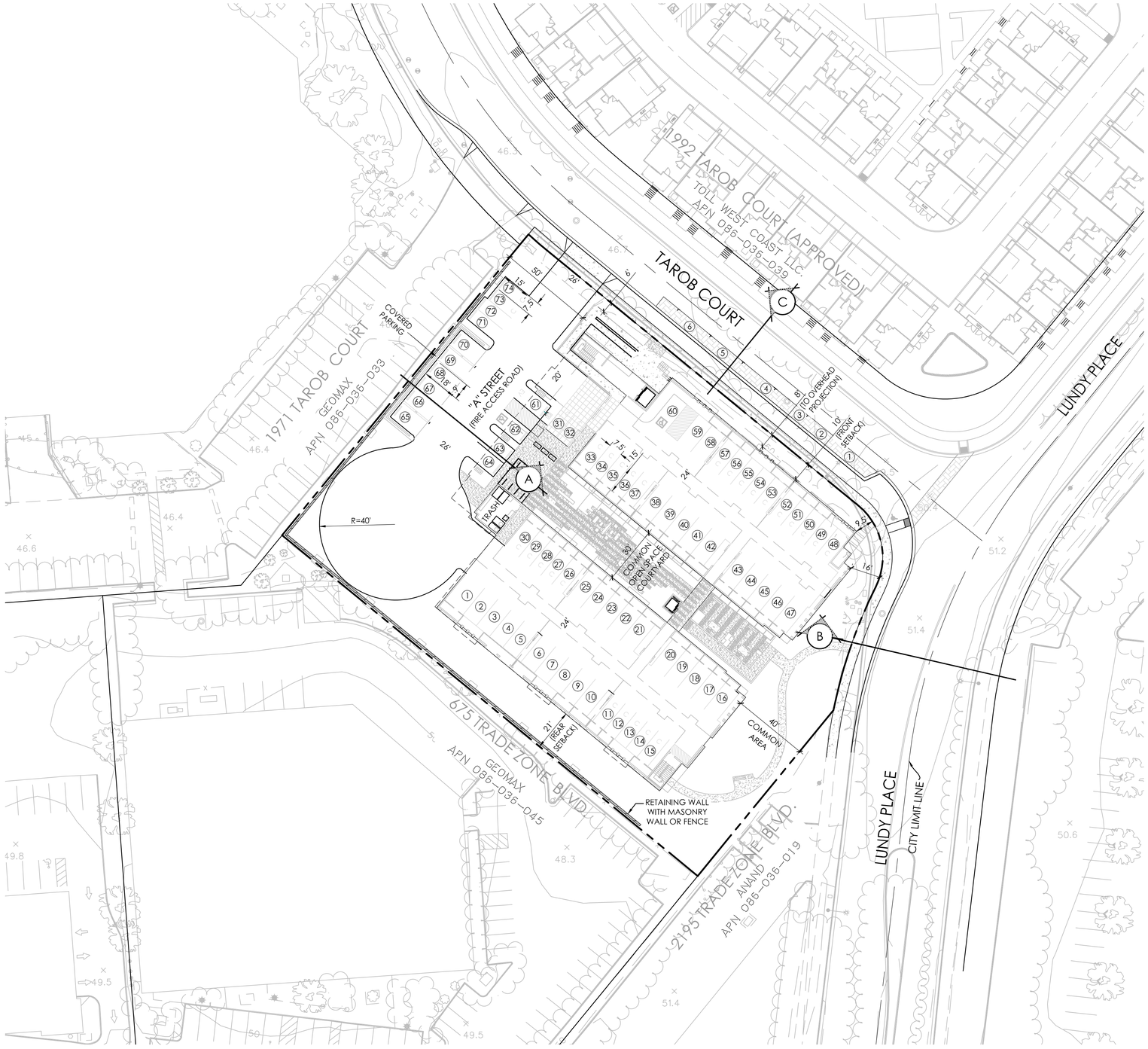
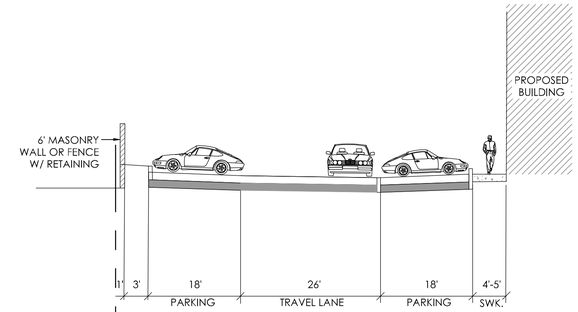
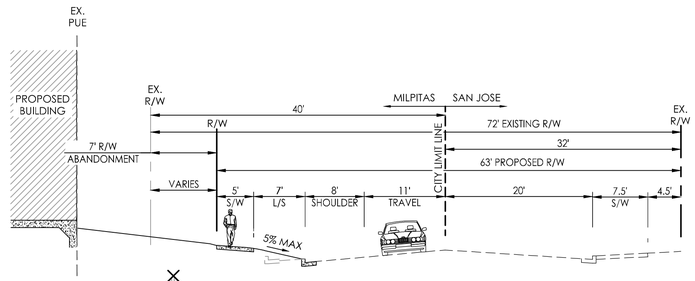




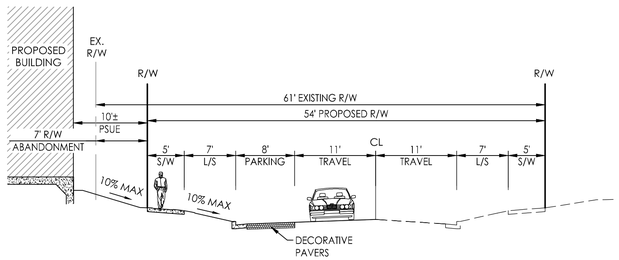
A SECTION A

PRIVATE STREET SECTION
NOT TO SCALE
* CROSS SLOPE AND CURB TYPE VARY THROUGHOUT SITE. SEE GRADING PLAN.



B SECTION B - LUNDY PLACE

PUBLIC STREET SECTION - HALF SECTION
NOT TO SCALE



C SECTION C - TAROB COURT

PUBLIC STREET SECTION - HALF SECTION
NOT TO SCALE

NOTE:
EAST SIDE OF TAROB COURT ASSUMES RECORDATION OF THE FINAL MAP ASSOCIATED WITH 1992 TAROB COURT.

2001 TAROB COURT

Milpitas, CA
May 8, 2019

PRELIMINARY SITE PLAN
TM03

The True Life Companies
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NORTH

0 30 60 120
SCALE: 1" = 30'

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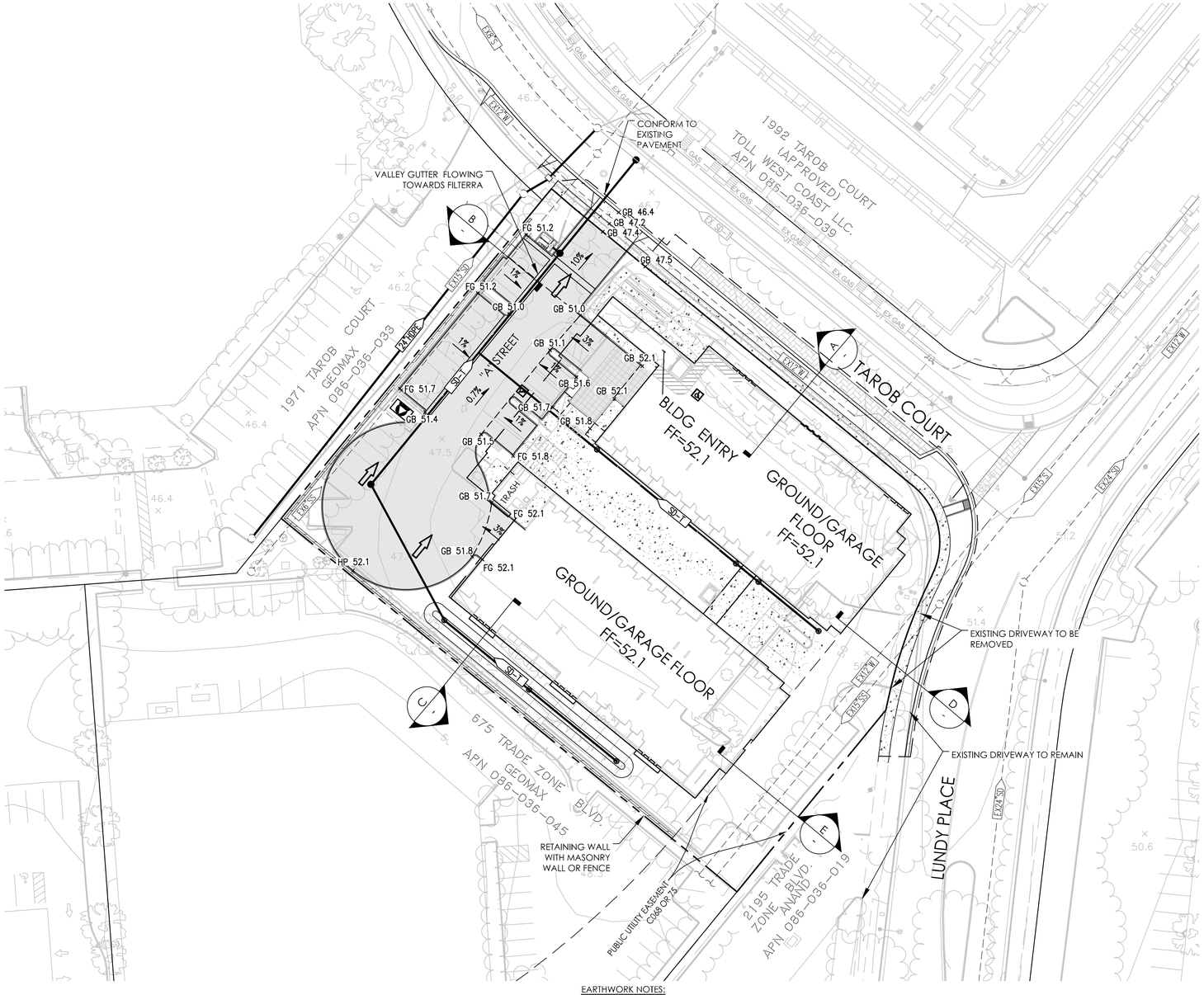
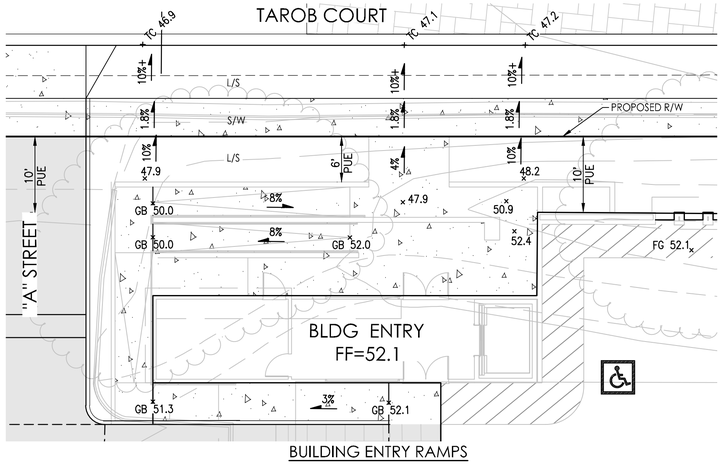
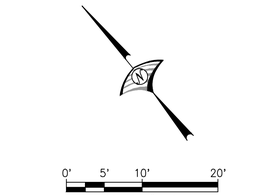
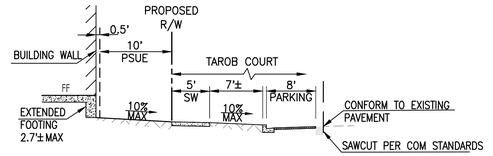






LEGEND

OVERLAND RELEASE DIRECTION



SECTION A–A
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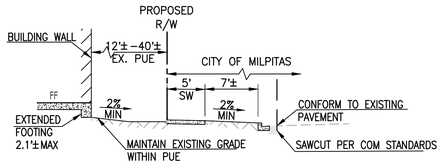

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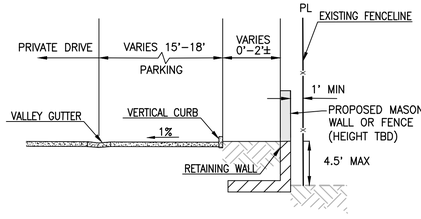

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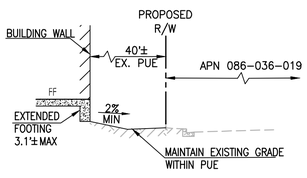

SECTION E–E
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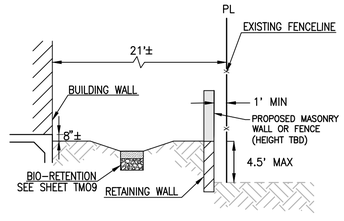

SECTION C–C
NOT TO SCALE

ABBREVIATIONS

CL	CENTERLINE
COM	CITY OF MILPITAS
D	DRAIN
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
HP	HIGH POINT
GB	GRADE BREAK
PL	PROPERTY LINE
PSUE	PUBLIC SERVICE UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
SCVWD	SANTA CLARA VALLEY WATER DISTRICT
SW	SIDEWALK
TBA	TO BE ABANDONED
VAR	VARIES

EARTHWORK SUMMARY

DESCRIPTION	CUT/EXPORT[1] (CY)	FILL (CY)	NET FILL (CY)
ROUGH GRADE	1,410	7,200	7,200

EARTHWORK NOTES:

1. THIS ESTIMATE ASSUMES 8" OF THE EXISTING SITE WILL BE OFF HAULED DUE TO DEMOLITION AND REMOVAL OF THE BUILDING FOUNDATION AND PARKING LOT
2. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CALCULATED CUT AND FILL AREA TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS AND THE CONTRACTOR'S METHOD OF OPERATION.
3. REUSE OF EXISTING ON-SITE MATERIALS HAS NOT BEEN FACTORED INTO THE EARTHWORK QUANTITIES.

2001 TAROB COURT

Milpitas, CA

May 8, 2019

PRELIMINARY GRADING AND DRAINAGE PLAN

TM04

The True Life Companies

12647 Alcosta Blvd., Suite 470 San Ramon CA 94583

925.824.4300

NORTH

0 60

SCALE: 1" = 30'

30 120

WOOD RODGERS

BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

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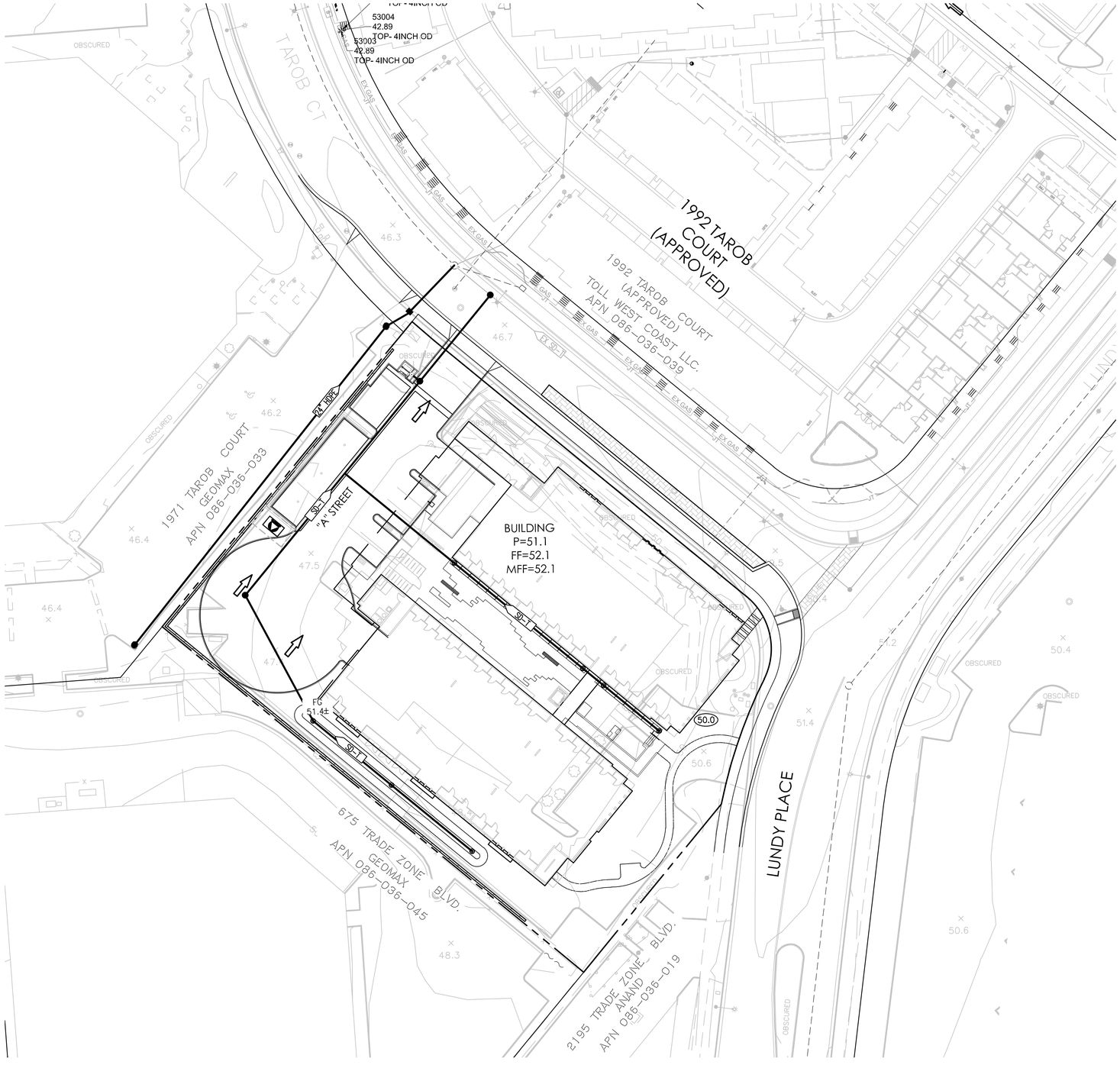


ABBREVIATIONS

BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
BSW	BACK OF SIDEWALK
CL	CENTERLINE
D	DRAIN
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FF	FINISHED FLOOR
FG	FINISHED GRADE
HAG	HIGHEST ADJACENT GRADE (EXISTING)* (50.0)
⇨	OVERLAND RELEASE
P	PAD ELEVATION
PL	PROPERTY LINE
MFF	MINIMUM FINISHED FLOOR
R/W	RIGHT OF WAY
SCVWD	SANTA CLARA VALLEY WATER DISTRICT
SW	SIDEWALK
VAR	VARIES
SDT	TREATED STORMWATER
SDUT	UNTREATED STORMWATER
SDOF	OVERFLOW FOR STORM EVENTS ABOVE THE WATER QUALITY EVENT
SDFM	FORCEMAIN STORMWATER
WSEL	EAST PENITENCIA WATER SURFACE ELEVATION

FEMA BFE	WSEL	STUDY BFE	MAX BFE	HAG	MFF	BLDG FF	BLDG P
49.5	NA	51.1	51.1	50	52.1	52.1	51.1

NOTES:

1. THE CITY OF MILPITAS FLOODPLAIN ORDINANCE SECTION XI–15–5.1(C)(1) REQUIRES THAT FINISH FLOOR ELEVATIONS BE 1 FOOT ABOVE THE HIGHEST ADJACENT GRADE ELEVATION PLUS THE DEPTH OF FLOODING (HAG+2') WITHIN AN AO(1) ZONE AND 1 FOOT ABOVE THE BFE FOR PROJECTS WITHIN ALL OTHER FLOOD ZONES. THE PROJECT WILL DESIGN THE FINISH FLOORS TO BE AT LEAST ONE FOOT ABOVE THE FEMA BFE, EAST PENITENCIA WSEL, HAG + 1', AND DETAILED STUDY BFE (WHICHEVER IS HIGHER).
2. FLOOD ZONE: AO(1) – FLOOD DEPTHS ARE 1', SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
3. ALL USES ARE RESIDENTIAL
4. FLOOD PROOFING IS NOT REQUIRED. ALL BUILDINGS AND ABOVE GROUND UTILITIES TO BE RAISED TO ABOVE THE BASE FLOOD ELEVATION.
5. RECEIVING WATER: PENITENCIA CREEK
6. SEE SHEET TM04 FOR GRADING CROSS SECTIONS

* HAG VALUE DETERMINED IN COORDINATION WITH SCHAAF & WHEELER

2001 TAROB COURT

Milpitas, CA

May 8, 2019

PRELIMINARY FLOODPLAIN MANAGEMENT PLAN

TM05

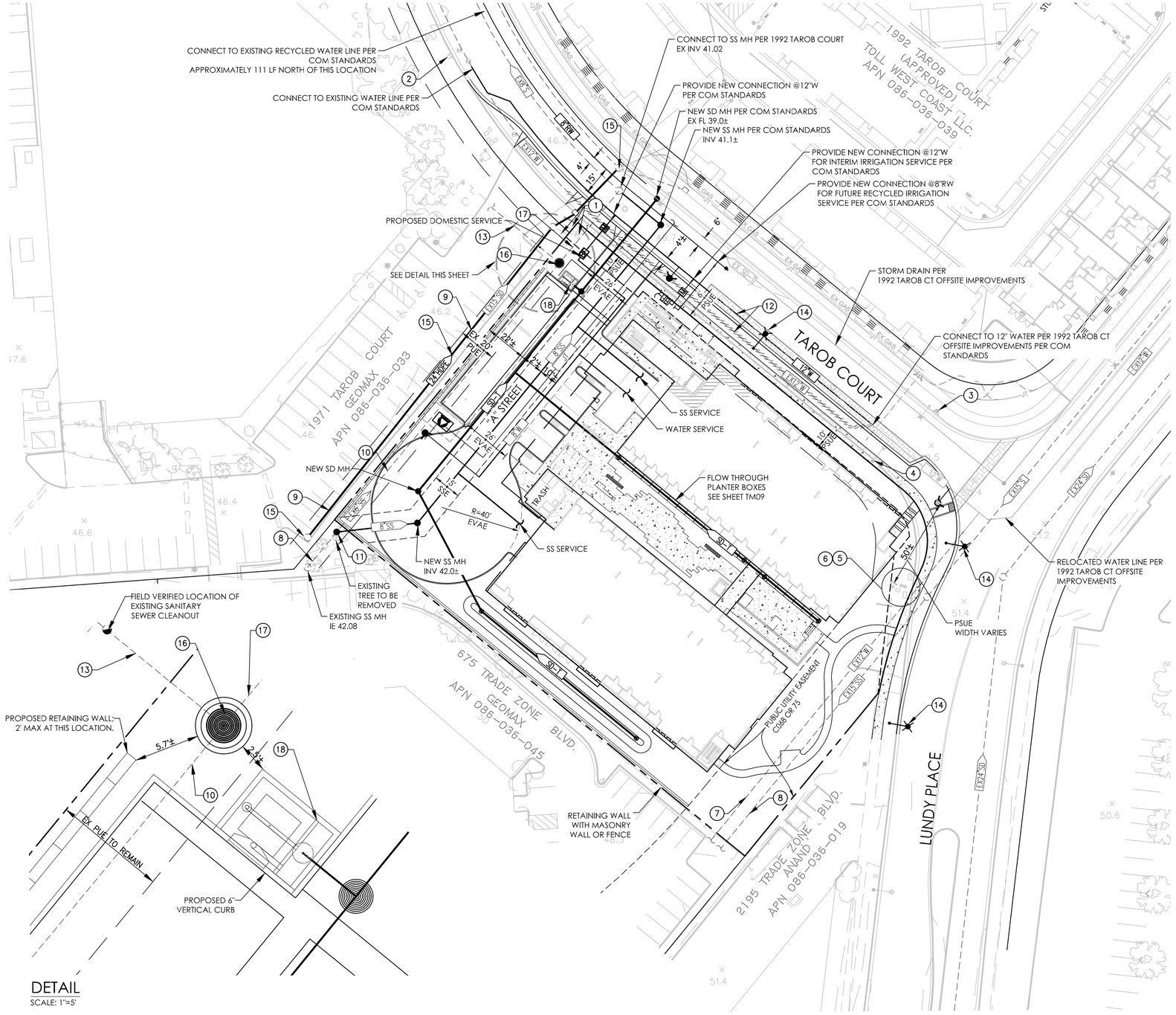
The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

NORTH

0 30 60 120

SCALE: 1" = 30'

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
Pleasanton, CA. 94588 Fax 925.847.1557



DETAIL
SCALE: 1"=5'

LEGEND

EXISTING	PROPOSED	
		RIGHT-OF-WAY
		PROJECT BOUNDARY
EX12"SD	SD-T	TREATED STORMWATER (SD-T)
		STORM DRAIN OR SANITARY SEWER MANHOLE
		AREA DRAIN
EX 8"S	8"SS	SANITARY SEWER PIPE
	SS	BLDG SANITARY SEWER SERVICE (SIZE TBD)
EX 8"W	8"W	WATER PIPE
		FIRE HYDRANT
	8" M	MASTER WATER METER & BACKFLOW PREVENTOR DOMESTIC WATER/IRRIGATION SERVICE
		PROPOSED TRANSFORMER LOCATION
		PROPOSED FILTERRA, SEE DETAIL ON TM09
		REMOVE EXISTING PIPE

GENERAL NOTES

1. EX JOINT TRENCH BOXES TO REMAIN
2. EX FIRE HYDRANT
3. FIRE HYDRANT PER 1992 TAROB
4. EXISTING STREET LIGHT IS REQUIRED TO BE REMOVED
5. EX WATER SERVICE TO BE REMOVED. EXISTING FIRE SERVICE TO BE UTILIZED FOR PROPOSED PROJECT. FIELD VERIFY THE SIZE AND CONDITION OF THE EXISTING FIRE SERVICE WATER LATERAL AS IT SHALL NOT BE LESS THAN 6" IN SIZE, AND IN ACCEPTABLE (TO THE CITY) CONDITION. UPGRADE THE BACKFLOW DEVICE TO THE CURRENT CITY STANDARD AND REPLACE THE POST INDICATING VALVE AND FIRE DEPARTMENT CONNECTION WITH NEW DEVICES.
6. EX IRRIGATION SERVICE TO REMAIN FOR PUBLIC IRRIGATION
7. EX WATER PIPE TO REMAIN
8. EX SANITARY SEWER PIPE TO REMAIN
9. EX STORM DRAIN PIPE TO REMAIN
10. EX SANITARY SEWER PIPE TO BE REMOVED BETWEEN NEW MANHOLES; SEE (11) & (16)
11. CONNECT TO EX SANITARY SEWER WITH NEW MANHOLE PER COM STANDARDS
12. EXISTING WATER MAIN TO BE RELOCATED AS SHOWN
13. EXISTING SANITARY SEWER FROM 1971 TAROB COURT TO REMAIN
14. INSTALL NEW STREET LIGHT PER THE CITY'S TRANSIT AREA SPECIFIC PLAN
15. EX 15" SD ON 1971 TAROB COURT PROPERTY TO BE REPLACED WITH 24" HDPE FROM EXISTING MANHOLE AT SOUTHWESTERN CORNER AS SHOWN ON PLAN TO EXISTING MANHOLE IN TAROB COURT.
16. CONNECT TO EX SANITARY SEWER WITH NEW MANHOLE PER COM STANDARDS
17. EXISTING SANITARY SEWER TO REMAIN
18. PROPOSED FILTERRA BIORETENTION SYSTEM; SEE SHEET TM09 FOR DETAILS

UTILITY NOTES

1. STORM DRAIN
   - MINIMUM SLOPE: 0.005 WITH MINIMUM VELOCITY OF 2 FEET/SECOND
   - MINIMUM PIPE SIZE: 12"
   - STORM DRAIN FACILITIES MAY BE RCP OR N-12 PIPE
2. SANITARY SEWER
   - MINIMUM SLOPE: 0.0035 (EXISTING SLOPE: 0.0035±)
   - SANITARY SEWER PIPE TO BE SDR-26 PVC
4. WATER PIPE TO BE CLASS 200 AWWA C900
5. UTILITIES SHOWN ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO CHANGES PENDING FINAL DESIGN. FINAL DESIGN SHALL ADHERE TO COM STANDARDS.
6. ALL ON-SITE WATER AND STORM DRAIN TO BE OWNED AND MAINTAIN BY THE PROJECT HOA.
7. ON SITE SEWER TO BE OWNED AND MAINTAINED BY THE COM.

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER
BLDG	BUILDING
COM	CITY OF MILPITAS
ESMT	EASEMENT
EX	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
PSUE	PUBLIC SERVICE UTILITY EASEMENT
MH	MANHOLE
RW	RECYCLED WATER
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
TBA	TO BE ABANDONED

2001 TAROB COURT

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PRELIMINARY UTILITY PLAN
TM06

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NORTH

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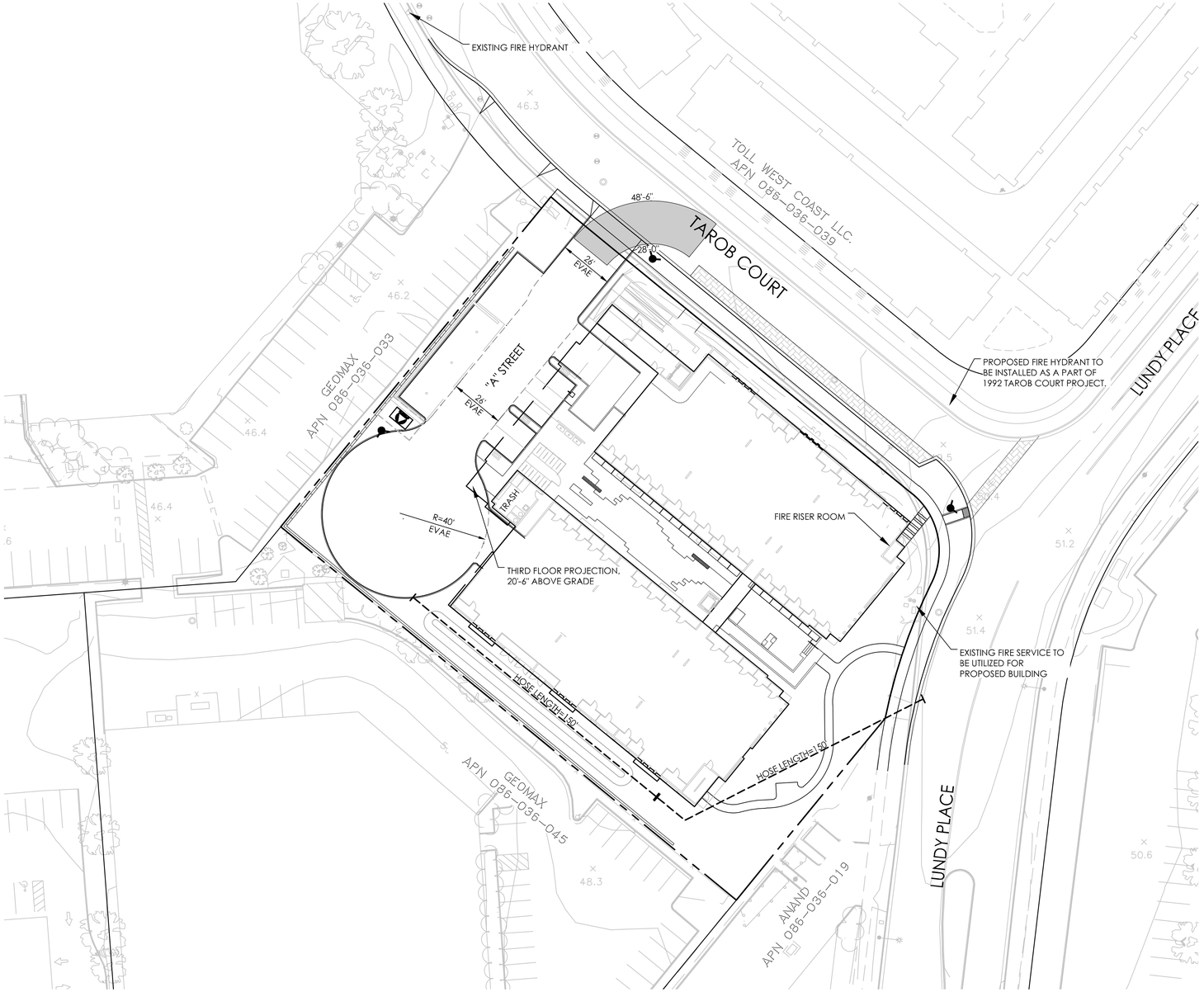

FIRE ACCESS NOTES

1. PRIVATE STREET IS FIRE ACCESS ROAD. WIDTH IS 26' WIDE ADJACENT TO STRUCTURE. CUL-DE-SAC HAS A 40' RADIUS PROVIDED FOR TRUCK TURNAROUND PER JAMIE GARCIA'S EMAIL DATED SEPTEMBER 19, 2018. FIRE TRUCK TURNING TEMPLATE IS NOT AVAILABLE.
2. FIRE ACCESS ROAD ALSO SERVES AS ROUTE FOR SOLID WASTE VEHICLE.

SOLID WASTE NOTES

1. PER MEETING WITH SAL SAN FILIPPO FROM MILPITAS SANITATION ON DECEMBER 18, 2018, THE SITE MEETS THE REQUIREMENTS FOR SOLID WASTE HANDLING.

DELIVERY VEHICLE NOTES

1. PRIVATE STREET SERVES AS ACCESS ROAD AND LOADING AREA FOR DELIVERY VEHICLES INCLUDING MOVING VANS AND TRUCKS.

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PRELIMINARY FIRE TRUCK ACCESS/SOLID WASTE HANDLING PLAN

TM07

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30 120

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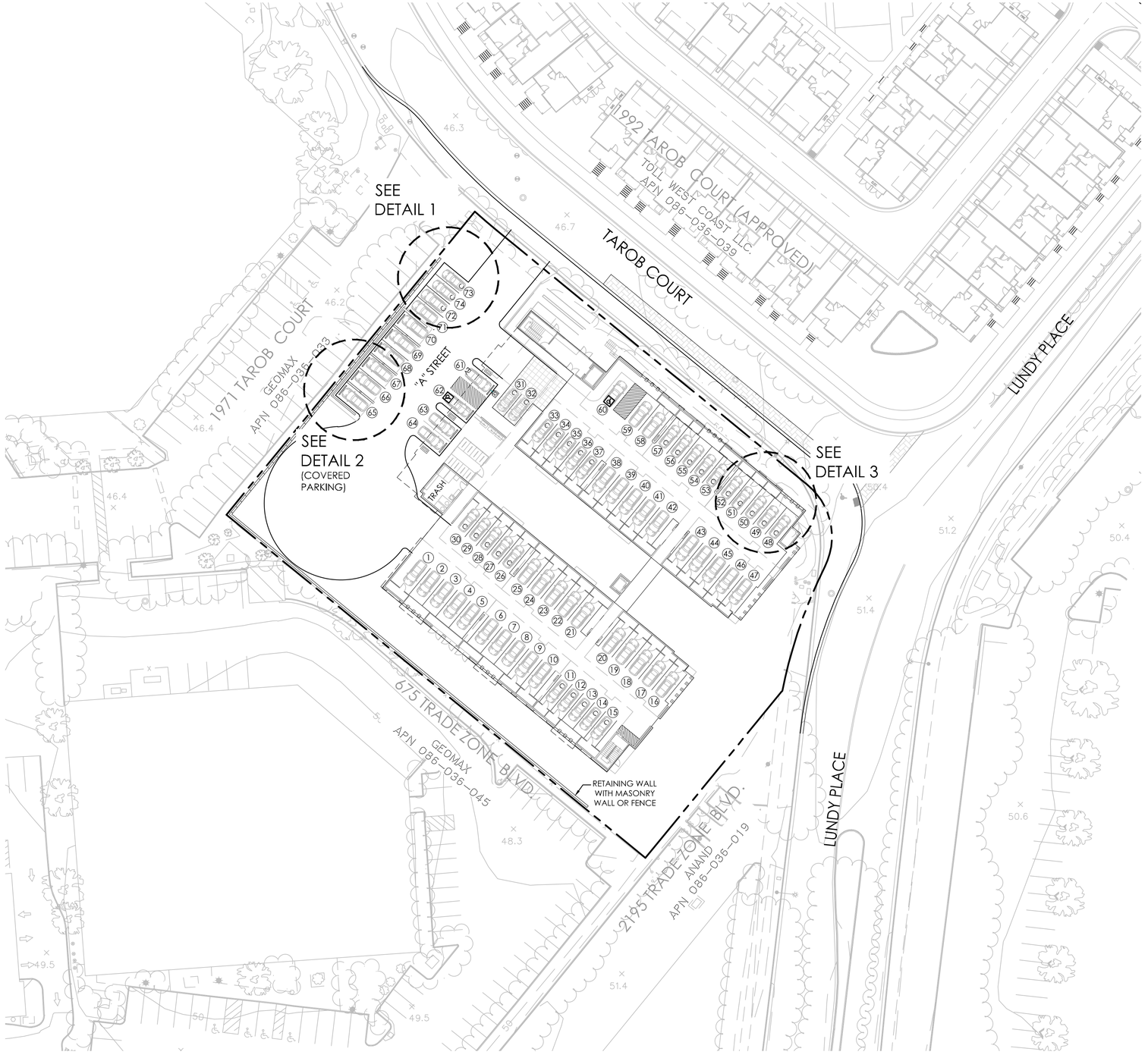


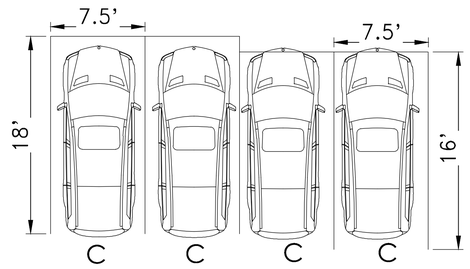
PARKING SUMMARY

DESCRIPTION	UNIT COUNT	REQUIRED PARKING RATIO	PARKING REQUIRED	PROVIDED PARKING RATIO	PARKING PROVIDED
GARAGE SPACES	40	1.6 SPACES/ DU	64	1.6 SPACES/DU	64
ON-SITE GUEST	-	15% OF REQUIRED	10	-	10
TOTAL	40	-	74	-	74

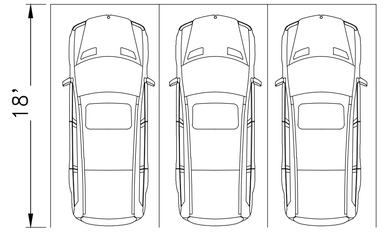
NOTES:

1. GUEST PARKING INCLUDES 1 ACCESSIBLE SPACE AND 1 VAN ACCESSIBLE SPACE.
2. GUEST PARKING IS BASED ON PRELIMINARY DESIGN. ACTUAL PARKING PROVIDED MAY VARY WITH FINAL DESIGN IN ACCORDANCE WITH MINIMUM GUEST REQUIREMENTS.
3. "C" = COMPACT PARKING SPACE
4. MILPITAS ZONING ORDINANCE SECTION 10-53.07(B) ALLOWS FOR UP TO 40% COMPACT STALLS. 30 COMPACT STALLS ARE PROPOSED (40%).

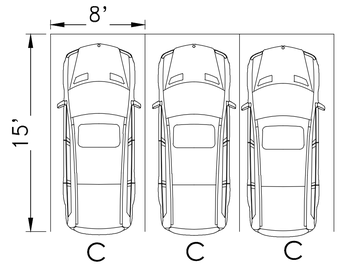
PARKING DETAIL 1
(COMPACT SPACE INTERIOR/EXTERIOR)



PARKING DETAIL 2
(STANDARD SPACE INTERIOR, EXTERIOR, & COVERED PARKING)



PARKING DETAIL 3
(COMPACT SPACE INTERIOR)



2001 TAROB COURT
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PARKING PLAN
TM08

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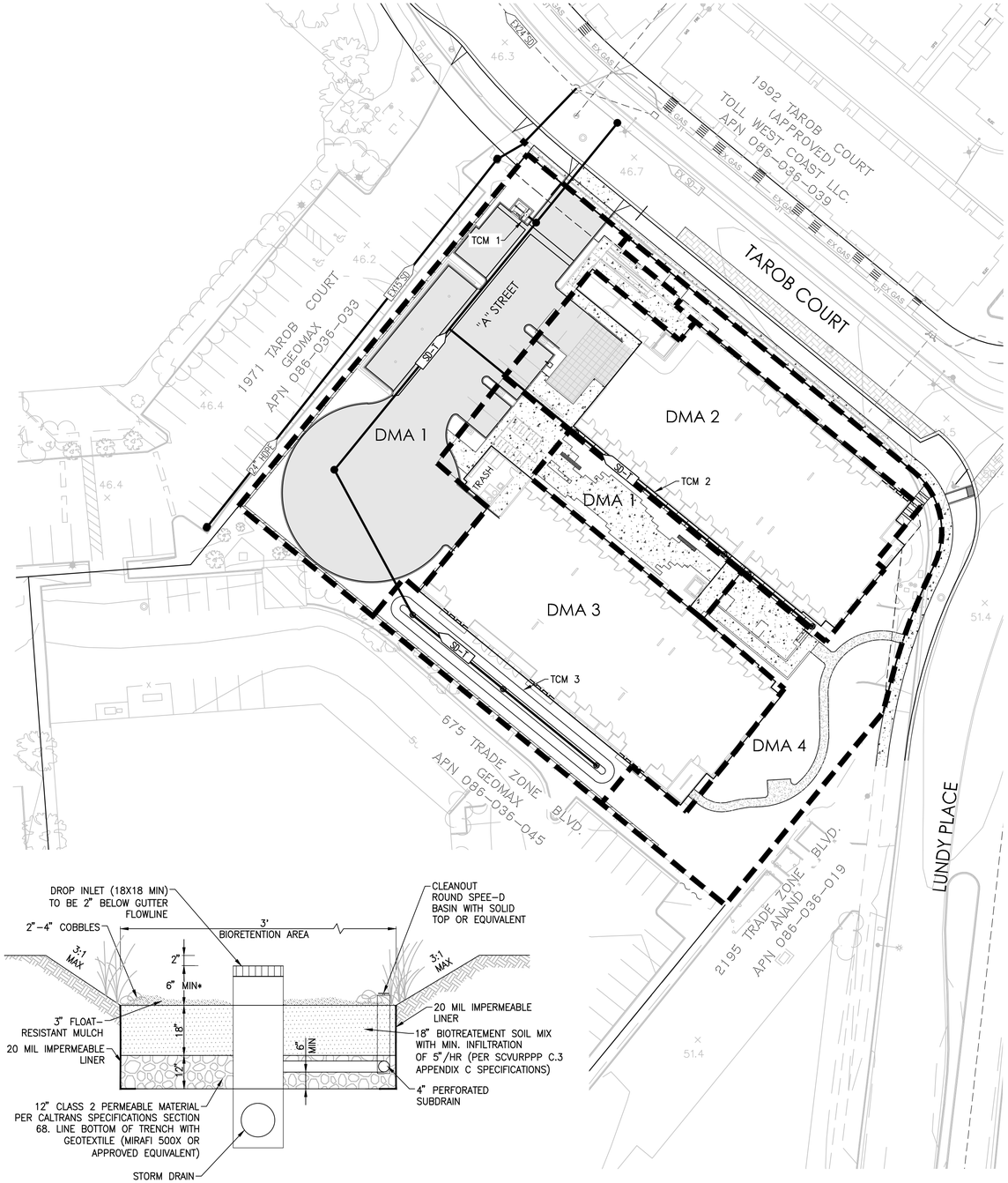


LEGEND

- DRAINAGE MANAGEMENT AREA BOUNDARY
- AC PAVEMENT*
- CONCRETE*
- DG PAVEMENT*
- TCM — TREATMENT CONTROL MEASURE
- AREA DRAIN
- PROPOSED FILTERRA- SEE DETAIL BELOW
- SD-T — TREATED STORMWATER (SD-T)

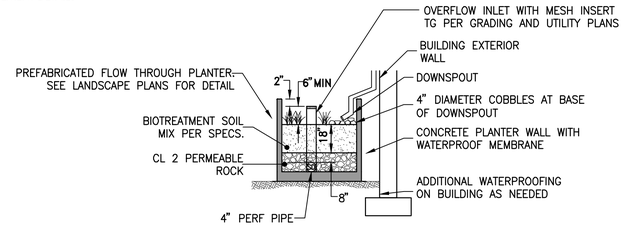
*SEE LANDSCAPE PLANS FOR DECORATIVE PAVEMENT DETAILS

DRAINAGE MANAGEMENT AREA SUMMARRY

DRAINAGE MANAGEMENT AREA (DMA)	TOTAL DRAINAGE AREA (SF)	BUILDING (SF)	CONCRETE SF)	TOTAL IMPERVIOUS (SF)	LANDSCAPE (SF)	TOTAL PERVIOUS (SF)	PROVIDED TREATMENT AREA (SF)	PONDING DEPTH (IN)	TREATMENT CONTROL MEASURE	TREATMENT TYPE
DMA 1	16,763	0	11,995	11,995	4,768	4,768	N/A	N/A	TCM 1	FILTERRA
DMA 2	13,156	12,713	0	12,713	443	443	361	5	TCM 2	FLOW THROUGH PLANTER
DMA 3	15,654	12,768	0	12,768	2,886	2,886	354	8	TCM 3	BIO-RETENTION
DMA 4	10,348	0	968	968	9,380	9,380	N/A	N/A	N/A	SELF-RETAINING
Total	55,921	25,481	12,963	38,444	17,477	17,477	715			SELF-RETAINING

NOTES:

1. ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) C.3. STORMWATER HANDBOOK DATED JUNE 2016.
2. HYDROMODIFICATION IS NOT REQUIRED BECAUSE PROPOSED PROJECT IMPERVIOUS SURFACE IS LESS THAN EXISTING IMPERVIOUS SURFACE ON THE SITE.
3. PROVIDED SURFACE AREA OF THE BIO-RETENTION FACILITIES IS SUPPORTED BY USING THE COMBINATION FLOW AND VOLUME METHOD. SEE PRELIMINARY STORM WATER MANAGEMENT PLAN FOR CALCULATIONS.



FLOW-THROUGH PLANTER DETAIL (TCM-2)

NOT TO SCALE

BIO-RETENTION DETAIL (TCM-3)

CONTECH ENGINEERED SOLUTIONS

filterra Bioretention Systems

Filterra Sizing Spreadsheet
Uniform Intensity Approach
Storm Intensity = 0.20 in/hr

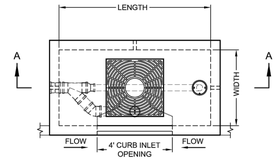
Filterra Infiltration Rate = 100 (in/hr)
Filterra Flow per Square Foot = 0.0023 (ft3/sec/ft2)

Filterra Flow Rate, Q = 0.0023 ft3/sec x Filterra Surface Area
Rational Method, Q = C x I x A

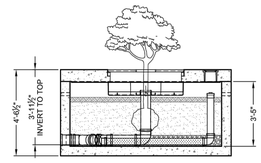
Site Flowrate, Q = (C x DI x DA x 43560) / (12 x3600)
OR DA = (12 x 3600 x Q) / (C x 43560 x DI)

where Q = Flow (ft3/sec)
DA = Drainage Area (acres)
DI = Design Intensity (in/hr)
C = Runoff coefficient (dimensionless)

			DI 0.2	C 1.00	C 0.85	C 0.50
Available Filterra Box Sizes			Filterra Flow Rate, Q	100% Imperv. DA	Commercial max DA	Residential max DA
L (ft)	W (ft)	Filterra Surface Area (ft2)	(ft3/sec)	(acres)	(acres)	(acres)
4	4	16	0.0370	0.184	0.216	0.367
6	4	24	0.0556	0.275	0.324	0.551
6.5	4	26	0.0602	0.298	0.351	0.597
8	4	32	0.0741	0.367	0.432	0.735
12	4	48	0.1111	0.551	0.648	1.102
6	6	36	0.0833	0.413	0.486	0.826
8	6	48	0.1111	0.551	0.648	1.102
10	6	60	0.1389	0.689	0.810	1.377
12	6	72	0.1667	0.826	0.972	1.653
13	7	91	0.2106	1.045	1.229	2.089



PLAN VIEW



SECTION A-A

LONG SIDE INLET CONFIGURATION

LONG SIDE CURB INLET

DESIGNATION	SIZE	LENGTH	WIDTH	MAX. OUTLET/ BYPASS PIPE DIA.	MAX. BYPASS FLOW (CFS)	UNDER-DRAIN PIPE DIA. (PERF)	TREE GRATE QTY. & SIZE
FTIBC0604	6 x 4	6'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTIBC0804	8 x 4	8'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(1) 3' x 3'
FTIBC0806	8 x 6	8'-0"	6'-0"	10" SDR 35	2.37	4" SDR 35	(1) 4' x 4'
FTIBC1006	10 x 6	10'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(1) 4' x 4'
FTIBC1204	12 x 4	12'-0"	4'-0"	8" SDR 35	1.89	4" SDR 35	(2) 3' x 3'
FTIBC1206	12 x 6	12'-0"	6'-0"	10" SDR 35	2.37	6" SDR 35	(2) 4' x 4'
FTIBC1307	13 x 7	13'-0"	7'-0"	10" SDR 35	2.37	6" SDR 35	(2) 4' x 4'

INTERNAL PIPE CONFIGURATION MAY VARY DEPENDING ON VAULT SIZE

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FILTERRA
INTERNAL BYPASS CURB (FTIBC)
CONFIGURATION DETAIL

2001 TAROB COURT
Milpitas, CA
May 8, 2019

PRELIMINARY STORMWATER CONTROL PLAN
TM09

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NORTH

0 60
30 120
SCALE: 1" = 30'

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RESERVED FOR
CONDITIONS OF APPROVAL

2001 TAROB COURT
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May 8, 2019

CONDITIONS OF APPROVAL
TM10

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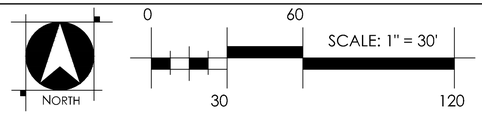

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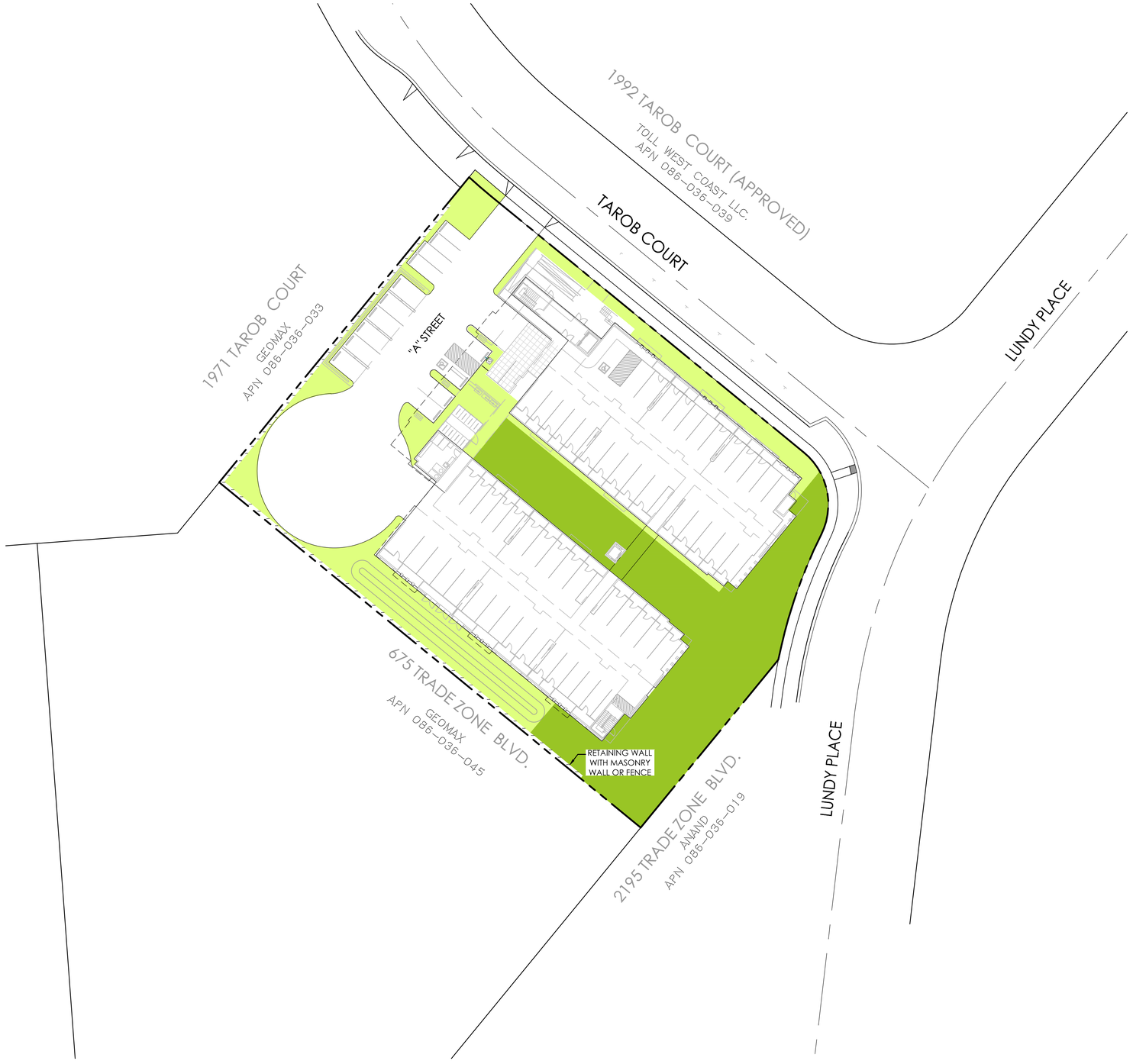

LEGEND

- PRIVATE RECREATIONAL AREA (0.26 ACRES)
- OTHER PRIVATE OPEN SPACE & LANDSCAPING (0.18 ACRES)

TOTAL LANDSCAPE & OPEN SPACE = 0.44 ACRES

PARK ACREAGE SUMMARY (TASP REQUIREMENT)

DESCRIPTION	TASP CODE	REQUIRED PARKS AND OPEN SPACE (AC.)	PROVIDED PARK (AC.)
PARKS AND OPEN SPACE	3.5 ACRES OF PARKLAND PER 1000 POPULATION. UP TO 1.5 OF EACH 3.5 PARK ACRES MAY BE SATISFIED BY THE PROVISION OF PRIVATE RECREATION AREAS. THE REMAINING 2.0 ACRES PER 1000 REQUIREMENT MUST BE SATISFIED BY EITHER DEDICATION OF LAND TO THE CITY FOR PUBLIC PARKS AND OPEN SPACE OR PAYMENT OF AN IN-LIEU FEE.	POPULATION = # UNITS X 2.52 PERSONS/UNIT	PRIVATE RECREATION AREA = 0.26 ACRES
		POPULATION = 40 X 2.52 = 100.8 PERSONS	
		PARK ACREAGE REQUIRED = 3.5 X 100.8/1000 = 0.35 ACRES	
		PRIVATE RECREATION AREA ALLOWED = 1.5/3.5 X 0.35 = 0.15 ACRES	

R3 ZONING CODE OPEN SPACE (MUNI CODE XI-10-4.05.C)

DESCRIPTION	CODE REQUIREMENT	REQUIRED AREA (AC.)	PROVIDED AREA (AC.)
LANDSCAPE AND OPEN SPACE REQUIREMENTS	A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE TOTAL LOT AREA SHALL BE LANDSCAPED OR RECREATIONAL OPEN SPACE, EXCLUSIVE OF PARKING AND VEHICULAR TRAFFIC AREA AND SHALL BE SHOWN ON SITE PLAN IN DETAIL FOR PLANNING COMMISSION APPROVAL.	25% X 1.22 = 0.31 ACRES	0.44 ACRES (36.1%)
	AN AVERAGE OF TWO HUNDRED SQUARE FEET OF USABLE OPEN SPACE SHALL BE PROVIDED FOR EACH DWELLING UNIT. "USABLE OPEN SPACE" SHALL MEAN ANY OPEN SPACE, THE SMALLEST DIMENSION OF WHICH IS AT LEAST 4 ½ FEET AND WHICH IS NOT USED AS STORAGE OR FOR MOVEMENT OF MOTOR VEHICLES: EXCEPT THAT YARDS ABUTTING A PUBLIC STREET, WHICH ARE NOT ADEQUATELY SCREENED FOR PRIVACY, IN THE OPINION OF THE PLANNING COMMISSION, SHALL NOT QUALIFY AS USABLE OPEN SPACE. BALCONIES, PORCHES, OR ROOF DECKS MAY BE CONSIDERED USABLE OPEN SPACE WHEN PROPERLY DEVELOPED FOR WORK, PLAY OR OUTDOOR LIVING AREAS. AT LEAST THIRTY (30) PERCENT OF REQUIRED OPEN SPACE SHALL BE CONTIGUOUS TO AND PROVIDE FOR PRIVATE USABLE OPEN SPACE OF THE INDIVIDUAL DWELLING UNIT.	200 X 40 = 8,000 SQ FT = 0.18 ACRES	PRIVATE RECREATIONAL AREA = 0.26 ACRES
			PRIVATE OPEN SPACE (BALCONIES & PORCHES) = 60 SF/UNIT = 60 X 40 = 2,400 SF = 0.05 ACRES
			TOTAL PRIVATE OPEN SPACE = 0.31 ACRES = 337.6 SF/UNIT

2001 TAROB COURT

Milpitas, CA

May 8, 2019

OPEN SPACE EXHIBIT

P1.0

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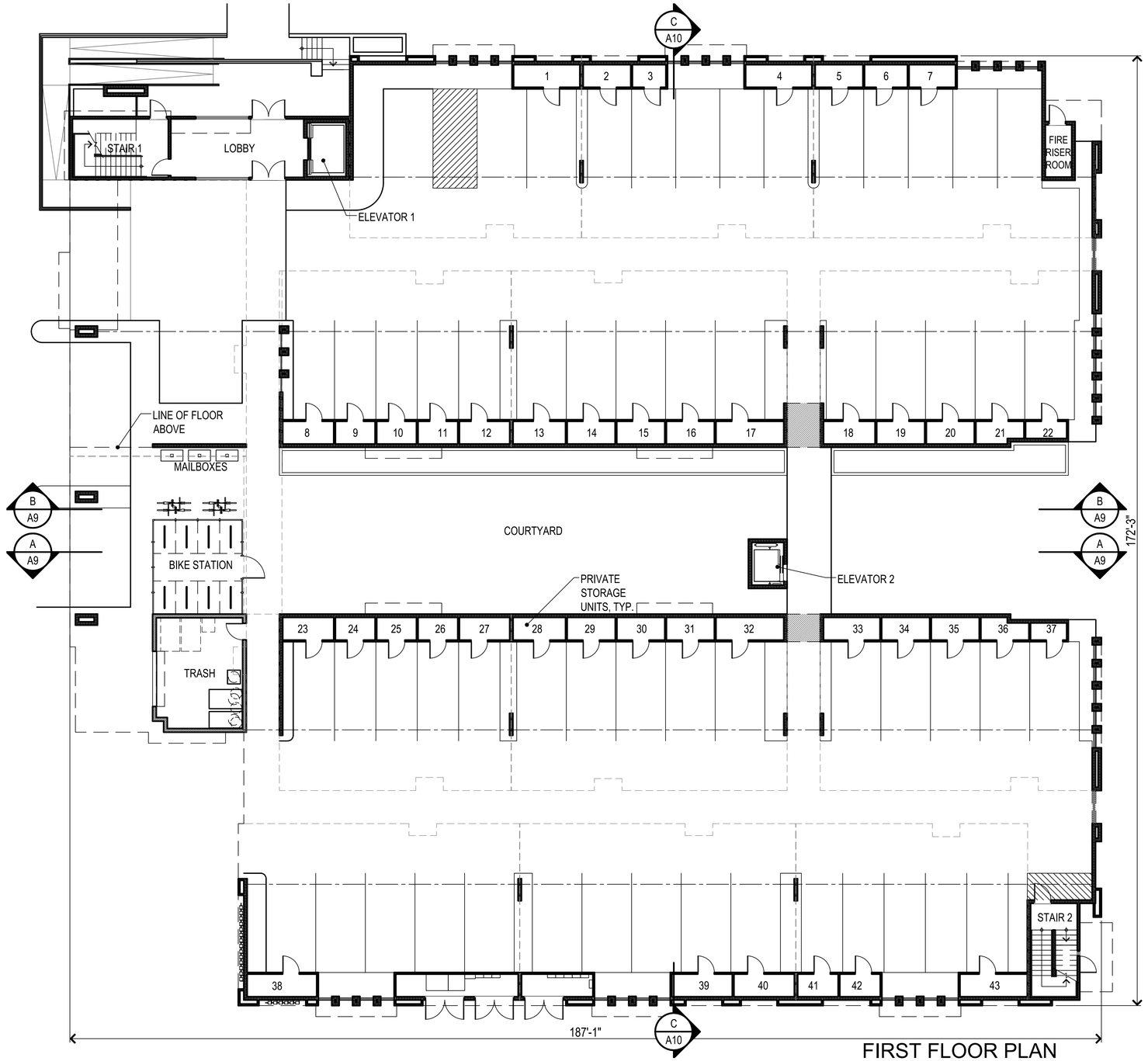

FIRST FLOOR PLAN

0 2' 4' 6' 8' 16'

2001 TAROB COURT
Milpitas, CA
May 8, 2019

FIRST FLOOR PLAN
A2

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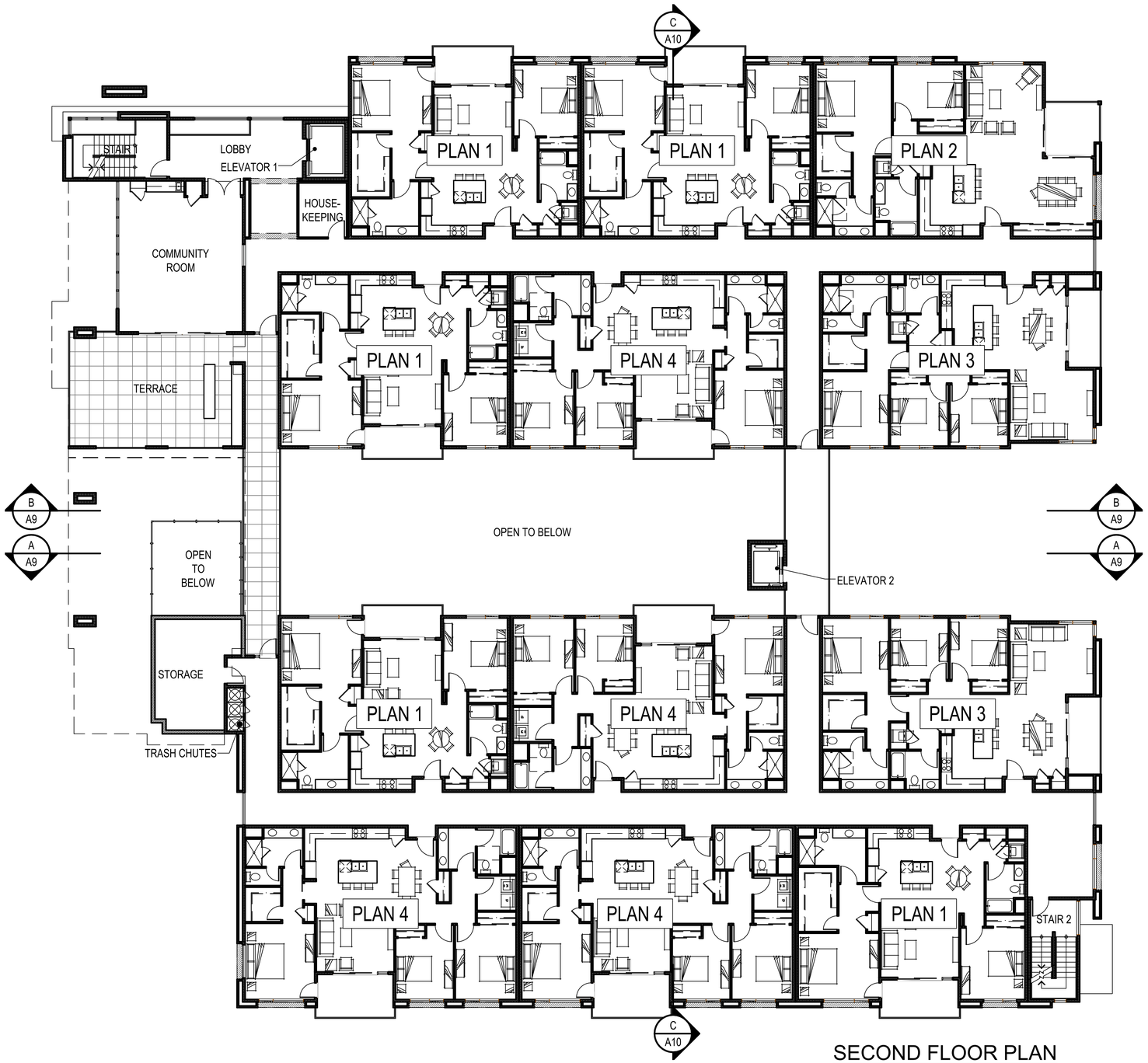

SECOND FLOOR PLAN

0 2' 4' 6' 8' 16'

2001 TAROB COURT
Milpitas, CA
May 8, 2019

SECOND FLOOR PLAN
A3

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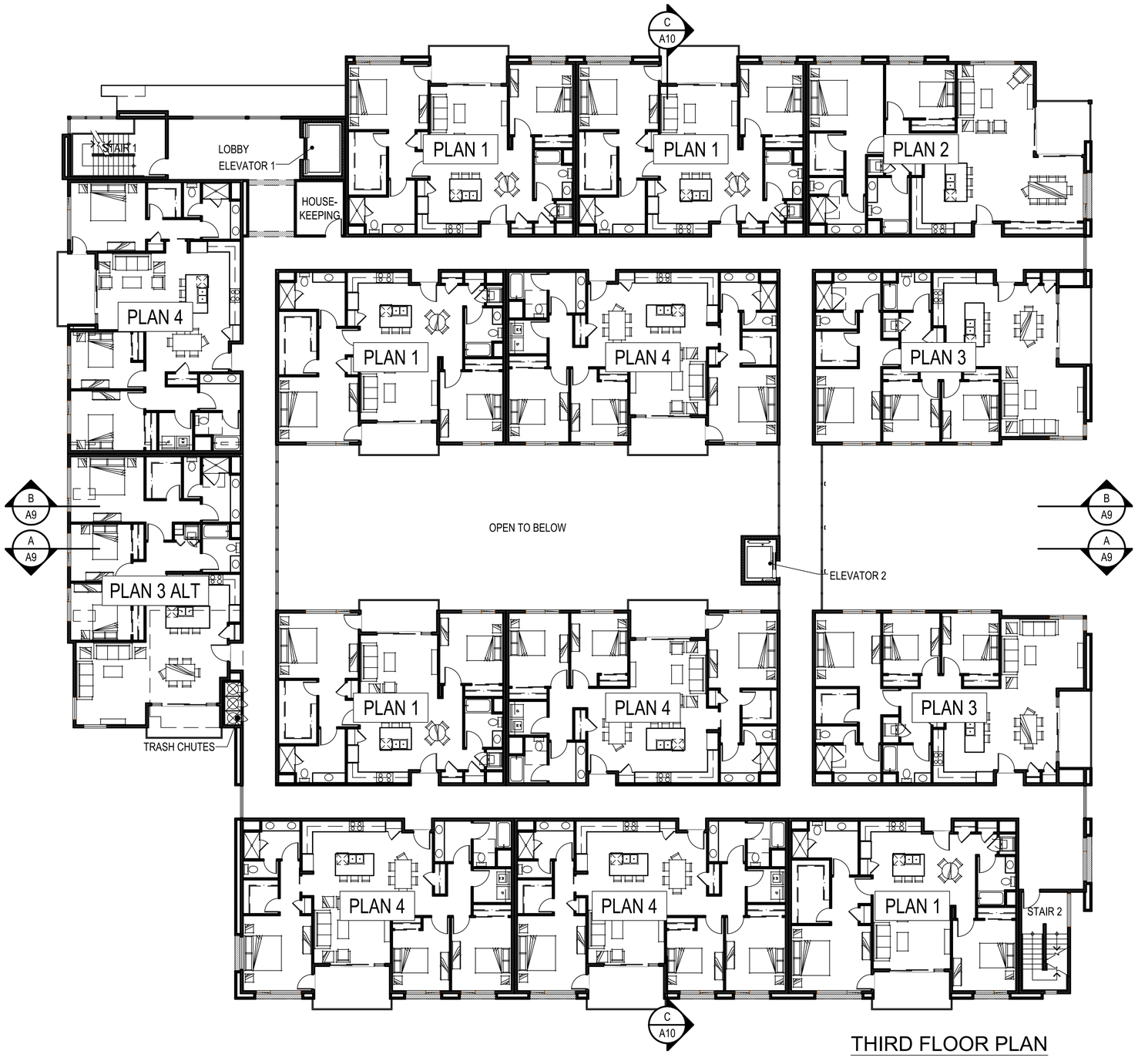

THIRD FLOOR PLAN

0 2' 4' 6' 8' 16'

2001 TAROB COURT
Milpitas, CA
May 8, 2019

THIRD FLOOR PLAN
A4

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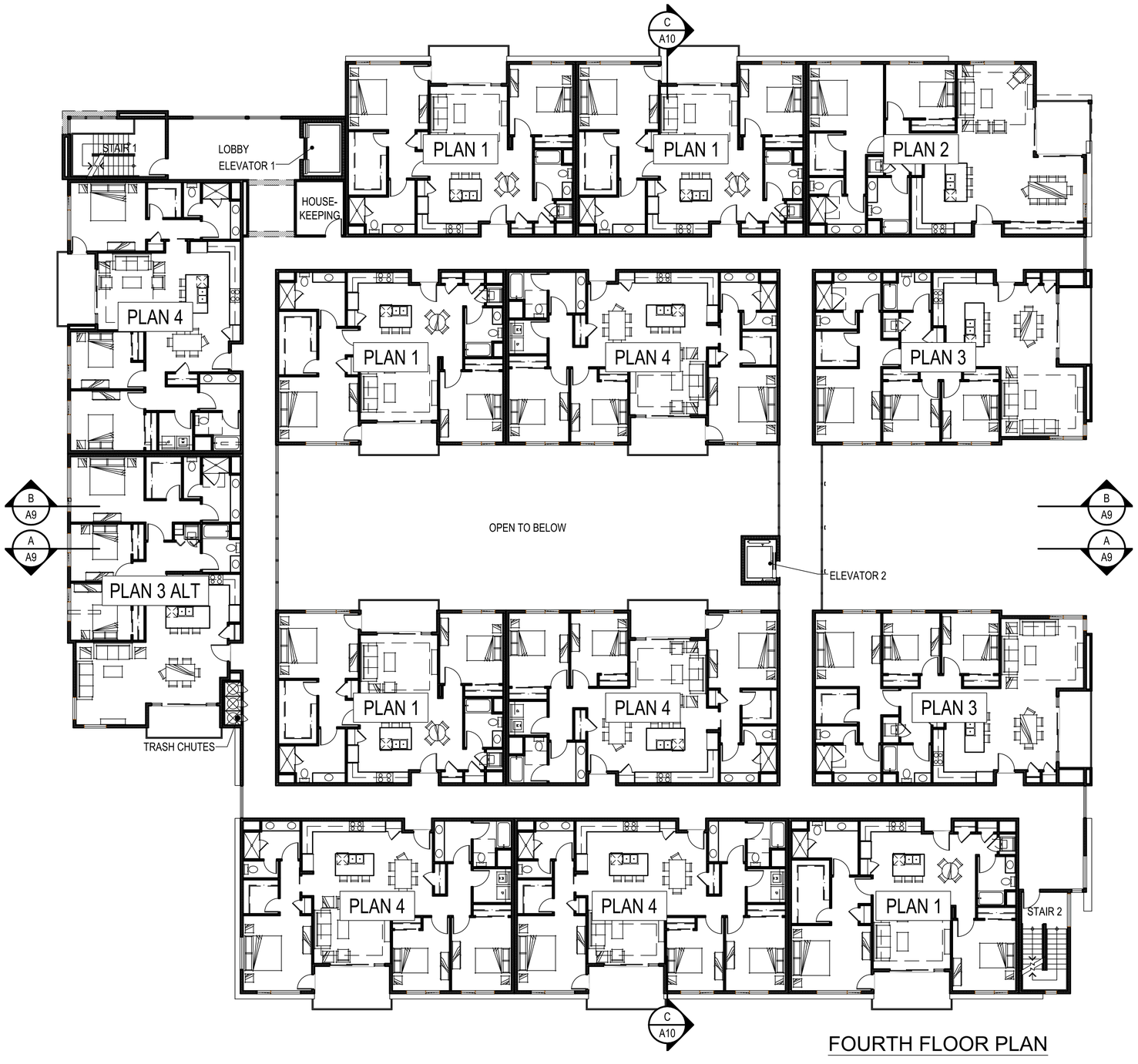

FOURTH FLOOR PLAN

0 2' 4' 6' 8' 16'

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May 8, 2019

FOURTH FLOOR PLAN
A5

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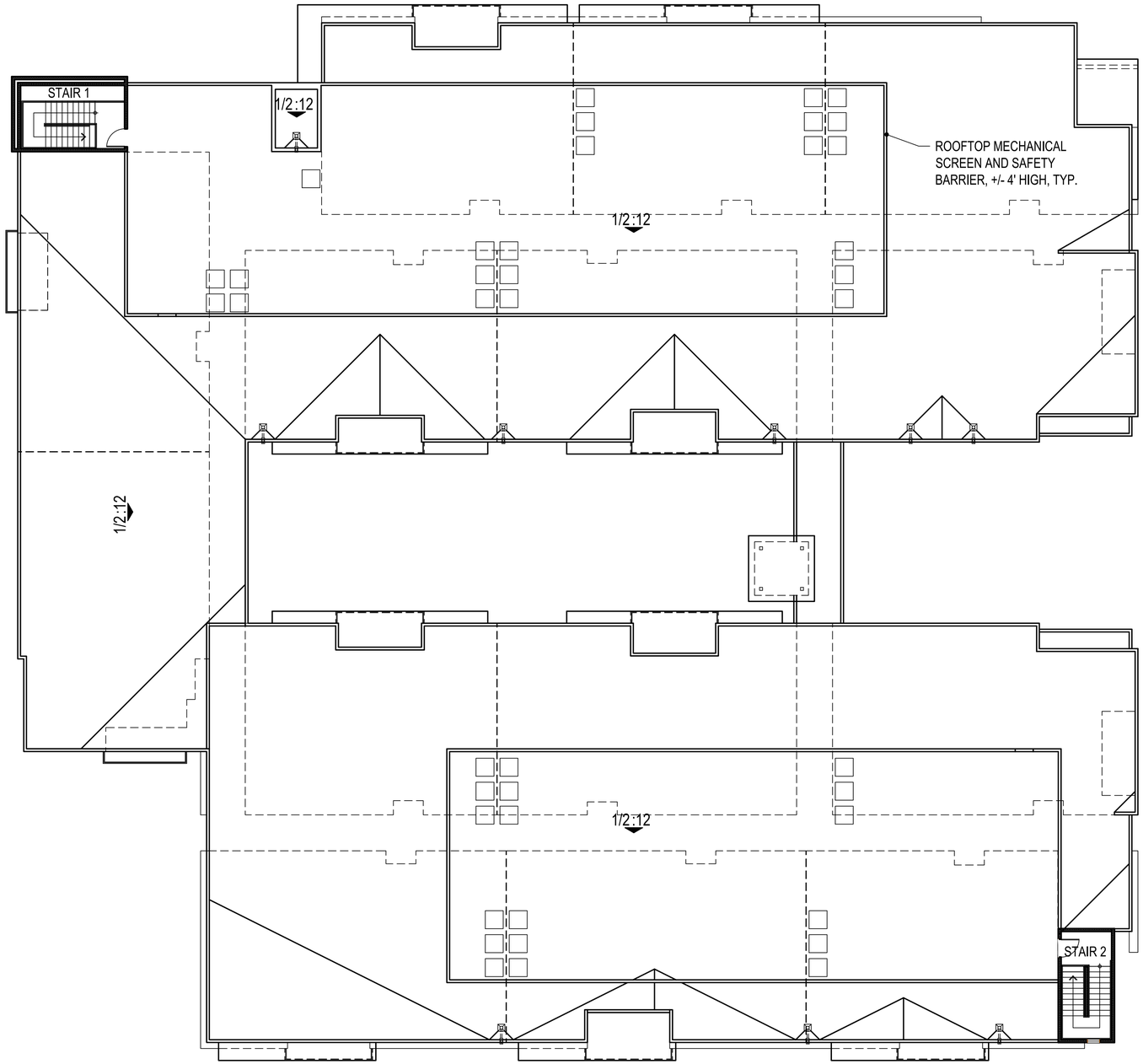

ROOF PLAN

0 2' 4' 6' 8' 16'

2001 TAROB COURT
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May 8, 2019

ROOF PLAN
A6

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EXTERIOR MATERIALS

1. STUCCO WITH SAND FINISH
2. HORIZONTAL SIDING
3. PORCELAIN CERAMIC TITLE
4. VERTICAL METAL SIDING
5. METAL CANOPY
6. METAL RAILING WITH MESH AND/OR PERFORATED PANEL
7. MESH AND/OR PERFORATED SCREEN
8. COLORED GLASS
9. LASER CUT METAL PANEL

BODY 1
STUCCO

BODY 2
STUCCO

BODY 3
STUCCO

SIDING 1
HORIZONTAL SIDING

SIDING 2
HORIZONTAL SIDING

SIDING 3
VERTICAL SIDING

ACCENT 1
STUCCO

ACCENT 2
METAL

TILE

COLORED GLASS

LASER CUT METAL PANEL

EAST ELEVATION - LUNDY WAY

NORTH ELEVATION - TAROB COURT

0 2' 4' 6' 8' 16'

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May 8, 2019

EAST & NORTH EXTERIOR ELEVATIONS
A7

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EXTERIOR MATERIALS

1. STUCCO WITH SAND FINISH
2. HORIZONTAL SIDING
3. PORCELAIN CERAMIC TITLE
4. VERTICAL METAL SIDING
5. METAL CANOPY
6. METAL RAILING WITH MESH AND/OR PERFORATED PANEL
7. MESH AND/OR PERFORATED SCREEN
8. COLORED GLASS
9. LASER CUT METAL PANEL

BODY 1
STUCCO

BODY 2
STUCCO

BODY 3
STUCCO

SIDING 1
HORIZONTAL SIDING

SIDING 2
HORIZONTAL SIDING

SIDING 3
VERTICAL SIDING

ACCENT 1
STUCCO

ACCENT 2
METAL

TILE

COLORED GLASS

LASER CUT METAL PANEL

WEST ELEVATION

SOUTH ELEVATION

0 2' 4' 6' 8' 16'

WEST & SOUTH EXTERIOR ELEVATIONS

A8

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SECTION B

SECTION A

0 2' 4' 6' 8' 16'

COURTYARD ELEVATIONS

A9

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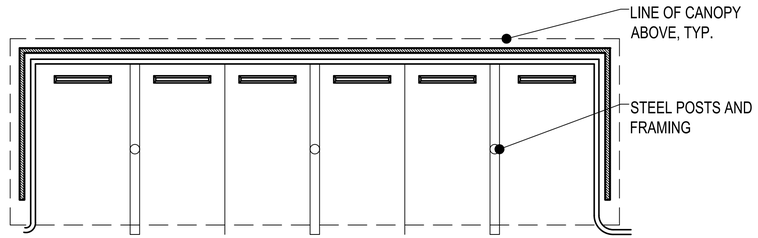
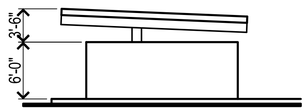


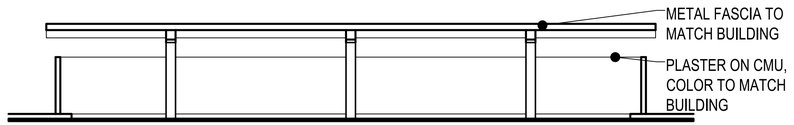
PARKING SHADE STRUCTURE PLAN

1/8" = 1'-0"



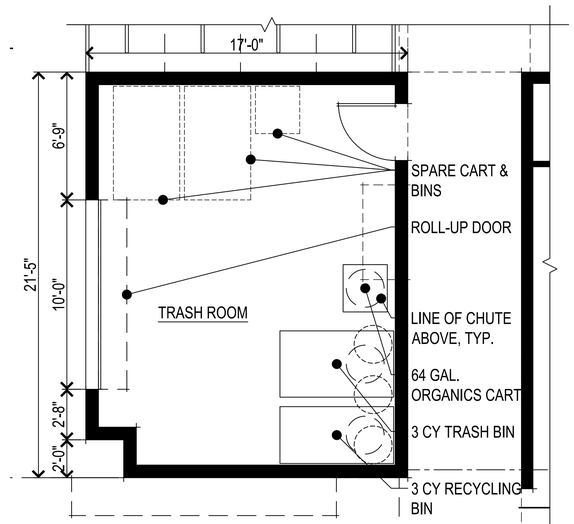
PARKING SHADE STRUCTURE SIDE ELEVATION

1/8" = 1'-0"



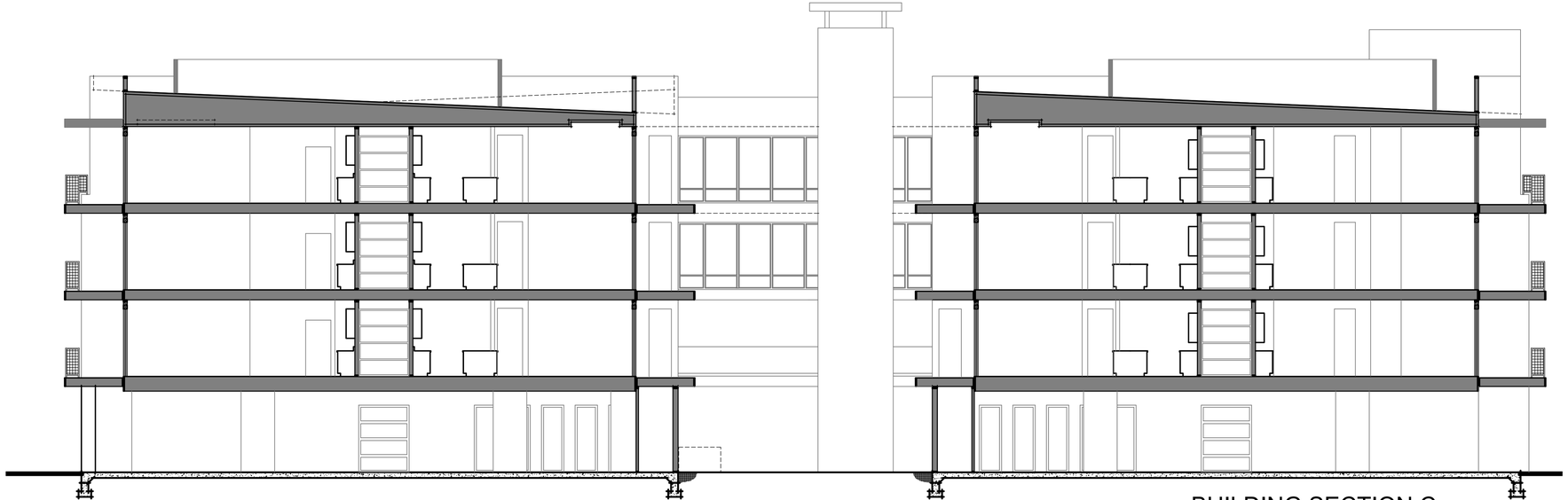
PARKING SHADE STRUCTURE FRONT ELEVATION

1/8" = 1'-0"



ENLARGED TRASH ROOM PLAN

1/4" = 1'-0"



BUILDING SECTION C

1/8" = 1'-0"

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May 8, 2019

TRASH ROOM, PARKING SHADE STRUCTURE, & BUILDING SECTION
A10

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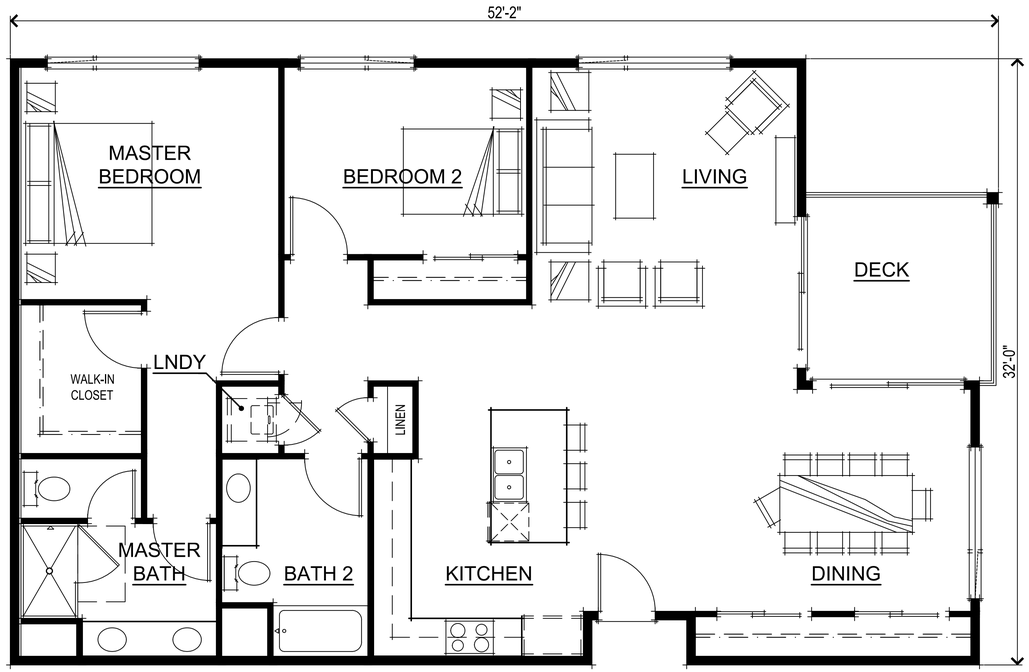
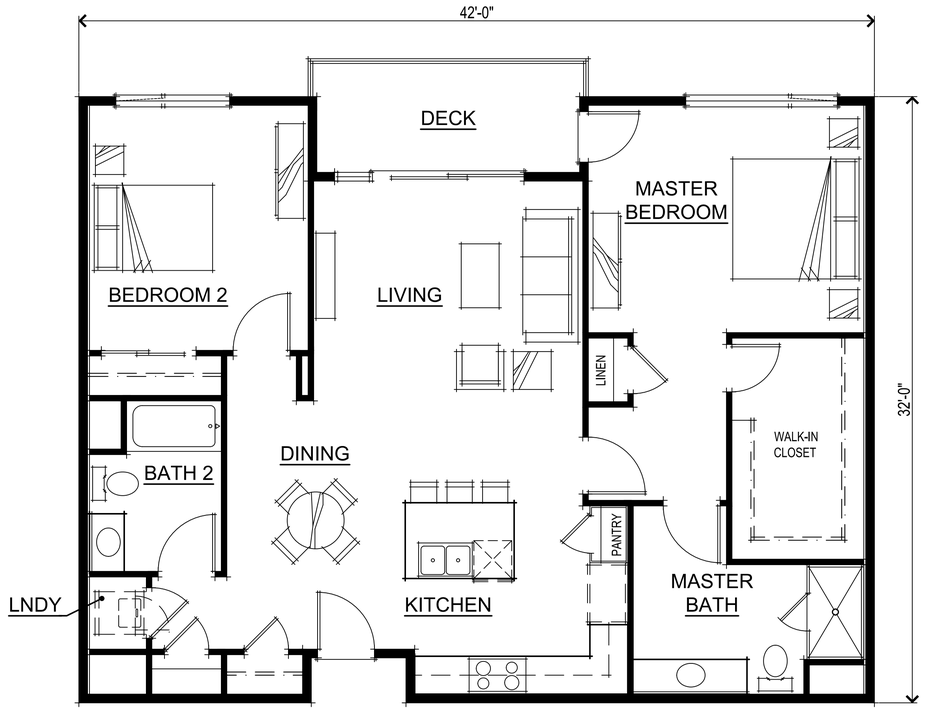


UNIT 2 FLOOR PLAN

UNIT 2 SQUARE FOOTAGE	
TOTAL LIVING	1470 SQ. FT.



UNIT 1 FLOOR PLAN

UNIT 1 SQUARE FOOTAGE	
TOTAL LIVING	1277 SQ. FT.

0 1' 2' 3' 4' 8'

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UNIT 1 & 2 FLOOR PLANS
A11

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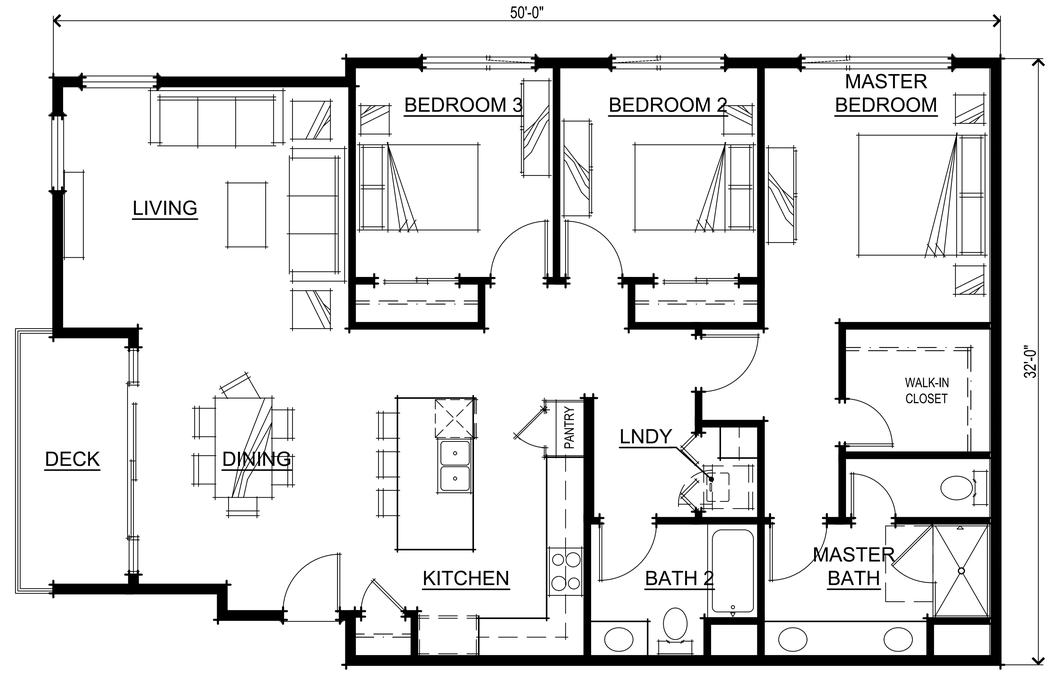
UNIT 3 FLOOR PLAN

UNIT 3 SQUARE FOOTAGE	
TOTAL LIVING	1486 SQ. FT.



UNIT 3 ALT FLOOR PLAN

UNIT 3 ALT SQUARE FOOTAGE	
TOTAL LIVING	1482 SQ. FT.

0 1' 2' 3' 4' 8'

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UNIT 3 & 3 ALT FLOOR PLANS
A12

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UNIT 4 FLOOR PLAN

UNIT 4 SQUARE FOOTAGE	
TOTAL LIVING	1520 SQ. FT.

0 1' 2' 3' 4' 8'

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May 8, 2019

UNIT 4 FLOOR PLANS
A13

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TREE MATRIX
TOTAL EXISTING TREES ON SITE: 34
TOTAL EXISTING TREES TO BE REMOVED: 34
TOTAL PROPOSED NEW TREES: 40

PLAN VIEW
Scale: 1"=20'-0"

0' 10' 20' 40'

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Preliminary Landscape Plan
L001

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PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
201 4th street suite 101B, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com

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MAILBOX STATIONS - REFER TO PLANS PREPARED BY SDG

BICYCLE RACKS WITH PARKING FOR 4 BICYCLES - REFER TO IMAGE SHEET L007

INTEGRAL COLORED CONCRETE PAVING WITH ALTERNATING FINISH - REFER TO IMAGE SHEET L008 AND DETAIL 1 SHEET L011

FIREPLACE WITH LOUNGE SEATING AND TABLES - REFER TO ELEVATION SHEET L005 AND IMAGES SHEET L009

TIMBER SEATWALL - REFER TO IMAGE SHEET L008

FLOW THROUGH PLANTERS WITH WATER TREATING PLANT MATERIAL - REFER TO DETAIL 5 SHEET L018 AND PROPOSED PLANT PALETTE SHEET L017

SHADE-TOLERANT PLANTS - REFER TO PROPOSED PLANT PALETTE SHEET L017

DECOMPOSED GRANITE PAVING - REFER TO DETAIL 2 SHEET L011

STEPS AND HANDRAIL

INTEGRAL COLORED CONCRETE PAVING WITH ALTERNATING FINISH - REFER TO IMAGE SHEET L008 AND DETAIL 1 SHEET L011

STAMPED ASPHALT WITH BAND - REFER TO IMAGE SHEET L008

BENCH - REFER TO IMAGE SHEET L007

TALL BAMBOO HEDGE - REFER TO PROPOSED PLANT PALETTE SHEET L017

ILLUMINATED BOLLARDS AND ACCENT LIGHTING FOR TREES IN CENTRAL COURTYARD AREA - REFER TO IMAGE SHEET L007

LOW-GROWING SHADE-TOLERANT ACCENT TREES - REFER TO PROPOSED PLANT PALETTE SHEET L017

TABLE AND CHAIRS WITH UMBRELLA - REFER TO IMAGE SHEET L008

STRING LIGHTS - REFER TO IMAGE SHEET L008

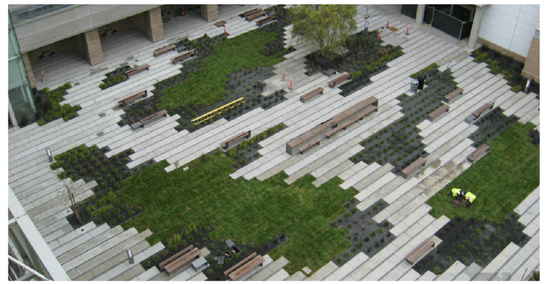
OUTDOOR KITCHEN - REFER TO ELEVATION SHEET L005

RAMP - REFER TO PLANS PREPARED BY WOOD RODGERS

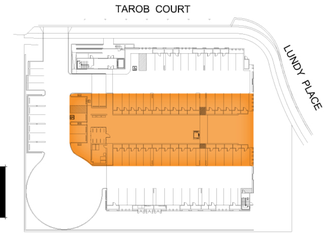
DINING TABLE AND CHAIRS - REFER TO IMAGE SHEET L009

PLAN VIEW
Scale: 1/8"=1'-0"

0' 4' 8' 16'



INSPIRATION



KEY MAP NTS

2001 TAROB COURT

Milpitas, CA

May 8, 2019

Courtyard Enlargement
L002

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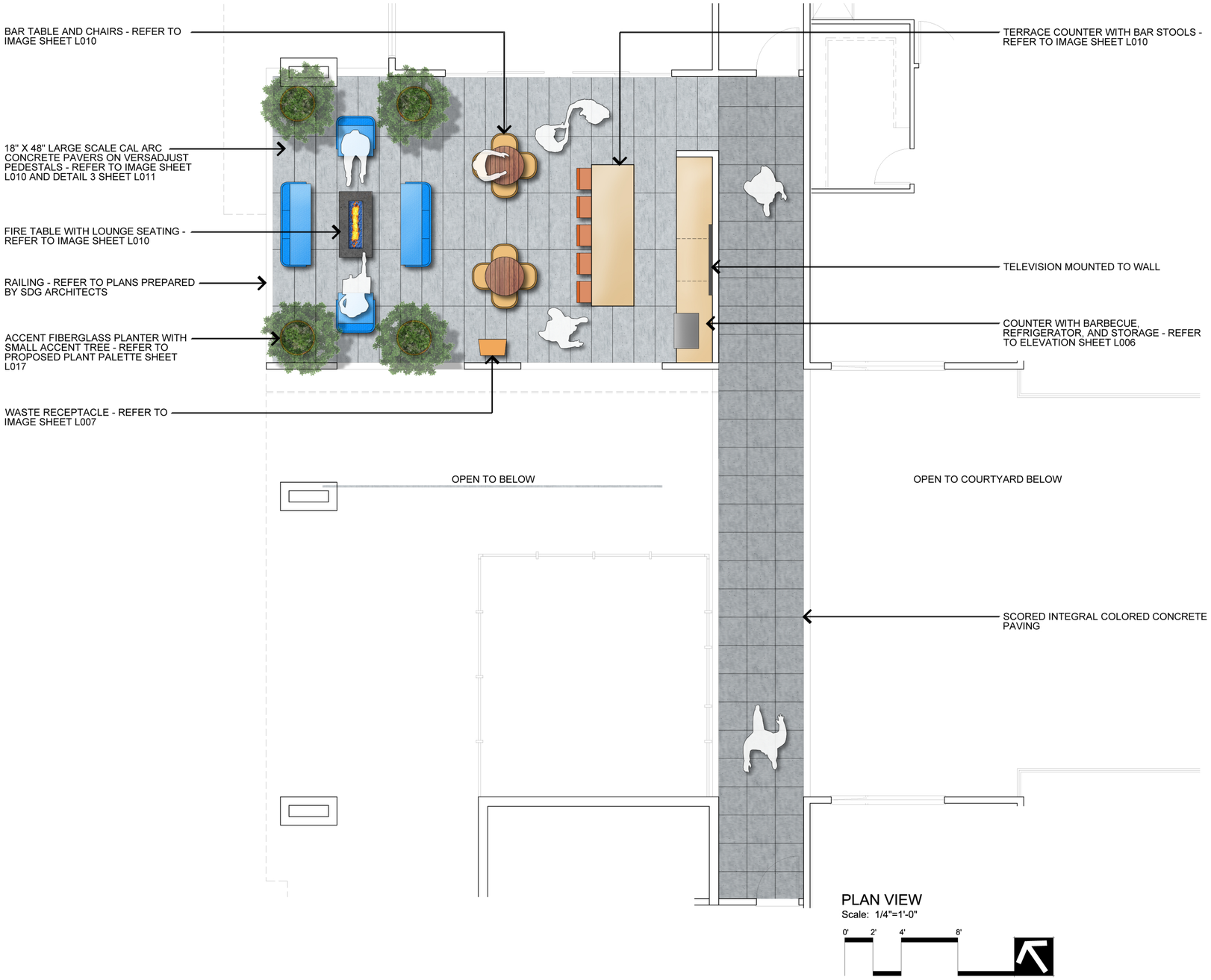
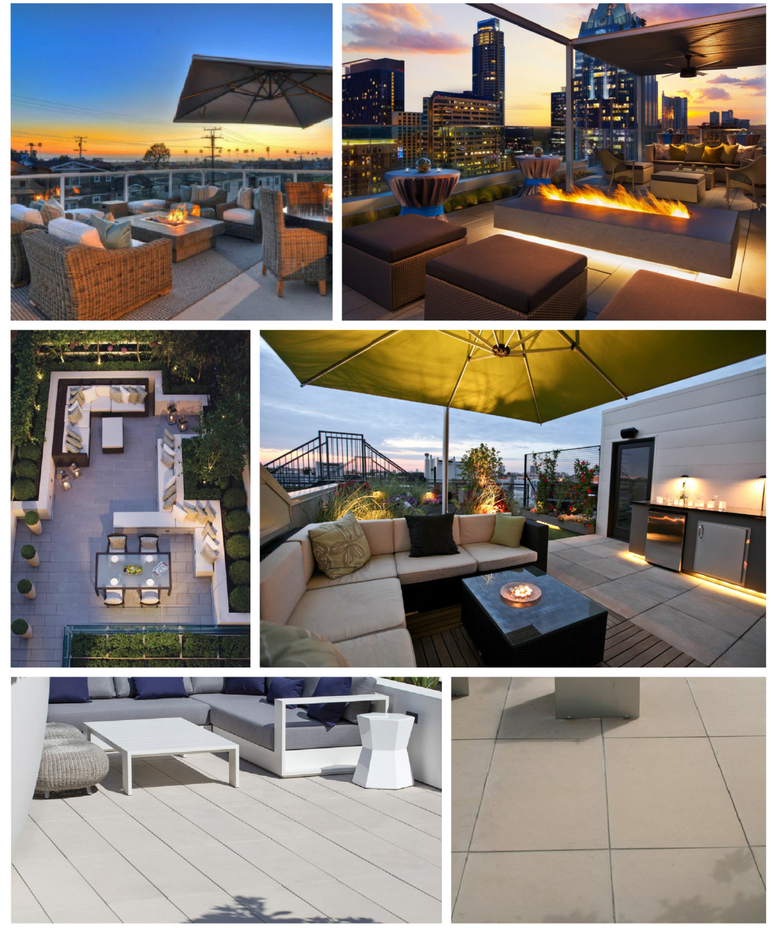
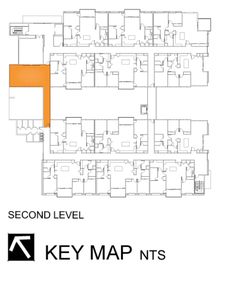


PLAN VIEW
Scale: 1/4"=1'-0"

0' 2' 4' 8'



INSPIRATION



SECOND LEVEL

KEY MAP NTS

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Terrace Enlargement
L003

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SITE AMENITY LEGEND

GROUND LEVEL & COURTYARD

CONCRETE PAVING:

- COLOR: NATURAL GRAY
- FINISH: LIGHT BROOM FINISH

REFER TO DETAIL 1 SHEET L011

INTEGRAL COLORED CONCRETE PAVING WITH ALTERNATING FINISH:

- COLOR: INTEGRAL COLOR
- WIDTH: 18" AND 30"
- FINISH: ACID ETCHED FINISH & LIGHT SAND FINISH

REFER TO IMAGE SHEET L008

STAMPED ASPHALT:

- PATTERN: CAMBRIDGE SLATE WITH 12" WIDE COBBLE BORDER
- COLORS: SLATE, GRANITE, & PEWTER WITH NATURAL CEMENT FOR THE BORDER COLOR
- FROM: PATTER PAVING PRODUCTS (WWW.PATTERNPAVING.COM)

REFER TO IMAGE SHEET L008

DECOMPOSED GRANITE PAVING:

REFER TO DETAIL 2 SHEET L011

TIMBER WOOD STEPS WITH DECORATIVE PEBBLES:

TIMBER
- TYPE: WHITE OAK

DECORATIVE PEBBLES
- SIZE: 3/8"

REFER TO IMAGE SHEET L008

WELDED WIRE MESH FENCE OVER DECORATIVE BLOCK RETAINING WALL:

WELDED WIRE MESH FENCE
- TYPE: ELITE DOUBLE WIRE
- FROM: OMEGA FENCE SYSTEMS (WWW.OMEGAFENCE.COM)

RETAINING WALL
- TYPE:
- FROM: BASALITE (WWW.BASALITE.COM)
- FOR DETAIL REFER TO PLANS PREPARED BY WOOD RODGERS CIVIL ENGINERS

REFER TO IMAGE SHEET L008

TIMBER SEATWALL:

- TYPE: RECLAIMED EUCALYPTUS

REFER TO IMAGE SHEET L008

PERIMETER BENCH:

- TYPE: BEVEL BENCH
- FROM: FORMS + SURFACES (WWW.FORMS-SURFACES.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L007

WASTE RECEPTACLE:

- TYPE: BEVEL LITTER RECEPTACLE
- FINISH: ALUMINUM TEXTURE
- FROM: FORMS + SURFACES (WWW.FORMS-SURFACES.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L007

TABLE AND CHAIRS WITH UMBRELLA:

- TYPE: TANGENT TABLE ENSEMBLE (SURFACE MOUNT) WITH SOLARIS SUNSHADE
- FINISH: ALUMINUM TEXTURE WITH DARK GRAY METAL
- FROM: FORMS + SURFACES (WWW.FORMS-SURFACES.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L008

BICYCLE RACK:

- TYPE: CAPITOL BIKE RACK
- FINISH: ALUMINUM TEXTURE
- FROM: FORMS + SURFACES (WWW.FORMS-SURFACES.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L007

STREET LIGHT & ILLUMINATED BOLLARD:

- TYPE: TRIO BOLLARD & TRIO PEDESTRIAN LIGHTING
- FINISH: ALUMINUM TEXTURE
- FROM: FORMS + SURFACES (WWW.FORMS-SURFACES.COM) OR APPROVED EQUAL

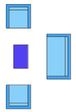
REFER TO IMAGE SHEET L007

FIREPLACE:

VENEER
- TYPE: PORCELAIN TILE
- PATTERN: RANDOM

HEARTH
- TYPE: CAST IN PLACE CONCRETE

REFER TO IMAGE SHEET L005



LOUNGE SEATING AND TABLE:

- TYPE: MARBELLA ALUMINUM COLLECTION 60" CLASSIC SOFA, CLASSIC LOUNGE CHAIR, SIDE TABLE
- FINISH: SLATE
- CUSHION COLOR: CARBON
- FROM: RESTORATION HARDWARE (WWW.RESTORATION HARDWARE.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L009

DINING TABLE AND CHAIRS:

TABLE
- TYPE: MARBELLA ALUMINUM RECTANGULAR DINING TABLE
- SIZE: 72" TABLE
- COLOR: SLATE

CHAIRS
- TYPE: MARBELLA ALUMINUM SIDE CHAIR
- FINSH: SLATE
- CUSHION COLOR: CARBON

- ALL FROM: RESTORATION HARDWARE (WWW.RESTORATIONHARDWARE.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L009

STRING LIGHTS:

REFER TO IMAGE SHEET L008

FLOW THROUGH PLANTERS:

- TYPE: WILSHIRE COLLECTION (FLOW THROUGH)
- SIZE: 3'-0" X 6'-0"
- COLOR: DARK GRAY
- FROM: TOURNESOL SITEWORKS (WWW.TOURNESOL.COM)

REFER TO DETAIL 5 SHEET L018

OUTDOOR KITCHEN:

VENEER
- TYPE: PORCELAIN TILE
- PATTERN: RANDOM

COUNTER-TOP
- FROM: CEASARSTONE (WWW.CEASARSTONEUS.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L005

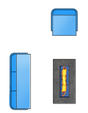
TERRACE

CONCRETE PAVERS ON VERSADJUST PEDESTALS:

PAVERS
- SIZE: 18"X48"
- COLOR: 1804 FRENCH GRAY
- FROM: STEPSTONE, INC. (WWW.STEPSTONEINC.COM) OR APPROVED EQUAL

PEDESTALS
- TYPE: VERSADJUST MODEL NO. V1
- FROM: BISON INNOVATIVE PRODUCTS (WWW.BISONIP.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L010 AND DETAIL 3 SHEET L011



FIRE TABLE WITH LOUNGE SEATING:

FIRE TABLE
- TYPE: TOPANGA RECTANGULAR FIRE TABLE
- FINISH: WEATHERED SLATE

SEATING
- TYPE: HAVANA COLLECTION GARDEN BENCH, LOUNGE CHAIR
- FINISH: GRAPHITE
- CUSHION COLOR: DOVE

- ALL FROM: RESTORATION HARDWARE (WWW.RESTORATIONHARDWARE.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L010

BAR TABLE AND CHAIRS:

TABLE
- TYPE: ANDERSON DESCANSO ROUND BAR TABLE
- SIZE: 35" ROUND TABLE
- FINISH: WEATHERED TEAK
- FROM: LUXE DECOR (WWW.LUXEDECOR.COM) OR APPROVED EQUAL

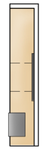
CHAIRS
- TYPE: HAVANA COLLECTION STOOL
- FINISH: GRAPHITE
- CUSHION COLOR: DOVE
- FROM: RESTORATION HARDWARE (WWW.RESTORATIONHARDWARE.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L010

TERRACE COUNTER WITH BAR STOOLS:

STOOLS
- TYPE: MARBELLA TEAK ARMLESS STOOL
- FINISH: WEATHERED TEAK
- FROM: RESTORATION HARDWARE (WWW.RESTORATIONHARDWARE.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L010



COUNTER WITH BARBECUE, FRIDGE, AND STORAGE:

VENEER
- TYPE: PORCELAIN TILE
- PATTERN: RANDOM

COUNTER-TOP
- FROM: CEASARSTONE (WWW.CEASARSTONEUS.COM) OR APPROVED EQUAL

REFER TO IMAGE SHEET L006

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Site Amenity Legend
L004

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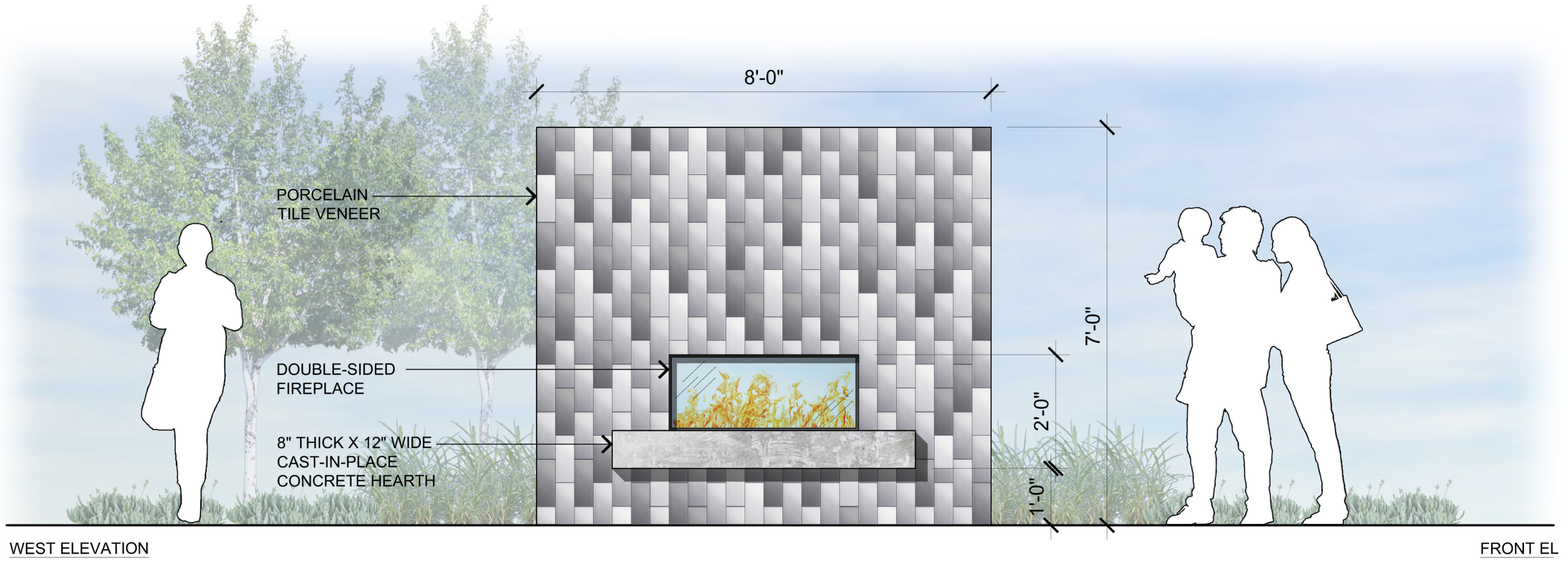
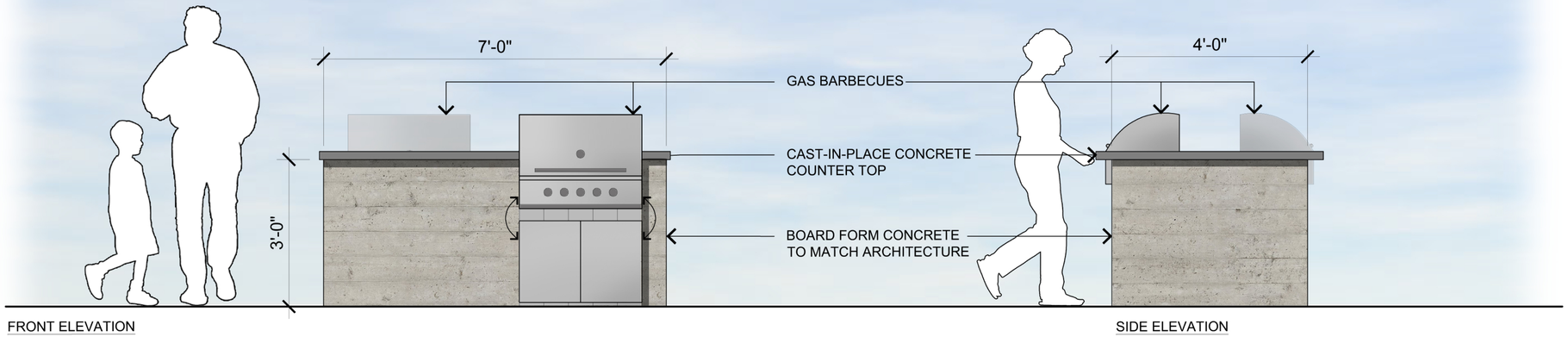


FIREPLACE (GROUND LEVEL COURTYARD)

SCALE 3/4"=1'-0"



OUTDOOR KITCHEN (GROUND LEVEL COURTYARD)

SCALE 3/4"=1'-0"

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Site Amenities (Courtyard)
L005

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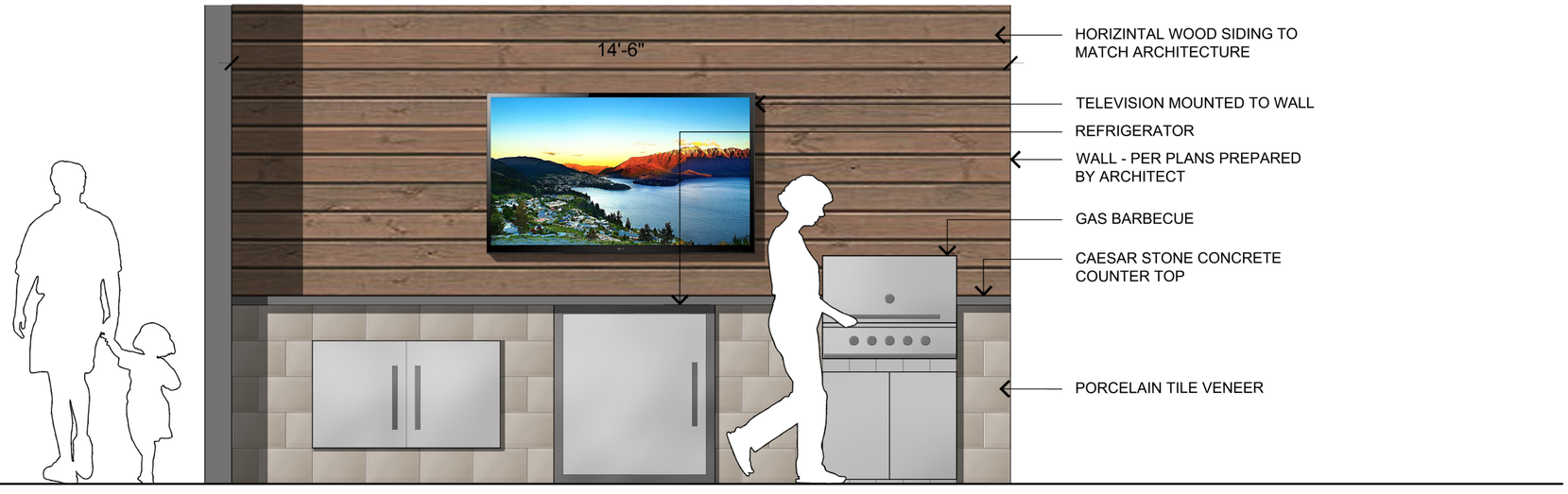

FRONT ELEVATION

TERRACE COUNTER WITH BARBECUE, REFRIGERATOR, AND STORAGE (TERRACE)

SCALE 3/4"=1'-0"

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May 8, 2019

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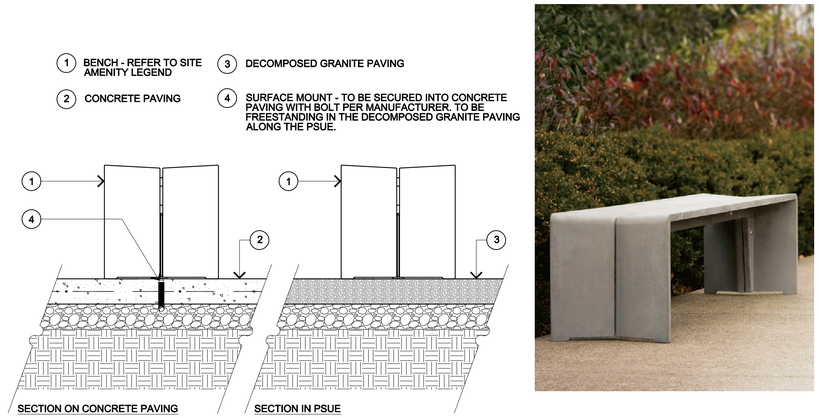
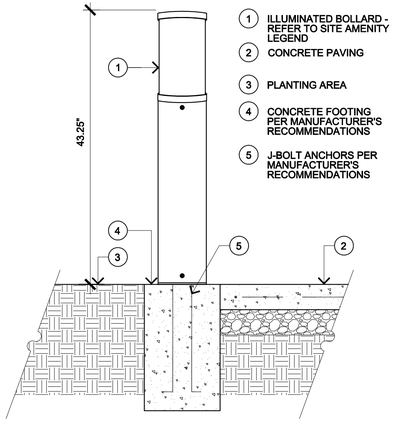


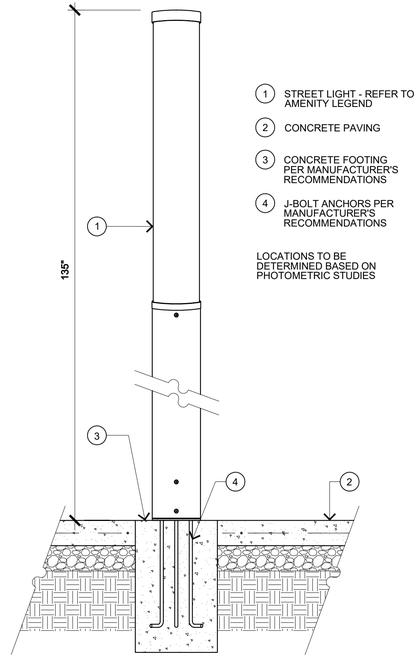
PERIMETER BENCH - REFER TO CONSTRUCTION LEGEND SHEET L004

SCALE: 1"= 1'-0"



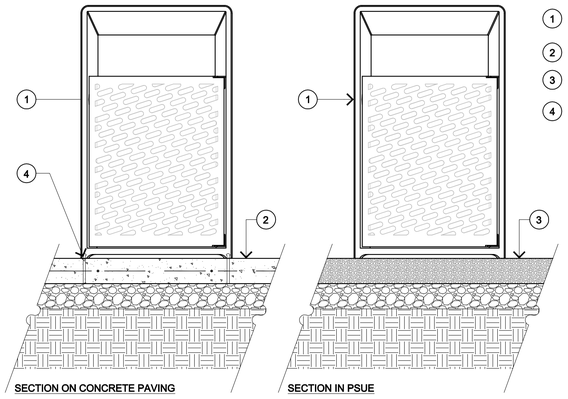
ILLUMINATED BOLLARD - REFER TO CONSTRUCTION LEGEND SHEET L004

SCALE: 1"= 1'-0"



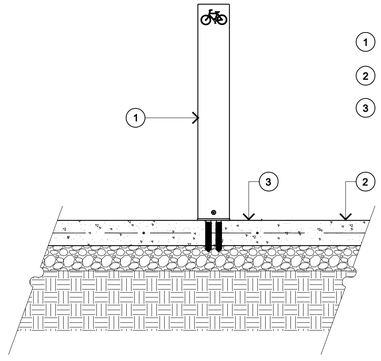
STREET LIGHT - REFER TO CONSTRUCTION LEGEND SHEET L004

SCALE: 1"= 1'-0"



WASTE RECEPTACLE - REFER TO CONSTRUCTION LEGEND SHEET L004

SCALE: 1"= 1'-0"



BICYCLE RACK - REFER TO CONSTRUCTION LEGEND SHEET L004

SCALE: 1"= 1'-0"

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Site Furnishings (Ground Level & Courtyard)
L007

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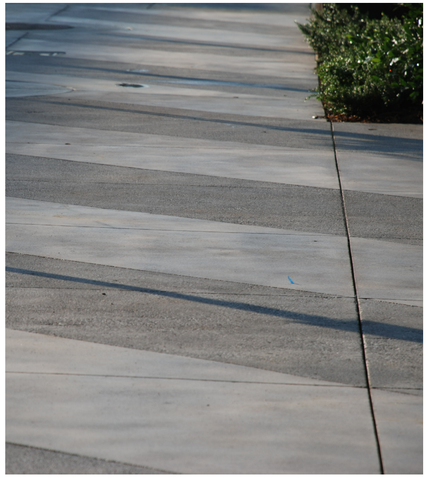

INTEGRAL COLORED CONCRETE PAVING WITH ALTERNATING FINISH

REFER TO CONSTRUCTION LEGEND SHEET L004

STAMPED ASPHALT WITH BAND

REFER TO CONSTRUCTION LEGEND SHEET L004

CONCEPT

WELDED WIRE MESH FENCE OVER DECORATIVE BLOCK RETAINING WALL

REFER TO CONSTRUCTION LEGEND SHEET L004

CONCEPT

TIMBER WOOD STEPS WITH DECORATIVE PEBBLES

CONCEPT

TALL ACCENT PLANTERS

TABLES AND CHAIRS WITH UMBRELLA

REFER TO CONSTRUCTION LEGEND SHEET L004

CONCEPT

TIMBER SEATWALL

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Site Furnishings (Ground Level & Courtyard)
L008

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LOUNGE SEATING AND TABLE

REFER TO CONSTRUCTION LEGEND SHEET L004

CONCEPT

STRING LIGHTS

DINING TABLE AND CHAIRS

REFER TO CONSTRUCTION LEGEND SHEET L004

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CONCRETE PAVERS ON VERSADJUST PEDESTALS

REFER TO CONSTRUCTION LEGEND SHEET L004

CONCEPT

TERRACE COUNTER AND BARSTOOLS

REFER TO CONSTRUCTION LEGEND SHEET L004

FIRE TABLE WITH LOUNGE SEATING

REFER TO CONSTRUCTION LEGEND SHEET L004

BAR TABLE AND CHAIRS

REFER TO CONSTRUCTION LEGEND SHEET L004

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Site Furnishings (Terrace)
L010

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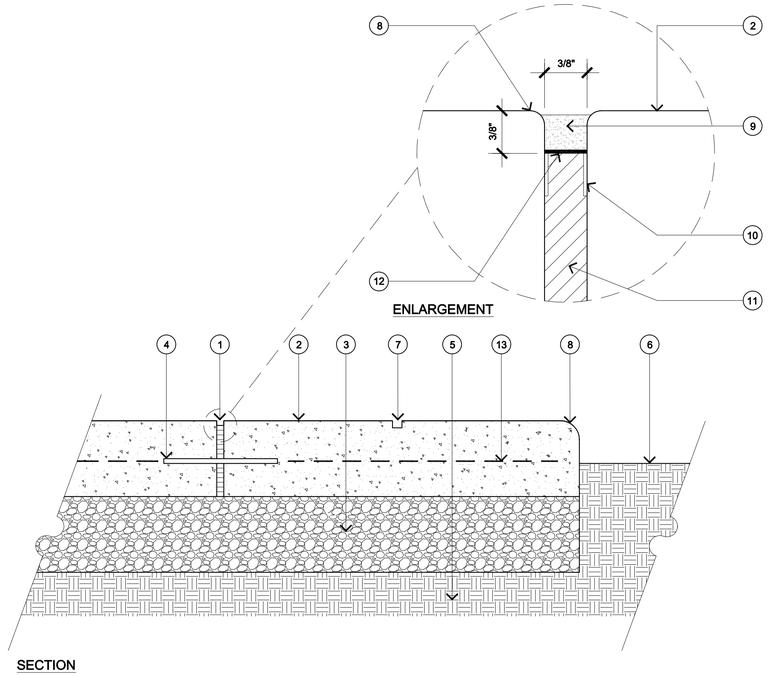


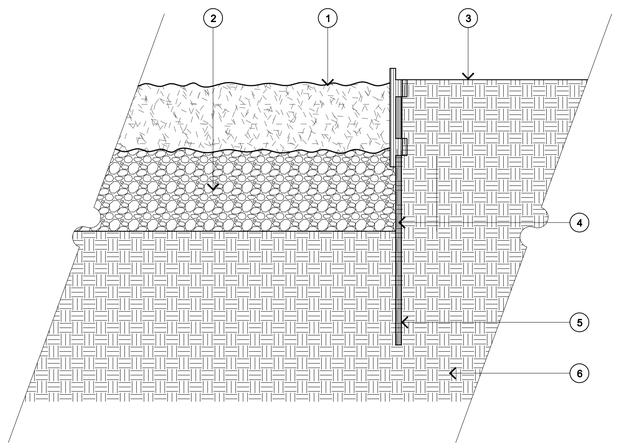
SECTION

1. 3/8" EXPANSION JOINT WITH SEALANT & BACKER ROD. EXPANSION JOINTS SHALL OCCUR EVERY 25' C.C. EACH WAY- REFER TO PLAN FOR LOCATIONS.
2. 4" THICK CONCRETE PAVING - REFER TO CONSTRUCTION LEGEND FOR COLOR AND FINISH
3. 4" THICK CLASS II AGGREGATE SUB BASE
4. #4 X 24" LONG DOWELS @ 24" O.C.
5. 90% COMPACTED SUB GRADE
6. FINISH GRADE AT PLANTING AREA 1" BELOW AT TURF AREAS, 2" AT SHRUB AND GROUNDCOVER AREAS
7. SAWCUT JOINT- 1" DEEP X 1/4" WIDE SAWCUT @ 12"C.C. EACH WAY, REFER TO PLANS FOR LOCATIONS (TYP.)
8. RADIUSED EDGE
9. SEALANT - ALSO INSTALL WHERE PAVING ABUTS TO BUILDING FOUNDATIONS.
10. PVC CAP
11. EXPANSION MATERIAL
12. BOND BREAKER TAPE
13. #3 REBAR @ 18" O.C. BOTH WAYS

NOTE:
CONCRETE MIX SHALL BE LOW SHRINK.

1 CONCRETE PAVING

SCALE : 3"=1'-0"



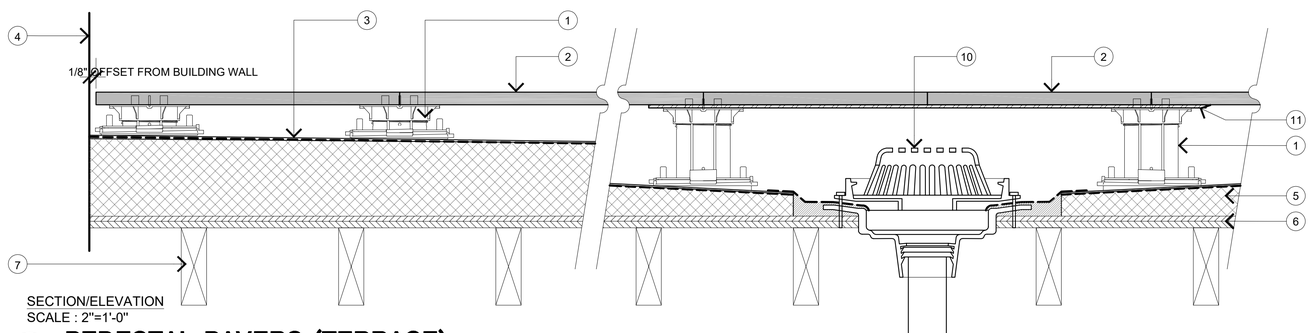
SECTION

1. 3" LAYER COMPACTED DECOMPOSED GRANITE WITH STABILIZER. SET FLUSH WITH TOP OF ADJACENT PAVING - SEE CONSTRUCTION LEGEND
2. 4" THICK LAYER OF CALTRANS CLASS II AB AT 95% RELATIVE COMPACTION TO BE MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND RE-COMPACTED TO 90% RELATIVE COMPACTION PER SOILS REPORT
3. FINISH GRADE (PLANTING AREA)
4. STEEL EDGING - SEE CONSTRUCTION LEGEND
5. 15" STEEL STAKE
6. COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT

2 DECOMPOSED GRANITE PAVING

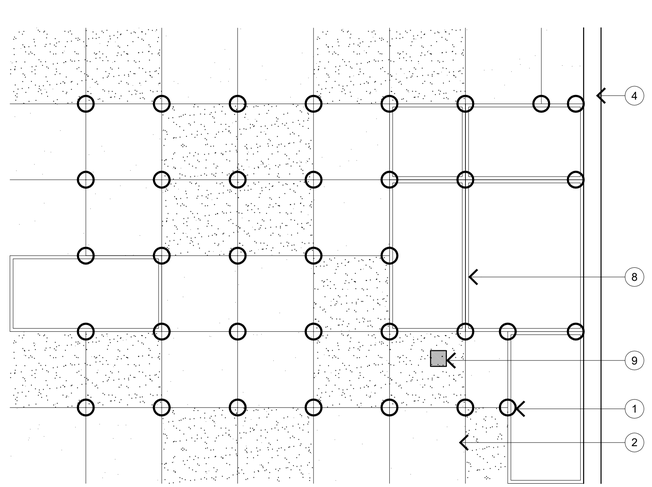
SCALE : 3"=1'-0"

1. BISON ADJUSTABLE PEDESTAL DECK SUPPORTS - REFER TO CONSTRUCTION LEGEND
2. CONCRETE PAVERS - REFER TO CONSTRUCTION LEGEND
3. TPO ROOFING MEMBRANE - REFER TO PLANS PREPARED BY KTGY
4. BUILDING EDGE
5. TAPERED RIGID INSULATION - REFER TO PLANS PREPARED BY KTGY
6. DECK SHEATHING - REFER TO PLANS PREPARED BY KTGY
7. BEAMS PER STRUCTURAL PLANS
8. PLANTER - REFER TO CONSTRUCTION LEGEND
9. PERGOLA POST
10. ROOF DRAIN - REFER TO PLANS PREPARED BY ARCHITECT
11. 1/4" STEEL PLACE PER BISON SPECIFICATIONS

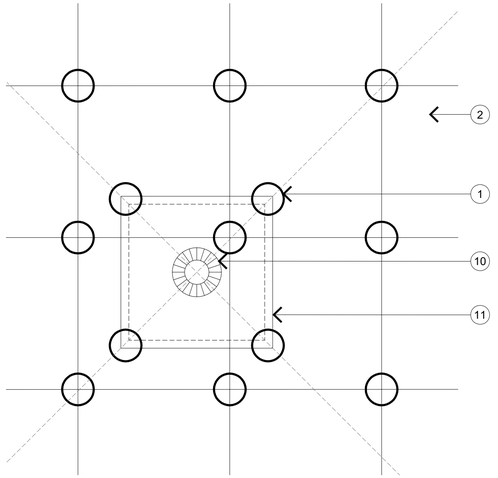


SECTION/ELEVATION
SCALE : 2"=1'-0"

3 PEDESTAL PAVERS (TERRACE)



TYPICAL PEDESTAL LOCATION PLAN
SCALE : 1/2"=1'-0"



TYPICAL PEDESTAL LOCATION PLAN AT DRAIN
SCALE : 1"=1'-0"

2001 TAROB COURT
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May 8, 2019

Construction Details (Ground Level, Courtyard, & Terrace)
L011

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IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.

2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.

3. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.

4. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.

5. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.

6. IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.

7. PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.

8. INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.

9. IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.

10. INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN

11. SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.

12. INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.

13. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.

14. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).

15. THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.

16. INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.

17. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.

18. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.

19. INSTALL NON POP-UP ROTARY SPRINKLERS 24" FROM WALKS AND CURBS.

20. LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.

21. LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.

22. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.

23. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.

24. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

25. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

26. IRRIGATION DEMAND: REFER TO PLANS.

27. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.

28. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.

29. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.

30. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
○ ⊖ ⊕	570Z-6P-PRX-COM/ O-T-15-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	2.3,1.16, 0.58	30	12–15
● ◒ ◔	570Z-6P-PRX-COM/ O-T-12-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	1.5,0.75,.37	30	10–12
◇ ⊖ ⊕	570Z-6P-PRX-COM/ O-T-10-F,H,Q	TORO POP-UP SPRAY SPRINKLER (TURF)	1.03,0.51, 0.23	30	8–10
ⓥ ▽ ▽	570Z-12P-PRX-COM/ O-T-15-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	2.3,1.16, 0.58	30	12–15
ⓥ ▽ ▽	570Z-12P-PRX-COM/ O-T-12-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	1.5,0.75,.37	30	10–12
▼ ▼ ▼	570Z-12P-PRX-COM/ O-T-10-F,H,Q	TORO POP-UP SPRAY SPRINKLER (SHRUB)	1.03,0.51, 0.23	30	8–10
◘	570S/FB-25-PC	TORO BUBBLER, 1 PER SHRUB	0.25	30	TRICKLE
■	570S/FB-50-PC	TORO BUBBLER, 2 PER TREE	0.5	30	TRICKLE
	T-YD-500-34	TORO AIR RELIEF VALVE			
	FCH-H-FIPT	TORO FLUSH VALVE			
	T-DL-MP9	TORO DRIP ZONE INDICATOR			
	P-220-26-6	TORO MASTER VALVE (NORMALLY CLOSED)			
	TFS-150	TORO FLOW SENSOR			
	P-220-26 SERIES	TORO REMOTE CONTROL VALVE			
	P220-27-04/ T-ALFD10150-L	TORO REMOTE CONTROL VALVE WITH A PRESSURE REGULATOR (SET TO 45 PSI) AND A 1" DISC FILTER			
	33 DNP	RAIN BIRD QUICK COUPLING VALVE			
	T113-K	NIBCO GATE VALVE (LINE SIZE)-2.5" AND SMALLER.			
	975XLSEU-2"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY			
	MC-30E/CL-R1	IRRITROL MC-E CONTROLLER IN A PEDESTAL ENCLOSURE WITH MAINTENANCE REMOTE. USE IN CONJUNCTION WITH CLIMATE LOGIC WEATHER SENSING SYSTEM.			
	CL-100-WIRELESS	IRRITROL CLIMATE LOGIC WEATHER SENSING SYSTEM. AUTOMATICALLY GATHERS ON-SITE WEATHER INFORMATION AND CALCULATES WATER REQUIREMENTS AND WATERING SCHEDULES.			

	CONTROLLER AND STATION NUMBER
	FLOW (GPM)
	REMOTE CONTROL VALVE SIZE (IN INCHES)
	ASSOCIATED REMOTE CONTROL VALVE
	CONTROLLER AND STATION NUMBER
	AREA (SQ. FT.)
	FLOW (GPM)
	REMOTE CONTROL VALVE SIZE (IN INCHES)
	ASSOCIATED REMOTE CONTROL VALVE
MAIN LINE:	2 1/2" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
LATERAL LINE:	3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
SLEEVING:	SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.
DRIP ZONE:	TORO DL2000 SERIES DRIPLINE WITH LOC-EZE FITTINGS, PART #RGP-212. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. MINIMUM PIPE SIZE OF PVC LATERAL LINE WITHIN DRIP AREAS TO BE 1". EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW. SEE DETAILS FOR FURTHER INFORMATION.
DRIP ZONE:	TORO BLUE STRIPE POLYETHYLENE HOSE. INSTALL ON-GRADE AS DETAILED. SEE DETAILS FOR INSTALLATION AND PART NUMBERS. INSTALL A END CLAMP AT THE END OF EACH DRIP ZONE REGION.
FLOW SENSOR/ MASTER CABLE:	APPROXIMATE ROUTING OF FLOW SENSOR AND MASTER VALVE WIRES IN SEPARATE 1" CONDUITS. REFER TO DETAILS FOR MORE INFORMATION.

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Irrigation Notes & Legend (Privately Maintained Landscape Areas)
L012

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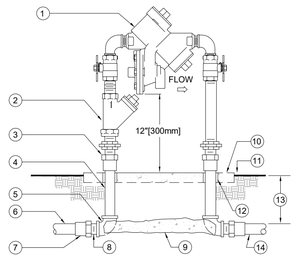


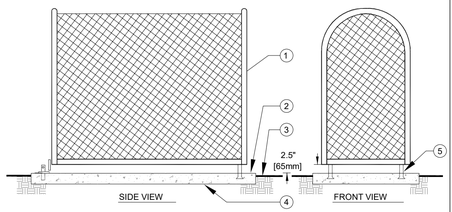
1. REDUCED PRESSURE BACKFLOW ASSEMBLY.
2. YB "Y" STRAINER SYSTEM (AS REQUIRED).
3. WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
4. COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
5. WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
6. PVC MAIN LINE TO POINT OF CONNECTION.
7. BUSH AS NECESSARY FOR SIZE TRANSITION.
8. SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
9. **CONCRETE SUPPORT BLOCK.**
10. CONCRETE PAD-SEE ENCLOSURE DETAIL.
11. FINISH GRADE.
12. PVC SLEEVE BOTH SIDES.
13. REFER TO IRRIGATION LEGEND
14. PVC MAIN LINE TO IRRIGATION SYSTEM.

NOTES:

1. **INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.**
2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.

1 REDUCED PRESSURE BACKFLOW ASSEMBLY

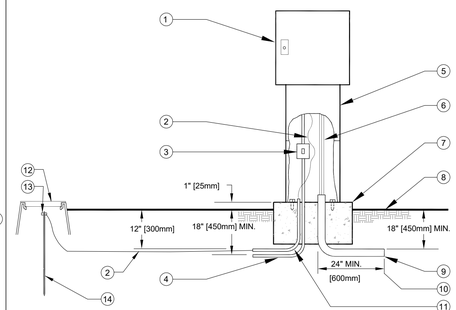
SCALE: NONE
DET: RPB-1



1. STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
2. SET PAD 1/2" [13MM] ABOVE FINISH GRADE
3. FINISH GRADE
4. 6" [150mm] THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" [150mm] BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
5. MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD. PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.

2 BACKFLOW ASSEMBLY ENCLOSURE

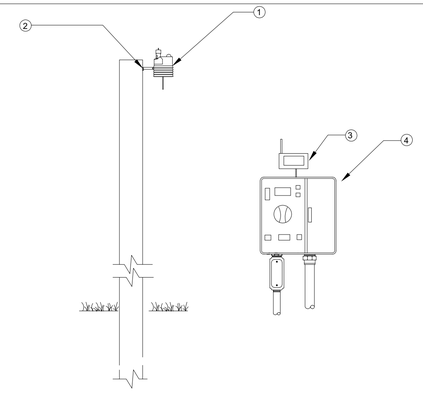
SCALE: NONE
DET: ENC-SMOOTH



1. IRRIGATION CONTROLLER.
2. #6 BARE COPPER GROUND WIRE.
3. 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
4. 120 VOLT A.C. ELECTRICAL SERVICE FROM SOURCE TO CONTROLLER LOCATION PROVIDED BY CONTRACTOR. IRRIGATION CONTRACTOR TO PROVIDE RIGID STEEL CONDUIT FROM SERVICE STUB-OUT TO CONTROLLER GCFI SWITCH AND COMPLETE ELECTRICAL SERVICE TO CONTROLLER.
5. PEDESTAL ENCLOSURE.
6. LOW VOLTAGE CONTROL WIRING.
7. **CONCRETE PAD-6" [150mm] THICK (MIN.) EXTEND 6" [150mm] BEYOND EACH SIDE AND BACK, 24" [600mm] IN FRONT AND 1" [25mm] ABOVE FINISH GRADE.**
8. FINISH GRADE.
9. **SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT WITH SWEEP ELL FOR LOW VOLTAGE WIRE.**
10. 24" MIN. [600mm] AND OR 12" [300mm] BEYOND HARDSCAPE.
11. 1 1/2" [40mm] PVC SWEEP ELL FOR GROUND WIRE.
12. 6" ROUND BLACK PLASTIC BOX WITH T-LID FOR GROUND ROD.
13. CADWELD CONNECTIONS
14. 8' LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 10' AWAY FROM CONTROLLER.

3 CONTROLLER - PEDESTAL MOUNT

SCALE: NONE
DET: PED-CONT

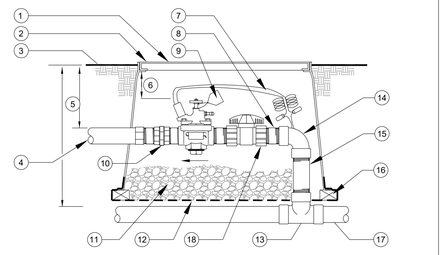


NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY..

1. WIRELESS CLIMATE SENSOR TRANSMITTER
2. SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
3. SENSOR RECEIVER
4. CONTROLLER

4 WIRELESS WEATHER SENSOR

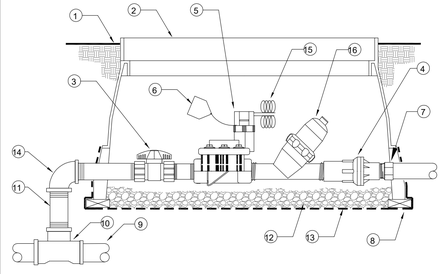
SCALE: NONE
DET: CL-W



1. REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
2. USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
3. FINISH GRADE.
4. PVC LATERAL LINE.
5. REFER TO IRRIGATION SPECS.
6. 3" [75mm] MIN, 6" [150mm] MAX.
7. VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3' [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
8. SCHEDULE 80 PVC NIPPLE (4 TOTAL).
9. VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
10. SCHEDULE 80 PVC THREADED UNION.
11. **PEA GRAVEL OR 3/4" DRAIN ROCK- 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).**
12. 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
13. UPC APPROVED SCHEDULE 40 PVC TEE.
14. SCHEDULE 80 PVC 90° ELBOW (TxT).
15. SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
16. BRICK-1 EACH CORNER.
17. PVC MAIN LINE.
18. SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

5 REMOTE CONTROL VALVE

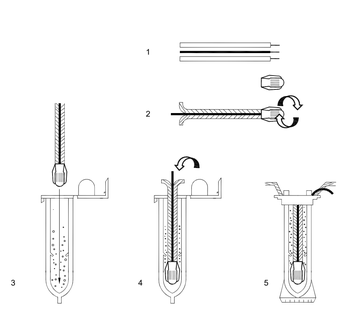
SCALE: NONE
DET: RCV-UN-BV



1. FINISH GRADE
2. JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
3. SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
4. PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
5. REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
6. VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
7. SCHEDULE 40 MALE ADAPTER
8. BRICK-1 EACH CORNER.
9. PVC MAIN LINE.
10. UPC APPROVED SCHEDULE 40 PVC TEE.
11. SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
12. **PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).**
13. 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
14. SCHEDULE 80 PVC 90° ELBOW (TxT).
15. VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3' [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
16. Y-FILTER (INCLUDED IN DRIP ZONE KIT)

6 REMOTE CONTROL VALVE (DRIPZONE)

SCALE: NONE
DET: RCV-FILTER4

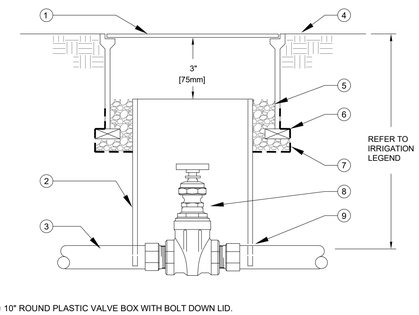


INSTRUCTIONS:

1. STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

7 WEATHERPROOF WIRE SPLICE ASSEMBLY

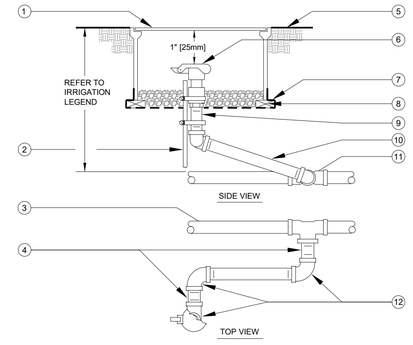
SCALE: NONE
DET: WIRE-SPL



1. 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
2. 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
3. PVC MAIN LINE.
4. FINISH GRADE.
5. PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
6. BRICK-2 TOTAL.
7. 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
8. GATE VALVE.
9. MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.

8 GATE VALVE

SCALE: NONE
DET: SGVD

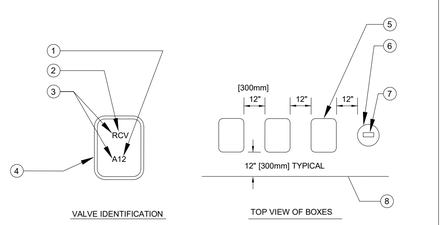


1. 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
2. 1 1/4" x 1 1/4" x 3/16" [30mm x 30mm x 5mm] ANGLE IRON 30" [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
3. PVC MAIN LINE.
4. 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
5. FINISH GRADE.
6. QUICK COUPLING VALVE.
7. 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
8. BRICK - 2 TOTAL.
9. SCHEDULE 80 PVC THREADED NIPPLE.
10. 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
11. UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
12. SCHEDULE 80 PVC THREADED 90° ELL.

NOTE:
NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

9 QUICK COUPLING VALVE

SCALE: NONE
DET: QUICK-C2



1. CONTROLLER AND STATION
2. VALVE TYPE
3. HEAT BRAND LETTERS AND NUMBERS INTO LID.
4. VALVE BOX COVER
5. RECTANGULAR VALVE BOX
6. ROUND VALVE BOX FOR QCV AND GATE VALVE.
7. HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
8. EDGE OF LAWN, WALK, FENCE, CURB, ETC.

INSTRUCTIONS:

1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" [25mm] ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

10 VALVE BOX INSTALLATION

SCALE: NONE
DET: VALVE-B1

2001 TAROB COURT
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L013

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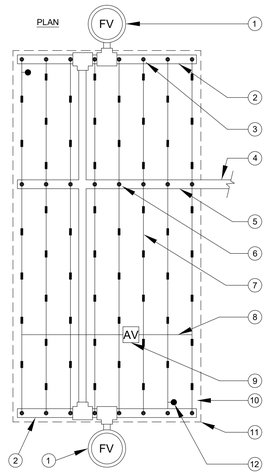
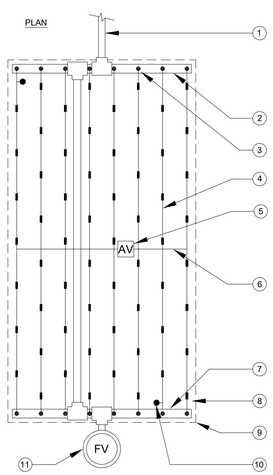


1. AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
2. PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
3. MANIFOLD-TO-ELBOW CONNECTION (TYP).
4. PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
5. PVC SUPPLY MANIFOLD.
6. MANIFOLD-TO-TEE CONNECTION.
7. DRIPLINE LATERAL.
8. AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM.
9. AIR/VACUUM RELIEF PLUMBED TO BLANK POLY TUBING AT EACH HIGH POINT.
10. PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
11. AREA PERIMETER.
12. DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.

NOTE:
1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

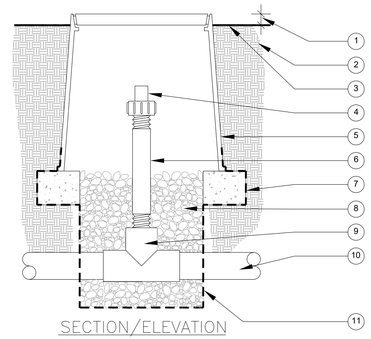
1 TORO DL 2000 CENTER FEED LAYOUT
SCALE: NONE



1. PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
2. PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
3. MANIFOLD-TO-ELBOW CONNECTION (TYP).
4. DRIPLINE LATERAL.
5. AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" [16mm] TUBING AT EACH HIGH POINT.
6. AIR/VACUUM RELIEF LATERAL, BLANK 5/8" [16mm] POLY TUBING CENTERED ON MOUND OR BERM.
7. PVC FLUSH MANIFOLD.
8. PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
9. AREA PERIMETER.
10. DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONES.
11. AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.

NOTE:
1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

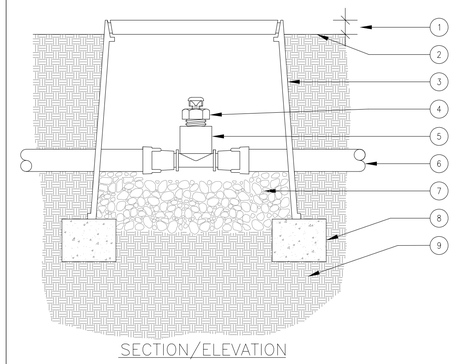
2 TORO DL 2000 END FEED LAYOUT
SCALE: NONE



1. 1" [25mm] ABOVE FINISH GRADE.
2. NATIVE SOIL.
3. FINISH GRADE.
4. FLUSH VALVE.
5. ROUND PLASTIC VALVE BOX. REFER TO IRRIGATION SPECS FOR BOX SIZE. HEAT BRAND "FV" ON LID IN 2" [50mm] HIGH CHARACTERS.
6. 3/4" [20mm] SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
7. BRICK - 2 TOTAL
8. PEA GRAVEL 18" (450mm) DEEP.
9. PVC TEE (SxSxT) WITH 3/4" [20mm] THREADED OUTLET.
10. PVC PIPING.
11. 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.

NOTE:
USE ONE FLUSH VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT LOW POINTS. FLUSH RATE IS 0.8 GPM. FLUSH PRESSURE IS 2 PSI.

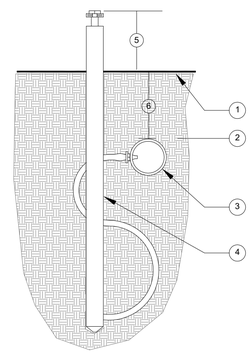
3 TORO DL 2000 FLUSH VALVE (PVC TEE)
SCALE: NONE



1. 1" ABOVE FINISH GRADE.
2. FINISH GRADE.
3. 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
4. TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
5. TORO LOC-EZE X 1/2" FPT TEE (FTF16).
6. TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
7. PEA GRAVEL SUMP (6" DEEP).
8. BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
9. NATIVE SOIL PER SPECIFICATIONS.

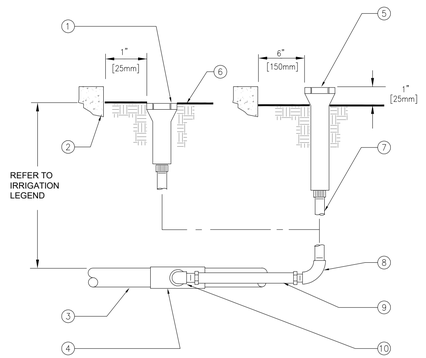
NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.

4 TORO DL 2000 AIR VACUUM RELIEF VALVE
SCALE: NONE



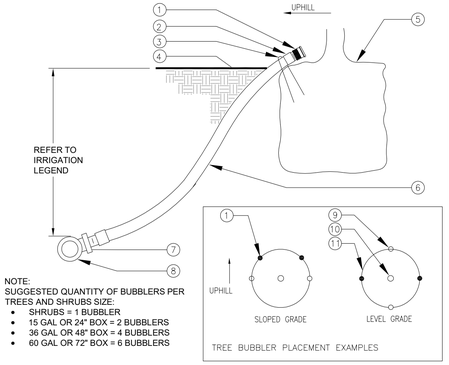
1. FINISH GRADE.
2. SOIL BACKFILL.
3. DRIPLINE.
4. OPERATION INDICATOR. USE ONE PER ZONE AND LOCATED AT FLUSH END OF ZONE.
5. 2"-3" [50mm - 75mm] ABOVE FINISH GRADE.
6. REFER TO IRRIGATION LEGEND.

5 TORO DL 2000 OPERATION INDICATOR
SCALE: NONE



1. POP-UP LAWN SPRAY SPRINKLER
2. WALL, WALK, CURB OR BUILDING
3. PVC LATERAL LINE
4. UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
5. POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
6. FINISH GRADE
7. 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
8. 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
9. 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
10. 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

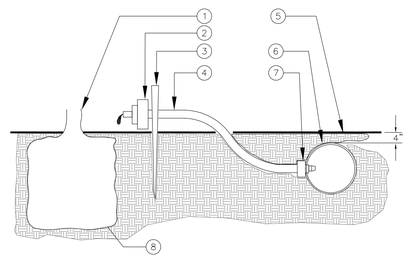
6 POP-UP SPRAY SPRINKLER RISER
SCALE: NONE
DET: SHI/W-POPSP



NOTE:
SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:
- SHRUBS = 1 BUBBLER
- 15 GAL OR 24" BOX = 2 BUBBLERS
- 36 GAL OR 48" BOX = 4 BUBBLERS
- 60 GAL OR 72" BOX = 6 BUBBLERS

1. BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
2. 1/2" [13mm] SCH. 40 MALE ADAPTER.
3. 6" [150mm] STEEL STAPLE.
4. FINISH GRADE.
5. TREE OR SHRUB ROOTBALL.
6. 1/2" [13mm] IPS FLEXIBLE PVC.
7. PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
8. PVC LATERAL LINE.
9. TREE STAKES.
10. TREE OR SHRUB.
11. EDGE OF ROOTBALL (TYPICAL).

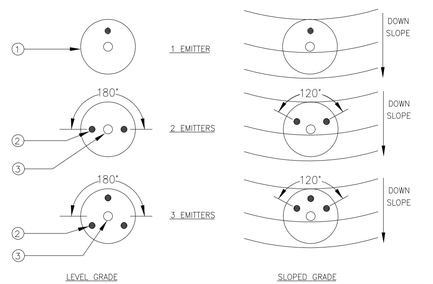
7 TREE AND SHRUB BUBBLER
SCALE: NONE
DET: TREE-SBUB



NOTE:
TO INSERT BARBED CONNECTOR INTO POLYETHYLENE TUBING, USE INSERTION TOOL. WHERE POLYETHYENE TUBING CAN BE PLACED ADJACENT TO SHRUB ROOTBALL, A BARBED EMITTER MAY BE INSTALLED DIRECTLY INTO POLYETHYENE TUBING AND DISTRIBUTION TUBING ELIMINATED. POINT OF WATER EMISSION FROM BARBED EMITTER MUST DRIP WATER DIRECTLY ON ROOTBALL.

1. SHRUB STEM.
2. EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
3. TUBING SUPPORT STAKE (SALCO DTS-200-400)
4. 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
5. FINISH GRADE.
6. SALCO PVC FLEX HOSE. INSTALL 4" [100mm] BELOW FINISH GRADE.
7. BARBED MALE ADAPTER.
8. EDGE OF ROOTBALL.

8 SALCO FLEX TUBING EMITTER PLACEMENT
SCALE: NONE
DET: SALCO-BELOW



1. EDGE OF ROOTBALL (TYPICAL)
2. EMITTER OR DISTRIBUTION TUBE OUTLET (TYPICAL)
3. SHRUB STEM (TYPICAL)

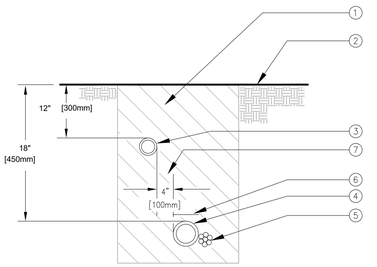
EMITTER SCHEDULE

PLANT SIZE	EMITTER SPECIFACATION	FLOW (GPH)/PER EMITTER OR OUTLET	QUANTITY OF EMITTERS PER SHRUB/TREE
1 GALLON SHRUBS	USE SLV-PS-CV-1	1 GPH	2
5 GALLON SHRUBS	USE SLV-PS-CV-2	2 GPH	2
15 GALLON	USE SLV-PS-CV-2	2 GPH	3

MAXIMUM AMOUNT OF FLOW PER DRIP TUBING RUN IS 240 GPH

9 SALCO EMITTER PLACEMENT AND SCHEDULE
DET: EMITTER-PL/SCH

NOTES:
1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.



1. CLEAN BACKFILL MATERIAL.
2. FINISH GRADE.
3. LATERAL LINE.
4. MAIN LINE.
5. LOW VOLTAGE CONTROL WIRE. TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
6. DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE.
7. TYPICAL DISTANCE BETWEEN PIPES.

10 TRENCHING
SCALE: NONE
DET: TRENCH

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Irrigation Details (Privately Maintained Landscape Areas, Ground Level & Courtyard)
L014

The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
925.824.4300

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
201 4th street suite 101B, oakland, ca 94607
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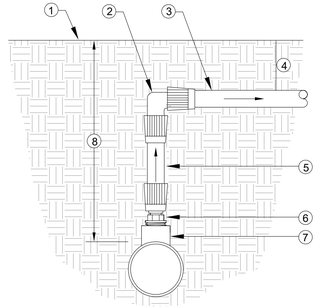
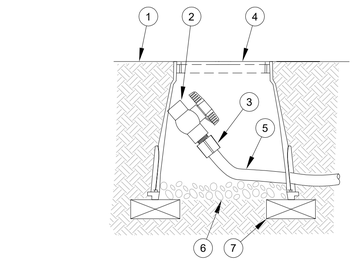


SECTION/ELEVATION
NOT TO SCALE

1. FINISH GRADE
2. TORO TRI-LOC ELBOW (TL-E)
3. DRIPLINE TUBING
4. DEPTH OF TUBING PER IRRIGATION LEGEND.
5. TORO BLUE STRIPE POLY TUBING (EHD1645)
6. TORO TRI-LOC MPT ADAPTER (TL-M50)
7. SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
8. DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND

1 DRIPLINE MANIFOLD TO ELBOW CONNECTION

SCALE: NONE

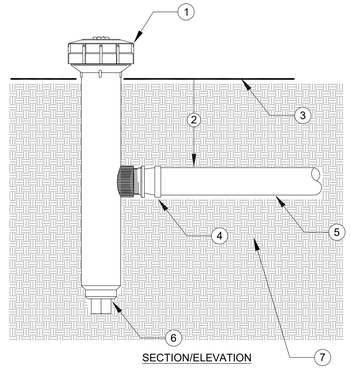


NOTE:
ALLOW A MINIMUM OF PVC HOSE IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

1. FINISH GRADE
2. 1/2" SCH 40 THREADED BALL VALVE.
3. 1/2" SCH 40 MALE ADAPTER.
4. 6" ROUND PLASTIC VALVE BOX.
5. 1" IPS PVC HOSE FROM EXHAUST HEADER.
6. PEA GRAVEL SUMP (6" DEEP).
7. BRICK (1 OF 2)

2 DRIPLINE-FLUSH POINT

SCALE: NONE

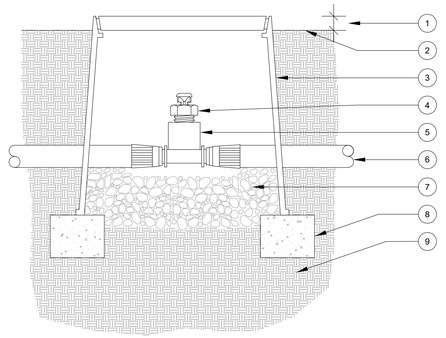


SECTION/ELEVATION

1. TORO 6" POP UP SPRINKLER WITH SIDE INLET (MODEL 570Z-6P-SI-PRX WITH 5' PRECISION NOZZLE (MODEL O-T-5-QP) TURNED COMPLETELY OFF WITH ADJUSTMENT SCREW. SPRINKLER SHALL OPERATE AS THE DRIPLINE INDICATOR. USE A MINIMUM OF ONE PER ZONE AND LOCATED AT END OF ZONE.
2. DEPTH OF DRIPLINE. REFER TO IRRIGATION LEGEND.
3. FINISH GRADE.
4. TORO TRI-LOC X 1/2" MPT ADAPTER (TL-M50)
5. DRIPLINE.
6. KEEP PLUG IN SPRINKLER. ONLY USE SIDE INLET.
7. SOIL BACKFILL.

3 DRIPLINE OPERATION INDICATOR

SCALE: NONE



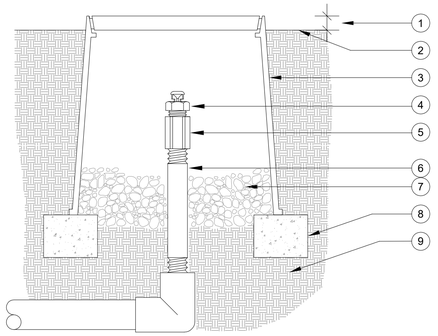
SECTION/ELEVATION

NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.

1. 1" ABOVE FINISH GRADE.
2. FINISH GRADE.
3. 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
4. TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
5. TORO TRI-LOC TEE X 1/2" FPT ADAPTER (TL-T-F50)
6. TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
7. PEA GRAVEL (4" DEEP).
8. BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
9. NATIVE SOIL PER SPECIFICATIONS.

4 AIR VACUUM RELIEF VALVE IN DRIPLINE

SCALE: NONE



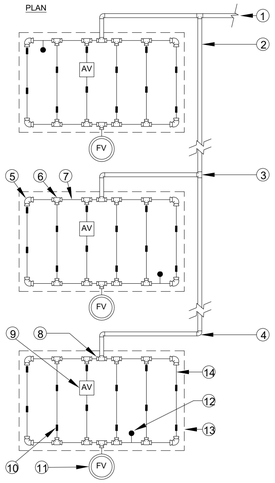
SECTION/ELEVATION

NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.

1. 1" ABOVE FINISH GRADE.
2. FINISH GRADE.
3. 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
4. TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
5. 1/2" SCH 40 PVC COUPLING (TxT)
6. 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
7. PEA GRAVEL (4" DEEP).
8. BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
9. NATIVE SOIL PER SPECIFICATIONS.

5 AIR VACUUM RELIEF VALVE ON PVC ELL

SCALE: NONE

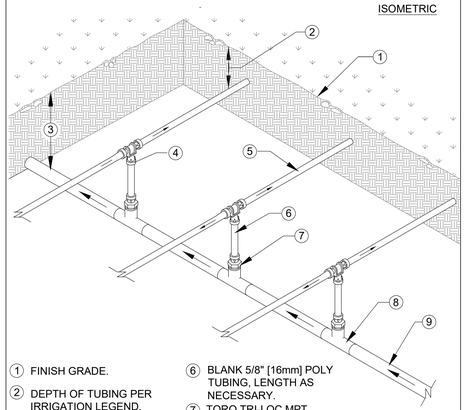


NOTE:
1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

1. PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
2. PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
3. PVC TEE (SxSxS).
4. PVC ELL (SxS).
5. TORO TRI-LOC ELL (TL-E).
6. TORO TRI-LOC TEE (TL-T).
7. BLANK 5/8" [16mm] POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
8. REFER TO DRIPLINE TO PVC CONNECTION DETAIL.
9. AIR/VACUUM RELIEF VALVE PLUMBED TO TUBING AT HIGH POINT.
10. DRIPLINE LATERAL.
11. MANUAL FLUSH VALVE PLUMBED TO TUBING AT LOW POINT.
12. DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
13. ISLAND PERIMETER.
14. PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.

6 TORO DL 2000 PLANTER LAYOUT

SCALE: NONE



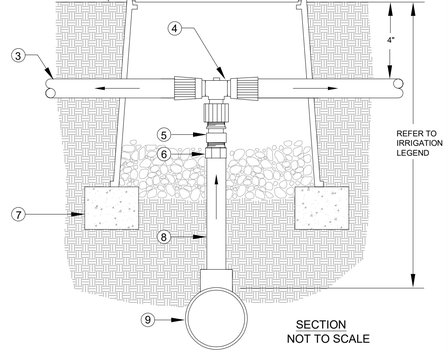
ISOMETRIC

1. FINISH GRADE.
2. DEPTH OF TUBING PER IRRIGATION LEGEND.
3. DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
4. TORO TRI-LOC TEE (TL-T)
5. DRIPLINE TUBING.
6. BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
7. TORO TRI-LOC MPT ADAPTER (TL-M50)
8. PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
9. PVC LATERAL LINE FROM REMOTE CONTROL VALVE.

NOTE:
THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.

7 TORO DL 2000 CENTER FEED MANIFOLD

SCALE: NONE



SECTION
NOT TO SCALE

1. FINISH GRADE
2. CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
3. DRIPLINE TUBING
4. TORO TRI-LOC TEE X 1/2" FPT ADAPTER
5. TORO 1/2" CHECK VALVE (PCV-500)
6. 1/2" SCH 40 MALE ADAPTER.
7. BRICK (1 OF 2)
8. 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
9. PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x1/2" TEE OR 90° ELBOW.

8 DRIPLINE TO PVC CONNECTION

SCALE: NONE

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Irrigation Details (Privately Maintained Landscape Areas, Terrace)

L015

The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
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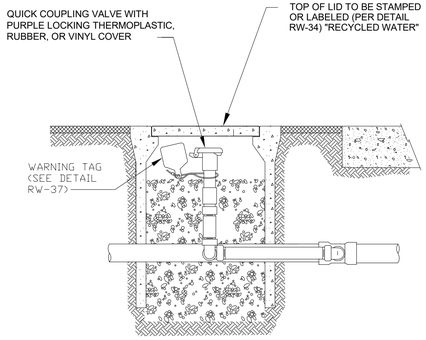
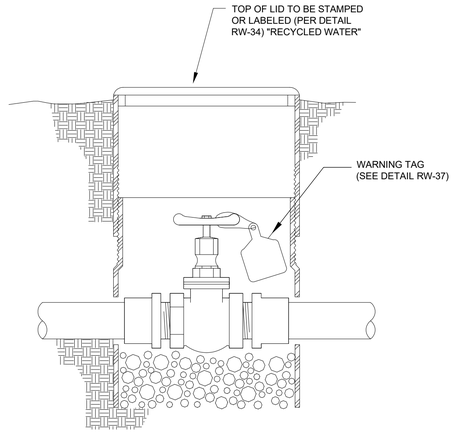
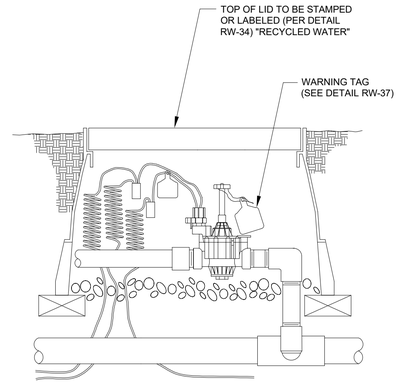


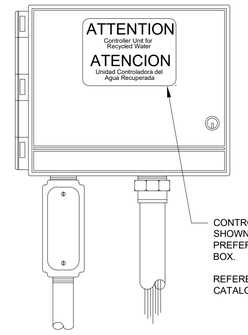
IDENTIFICATION OF QUICK COUPLING VALVE WITH WARNING TAG



IDENTIFICATION OF ISOLATION GATE VALVE (3" OR SMALLER) WITH WARNING TAG



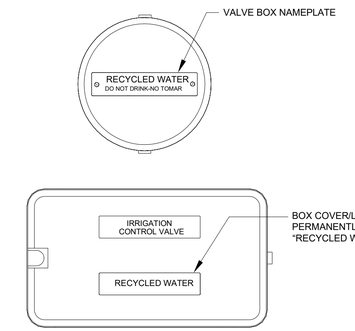
IDENTIFICATION OF REMOTE CONTROL VALVE WITH WARNING TAG



CONTROLLER BOX MARKER DECAL - SHOWN AFFIXED TO BOX EXTERIOR; PREFERABLY, AFFIX TO INTERIOR OF BOX.

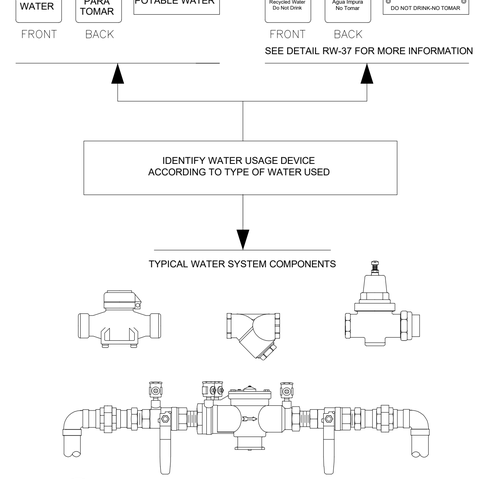
REFERENCE: T. CHRISTY ENTERPRISES, INC. CATALOG PART NO. 4100 OR EQUAL

IDENTIFICATION OF IRRIGATION SYSTEM CONTROLLER WITH ADVISORY WARNING DECAL

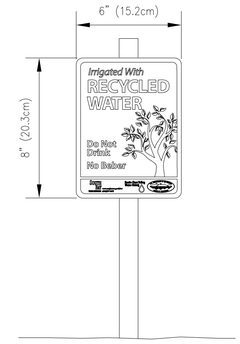


IRRIGATION BOX COVERS/LIDS SHALL PERMANENTLY READ "RECYCLED WATER." FOR PLASTIC BOX COVERS/LIDS, LETTERING SHALL BE IMPRINTED ON LID OR APPLIED USING A NAMEPLATE ATTACHED ONTO THE COVER/LID WITH RIVETS, SCREWS, OR BOLTS. FOR CONCRETE COVERS/LIDS, LETTERING SHALL BE IMPRINTED ON LID FROM FACTORY. FOR CAST IRON AND METAL CHECKER PLATE COVERS/LIDS, LETTERING MUST BE BEAD-WELDED OR PERMANENTLY STAMPED ONTO LID.

IDENTIFICATION OF IRRIGATION BOX COVERS/LIDS WITH "RECYCLED WATER"



IDENTIFICATION OF WATER CONTROL DEVICES WITH WARNING TAG



MOUNT SIGN SO THAT IT CLEARS HEIGHT OF SURROUNDING PLANTS WHEN THEY MATURE

APPROVED SIGNS MAY BE OBTAINED FROM SOUTH BAY WATER RECYCLING CONTACT (408) 277-3671 FOR MORE INFORMATION

RECYCLED WATER ADVISORY SIGN

SAMPLE WARNING TAG. BACKGROUND PURPLE (PANTONE 512) WITH BLACK LETTERING.

IDENTIFICATION OF RECYCLED WATER WARNING TAG

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Irrigation Details (Publicly Maintained Landscape Areas)
L016

The True Life Companies
12647 Alcosta Blvd., Suite 470 San Ramon CA 94583
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Brentwood, CA 94513
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PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	EXPOSURE	COMMENTS	WUCOLS
STREET TREES:					
PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	SUN	STANDARD	M
NARROW EVERGREEN TREES:					
ARBUTUS 'MARINA'	NCN	24" BOX	N/A	STANDARD	M
MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	MAGNOLIA	36" BOX	SUN/SHADE	STANDARD	M
MAGNOLIA 'LITTLEL GEM'	LITTLE GEM MAGNOLIA	24" BOX	N/A	STANDARD	L
TRISTANIA LAURINA	NCN	24" BOX	N/A	STANDARD	L
ACCENT TREES:					
AGONIS 'AFTERDARK'	NCN	24" BOX	N/A	STANDARD	M
SMALL FLOWERING ACCENT TREES:					
CHIONANTHUS RETUSUS	NCN	24" BOX	SUN/SHADE	STANDARD	L
CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	24" BOX	N/A	STANDARD	M
LAGERSTROEMIA INDICA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	SUN	STANDARD	L
MALUS SPECIES	CRABAPPLE	24" BOX	SUN	STANDARD	L
FOUNDATION SHRUBS:					
COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GALLON	SUN		L
CORREA SPECIES	AUSTRALIAN FUCHSIA	5 GALLON	SUN/ PART SHADE		L
HIMALAYACALAMUS FALCONERI 'DAMARAPA'	CANDY STRIPE BAMBOO	5 GALLON	SUN/ PART SHADE		L
LOROPETALUM CHINESE	NCN	5 GALLON	PART SHADE		M
RAPHIOLEPIS INDICA 'SPRING RAPTURE'	INDIAN HAWTHORN	5 GALLON	SUN/ PART SHADE		L
ROSMARINUS 'BLUE SPIRES'	UPRIGHT ROSEMARY	5 GALLON	SUN/ PART SHADE		L
OSMANTHUS FRAGRENS	NCN	5 GALLON	SUN/ PART SHADE		L
INTERMEDIATE SHRUBS:					
CORREA SPECIES	AUSTRALIAN FUCHSIA	5 GALLON	SHADE/SUN		L
DIETES VEGETA	FORTNIGHT LILY	5 GALLON	SHADE/SUN		L
LIROPE GIGANTEA	LIRIOPE	5 GALLON	SHADE/SUN		L
NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GALLON	SHADE/SUN		M
PHORMIUM SPECIES	NEW ZEALAND FLAX	5 GALLON	SUN		L
PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	PITTOSPORUM	5 GALLON	SUN/SHADE		L
ROSA SPECIES	SHRUB ROSE	5 GALLON	SUN		M
LAVANDULA SPECIES	LAVENDER	5 GALLON	SUN		L
FOREGROUND SHRUBS:					
AGAPANTHUS SPECIES	LILY OF THE NILE	1 GALLON	SHADE/SUN		M
HEMEROCALLIS HYBRIDS 'ORANGE/YELLOW MIX 50/50'	EVERGREEN DAYLILY	1 GALLON	SUN		M
KNIPHOFIA	RED-HOT POKER	1 GALLON	SUN		L
LAVANDULA 'MUNSTEAD'	ENGLISH LAVENDER	1 GALLON	SUN		L
LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY	1 GALLON	SHADE		M
ANIGOZANTHOS	KANGAROO PAW	1 GALLON	SUN		L
PHORMIUM SPECIES (DWARF)	NEW ZEALAND FLAX	1 GALLON	SUN		L
SEDUM SPECIES	NCN	1 GALLON	SUN		L
SENECIO SPECIES	NCN	1 GALLON	SUN		L
CAREX SPECIES	CAREX	1 GALLON	SUN/SHADE		L
PITTOSPORUM SPECIES	TOBIRA	5 GALLON	SUN		L
GROUNDCOVERS:					
GREVILLEA LANIGERA 'COASTAL GEM'	NCN	1 GALLON	SUN/SHADE		L
ROSA 'PEACH DRIFT'	PEACH DRIFT	2 GALLON	SUN		M
ROSA 'PINK DRIFT'	PINK GROUNDCOVER ROSE	2 GALLON	SUN		L
ZAUSCHNERIA SPECIES	CALIFORNIA FUCHSIA	1 GALLON	SUN		L
GRASSES:					
CALOMOGROTIS SPECIES	REED GRASS	1 GALLON	SUN		L
FESTUCA MAIREI	ATLAS FESCUE	1 GALLON	SUN		L
LOMANDRA	LOMANDRA	1 GALLON	SUN		L
MUHLENBERGIA SPECIES	DEER GRASS	1 GALLON	SUN		L
PENNISETUM SPECIES	FOUNTAIN GRASS	1 GALLON	SUN		L
VINES:					
FICUS PUMILA	CREEPING FIG	5 GALLON	SUN/SHADE		M
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GALLON	SUN/SHADE		M
JASMINUM SPECIES	JASMINE	5 GALLON	SUN/SHADE		M
STORM WATER TREATMENT SHRUBS AND GRASSES:		1 GALLON	MIX EVENLY		

SPECIES/COMMON NAME

ARISTIDA PURPUREA - PURPLE THREE-AWN
BOUTELOUA GRACIS - BLUE GRAMA
CAREX TEMULICOLA - BERKELEY SEDGE
CHONDROPETALUM TECTORUM - CAPE RUSH
JUNCUS PATENS - BLUE RUSH
LEYMUS CONDENSATUS - GIANT WILD RYE
MELICA CALIFORNICA - CALIFORNIA MELIC
MIMULUS SPECIES - MONKEY FLOWER

NOTE:

SEVERAL TREE SPECIES ARE LISTED PER TREE TYPE TO ALLOW FOR FLEXIBILITY IN THE EVENT THAT A SPECIFIC SPECIES IS UNAVAILABLE AT INSTALLATION OR PLANTING AREA IS LIMITED BY UTILITIES. NOT ALL SPECIES OF TREES, SHRUBS, GROUNDCOVERS OR GRASS WILL BE PROPOSED FOR CONSTRUCTION DOCUMENTS.

MINIMUM TREE CLEARANCE NOTE:
1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
4. 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
5. 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.

WATER CONSERVATION CONCEPT STATEMENT:
THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE FOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURN AND GROUNDCOVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAN 5,000 S.F. SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL, HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUNDCOVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND RPESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT A MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM SHALL INCORPORATE PRESSURE COMPESATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

WATER USE RATING LEGEND:
EBMUD CATEGORIES OF WATER NEEDS FROM:
PLANTS & LANDSCAPES FOR SUMMER DRY CLIMATES OF THE SAN FRANCISCO BAY REGION BY THE EAST BAY MUNICIPAL UTILITY DISTRICT, 2004

MOD	MODERATE WATER
OCC	OCCASIONAL WATER
INF	INFREQUENT WATER
NONE	NO ADDITIONAL WATER

WUCOLS III CATEGORIES OF WATER NEEDS FROM:
UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, UNITED STATES BUREAU OF RECLAIMATION

H	HIGH
M	MODERATE
L	LOW
VL	VERY LOW

CALIFORNIA NATIVE PLANTS (CNP) FOR THE GARDEN BY CAROL BORNSTEIN, DAVID FROSS, BART O'BRIEN

MOD	MODERATE WATER
OCC	OCCASIONAL WATER
INF	INFREQUENT WATER

ON-SITE	TOTAL PLANTS	SUBTOTAL PLANTS WITH OCC/INF/NONE/ LOW/VERY LOW WATER REQUIREMENTS
PERCENTAGE OF PLANTS MEETING LOW WATER REQUIREMENTS: 94.7% MORE THAN 75% REQUIRED		

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Proposed Plant Palette
L017

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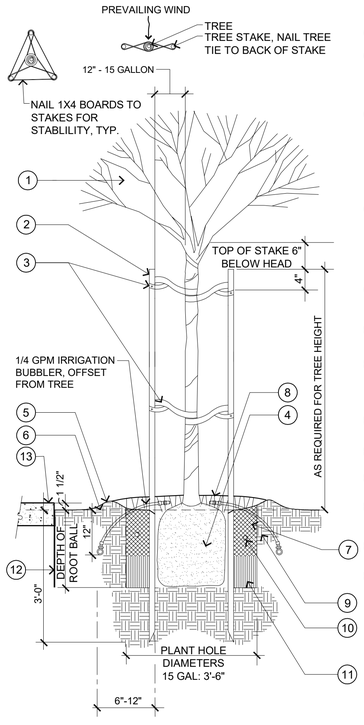
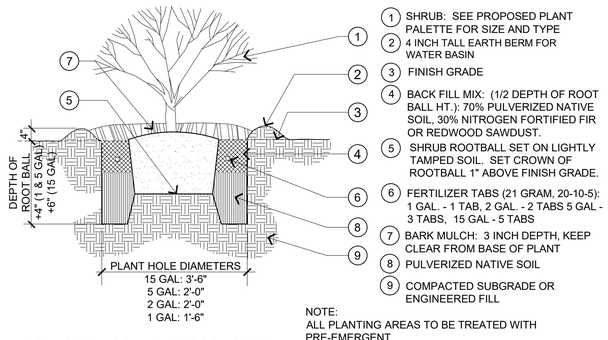


1 TREE: SEE PROPOSED PLANT PALETTE FOR SIZE AND TYPE
2 LODGE POLE PINE TREE STAKES: 3"X10' LONG TREE STAKES FOR WINDY CONDITIONS AND 36" BOX AND LARGER TREES
3 TREE TIE: WONDER TREE-TIE(800-910-2810) MODEL# W14-46, W24-84 OR APPROVED EQUAL. LOOP IN A FIGURE EIGHT AND NAIL TO BACK OF STAKE WITH GALVANIZED THREADED NAILS. ALLOW 3 INCHES OF MOVEMENT OF TREE IN ALL DIRECTIONS.
4 TREE ROOTBALL SET ON 12" LAYER UNDISTURBED NATIVE SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES. TAMP SOIL TO 85% RELATIVE COMPACTION. SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
5 4 INCH TALL EARTH BERM FOR WATER BASIN:
6 FINISH GRADE, SET 3" BELOW FINISH SURFACE.
7 BACK FILL MIX: (TOP 12 INCHES ONLY): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
8 BARK MULCH: 3 INCH DEPTH, KEEP CLEAR FROM TRUNK OF TREE
9 NATIVE SOIL
10 FERTILIZER TABS (21 GRAM, 20-10-5): 15 GALLON - 4 TABS
11 PLANTING HOLE, PULVERIZED NATIVE SOIL BELOW 12 INCHES FROM FINISHED GRADE; SCARIFY WALLS
12 ROOT BARRIER
13 PAVING - SEE PLAN

PLANTING NOTES:
1. ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.

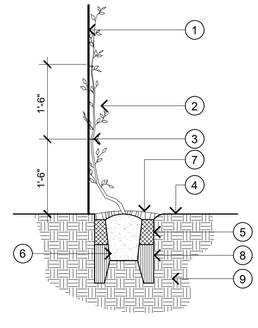
1 TREE STAKING
N.T.S.



1 SHRUB: SEE PROPOSED PLANT PALETTE FOR SIZE AND TYPE
2 4 INCH TALL EARTH BERM FOR WATER BASIN
3 FINISH GRADE
4 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HT.): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
5 SHRUB ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
6 FERTILIZER TABS (21 GRAM, 20-10-5): 1 GAL. - 1 TAB, 2 GAL. - 2 TABS 5 GAL - 3 TABS, 15 GAL - 5 TABS
7 BARK MULCH: 3 INCH DEPTH, KEEP CLEAR FROM BASE OF PLANT
8 PULVERIZED NATIVE SOIL
9 COMPACTED SUBGRADE OR ENGINEERED FILL

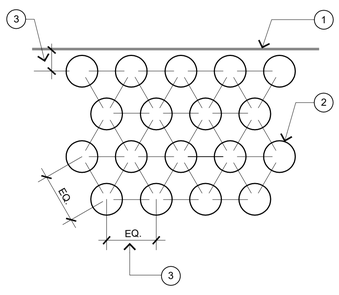
NOTE:
ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT

2 SHRUB PLANTING
N.T.S.



1 SOUND WALL OR TRASH ENCLOSURE
2 VINE: SEE PROPOSED PLANT PALETTE FOR SIZE AND TYPE
3 VINE TIES AT 1'-6" INTERVALS AS SHOWN
4 FINISH GRADE
5 BACK FILL MIX
6 VINE ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE
7 BARK MULCH: 3 INCH DEPTH, KEEP CLEAR FROM BASE OF PLANT
8 PULVERIZED NATIVE SOIL
9 COMPACTED SUBGRADE OR ENGINEERED FILL

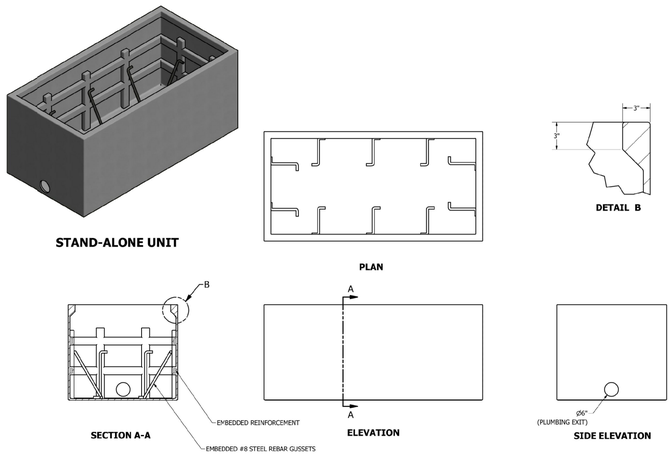
3 VINE PLANTING/STAKING
N.T.S.



1 EDGE OF PAVING, HEADER, FACE OF BUILDING, WALL, ETC.
2 GROUNDCOVER OR SHRUB
3 GROUNDCOVER AND SHRUB SPACING AS PER PLAN AND PROPOSED PLANT PALETTE

NOTES:
1. ALL PLANTS SHALL BE PLANTED AT EQUAL SPACING(TRIANGULAR) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. CENTERLINE OF PLANTS SHALL BE 1/2 OF EQUAL SPACING MINIMUM FROM EDGE OF PLANTING AREA.
3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.
4. KEEP MULCH CLEAR OF PLANT BASE.
5. ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.

4 GROUNDCOVER PLANTING
N.T.S.



5 FLOW THROUGH PLANTER

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Planting Details (Privately Maintained Landscape Areas, Ground Level & Courtyard)
L018

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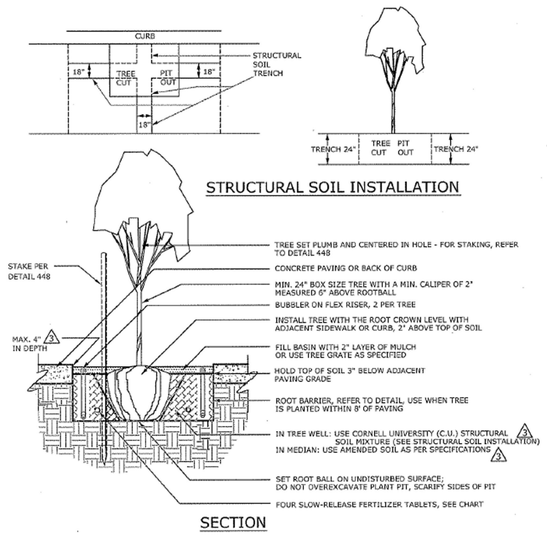
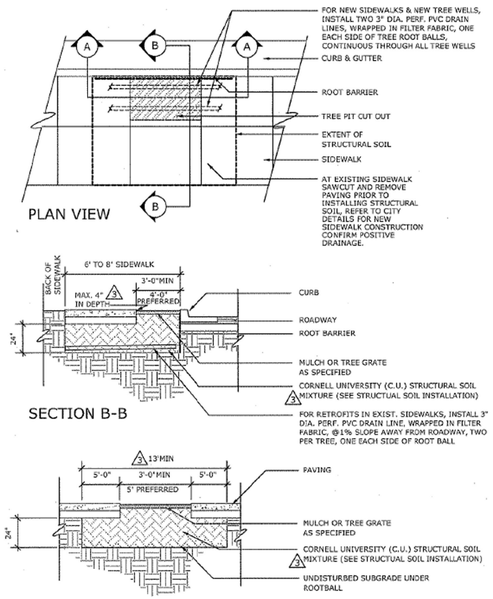


Notes:

1. TREES SHALL NOT BE ROOT-BOUND. CAREFULLY SCARIFY ROOTBALL BEFORE PLANTING, IF DIRECTED.
2. REMOVE ANY SPROUTS/SHOOTS WITHIN 6" OF SOIL.
3. CONFIRM POSITIVE DRAINAGE OF PLANT PIT PRIOR TO PLANTING TREE. INSTALL DRAIN AS PER TREEWELL DETAIL 448. DRAINAGE RATE OF ALL MATERIALS, INCLUDING MULCH, SHOULD BE NO LESS THAN 1/4" PER HOUR AND NOT EXCEED 2" PER HOUR.
4. WHEN TREE GRATES ARE USED, LOWER ALL FEATURES SHOWN WITHIN THE TREE PIT BY 3".

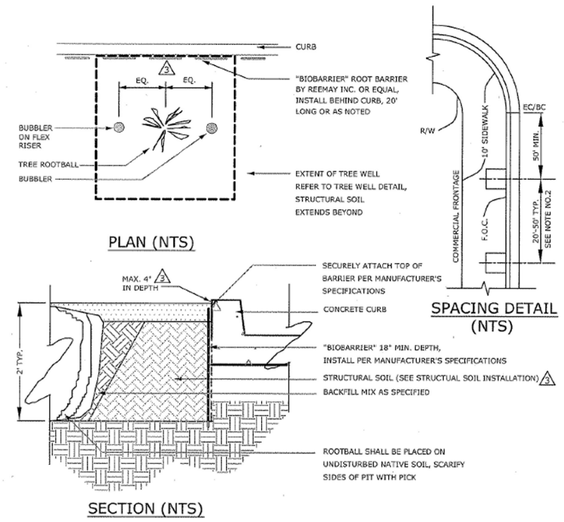
NOT TO SCALE

CITY OF MILPITAS, ENGINEERING DIVISION			STANDARD DRAWING
REVISION	DATE	STREET TREE PLANTING AT TREE WELLS & MEDIANS	NO. 448
1	1991		DATE : 6/15/10
2	2001		
3	2010	APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283	SHEET 1 OF 5



NOT TO SCALE

CITY OF MILPITAS, ENGINEERING DIVISION			STANDARD DRAWING
REVISION	DATE	STREET TREE PLANTING IN TREE WELL	NO. 448
1	1991		DATE : 6/15/10
2	2001		
3	2010	APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283	SHEET 4 OF 5



Notes:

1. ROOT BARRIER IS REQUIRED WHEN THE CENTERLINE OF THE TREE IS WITHIN EIGHT FEET OF STREET CURB OR PAVING.
2. ONE STREET TREE SHALL BE PROVIDED PER RESIDENTIAL LOT PER STREET, OR AS SHOWN ON PLANS APPROVED BY THE CITY ENGINEER. SPACING WILL VARY DEPENDING ON TREE SPECIES, IN GENERAL, THE SPACING SHALL BE EQUAL TO THE MATURE CANOPY DIAMETER.

NOT TO SCALE

CITY OF MILPITAS, ENGINEERING DIVISION			STANDARD DRAWING
REVISION	DATE	STREET TREE PLANTING	NO. 448
1	1991		DATE : 6/15/10
2	2001		
3	2010	APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283	SHEET 5 OF 5

2001 TAROB COURT
Milpitas, CA
May 8, 2019

Planting Details (Publicly Maintained Landscape Areas)
L019

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