

**Vinich Development
Commercial Development Plan**

Planning Commission Meeting
February 2, 2025

City Council Meeting

Applicants: Lyle Vinich

Case Number: 25.01 DEV

Agent: Steve Granger, ECS Engineering

Summary: The applicant is proposing to construct additions to an existing commercial shop building. The existing building is approximately 3,750 sf in size and the application proposes future additions of 3,600 sf on the north side of the existing structure and a second addition of 1,710 sf on the south side.

Legal Description: Lot 2A, Sage Addition

Location: The property is located on the northwest corner of the intersection of Chamberlin Rd and Pontiac St.

Current Zoning: I-1 (Light Industrial) *no change of zoning is requested or required.

Adjacent Land Use: North: Sage Addition/City Public Works Facilities (PLI)
South: Boatright Addition/Mobile Concrete (I-2)
East: Boatright Addition/Mobile Concrete (I-2)
West: Buffalo Meadows (R-1)

Applicable Land Development Regulations

Section 10.40 of the Mills LDRs provides the review criteria for the approval of a Development Plan. Those criteria include whether the site plan complies with all applicable regulations and if the development requires any additional site and design considerations. The proposed development should not create conflicts with vehicle, bicycle or pedestrian circulation and the Commission and/or City Council may require modifications, or condition plans, to ensure specific design features and conformance with all applicable standards.

Summary:

A Development Plan application has been submitted for an addition to the existing commercial shop building at the corner of Chamberlin Rd and Pontiac St. The site encompasses approximately 2.0-acres and is zoned I-1 (Light Industrial).

Per Section 40.40 of the LDRs, a minimum of 4% of the site must be landscaped. A landscaping

plan for the property has been included with the submittal. The development plan notes that exterior lighting will be on the building, with no proposed parking lot illumination. Specifications for the types of exterior lighting for the building need to be provided.

A 'potential future building' is depicted on the adjacent Lot 3A. It should be noted that any future development on Lot 3A will require a separate Development Plan application and review. The applicant should also be aware of additional setbacks and buffering that will be required for commercial or industrial development adjacent to the residential Buffalo Meadows Addition.

Planning Considerations:

1. Submit an exterior lighting plan per Section 40.35(4) showing the location and types of lighting for the building, along with manufacturer's specifications.
2. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
 - a. Nine (9) parking spaces are required. 14 are shown on the development plan with asphalt surfacing. This meets the intent of the regulations.
3. Submit a final drainage plan
4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
5. Obtain all required building permits for:
 - a. All site lighting
 - b. All on-premise signage.

Staff Recommendation:

Staff recommends APPROVAL of the Development Plan pending completion of all planning considerations.

Planning Commission Recommendation:

City Council Decision:



CITY OF MILLS
APPLICATION FOR SITE PLAN APPROVAL
 Pursuant to the City of Mills Zoning Ordinance



City of Mills, Wyoming
 704 4th Street (Physical Address)
 P.O. Box 789 (Mailing Address)
 Mills, Wyoming 82644

Date: 1/17/2025
 Return by: _____
 (Submittal Deadline)
 For Meeting on: _____

PLEASE PRINT

SINGLE POINT OF CONTACT: _____

APPLICANT/PROPERTY OWNER(S) INFORMATION:

Print Owner Name: Lyle Christopher Vinich
 Owner Mailing Address: 12274 Vacation Ct.
 City, State, Zip: Sturgis, SD 57785
 Owner Phone: (307)349-1847
 Applicant Email: cvinich@vindustrygroup.com

AGENT INFORMATION:

Print Agent Name: Shawn J. Gustafson
 Agent Mailing Address: 1607 CY Avenue, Suite 104
 City, State, Zip: Casper, WY 82604
 Agent Phone: 307-337-2883
 Agent Email: sgustafson@ecsengineers.net

PROPERTY INFORMATION:

Subject property legal description (attach separate page if long legal): Lot 2 & 3 Sage Addition
 Physical address of subject property if available: 280 Chamberlain Road
 Size of lot(s) sq. ft./acres: Lot 2 - 2.003 Acres, Lot 3 - 2.454 Acres
 Current zoning: I-1 Light Industrial Current use: _____
 Intended use of the property: _____
 Zoning within 300 feet: _____ Land use within 300 feet: _____

ATTACHMENTS (REQUIRED):

1. **Proof of ownership:** _____
 (such as deed, title certification, attorney's title opinion)
2. **Seven (7) full sized copies of the Site Plan:** _____
3. **One reproducible 11 x 17 Site Plan hard copy:** _____
4. **One Site Plan electronic copy (pdf):** _____

IF APPLICABLE, INCLUDE:

1. Number of employees on the premises: _____
2. Building occupant loading (if recreational, entertainment, place of assembly, a facility or building of similar nature): _____
3. Number of residential units: _____
4. Number of off-street parking spaces **provided:** _____
5. Number of off-street parking spaces **required:** _____

SIGNATURE(S):

The following owner's signature signifies that all information on this application is accurate and correct to the best of the owner's knowledge; and that the owner has thoroughly read and understands all application information and requirements. [In addition to the owner's signature(s), if an agent of the owner is to be the contact for all communications relating to this application, please have the agent sign below.]

I (We) the undersigned owner(s) of the property described above do hereby make application to the City of Mills as follows:

OWNER Signature Chris Vinich

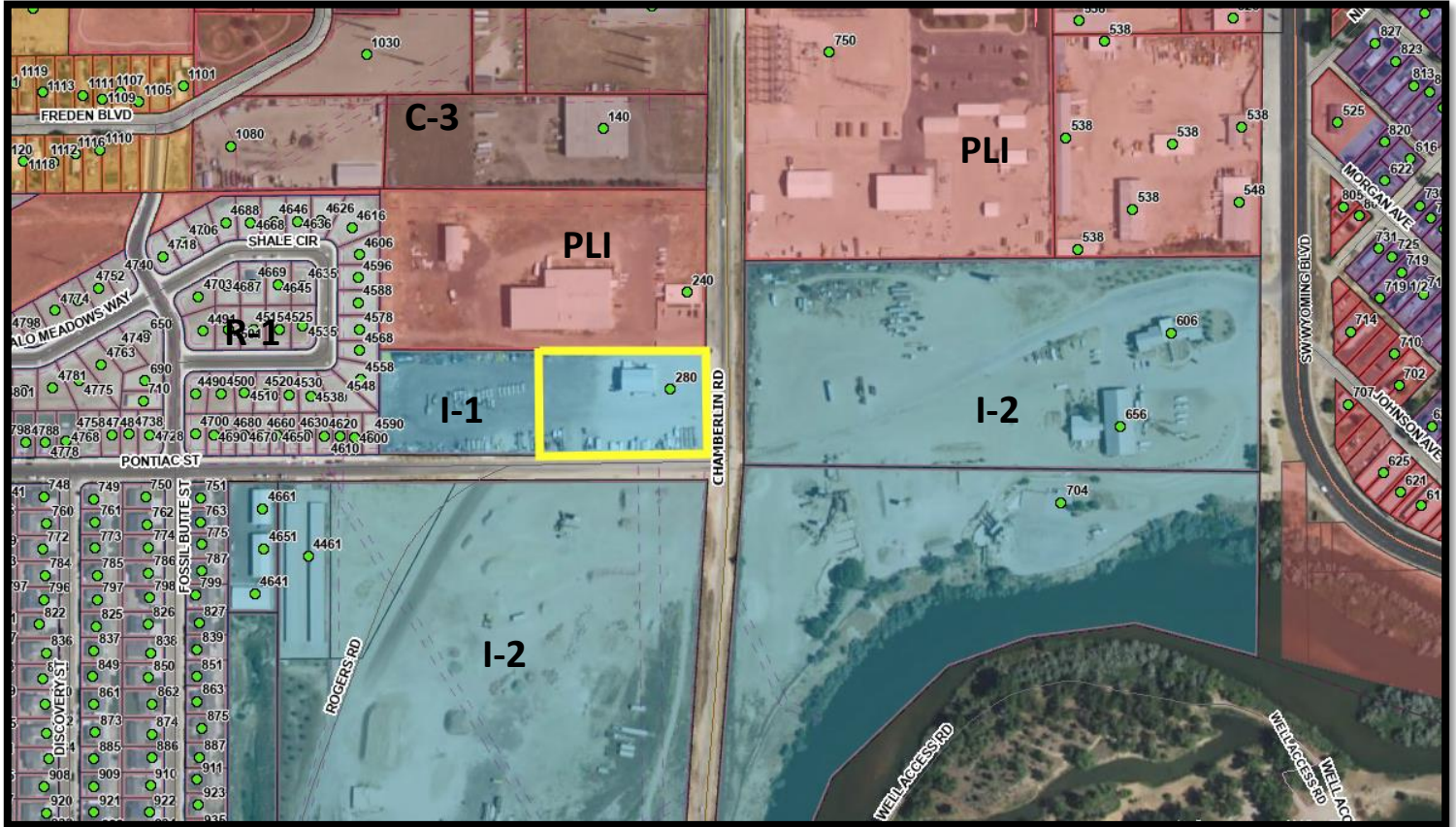
OWNER Signature _____

AGENT Signature _____

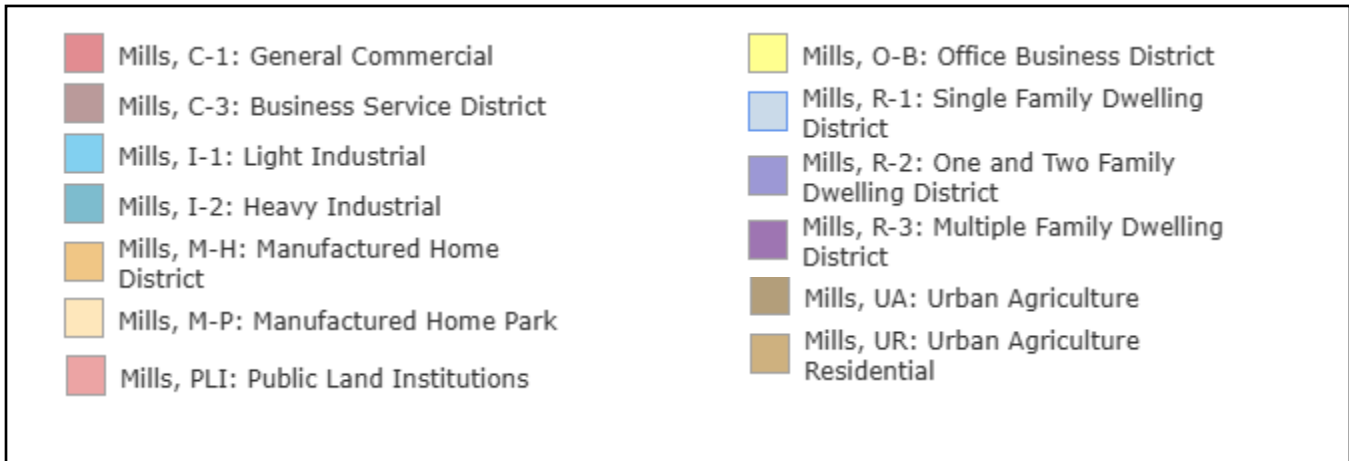
FEE: \$10.00 per dwelling unit with a \$250.00 minimum and a \$1000.00 maximum; plus a recordation fee of \$150.00.

For Office Use Only: Signature verified: _____ Proof of ownership provided: _____ Fee Paid: \$ _____

Vinich Development Plan – Lot 2A, Sage Addition



Mills Zoning Districts

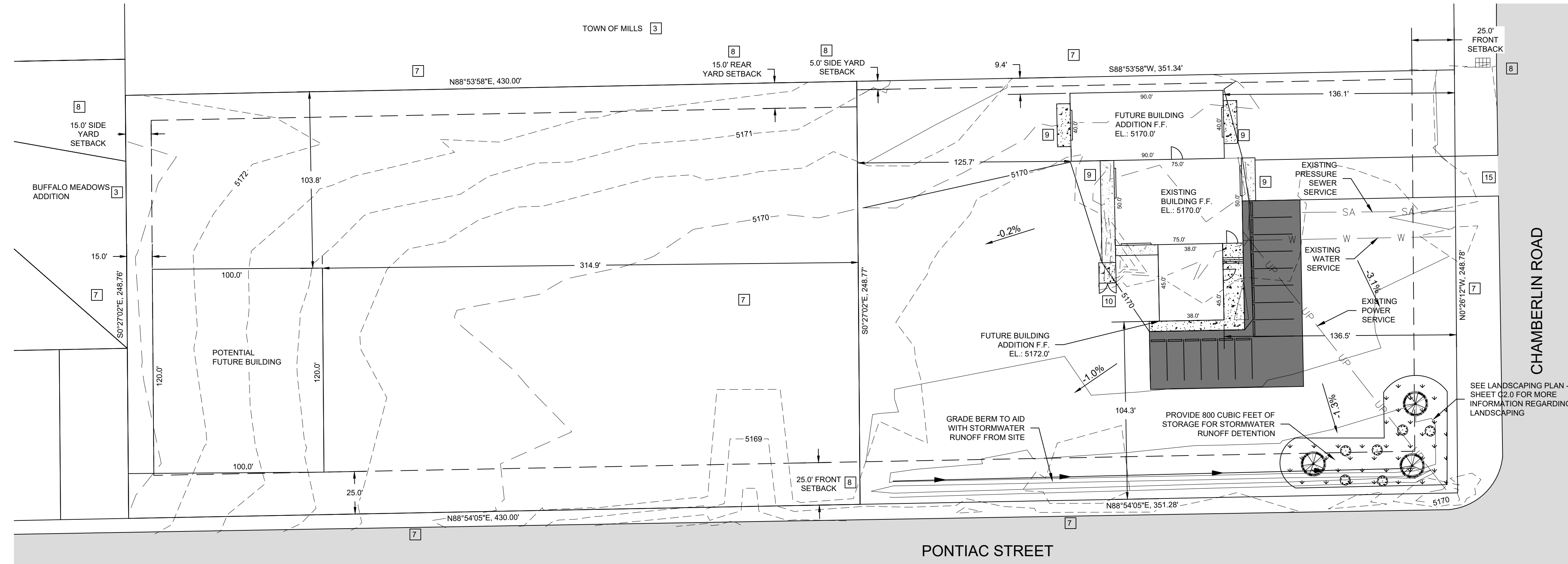
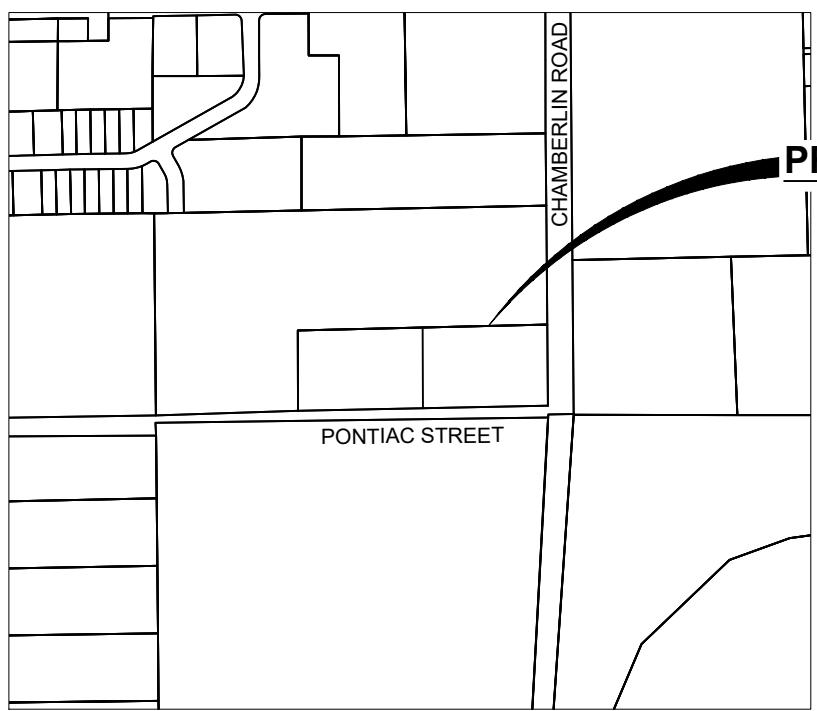
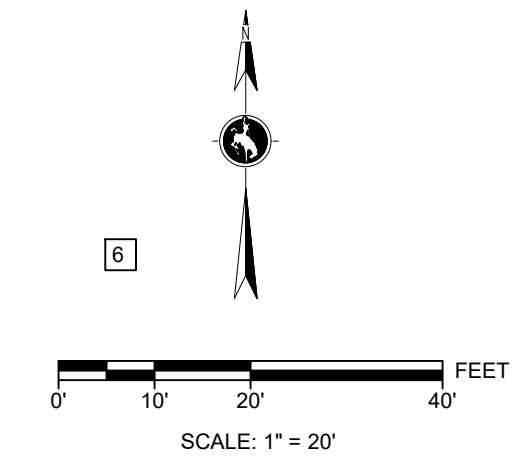


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SITE PLAN FOR

LOTS 2 AND 3, SAGE ADDITION

IN THE TOWN OF MILLS
 NATRONA COUNTY, WYOMING



SYMBOLS

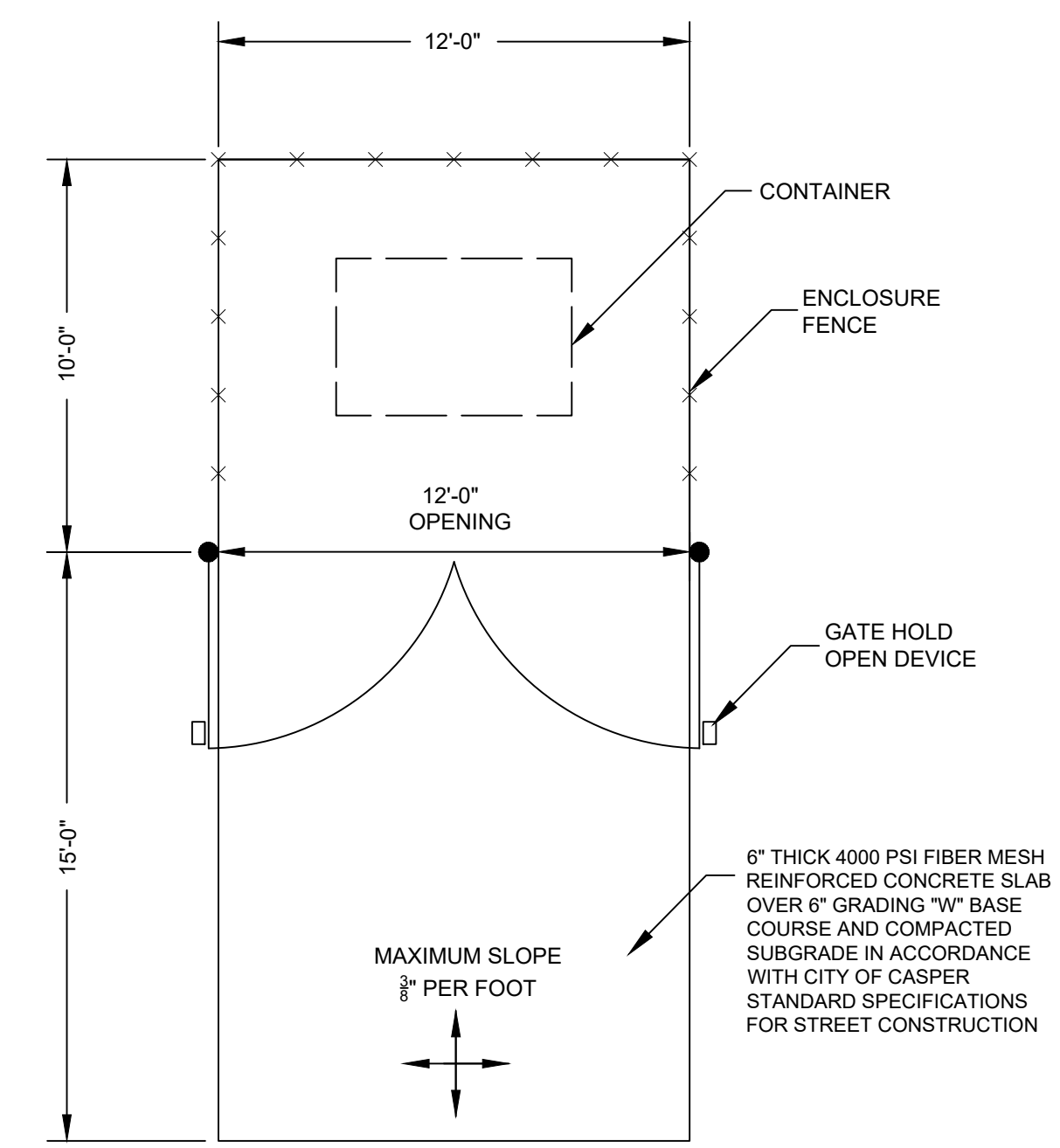
- TREE
- ▲ ECS CONTROL POINT
- ELECTRICAL VAULT
- ▣ FIBER OPTIC PEDESTAL
- ⊕ FIRE HYDRANT
- ⊕ PROFILE FIRE HYDRANT
- ▭ FLARED END SECTION
- ⊕ GAS METER
- ▣ CATCH BASIN
- ⋈ GUY WIRE ANCHOR
- ⊕ POWER POLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ IRRIGATION VALVE BOX
- ⊕ STORM SEWER MANHOLE
- ⊕ STREET LAMP
- ⊕ TELEPHONE MANHOLE
- ▣ TELEPHONE PEDESTAL
- ⊕ BORE HOLE LOCATION
- WATER TEE
- WATER CROSS
- WATER VALVE
- ⊕ CURB STOP
- ⊕ ELECTRICAL METER CABINET
- ⊕ SINGLE SIGN POST
- ⊕ BOLLARD
- ◇ RECOVERED BRASS CAP
- RECOVERED ALUMINUM CAP
- RECOVERED REBAR
- ⊕ RECOVERED ALUMINUM CAP

LEGEND

- RIGHT OF WAY
- PROPERTY LINES
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EDGE EXISTING ASPHALT
- EXISTING WOOD FENCE
- PROPOSED CHAINLINK FENCE
- G — G — EXISTING GAS LINE
- G — G — PROPOSED CRUDE MAIN
- W — W — EXISTING WATER MAIN
- W — W — PROPOSED WATER MAIN
- SA — SA — EXISTING SANITARY MAIN
- SA — SA — PROPOSED SANITARY MAIN
- SW — SW — EXISTING STORM MAIN
- SW — SW — PROPOSED STORM MAIN
- OP — OP — OVERHEAD POWER LINE
- T — T — TELEPHONE LINE
- UP — UP — UNDERGROUND POWER
- EXISTING FIBEROPTIC LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING CONCRETE SURFACING
- PROPOSED CONCRETE SURFACING
- EXISTING ASPHALT SURFACING
- PROPOSED ASPHALT SURFACING
- PROPOSED LANDSCAPING

SITE PLAN CHECKLIST

1. LEGAL DESCRIPTION: LOT 2 AND 3 SAGE ADDITION
280 CHAMBERLIN RD, MILLS, WY 82601
2. TITLE BLOCK: AS SHOWN
3. SURROUNDING PROPERTY OWNERS: CITY OF MILLS (NORTH) ; MOBILE CONCRETE (EAST AND SOUTH) ; BUFFALO MEADOWS ADDITION (WEST)
4. SURROUNDING LAND USES : I-1: LIGHT INDUSTRIAL (NORTH, SOUTH, & EAST) ; R-1: SINGLE FAMILY DWELLING (WEST)
5. CURRENT ZONING: I-1: LIGHT INDUSTRIAL
6. NORTH ARROW, PLAN SCALE, AND DATE: AS SHOWN
7. LOT DIMENSIONS: AS SHOWN AND AS CONCURRENT PLATTING
8. SETBACKS AND BUILDING HEIGHT: AS SHOWN (5' SIDE YARD, 15' REAR YARD SETBACKS, 25' FRONT SETBACKS) 27'-6" MAX BUILDING HEIGHT
9. LOADING DOCK AREAS AND TRAFFIC FLOW: AS SHOWN
10. TRASH RECEPTACLES: AS SHOWN
11. ADVERTISING AND SIGNS: NONE
12. SCREENING DEVICES: NONE
13. EXTERIOR LIGHTING: TO BE DETERMINED ON BUILDING, NO PROPOSED PARKING LOT LIGHTING
14. ADJACENT STREETS: AS SHOWN (CHAMBERLIN ROAD AND PONTIAC STREET)
15. EXISTING AND PROPOSED CURB CUTS AND SIDEWALKS: AS SHOWN
16. OFF STREET PARKING LAYOUT AND TRAFFIC CONTROL: NONE REQUIRED
17. CURBING LOCATION: AS SHOWN
18. GROUND SURFACING: AS SHOWN
19. EXISTING AND PROPOSED EASEMENTS: NONE
20. VICINITY MAP: AS SHOWN
21. GENERAL NOTES:
 A. TOTAL LAND AREA: 2.0 ACRES (87,392 SQUARE FEET)
 B. TOTAL BUILDING FOOTPRINT: 9,060 SQ FT
 C. TOTAL BUILDING ADDITION FOOTPRINT: 5,310 SQ FT
 D. LAND COVERED BY BUILDINGS: 10.4%
 E. BUILDING HEIGHT: 27' - 6"
 F. NUMBER OF STORIES AND SQUARE FOOTAGE OF LEASABLE SPACE: SINGLE STORY 1,710 SQ FT OFFICE SPACE; SINGLE STORY 3,600 SQ FT SHOP AREA.
 G. PARKING SPACES PROPOSED: 14 - 10'x24' PARKING SPOTS
 H. SQUARE FOOTAGE OF PARKING AREA: 5,636 SQ FT
 I. PERCENTAGE OF LAND COVERED BY PARKING: 6.4%
 J. SQUARE FOOTAGE OF ALL LANDSCAPE AREAS: 3,987 SQ FT
 K. SITE COVERED BY LANDSCAPING: 4.6%
 L. NUMBERING ITEMS PER CHECKLIST: AS SHOWN
22. NUMBERING ITEMS PER CHECKLIST: AS SHOWN
23. EXISTING AND PROPOSED CONTOURS: EXISTING AND PROPOSED CONTOURS AS SHOWN
24. ELEVATIONS OF BUILDINGS TO BE CONSTRUCTED: 5170.0'
25. SURFACE DRAINAGE STUDY: INCLUDED SEPARATELY
26. PAVEMENT DESIGN REPORT: NOT INCLUDED
27. TRAFFIC STUDY: STUDY NOT REQUIRED



**MINIMUM STANDARDS FOR
 COMMERCIAL SANITATION
 CONTAINER FACILITY
 NOT TO SCALE**

- NOTES:
1. PROVIDE FOR STRAIGHT APPROACH TO CONTAINER BY SERVICE VEHICLE.
 2. PROVIDE FOR A MINIMUM OVERHEAD CLEARANCE OF 15' ABOVE GRADE.
 3. ORIENT TO MINIMIZE BACKING MOVEMENTS REQUIRED BY SERVICE VEHICLE.

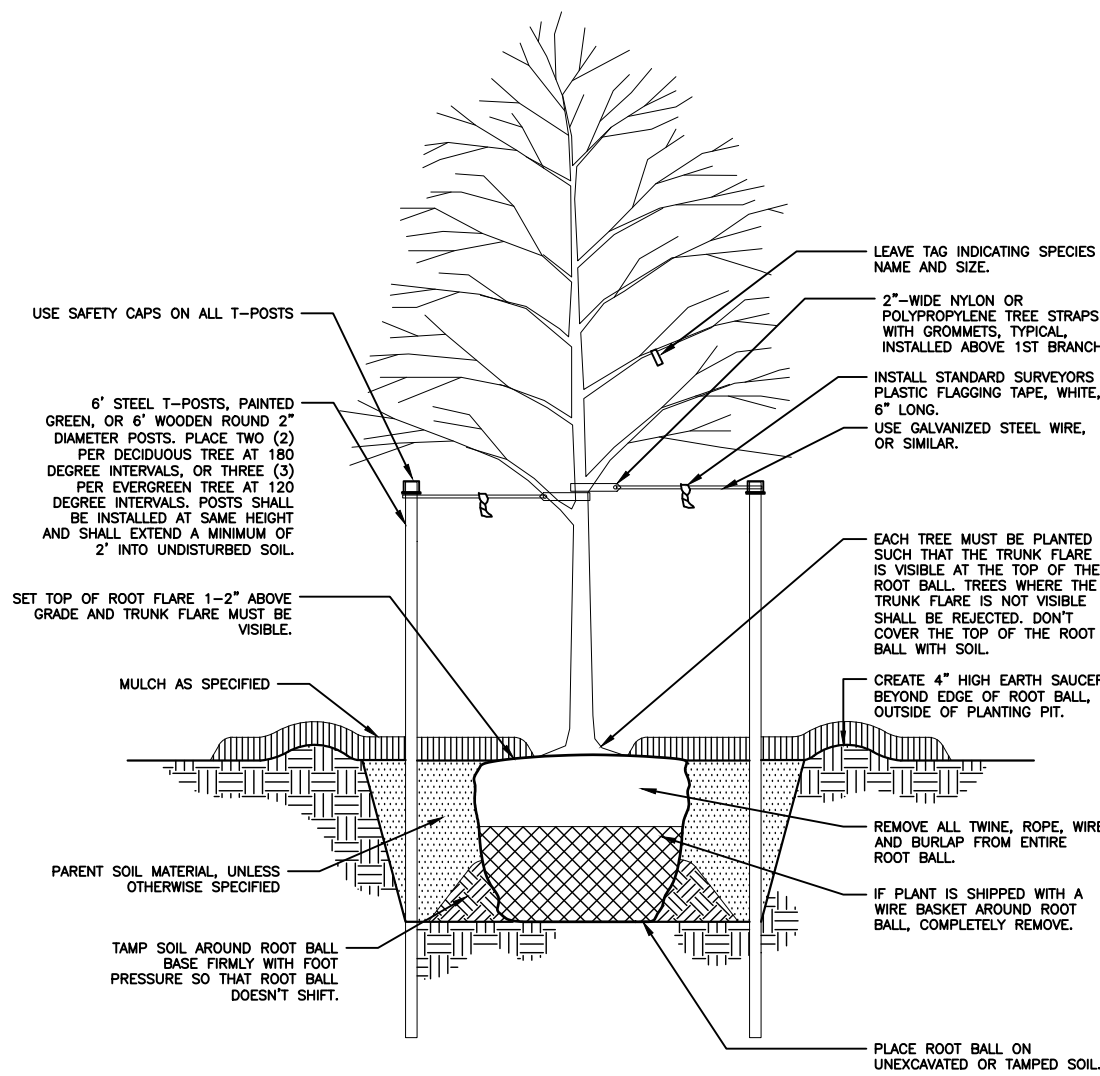
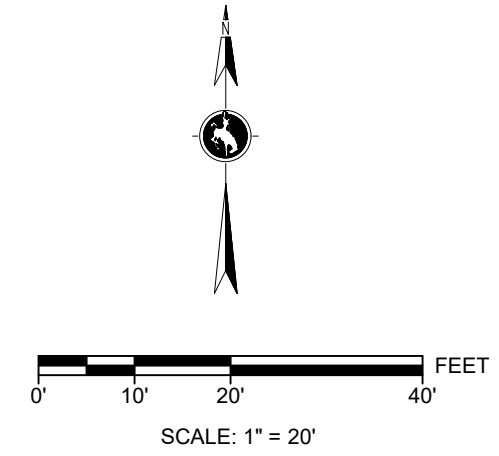
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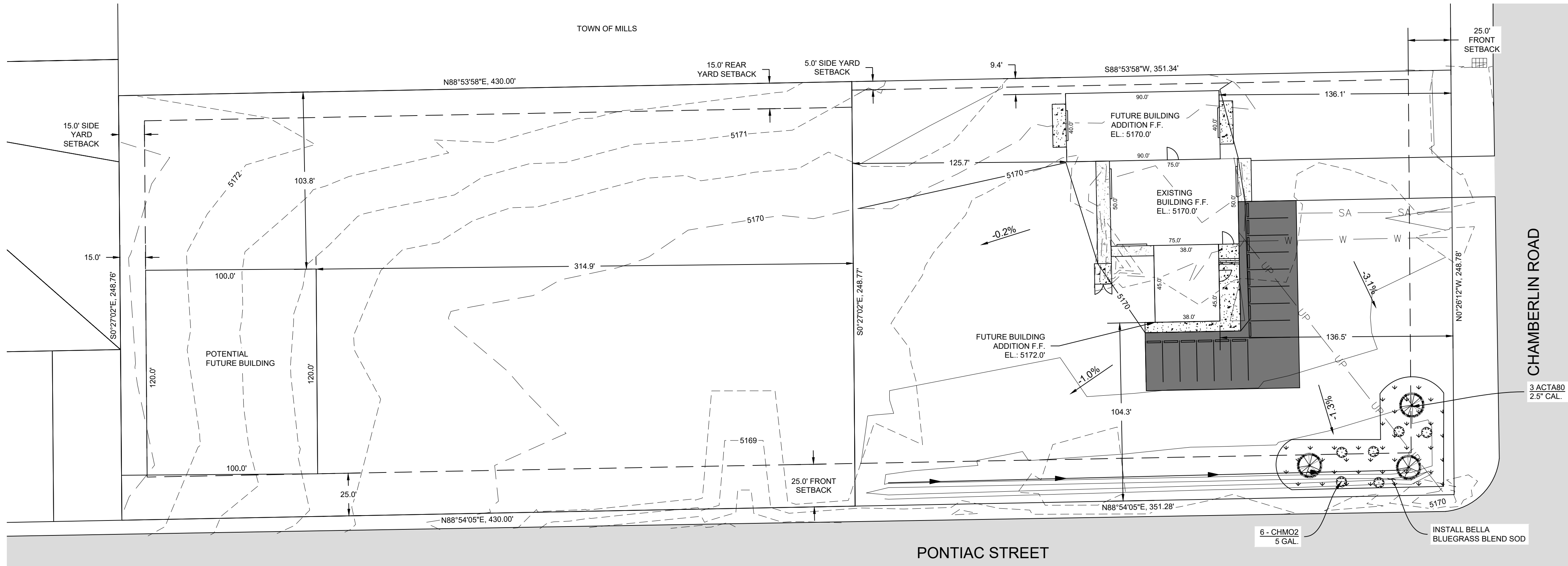
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LANDSCAPE PLAN FOR LOTS 2 AND 3, SAGE ADDITION

IN THE CITY OF MILLS
NATRONA COUNTY, WYOMING



TYPICAL TREE PLANTING
N.T.S.



LANDSCAPING NOTES

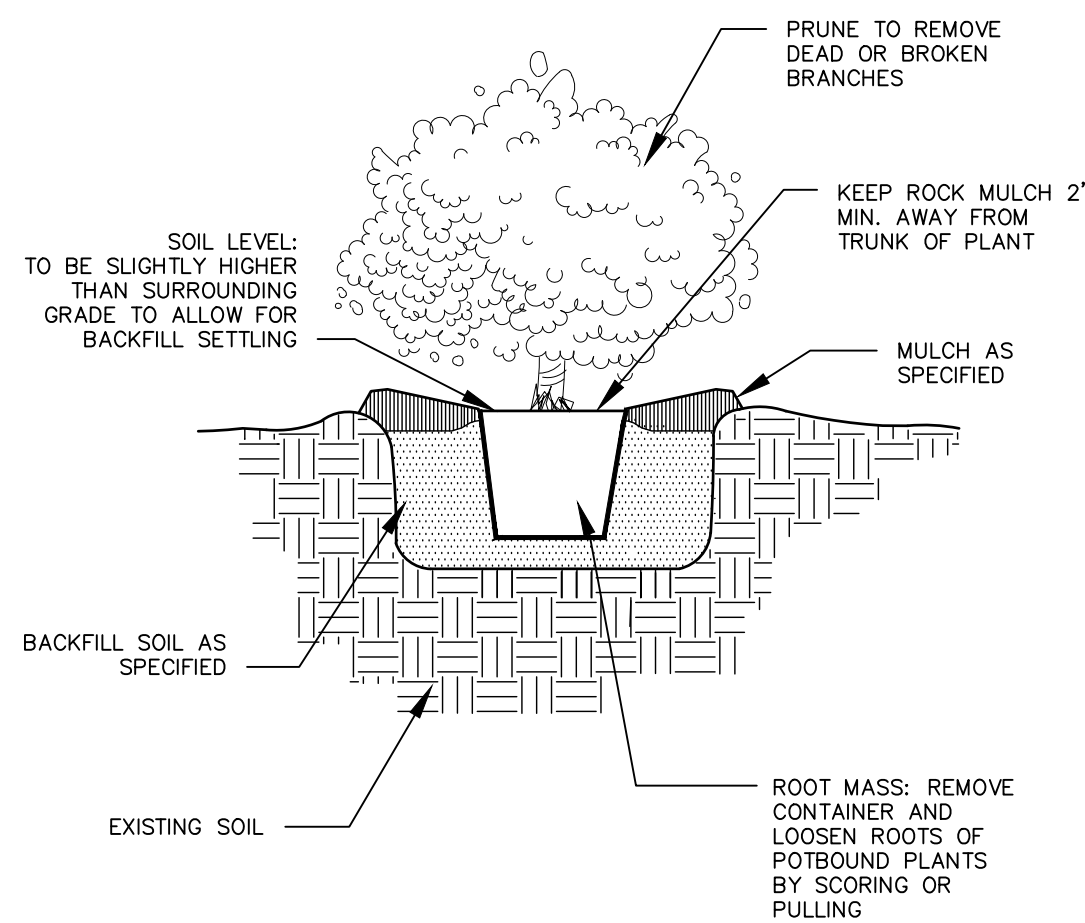
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION, OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND SEEDED OR SODDED AS SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING, AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
- THE INSTALLATION OF LAWNS, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
- CONTRACTOR SHALL FURNISH REQUIRED PLANT MATERIALS, INCLUDING TREES, SHRUBS, GRASSES, AND PERENNIALS OF ALL DESCRIPTIONS, FOR THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE ARCHITECT IMMEDIATELY.
- NO TREES SHALL BE PLANTED CLOSER THAN 10' TO A FIRE HYDRANT. ADJUST LAYOUT IF NECESSARY.
- NO TREE OR SHRUB SHALL BE PLANTED OVER OR WITHIN 10' Laterally FROM ANY SEWER OR WATER LINES OR 4' Laterally FROM GAS LINES. ADJUST LAYOUT IF NECESSARY.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT FROM CITY'S DEVELOPMENT OFFICE. CONTRACTOR TO LEAVE SPECIES LABEL ON PLANT FOR CITY STAFF INSPECTORS.
- CONTRACTOR SHALL PROVIDE PLANTS FREE FROM INSECTS AND DISEASES, SUN-SCALD INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES. WEAK AND/OR DISFIGURED PLANTS WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FIELD GROWN NURSERY TREES, DUG WITH A BALL OF EARTH STILL INTACT IN WHICH THEY ARE GROWING, WRAPPED IN BURLAP OR OTHER SUITABLE MATERIAL TO COMPLETELY COVER THE ROOT BALL WITH A LACING OR OTHER BALL SUPPORTING DEVICE ON THE OUTSIDE TO HOLD THE BALL IN A FIRM, RIGID CONDITION.
- CONTAINER GROWN PLANTS SHALL BE HEALTHY, VIGOROUS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. THE PLANTS SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM ROOT BALL.
- ALL 1.5-2" CALIPER DECIDUOUS TREES SHALL HAVE A SINGLE LEADER, 12-14' HEIGHT, BRANCHING AT 6-7' HEIGHT WITH A UNIFORM CANOPY BRANCHING, BRANCH ANGLES SHALL BE NO LESS THAN 30°.
- ALL 6-8' TALL EVERGREEN TREES SHALL HAVE A HEIGHT TO SPREAD RATIO OF 5:3, WITH A SINGLE LEADER.
- CONTRACTOR SHALL PROVIDE PLANT MATERIAL IN CONFORMANCE WITH STATE AND FEDERAL LAWS WITH RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTIONS.
- CONTRACTOR SHALL PROVIDE INSPECTION CERTIFICATES REQUIRED BY LAW WITH EACH SHIPMENT, INVOICE, OR ORDER OF STOCK TO THE OWNER.
- PLANT MATERIALS FOR THIS PROJECT ARE SUBJECT TO INSPECTION BEFORE, DURING, AND POST PLANTING. DAMAGED PLANT MATERIAL, CONTAINERS, OR LOOSE, TORN, AND BROKEN ROOT BALLS WILL NOT BE APPROVED BY THE OWNER AND WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND MUST BE REMOVED FROM THE STORAGE AREA OR PROJECT.
- MAINTENANCE SERVICES TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR WILL BE EXPECTED TO FURNISH SERVICE AND MAINTENANCE OF ALL PLANTED AREAS THROUGH FINAL COMPLETION OF PROJECT OR AS REQUIRED PER THE REQUIREMENTS OF THE PROJECT WARRANTY PERIOD.
- ALL PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE DEPARTMENT OF AGRICULTURE TO ASSURE THEM TO BE FREE OF DISEASE OR HAZARDOUS INSECTS.
- ALL FERTILIZER SHALL BE DELIVERED IN WATER PROOF BAGS SHOWING WEIGHT, CHEMICAL ANALYSIS, AND THE NAME OF THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT AND LEGIBLE.
- CONTRACTOR WILL BE RESPONSIBLE TO PROTECT AND MAINTAIN PLANT LIFE DURING THE STORAGE PERIOD PRIOR TO PLANTING.
- INSTALLATION OF PLANT LIFE WILL NOT BE PERMITTED WHEN THE AMBIENT TEMPERATURES MAY DROP BELOW 35°F OF RISE ABOVE 90°F.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY. WARRANTY TO INCLUDE COVERAGE FOR ONE ENTIRE GROWING SEASON FOR ALL DEAD OR UNHEALTHY PLANTINGS. ALL REPLACEMENT PLANTS SHALL BE REQUIRED TO BE OF THE SAME SIZE AND SPECIES AS SPECIFIED IN THE PLANT SCHEDULE, PLANTED IN THE FOLLOWING GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON THE DATE OF PLACEMENT.
- SOIL MATERIALS:
 - ALL SOIL BACKFILL WILL BE FREE OF ROCKS LARGER THAN 1.5" STICKS, ROOTS, AND OTHER DEBRIS.
 - TOPSOIL TO BE STERILE, WEED FREE, PROCESSED, AND PASSED THROUGH A 3/4" SCREEN.
 - 4" OF TOPSOIL TO BE INSTALLED IN ALL NEW SITE LANDSCAPE AREAS, NATIVE GRASS PLANTINGS, AND PLANTING RINGS OR IN ANY AREAS DESIGNATED IN THE PLANS FOR CONSTRUCTION.
- SOIL AMENDMENT MATERIALS:
 - COMPOST SHALL BE 'GLACIER GOLD', 'SOIL PROP', OR AN APPROVED EQUAL.
 - FERTILIZER SHALL BE 100% ORGANIC, TRANSPLANT ROOT STIMULATOR, 'BIOPLEX TRANSPLANT CONCENTRATE' OR APPROVED EQUAL.
- BOULDERS ENCOUNTERED DURING EXCAVATION FOR THE PROJECT SITE SHALL BE HANDLED TO PREVENT SCARRING AND USED AS PART OF THE LANDSCAPING SCHEME. PLACE AS DIRECTED BY THE OWNER.
- WEED BARRIER FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC, 4.75 OZ. SQ./YD. OR HEAVIER WITH METAL LANDSCAPE PINS. DO NOT INSTALL WEED BARRIER UNDER PERENNIALS AND GRASSES.
- CONTRACTOR SHALL USE 1.5" DIA. ROUND POSTS WITH TAPERED END, 8.0' IN LENGTH OR DUCKBILL ANCHORS FOR TREE ANCHORING.
- CONTRACTOR SHALL USE 3 ANCHORS FOR DECIDUOUS TREES, 3 ANCHORS FOR CONIFEROUS TREES WITH WEBBING OR RUBBER TREE TIES MANUFACTURED SPECIFICALLY FOR USE ON TREES.
- CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL ANCHORING AT THE END OF ONE CONTINUOUS GROWING SEASON.
- LANDSCAPE AREAS SHALL BE IRRIGATED PER CITY OF GILLETTE STANDARDS. CONTRACTOR SHALL COORDINATE PERMANENT UNDERGROUND IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.
- CONTRACTOR TO MAINTAIN CURRENT SET OF IRRIGATION AS-BUILT DRAWINGS TO BE SUBMITTED UPON COMPLETION OF PROJECT TO ARCHITECT.
- AREAS THAT ARE TOO SMALL TO BE DRILL SEEDED SHALL BE BROADCAST, RAKED IN, AND ROLLED.
- CONTRACTOR TO PROVIDE FULL IRRIGATION AND EDGING SUBMITTAL WITH SHOP DRAWINGS OF LANDSCAPING AND IRRIGATION LAYOUT TO ARCHITECT.
- STREET LIGHTING SHALL BE ORNAMENTAL STREET LIGHTING, NO GLOBE LIGHTING. ORNAMENTAL STREET LIGHTING SHALL MEET CURRENT STREET LIGHTING STANDARD SPECIFICATIONS.
- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

PLANT SCHEDULE

| TREES | CODE | BOTANICAL / COMMON NAME | SIZE | ROOT | QTY. |
|--------|--------|---------------------------------------|-----------|------|------|
| | ACTA80 | ACER GINNALA AMUR MAPLE | 2.5" CAL. | B&B | 3 |
| SHRUBS | CODE | BOTANICAL / COMMON NAME | SIZE | ROOT | QTY. |
| | CHMO2 | CHRYSOTHAMNUS MOLESTUS RABBITBRUSH | 5 GAL. | POT | 6 |

REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION | QTY |
|--------|---------------------------|----------|
| | BELLA BLUEGRASS BLEND SOD | 3,986 SF |



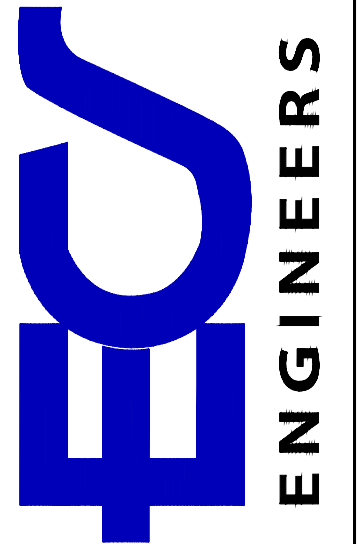
- NOTES:
- REMOVE ALL TWINE AND OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS, INCLUDING TRUNK PROTECTORS.
 - LEAVE TAG INDICATING SPECIES NAME.

TYPICAL SHRUB PLANTING

N.T.S.

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FOR: BROWN CONSTRUCTION, LLC
MILLS, WY 82644
(307) 337-7089

BY: ENVIRONMENTAL & CIVIL SOLUTIONS, LLC
1807 CY AVENUE, SUITE 104
CASPER, WY 82604
(307) 337-2883

Scale: SEE DRAWING
Project No.: 240050
File Name: 240050_SITE_PLAN.dwg
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LANDSCAPE PLAN
LOTS 2 AND 3 SAGE ADDITION
MILLS, WY

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