



CITY OF MILLS
EST. 1921

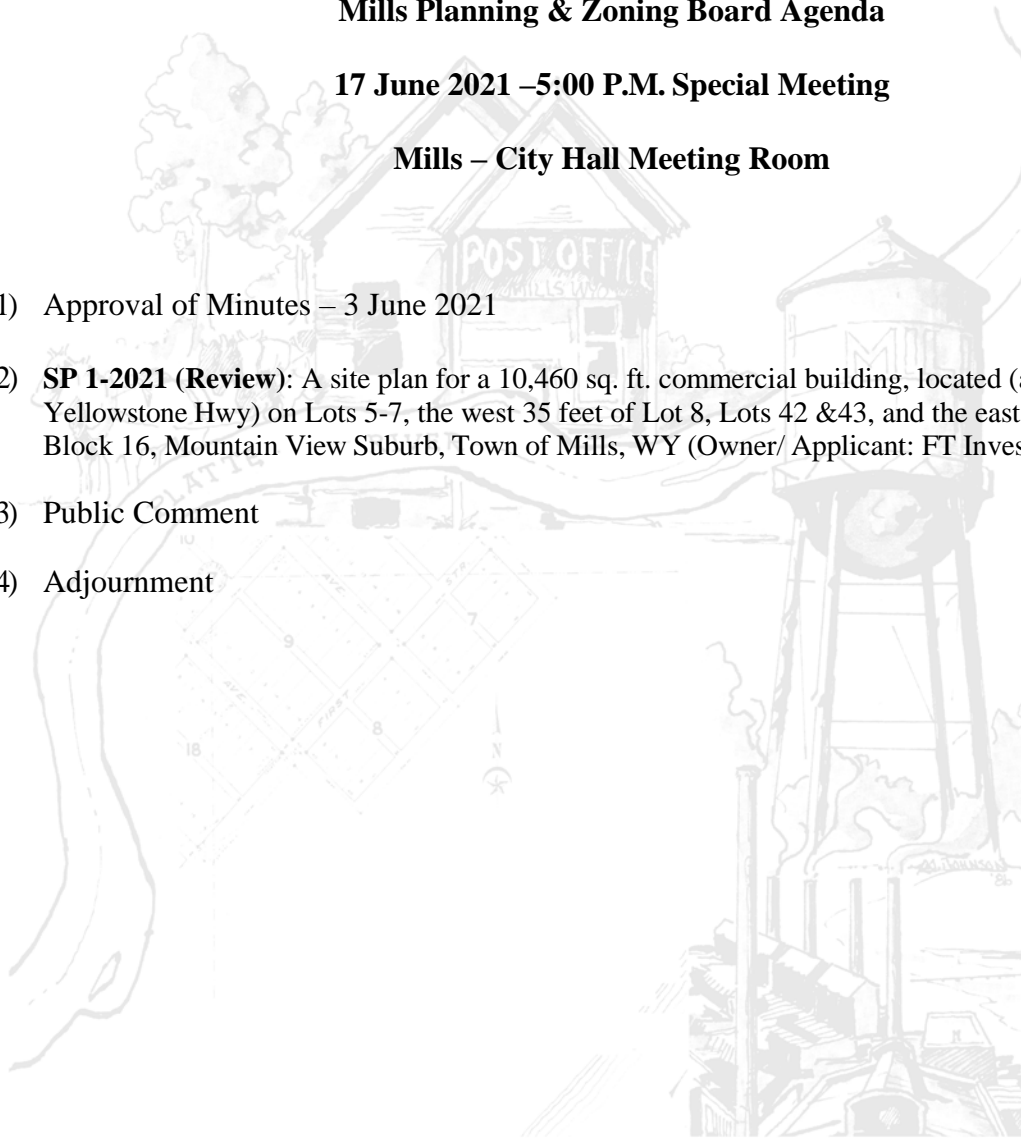
704 Fourth Street
P.O. Box 789
Mills, Wyoming 82644
Phone: 307-234-6679
Fax: 307-234-6528

Mills Planning & Zoning Board Agenda

17 June 2021 –5:00 P.M. Special Meeting

Mills – City Hall Meeting Room

- 1) Approval of Minutes – 3 June 2021
- 2) **SP 1-2021 (Review):** A site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY (Owner/ Applicant: FT Investments, LLC)
- 3) Public Comment
- 4) Adjournment





MEMORANDUM

Date: 14 June 2021
To: Mills Planning and Zoning Board
From: Scott Radden, Town Planner
Subject: 17 June Planning and Zoning Meeting (Special)

SP 1-2021 (Review): A site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 & 43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY (Owner/ Applicant: FT Investments, LLC).

Background:

FT Investments, LLC is the owner of Lots 5-7, the west 35 feet of Lot 8, Lots 42 & 43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY. The combined lots are approximately .98 acres in size, and zoned Established Business (E-B). It is surrounded by E-B Zoning on all other sides except for the north, which is Developing Residential (D-R). FT Investments, LLC is proposing to build a 10,460 sq. ft. commercial building and associated parking on the property.

Notifications were sent to utility providers on 25 May 2021:

Chris Coziahr (Rocky Mtn Power): "RMP does have facilities in the middle of this lot. The customer or developer will be responsible to relocate if needed."

Notifications were provided to Staff Members on 25 May 2021:

No requirements were received from Staff as of writing this report.

General Notes:

1. **Parking** – 27 parking spaces (10 x 20) and 2 ADA parking space are provided. Five and one-half spaces per 1,000 sq. ft. of gross leasable floor area is required per zoning regulations.
2. **Signs** – Wall sign proposed on south side of the building.
3. **Fencing** – Proposed fencing on the east and west sides of the lot.
4. **Lighting** – Building mounted flood Lighting south side with wall packs on east and west sides of building. **All lighting must be downward facing and not project directly onto adjacent properties.**

5. **Landscaping** – 11,787 sq. ft. (27%) of landscaping is shown on the site . 8% is required. Rock and trees/shrubs on the west/south/east side, grass and trees/shrubs on the north side.

Staff Recommendation: Staff recommends the Planning and Zoning Board forward a “**do pass**” recommendation to the Town Council to approve the site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY, with the following conditions:

1. That prior to obtaining building permits to construct, the Owner signs a Site Plan Agreement which will be recorded with the Natrona County Clerk’s office stating construction will comply with all design provisions as shown on the Site Plan and any other improvements required by the Town of Mills.
2. The Owner obtains all required building permits, and complies with all Mills Code and inspection requirements, and State and Federal regulations.
3. That prior to the issuance of certificates of occupancy, all requirements shall be completed to the satisfaction of the Town Planner, Town Engineer, Public Works Director, Fire Inspector, and Building Inspector.

MILLS DOLLAR GENERAL STORE #23300 PROJECT - PROTOTYPE 10640-D CIVIL DESIGN DRAWINGS 4570 W. YELLOWSTONE HWY MILLS, WYOMING 82644

CONTACT LIST

<p>CIVIL ENGINEER INBERG-MILLER ENGINEERS ALIN CORTEZ, P.E. 124 E. MAIN ST RIVERTON, WY 82501 PH: 307-856-8136 FX: 307-856-3851</p>	<p>LAND SURVEYOR INBERG-MILLER ENGINEERS RANDALL STELZNER, P.L.S. 124 E. MAIN ST RIVERTON, WY 82501 PH: 307-856-8136 FX: 307-856-3851</p>
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UTILITY CONTACT LIST

SANITARY SEWER & WATER & GARBAGE
MILLS PUBLIC WORKS
704 4TH STREET
MILLS, WY 82604
PH: 307-234-6679

NATURAL GAS
BLACK HILLS ENERGY
PH: 888-890-5554

ELECTRIC
ROCKY MOUNTAIN POWER
PH: 800-469-3981

TELEPHONE
CENTURY LINK
PH: 844-674-3430

GENERAL NOTES:

1. THE BASIS OF BEARING IS NAD83 WYOMING STATE PLANE, EAST-CENTRAL ZONE, DISTANCES ARE AT GROUND.
2. VERTICAL DATUM IS BASED ON NAVD88, GEOID 12B.
3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.
4. PROPERTY DATA IS FOR REFERENCE ONLY AND THIS DRAWING IS NOT A RECORD PROPERTY SURVEY. FOR PROPERTY INFORMATION REFER ALTA SURVEY DRAWING BY INBERG-MILLER ENGINEERS.
5. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
6. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.
7. CONTRACTOR SHALL COORDINATE ALL REMOVAL AND RELOCATION OF PRIVATE UTILITIES SUCH AS GAS, ELECTRIC, AND COMMUNICATION WITH UTILITY OWNER.

LEGEND	
— 4960 —	PROPOSED CONTOUR
=====	EARTHWORK LIMITS
— W —	PROPOSED WATER LINE
— S —	PROPOSED SEWER LINE
— ST —	PROPOSED STORM LINE
— UE —	PROPOSED UNDERGROUND ELECTRIC
— UT —	PROPOSED UNDERGROUND TELEPHONE
— FO —	PROPOSED FIBER OPTIC LINE
— G —	PROPOSED GAS LINE
— 4960 —	EXISTING CONTOUR
— R/W —	RIGHT-OF-WAY
— — — —	SECTION LINE
— FL —	PROPERTY LINE
— ST —	EXISTING STORM SEWER
— W —	EXISTING WATER LINE
— S —	EXISTING SANITARY SEWER LINE
— FM —	EXISTING FORCED MAIN
— OE —	OVERHEAD ELECTRIC
— ED —	EARTHENED DITCH
— G —	GAS LINE
— UE —	UNDERGROUND ELECTRIC
— UT —	UNDERGROUND TELEPHONE
— UTV —	UNDERGROUND TV
— IRR —	IRRIGATION LINE
●	BRASS CAP
●	SET ALUMINUM CAP
○	FOUND ALUMINUM CAP
○	FOUND REBAR
▲	CONTROL POINT
●	SANITARY SEWER MANHOLE
○	CLEANOUT
○	FIRE HYDRANT
●	WATER VALVE
◇	LIGHT POLE
◇	UTILITY POLE
○	TREE
○	MONITORING WELL
○	CURB STOP
○	METER
→	SIGN
→	DRAINAGE ARROW
— CL —	CENTERLINE
XING	CROSSING
FFE	FINISHED FLOOR ELEVATION
FS	FINISHED SURFACE
FL	FLOW LINE
TC	TOP OF CURB
(90.50)	EXISTING GRADE
INV	INVERT
(2)	CONSTRUCTION NOTE

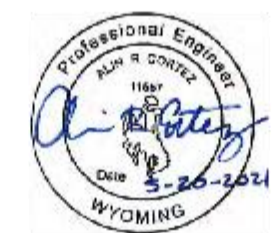


SCALE: 1" = 600'

SHEET DESCRIPTION

- C1.1 TITLE & NOTES SHEET
- C2.1 TOPOGRAPHICAL SURVEY & DEMOLITION PLAN
- C3.1 SITE, PAVING, & UTILITY PLAN
- C4.1 GRADING PLAN
- C4.2 SITE CROSS-SECTIONS
- C5.1 LANDSCAPE PLANS
- C6.1 CIVIL DETAILS
- C6.2 CIVIL DETAILS
- C6.3 CIVIL DETAILS
- C6.4 CIVILDDETAILS

SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021



REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.

INBERG-MILLER ENGINEERS	
124 East Main Street 1100 East C Street 200 Prairie Boulevard 180 West Plumtree Circle Hwy 200 E. Nicholas St. 501 F Street US Hwy 1416 Riverton, WY 82501 Casper, WY 82501 Cheyenne, WY 82007 Green River, WY 82901 Douglas, WY 82633 Gillette, WY 82716 307-856-8136 307-677-0806 307-635-6827 307-875-4394 307-875-7000 307-682-5000	MILLS DOLLAR GENERAL STORE #23300 PROJECT CAPITAL GROWTH BUCHALTER
TITLE & NOTES SHEET	SHEET C1.1
SCALE HORZ 1" = 20' VERT N/A	DRN. ARC BK: 1303 PAGE: 1-2 CHK. CDW DATE: 5/20/2021 JOB NO. 21801-CE

ZONE:D-R - DEVELOPING RESIDENTIAL ZONING

ZONE:D-R - DEVELOPING RESIDENTIAL ZONING

CHALMERS STREET

ZONE:D-B - DEVELOPING BUSINESS ZONING
LOTS 5-7, THE WEST 35 FEET OF LOT 8, LOTS 42 & 43 & THE EAST 10 FEET OF LOT 44, BLOCK 16 MOUNTAIN VIEW SUBURB
42,630 S.F.
0.96 ACRES

LOTS 2-4, BLK 16 MOUNTAIN VIEW SUBURB LANGE, THOMAS R.
ZONE:D-B - DEVELOPING BUSINESS ZONING

EAST 15' LOT 8, LOT 9 & 10 BLK 16 MOUNTAIN VIEW SUBURB NEWMAYER, GERALD C
ZONE:D-B - DEVELOPING BUSINESS ZONING

LOT 44, BLK 16 MOUNTAIN VIEW SUBURB LANGE, THOMAS R.
ZONE:D-B - DEVELOPING BUSINESS ZONING

LOT 41, BLK 16 MOUNTAIN VIEW SUBURB PHILLIPS, MARK A
ZONE:D-B - DEVELOPING BUSINESS ZONING

WEST YELLOWSTONE HIGHWAY (US26/WY20)

ZONE:D-B - DEVELOPING BUSINESS ZONING

RADIO AVENUE

ZONE:D-B - DEVELOPING BUSINESS ZONING

- CONSTRUCTION NOTES:**
- 1 DEMOLISH & REMOVE CURB & GUTTER
 - 2 DEMOLISH & REMOVE CONCRETE DRIVEWAY
 - 3 DEMOLISH & REMOVE ASPHALT PARKING LOT
 - 4 DEMOLISH & REMOVE EXISTING CONCRETE
 - 5 REMOVE EXISTING UTILITY POLE
 - 6 CONTRACTOR TO COORDINATE REMOVAL OF EXISTING OVERHEAD POWER AND REROUTING UNDERGROUND WITH POWER COMPANY.

- GENERAL NOTES:**
1. THE BASIS OF BEARING IS NAD83 WYOMING STATE PLANE, EAST-CENTRAL ZONE, DISTANCES ARE AT GROUND.
 2. VERTICAL DATUM IS BASED ON NAVD88, GEOID 12B.
 3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.
 4. PROPERTY DATA IS FOR REFERENCE ONLY AND THIS DRAWING IS NOT A RECORD PROPERTY SURVEY. FOR PROPERTY INFORMATION REFER ALTA SURVEY DRAWING BY INBERG-MILLER ENGINEERS.
 5. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
 6. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.
 7. CONTRACTOR SHALL COORDINATE ALL REMOVAL AND RELOCATION OF PRIVATE UTILITIES SUCH AS GAS, ELECTRIC, AND COMMUNICATION WITH UTILITY OWNER.

D=0°26'00"
R=3770.21'
L=28.52'
CH=N66°07'07"W
28.52'

D=0°04'55"
R=3766.21'
L=5.38'
CH=N66°01'32"W
5.38'

N71°19'02"W 0.51'
N23°15'46"E 3.99'

N66°23'20"W 89.42'

N23°26'51"E 4.44'
D=4°10'42"
R=820.10'
L=59.81'
CH=N76°16'09"W
59.79'

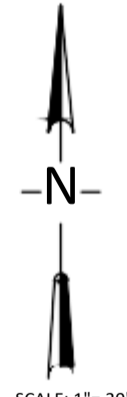
N66°14'39"W 13.76'

S02°09'48"W 124.46'

S02°19'12"W 135.96'

N02°10'38"E 193.66'

S87°53'20"E 185.35'



SCALE: 1" = 20'

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**

Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.



Know what's below.
Call before you dig.

REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

INBERG-MILLER ENGINEERS
124 East Main Street • 4200 East C Street • 350 Piney Grove Road • 103 West Fleming Circle • 630 E. Rainbow • 4100 East UD Hwy • 44-46
Riverton, WY 82501 Casper, WY 82601 Cheyenne, WY 82007 Green River, WY 82535 Douglas, WY 82633 Gillette, WY 82716
307-856-8136 307-677-0806 307-635-6827 307-875-4394 307-652-5000 307-652-5000

**MILLS DOLLAR GENERAL STORE #23000 PROJECT
CAPITAL GROWTH BUCHALTER**

TOPOGRAPHICAL SURVEY & DEMOLITION PLAN

SCALE: HORIZ 1" = 20' VERT N/A
DRN: ARC CHK: CDW DATE: 5/20/2021
BK: 1303 PAGE: 1-2
JOB NO. 21801-CE

SHEET **C2.1**

REL21801-CE.CDWG



CHALMERS STREET

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST. 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW 855300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN AND DRY. PROMAR TRAFFIC MARKING PAINT YELLOW TMS495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN AND DRY. PROMAR TRAFFIC MARKING PAINT YELLOW TMS495

NOTE: IF PARKING LOT PAVING IS CONCRETE, ADD 4" WIDE SAFETY YELLOW STRIPE AT EDGE OF ALL SIDEWALK BORDERING PAVEMENT.

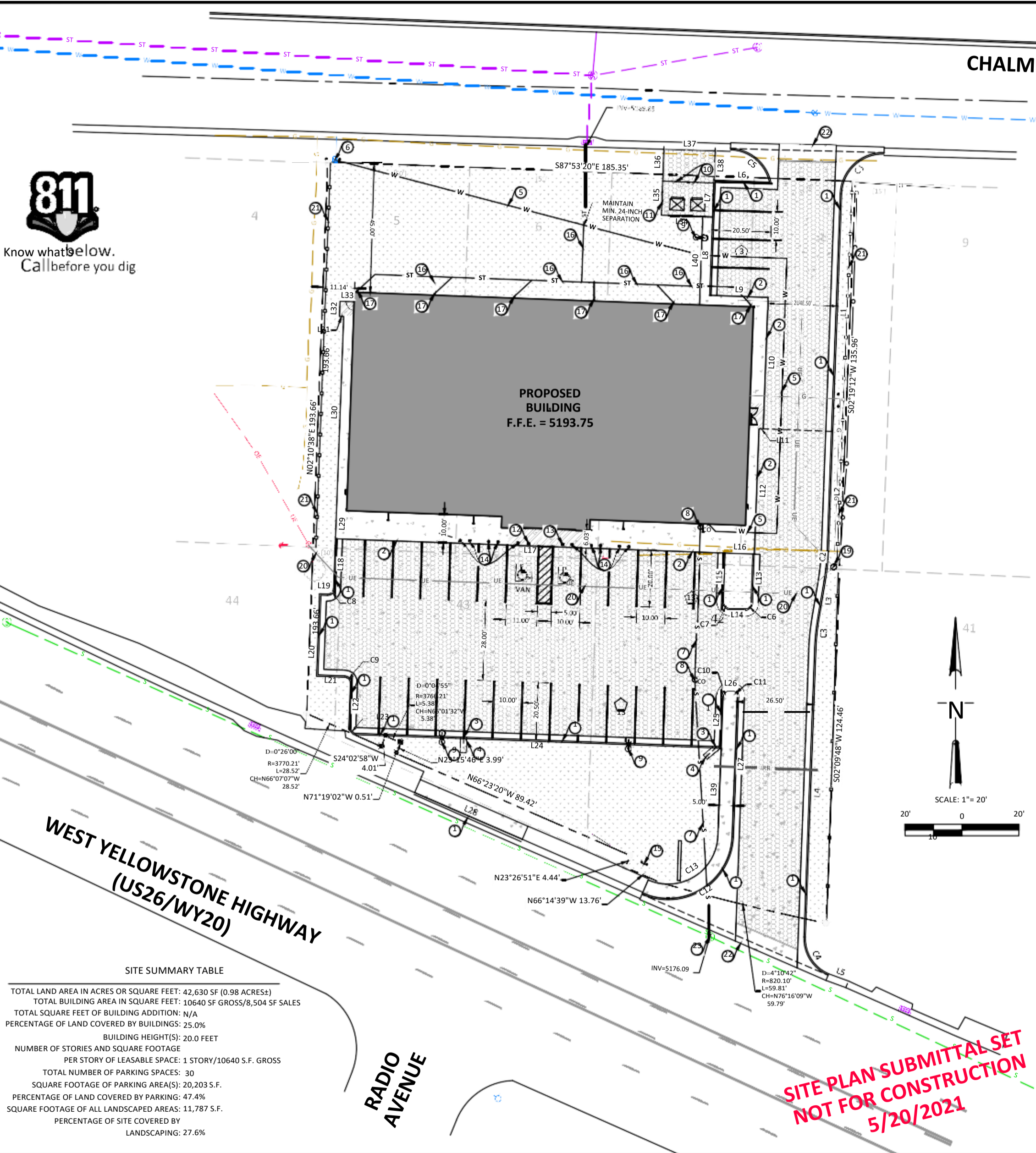
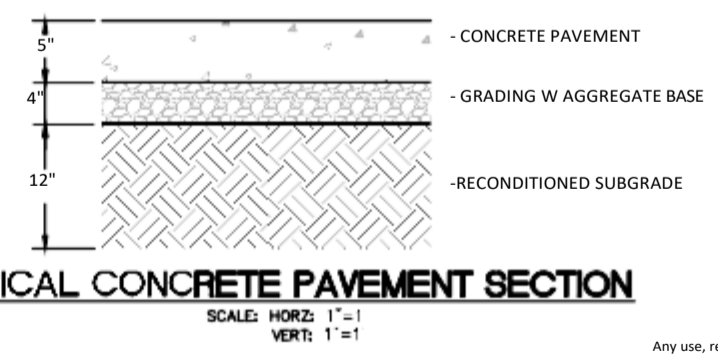
LEGEND:	
	CONCRETE PAVEMENT 5" CONCRETE PAVEMENT 4" WYDOT GRADING W BASE 12" RECONDITIONED SUBGRADE 10'X10' MAXIMUM JOINTS, SEAL ALL JOINTS
	SIDEWALK 4" PORTLAND CEMENT CONCRETE 4" BASE COURSE 6'X6' MAXIMUM JOINTS, SEAL ALL JOINTS
	SIDEWALK @ DOORS 4" PORTLAND CEMENT CONCRETE 48" BASE COURSE (6.0' X 6.0' MIN.)
	LANDSCAPE REFER TO LANDSCAPE PLANS

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S 02°06'40" W	83.52
L2	S 02°06'40" W	42.24
L3	S 09°26'40" W	13.43
L4	S 02°06'40" W	101.48
L5	S 89°57'42" E	7.39
L6	S 87°53'20" E	10.53
L7	N 02°06'40" E	13.00
L8	N 02°06'40" E	27.50
L9	S 87°53'20" E	20.50
L10	S 02°06'40" W	46.18
L11	N 87°53'20" W	1.50
L12	S 02°06'40" W	44.11
L13	S 02°06'40" W	17.00
L14	N 87°53'20" W	4.75
L15	N 02°06'40" E	17.00
L16	N 87°53'20" W	10.25
L17	N 87°53'20" W	137.00
L18	S 02°06'40" W	17.50
L19	N 87°53'20" W	30.55
L20	S 02°06'40" W	29.00

LINE TABLE		
LINE #	DIRECTION	LENGTH
L21	S 87°53'20" E	10.00
L22	S 02°06'40" W	16.27
L23	S 42°53'20" E	2.75
L24	S 87°53'20" E	129.27
L25	N 02°06'40" E	18.00
L26	S 87°53'20" E	1.00
L27	S 02°06'40" W	48.95
L28	S 66°54'29" E	41.23
L29	N 02°06'40" E	10.00
L30	N 02°06'40" E	68.08
L31	N 87°53'20" W	1.50
L32	N 02°06'40" E	5.33
L33	S 87°53'20" E	5.00
L34	N 87°53'20" W	14.50
L35	N 02°06'40" E	14.00
L36	N 02°06'40" E	9.17
L37	S 88°13'50" E	18.03
L38	S 02°06'40" W	10.28
L39	S 02°06'40" W	30.55
L40	N 02°06'40" E	31.00

- CONSTRUCTION NOTES:**
- INSTALL TYPE-A CURB & GUTTER PER DETAIL ON SHEET C6.1.
 - INSTALL THICKEN EDGE SIDEWALK PER DETAIL ON SHEET C6.1.
 - INSTALL 2-FOOT WIDE CURB CUT.
 - INSTALL 2-FT WIDE VALLEY PAN PER DETAIL ON SHEET C6.1.
 - INSTALL 1-INCH WATER SERVICE LINE PER DETAILS ON SHEET C6.2. MINIMUM BURIAL DEPTH SHALL BE 6.0-FEET.
 - CONNECT WATER LINE TO EXISTING WATER METER VAULT. ADJUST LID TO FINISHED GRADE.
 - INSTALL 4-INCH SANITARY SEWER SERVICE PER DETAIL ON SHEET C6.2.
 - INSTALL DOUBLE CLEANOUT PER DETAIL ON SHEET C6.2.
 - INSTALL LIGHT POLE & LUMINARIES BY USLED. SEE PHOTOMETRIC PLAN BY USLED.
 - INSTALL TRASH ENCLOSURE GATE PER DETAIL ON SHEET C6.4.
 - INSTALL TRASH ENCLOSURE WOOD WALL PER DETAIL ON SHEET C6.4.
 - INSTALL VAN HANDICAP PARKING SIGN PER DETAIL ON SHEET C6.3.
 - INSTALL HANDICAP PARKING SIGN PER DETAIL ON SHEET C6.3.
 - INSTALL BOLLARD PER DETAIL ON SHEET C6.3.
 - INSTALL TEMPORARY ADDRESS SIGN
 - INSTALL 8-INCH HDPE STORM LINE WITH FITTINGS @ 0.5% MINIMUM GRADE.
 - CONNECT ROOF DRAINS TO STORM SEWER PER DETAIL ON SHEET C6.3.
 - INSTALL NEW UTILITY POLE WITH TRANSFORMER. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
 - RELOCATE OVERHEAD ELECTRIC TO UNDERGROUND ELECTRIC. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
 - INSTALL 2-INCH PVC IRRIGATION LINESLEEVE.
 - INSTALL FENCE PER DETAIL SHEET C6.4.
 - INSTALL 6-FT WIDE WYDOT DOUBLE GUTTER PER DETAIL ON SHEET C6.1.
 - INSTALL SANITARY MANHOLE INSIDE DROP BOWN PER DETAIL ON SHEET C6.2.

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD LENGTH
C1	14.50	89°40'45"	22.20	S 45°52'02" W	20.45
C2	80.50	7°30'00"	10.58	S 05°51'40" W	10.53
C3	79.50	7°30'00"	10.41	S 05°51'40" W	10.40
C4	11.50	88°08'52"	16.29	S 12°27'46" E	15.32
C5	14.50	75°44'43"	19.17	N 50°24'24" E	17.80
C6	2.50	90°00'00"	3.93	S 47°06'40" W	3.54
C7	2.50	90°00'00"	3.93	N 42°53'20" W	3.54
C8	2.00	90°00'00"	3.14	S 47°06'40" W	2.83
C9	2.00	90°00'00"	3.14	S 42°53'20" E	2.83
C10	2.00	90°00'00"	3.14	N 47°06'40" E	2.83
C11	2.00	90°00'00"	3.14	S 42°53'20" E	2.83
C12	22.50	111°26'47"	45.78	S 57°50'43" W	42.18
C13	17.50	111°26'47"	34.04	S 57°50'43" W	28.92



WEST YELLOWSTONE HIGHWAY (US26/WY20)

SITE SUMMARY TABLE	
TOTAL LAND AREA IN ACRES OR SQUARE FEET:	42,630 SF (0.98 ACRES±)
TOTAL BUILDING AREA IN SQUARE FEET:	10640 SF GROSS/8,504 SF SALES
TOTAL SQUARE FEET OF BUILDING ADDITION:	N/A
PERCENTAGE OF LAND COVERED BY BUILDINGS:	25.0%
BUILDING HEIGHT(S):	20.0 FEET
NUMBER OF STORIES AND SQUARE FOOTAGE PER STORY OF LEASABLE SPACE:	1 STORY/10640 S.F. GROSS
TOTAL NUMBER OF PARKING SPACES:	30
SQUARE FOOTAGE OF PARKING AREA(S):	20,203 S.F.
PERCENTAGE OF LAND COVERED BY PARKING:	47.4%
SQUARE FOOTAGE OF ALL LANDSCAPED AREAS:	11,787 S.F.
PERCENTAGE OF SITE COVERED BY LANDSCAPING:	27.6%

SITE PLAN SUBMITTAL SET NOT FOR CONSTRUCTION 5/20/2021

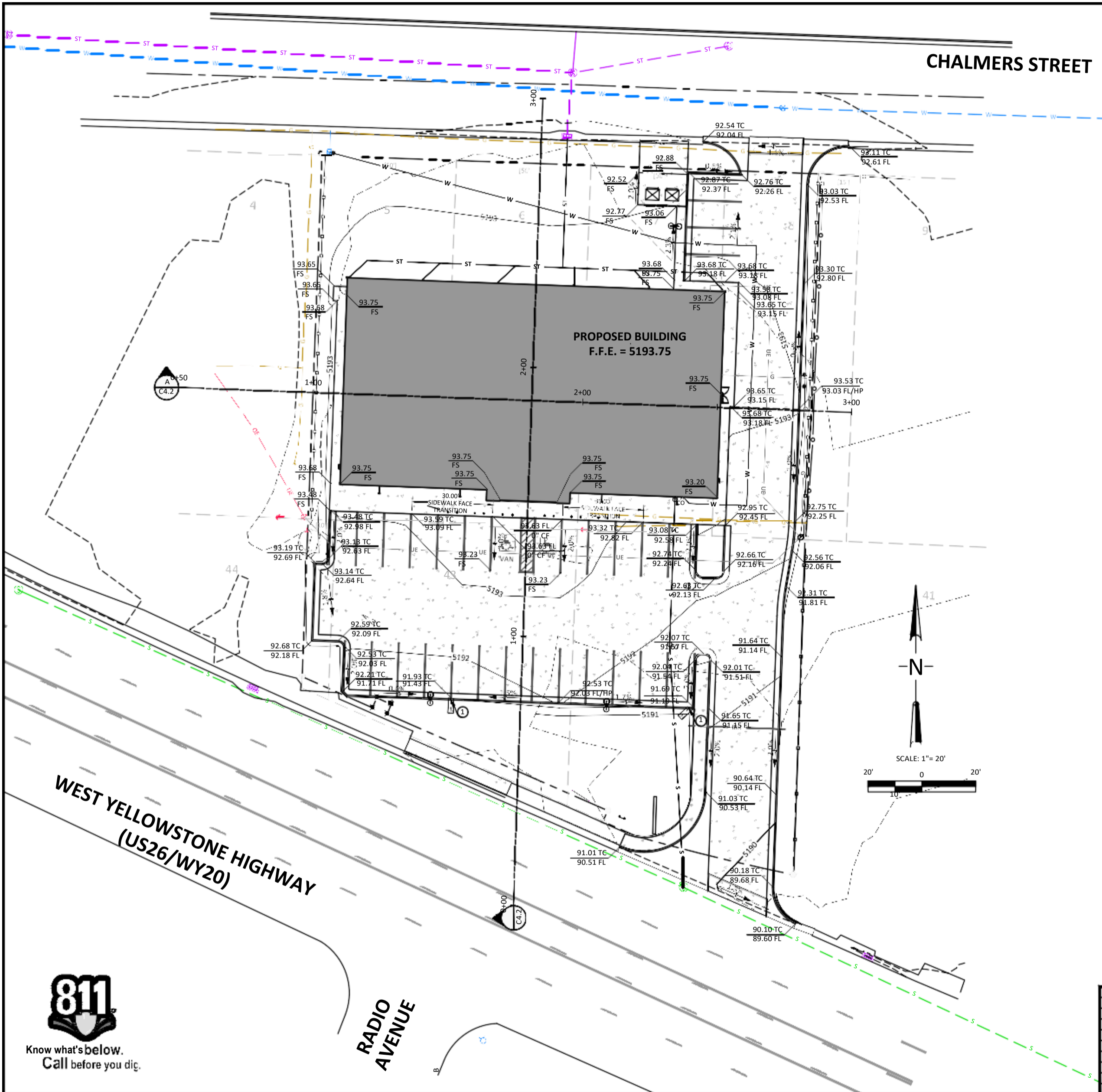
REVISIONS			
NO.	DESCRIPTION	DATE	BY

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INBERG-MILLER ENGINEERS
 124 East Main Street 1120 East C Street 350 Preston Boulevard 103 West Fleming Court Way 830 E Richards St Ste 1 1300 East US Hwy 14-19
 Riverton, WY 82501 Casper, WY 82501 Cheyenne, WY 82007 Green River, WY 82935 Douglas, WY 82633 Gillette, WY 82716
 307-856-8138 307-677-0866 307-626-6827 307-875-4394 307-359-7000 307-682-9000

WILLS DOUGLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER
 SITE, PAVING, & UTILITY PLAN SHEET **C3.1**

SCALE: HORZ: 1" = 20' VERT: N/A
 DRN: ARC BK: 1303 PAGE: 1-2
 CHK: CDW JOB NO: 21801-CE
 DATE: 5/20/2021



CHALMERS STREET

**WEST YELLOWSTONE HIGHWAY
(US26/WY20)**

RADIO AVENUE

**PROPOSED BUILDING
F.F.E. = 5193.75**

GENERAL NOTES:

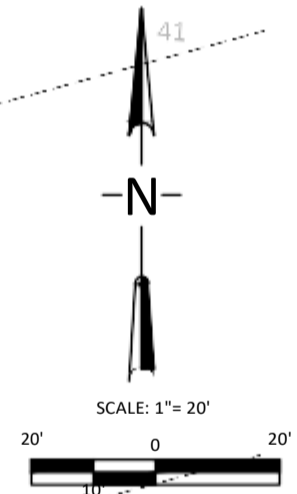
1. ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.
2. ALL SIDEWALKS SHALL HAVE A MAXIMUM OF 2.0% CROSS-SLOPE.
3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, 2015 EDITION.
4. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
5. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.

CONSTRUCTION NOTES:

1. INSTALL 24-INCH WIDE CURB CUT. TRANSITION VALLEY PAN TO CURB CUT.
- 2.
- 3.

LEGEND:

- FS FINISHED SURFACE
- F.F.E FINISHED FLOOR ELEVATION
- FL FLOWLINE
- TC TOP OF CURB
- TG TOP OF GRATE



**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**



REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

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 124 East Main Street | 1100 East C Street | 300 Parkway Boulevard | 193 West Pumping Garage Way | 300 E. Richards St | 1300 East US Hwy 14-16
 Riverton, WY 82501 | Casper, WY 82501 | Cheyenne, WY 82007 | Green River, WY 82905 | Douglas, WY 82633 | Gillette, WY 82716
 307-856-8136 | 307-577-0806 | 307-635-6827 | 307-875-4394 | 307-359-7000 | 307-682-5000

**MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER**

GRADING PLAN

SCALE: 1" = 20'
 HORZ: 1" = 20'
 VERT: N/A

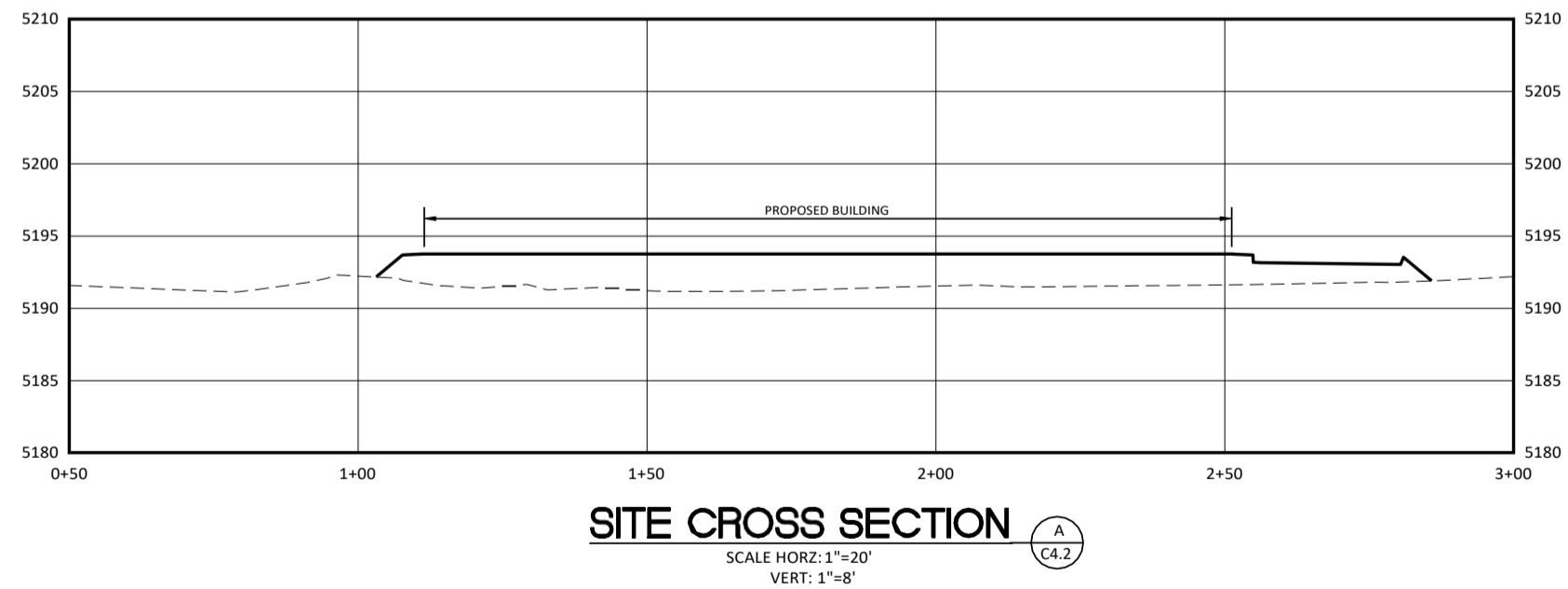
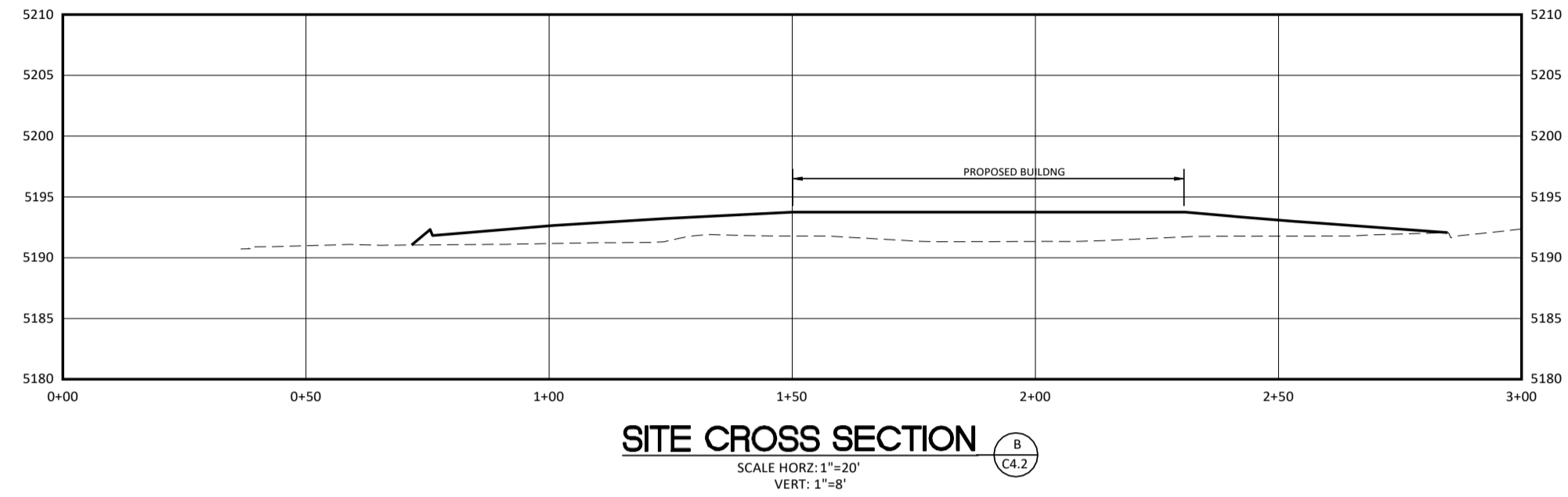
DRN: ARC
 CHK: CDW
 DATE: 5/20/2021

BK: 1303
 PAGE: 1-2
 JOB NO. 21801-CE

SHEET **C4.1**

FILE: 21801-CE-C4.DWG

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**



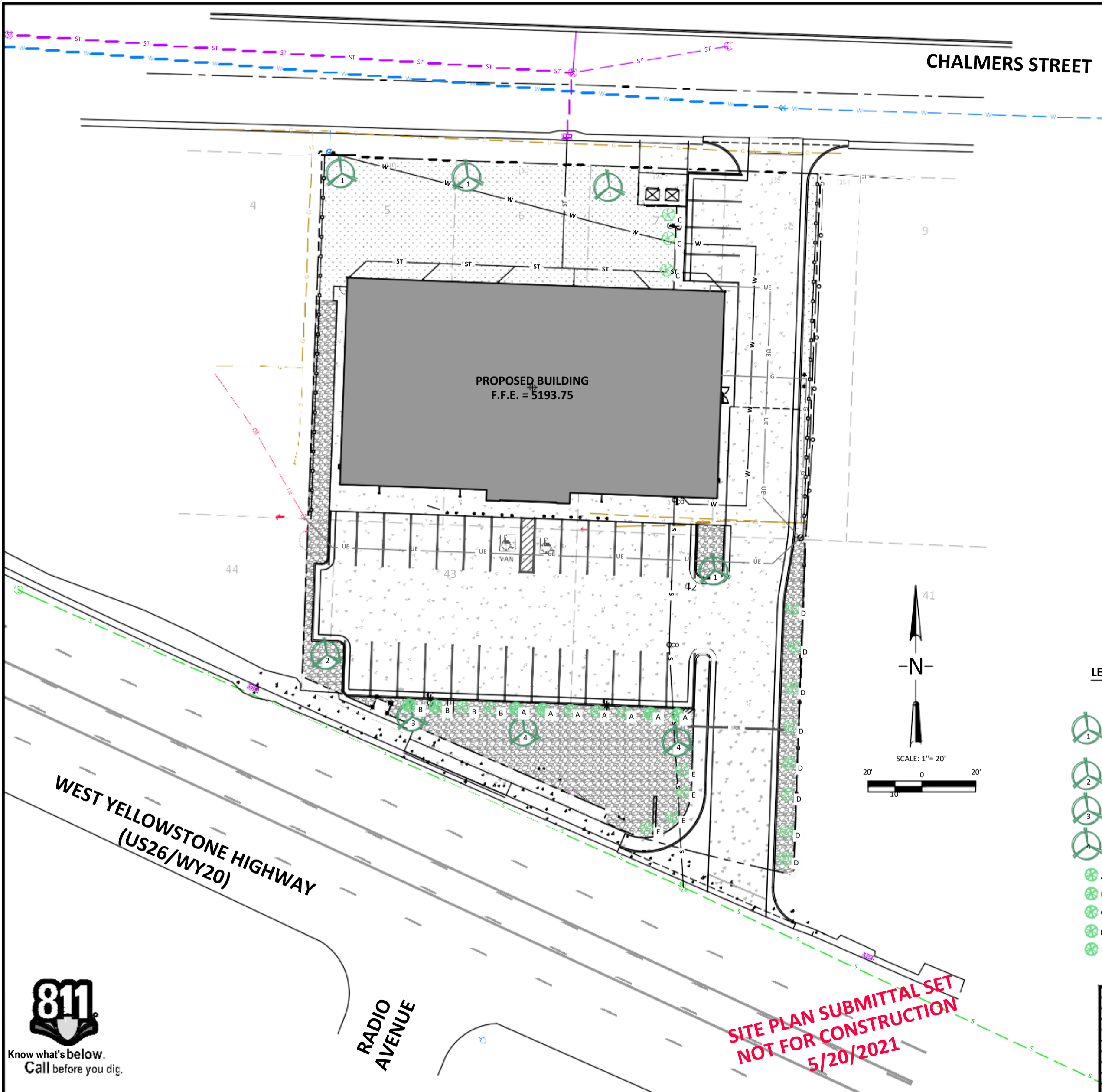
Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.



REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

	INBERG-MILLER ENGINEERS <small>124 East Main Street 1120 East C Street 350 Parsley Boulevard 193 West Flaming Gorge Way 830 E Richards St Ste 1 1300 East US Hwy 14-16 Riverton, WY 82501 Casper, WY 82401 Cheyenne, WY 82007 Green River, WY 82525 Douglas, WY 82533 Gillette, WY 82716 307-856-8136 307-577-0808 307-635-6827 307-875-4384 307-359-7000 307-682-5000</small>			
	MILLS DOLLAR GENERAL STORE #23300 PROJECT CAPITAL GROWTHBUCHALTER			
SCALE HORZ: 1" = 20' VERT: 1" = 8'			DRN. ARC BK: 1303 PAGE: 1-2 CHK. CDW DATE: 5/20/2021 JOB NO. 21801-CE	
GRADING PLAN				SHEET C4.2

FILE: 21801-CE-C4.DWG



GENERAL NOTES:

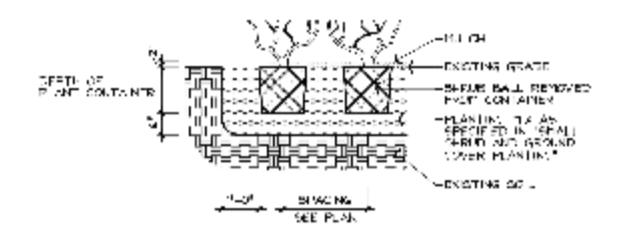
1. INSTALL AUTOMATIC IRRIGATION SYSTEM TO ALL PLANTS AND LAWNS.
2. PLANTS SHALL BE EQUAL TO WELL-FORMED No.1 GRADE OR BETTER NURSERY STOCK IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE STANDARDS, SUBJECT TO OWNER'S REPRESENTATIVE APPROVAL.
3. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM DEFECTS, DECAY, GIRDLING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, AND INSECT PESTS, THEIR EGGS AND LARVAE.
4. INSTALL WEED BARRIER AND ROCK MULCH IN PLANTING BEDS WHERE TREES AND SHRUBS ARE TO BE INSTALLED.
5. ALL DECIDUOUS TREES SHALL HAVE A MINIMUM 2.5-INCH CALIPER.
6. ALL SHRUBS SHALL BE A MINIMUM OF 24" HIGH.
7. ROCK MULCH SHALL BE 3"+ SIZE.
8. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, 2015 EDITION AND CITY OF CHEYENNE STANDARD DETAILS ISSUED MARCH 2013.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
10. CONTRACTOR SHALL INSTALL 1-INCH PVC IRRIGATION SLEEVES TO ALL ISLANDS PRIOR TO PAVING.
11. EROSION CONTROL BLANKETS SHALL PROVIDE AND USE A MACHINE-MADE MAT CONSISTING ENTIRELY OF AGRICULTURAL STRAW, WEIGHING APPROXIMATELY 0.50 lb/yd² (270 g/m²), AND OF CONSISTENT THICKNESS WITH THE STRAW EVENLY DISTRIBUTED. ENSURE THAT THE BLANKETS ARE SEWN WITH DURABLE THREAD, TREATED WITH AN EPA-LABELED FUMIGANT TO KILL WEED SEEDS AND PESTS. THEY SHALL BE COVERED ON TOP WITH PHOTODEGRADABLE POLYPROPYLENE NETTING WEIGHING APPROXIMATELY 1 LB/1000 FT² (485 g/100 m²).
12. INSTALL DRYLAND SEEDING BEFORE PLACING EROSION CONTROL BLANKETS.

HATCH LEGEND:

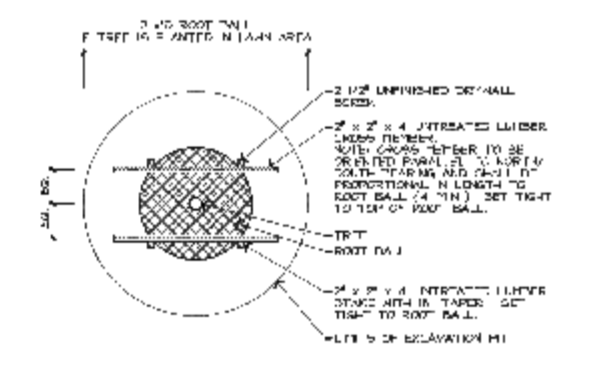
- 6-INCH TOPSOIL & DRYLAND SEEDING (EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 4H:1V)
- ROCK MULCH

LEGEND:

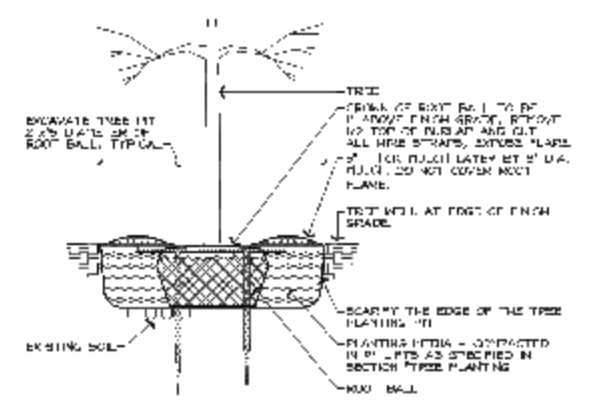
- TREE - THUNDER CHILD CRAB (MALUS THUNDERCHILD)
- TREE - PRINCESS KAY PLUM (PRUNUS NIGRA PRINCESS KAY)
- TREE - CANADA RED CHOKECHERRY, SUCKER PUNCH VARIETY (PRUNUS VIRGINIANA CAN. RED)
- TREE - HONEYLOCUS (GLEDTISA TRIACANTHOS INERMIS)
- SHRUB - PINK FLOWERING ALMOND (PRUNUS GLANDULOSA ROSEA)
- SHRUB - BAGETTELE BARBERRY (BERBERIS THUNBERGII BAGATELLE)
- SHRUB - PEKING COTONEASTER (COTONEASTER ACUTIFOLIUS)
- SHRUB - WESTERN SANDCHERRY (PRUNUS BESSEYI)
- SHRUB - HARRISON YELLOW ROSE (ROSA HARRISONI)



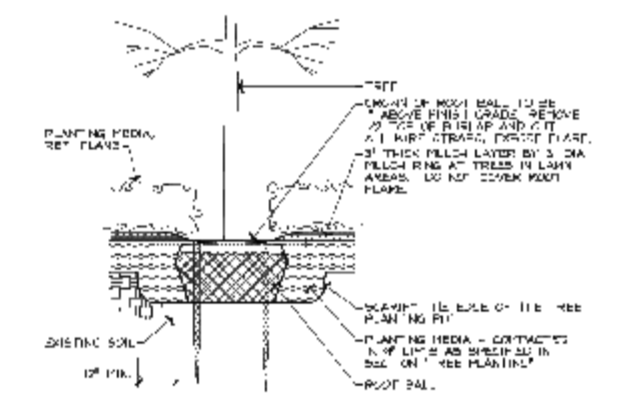
SHRUB PLANTING DETAIL
SCALE HORZ: NTS



TREE STAKING DETAIL
SCALE HORZ: NTS



TREE PLANTING IN LAWN DETAIL
SCALE HORZ: NTS



TREE PLANTING IN PLANTER DETAIL
SCALE HORZ: NTS

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**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**

REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

INBERG-MILLER ENGINEERS
124 East Main Street 1100 East C Street 350 Parsley Boulevard 193 West Flaming Gorge Way 830 E Richards St Box 11301 East US Hwy 16 16
Riverton, WY 82501 Casper, WY 82401 Cheyenne, WY 82007 Green River, WY 82525 Douglas, WY 82523 Gillette, WY 82719
307-856-8136 307-577-0806 307-635-6827 307-875-4394 307-359-7000 307-682-5000

MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER

LANDSCAPE PLAN

SCALE HORZ: 1"=20'
VERT: N/A

DRN: ARC
CHK: CDW
DATE: 5/20/2021

BK: 1303
PAGE: 1-2
JOB NO. 21801-CE

SHEET **C5.1**

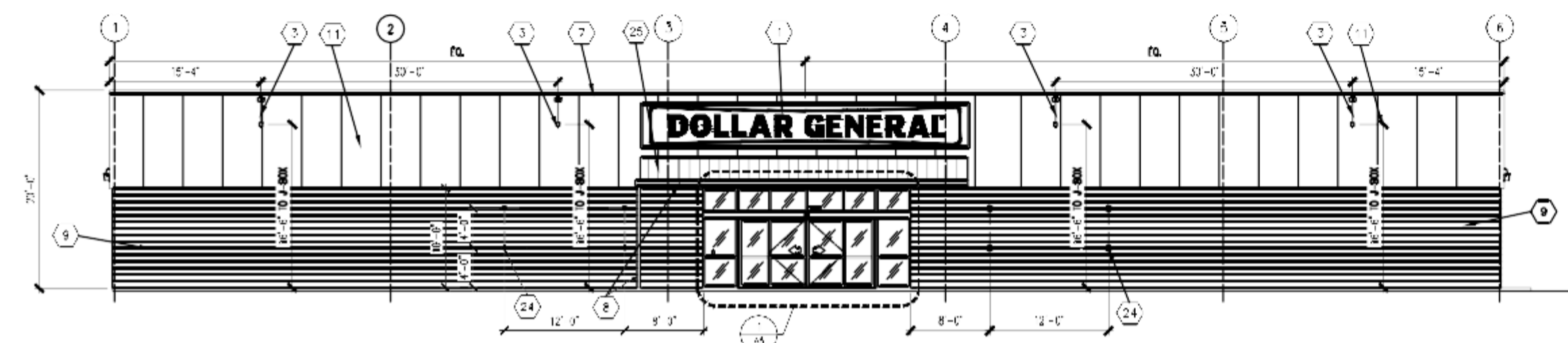


RADIO AVENUE

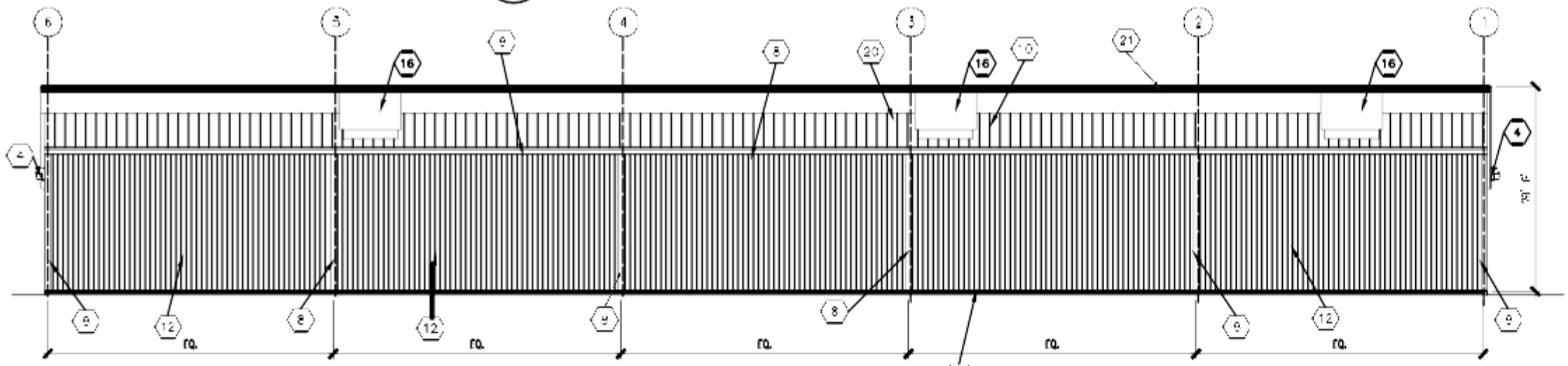
FINISHES	VP BUILDINGS		S'AR BUILDING SYSTEMS		NUCOR BUILDING SYSTEMS		60 BPT STEEL BUILDINGS		C-ITF BUILDINGS		PREFERRED COLORS IF ALTERNATE EX-FRAME MATERIALS ARE USED INSTEAD OF METAL PANELS
	ATTN: DAVID ENGLISH 901-868-4637		ATTN: JEFF HORN 866-664-8899		ATTN: BOB BARRY 315-622-4440		ATTN: KEVIN BUSLER 800-633-3378		ATTN: FRN SULLIVAN 800-846-1767		
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SCHEDULE UNLESS NOTED OTHERWISE. JURISDICTION DOES NOT ALLOW.	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control
QUITTS											
DOWN SPOUTS											
SIDE AND REAR METAL WALL PANELS & RM. RECEIVING & EMERGENCY EX. DOORS (EXCEPT DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)											
ARCHITECTURAL BLOCK A BUILDING FACADY TO BE PRE-FINISHED OR PAINTED (SEE COA'S)											
LOADING DOOR MASONRY COATING AS SHOWN IN COA'S											
0 M.A.C. METAL WALL PANELS											
PLA METAL SOFFIT S'ORTRON VISIBL											
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY											
S'ORTRON SYSTEM											
STANDING SEAM METAL ROOF PANELS											
WATER TABLES AND RECEIVING FLOOR LINER PANELS											

ELEVATION KEYED NOTES

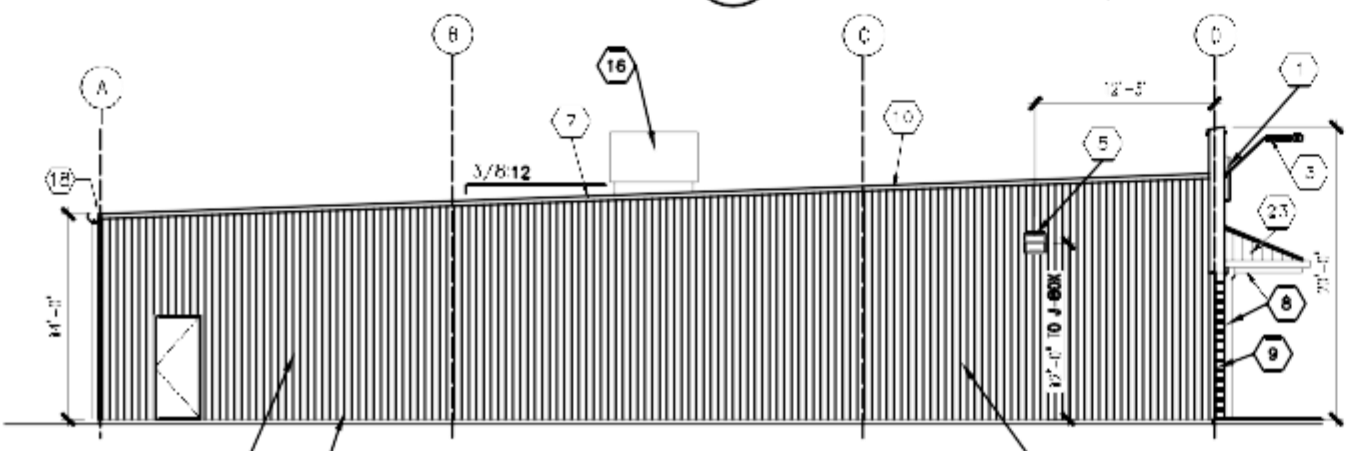
- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT UP TO 1400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- NOT USED.
- FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- WALL PACK. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- TRM - SEE FINISH SCHEDULE FOR COLOR.
- QUITTER AND DOWNSPOUT - SEE FINISH SCHEDULE FOR COLOR.
- 6" SPLIT FACE CONCRETE MASONRY UNIT.
- STANDING SEAM METAL ROOF.
- PRE-FINISHED METAL WALL PANELS FOR FASCIA AND PARAPET OVER ENTRANCE. REVERSE RB PROFILE.
- PRE-FINISHED METAL WALL PANELS FOR SIDE AND REAR. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0"
- VEN. FOR BATHROOM EX-AUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
- NOT USED.
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SCHEDULE M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- PARAPET BEYOND.
- IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
- EXTEND PARAPET WALL UP AS NEEDED TO SCREEN ROOF MOUNTED EQUIPMENT IF REQUIRED BY LOCAL ORDINANCE.
- FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
- NOT USED.
- 1/2" DIAMETER x 6" LONG STEEL RYB BOLTS (CLOSEST) WITH 1" DOME TR OPENINGS. DRILL AND EPOXY IN 0 BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.



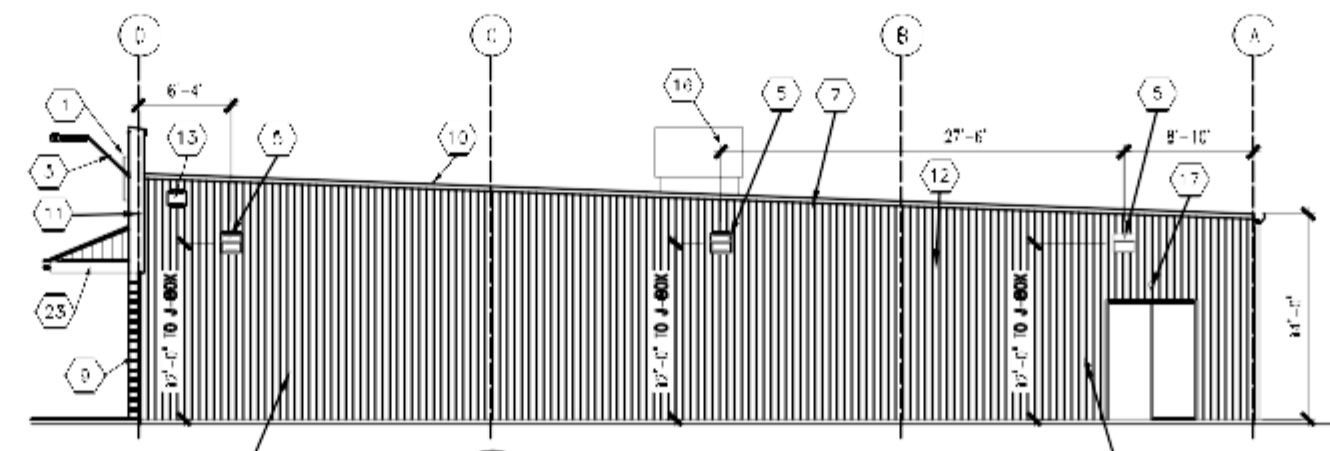
1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 SIDE ELEVATION (NO ACCESS)
1/8" = 1'-0"



4 SIDE ELEVATION (TRUCK SIDE)
1/8" = 1'-0"

DESIGNER NOTE:
IF ADDITIONAL SCREENING IS REQUIRED FOR ROOF MOUNTED EQUIPMENT PER LOCAL CODE, CONTACT DOLLAR GENERAL FOR APPROVAL.

DESIGNER NOTE:
IF JURISDICTION REQUIRES ANY DEVIATIONS FROM PROTOTYPE IN DESIGN OR SIGNAGE, ELEVATIONS MUST BE SUBMITTED TO DOLLAR GENERAL FOR APPROVAL PRIOR TO SUBMISSION TO CITY.

REVISIONS:

THESE DOCUMENTS ARE PROVIDED AS A CONSTRUCTION DOCUMENT TEMPLATE FOR THIS BUILDING TYPE. THESE DRAWINGS MUST BE REVIEWED AND ADAPTED BY A LICENSED ARCHITECT AND ENGINEER TO COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES FOR SITE SPECIFIC PROJECTS. ALL PROJECTS MUST BE APPROVED BY DOLLAR GENERAL PRIOR TO START OF CONSTRUCTION.

STORE NUMBER
STREET ADDRESS
CITY - STATE

DOLLAR GENERAL
PRCTOTYPE CRITERIA SET PLAN
76'-0" X 140'-0" 10,640 SF PROTOTYPE "D" PLUS"
ARCHITECTURAL AND ENGINEERING DEPARTMENT (615) 865-4753
BISPLANS@DOLLARGENERAL.COM

DATE	MARCH 23, 2019
DRAWING TITLE	EX-FRAME ELEVATIONS
SCALE	1/8" = 1'-0"
SHEET NO.	

A2