

COMMUNITY DEVELOPMENT DEPARTMENT REPORT



HEARING DATE: 9/4/2025

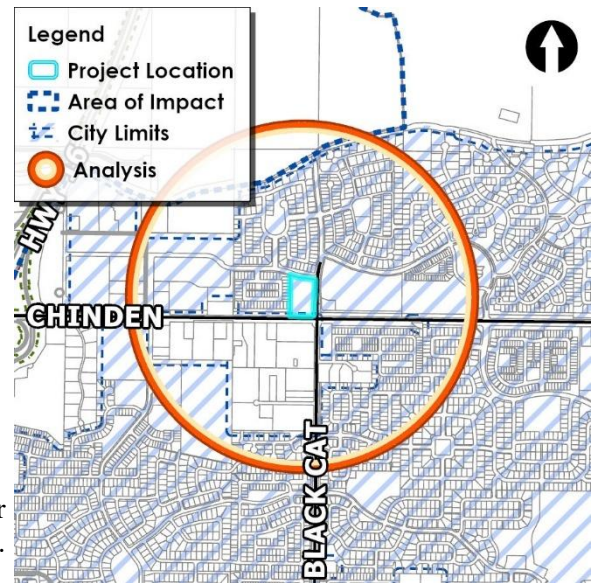
TO: Planning & Zoning Commission

FROM: Sonya Allen, Associate Planner
208-884-5533
sallen@meridiancity.org

APPLICANT: Benjamin Semple, Rodney Evans + Partners, LLC

SUBJECT: H-2025-0036
Fairbourne Subdivision No. 4

LOCATION: Generally located at the northwest corner of W. Chinden Blvd. & N. Black Cat Rd. at 4837 W. Waverton Dr., in the SE 1/4 of Section 21, T.4N., R.1W.



I. PROJECT OVERVIEW

A. Summary

Combined preliminary and final plat consisting of one (1) buildable lot on 5.2 acres of land in the C-C zoning district.

B. Issues

None

C. Recommendation

Staff: Approval

D. Decision

Commission: Pending

City Council: Pending

II. COMMUNITY METRICS

Table 1: Land Use

Description	Details	Map Ref.
Existing Land Use(s)	Vacant/undeveloped	-
Proposed Land Use(s)	Commercial	-
Existing Zoning	C-C (Community Business)	VII.A.2
Adopted FLUM Designation	MU-C (Mixed Use – Community)	VII.A.3

Table 2: Process Facts

Description	Details
Preapplication Meeting date	3/26/2025
Neighborhood Meeting	4/17/2025
Site posting date	8/22/2025

Table 3: Community Metrics

Agency / Element	Description / Issue	Reference
Ada County Highway District		
• Comments Received	No	-
• Commission Action Required	No	-
• Access	(1) access via W. Waverton Dr. & (1) access via N. Black Cat Rd.	-
• Traffic Level of Service		-
ITD Comments Received	No comments were received	
Meridian Fire	No comments were received	
Meridian Police	No comments were received	
Meridian Public Works Wastewater		
• Distance to Mainline	Sewer stub service line is available from Waverton Dr.	
• Impacts or Concerns		
Meridian Public Works Water		
• Distance to Mainline	Served by Veolia	
• Impacts or Concerns		

Note: See section IV. City/Agency Comments & Conditions for comments received.

III. STAFF ANALYSIS

Comprehensive Plan and Unified Development Code (UDC)

A. General Overview

The subject property is designated Mixed Use – Community (MU-C) on the Future Land Use Map (FLUM) in the Comprehensive Plan. The purpose of this designation is to allocate areas where community-serving uses and dwellings are seamlessly integrated into the urban fabric.

Table 4: Project Overview

Description	Details
History	H-2018-0052 Fairbourne Subdivision (Development Agreement Inst. 2018-098361
Physical Features	NA
Acreage	5.2 acres
Lots	1 buildable lot

B. History

In 2018, this property was included in a rezone, preliminary plat and development agreement (DA) modification application for Fairbourne Subdivision, which included the adjacent residential subdivision to the north and west. A new DA was approved with the modification, which governs future development of the overall property.

Final plat applications were approved for all of the property included in the preliminary plat except for this last remaining area, which was intended to be included in the last phase; however, a final plat application was never submitted, a time extension was not requested, and the preliminary plat has since expired.

C. Site Development and Use Analysis

1. Existing Structures/Site Improvements (*UDC 11-1*):

There are no existing structures on the site. Street buffer landscaping was installed along W. Chinden Blvd. and N. Black Cat Rd. with development of the adjacent subdivision improvements.

2. Proposed Use Analysis (*UDC 11-2*):

Three (3) commercial building pads for retail/office use are proposed to develop on the site per the site plan included below in Section VII.F. The largest pad, “Pad A”, is proposed to be a grocery store at 25,623 sq. ft.; “Pad B” is 11,234 sq. ft. and “Pad C” is 4,964 sq. ft. Note: The proposed development plan is consistent with the provisions in the DA.

Retail and professional services (i.e. office) are both principal permitted uses in the C-C district; see UDC Table 11-2B-2 for a complete list of allowed uses in the C-C district.

3. Dimensional Standards (*UDC 11-2*):

Compliance with the dimensional standards listed in UDC Table 11-2B-3 for the C-C district is required.

Business hours of operation are limited from 6:00 am to 11:00 pm adjacent to residential uses per UDC 11-2B-3B; extended hours may be requested through a CUP. Extended hours are not anticipated.

D. Design Standards Analysis

1. Structure and Site Design Standards (*Comp Plan, UDC 11-3A-19*):

The proposed site design and commercial structures are required to comply with the structure and site design standards listed in UDC 11-3A-19.

2. Landscaping (*UDC 11-3B*):

Internal parking lot landscaping is required to comply with the standards in UDC 11-3B-8C.

A minimum 35-foot-wide street buffer is required along W. Chinden Blvd., an entryway corridor, and a minimum 20-foot-wide street buffer is required along W. Waverton Dr. and N. Black Cat Rd., both collector streets, measured from back of curb. **Landscaping is required within the street buffers per the standards in UDC 11-3B-7C. Additional landscape design features are required along entryway corridors per UDC 11-3B-7C.3f. The existing landscaping was installed with the adjacent subdivision improvements and was never reviewed for consistency with UDC standards or approved prior to installation. The existing landscaping will need to be supplemented with additional landscaping to comply with current UDC standards. The landscape plan submitted with the final plat for City Engineer signature should demonstrate compliance with these standards.**

A 25-foot-wide buffer is required along the west boundary of the site adjacent to existing residential uses, landscaped per the standards in UDC 11-3B-9C. This buffer will be required with lot development and is not a subdivision requirement.

3. Parking (*UDC 11-3C*):

Off-street vehicle parking is required to be provided on-site for non-residential uses in commercial districts based on the gross floor area of the structure per UDC Table 11-3C-6B.1.

4. Building Elevations (*Comp Plan, Architectural Standards Manual*):

Conceptual building elevations were submitted for the proposed grocery store, included below in Section VII.G. Final design is required to comply with the design standards in the Architectural Standards Manual.

Loading docks are prohibited in commercial districts facing collector (i.e. Waverton & Black Cat) or arterial (i.e. Chinden) streets per the Architectural Standards Manual (#5.3A).

5. Fencing (*UDC 11-3A-6, 11-3A-7*):

A fence exists along the west boundary of this site along the back side of existing homes. All existing fencing will either be retained and protected during construction or replaced – the developer will coordinate with all affected neighbors.

E. Transportation Analysis

1. Access (*Comp Plan, UDC 11-3A-3, UDC 11-3H-4*):

Access is proposed via one (1) existing access driveway from W. Waverton Dr. and one (1) access driveway from N. Black Cat Rd.; no access is proposed or allowed via W. Chinden Blvd. An emergency access exists to this site via a blanket easement across the common lot (Lot 17, Block 7) in the abutting Fairbourne Subdivision No. 2 per the plat.

2. Multiuse Pathways (*UDC 11-3A-5*):

The Pathways Master Plan depicts a 10-foot-wide multi-use pathway along the east boundary on this site adjacent to N. Black Cat Rd. There is an existing 5-foot-wide detached sidewalk within the street buffer, which the Park's Dept. is allowing in lieu of a wider pathway.

3. Pathways (*Comp Plan, UDC 11-3A-8*):

No pathways are proposed or required with this development.

4. Sidewalks (*UDC 11-3A-17*):

A 10-foot wide detached multi-use pathway/sidewalk exists along W. Chinden Blvd. and 5-foot wide detached sidewalks exist along W. Waverton Dr. and N. Black Cat Rd. in accord with UDC 11-3A-17 and UDC 11-3H-4C.4.

5. Subdivision Regulations (*UDC 11-6*):

The proposed subdivision should comply with the subdivision design and improvement standards in UDC 11-6C-3.

The proposed development is consistent with Comprehensive Plan policy #2.02.01D, “*Require pedestrian access in all new development to link subdivisions together and promote neighborhood connectivity.*”

F. Services Analysis

The proposed development is consistent with Comprehensive Plan policy #2.02.02, *Maximize public services by prioritizing infill development of vacant and underdeveloped parcels within the City over parcels on the fringe.*

1. Waterways (*Comp Plan, UDC 11-3A-6*):
There are no waterways that lie on or adjacent to the site.
2. Pressurized Irrigation (*UDC 11-3A-15*):
Underground pressurized irrigation water is required to be provided in each development as set forth in UDC 11-3A-15.
3. Storm Drainage (*UDC 11-3A-18*):
An adequate storm drainage system is required in accord with the adopted standards, specifications and ordinances; design and construction shall follow Best Management Practice as adopted by the City per UDC 11-3A-18.
4. Utilities (*Comp Plan, UDC 11-3A-21*):
All utilities for the proposed development are required to be installed in accord with the standards listed in UDC 11-3A-21.

IV. CITY/AGENCY COMMENTS & CONDITIONS

A. Meridian Planning Division

1. Future development shall comply with the provisions in the existing development agreement for Fairbourne Subdivision (H-2018-0052) recorded as Inst. #2018-098361.
2. The final plat shall be revised as follows:
 - i. If ACHD allows the proposed access via N. Black Cat Rd., modify note #6 to *not* prohibit access.
 - ii. Note #10: Include the recorded instrument number of the development agreement (i.e. #2018-0098361.
 - iii. Note #11: Include the recorded instrument number of the ACHD license agreement for landscaping.

The revised plat shall be submitted with the final plat application for City Engineer signature.
3. The landscape plan shall be revised as follows:
 - i. Depict landscaping within the street buffers along W. Chinden Blvd., W. Waverton Dr., and N. Black Cat Rd. per the standards in UDC 11-3B-7C. Additional landscape design features are required along entryway corridors (i.e. Chinden Blvd.) per UDC 11-3B-7C.3f. *The existing landscaping was installed with the adjacent subdivision improvements and was never reviewed for consistency with UDC standards or approved prior to installation. The existing landscaping will need to be supplemented with additional landscaping to comply with current UDC standards.*
4. Staff's failure to cite all relevant UDC requirements does not relieve the applicant from compliance.
5. The combined preliminary/final plat approval shall become null and void if the applicant fails to either: 1) obtain the City Engineer's signature on a final plat within two years of the date of the approved findings; or obtain approval of a time extension as set forth in UDC 11-6B-7.

See the Agency Comments folder contained in the project file in the public record for other City Department and Agency comments and conditions: (copy the link into a separate browser)

<https://weblink.meridiancity.org/WebLink/Browse.aspx?id=409718&dbid=0&repo=MeridianCity>

V. FINDINGS

A. Combined Preliminary and Final Plat (UDC-6B-6)

In consideration of a preliminary plat, combined preliminary and final plat, or short plat, the decision-making body shall make the following findings:

1. The plat is in conformance with the comprehensive plan and is consistent with this unified development code;
Staff finds the proposed plat is in conformance with the Comprehensive Plan and will be consistent with the UDC if the Applicant complies with the above-noted conditions.
2. Public services are available or can be made available and are adequate to accommodate the proposed development;
Staff finds that sewer service is stubbed to the site and water service will be provided by Veolia.
3. The plat is in conformance with scheduled public improvements in accord with the city's capital improvement program;
Staff finds the proposed plat is in conformance with scheduled public improvements in accord with the City's CIP.
4. There is public financial capability of supporting services for the proposed development;
Staff finds there is public financial capability of supporting services for the proposed development.
5. The development will not be detrimental to the public health, safety or general welfare; and
Staff finds the proposed development will not be detrimental to the public health, safety or general welfare.
6. The development preserves significant natural, scenic or historic features.
Staff is unaware of any significant natural, scenic or historic features that need to be preserved with this development.

VI. ACTION

A. Staff:

Staff recommends approval of the proposed combined preliminary and final plat with the conditions included above in Section IV.

B. Commission:

Pending

C. City Council:

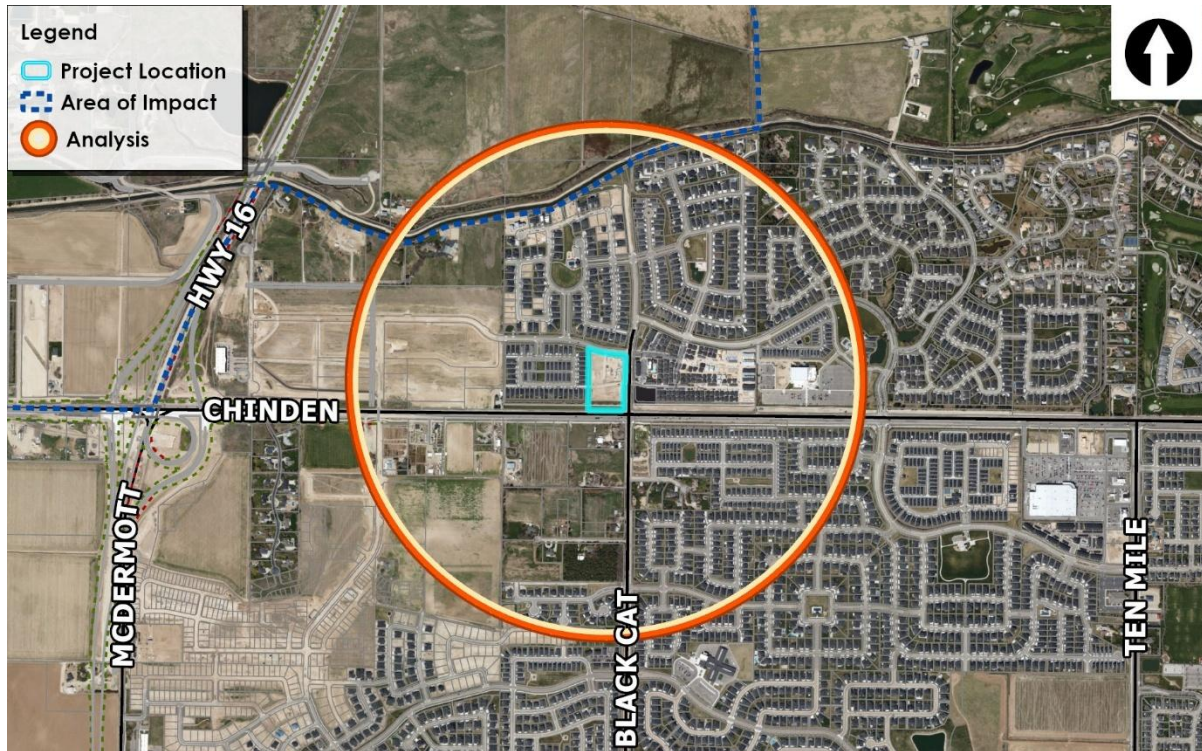
Pending

VII. EXHIBITS

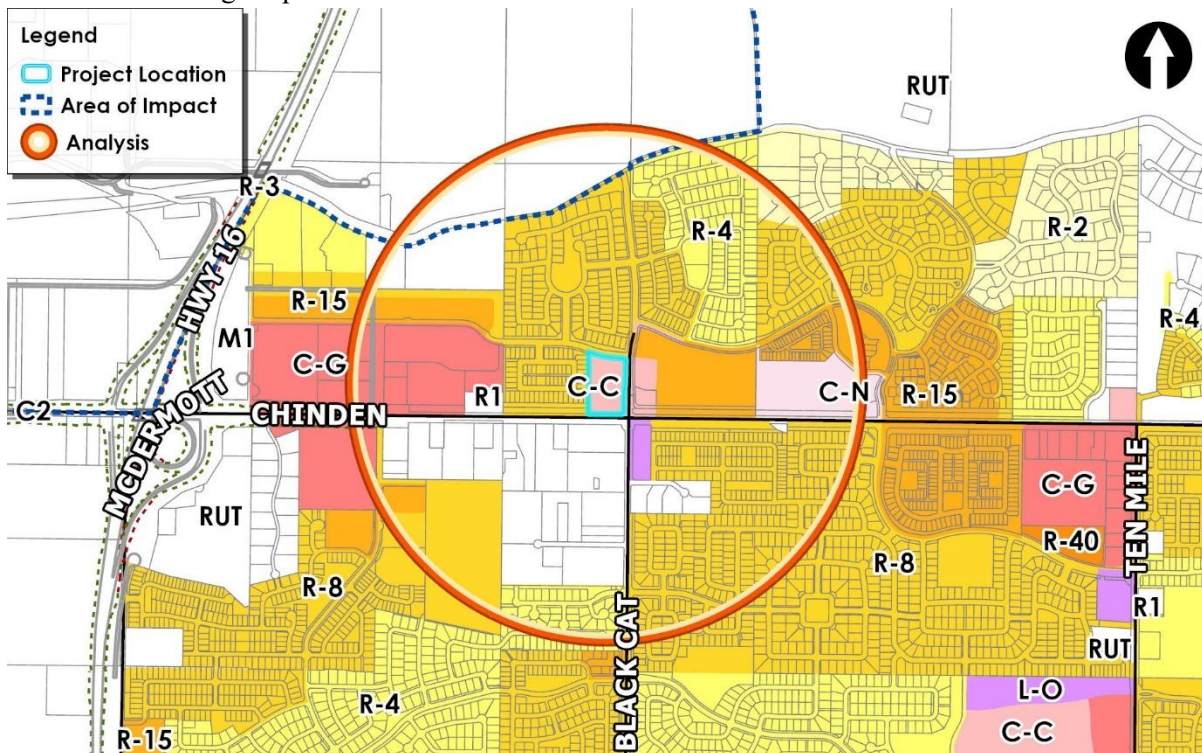
A. Project Area Maps

(link to [Project Overview](#))

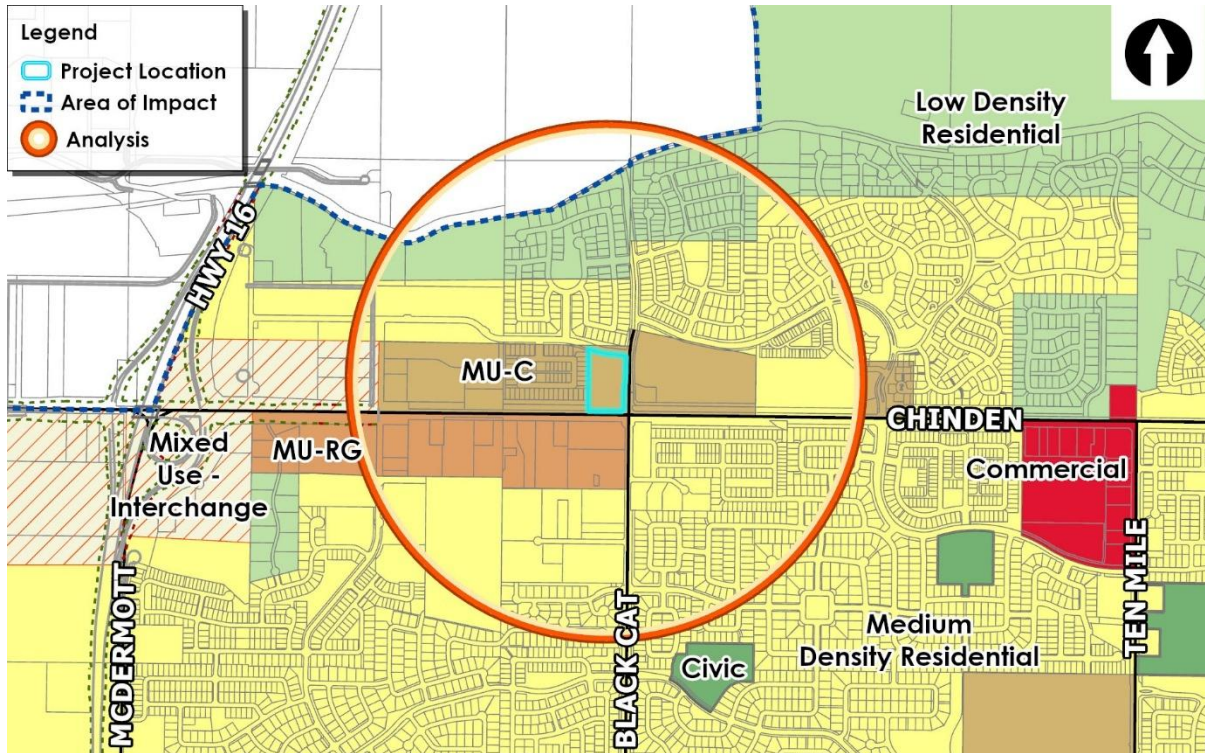
1. Aerial



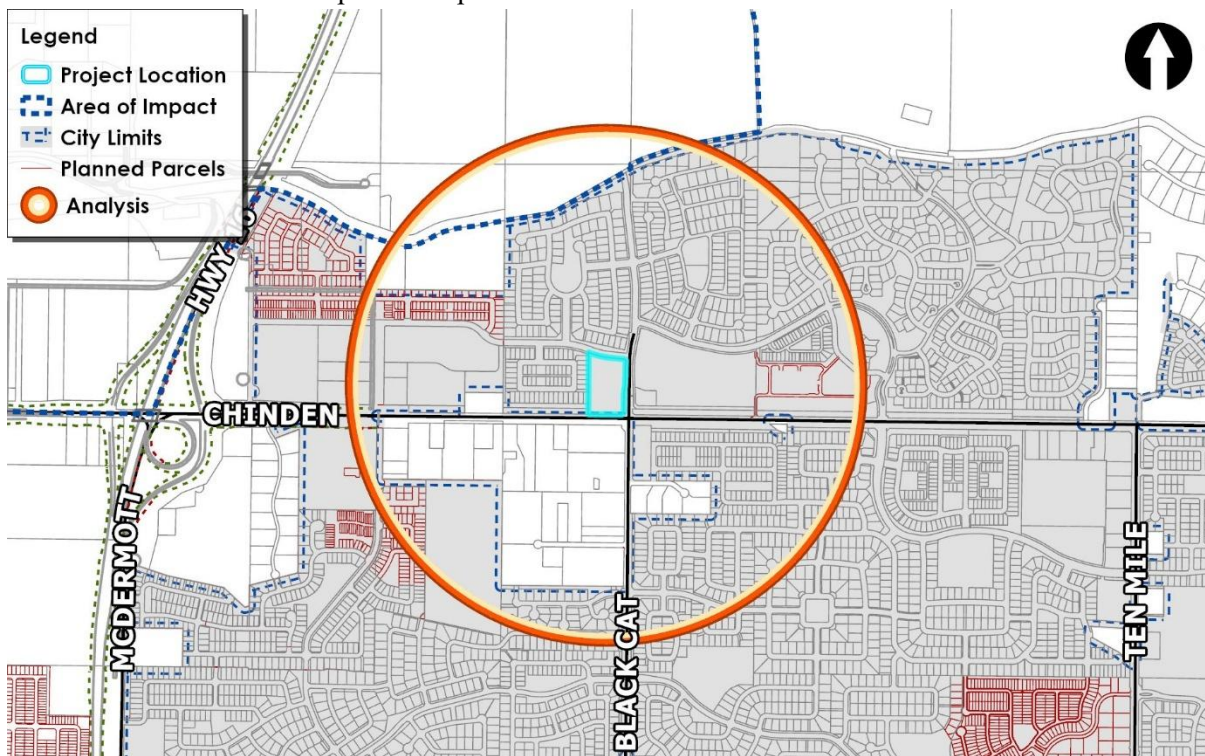
2. Zoning Map



3. Future Land Use



4. Planned Development Map



B. Service Accessibility Report

PARCEL S0421449500 SERVICE ACCESSIBILITY

Overall Score: 20	7th Percentile
--------------------------	-----------------------

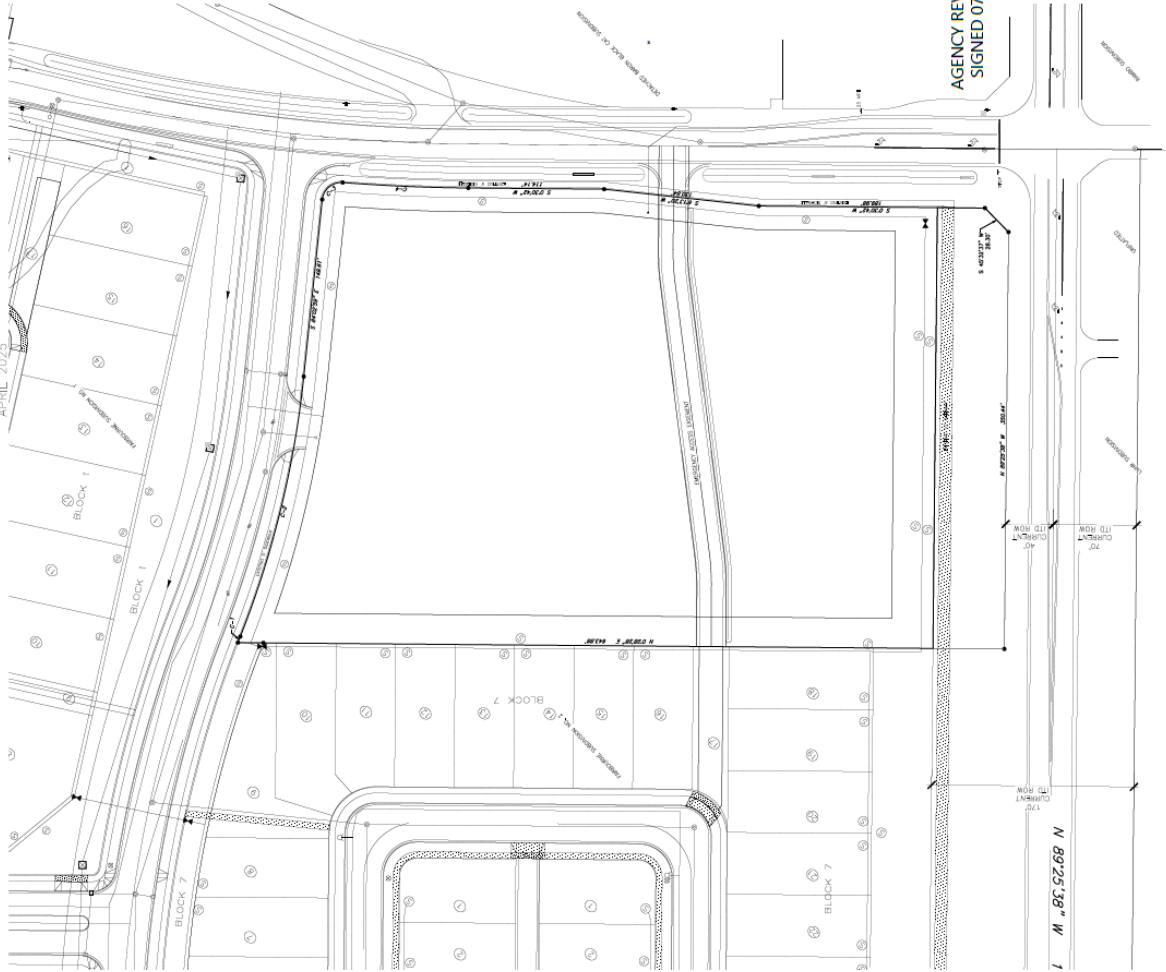
Criteria	Description	Indicator
Location	In City Limits	GREEN
Extension Sewer	Trunkshed mains < 500 ft. from parcel	GREEN
Floodplain	Either not within the 100 yr floodplain or > 2 acres	GREEN
Emergency Services Fire	Response time 5-9 min.	YELLOW
Emergency Services Police	Not enough data to report average response time	RED
Pathways	Within 1/4 mile of current pathways	GREEN
Transit	Not within 1/4 of current or future transit route	RED
Arterial Road Buildout Status	Ultimate configuration (# of lanes in master streets plan) > existing (# of lanes) & road IS in 5 yr work plan	YELLOW
School Walking Proximity	Within 1/2 mile walking	GREEN
School Drivability	Either a High School or College within 2 miles OR a Middle or Elementary School within 1 mile driving (existing or future)	GREEN
Park Walkability	No park within walking distance by park type	RED

Report generated on 08-28-2025 by MERIDIAN\sallen

C. Preliminary Plat (date: 6/12/2025)

PRELIMINARY PLAT FOR
FAIRBOURNE SUBDIVISION NO. 4

A PLAT OF PARCEL #8500 LYING WITHIN THE SE 1/4 OF THE EAST 1/4
OF SECTION 20, T. 4 N., R. 1 W., B.M.
CITY OF MERIDIAN — COUNTY OF ADA — STATE OF IDAHO
APRIL 2025



PRELIMINARY PLAT

SCALE: 1" = 80.00'

OWNER
KAL PACIFIC AND ASSOCIATES, INC.
2001 E. PINE AVE.
MERIDIAN, ID 83442

DEVELOPER
KAL PACIFIC AND ASSOCIATES, INC.
2001 E. PINE AVE.
MERIDIAN, ID 83442

APPLICANT
KAL PACIFIC AND ASSOCIATES, INC.
2001 E. PINE AVE.
MERIDIAN, ID 83442


SURVEYOR
ARON RUSH
1410 S. 10TH AVE., SUITE 105
MERIDIAN, ID 83442


LANDSCAPE ARCHITECT
BEN ISBIPLE
1410 S. 10TH AVE., SUITE 105
MERIDIAN, ID 83442

ZONING AND SETBACKS
EXISTING ZONING DESIGNATION: C-C
MINIMUM LOT SIZE: 20,456 S.F.
REQUIRED SETBACKS: FRONT: 0 FEET, SIDE: 0 FEET, REAR: 0 FEET
REQUIRED LANDSCAPE BUFFER: 38 FEET
INTERNAL: 25 FEET, 25 FEET, 25 FEET

GENERAL SITE NOTES
PROPERTY SIZE: 20,456 S.F.
PROPOSED USE: 1 COMMERCIAL LOT
SITE ADDRESS: N. BLACK CAT RD., MERIDIAN, ID 83442
PARCEL ID NO.: 8014-10-00

NOTES
1. ANY REGULATION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE SUBDIVISION.
2. MINIMUM BUILDING SETBACKS DIMENSIONAL STANDARDS IN THE SUBDIVISION SHALL BE IN COMPLIANCE WITH THE CITY OF MERIDIAN ZONING ORDINANCE.
3. DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE CITY OF MERIDIAN ZONING ORDINANCE.
4. ALL LOTS WITHIN THE SUBDIVISION ARE COMMERCIAL LOTS.
5. THE SUBDIVISION IS SUBJECT TO THE CITY OF MERIDIAN ZONING ORDINANCE.
6. THE SUBDIVISION IS SUBJECT TO THE CITY OF MERIDIAN ZONING ORDINANCE.
7. THE SUBDIVISION IS SUBJECT TO THE CITY OF MERIDIAN ZONING ORDINANCE.
8. THE SUBDIVISION IS SUBJECT TO THE CITY OF MERIDIAN ZONING ORDINANCE.
9. THE SUBDIVISION IS SUBJECT TO THE CITY OF MERIDIAN ZONING ORDINANCE.





ROONEY EVANS - JAMNERS
LANDSCAPE ARCHITECTURE
1410 S. 10TH AVE., SUITE 105
MERIDIAN, ID 83442

FAIRBOURNE SUBDIVISION NO. 4
N. BLACK CAT RD., MERIDIAN, ID 83442
SUBDIVISION

PRELIMINARY PLAT

SHEET
2014
DATE
6-12-25
DRAWN BY
BOS
PP1.0

CERTIFICATE OF SURVEYOR
I, ARON RUSH, a duly qualified and licensed Surveyor of the State of Idaho, and that this map has been prepared by me or under my direct supervision and that I am a duly qualified and licensed Surveyor of the State of Idaho, and that this map is an accurate representation of said survey.

AGENCY REVIEW COPY
SIGNED 07-17-2025

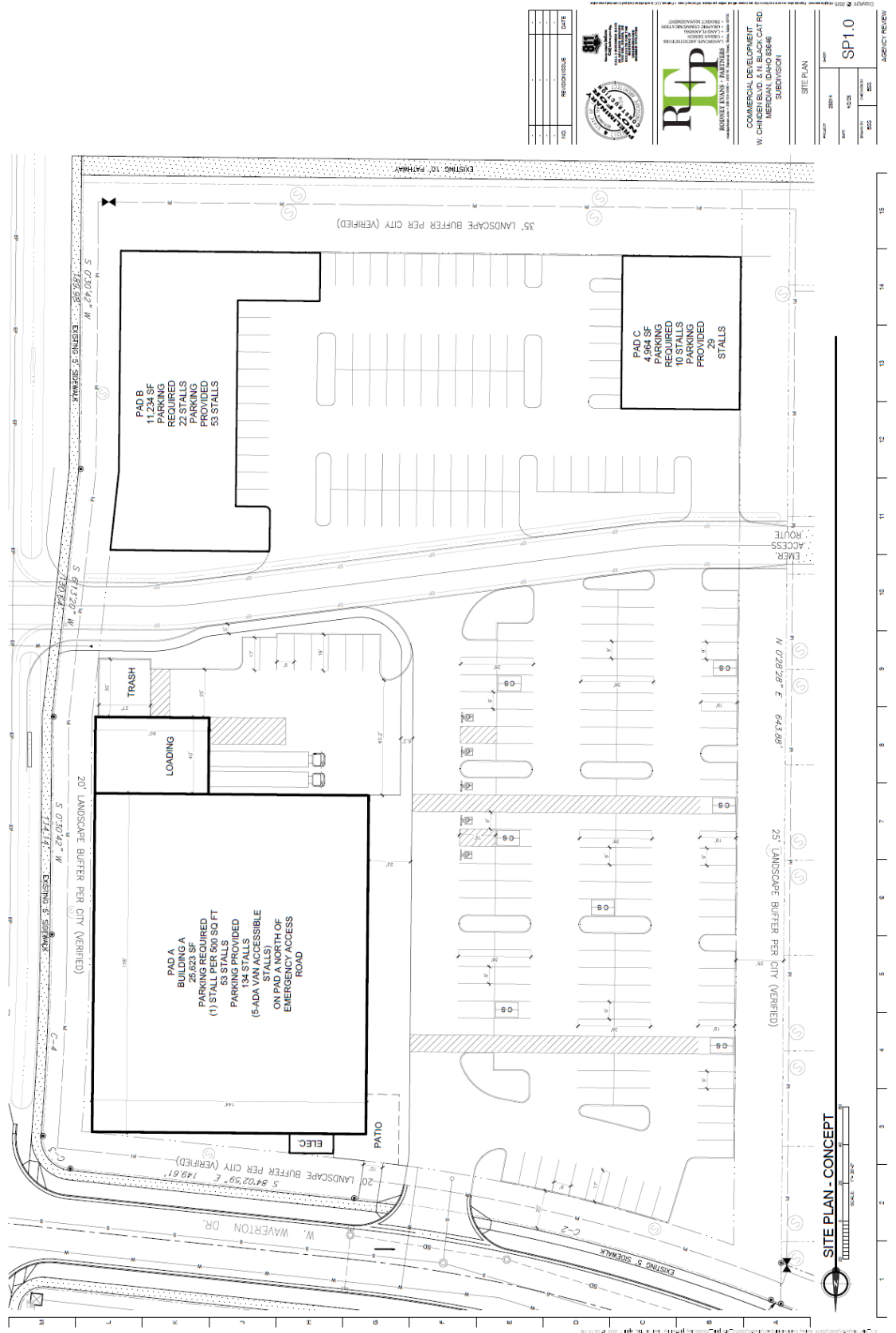


[illegible]

VII. Exhibits



F. Site Plan (dated: 4/2/2025)



G. Conceptual Building Elevations (dated: 4/17/2025)



cushingtonell.com
800.757.9572

BOISE CO OP
BLACK CAT & CHINDEN

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

© 2016 | ALL RIGHTS RESERVED
NOT FOR CONSTRUCTION
04.17.2025
PROJECT | BORCOOP_MCHIN
DRAWN BY | CDEK
REVIEWED BY | CHAUZZ
REVISIONS

CZC1
CZC ELEVATIONS