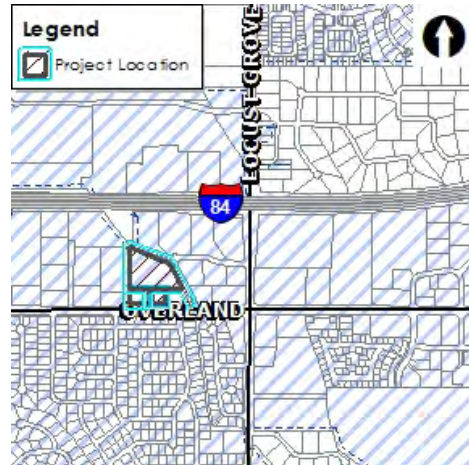


STAFF REPORT
COMMUNITY DEVELOPMENT DEPARTMENT



HEARING DATE: 2/17/2022
 TO: Planning & Zoning Commission
 FROM: Alan Tiefenbach, Associate Planner
 SUBJECT: H-2021-0085
 Meridian U-Haul Moving and Storage
 LOCATION: 1230 and 1270 E. Overland Rd. and Parcel # R8257510015, at the northwest corner of E. Overland Rd and S. Locust Grove Rd.



I. PROJECT DESCRIPTION

Request for a Conditional Use Permit to allow self-storage, vehicle and equipment rentals with outdoor display, and ancillary retail on 6.86 acres in the C-G zoning district, by Gurnoor Kaur, Amerco Real Estate Company. A Development Agreement Modification regarding this development was approved by the City Council on February 3, 2022.

II. SUMMARY OF REPORT

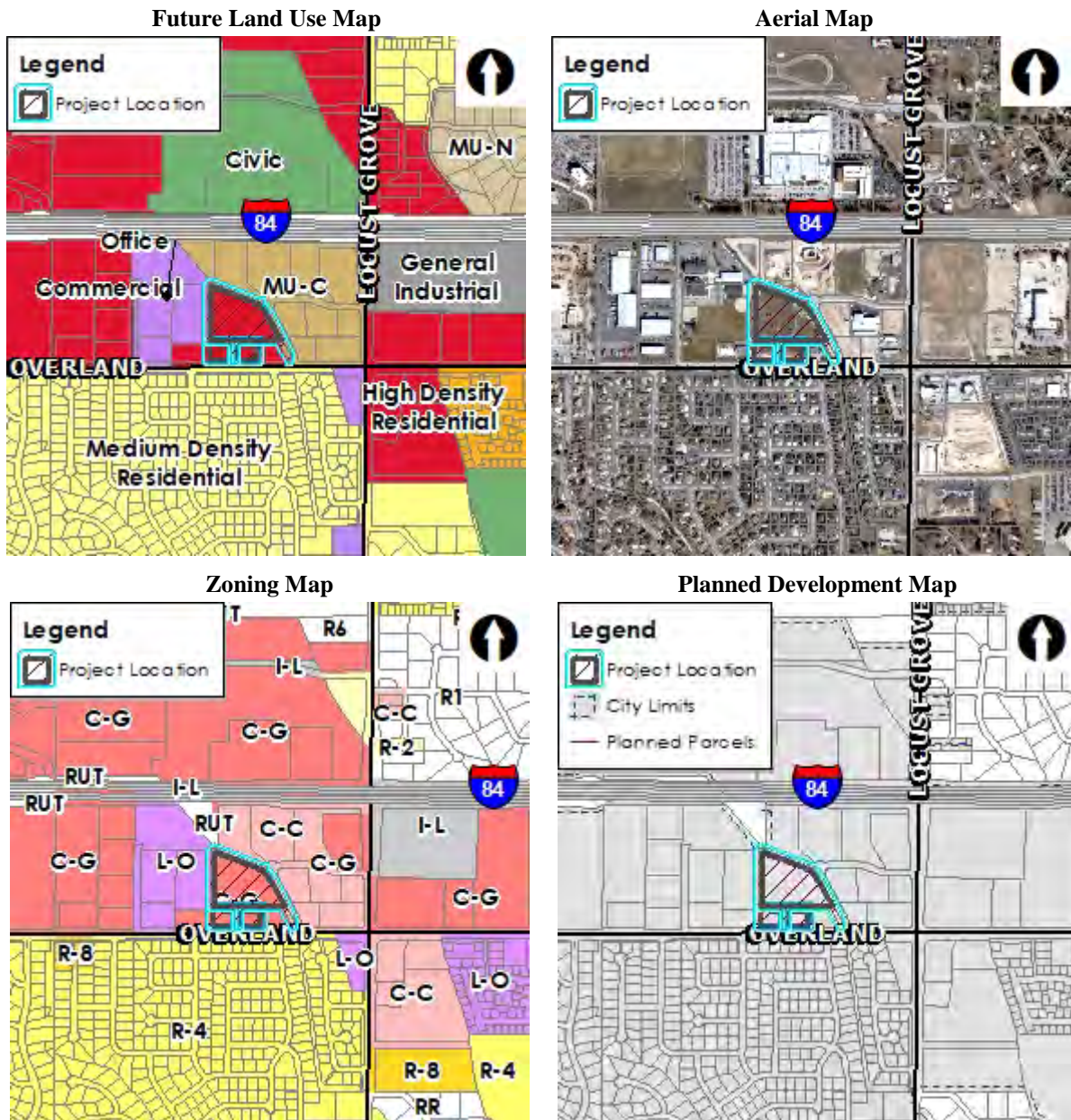
A. Project Summary

Description	Details	Page
Acreage	6.86	
Future Land Use Designation	Commercial	
Existing Land Use(s)	Vacant	
Proposed Land Use(s)	Self-Storage, Equipment and Vehicle Rental with Outdoor Display, Ancillary Retail	
Lots (# and type; bldg./common)	3 existing lots	
Physical Features (waterways, hazards, flood plain, hillside)	Nine Mile Creek is just off the property to the east.	
Neighborhood meeting date; # of attendees:	October 13, 2021; No attendees	
History (previous approvals)	Annexation AZ-99-018, DA Instr. # 100029704, Preliminary Plat PP-99-015, FP-00-005, CUP 99-033, MDA H-2021-0101	

B. Community Metrics

Description	Details	Page
Ada County Highway District		
<ul style="list-style-type: none"> Staff report (yes/no) 	No	
Access (Arterial/Collectors/State Hwy/Local) (Existing and Proposed)	There is existing access from E. Overland Dr; site plan shows an additional access from S. Labrador Wy	
Stub Street/Interconnectivity/Cross Access	A cross access easement exists with the property at 1322 E. Overland Rd	
Existing Road Network	E. Overland Rd and S. Labrador Wy	
Existing Arterial Sidewalks / Buffers	There are existing 5 ft. sidewalks along E. Overland Rd. and S. Labrador Wy.	
Proposed Road Improvements	None	
Fire Service		
<ul style="list-style-type: none"> No comments 		
Police Service		
<ul style="list-style-type: none"> No comments 		
Wastewater Comments		
	<ul style="list-style-type: none"> No comments 	
Water		
<ul style="list-style-type: none"> Distance to Water Services 	0	
<ul style="list-style-type: none"> Pressure Zone 	4	
<ul style="list-style-type: none"> Water Quality 	No concerns	
<ul style="list-style-type: none"> Project Consistent with Water Master Plan 	Yes	
<ul style="list-style-type: none"> Impacts/Concerns 	<ul style="list-style-type: none"> There are no utilities shown in this record. Public Works will need to review and approve the utility plan. There are no changes to the water infrastructure in this record. There are existing water stubs along the southern property line that either needs to be used or abandoned. A utility plan needs to be reviewed and approved by Public Works. 	

C. Project Area Maps



III. APPLICANT INFORMATION

A. Applicant / Representative:

Gurnoor Kaur, Amerco Real Estate – 2727 N. Central Ave, Ste 500, Phoenix, AZ, 85004

B. Owner:

Adler AB Owner I, LLC – 8665 W. Emerald St. Ste 200, Boise, ID, 83704

IV. NOTICING

	Planning & Zoning Posting Date	City Council Posting Date
Notification published in newspaper	1/18/2022	
Notification mailed to property owners within 300'	1/14/2022	
Applicant posted public hearing notice sign on site	1/28/2022	
Nextdoor posting	1/14/2022	

V. STAFF ANALYSIS

This is a proposal for a conditional use to allow self-storage, rental and outdoor display of vehicles and equipment, and ancillary retail to allow a U-Haul business. The project includes 8 buildings ranging in size between 117,000 sq. ft. to 1,400 sq. ft. with an outdoor rental display area directly along E. Overland at the south perimeter of the property. A development agreement modification was approved by City Council on February 8, 2022.

The property consists of three lots totaling 6.86 acres. It was annexed into the City in 1999 as the Overland Storage Annexation (AZ-99-018, DA Instr. # 100029704, Preliminary Plat PP-99-015). The development agreement allows the construction, development and use of only a ministorage facility consisting of eight buildings of various sizes and one caretaker unit pursuant a conditional use permit. A Conditional Use Permit (CUP-99-033) was approved for this use in October of 1999 and a final plat was recorded in 2002 (Pack it Up Subdivision, FP-00-005). The approved self-storage facility was never developed.

Staff and the applicant have had numerous discussions regarding the location of a new facility, and due to the location, surrounding uses, and C-G zoning this particular location was selected. However, in addition to self-storage, as is typical for a U-Haul facility, the applicant intends to display U-Haul trucks and equipment for rental. A conditional use permit is required for these uses in the C-G zone district. As the existing development agreement is very specific to allowed uses, the applicant has recently received City Council approval on a development agreement modification to allow the outdoor display and ancillary retail, however the amended DA has not been approved and recorded.

A. Future Land Use Map Designation (<https://www.meridiancity.org/compplan>)

Commercial – This designation will provide a full range of commercial uses to serve area residents and visitors. Desired uses may include retail, restaurants, personal and professional services, and office uses, as well as appropriate public and quasi-public uses.

The subject site is zoned General Retail and Service Commercial District (C-G). This allows a broad range of commercial uses. The property is bordered by a daycare to the east, roofing business and contractor’s yard to the west, climbing gym, church and industrial business to the north. There is existing single family residential across E. Overland Rd to the south (Sportsman Pointe Subdivision).

The description of commercial in the comprehensive plan does not specifically mention storage or equipment rental. However, the property is already zoned C-G which allows self-storage, and vehicle and equipment rental by conditional use subject to specific use standards. The retail component is a principally permitted use and is not subject to any specific use standards.

B. Zoning

The property is already zoned C-G, which allows self-storage, and equipment and vehicle rental by conditional use subject to the specific use standards as listed below.

C. Comprehensive Plan Policies (<https://www.meridiancity.org/compplan>):

- “Permit new development only where urban services can be reasonably provided at the time of final approval and development is contiguous to the City.” (3.01.01F)

City services are available and will be extended by the developer to the proposed lots upon development of the site in accord with UDC 11-3A-21.

- “Require all commercial and industrial businesses to install and maintain landscaping.” (2.01.03B)

Landscape buffers and parking lot landscaping is required to be provided with development of this property in accord with UDC 11-3B. As mentioned in the specific use standards section below, staff is also recommending additional perimeter treatment along E. Overland Rd.

- Maintain integrity of neighborhoods to preserve values and ambiance of areas (3.05.02).

If the applicant complies with the design guidelines outlined in the ASM, conditions of approval listed in this staff report, UDC design standards and specific use standards, staff is of the opinion the proposed use should maintain the integrity of the neighborhood.

- Require appropriate landscape and buffers along transportation corridors (setback, vegetation, low walls, berms, etc.) (3.06.02F).

The subject property abuts E. Overland Rd. (arterial) and S. Labrador Wy (local). The UDC requires a minimum 25 ft. landscape buffer along arterial roads and 10 ft wide landscape buffer along local roads. The landscape plan reflects a 30 ft. wide buffer along E. Overland Rd. and 40 ft. wide buffer along S. Labrador Wy. The landscape plan also indicates a 40 ft. buffer adjacent to the C-C-zoned properties at the north and 10 ft. wide buffer to the L-O zoned properties to the west.

- Plan for a variety of commercial and retail opportunities within the Impact Area (3.05.01J).

This is an area of Meridian characterized by industrial and commercial uses and residential across E. Overland Rd. Self-storage and equipment rental, sales, and service is allowed by conditional use in this location.

- Ensure development provides safe routes and access to schools, parks and other community gathering places (3.07.02N).

Seven-foot wide attached sidewalks currently exist along E. Overland Rd. and S. Labrador Wy. in accord with UDC 11-3A-17.

D. Existing Structures/Site Improvements:

The property is presently vacant.

E. Proposed Use Analysis:

The proposed uses are defined as “storage facility, self-service”, “equipment rental, sales, and service”, and “vehicle rental” in the Unified Development Code (UDC). These uses are allowed by conditional use in the C-G zoning district per UDC Table 11-2C-2. These uses are also governed by the specific use standards listed in UDC 11-4-3-15, 11-4-3-38 and 11-4-34. The retail use is principally permitted use and is not subject to any specific use standards.

F. Specific Use Standards (*UDC 11-4-3*):

UDC 11-4-3 lists the specific use standards for self-service storage facilities, vehicle sales and rental, and equipment rental, sales and service. Standards for self-service facilities include storage units not being used as dwelling units, distance between structures being 25 ft., facility being completed fenced, walled or enclosed and screened from public view, and secondary emergency access. Specific use standards for equipment rental, sales and service require repair activities to occur within an enclosed structure, and outdoor display areas are prohibited in the required landscape buffer. In addition, the standards for vehicle rental states inoperable or dismantled motor vehicles shall be stored behind a closed vision fence, wall, or screen or within an enclosed structure and shall not be visible from any street.

Storage units will not be used as dwellings, and secondary access will occur on S. Labrador Wy. All repair of equipment will occur at a different location, or within the office. All storage is enclosed within one of the storage buildings.

There are several buildings that do not appear to meet the minimum spacing requirement of 25 ft. This includes between the northeast corner of Building C and southwest corner of Building G, between Buildings G and H, and possibly between the northwest corner of Building A and the southern side of Building C. The site plan will need to be revised accordingly.

In addition, due to the high visibility of the site and the residential uses directly across E. Overland Rd to the south, staff has concerns regarding trailers and other associated moving equipment being littered throughout the site. Although staff believes display of operable moving vehicles is acceptable along the southern property line, as a condition of approval, staff recommends all trailers and other moving equipment be stored behind a closed vision fence, wall, or screen or within an enclosed structure and not be visible from any street. Screening fences or walls should be designed to be consistent with building architecture in accord with UDC 11-4-3-33 and details of these walls, fence or screen shall be submitted at time of CZC.

G. Dimensional Standards (*UDC 11-2*):

The C-G zoning district requires a 25 ft. landscape buffer from arterial roads, 10 ft. buffer from local roads, and allows building heights of up to 65 ft. The landscape plan reflects a 30 ft. wide buffer along E. Overland Rd. and 40 ft. wide buffer along S. Labrador Wy. The landscape plan also indicates a 40 ft. buffer adjacent to the C-C-zoned properties at the north and 10 ft. wide buffer to the L-O zoned properties to the west. The building elevations indicate the highest building is approximately 39 ft. in height. More detailed review will occur at the time of the Certificate of Zoning Compliance (CZC).

The property is comprised of three different lots, and it appears the proposed buildings straddle internal lot lines. As a condition of approval, the applicant will be required to complete a parcel boundary adjustment to merge all lots into one property.

H. Access (*UDC 11-3A-3, 11-3H-4*):

The Pack It Up Subdivision Plat allows access via a shared drive from E. Overland Rd and there is a second access proposed at the end of a “knuckle” on S. Labrador Wy. The site plan reflects these two accesses. Meridian Fire supports this configuration, and staff has not received comments from ACHD.

I. Parking (*UDC 11-3C*):

UDC 11-3C-6 states in all commercial districts self-service storage facilities shall only require parking based on the gross floor area of the office space. With the office and retail area being

shown at 3,000 sq. ft., 6 parking spaces are required, whereas the site plan shows at least 26 parking spaces along the south perimeter and 10 more directly adjacent to the office.

J. Pathways (*UDC 11-3A-8*):

No pathways are shown on the master pathways plan for this site or provided with this development.

K. Sidewalks (*UDC 11-3A-17*):

There are already 7 ft. wide attached sidewalks along E. Overland Rd. and S. Labrador Wy.

L. Landscaping (*UDC 11-3B*):

As mentioned above, the landscape plan reflects a 30 ft. wide buffer along E. Overland Rd. and 40 ft. wide buffer along S. Labrador Wy. The landscape plan also indicates a 40 ft. buffer adjacent to the C-C-zoned properties at the north and 10 ft. wide buffer to the L-O zoned properties to the west. This exceeds the landscape buffer requirements of UDC-11-3B. It does appear that the parking spaces shown along the southern perimeter exceed 12 spaces without a landscape planter of at least 50 sq. ft. and planting area of no less than 5 ft. in dimension per UDC 11-3B-8-C-2.

The subject property is located directly on E. Overland Rd. in a very visible location with established residential directly across E. Overland Rd to the south (Sportsman Pointe Subdivision). Accordingly, staff believes this development should reflect high quality design. Staff also has concerns regarding the impacts to adjacent residences associated with the headlights from moving trucks during early morning picks-ups as well as security lighting for moving equipment. **As a condition of approval, staff recommends a combination of a landscaped 4 ft. high undulating berm, decorative walls and evergreen shrubs along the entire front perimeter of the property. Staff also recommends all pole lighting along the front of the property be limited to 12 ft. in height and directed to the north, away from adjacent residences.**

The site plan indicates a concrete irrigation structure along the southern property line. Per UDC 11-3B-5-J, if any utility easement precludes required trees, the width of the required buffer shall be increased five feet to accommodate the required trees.

M. Fencing (*UDC 11-3A-6, 11-3A-7*):

As mentioned in the specific use standards above, UDC 11-4-3-34 requires outdoor storage of equipment (other than operable vehicles) to be incorporated into the overall design of buildings and site landscaping so that the visual impacts of these functions are fully contained and screened from view of adjacent nonindustrial properties and/or public streets by a solid fence and/or wall with a minimum height of six (6) feet. Such fence and/or wall shall be constructed of complementary or of similar design and materials of the primary structure.

N. Utilities (*UDC 11-3A-21*):

The Pack It Up Subdivision Plat and provided site plan shows a 40 ft. wide sewer easement along the north and east property lines which presently contains a sewer main, as well as irrigation easements. The applicant should coordinate with public works to ensure a service road is maintained within this area. The plat also reflects a 20 ft. wide sewer easement bisecting the property through the middle as well as east – west at the southern portion of the property. The site plan reflects buildings encroaching into these easements. As a condition of approval, the applicant shall vacate or relocate these easements as approved by Public Works. If these easements are not recorded under separate instrument numbers, vacation through a public hearing at City Council is required.

As mentioned in the landscaping section, if the irrigation easement along the southern property line precludes required trees, the width of the required landscape buffer shall be increased 5 feet to accommodate the required trees in accord with UDC 11-3B-7.

O. Building Elevations (*UDC 11-3A-19 | Architectural Standards Manual*):

The applicant has submitted building elevations for all 7 buildings. The elevations include materials such as cement board, stucco, brick and metal paneling for accents.

Overall, staff does believe the combination of materials, colors, canopies, columns and fenestration results in a storage facility that is of higher quality. However, staff believes there could be some elements that do not meet the requirements of the Architectural Standards Manual (ASM). ASM 3.1B requires buildings to have horizontal modulation every 30 feet or 50 feet, depending on whether the building is greater than or less than 150 feet in length. Based on the site plan, staff is unsure all sides of the buildings visible from a public street meet modulations requirements. Also, ASM 3.2A requires for at least 30% of applicable façades use any combination of concrete, masonry, stone, or unique variation of color, texture, or material, at least 10-inches in height, around the base of the building. Staff is also unable to ascertain if this is satisfied. Complete design review will occur at time of Certificate of Zoning Compliance.

Due to the high visibility of this project from E. Overland Rd. and the existing residences at the south, staff believes there should be additional design considerations. Staff has concerns with the exposed stairs on the south side of Building A both for visual impacts and potential maintenance issues with these stairs being exposed. Staff recommends either the stairs be removed from southern and eastern locations visible from E. Overland Rd., or screened in a stairwell or similar architectural element comprised of materials consistent with the exterior field materials of the building. Also, staff recommends the roll up doors on the south and east sides of Building A and south side of Building be better integrated into the building design through use of color, architectural detailing, overhangs, door frame treatments, etc. Also, the applicant has only submitted elevations for Buildings A & B. Full elevations of all four sides of all eight buildings will be required at time of certificate of zoning compliance and design review.

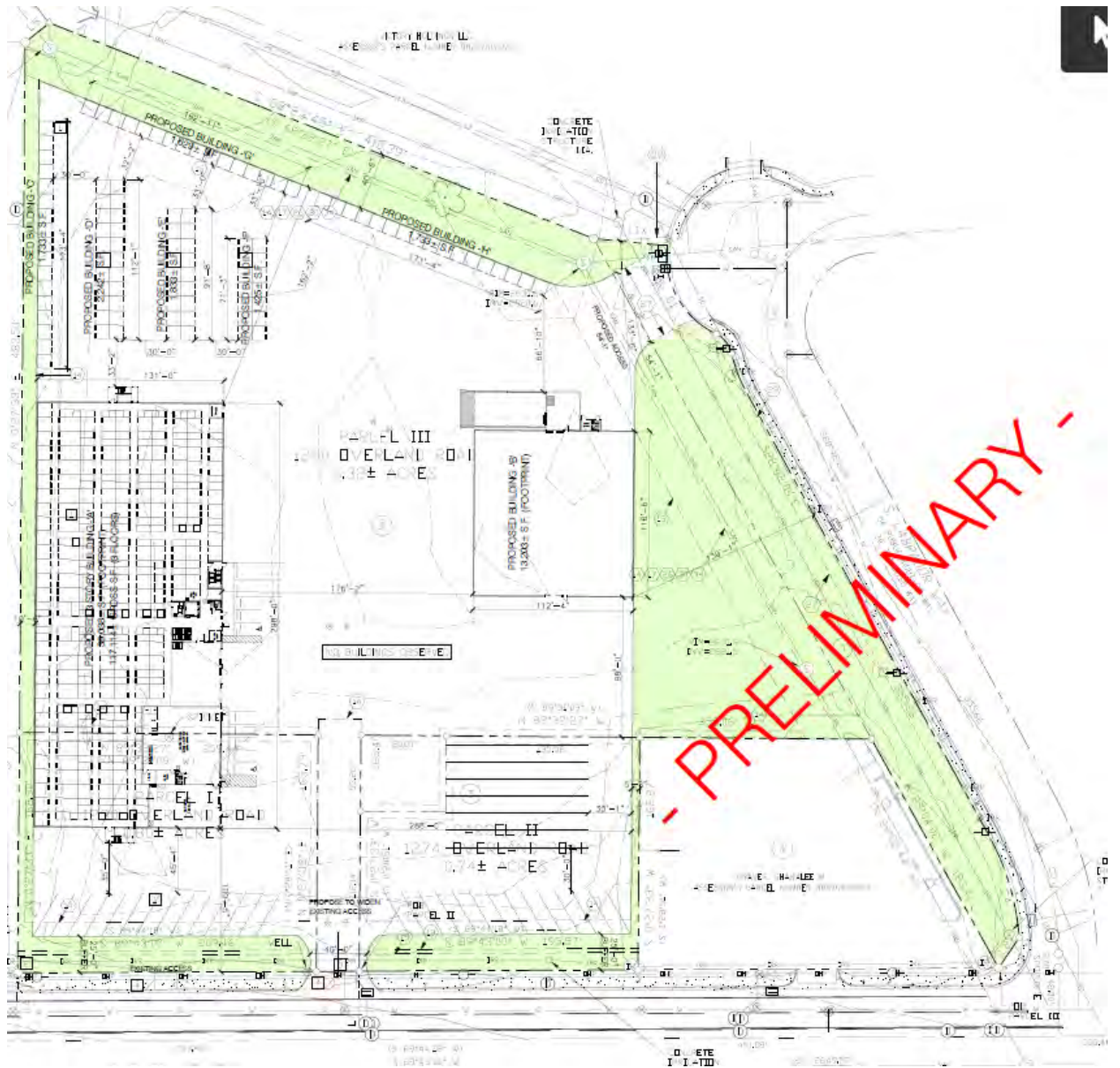
VI. DECISION

A. Staff:

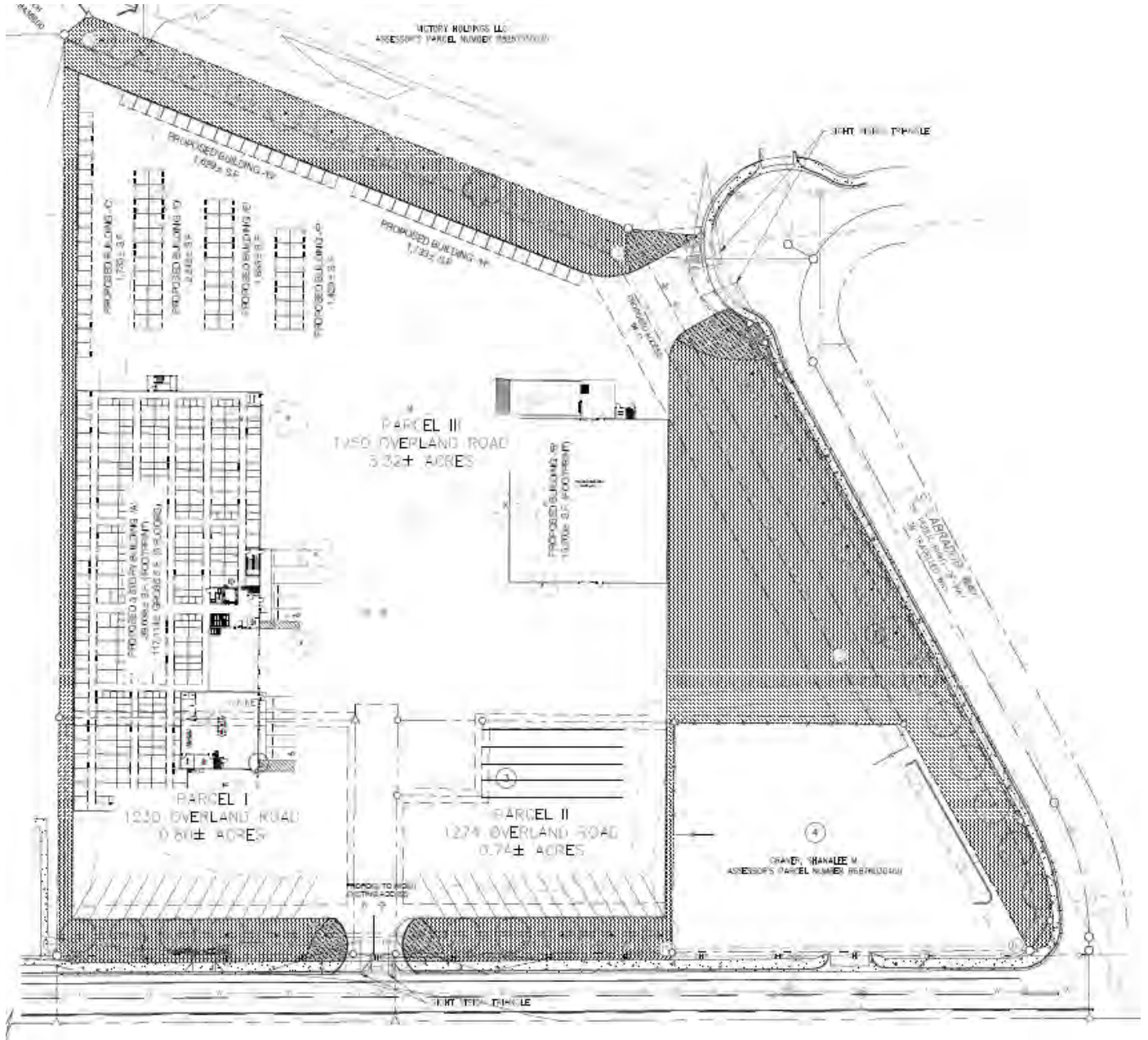
Staff recommends approval of the conditional use permit with the conditions noted in Section VIII. per the Findings in Section IX.

VII. EXHIBITS

A. Site Plan (date: 8/12/2021)



B. Landscape Plan (date: 8/12/2021)



C. Building Elevations (date: 6/1/2021)



1.230-1.230 E. Overland Rd. Meridian, IL 61042



EAST ELEVATION: BUILDING A
Scale: 1" = 25'



SOUTH ELEVATION: BUILDING A
Scale: 1" = 25'



NORTH ELEVATION: BUILDING A
Scale: 1" = 25'



WEST ELEVATION: BUILDING A
Scale: 1" = 25'



SOUTH ELEVATION: BUILDING B
Scale: 1" = 20'



EAST ELEVATION: BUILDING B
Scale: 1" = 20'



NORTH ELEVATION: BUILDING B
Scale: 1" = 20'



WEST ELEVATION: BUILDING B
Scale: 1" = 20'

VIII. CITY/AGENCY COMMENTS & CONDITIONS

A. PLANNING CONDITIONS

1. A Certificate of Zoning Compliance and administrative design review application is required to be submitted to the Planning Division and approved prior to submittal of building permit applications. The applicant will either meet all architectural requirements of the Architectural Standards Manual (ASM) or apply for a design exception as part of the CZC submittal. A CZC and DES application shall not be submitted until the amended DA is executed as approved with H-2021-0101.
2. The Applicant shall have a maximum of two (2) years to commence the use as permitted in accord with the conditions of approval listed above. If the use has not begun within two (2) years of approval, a new conditional use permit must be obtained prior to operation or a time extension.
3. The site plan prepared by AMERCO Real Estate, dated August 12 2021, is approved as submitted, with the revision that all buildings shall maintain at least 25 ft. of separation per UDC 11-4-3-34.
4. The landscape plan prepared by Kimley Horn, dated November 12, 2021, is approved as submitted, with the revisions that in addition to the required landscape buffer per UDC 11-2B-3, a combination of a landscaped 4 ft. high undulating berm, decorative walls and evergreen shrubs shall be installed along the entire front perimeter of the property. Details of all walls and / or screen fencing shall be submitted at time of Certificate of Zoning Compliance / Design Review.
5. Outdoor storage of materials, equipment, inventory, and/or supplies shall be incorporated into the overall design of buildings and site landscaping so that the visual impacts of these functions are fully contained and screened from view of adjacent properties, the railway corridor, and public streets by a solid fence or wall with a minimum height of six (6) feet. Such fence and/or wall shall be constructed of complementary or of similar design and materials of the primary structure as required by UDC 11-3A-14.
6. Per UDC 11-3B-7, where the required street landscape buffer is encumbered by easements or other restrictions, the buffer area shall include a minimum five-foot wide area for planting shrubs and trees.
7. The elevations prepared by A&M Associates on December 3, 2021 shall be modified as follows:
 - a. All stairs that are visible from E. Overland Rd. shall be within the building or screened in a stairwell or similar architectural element comprised of materials consistent with the exterior field materials of the building.
 - b. Roll up doors that are visible from E. Overland Rd. shall be integrated into the building design through use of color, architectural detailing, overhangs, door frame treatments, etc.
8. Elevations for all four sides of all buildings shall be required at time of CZC and DES. Elevations should be architecturally consistent with the approved elevations for Buildings A & B.
9. Operable moving vehicles may be displayed along the south perimeter of the site, outside of the required landscape buffer. All trailers and other moving equipment shall be stored behind a closed vision fence, wall, or screen or within an enclosed structure and not be visible from any street. Screening fences or walls must be designed to be consistent with building architecture.

10. All pole lighting along the E. Overland frontage of the property shall be limited to 12 ft. in height and directed to the north, away from adjacent residences.
11. If any structures encroach into platted easements, the applicant shall submit a vacation application for review and approval prior to the issuance of a building permit.
12. The development shall comply with the specific use standards listed in UDC 11-4-3-15 for equipment rental sales and service, UDC 11-4-3-34 for storage facility, self-service and UDC 11-4-3-38 vehicle sales or rental and service.
13. The project is subject to all current City of Meridian ordinances and previous conditions of approval associated with this site (AZ-99-018, Preliminary Plat PP-99-015, FP-00-005, CUP 99-033, MDA H-2021-0101)

B. PUBLIC WORKS CONDITIONS

Site Specific Conditions of Approval

1. A public utility plan must be submitted for review and approval prior to any construction of utilities.
2. There are existing water service stubs along the southern property boundary that must be utilized or abandoned.
3. A site geotechnical should be provided for review with the first building permit application.
4. No permanent structures can impede on a new or existing utility easement including but not limited to trees, shrubs, fences, buildings, carports, trash enclosures, infiltration trenches, etc.

General Conditions of Approval

1. Applicant shall coordinate water and sewer main size and routing with the Public Works Department, and execute standard forms of easements for any mains that are required to provide service outside of a public right-of-way. Minimum cover over sewer mains is three feet, if cover from top of pipe to sub-grade is less than three feet than alternate materials shall be used in conformance of City of Meridian Public Works Departments Standard Specifications.
2. Per Meridian City Code (MCC), the applicant shall be responsible to install sewer and water mains to and through this development. Applicant may be eligible for a reimbursement agreement for infrastructure enhancement per MCC 8-6-5.
3. The applicant shall provide easement(s) for all public water/sewer mains outside of public right of way (include all water services and hydrants). The easement widths shall be 20-feet wide for a single utility, or 30-feet wide for two. Submit an executed easement (on the form available from Public Works), a legal description prepared by an Idaho Licensed Professional Land Surveyor, which must include the area of the easement (marked EXHIBIT A) and an 8 1/2" x 11" map with bearings and distances (marked EXHIBIT B) for review. Both exhibits must be sealed, signed and dated by a Professional Land Surveyor. DO NOT RECORD.
4. The City of Meridian requires that pressurized irrigation systems be supplied by a year-round source of water (MCC 9-1-28.C). The applicant should be required to use any existing surface or well water for the primary source. If a surface or well source is not available, a single-point connection to the culinary water system shall be required. If a single-point connection is utilized,

the developer will be responsible for the payment of assessments for the common areas prior to receiving development plan approval.

5. Any structures that are allowed to remain shall be subject to evaluation and possible reassignment of street addressing to be in compliance with MCC.
6. All irrigation ditches, canals, laterals, or drains, exclusive of natural waterways, intersecting, crossing or laying adjacent and contiguous to the area being subdivided shall be addressed per UDC 11-3A-6. In performing such work, the applicant shall comply with Idaho Code 42-1207 and any other applicable law or regulation.
7. Any wells that will not continue to be used must be properly abandoned according to Idaho Well Construction Standards Rules administered by the Idaho Department of Water Resources. The Developer's Engineer shall provide a statement addressing whether there are any existing wells in the development, and if so, how they will continue to be used, or provide record of their abandonment.
8. Any existing septic systems within this project shall be removed from service per City Ordinance Section 9-1-4 and 9 4 8. Contact Central District Health for abandonment procedures and inspections (208)375-5211.
9. All improvements related to public life, safety and health shall be completed prior to occupancy of the structures.
10. Applicant shall be required to pay Public Works development plan review, and construction inspection fees, as determined during the plan review process, prior to the issuance of a plan approval letter.
11. It shall be the responsibility of the applicant to ensure that all development features comply with the Americans with Disabilities Act and the Fair Housing Act.
12. Applicant shall be responsible for application and compliance with any Section 404 Permitting that may be required by the Army Corps of Engineers.
13. Developer shall coordinate mailbox locations with the Meridian Post Office.
14. Compaction test results shall be submitted to the Meridian Building Department for all building pads receiving engineered backfill, where footing would sit atop fill material.
15. The design engineer shall be required to certify that the street centerline elevations are set a minimum of 3-feet above the highest established peak groundwater elevation. This is to ensure that the bottom elevation of the crawl spaces of homes is at least 1-foot above.
16. The applicants design engineer shall be responsible for inspection of all irrigation and/or drainage facility within this project that do not fall under the jurisdiction of an irrigation district or ACHD. The design engineer shall provide certification that the facilities have been installed in accordance with the approved design plans. This certification will be required before a certificate of occupancy is issued for any structures within the project.

17. At the completion of the project, the applicant shall be responsible to submit record drawings per the City of Meridian AutoCAD standards. These record drawings must be received and approved prior to the issuance of a certification of occupancy for any structures within the project.
18. A street light plan will need to be included in the civil construction plans. Street light plan requirements are listed in section 6-5 of the Improvement Standards for Street Lighting. A copy of the standards can be found at http://www.meridiancity.org/public_works.aspx?id=272.
19. The City of Meridian requires that the owner post to the City a warranty surety in the amount of 20% of the total construction cost for all completed sewer, water and reuse infrastructure for duration of two years. This surety will be verified by a line item cost estimate provided by the owner to the City. The surety can be posted in the form of an irrevocable letter of credit, cash deposit or bond. Applicant must file an application for surety, which can be found on the Community Development Department website. Please contact Land Development Service for more information at 887-2211.

C. NAMPA MERIDIAN IRRIGATION DISTRICT

<https://weblink.meridiancity.org/WebLink/DocView.aspx?id=250047&dbid=0&repo=MeridianCity>

D. ACHD

<https://weblink.meridiancity.org/WebLink/DocView.aspx?id=250801&dbid=0&repo=MeridianCity>

E. DEPARTMENT OF ENVIRONMENTAL QUALITY

<https://weblink.meridiancity.org/WebLink/DocView.aspx?id=249448&dbid=0&repo=MeridianCity>

IX. FINDINGS

A. CONDITIONAL USE PERMIT (UDC 11-5B-6)

The Commission shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The site meets all dimensional and development regulations of the C-G zoning district. The site already contains landscape buffers, parking is adequate, and the parking area will be landscaped as required by UDC 11-3B-8. Staff finds the site is large enough to accommodate the proposed use.

2. That the proposed use will be harmonious with the Meridian Comprehensive Plan and in accord with the requirements of this title.

As analyzed in the Comprehensive Plan section above, Staff finds this proposed will be harmonious with the Comprehensive Plan per the analysis in Section V of this staff report.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The subject site is within an industrial and commercially zoned area. Single family residential exists to the south across E. Overland Rd. If staff's recommendations are followed, staff finds the proposed use should not change the character nature of the area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

If staff's recommendation regarding additional landscape treatment, screening of rental equipment and additional architectural requirements are followed, staff finds the proposed use should not adversely affect other properties in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The proposed use will be served adequately by all public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

Staff finds the proposed use should not create any additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance. (Ord. 05-1170, 8-30-2005, eff. 9-15-2005)

Staff is unaware of any natural, scenic, or historic features on this site; thus, Staff finds the proposed use should not result in damage of any such features.