

**COMMUNITY DEVELOPMENT
DEPARTMENT REPORT**

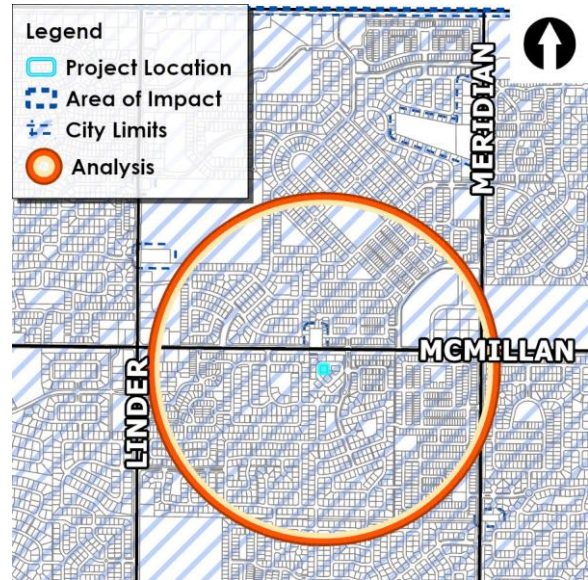


HEARING DATE: 10/3/2024
TO: Planning & Zoning Commission
FROM: Linda Ritter, Associate Planner
208-884-5533
lritter@meridiancity.org

APPLICANT: Sandee Transtrum, Biltmore Co.

SUBJECT: H-2024-0036
Cedar Springs Animal Care Facility -
CUP

LOCATION: 4759 N. Summit Way, located in the W
½ of the NE ¼ of SEC 36, T.4N, R.1W



I. PROJECT OVERVIEW

A. Summary

A Conditional Use Permit to develop a 4,450 square foot animal care facility offering general practices such as examinations and small procedures on 0.249-acres of land in the L-O zoning district.

B. Issues/Waivers

None

C. Recommendation

Staff: Staff recommends approval of the conditional use permit with the conditions noted in Section IV below.

D. Decision

Select: Pending.

II. COMMUNITY METRICS

Table 1: Land Use

Description	Details	Map Ref.
Existing Land Use(s)	Vacant	-
Proposed Land Use(s)	Animal Care Facility	-
Existing/Proposed Zoning	Vacant/L-O	VI.A.2
Future Land Use Designation	Office	VI.A.3

Table 2: Process Facts

Description	Details
Preapplication Meeting date	Tuesday, May 21, 2024
Neighborhood Meeting	8/8/2024; 6 attendees
Site posting date	(Click or tap to enter a date)

Table 3: Community Metrics

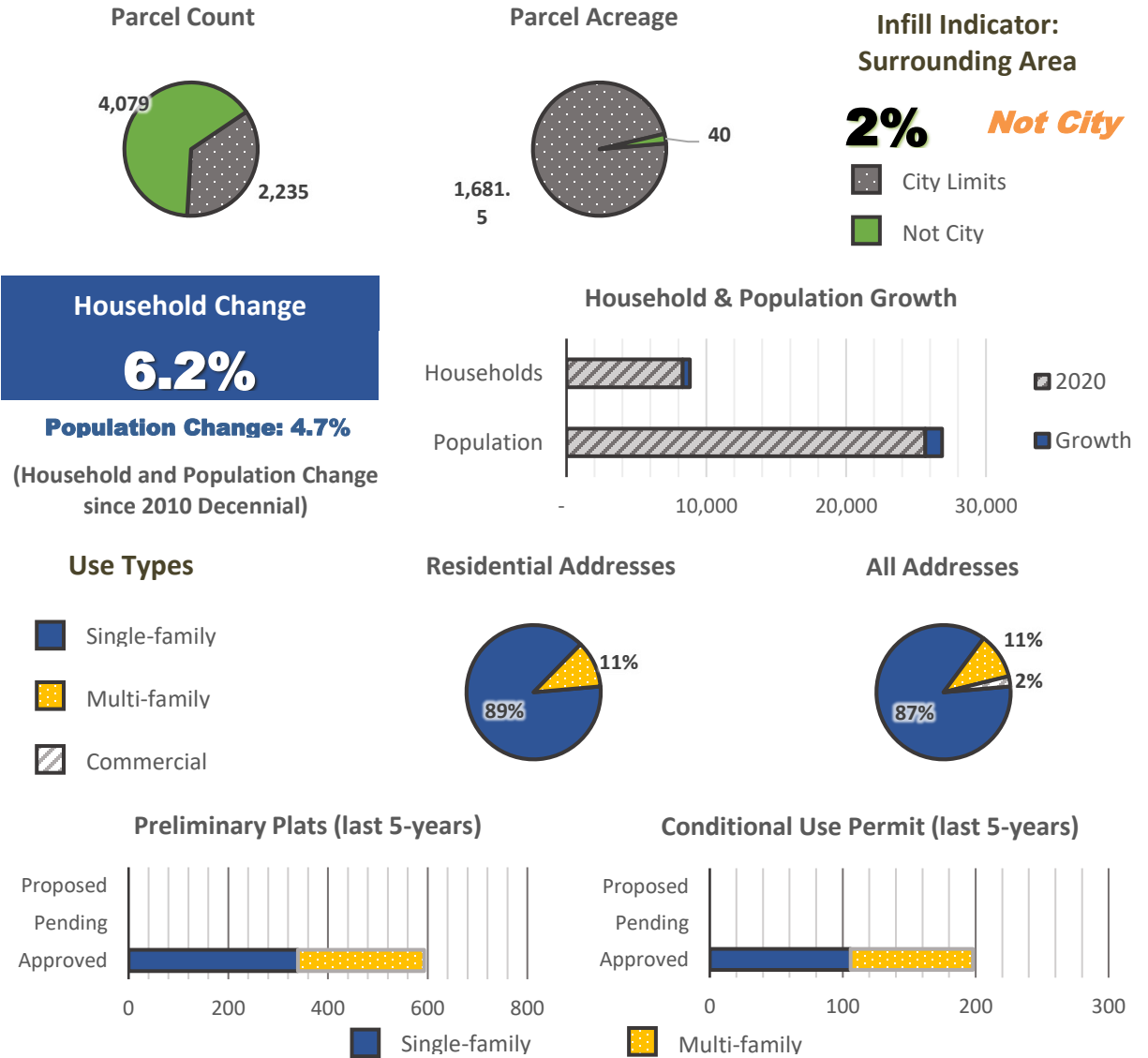
Agency / Element	Description / Issue	Reference
Ada County Highway District		IV.D
• Comments Received	Yes, Staff Report	-
• Commission Action Required	No	-
• Access	N. Summit Way via W. McMillan Road	-
• Traffic Level of Service	(Description of level of service or performance indicators)	-
ITD Comments Received	(Yes/No, Staff Report or Other)	IV.E
Meridian Fire	No Comments	Error! Reference source not found.
Meridian Police	No Comments	Error! Reference source not found.
Meridian Public Works Wastewater	Distance to Mainline: Sewer service available to the site; Impacts or Concerns: See Public Works site specific conditions.	IV.B
Meridian Public Works Water	Distance to Mainline: Water available at the site; Impacts or Concerns: None – Ensure no trees are located within 10’ of the water meter.	IV.B

See City/Agency Comments and Conditions Section for all department/agency comments received.

Figure 1: One-Mile Radius Existing Condition Metrics

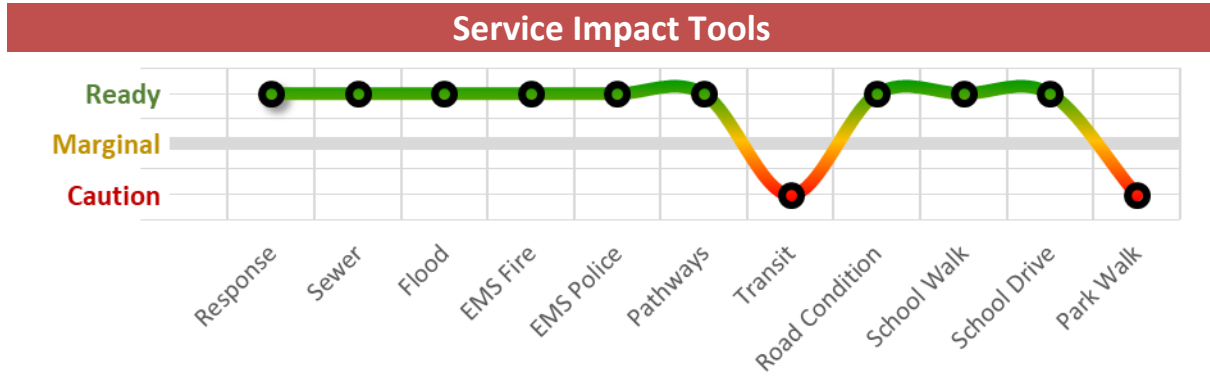
Reference Parcel: R1333210170

Date Retrieved: 2024 / 9 / 11



Notes: See VII. Additional Notes & Details for Staff Report Maps, Tables, and Charts.

Figure 3: Service Impact Summary



Notes: See VII. Additional Notes & Details for Staff Report Maps, Tables, and Charts.

III. STAFF ANALYSIS

Comprehensive Plan and Unified Development Code (UDC)

A. General Overview

This property is designated Office on the Future Land Use Map (FLUM) in the Comprehensive Plan. This designation is meant to provide opportunities for low-impact business areas. These uses would include professional offices, technology and resource centers; ancillary commercial uses may be considered (particularly within research and development centers or technological parks).

The existing Cedar Springs subdivision is zoned L-O and contains twelve (12) commercial lots in which seven (7) of the buildings are completed or underway. The uses include personal or health services. Cedar Spring Lot 18, a .249-acre parcel, is located in the center circle of this business complex and has commercial buildings, drive lanes, and parking stalls buffering it from the residential lots on all sides.

Table 4: Project Overview

Description	Details
History	AZ-00-019, PP-00-018, DA (Inst.# 102067381), RZ-03-013 DA (Inst. # 105058639), Preliminary Plat (PP-02-027) DA (Inst.# 103192357), PP-03-044, and FP-04-012

B. History and Process

The property was approved for annexation and zoning of 81.54 acres of land to R-8 and L-O zones for the Cedar Springs North Subdivision in 2002. All utilities, roadways, pathways, perimeter and street landscaping has been installed.

This lot is part of Cedar Springs Subdivision No. 5 which consist of twelve (12) commercial building lots and five (5) common lots on 8.55 acres.

C. Site Development and Use Analysis

A Conditional Use Permit is requested to develop a 4,450 square foot animal care facility offering general practices such as examinations and small procedures on 0.249-acres of land in the L-O zoning district as required by UDC Table 11-2B-2. No overnight boarding is being proposed.

The applicant states as the population of Meridian continues to grow, the need for additional pet care for residents is limited. Foothill Veterinary Clinic will be a neighborhood clinic with general business operating hours, never before 6 am or after 10 pm, to treat general pet health and small procedures, no boarding services will be available and pet outdoor access will be confined to a small fenced area under staff supervision as needed. Additional noise insulation and landscaping will be used on this building to ensure the Foothill Veterinary Clinic will be a valued addition to the surrounding community and neighbors.

Per UDC 11-4-3, all animals shall be indoors at all times, except when being exercised. At such times, animals shall be under the supervision and direct control of a caretaker. The animals cannot be released outside within the fenced area without supervision.

1. Existing Structures/Site Improvements (UDC 11-1):

There are no existing structures on this site. All the perimeter landscaping and roads have been installed with the plat.

2. Proposed Use Analysis (UDC 11-2):
The proposed use "Animal Care Facility" is an allowed use with an approved conditional use permit.
3. Dimensional Standards (UDC 11-2):
The proposal meets the dimensional standards for setbacks, landscape buffers, parking requirements, landscape requirements and maximum building height for the L-O zoning district.
4. Specific Use Standards (UDC 11-4-3):
 1. All animals shall be indoors at all times, except when being exercised. At such times, animals shall be under the supervision and direct control of a caretaker.

The applicant is proposing to install a wooden privacy fenced area are located on the southeast side of the building to ensure animal safety. This area will be used to walk the animals while in the hospital care in a safe environment and to prevent escape and/or injury to the animals.
 2. The facility owner and/or operator shall comply with all state and local regulations relative to such a facility and shall maintain housekeeping practices designed to prevent the creation of a nuisance and to reduce noise and odor to a minimum.

The animals will be indoors at all times except when exercising. All animal waste shall be maintained and discarded in a manner that minimizes odor.

D. Design Standards Analysis

1. Existing structure and Site Design Standards (Comp Plan 3.07.02A, Comp Plan 5.01.02D UDC 11-3A-19):
Require pedestrian circulation plans to ensure safety and convenient access across large commercial and mixed-use developments.

Require appropriate building design, and landscaping elements to buffer, screen, beautify, and integrate commercial, multifamily, and parking lots into existing neighborhoods.

Buildings shall be designed in accord with the "City of Meridian Architectural Standards Manual."

There are no existing structures on this site. Sidewalks, landscaping and parking were installed with development of Cedar Springs Subdivision No. 5.

Per UDC 11-3A-19 pedestrian walkways shall provide a continuous walkway that is a minimum of five (5) feet in width from the perimeter sidewalk to the main building entrance(s) for nonresidential uses. The internal pedestrian walkway shall be distinguished from the vehicular driving surfaces through the use of pavers, colored or scored concrete, or bricks.
2. Landscaping (UDC 11-3B):
All the perimeter, buffer and parking lot landscaping were installed with the development of Cedar Springs Subdivision No. 5.
3. Parking (UDC 11-3C):
Off-street vehicle parking is required per the standards listed in UDC 11-3C-6B.1.
 - i. Nonresidential parking analysis
Per UDC 11-3C commercial buildings require one (1) parking space for every five hundred (500) square feet of gross floor area. The total number of parking spaces

required is nine (9). The applicant is proposing twenty-seven (27) parking spaces which exceeds the required number parking spaces for this proposal.

ii. Bicycle parking analysis

Per UDC 11-3C-6.G One (1) bicycle parking space shall be provided for every twenty-five (25) proposed vehicle parking spaces or portion thereof, except for single-family residences, two-family duplexes, and townhouses. Based on the twenty-seven (27) parking spaces provided, a total of one bicycle parking space is required.

4. Building Elevations (Comp Plan 5.01.02D, Architectural Standards Manual):

Conceptual building elevations were submitted for the proposed structure as shown in Section III. Building materials consist of stucco, shingle roof, anodized aluminum storefront, stone veneer and accent paint. Final design is required to comply with the design standards in the Architectural Standards Manual and recorded development agreement.

The Comprehensive Plan's goal is to require appropriate building design, and landscaping elements to buffer, screen, beautify, and integrate commercial, multifamily, and parking lots into existing neighborhoods.

5. Fencing (UDC 11-3A-6, 11-3A-7):

The applicant is proposing to install a four (4) foot high vinyl fence for the enclosed dog area.

E. Transportation Analysis

1. Access (Comp Plan 6.01.02C, UDC 11-3A-3, UDC 11-3H-4):

Access to the property is from N. Summit Way via N. McMillan Road.

2. Multiuse Pathways (UDC 11-3A-5):

There is an existing multi-use pathway along W. McMillan Road.

3. Pathways (Comp Plan 4.04.01A, UDC 11-3A-8):

Ensure that new development and subdivisions connect to the pathway system. Pathways currently exist for this development. No new pathways are required.

4. Sidewalks (UDC 11-3A-17):

Sidewalks along N. Summit Way and on the lot currently exist for this development.

F. Services Analysis

All utilities shall meet the requirements of the Comprehensive Plan and UDC sections identified below.

1. Pressurized Irrigation (UDC 11-3A-15):

The City of Meridian requires that pressurized irrigation systems be supplied by a year-round source of water (UDC 11-3B-6). The applicant should be required to use any existing surface or well water for the primary source. If a surface or well source is not available, a single-point connection to the culinary water system shall be required. If a single-point connection is utilized, the developer will be responsible for the payment of assessments for the common areas prior to receiving development plan approval.

2. Storm Drainage (UDC 11-3A-18):

The applicant shall design and construct an adequate storm drainage system in accordance with the city's adopted standards and shall follow Best Management Practice as adopted by the city.

3. Utilities (*Comp Plan 3.03.03A, UDC 11-3A-21*):

Ensure development is connected to City of Meridian water and sanitary sewer systems and the extension to and through said developments are constructed in conformance with the City of Meridian Water and Sewer System Master Plans in effect at the time of development. All utilities are available to the site. Water main, fire hydrant and water service require a twenty-foot (20) wide easement that extends ten (10) feet past the end of main, hydrant, or water meter. No permanent structures, including trees are allowed inside the easement.

Water and sewer services were installed with the construction of Cedar Springs Subdivision No. 5 and stubbed to the parcel. Street lights were installed within the development and along N. Summit Way. No additional street lights are being proposed with this development. There are existing fire hydrants at the corner of N. Summit Way and Havasu Falls Street and existing fire hydrants within the Cedar Springs North Business Park.

IV. CITY/AGENCY COMMENTS & CONDITIONS

A. Meridian Planning Division

1. Future development of this site shall comply with the previous conditions of approval and terms of the existing Development Agreement and the conditions contained herein [AZ-00-019, PP-00-018, DA (Inst.# 102067381), RZ-03-013 DA (Inst. # 105058639), Preliminary Plat (PP-02-027) DA (Inst.# 103192357), PP-03-044, and FP-04-012].
2. The proposed project shall comply with the standards listed in UDC [11-4-3-22](#) for animal care facilities.
3. All animals shall be indoors at all times, except when being exercised. At such times, animals shall be under the supervision and direct control of a caretaker.
4. The hours of operations shall be limited to 6:00 a.m. to 10:00 p.m. per UDC [11-2B-3B](#).
5. Protect the existing landscaping on the site during construction, per UDC [11-3B-10](#).
6. A Certificate of Zoning Compliance and Design Review application shall be submitted and approved for the proposed use prior to submittal of a building permit application. The design of the site and structures shall comply with the standards listed in UDC [11-3A-19](#); the design standards listed in the [Architectural Standards Manual](#).
7. The applicant shall coordinate with Republic Services for the appropriate size and location of the proposed trash enclosure. The trash enclosure shall be relocated away from the residential development.
8. The applicant and/or assigns shall have the continuing obligation to provide irrigation that meets the standards as set forth in UDC 11-3B-6 and to install and maintain all landscaping as set forth in UDC 11-3B-5, UDC 11-3B-13 and UDC 11-3B-14.
9. The conditional use permit is valid for a maximum period of two (2) years unless otherwise approved by the City. During this time, the Applicant shall commence the use as permitted in accord with the conditions of approval, satisfy the requirements set forth in the conditions of approval, and acquire building permits and commence construction of permanent footings or structures on or in the ground as set forth in UDC [11-5B-6](#). A time extension may be requested as set forth in UDC [11-5B-6F](#).

B. Meridian Public Works

See public record (copy the link into a separate window)

<https://weblink.meridiancity.org/WebLink/Browse.aspx?id=362078&dbid=0&repo=MeridianCity>

C. Meridian Park's Department

No multi-use pathways requirements

D. Ada County Highway District (ACHD)

See public record (copy the link into a separate window)

<https://weblink.meridiancity.org/WebLink/Browse.aspx?id=362078&dbid=0&repo=MeridianCity>

E. Idaho Transportation Department (ITD)

See public record (copy the link into a separate window)

<https://weblink.meridiancity.org/WebLink/Browse.aspx?id=362078&dbid=0&repo=MeridianCity>

V. FINDINGS

A. Conditional Use (UDC 11-5B-6E)

The commission shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
Staff finds the site is large enough to accommodate the proposed use.
2. That the proposed use will be harmonious with the Meridian comprehensive plan and in accord with the requirements of this title.
Staff finds the proposed veterinary hospital will be harmonious with the Comprehensive Plan and is consistent with applicable UDC standards with the conditions noted in Section IV of this report.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
Staff finds the proposed design, construction, operation and maintenance of the proposed use will be compatible with other uses in the general neighborhood, with the existing and intended character of the vicinity and will not adversely change the essential character of the area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
Staff finds the proposed use will not adversely affect other properties in the vicinity if it complies with the conditions in Section IV of this report.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
Staff finds the proposed use will be served by essential public facilities and services as required.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
Staff finds the proposed use will not create additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
Staff finds the proposed use will not be detrimental to any persons, property or the general welfare by the reasons noted above.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.
Staff finds the proposed use will not result in the destruction, loss or damage of any such features.
9. Additional findings for the alteration or extension of a nonconforming use:
This finding is not applicable.
10. That the proposed nonconforming use does not encourage or set a precedent for additional nonconforming uses within the area; and,
This finding is not applicable.
11. That the proposed nonconforming use is developed to a similar or greater level of conformity with the development standards as set forth in this title as compared to the level of development of the surrounding properties.
This finding is not applicable.

VI. ACTION

A. Staff:

Staff recommends approval of the conditional use permit with the conditions noted in Section IV below.

B. Commission:

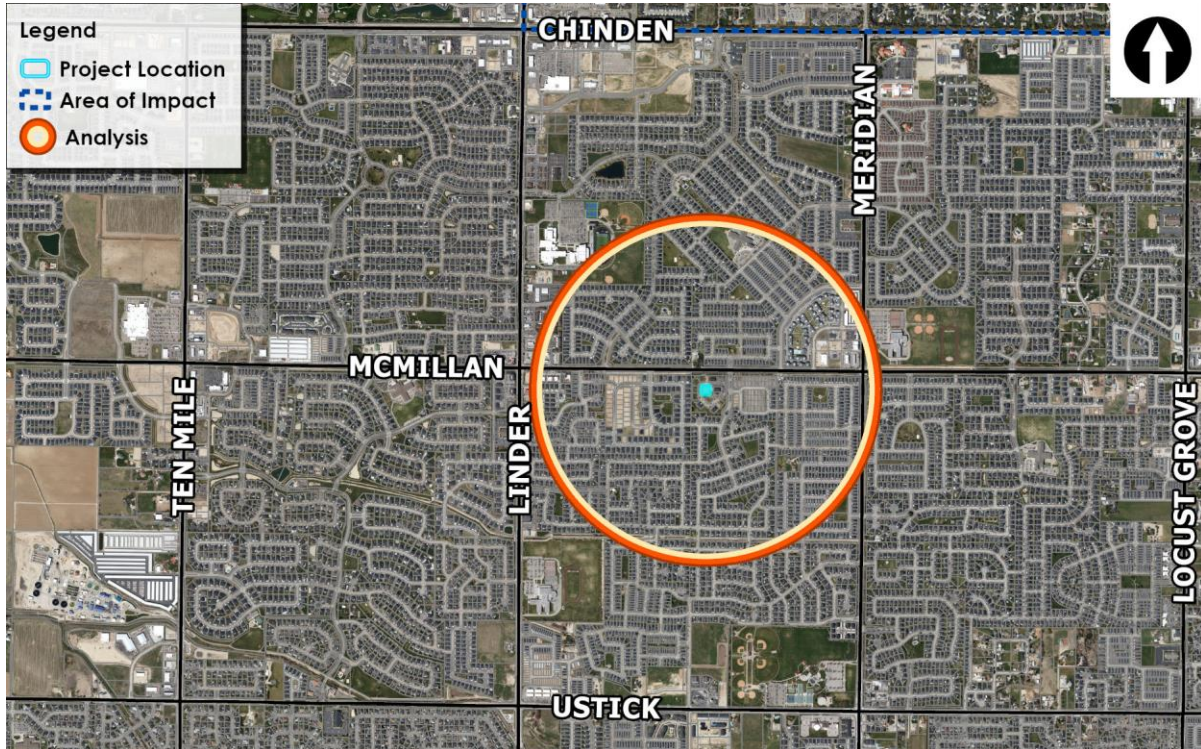
Pending

VI. EXHIBITS

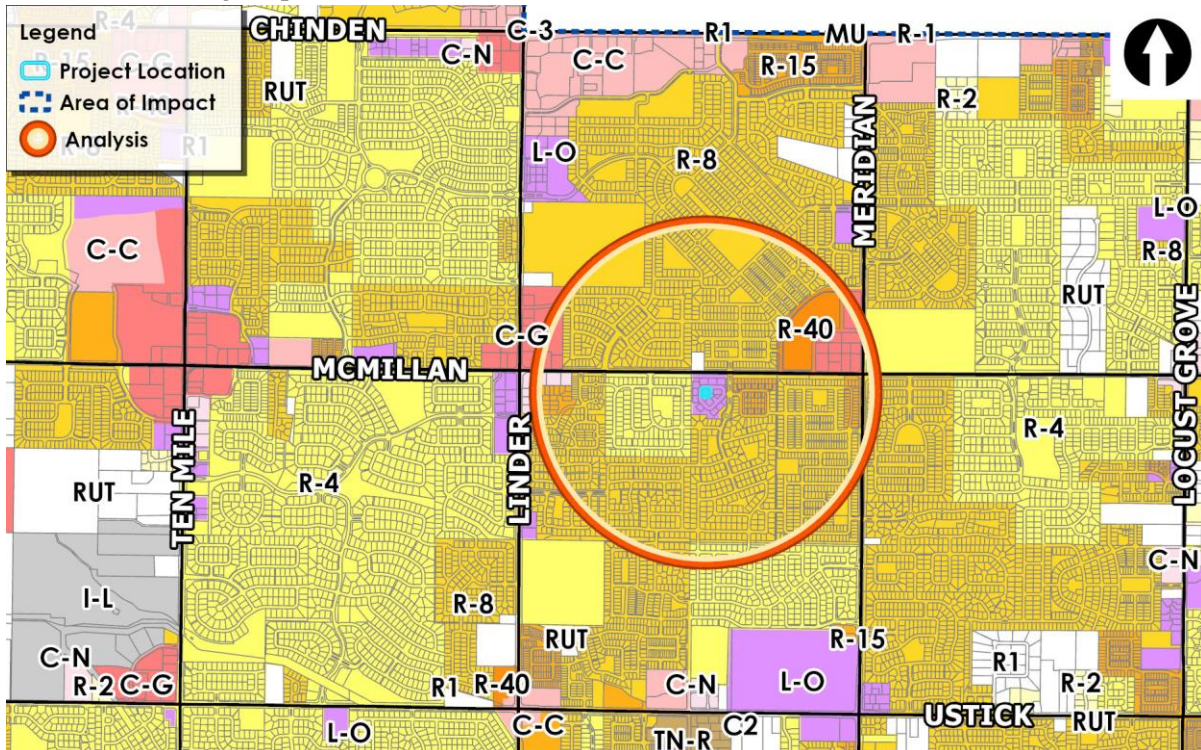
A. Project Area Maps

(link to [Project Overview](#))

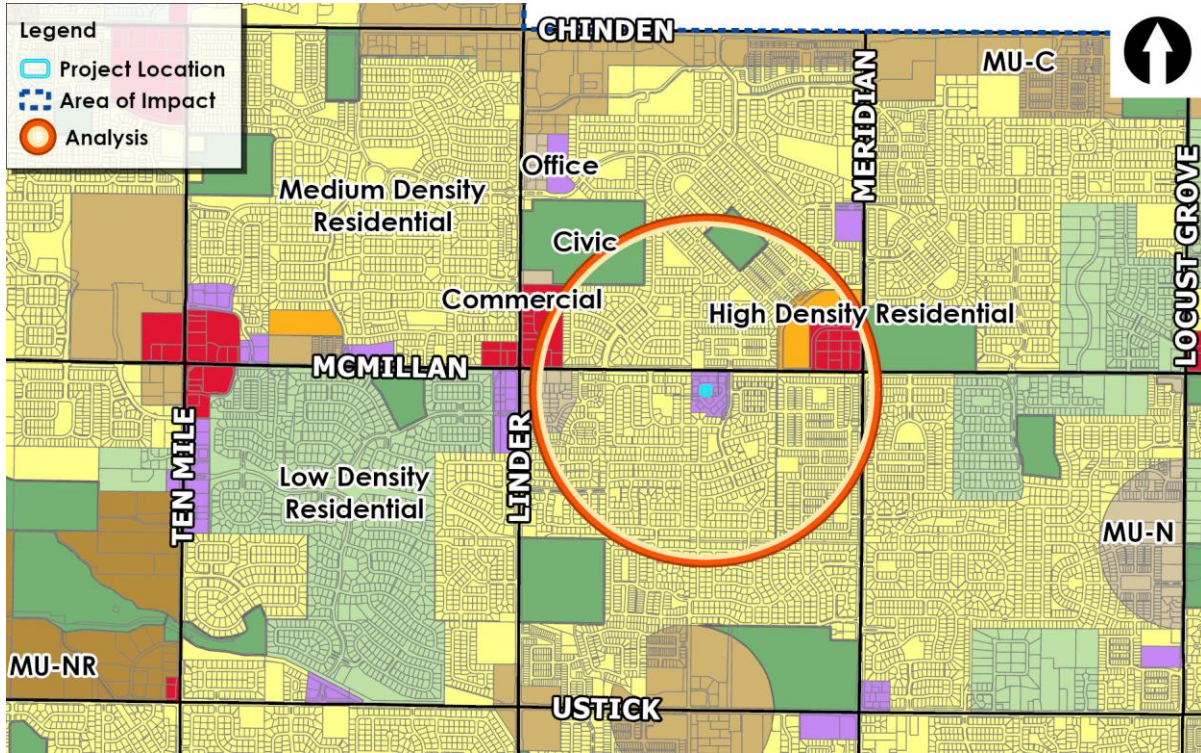
1. Aerial



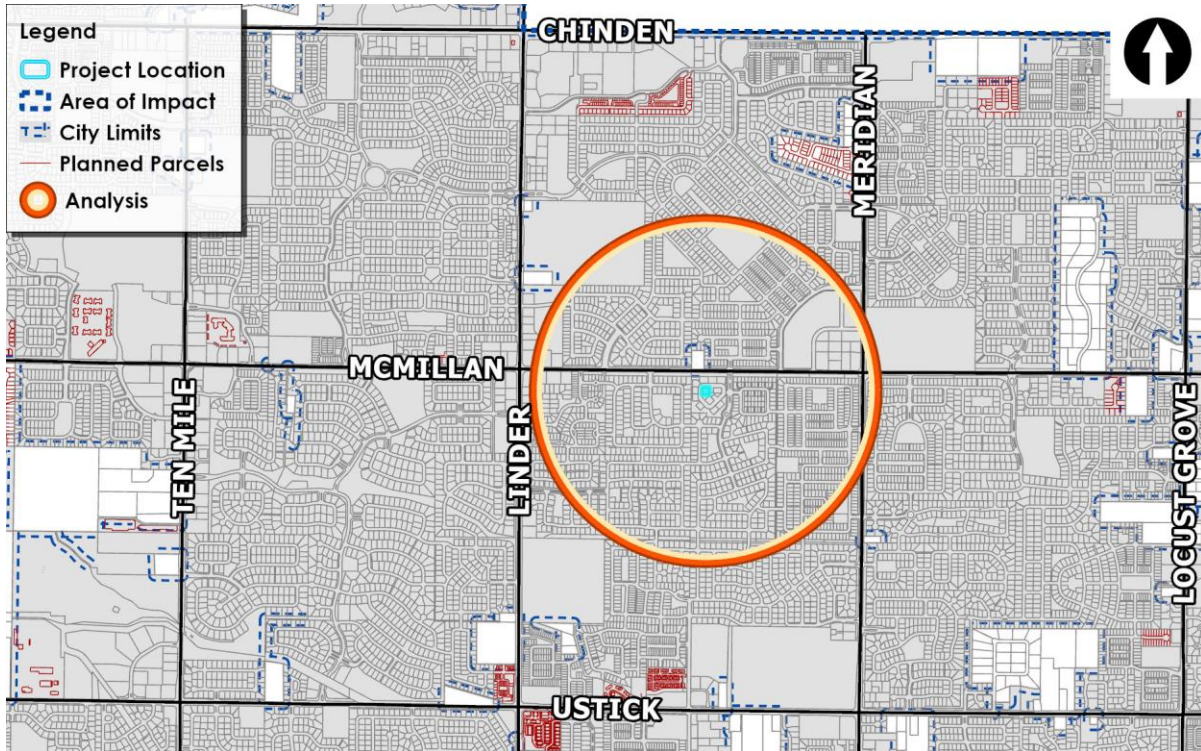
2. Zoning Map



3. Future Land Use



4. Planned Development Map



5. Map Notes

Recent Area Preliminary Plats:

Nearby Recent Preliminary Plats (2018+)

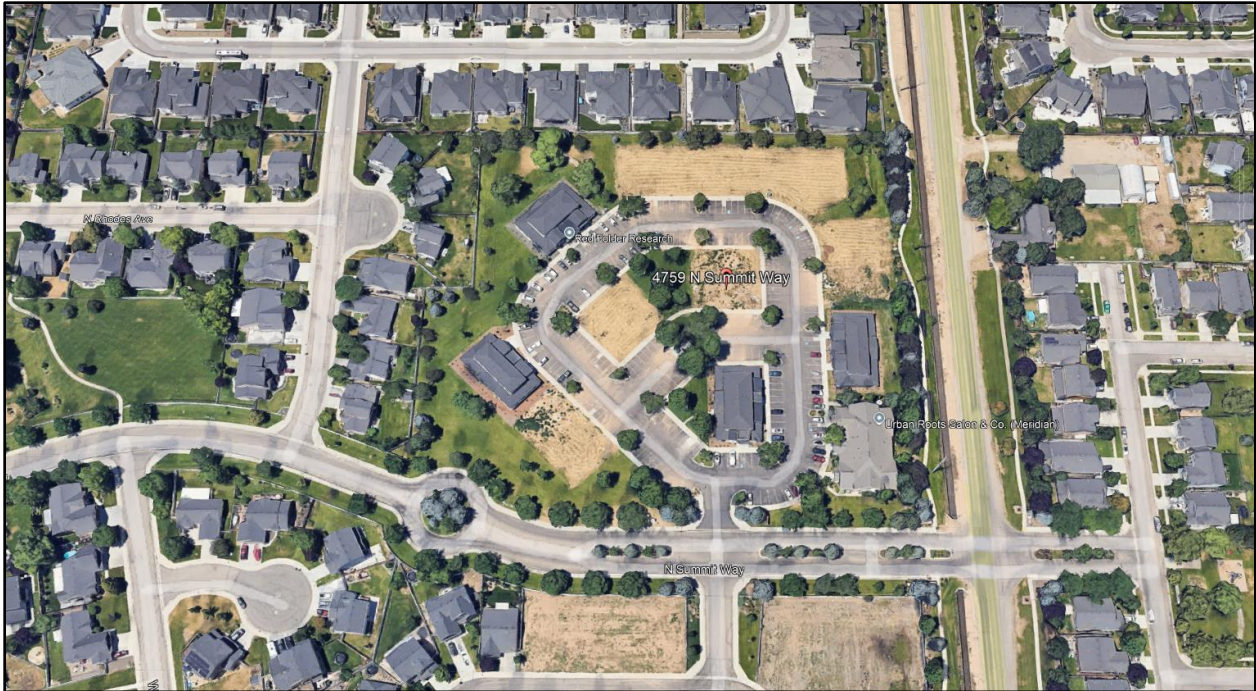
H-2016-0112 H-2017-0104

Recent Area Conditional Use Permits

Nearby Recent Conditional Use Permits (2018+)

H-2020-0123

B. Subject Site Photos



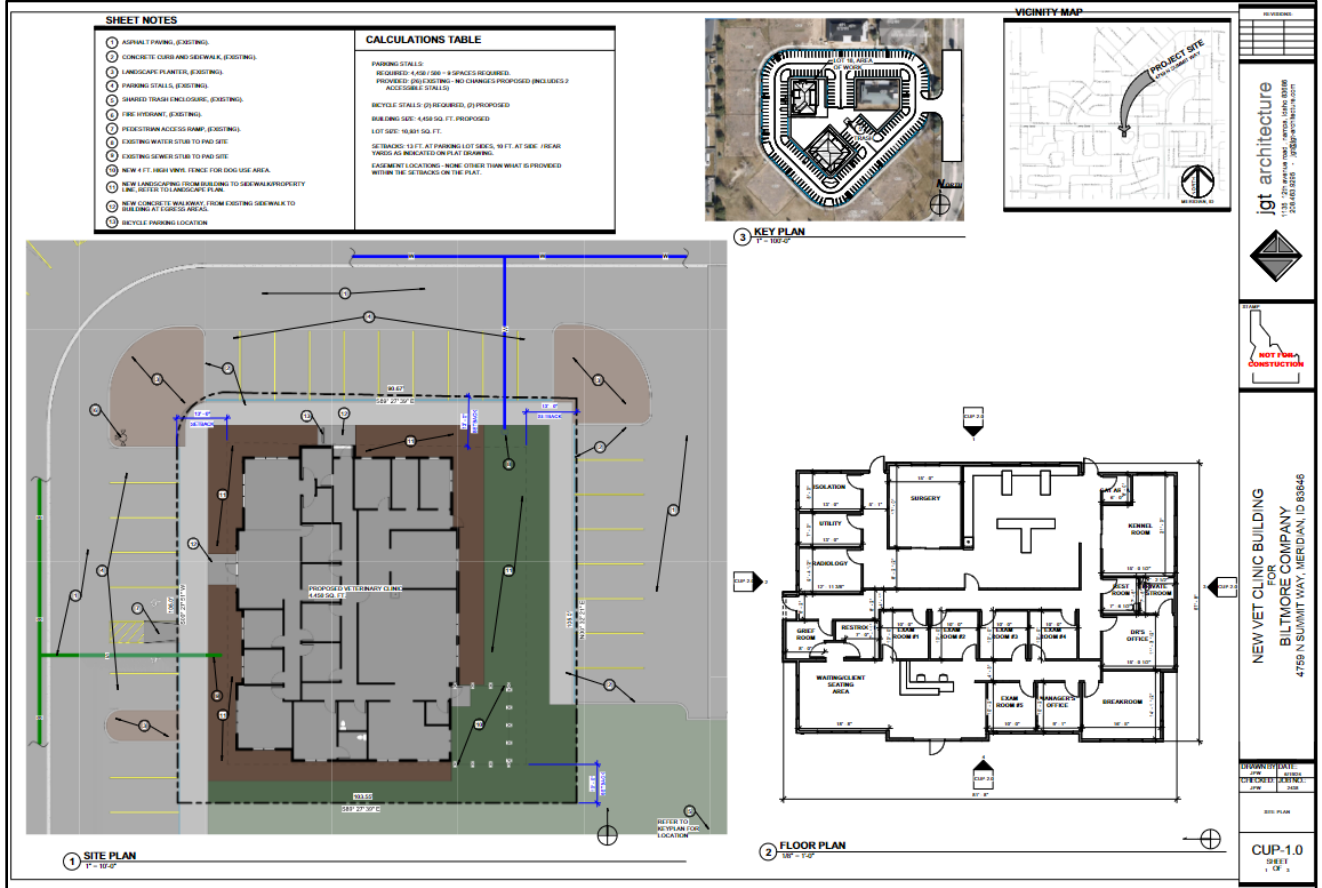
C. Service Accessibility Report

PARCEL R1333210170 SERVICE ACCESSIBILITY

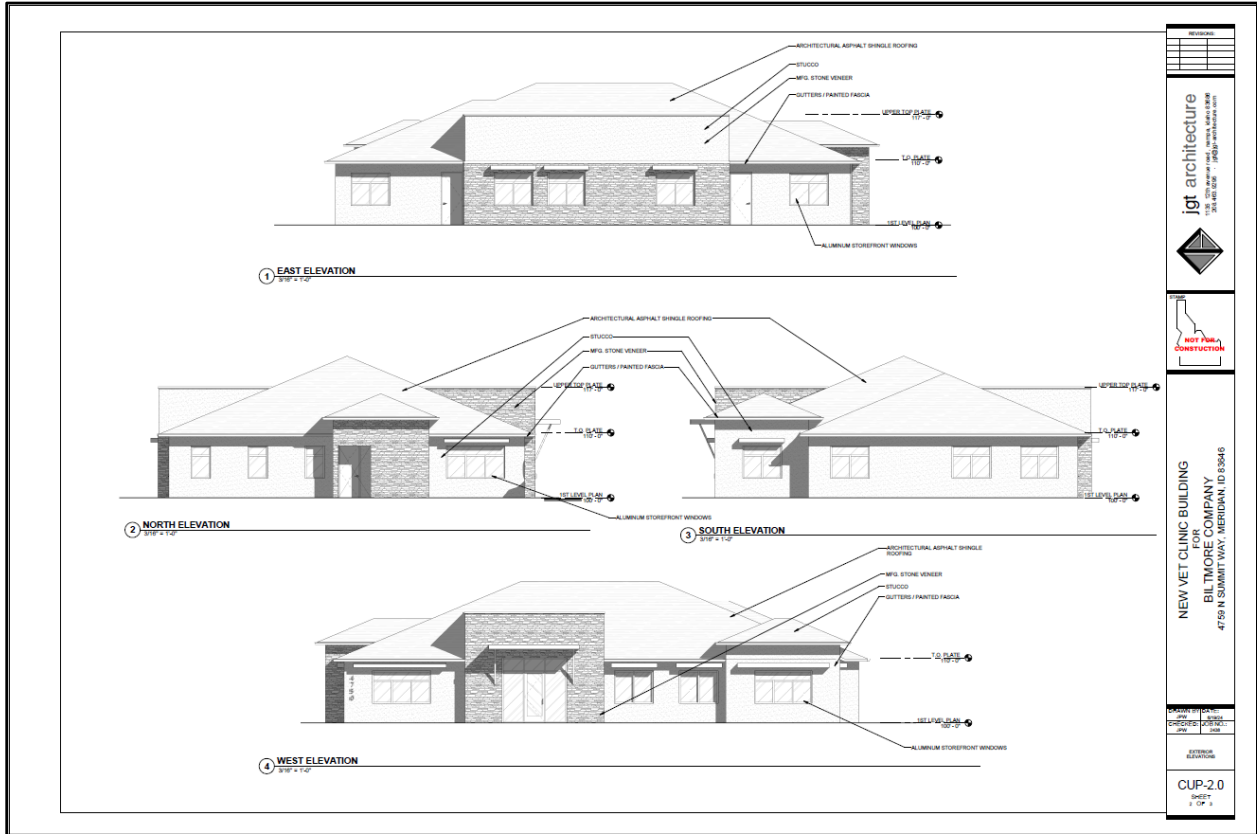
Overall Score: 35 **65th Percentile**

Criteria	Description	Indicator
Location	In City Limits	GREEN
Extension Sewer	Trunkshed mains < 500 ft. from parcel	GREEN
Floodplain	Either not within the 100 yr floodplain or > 2 acres	GREEN
Emergency Services Fire	Response time < 5 min.	GREEN
Emergency Services Police	Meets response time goals most of the time	GREEN
Pathways	Within 1/4 mile of current pathways	GREEN
Transit	Not within 1/4 of current or future transit route	RED
Arterial Road Buildout Status	Ultimate configuration (# of lanes in master streets plan) > existing (# of lanes) & road IS in 5 yr work plan	YELLOW
School Walking Proximity	Within 1/2 mile walking	GREEN
School Drivability	Either a High School or College within 2 miles OR a Middle or Elementary School within 1 mile driving (existing or future)	GREEN
Park Walkability	Either a Regional Park within 1 mile OR a Community Park within 1/2 mile OR a Neighborhood Park within 1/4 mile walking	GREEN

D. Site Plan (date: 6/19/2024)



F. Building Elevations (date: 6/24/2024)



REVISIONS

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 MERIDIAN, MD 21202

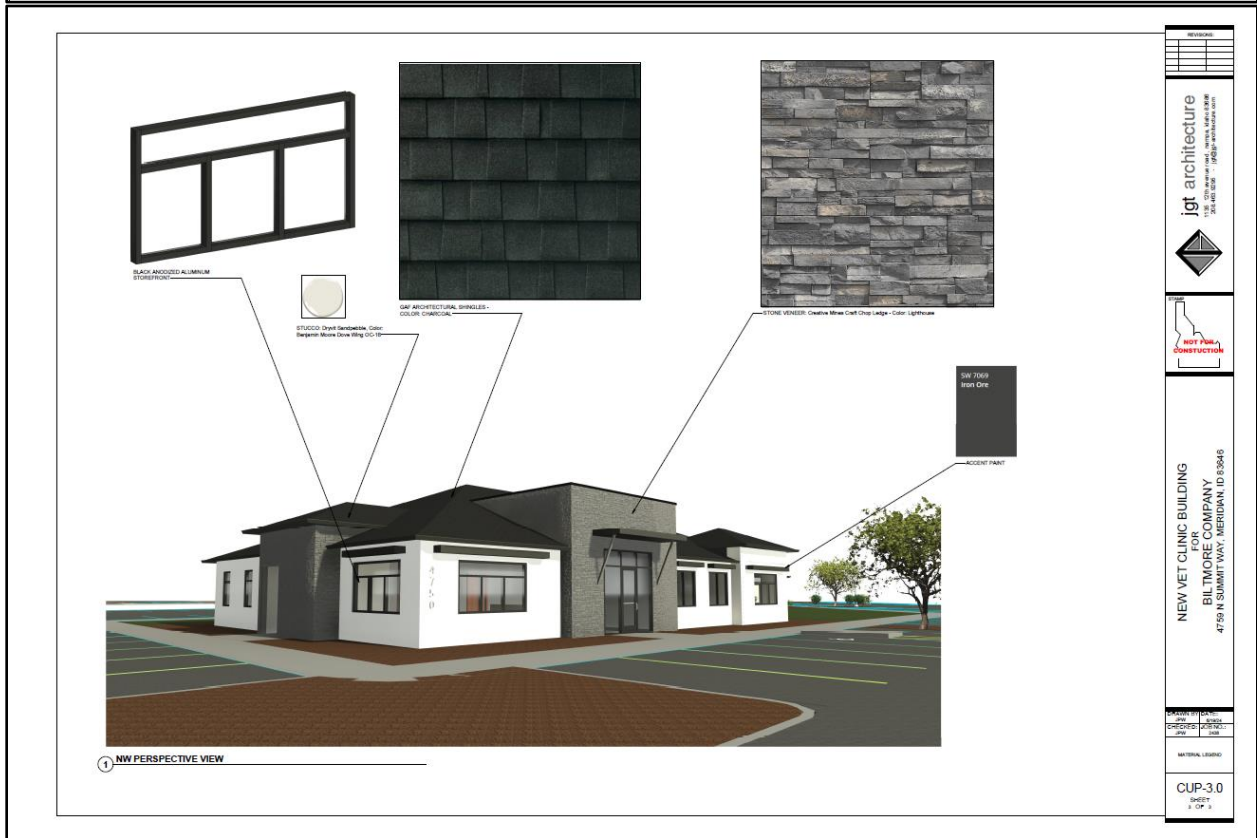
NOT FOR CONSTRUCTION

NEW VET CLINIC BUILDING FOR BALTIMORE COMPANY
 4759 N. SUMMIT WAY, MERIDIAN, MD 20845

DATE: 6/24/24
 DRAWN: JAW
 CHECKED: JAW
 DATE: 6/24/24

EXTERIOR ELEVATIONS

CUP-2.0
 SHEET 1 OF 3



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 MERIDIAN, MD 21202

NOT FOR CONSTRUCTION

NEW VET CLINIC BUILDING FOR BALTIMORE COMPANY
 4759 N. SUMMIT WAY, MERIDIAN, MD 20845

DATE: 6/24/24
 DRAWN: JAW
 CHECKED: JAW
 DATE: 6/24/24

MATERIAL LEGEND

CUP-3.0
 SHEET 1 OF 3

VII. ADDITIONAL NOTES & DETAILS FOR STAFF REPORT MAPS, TABLES, AND CHARTS

(link to [Community Metrics](#))

A. One-Mile Radius Existing Condition Notes

This data is automatically derived from enterprise application and GIS databases, and exported dynamically. Date retrieved notes generally reflect data acquired or processed within the last 30-days. Analysis is based on a one-mile radius from the centroid of the identified parcel. Parcel based data excludes certain properties and represents land as it exists now. Properties considered are only those with a total assessed value greater than 0 (i.e. excludes most HOA area, transitional development, government, and quasi government facilities). The following values also constrain included property acreage to reduce outliers and non-conforming instances from distorting averages: R-2 < 5.0; R-4 < 2.0; R-8 < 1.0; R-15 < 0.5; R-40 < 0.25.

Conditional Use Permits and Preliminary plat data likely include duplicate project submittals as they may be for the same project, approved at different times through multiple application types. Consider each independently or review prior application approvals. Some approved entitlements, and particularly older ones, may be constructed.

Decennial population counts and household counts are based on the most recent Decennial Census. Current population and current household values are COMPASS estimates, usually for the year previous, and are based on traffic analysis zone boundaries (TAZ's).

B. Mixed Use Analysis Notes

This data is derived from enterprise application and GIS databases, and exported dynamically. Data considered for analysis are only those areas overlapping the overall Mixed Use boundary area. Mixed Use areas across arterial roadways are distinct, separate, and not considered as they do not meet the mixed use principles in the Comprehensive Plan (e.g. pedestrian safety, transportation efficiency, etc.). Mixed Use parcel areas may be greater or smaller than the future land use area designation boundary due parcel size, configuration, right-of-way, and other factors. Conditional Use Permits and Preliminary plat data likely include duplicate project submittals as they may be for the same project, approved at different times through multiple application types. Consider each independently or review prior application approvals.

C. Service Assessment Notes

This data is derived from enterprise application and GIS database, and exported in dynamic reporting. The system references the most recent available from a variety of sources including sewer main lines, sewer trunksheds, floodplain, fire service areas and response times, police crime reporting, pathway information, existing and planned transit, existing and planned roadway improvements, school proximity, park proximity, and other resources.

The overall score represents the total points scored using weighted criteria (it is not a ranked order), and the percentile score is relative comparison value of the parcel being considered versus every other parcel in the City (the higher the better). This tool was developed as a City Council prioritized outcome of the 2019 Comprehensive Plan.

D. ACHD Roadway Infographic Notes

The Ada County Highway District utilizes a number of planning and analysis tools to understand existing and future roadway conditions.

- **Existing Level of service (LOS).** LOS indicator is a common metric to consider a driver's experience with a letter ranking from A to F. Letter A represents free flow conditions, and on the other end Level F represents forced flow with stop and go conditions. These conditions usually represent peak hour driver experience. ACHD considers Level D, stable flow, to be acceptable. The LOS does not represent conditions

for bikes or pedestrians, nor indicate whether improvements: are possible; if there are acceptable tradeoffs; or if there is a reasonable cost-benefit.

- **Integrated Five Year Work Plan (IFYWP).** The IFYWP marker (yes/no) indicates whether the specified roadway is listed in the next 5-years. This work may vary, from concept design to construction.
- **Capital Improvement Plan (CIP).** The CIP marker (yes/no) indicates whether the specified roadway is programmed for improvement in the next 20-years.