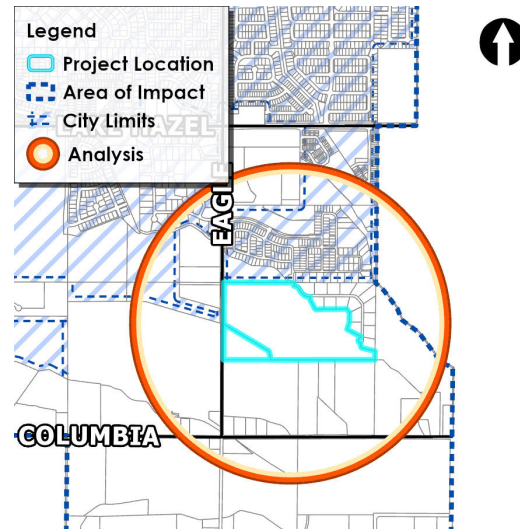


COMMUNITY DEVELOPMENT DEPARTMENT REPORT



HEARING DATE: 5/28/2026
TO: Planning & Zoning Commission
FROM: Sonya Allen, Associate Planner
208-884-5533
sallen@meridianscity.org
APPLICANT: Benjamin Semple
SUBJECT: Starling Ridge Subdivision
H-2026-0009

LOCATION: Generally located 1/2 mile south of E. Lake Hazel Rd., on the east side of S. Eagle Rd. in the SW 1/4 of Section 4, T.2N, R.1E.



I. PROJECT OVERVIEW

A. Summary

Annexation of 61.34 acres of land with R-4 (25.62 acres) and R-8 (35.72 acres) zoning districts; and preliminary plat consisting of 211 building lots and 26 common lots on 60.43 acres of land in the proposed R-4 and R-8 zoning districts.

B. Issues/Waivers

- The applicant has provided building elevations; however, they would like additional flexibility for the building elevations in the Development Agreement due to uncertainty around which builders will be building in the proposed development.
- Block 11 along the Farr Lateral requires a City Council Waiver as the block exceeds 1,000 feet.
- A City Council waiver is requested to keep the Farr Lateral open.
- A City Council waiver is requested for access to Eagle Road labeled E. Via Roberto Drive. However, staff is recommending that E. Via Roberto Drive be the access that remains open and E. Vantage Point Lane be closed.
- This project is serviced by Kuna School District. Currently, Fremont Middle School and KHS/SFHS High School are both over capacity.
- Sewer is currently not available at the site and won't be made available until the adjacent development to the west (Reville Ridge) of S. Eagle Road extends it from the western edge of Discovery Park and their development to Eagle Road. Currently, sewer is approximately 3/4 of a mile away, however, engineering plans have been submitted for the extension to this development but timing of sewer being available is unknown and is a concern from staff and the City Engineer.

- Approximately half of the open space for the development is located on the east side of the Farr Lateral. Staff has concerns about the placement of this open space as it is not easily accessible and is not well connected throughout the development. Staff is asking the Planning and Zoning Commission and City Council to carefully consider whether the open space location is appropriate.
- The overall gross density is 3.49 dwelling units per acre, which is at the maximum density permitted within the Low Density Residential (LDR) designation. However, the applicant included approximately five (5) acres of open space on the east side of the Farr Lateral which is not easily accessible for residents to use. When excluding these five (5) acres from the density calculations the overall density comes out to 3.81 units per acre. This over the allowed density in the LDR FLUM designation. In addition, it does not meet the comprehensive plans vision for the LDR FLUM designation of larger estate style lots.
- The proposed subdivision does not meet the fire code for secondary access. 2018 IFC, Section D107.2. Remoteness, is not being met and shall be revised to meet this requirement. An alternative to this would be to fire sprinkler all of the homes within the subdivision.

C. Recommendation

Staff: Approval with a Development Agreement and Conditions.

Planning and Zoning Commission: Pending

D. Decision

City Council: Pending

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II. COMMUNITY METRICS

Table 1: Land Use

Description	Details	Map Ref.
Existing Land Use(s)	Agriculture	-
Proposed Land Use(s)	Residential	-
Existing Zoning	RUT in Ada County	VII.A.2
Proposed Zoning	R-4 and R-8 Zoning	
Adopted FLUM Designation	Low Density Residential	VII.A.3

Table 2: Project Overview

Description	Details
History	N/A
Phasing Plan	6 Phases
Residential Units	211 Single Family Detached Units

Description	Details
Open Space	9.31 Acres; 15,4%
Amenities	Required 12 Points; Provided 14 Points. 4 pet waste stations, 2 outdoor fire pits, playground, unpaved sports court, bocce ball court, bicycle repair station, and pathways.
Physical Features	Farr Lateral
Acreage	60.43 acres
Lots	211 Buildable Lots and 26 Common Lots
Lot Sizes	Average Lot Size: 5,478 square feet
Density	Gross: 3.49 units per acre; Net: 6.69 units per acre

Table 3: Process Facts

Description	Details
Preapplication Meeting date	10/10/2025
Neighborhood Meeting	12/1/2025
Site posting date	5/18/2026

Table 4: Agency Comments

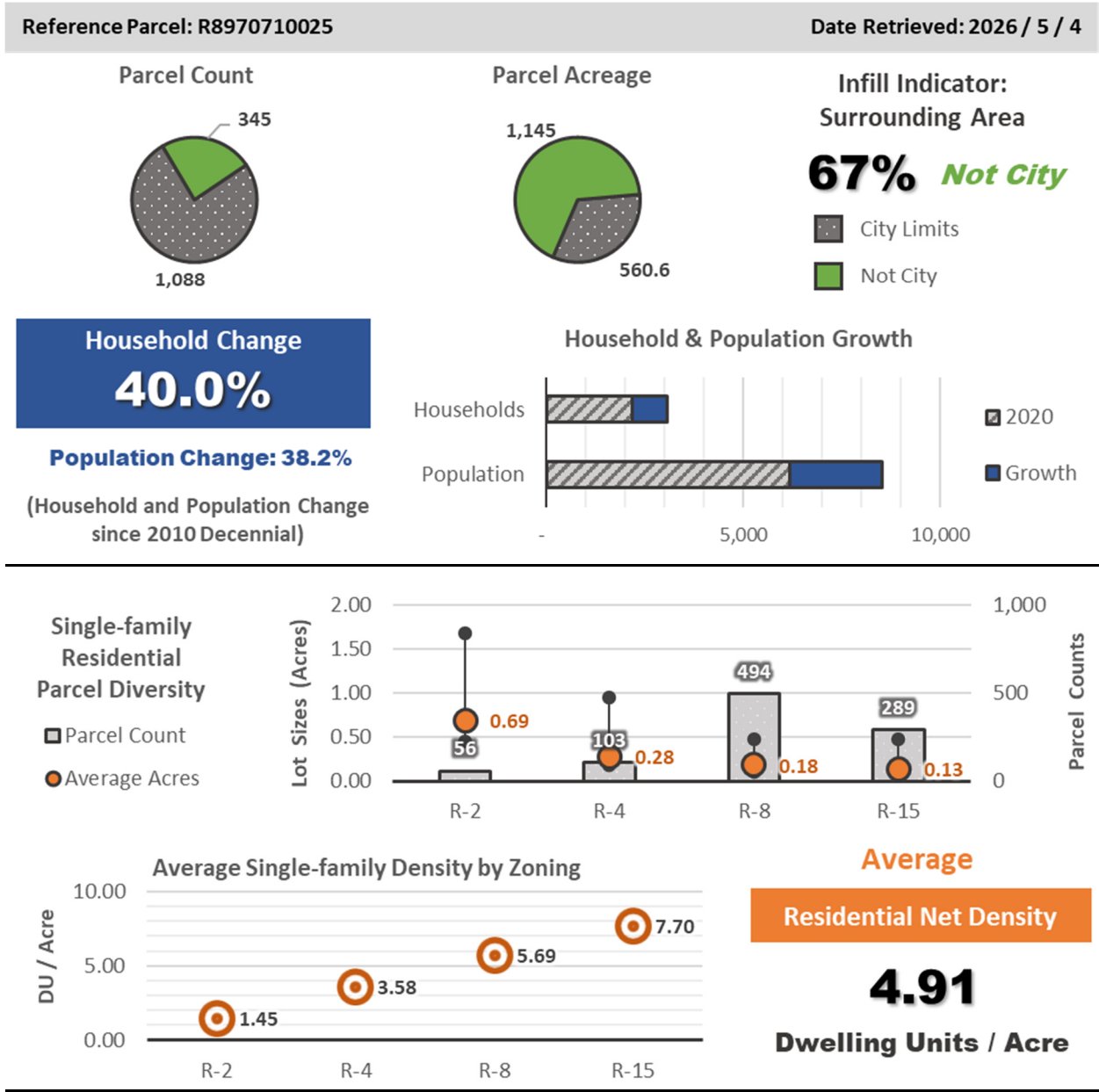
Agency / Element	Description / Issue	Reference
Ada County Highway District		IV.F
• Comments Received	Yes; Staff Report	-
• Commission Action Required	No	-
• Access	Eagle Road: Arterial Roadway	-
• Traffic Level of Service	Better than “E”	-
ITD Comments Received	Yes; No Comment	-
Meridian Public Works Wastewater		IV.B
• Distance to Mainline	Sewer is not Available to the site but is actively being brought to the site.	
• Impacts or Concerns	Yes; See Public Works Site Specific Conditions	
Meridian Public Works Water		IV.B
• Distance to Mainline	Available at Site	
• Impacts or Concerns	No	

NOTE: SEE SECTION 0.

City/Agency Comments & Conditions for comments received or see the public record. Paste the following link into your browser to access the public record:

<https://weblink.meridiancity.org/WebLink/Browse.aspx?id=430475&dbid=0&repo=MeridianCity>

Figure 1: One-Mile Radius Existing Condition Metrics



Notes: See VIII. Additional Notes & Details for Staff Report Maps, Tables, and Charts.

Figure 2: ACHD Summary Metrics

1. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Eagle Road	1,330-feet	Principal Arterial	629	Better than "E"
Lake Hazel Road	N/A	Principal Arterial	433	Better than "E"
Columbia Road	N/A	Collector	504	"E"
Gamely Avenue	37-feet	Local	N/A	N/A

* Acceptable level of service for a two-lane principal arterial is "E" (690 VPH).

* Acceptable level of service for a two-lane collector is "D" (425 VPH).

Notes: See VIII. Additional Notes & Details for Staff Report Maps, Tables, and Charts.

III. STAFF ANALYSIS

Comprehensive Plan and Unified Development Code (UDC)

A. General Overview and History

The subject development is designated as Low Density Residential (LDR) on the Future Land Use Map (FLUM).

The LDR allows for the development of single-family homes on large and estate lots at gross densities of three (3) dwelling units or less per acre. These areas often transition between existing rural residential and urban properties. Developments need to respect agricultural heritage and resources, recognize view sheds and open spaces, and maintain or improve the overall atmosphere of the area. The use of open spaces, parks, trails, and other appropriate means should enhance the character of the area. Density bonuses may be considered with the provision of additional public amenities such as a park, school, or land dedicated for public services.

The proposed single-family residential use is consistent with the recommended uses outlined in the Future Land Use Map (FLUM) designation. The development includes two zoning districts: approximately 25.62 acres zoned R-4 and 35.72 acres zoned R-8. The project proposes a total of 211 buildable lots and 26 common lots. The overall gross density is 3.49 dwelling units per acre, which is at the maximum density permitted within the Low Density Residential (LDR) designation. The applicant is proposing approximately 9.31 acres of open space throughout the development. However, the applicant included approximately five (5) acres of open space on the east side of the Farr Lateral which is not easily accessible for residents to use and will require residents to walk to E. Vantage Point Drive to access this area.

It is important to note that during the pre-application meeting, staff and the applicant discussed removing the large open space area from the density calculation so staff could more accurately evaluate the project density. Additionally, staff recommended the project be annexed with both R-4 and R-2 zoning designations to better align with the Comprehensive Plan. Therefore, staff recommended the applicant modify the plan to incorporate R-2 lots along the eastern boundary of the site and more R-4 lots to provide a better balance of larger estate style lots.

The applicant did not provide calculations showing the density without the large approximately five (5) acre open space, however; staff calculated did this calculation and the overall density comes out to 3.81 units per acre and open space falls below 10%. This over the allowed density in the LDR FLUM designation and under the UDC requirement for qualified open space.

Staff is asking the Planning and Zoning Commission and City Council to carefully evaluate whether this is adequate due to limited access to a significant portion of qualified open space.

In addition, at the preapplication meeting held on October 10th, 2025 staff relayed concerns regarding the density, placement of the open space, and ability to meet the LDR description in the comprehensive plan. **As a result, staff is recommending the following changes to the preliminary plat to be addressed 15 days prior to the City Council hearing:**

- **Modify Lots 14-23, 25-30,32-34, Block 11 to the R-2 Zoning district to provide larger estate style lots along the Farr Lateral.**
- **Modify Lots 18-29, Block 4 to the R-4 zoning to provide a better transition of the Ada County parcels to the south.**
- **Modify Lots 2-7, Block 13 and Lots 8-11, 13-15, Block 12 to the R-4 zoning to provide a one (1) to one (1) transition to the proposed R-4 properties to the east.**
- **Remove Lots 2-4, Block 14 to incorporate additional open space west of the Farr Lateral.**

Staff and the City Engineer have additional concerns about sewer not being available to the site. Currently, the subject development is dependent on the adjacent development to the west of S. Eagle Road (Reville Ridge) for sewer. This requires the adjacent developer to pull sewer through Discovery Park and Reville Ridge stubbing to Eagle Road before this development will have sewer available. Currently Reville Ridge has engineering drawings in review for this extension but the timeline for this is not clear.

In addition, the Meridian Fire Department provided comments to staff that the subdivision does not meet fire code requirements for secondary access. 2018 IFC, Section D107.2. Remoteness. is not being met and shall be revised to meet this requirement 15 days prior to City Council. An alternative to this would be to fire sprinkler all of the homes within the subdivision.

The applicant has indicated they plan to phase the development into six (6) different phases. However, the phasing plan shall be revised to incorporate the main open space (Lot 7, Block 1) with Phase one (1) of the development. Based on these factors and with the recommended changes presented above, staff finds that the proposed preliminary plat and R-2, R-4, and R-8 zoning districts are generally consistent with the Future Land Use Map designation of Low Density Residential.

The City may require a development agreement (DA) in conjunction with an annexation pursuant to Idaho Code section 67-6511A. In order to ensure the site develops as proposed with this application, staff recommends a DA as a provision of annexation with the provisions included in Section IV. The DA is required to be signed by the property owner(s)/developer and returned to the City within 6 months of the Council granting the annexation for approval by City Council and subsequent recordation.

B. Comprehensive Plan Policies

Comprehensive Plan Policy:	Analysis:
“Encourage a variety of housing types that meet the needs, preferences, and financial capabilities of Meridian’s present and future residents.” (2.01.02D)	The proposed single-family detached dwellings with the recommended changes above will provide a mix of lot sizes and housing types to meet the needs, preferences and financial capabilities of present and future residents in the City as desired.
“Permit new development only where it can be adequately served by critical public facilities and urban services at the time of final approval, and in accord with any adopted levels of service for public facilities and services.” (3.03.03F)	City water and sewer service is available and can be extended by the developer with development in accord with UDC 11-3A-21.
“Require all new development to create a site design compatible with surrounding uses through buffering, screening, transitional densities, and other best site design practices.” (3.07.01A)	The LDR designation calls for larger estate style lots which are provided on the eastern third of the site. However, staff is recommending a further transition to the Ada County Subdivision to the east and south of the development which will result in the loss of approximately 20 lots. The recommended changes as noted above.

<p>“Require pedestrian access in all new development to link subdivisions together and promote neighborhood connectivity.” (2.02.01D)</p>	<p>A 10’ wide multi-use pathway is proposed through the site from the south to the north boundary along the Farr Lateral. Other micro paths and internal pathways are proposed for pedestrian connectivity within the development.</p>
<p>“Reduce the number of existing access points onto arterial streets by using methods such as cross-access agreements, access management, and frontage/backage roads, and promoting local and collector street connectivity.” (6.01.02B)</p>	<p>There is currently one (1) access driveway via S. Eagle Rd. for this property, which will remain for an existing access to the Ada County Subdivision to the east. The applicant is proposing an additional access to Eagle Road while also tying into the existing road to the north and stubbing to the south. Staff is not supportive of two (2) access points to Eagle Road and is recommending that Via Roberto be the primary access and Vantage Point be closed off as emergency access only. The applicant is requesting a City Council waiver to keep both access points.</p>
<p>“Require urban infrastructure be provided for all new developments, including curb and gutter, sidewalks, water and sewer utilities.” (3.03.03G)</p>	<p>Currently, sewer services are not available at the site and are approximately ¾ of a mile west of the site. An approved development across Eagle Road is currently working on engineering plans to pull this sewer to Eagle Road for this development to use; however, timing of this extension is uncertain. The City Engineer has indicated this is a concern as the subject development does not control when sewer will be made available, which could result in an annexed property that the city cannot serve.</p>
<p>“Establish and maintain levels of service for public facilities and services, including water, sewer, police, transportation, schools, fire, and parks.” (3.02.01G)</p>	<p>The subject development has acceptable levels of service for water, transportation, parks, police, and fire; however, there is concern with maintaining levels of service for both sewer and schools. As noted above, sewer is not available at the site and is reliant on an adjacent developer to extend sewer approximately ¾ of a mile before it will be available. In addition, staff received a letter from Kuna School District which states Fremont Middle School and KHS/SFHS High School are both over capacity. Staff is asking the Planning and Zoning Commission and City Council to carefully consider whether timing of the annexation in relation to these services is in the best interest of the city.</p>

C. Site Development and Use Analysis

1. Existing Structures/Site Improvements (*UDC 11-1*):

The site currently is used as a sod farm and has no permanent structures on it. However, any wells and septic systems on the subject properties shall be abandoned prior to City Engineers signature of the plat.

2. Proposed Use Analysis (*UDC 11-2*):

The applicant is proposing single-family detached homes (211 lots), which are listed as a principal permitted use in UDC Table 11-2A-5 and 11-2A-6 for the R-4 and R-8 zoning districts.

However, as mentioned above, the Comprehensive Plan designates the Low Density Residential designation as large estate style lots that provide a transition between existing rural residential and urban properties. As a result, staff is recommending the following changes to provide larger lots and provide transitions to rural county properties to the east and south:

- **Modify Lots 14-23, 25-30,32-34, Block 11 to the R-2 Zoning district to provide larger estate style lots along the Farr Lateral.**
- **Modify Lots 18-29, Block 4 to the R-4 zoning to provide a better transition of the Ada County parcels to the south.**
- **Modify Lots 2-7, Block 13 and Lots 8-11, 13-15, Block 12 to the R-4 zoning to provide a one (1) to one (1) transition to the proposed R-4 properties to the east.**
- **Remove Lots 2-4, Block 14 to incorporate additional open space west of the Farr Lateral.**
- **Move Lot 27, Block 12 to align with the proposed traffic calming and have it include a 10-foot multi-use pathway as indicated on the path master’s plan. Extend the 10-foot multi-use pathway through the east side of Lots 5 and 11, Block 15 to connect the pathway with the pathway in Lot 24, Block 11.**

With these recommended changes staff finds the proposed subdivision to meet the Low Density Residential comprehensive plan policy and will bring the overall density of the project closer to the true three (3) units an acre envisioned in the Comprehensive Plan.

3. Dimensional Standards (*UDC 11-2*):

The proposed plat and subsequent development are required to comply with the dimensional standards listed in UDC Tables 11-2A-5 and 11-2A-6 for the R-4 and R-8 zoning districts. *The proposed plat complies with the dimensional standards of the R-4 and R-8 zoning districts. If the City Council approves the development with the recommended changes listed above, the applicant shall comply with the dimensional standards for the R-2, R-4, and R-8 zoning districts.*

D. Design Standards Analysis

1. Qualified Open Space & Amenities (*UDC 11-3G*):

UDC Requirement	Proposed/Analysis
Open Space: 15% for the R-8 Zoning	9.31 Acres; 15.4%
Amenities: 1 Point for every 5 acres of gross land area and multiple	Quality of Life Amenities: <ul style="list-style-type: none"> - 4 Pet Waste Stations (2 points) - 2 Outdoor Fire Ring (2 points) Recreation Activity Area Amenities:

UDC Requirement	Proposed/Analysis
amenities from each category are required	<ul style="list-style-type: none"> - Playground (3 points) - Sports Court, Unpaved (2 points) - Bocce Ball Court (2 points)
	Pedestrian or Bicycle Circulation System Amenities: <ul style="list-style-type: none"> - Multi-Use Pathway aligned with Farr Lateral (2 points) - Pathway aligned with Farr Lateral (1 point) - Pathway aligned with linear open space (1 point)
	Multi-Modal Amenities: <ul style="list-style-type: none"> - Bicycle Repair Station (1 point)
	Total points: 14 points

The proposed open space and site amenities exceed the requirements in the UDC. However, it is important to note that the applicant is proposing approximately 5 acres or 50% of the qualified open space on the east side of the Farr Lateral which will require residents to walk to E. Vantage Point Drive to access this area. In addition, the applicant is proposing the open space on the east side of the Farr Lateral to be “passive” open space. This means it will not have recreational activities other than walking paths to provide a buffer to the existing residents in the existing Vantage Point Subdivision. The applicant worked with the HOA to ensure there will not be any structures, courts, playgrounds, etc. in this space. **Staff is asking the Planning and Zoning Commission and City Council to carefully evaluate whether this is adequate due to limited access to a significant portion of qualified open space.**

2. Landscaping (*UDC 11-3B*):

i. Landscape buffers along streets

UDC Requirement	Proposed/Analysis
Arterial Road: 25 Feet	The applicant did not specify the width of the landscape buffer. However, it appears to be 25 feet in width. In addition, the landscaping does not appear to meet the 70% vegetation coverage requirement. These shall be revised with the final plat.
Local Road: 10 Feet	The applicant did not specify the width of the landscape buffer. However, it appears to exceed the 10 feet required along the local road on the north portion of the site.

ii. Tree preservation

Per UDC 11-3B-10, Mitigation shall be required for all existing trees four-inch caliper or greater that are removed from the site with equal replacement of the total calipers lost on site up to an amount of one hundred (100) percent replacement (Example: Two (2) ten-inch caliper trees removed may be mitigated with four 5-inch caliper trees, five (5) four-inch caliper trees, or seven (7) three-inch caliper trees).

The applicant shall provide mitigation calculations with submittal of the final plat if any trees are being removed from the property.

iii. Storm integration

An adequate storm drainage system shall be required in all developments in accord with the city's adopted standards, specifications and ordinances. Design and construction shall follow Best Management Practice as adopted by the city.

- iv. Pathway landscaping
 - Landscaping is required to be provided along all pathways per the standards listed in UDC 11-3B-12C.
 - A minimum of ten (10) feet of landscaping is required along pathways with no less than two (2) feet on any one side. In addition, a mix of trees, shrubs, lawn, and other vegetative ground cover shall be provided with a tree every 100 linear feet of pathway. The applicant does not meet the pathway landscaping requirements and shall revise their site and landscape plan to reflect compliance with these standards.*
 - If the irrigation district does not allow for the applicant to plant vegetation in their easement, the applicant shall revise their plat to allow for an additional five (5) feet outside of the easement for the required vegetation.*
- 3. Parking (UDC 11-3C):
 - i. Residential parking analysis
 - Off-street parking is required per the standards listed in UDC Table 11-3C-6; the number of parking spaces is based on the number of bedrooms per unit. The applicant shall comply with these standards. Each single-family residence will be evaluated at the time of building permit submittal.
- 4. Building Elevations (*Architectural Standards Manual*):
 - The applicant has provided nine (9) conceptual building elevations for the proposed subdivision as shown in Section VII.G. The proposed housing products throughout the development are single-family detached units featuring a variety of regionally appropriate designs. This includes single story and two (2) story designs with varying garage sizes and materials.
 - The applicant has indicated that they intend to sell lots in the subdivision to different builders and are asking for flexibility regarding the proposed elevations in the future. Staff has apprehension towards this approach as elevations submitted with the annexation process are tied to the development through the development agreement. **Staff is asking the Planning and Zoning Commission and City Council to carefully evaluate whether allowing additional flexibility in building elevations for this development is appropriate.**
 - Homes on lots that abut S. Eagle Road, an arterial street, will be highly visible; therefore, the rear and/or side of structures on these lots (i.e. Lots 7, 9-11, 13-16, and 18, Block 4; Lots 7, 9-13, Block 3) should incorporate articulation through changes in two or more of the following: modulation (e.g. projections, recesses, step-backs, pop-outs), bays, banding, porches, balconies, material types, or other integrated architectural elements to break up monotonous wall planes and roof lines that are visible from the subject public street. Single-story and existing structures are exempt from this requirement.
- 5. Fencing (UDC 11-3A-6, 11-3A-7):
 - All fencing is required to comply with the standards listed in UDC 11-3A-6C and 11-3A-7, as applicable. The landscape plan depicts a six (6) foot fence with a four (4) foot tall vinyl section and a two (2) foot section of open vision paneling.
- 6. Parkways (UDC 11-3A-17):
 - An 8' wide parkway is required along S. Eagle Road planted with vegetation coverage per 11-3A-17E.

E. Transportation Analysis

1. Access (*UDC 11-3A-3, UDC 11-3H-4*):

Two (2) public streets, E. Via Roberto Drive and E. Vantage Point Drive, are proposed for access via S. Eagle Rd. Staff relayed to the applicant at the preapplication stage that we would not be supportive of two (2) access points to Eagle Road. It is important to note that E. Vantage Point Lane is currently a private street in Ada County, and the applicant is proposing to convert it to a local street. Staff is supportive of the access point at E. Via Roberto Drive as it aligns with the Future Collector Street on the west side of S. Eagle Road. Staff is recommending the access point at E. Vantage Point Drive be restricted to emergency access only where it connects with S. Eagle Road. UDC 11-3A-3 requires access points to be limited along Collector and Arterial Roadways.

ACHD's staff report discusses the access points not meeting the offset requirements for local streets intersecting a principal arterial roadway. However, since Vantage Point Lane exists as a private street that serves both Vantage Point Subdivision and Sky Break Subdivision, ACHD staff is supportive of having both access points to Eagle Road.

The applicant has requested a City Council waiver for access to Eagle Road via E. Vantage Point Drive. The Planning and Zoning Commission and City Council shall carefully consider whether both access points are warranted.

The applicant is proposing two stub streets to the south for future public street extensions with future development.

Ada County Highway District required a traffic study for the subject development. In ACHD's staff report, they are requesting traffic calming throughout the development where block lengths are longer than their policy. In addition, ACHD is requesting a southbound turn lane on Eagle Road at its intersection with Vantage Point Lane and a two-way turn lane on Eagle Road at its intersection with Via Roberto Drive. This will provide a safer ingress movements into the subject subdivisions that Vantage Point Lane and Via Roberto Drive serve.

2. Pedestrian Connectivity (*UDC 11-3A-5, UDC 11-3A-8, UDC 11-3A-17*):

The applicant is proposing to construct a ten (10) foot multi-use pathway along S. Eagle Road and the south side of the Farr Lateral. The multi-use pathway along the Farr Lateral shall be revised to stub to the southern property and not stop short of the property line. In addition, the applicant will be providing a five (5) foot sidewalk on both sides of all public streets including the improvement to E. Vantage Point Drive as it is converted from a private street to a public street. The applicant provided a micro-pathway through the development leading towards the Farr Lateral and a micro-pathway in the open space to the east of the Farr Lateral. As previously mentioned, the only way to access the open space on the east side of the Farr Lateral is the sidewalk connection on E. Vantage Point Drive.

All pathways should be constructed in accord with the standards listed in UDC 11-3A-8. In addition, all pathways not located in ACHD's right-of-way shall be placed in a pedestrian access easement to the standards listed by our parks department in section IV below.

Staff is requesting the following change the pathways proposed to align with the pathways master plan: Move Lot 27, Block 12 to align with the proposed traffic calming and have it include a 10-foot multi-use pathway as indicated on the path master's plan. Extend the 10-

foot multi-use pathway through the east side of Lots 5 and 11, Block 15 to connect the pathway with the pathway in Lot 24, Block 11.

3. Subdivision Regulations (*UDC 11-6*):

i. Dead end streets

The proposed subdivision does not contain a dead-end street other than the two (2) stub streets to the southern property as discussed above.

ii. Common driveways

Per UDC 11-6C-3D, common driveways shall serve a maximum of four (4) dwelling units. In no case shall more than three (3) dwelling units be located on one (1) side of the driveway unless alternative compliance is applied for.

The applicant proposes six (6) common drives within the development. Each common drive has two (2) units taking access to them. In addition, the applicant complies with the twenty (20) foot width requirement and five (5) foot landscaping requirement. However, the applicant did not depict the driveways for lots adjacent to common drives. The applicant shall revise the common drive exhibits to show the driveways on the opposite side of the shared property line adjacent to the common drive.

iii. Block face

UDC 11-6C-3- regulates block lengths for residential subdivisions. The intent of this section of code is to ensure block lengths do not exceed 750 ft, although there is the allowance of an increase in block length to 1,000 feet if a pedestrian connection is provided. In no case shall a block face exceed one thousand two hundred (1,200) feet, unless waived by the City Council.

The north side of Block 11 along the Farr Lateral requires a City Council Waiver as the block exceeds 1,000 feet. All other block faces in the subdivision meet the standards in UDC 11-6C-3. ACHD and City staff are requiring traffic calming on three (3) streets within the development, Heather Hills Street, Horsham Street, and Tualatin Drive. The traffic calming measures stated in ACHD's staff report discusses intersection crosswalk bulb-outs approximately every 300 linear feet (or where pathways connect with the street section).

F. Services Analysis

1. Waterways (*UDC 11-3A-6*):

The Farr Lateral exists along the eastern portion of the site within a 55-foot wide easement (25-feet on the north side and 30-feet on the south side of the lateral's centerline).

All irrigation ditches and laterals crossing this site that aren't being improved as a water amenity or linear open space as defined in UDC 11-1A-1 are required to be piped or otherwise covered as set forth in UDC 11-3A-6B.3, unless otherwise waived by City Council. *The Applicant requests a waiver from Council to leave the Farr Lateral open and not pipe it as allowed in UDC 11-3A-6B.3a.*

2. Pressurized Irrigation (*UDC 11-3A-15*):

Underground pressurized irrigation water is required to be provided to each lot within the subdivision as set forth in UDC 11-3A-15.

3. Storm Drainage (*UDC 11-3A-18*):

An adequate storm drainage system is required in all developments in accord with the City’s adopted standards, specifications and ordinances. Design and construction shall follow best management practice as adopted by the City as set forth in UDC 11-3A-18

4. Utilities (*UDC 11-3A-21*):

Connection to City water and sewer services is required in accord with UDC 11-3A-21. Street lighting is required to be installed in accord with the City’s adopted standards, specifications and ordinances. *The Public Works Department and City Engineer provided comments that sewer is currently not available at the site and is approximately ¾ of a mile to the west. Sewer will not be available until the adjacent development to the west pulls the sewer through their site to S. Eagle Road. It is important to note that the adjacent development has engineering drawings under review for this sewer extension; however, the timing for the completion of this extension is unknown. The Planning and Zoning Commission and City Council should determine whether annexation of the subject development is in the best interest of the city at this time.*

5. School Capacity (*Comp Plan*):

School District(s)	Kuna School District
<ul style="list-style-type: none"> Capacity of Schools 	Silver Trail Elementary: 676 Students Fremont Middle: 473 Students KHS/SFHS High Schools: 1688 Students
<ul style="list-style-type: none"> Number of Students Enrolled 	Silver Trail Elementary: 611 Students Fremont Middle: 493 Students KHS/SFHS High Schools: 1755 Students

Fremont Middle School and KHS/SFHS High School are both over capacity.

IV. CITY/AGENCY COMMENTS & CONDITIONS

A. Meridian Planning Division

15 Days prior to the City Council hearing, the applicant shall provide the following revisions:

- Lots 1-6, Block 12 and Lots 18-29, Block 4 shall be revised to the R-4 zoning district and dimensional standards.

- Lots 2-7, Block 13 and Lots 8-11, 13-15, Block 12 shall be revised to the R-4 zoning district and dimensional standards.

- Lots 14-23, 25-30, 32-34, Block 11 shall be revised to the R-2 zoning district and dimensional standards.

- Remove Lots 2-4, Block 14 to incorporate additional open space west of the Farr Lateral.

- Move Lot 27, Block 12 to align with the proposed traffic calming along Horsham Street and have it include a 10-foot multi-use pathway as indicated on the path master's plan. Extend the 10-foot multi-use pathway through the east side of Lots 5 and 11, Block 15 to connect the pathway with the pathway in Lot 24, Block 11.

- Updated legal descriptions for the R-2, R-4, R-8 zoning districts.

- Receive approval from the Meridian Fire Department for secondary access or provide a written letter that you will fire sprinkler the homes in the subdivision.

- Revised plat, landscape plan, and open space exhibit.

1. A Development Agreement (DA) is required as a provision of rezone of this property. Prior to approval of the annexation ordinance, a DA shall be entered into between the City of Meridian, the property owner(s) at the time of annexation ordinance adoption, and the developer. **A final plat shall not be submitted until the DA and Ordinance is approved by City Council and sewer has been extended to the property.**

Currently, a fee of \$611.47 shall be paid by the Applicant to the Planning Division prior to commencement of the DA. The DA shall be signed by the property owner and returned to the Planning Division within six (6) months of the City Council granting the annexation. The DA shall, at minimum, incorporate the following provisions *IF* City Council determines annexation is in the best interest of the City:

- a. Future development of this site shall be generally consistent with the preliminary plat, phasing plan, landscape plan, common open space/site amenity exhibit, and conceptual building elevations included in Section VIII and the provisions contained herein.
 - b. Any future development of the site must comply with the City of Meridian ordinances in effect at the time of the development.
 - c. Homes on lots that abut S. Eagle Road, an arterial street, will be highly visible; therefore, the rear and/or side of structures on these lots (i.e. Lots 7, 9-13, Block 3; Lots 7, 9-11, 13-16, and 18, Block 4) should incorporate articulation through changes in two or more of the following: modulation (e.g. projections, recesses, step-backs, pop-outs), bays, banding, porches, balconies, material types, or other integrated architectural elements to break up monotonous wall planes and roof lines that are visible from the subject public street. *Single-story and existing structures are exempt from this requirement.*
 - d. Access to Eagle Road via Vantage Point Lane shall be restricted to emergency access only unless otherwise approved by City Council.
2. The final plat shall include the following revisions:
 - a. Add a plat note stating “direct lot access to S. Eagle Road is prohibited.”
 - b. Revise the phasing plan to incorporate Lot 7, Block 1 with Phase One (1) of the development.
 - c. Graphically depict the five (5) foot wide public utility, drainage, and irrigation easements on the sides of all buildable lots.
 - d. Dimension the width of the landscape buffers/common lots.
 - e. The applicant shall revise the common drive exhibits to show the driveways on the opposite side of the shared property line adjacent to the common drive.
 - f. The multi-use pathway along the Farr Lateral shall be revised to stub to the southern property and not stop short of the property line.
 3. The landscape plan submitted with the final plat shall include the following revisions:
 - a. Include mitigation calculations on the plan for existing trees that are proposed to be removed in accord with the standards listed in UDC 11-3B-10C.5. The Applicant shall coordinate with the City Arborist (Kyle Yorita kyorita@meridiacity.org) to determine mitigation requirements prior to removal of existing trees from the site.
 - b. The multi-use pathway along the Farr Lateral shall be revised to stub to the southern property and not stop short of the property line.
 - c. If the irrigation district does not allow for the applicant to plant vegetation in their easement, the applicant shall revise their plat to allow for an additional five (5) feet outside of the easement for the required vegetation.
 - d. Provide vegetation coverage calculations for landscape buffers along streets to meet the required 70%. Sod and other grasses cannot comprise of more than 65% of the vegetation coverage.
 4. The proposed plat and subsequent development are required to comply with the dimensional standards listed in UDC Table 11-2A-5 and 11-2A-6 for the R-4 and R-8 zoning districts.

5. All waterways, except natural waterways, intersecting, crossing or lying within the area being development are required to be piped unless used as a water amenity or linear open space, in which case they may be left open as set forth in UDC 11-3A-6. If left open, fencing may be required in accord with the standards listed in UDC 11-3A-6C.
6. Prior to the City Engineer's signature on the final plat, all wells and septic system shall be abandoned.
7. Prior to submittal of the final plat for City Engineer signature, a 14-foot wide public pedestrian easement shall be submitted to the Planning Division, approved by City Council and recorded for the multi-use pathway along the Farr Lateral and any other pathways required by the Park's Department in accord with the Pathways Master Plan that are outside of public right-of-way. Include the recorded instrument number of the easement(s) along with a depiction of the easement(s) on the final plat.
8. Comply with all subdivision design and improvement standards as set forth in UDC 11-6C-3, including but not limited to cul-de-sacs, alleys, driveways, common driveways, easements, blocks, street buffers, and mailbox placement.
9. Off-street parking is required to be provided in accord with the standards listed in UDC Table 11-3C-6 for single-family dwellings based on the number of bedrooms per unit.
10. The preliminary plat approval shall become null and void if the applicant fails to either: 1) obtain the City Engineer's signature on a final plat within two years of the date of the approved findings; or obtain approval of a time extension as set forth in UDC 11-6B-7.
11. The final plat shall substantially comply with the approved preliminary plat as set forth in UDC 11-6B-3C.
12. The applicant and/or assigns shall have the continuing obligation to provide irrigation that meets the standards as set forth in UDC 11-3B-6 and to install and maintain all landscaping as set forth in UDC 11-3B-5, UDC 11-3B-13 and UDC 11-3B-14.
13. The Applicant shall comply with all ACHD conditions of approval.
14. The Applicant shall have a maximum of two (2) years to obtain City Engineer's signature on a final plat in accord with UDC 11-6B-7.
15. Staff's failure to cite all relevant UDC requirements does not relieve the applicant from compliance.

B. Meridian Public Works

PRE-PLAT CONDITIONS

Wastewater	
<ul style="list-style-type: none"> • Distance to Sewer Services • Sewer Shed • Estimated Project Sewer ERU's • WRRF Declining Balance • Project Consistent with WW Master Plan/Facility Plan 	<p>Sewer not yet available to site. Please see site conditions of Approval</p> <p>See application</p> <p>Yes</p>
<ul style="list-style-type: none"> • Impacts/concerns 	<ul style="list-style-type: none"> • See Public Works Site Specific Conditions
Water	
<ul style="list-style-type: none"> • Distance to Water Services • Pressure Zone • Estimated Project Water ERU's • Water Quality • Project Consistent with Water Master Plan • Impacts/Concerns 	<p>Water Available at Site</p> <p>See application</p> <p>None</p> <p>Yes</p> <p>None - Each phase of the development will need to be modeled to verify minimum fire flow pressure is maintained</p>

PUBLIC WORKS DEPARTMENT

Site Specific Conditions of Approval

1. Sewer not yet available to Site. Sewer to come from the future Reveille Subdivision to the East. Public works will not approve Starling Ridge Subdivision utility plans until Reveille acquires bonds and surety to move forward with Development, or until Sewer becomes available to site by other means.
2. Casings should extend to the boundaries of the Irrigation District Easement.
3. Each phase of the development will need to be modeled to verify minimum fire flow pressure is maintained.
4. Engineer to verify if there is a well onsite. If a Well is located on the site it must be abandoned per regulatory requirements and proof of abandonment must be provided to the City. Can be used for Pressurized irrigation.

5. Provide 20' Easements for mains, hydrant laterals and water services. Easements should extend up to the end of main/hydrant/water meter and 10' beyond it.
6. No permanent structures (trees, bushes, buildings, carports, trash receptacle walls, fences, infiltration trenches, light poles, etc.) to be built within the utility easement. Trees are not allowed in the City's Easement.

General Conditions of Approval

1. Applicant shall coordinate water and sewer main size and routing with the Public Works Department, and execute standard forms of easements for any mains that are required to provide service outside of a public right-of-way. Minimum cover over sewer mains is three feet, if cover from top of pipe to sub-grade is less than three feet then alternate materials shall be used in conformance of City of Meridian Public Works Departments Standard Specifications.
2. Per Meridian City Code (MCC), the applicant shall be responsible to install sewer and water mains to and through this development. Applicant may be eligible for a reimbursement agreement for infrastructure enhancement per MCC 8-6-5.
3. The applicant shall provide easement(s) for all public water/sewer mains outside of public right of way (include all water services and hydrants). The easement widths shall be 20-feet wide for a single utility, or 30-feet wide for two. The easements shall not be dedicated via the plat, but rather dedicated outside the plat process using the City of Meridian's standard forms. The easement shall be graphically depicted on the plat for reference purposes. Submit an executed easement (on the form available from Public Works), a legal description prepared by an Idaho Licensed Professional Land Surveyor, which must include the area of the easement (marked EXHIBIT A) and an 8 1/2" x 11" map with bearings and distances (marked EXHIBIT B) for review. Both exhibits must be sealed, signed and dated by a Professional Land Surveyor. DO NOT RECORD. Add a note to the plat referencing this document. All easements must be submitted, reviewed, and approved prior to development plan approval.
4. The City of Meridian requires that pressurized irrigation systems be supplied by a year-round source of water (UDC 11-3B-6). The applicant should be required to use any existing surface or well water for the primary source. If a surface or well source is not available, a single-point connection to the culinary water system shall be required. If a single-point connection is utilized, the developer will be responsible for the payment of assessments for the common areas prior to prior to receiving development plan approval.
5. All existing structures that are required to be removed shall be prior to signature on the final plat by the City Engineer. Any structures that are allowed to remain shall be subject to evaluation and possible reassignment of street addressing to be in compliance with MCC.
6. All irrigation ditches, canals, laterals, or drains, exclusive of natural waterways, intersecting, crossing or laying adjacent and contiguous to the area being subdivided shall be addressed per UDC 11-3A-6. In performing such work, the applicant shall comply with Idaho Code 42-1207 and any other applicable law or regulation.
7. Any wells that will not continue to be used must be properly abandoned according to Idaho Well Construction Standards Rules administered by the Idaho Department of Water Resources (IDWR). The Developer, Owner, or project Engineer, shall provide a statement addressing whether there are any existing wells in the development, and if so, how they will continue to be used, or provide record of their abandonment. If wells are to be abandoned, the project owner or their representative must contact the IDWR Groundwater Protection Section (Aaron Skinner, Hydrogeologist 208-287-4972) BEFORE any work is done to decommission an existing well (even if it is believed that the well is less than 18 ft deep). Proof of communication with IDWR must be submitted to the City prior to any work being done to decommission the well. Failure to communicate with IDWR may result in additional work and expense to decommission the well.

8. Any existing septic systems within this project shall be removed from service per City Ordinance Section 9-1-4 and 9-4-8. Contact Central District Health for abandonment procedures and inspections (208)375-5211.
9. Street signs are to be in place, sanitary sewer and water system shall be approved and activated, road base approved by the Ada County Highway District and the Final Plat for this subdivision shall be recorded, prior to applying for building permits.
10. A letter of credit or cash surety in the amount of 110% will be required for all uncompleted fencing, landscaping, amenities, etc., prior to signature on the final plat.
11. All improvements related to public life, safety and health shall be completed prior to occupancy of the structures. Where approved by the City Engineer, an owner may post a performance surety for such improvements in order to obtain City Engineer signature on the final plat as set forth in UDC 11-5C-3B.
12. Applicant shall be required to pay Public Works development plan review, and construction inspection fees, as determined during the plan review process, prior to the issuance of a plan approval letter.
13. It shall be the responsibility of the applicant to ensure that all development features comply with the Americans with Disabilities Act and the Fair Housing Act.
14. Applicant shall be responsible for application and compliance with any Section 404 Permitting that may be required by the Army Corps of Engineers.
15. Developer shall coordinate mailbox locations with the Meridian Post Office.
16. Compaction test results shall be submitted to the Meridian Building Department for all building pads receiving engineered backfill, where footing would sit atop fill material.
17. The design engineer shall be required to certify that the street centerline elevations are set a minimum of 3-feet above the highest established peak groundwater elevation. This is to ensure that the bottom elevation of the crawl spaces of homes is at least 1-foot above.
18. The applicant's design engineer shall be responsible for inspection of all irrigation and/or drainage facility within this project that do not fall under the jurisdiction of an irrigation district or ACHD. The design engineer shall provide certification that the facilities have been installed in accordance with the approved design plans. This certification will be required before a certificate of occupancy is issued for any structures within the project.
19. At the completion of the project, the applicant shall be responsible to submit record drawings per the City of Meridian AutoCAD standards. These record drawings must be received and approved prior to the issuance of a certification of occupancy for any structures within the project.
20. A street light plan will need to be included in the civil construction plans. Street light plan requirements are listed in section 6-5 of the Improvement Standards for Street Lighting. A copy of the standards can be found at http://www.meridiancity.org/public_works.aspx?id=272.
21. The City of Meridian requires that the owner post to the City a performance surety in the amount of 125% of the total construction cost for all incomplete sewer, water and reuse infrastructure prior to final plat signature. This surety will be verified by a line item cost estimate provided by the owner to the City. The surety can be posted in the form of an irrevocable letter of credit, cash deposit or bond. Applicant must file an application for surety, which can be found on the Community Development Department website. Please contact Land Development Service for more information at 887-2211.
22. The City of Meridian requires that the owner post to the City a warranty surety in the amount of 20% of the total construction cost for all completed sewer, water and reuse infrastructure for duration of two years. This surety will be verified by a line item cost estimate provided by the owner to the City. The surety can be posted in the form of an irrevocable letter of credit, cash deposit or bond. Applicant must file an application for surety, which can be found on the Community Development Department website. Please contact Land Development Service for more information at 887-2211.

C. Meridian Park's Department



Reviewer: Kim Warren / Pathways Project Manager

Planner Assigned: Sonya Allen

Project Name: Starling Ridge Sub **File No:** H-2026-0009– AZ, PP **Date:** 3.26.2026

The following will be required for development of the proposed project:

CONDITIONS OF APPROVAL - PATHWAYS

1. The project developer shall design and construct multi-use pathways consistent with the location and specifications set forth in the Meridian Pathways Master Plan Map and Master Pathways Plan Document Chapter 3). Any proposed adjustments to pathway alignment shall be coordinated through the Pathways Project Manager. See *Interactive Pathways Map on City Website*.

2. Prior to final project approval the applicant shall dedicate a public access easement for the following multi-use pathways:

- A 10' wide multi-use pathway along the south (west) side of the Farr Lateral.
- A multi-use pathway connection between the Farr Lateral Pathway and the neighborhood at the southeast corner of the development.
- A 10' wide multi-use pathway shall also be constructed within the landscape buffer along S. Eagle Rd for the length of the proposed project.

Easements shall be a minimum of 14' wide (10' pathway + 2' shoulder each side). All pathways shall be located outside of irrigation district easements unless permission is specifically obtained from the governing irrigation district. Easement need only be dedicated for multi-use pathways that lie outside the public ROW. Follow ACHD easement requirements for detached sidewalks along public roadways.

Use standard City template for public access easement. Submit all easements online through Citizen's Access Portal.

3. Construct multi-use pathways per paving section based on existing site conditions as recommended by project civil engineer in accord with UDC 11-3A-8 and 11-3B-12. Prior to final approval the applicant's engineer shall provide written documentation (stamped plans depicting recommended paving section) that the pathway segment was constructed per the recommended specifications.

4. The owner (or representative association) of the property affected by each public access easement shall have an ongoing obligation to maintain the multi-use pathway.

5. 6' high open vision fencing shall be installed between pathways and (live) water irrigation canals and laterals as detailed in the Meridian Pathways Master Plan, Chapter 3, page 3-5. All other fence details per UDC 11-3A-7.

6. Project developer shall be responsible for obtaining license agreement and other permission(s) as required for constructing within irrigation district easements.

7. Should any discrepancy exist between these conditions of approval and the requirements of the irrigation district, the developer shall work with Pathways Project Manager to achieve a pathway design that meets both City and irrigation district objectives. City requirements as stated shall not (nor are they intended to) override those of the irrigation district having jurisdiction over the project area.

Rev. 02.26.26

D. Irrigation Districts

1. Boise Project Board of Control

RICHARD DURRANT
CHAIRMAN OF THE BOARD
WILLIAM PATTERSON
VICE CHAIRMAN OF THE BOARD
ROBERT D. CARTER
PROJECT MANAGER
THOMAS RITTHALER
ASSISTANT PROJECT MANAGER
APRYL GARDNER
SECRETARY-TREASURER
MARY SUE CHASE
ASSISTANT SECRETARY-TREASURER

BOISE PROJECT BOARD OF CONTROL
(FORMERLY BOISE U.S. RECLAMATION PROJECT)
3465 OVERLAND ROAD
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 197,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAAMPA-MERIDIAN DISTRICT
BOISE-KUNIA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-5437

01 April 2026

City Clerk's Office
33 E Broadway Avenue
Meridian ID, 83642

RECEIVED
APR 03 2026
CITY OF ~~IDAHO~~ **IDAHO**
CITY CLERKS OFFICE

RE: Starling Ridge Sub, Avila Eagle Grove, LLC AZ, PP, H-2026-0009
Lake Hazel and Eagle Rd, Meridian
New York Irrigation District NY-156-001-00
Farr Lateral 52+60, 71+50
Sec. 04, T2N, R1E, BM.

Sonya Allen, Planner:

The United States' Farr Lateral lies within the boundary of the above-mentioned location. The easement for this canal and lateral is held in the name of the United States through the Bureau of Reclamation under the authority of the Act of August 30, 1890. (26 Stat. 391; 43 U.S.C. 945) if approved.

The Boise Project Board of Control is contracted to operate and maintain this canal. We assert this Federal easement of 30 feet both directions of the Farr Lateral centerline. Whereas this area is for the operation and maintenance of our facility, no activity should hinder our ability to do so.

If the original landscape is planned to be excavated more than 10 feet (20% or 11.3 degrees) within 50 feet of the above quoted federal easement, Boise Project will require that the canal/lateral to be piped/concrete lined by the landowner or developer to include all required box structures and deliveries within the project boundaries. Piped canals/laterals could get a reduced easement if agreed upon by Boise Project and the landowner/developer.

The Boise Project does not approve landscaping (gravel only) within its easements, as this will certainly increase the cost of maintenance. The easement must remain a flat drivable surface. All public roadways must be outside of this easement. Easement must remain a flat drivable surface. No variances will be granted.

Fencing, gates, pathways and pressurized irrigation lines (as may be required) must be constructed just off the lateral easement, to ensure public safety and prevent encroachments. No variances will be granted.

The construction of any roadway crossings must be conducted only during the non-irrigation season when the lateral is dewatered. In any case no work shall take place within the easement

E. Kuna School District



Kuna School District
Empowering students to lead productive lives.

Date: 4/13/26

RE: Starling Ridge Subdivision

Dear Commissioners and City Council Members,

Kuna School District has reviewed the application for Starling Ridge and provides the following comments for your consideration.

Kuna School District has experienced rapid growth over the last ten years. Our March 2023 bond measure to increase student capacity did not pass. We are currently at or near district capacity in many of our schools and those populations will continue to grow given the current approvals the City of Kuna, City of Meridian, and County agencies have granted. To be able to serve this development, the Kuna School District Board of Trustees requests that developers assist the taxpayers to mitigate the costs of growth through partnership which can be in the form of a donation of land, money, or in-kind facility work. This development will increase the population of Silver Trail Elementary, Fremont Middle, and KHS/SFHS High Schools.

School	Educational Capacity by School	2025-26 Current Enrollment	2025-26 Capacity Utilization
Crimson Point	494	421	85%
Hubbard	299	282	72%
Indian Creek	322	261	81%
Reed	676	640	95%
Ross	270	270	100%
Silver Trail	676	611	90%
FMS	473	493	104%
SMS	100	83	83%
KMS	765	701	92%
PHS	120	120	100%
KHS & SFHS	1688	1755	104%
Total by group	5897	5727	90%

Updated 2/3/25

The 2019 City of Kuna Comprehensive Plan, approved by the City Council, provides, as it relates to schools: "School facilities will expand, as needed, to keep pace with Kuna's growing population." In order to expand, the Kuna School District requires partnerships with developers and, most importantly, bonds.

To reduce our reliance on bonds and to promote reasonable growth within our district, we generally seek partnerships with residential developers. Partnerships with developers mitigate the impact homes will have on the Kuna School District and our ability to deliver services without compromising the quality of service delivery to current residents or imposing

Kim Bekkedahl Superintendent	Jason Reddy Asst. Superintendent	Brian Graves Assistant Superintendent	Tim Jensen Growth & Development Director
Allison Westfall Communications Director	Jonathan Gillen Finance Director	Kelly Schamber Special Education Director	Kevin Gifford Curriculum, Instruction & Assessment Director

711 E. Porter Rd., Kuna, Idaho 83634 Phone: (208) 922-1000

F. Ada County Highway District (ACHD)



Miranda Gold, President
 Alexis Pickering, Vice-President
 Kent Goldthorpe, Commissioner
 Dave McKinney, Commissioner
 Patricia Nilsson, Commissioner

Date: March 18, 2026

To: Ben Semple, Rodney Evans and Partners, PLLC

Staff Contact: Sam Standal, Assistant Traffic Engineer

Project Description: Staring Ridge

Trip Generation: This development is estimated to generate 1,968 vehicle trips per day, 191 vehicle trip per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 12th edition.

Proposed Development Meets	
All ACHD Policies	
Requires Revisions to meet ACHD Policies	X

Traffic Impact Study	
Yes	X
No	
If yes, is mitigation required	X

Area Roadway Level of Service	
Do area roadways meet ACHD's LOS Planning Thresholds?	
Yes	
No	X
Area roads will meet ACHD's LOS Planning Thresholds in the future with planned improvements?	
Yes	
No	X

ACHD Planned Improvements	
FYP	X
CIP	X

Livable Street Performance Measures	
Pedestrian	LTS 2
Cyclist	LTS 3

Is Transit Available?	
Yes	
No	X

Comments:

connecting you to more

Ada County Highway District - 5800 N Meeker Avenue - Boise, ID - 83713 - PH 208-387-6300 - FX 345-7650 - www.achddah.org

V. FINDINGS

A. Annexation (UDC 11-5B-3E)

Upon recommendation from the commission, the council shall make a full investigation and shall, at the public hearing, review the application. In order to grant an annexation and/or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan; *Staff finds annexation of the subject property with the recommended changes to the R-2, R-4, and R-8 zoning districts is consistent with the Comprehensive Plan FLUM designations of LDR for this site and the goals and policies in the Plan listed above in Section III.B.*

2. The map amendment complies with the regulations outlined for the proposed district, specifically the purpose statement;
Staff finds the proposed map amendment to the R-2, R-4, and R-8 districts comply with the purpose statement for the residential districts in that it contributes to the range of housing opportunities consistent with the Comprehensive Plan. The staff recommended changes to lower density and meet the intent of the comprehensive plan for larger estate style lots.
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare;
Staff finds that the map amendment will not be detrimental to the public health, safety and welfare with compliance of the conditions in section IV.
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts; and
Staff finds the proposed map amendment will not result in adverse impacts if the applicant complies with the conditions in section IV as required.
5. The annexation (as applicable) is in the best interest of city.
Staff finds the proposed annexation is in the best interest of the City if the property develops in accord with the provisions in Section IV as required.

B. Preliminary Plat (UDC-6B-6)

In consideration of a preliminary plat, combined preliminary and final plat, or short plat, the decision-making body shall make the following findings:

1. The plat is in conformance with the comprehensive plan and is consistent with this unified development code;
Staff finds the uses and residential density proposed with the preliminary plat is in conformance with the Comprehensive Plan and should generally conform with the UDC if the Applicant complies with the conditions of approval in Section IV.
2. Public services are available or can be made available and are adequate to accommodate the proposed development;
Staff finds that public services are available or will be made available for the subject development.
3. The plat is in conformance with scheduled public improvements in accord with the city's capital improvement program;
Staff finds the plat is in conformance with scheduled public improvements in a accord with the city's capital improvement program.
4. There is public financial capability of supporting services for the proposed development;
Staff finds there is financial capability of supporting services for the proposed development with the conditions listed in Section IV.
5. The development will not be detrimental to the public health, safety or general welfare; and
Staff finds the subject development will not be detrimental to the public health, safety, or general welfare.
6. The development preserves significant natural, scenic or historic features.
There are no significant natural, scenic, or historical features.

VI. ACTION

A. Staff:

Staff recommends approval of the proposed Annexation and Preliminary Plat with the conditions of approval listed in Section IV.

B. Commission:

The Meridian Planning & Zoning Commission heard this item on [date]. At the public hearing, the Commission moved to approve the subject [app] request.

1. Summary of the Commission public hearing:

- a. In favor:
- b. In opposition: None
- c. Commenting: None
- d. Written testimony: None
- e. Staff presenting application:
- f. Other Staff commenting on application: None

2. Key issue(s) of public testimony:

- a. None

3. Key issue(s) of discussion by Commission:

- a. None

4. Commission change(s) to Staff recommendation:

- a. None

C. City Council:

The Meridian City Council heard these items on [date]. At the public hearing, the Council moved to approve the subject [app] and [app] requests.

1. Summary of the City Council public hearing:

- a. In favor:
- b. In opposition: None
- c. Commenting: None
- d. Written testimony: None
- e. Staff presenting application:
- f. Other Staff commenting on application: None

2. Key issue(s) of public testimony:

- a. None

3. Key issue(s) of discussion by City Council:

- a. None

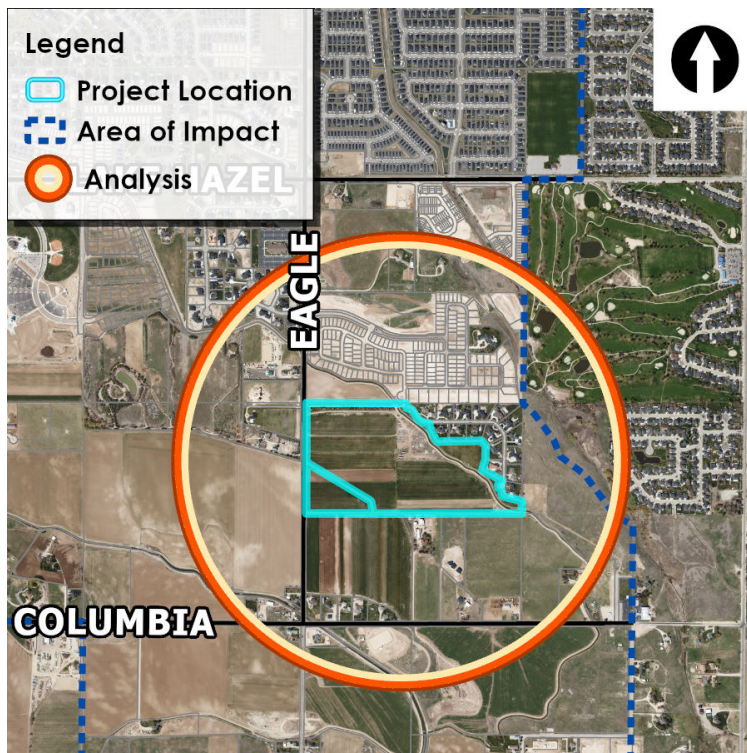
4. City Council change(s) to Commission recommendation:

- a. None

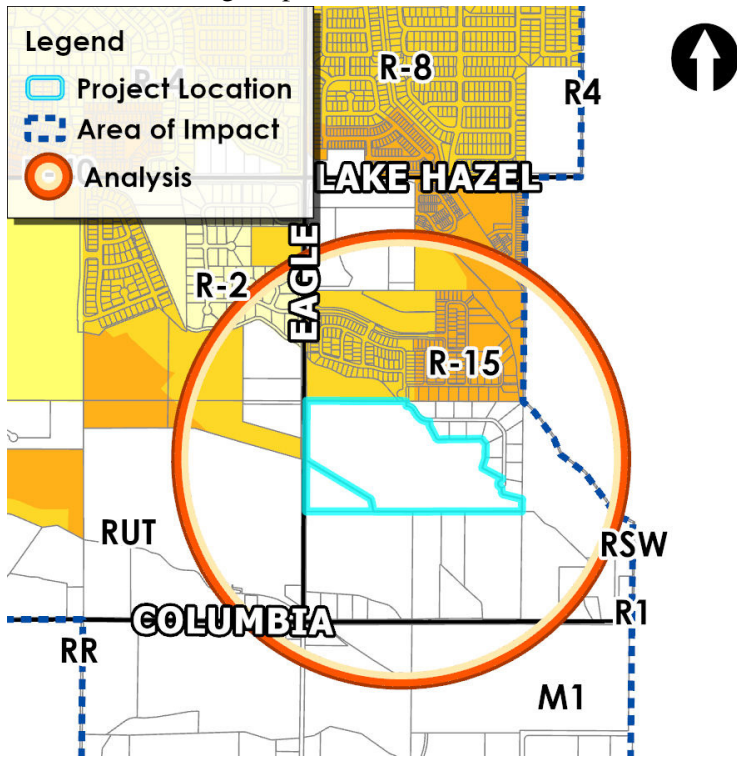
VII. EXHIBITS

A. Project Area Maps

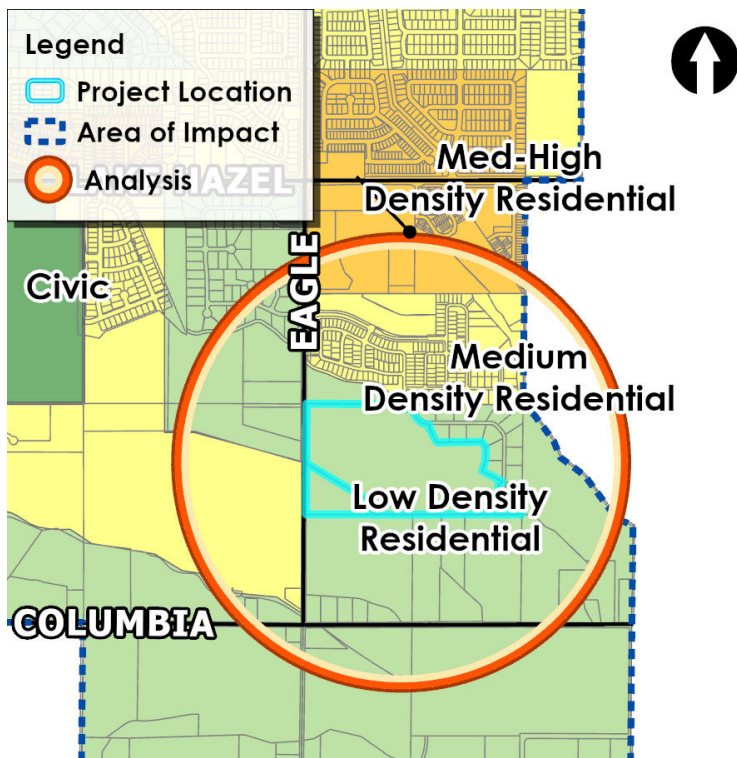
1. Aerial



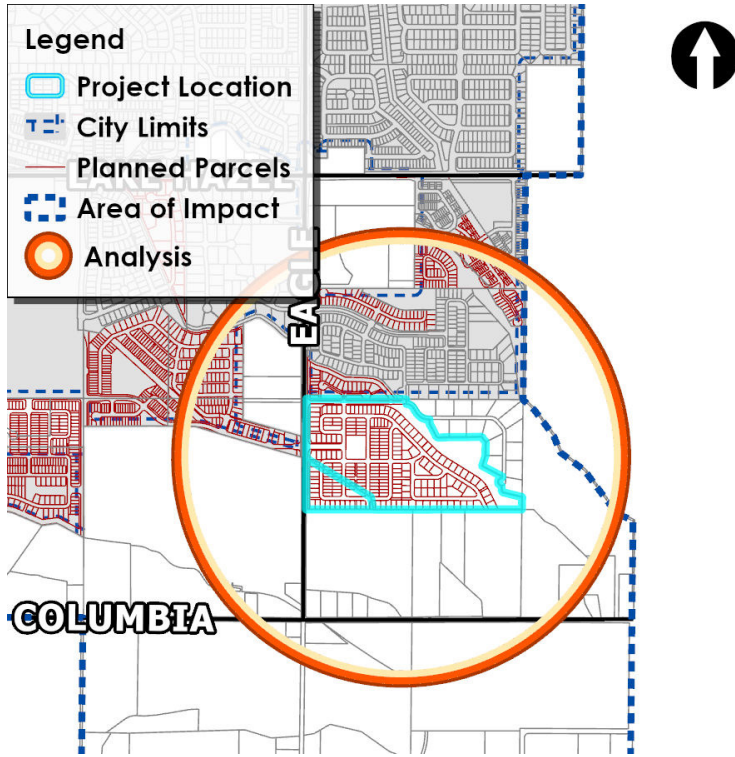
2. Zoning Map



3. Future Land Use



4. Planned Development Map



B. Service Accessibility Tool (Existing Conditions)

Overall Score: 7	2nd Percentile
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Criteria	Description
Location	Within 1/2 mile of City Limits
Extension Sewer	Trunkshed mains 500-2,000 ft. from parcel
Floodplain	Either not within the 100 yr floodplain or > 2 acres
Emergency Services Fire	Response time > 9 min.
Emergency Services Police	Reporting District meets response time goals some of
Pathways	Within 1/4 mile of future pathways
Transit	Not within 1/4 of current or future transit route
Arterial Road Buildout Status	Ultimate configuration (# of lanes in master streets plan)
School Walking Proximity	From 1/2 to 1 mile walking
School Drivability	Not within 2 miles driving of existing or future school
Park Walkability	Either a Regional Park within 1 mile OR a Community

C. Subject Site Photos



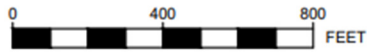
D. Phasing Plan (date: 5/12/2026)

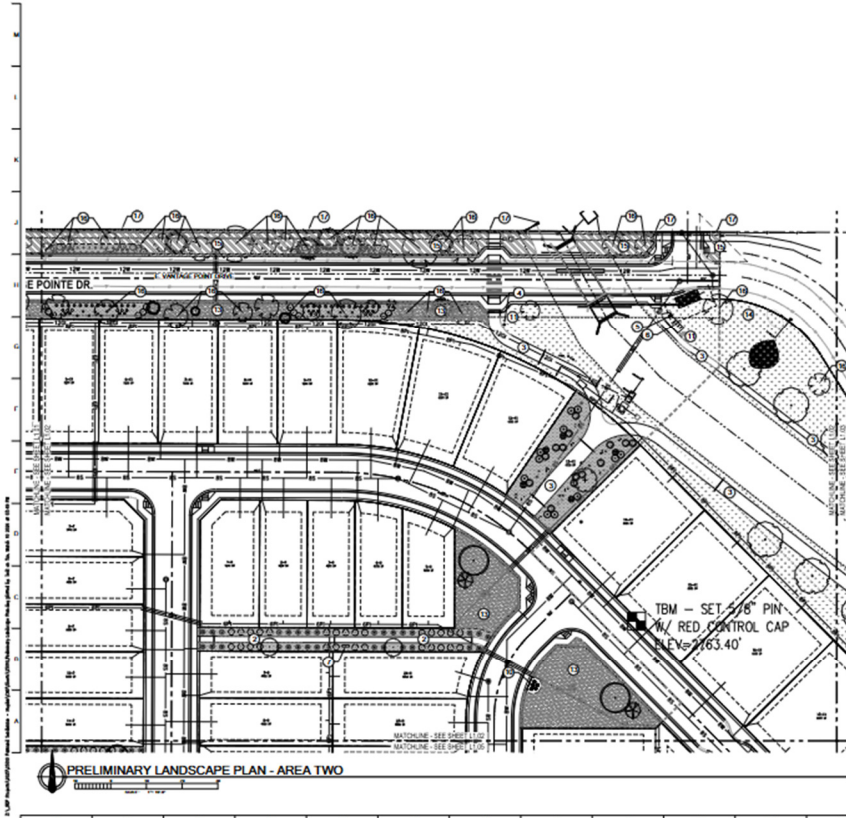


ESTIMATED PHASING SHOWN - MAY BE ADJUSTED BASED ON MARKET CONDITIONS.



Phasing Map





LANDSCAPE LEGEND

- TREE
- SHRUB
- PLANT
- HARDSCAPE
- FENCING
- WALL
- GATE
- BENCH
- LIGHT
- FIRE PIT
- WATER FEATURE
- DECK
- PATIO
- STAIR
- RAMP
- DRIVEWAY
- WALKWAY
- PATH
- UTILITY
- ELEVATION
- SPOT ELEVATION
- BOUNDARY
- PROPERTY LINE
- SURVEY POINT
- TBM

CALLOUT NOTES

1. SEE SHEET L1.01 FOR SITE PLAN
2. SEE SHEET L1.01 FOR SITE PLAN
3. SEE SHEET L1.01 FOR SITE PLAN
4. SEE SHEET L1.01 FOR SITE PLAN
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18. SEE SHEET L1.01 FOR SITE PLAN
19. SEE SHEET L1.01 FOR SITE PLAN
20. SEE SHEET L1.01 FOR SITE PLAN

NO.	DESCRIPTION	DATE

REP
ROBERT E. PAPPAS
REGISTERED PROFESSIONAL ENGINEER
STATE OF IDAHO

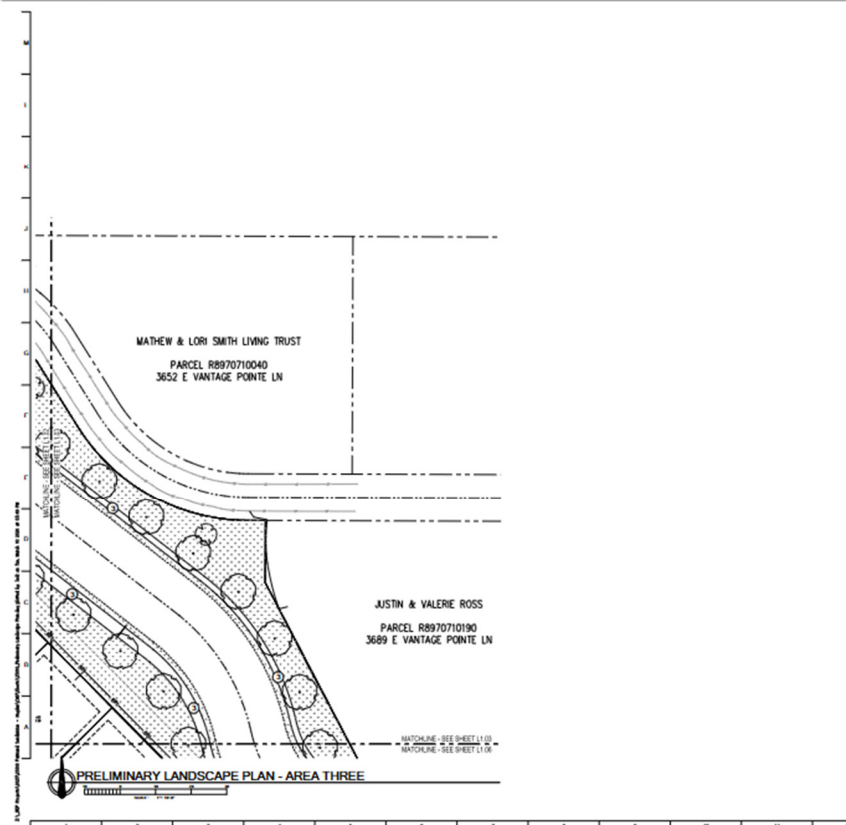
STANLEY HICKS SUBDIVISION
S. ELMER HEND
MERIDIAN, IDAHO
SUBDIVISION

PRELIMINARY LANDSCAPE PLAN
AREA TWO

DATE	
REVISION	
BY	

L1.02

AGENCY REVIEW



LANDSCAPE LEGEND

- TREE
- SHRUB
- PLANT
- HARDSCAPE
- FENCING
- WALL
- GATE
- BENCH
- LIGHT
- FIRE PIT
- WATER FEATURE
- DECK
- PATIO
- STAIR
- RAMP
- DRIVEWAY
- WALKWAY
- PATH
- UTILITY
- ELEVATION
- SPOT ELEVATION
- BOUNDARY
- PROPERTY LINE
- SURVEY POINT
- TBM

CALLOUT NOTES

1. SEE SHEET L1.01 FOR SITE PLAN
2. SEE SHEET L1.01 FOR SITE PLAN
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18. SEE SHEET L1.01 FOR SITE PLAN
19. SEE SHEET L1.01 FOR SITE PLAN
20. SEE SHEET L1.01 FOR SITE PLAN

NO.	DESCRIPTION	DATE

REP
ROBERT E. PAPPAS
REGISTERED PROFESSIONAL ENGINEER
STATE OF IDAHO

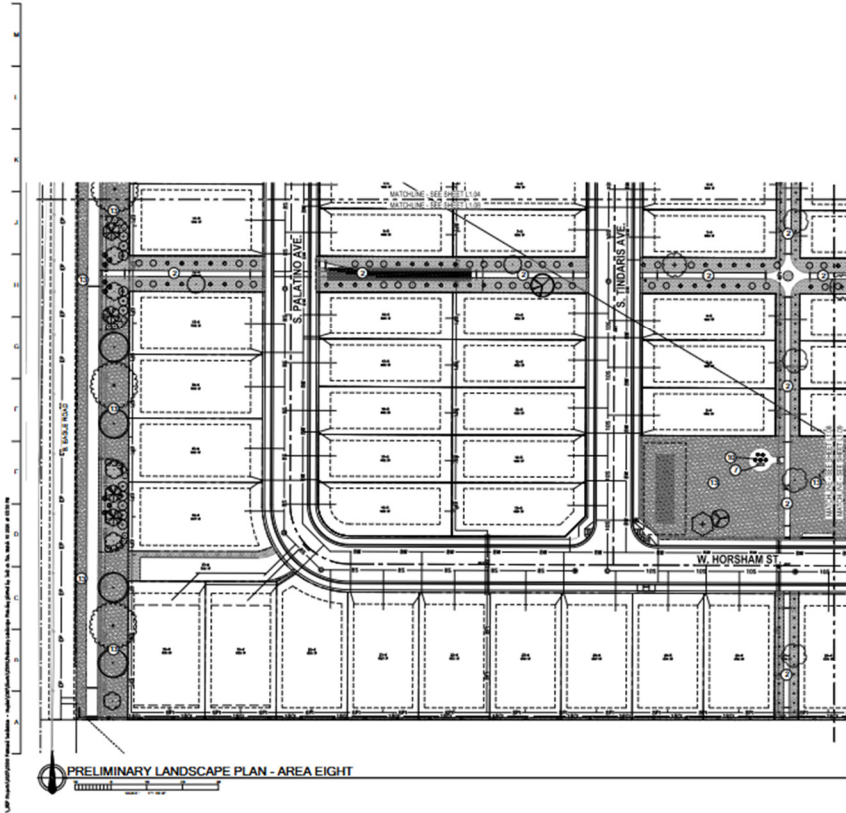
STANLEY HICKS SUBDIVISION
S. ELMER HEND
MERIDIAN, IDAHO
SUBDIVISION

PRELIMINARY LANDSCAPE PLAN
AREA THREE

DATE	
REVISION	
BY	

L1.03

AGENCY REVIEW



LANDSCAPE LEGEND

- TREE
- SHRUB
- LAWN
- PATH
- FENCING
- WALL
- UTILITY
- SPOT
- LIGHT
- BENCH
- SIGN
- FIRE HYDRANT
- MANHOLE
- STORM DRAIN
- SEWER LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- CABLE TV LINE
- FIRE HYDRANT
- MANHOLE
- STORM DRAIN
- SEWER LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- CABLE TV LINE

CALLOUT NOTES

1. TREE
2. SHRUB
3. LAWN
4. PATH
5. FENCING
6. WALL
7. UTILITY
8. SPOT
9. LIGHT
10. BENCH
11. SIGN
12. FIRE HYDRANT
13. MANHOLE
14. STORM DRAIN
15. SEWER LINE
16. WATER LINE
17. GAS LINE
18. ELECTRIC LINE
19. TELEPHONE LINE
20. CABLE TV LINE

NO.	DESCRIPTION	DATE

REP
RIVERSIDE ENVIRONMENTAL PROFESSIONALS

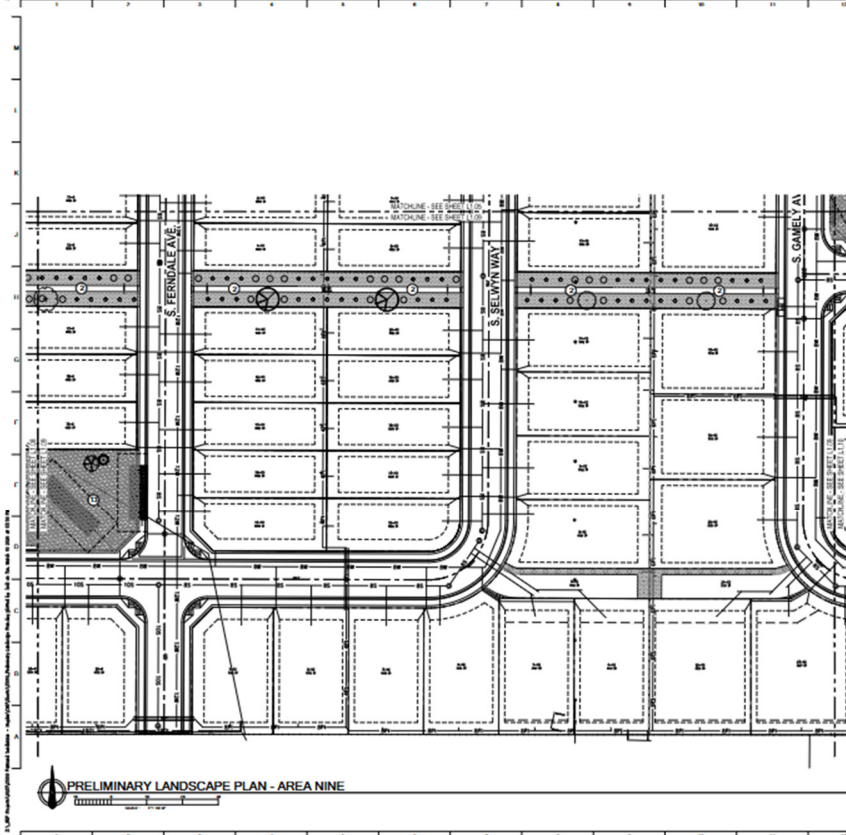
STANLEY HECK SUBERSON
S. PAUL HECK
M. KEVIN HECK
SUBERSON

PRELIMINARY LANDSCAPE PLAN
AREA EIGHT

DATE	NO.	DESCRIPTION

L1.08

AGENCY REVIEW



LANDSCAPE LEGEND

- TREE
- SHRUB
- LAWN
- PATH
- FENCING
- WALL
- UTILITY
- SPOT
- LIGHT
- BENCH
- SIGN
- FIRE HYDRANT
- MANHOLE
- STORM DRAIN
- SEWER LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- CABLE TV LINE
- FIRE HYDRANT
- MANHOLE
- STORM DRAIN
- SEWER LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- CABLE TV LINE

CALLOUT NOTES

1. TREE
2. SHRUB
3. LAWN
4. PATH
5. FENCING
6. WALL
7. UTILITY
8. SPOT
9. LIGHT
10. BENCH
11. SIGN
12. FIRE HYDRANT
13. MANHOLE
14. STORM DRAIN
15. SEWER LINE
16. WATER LINE
17. GAS LINE
18. ELECTRIC LINE
19. TELEPHONE LINE
20. CABLE TV LINE

NO.	DESCRIPTION	DATE

REP
RIVERSIDE ENVIRONMENTAL PROFESSIONALS

STANLEY HECK SUBERSON
S. PAUL HECK
M. KEVIN HECK
SUBERSON

PRELIMINARY LANDSCAPE PLAN
AREA NINE

DATE	NO.	DESCRIPTION

L1.09

AGENCY REVIEW

I. Building Elevations (date: 5/12/2026)

**Starling Ridge- City of Meridian
Example Elevations- 2 and 3 car Garages**



**Starling Ridge- City of Meridian
Example Elevations- 2 and 3 car Garages**



**Starling Ridge- City of Meridian
Example Elevations- 2 and 3 car Garages**



**Starling Ridge- City of Meridian
Example Elevations- 2 and 3 car Garages**



**Starling Ridge- City of Meridian
Example Elevations- 2 and 3 car Garages**



J. Annexation Legal Description & Exhibit Map

Legal Description Starling Ridge Subdivision – R-8 and R-4 Rezone

Parcels being in the N ½ of the SW ¼ of Section 4, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho, and more particularly described as follows:

R-8 Zone

Beginning at an Aluminum Cap monument marking the northwest corner of said N ½ of the SW ¼ of Section 4 from which an Aluminum Cap monument marking the southwest corner of said SW ¼ bears S 0°12'45" W a distance of 2653.35 feet;

Thence S 89°48'13" E a distance of 30.00 feet to the northwest corner of Lot 2 in Block 1 of Vantage Pointe Subdivision as shown in Book 80 of Plats on Pages 8575 through 8576, records of Ada County, Idaho;

Thence along the northerly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision the following described courses:

Thence S 89°48'13" E a distance of 1199.54 feet to a ½" diameter rebar with cap #4998 being the northeast corner of said Lot 2 in Block 1 of Vantage Pointe Subdivision;

Thence along the easterly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision the following described courses:

Thence S 0°11'47" W a distance of 113.68 feet to a point of extension from said easterly boundary;

Thence S 45°17'24" W a distance of 222.09 feet to a point;

Thence S 44°42'36" E a distance of 178.87 feet to a point;

Thence S 45°17'24" W a distance of 30.54 feet to a point;

Thence S 0°12'45" W a distance of 904.29 feet to a point along the southerly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision;

Thence N 89°59'02" W a distance of 1177.00 feet to a 5/8" diameter rebar with cap #4998 being the southwest corner of said N ½ of the SW ¼ of Section 4 (S 1/16 corner);

Thence N 0°12'45" E a distance of 1326.71 feet to the **POINT OF BEGINNING**.

This parcel contains 35.72 acres and is subject to any easements existing or in use.

R-4 Zone

Commencing at an Aluminum Cap monument marking the northwest corner of said N ½ of the SW ¼ of Section 4 from which an Aluminum Cap monument marking the southwest corner of said SW ¼ bears S 0°12'45" W a distance of 2653.35 feet;



Starling Ridge Subdivision - Rezone
Job No. 21-49
Page 1 of 3

Thence S 89°48'13" E a distance of 1229.54 feet to a ½" diameter rebar with cap #4998 being the northeast corner of Lot 2 in Block 1 of Vantage Pointe Subdivision as shown in Book 80 of Plats on Pages 8575 through 8576, records of Ada County, Idaho;

Thence along the easterly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision S 0°11'47" W a distance of 56.29 feet to 5/8" diameter rebar with cap #4998 being the **POINT OF BEGINNING**;

Thence continuing along the easterly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision the following described courses:

Thence a distance of 100.61 feet along the arc of a 100.00 foot radius curve right, said curve having a central angle of 57°38'43" and a long chord bearing S 60°58'52" E a distance of 96.42 feet to a 5/8" diameter rebar with cap #4998 being a point of tangency;

Thence S 32°09'30" E a distance of 68.90 feet to a 5/8" diameter rebar with cap #4998 being a point of curvature;

Thence a distance of 171.03 feet along the arc of a 170.00 foot radius curve left, said curve having a central angle of 57°38'36" and a long chord bearing S 60°58'52" E a distance of 163.91 feet to a 5/8" diameter rebar with cap #4998 being a point of tangency;

Thence S 89°48'13" E a distance of 15.00 feet to a point;

Thence S 0°12'52" W a distance of 52.33 feet to a point;

Thence S 27°41'49" E a distance of 172.02 feet to a 5/8" diameter rebar with cap #4998;

Thence S 56°09'30" E a distance of 23.85 feet to a 5/8" diameter rebar with cap #4998;

Thence N 87°50'30" E a distance of 135.74 feet to a 1/2" diameter rebar with cap #4998;

Thence N 89°55'06" E a distance of 206.00 feet to a 1/2" diameter rebar with cap #7612;

Thence N 88°31'55" E a distance of 183.25 feet to a 1/2" diameter rebar with cap #7612;

Thence S 37°29'07" E a distance of 81.09 feet to a 1/2" diameter rebar with an illegible cap;

Thence S 0°37'03" W a distance of 160.02 feet to a point;

Thence S 17°36'23" W a distance of 133.25 feet to a point;

Thence S 62°28'31" E a distance of 273.21 feet to a point of curvature;

Thence a distance of 26.76 feet along the arc of a 20.00 foot radius curve right, said curve having a central angle of 76°39'27" and a long chord bearing S 38°56'47" W a distance of 24.81 feet to a point of reverse curvature;

Thence a distance of 131.50 feet along the arc of a 45.00 foot radius curve left, said curve having a central angle of 167°26'04" and a long chord bearing S 6°26'31" E a distance of 89.46 feet to a 1/2" diameter rebar with an illegible cap;

Thence S 0°09'30" E a distance of 68.61 feet to a point;



Thence S 42°09'30" E a distance of 16.09 feet to a point;

Thence S 76°09'38" E a distance of 238.87 feet to a point;

Thence S 0°37'03" W a distance of 150.97 feet to a point being the southeast corner of said Lot 2 in Block 1;

Thence along the southerly boundary of said Lot 2 in Block 1 of Vantage Pointe Subdivision N 89°59'02" W a distance of 1446.32 feet to a point;

Thence N 0°12'45" E a distance of 904.29 feet to a point

Thence N 45°17'24" E a distance of 30.54 feet to a point

Thence N 44°42'36" W a distance of 178.87 feet to a point

Thence N 45°17'24" E a distance of 222.09 feet to a point

Thence N 0°11'47" E a distance of 57.39 feet to the **POINT OF BEGINNING**.

This parcel contains 25.62 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS
Land Solutions, PC
REVISED: March 10, 2026



Starling Ridge Subdivision - Rezone
Job No. 21-49
Page 3 of 3

STARLING RIDGE SUBDIVISION - RE-ZONE EXHIBIT

PORTIONS OF THE N1/2 OF THE SW1/4 OF SECTION 4, T2N, R1E, BM, ADA COUNTY, IDAHO

CP&F INST. NO. 2019-091022

E. LAKE HAZEL ROAD

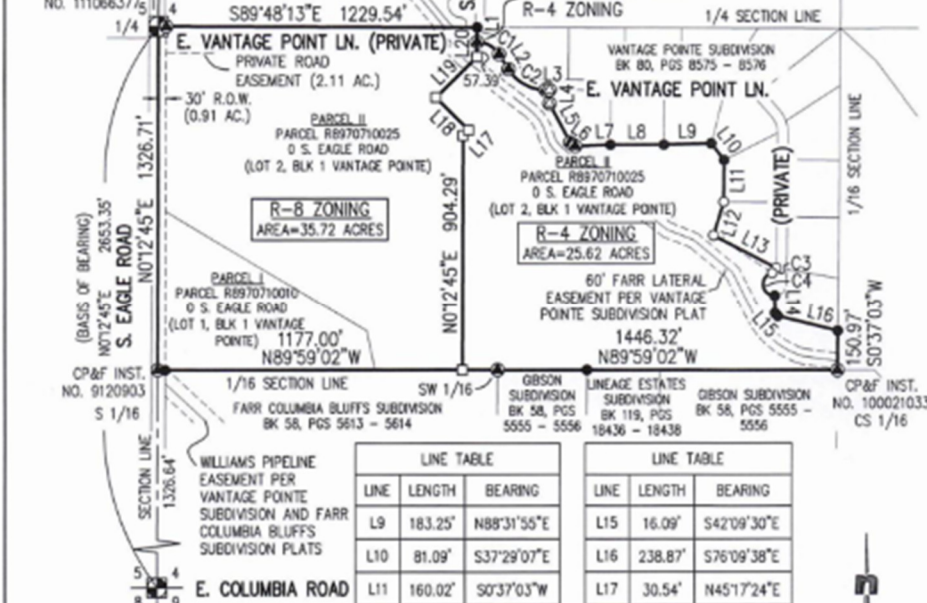
LINE TABLE		
LINE	LENGTH	BEARING
L1	56.29'	S011°47'W
L2	68.90'	S32°09'30"E
L3	15.00'	S89°48'1.3"E
L4	52.33'	S012°52'W

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	100.61'	100.00'	57°38'43"	S60°58'52"E	96.42'
C2	171.03'	170.00'	57°38'38"	S60°58'52"E	163.91'
C3	26.76'	20.00'	76°39'27"	S38°56'47"W	24.81'
C4	131.50'	45.00'	167°26'04"	S6°26'31"E	89.46'

POINT OF COMMENCEMENT R-4 ZONING
POINT OF BEGINNING R-8 ZONING

CP&F INST. NO. 1110663775

POINT OF BEGINNING R-4 ZONING

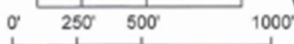


CP&F INST. NO. 2018-055169

LINE TABLE		
LINE	LENGTH	BEARING
L5	172.02'	S27°41'49"E
L6	23.85'	S56°09'30"E
L7	135.74'	N87°50'30"E
L8	206.00'	N89°55'06"E

LINE TABLE		
LINE	LENGTH	BEARING
L9	183.25'	N88°31'55"E
L10	81.09'	S37°29'07"E
L11	160.02'	S0°37'03"W
L12	133.25'	S17°36'23"W
L13	273.21'	S62°28'31"E
L14	68.61'	S0°09'30"E

LINE TABLE		
LINE	LENGTH	BEARING
L15	16.09'	S42°09'30"E
L16	238.87'	S76°09'38"E
L17	30.54'	N45°17'24"E
L18	178.87'	N44°42'36"W
L19	222.09'	N45°17'24"E
L20	113.68'	N011°47"E



LandSolutions
Land Surveying and Consulting

231 E. 9TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2043 (208) 288-2567 fax
www.landsolutions.biz

JOB NO. 21-43

VIII. ADDITIONAL NOTES & DETAILS FOR STAFF REPORT MAPS, TABLES, AND CHARTS

(link to [Community Metrics](#))

A. One-Mile Radius Existing Condition Notes

This data is automatically derived from enterprise application and GIS databases, and exported dynamically. Date retrieved notes generally reflect data acquired or processed within the last 30-days. Analysis is based on a one-mile radius from the centroid of the identified parcel. Parcel based data excludes certain properties and represents land as it exists now. Properties considered are only those with a total assessed value greater than 0 (i.e. excludes most HOA area, transitional development, government, and quasi government facilities). The following values also constrain included property acreage to reduce outliers and non-conforming instances from distorting averages: R-2 < 5.0; R-4 < 2.0; R-8 < 1.0; R-15 < 0.5; R-40 < 0.25.

Conditional Use Permits and Preliminary plat data likely include duplicate project submittals as they may be for the same project, approved at different times through multiple application types. Consider each independently or review prior application approvals. Some approved entitlements, and particularly older ones, may be constructed.

Decennial population counts and household counts are based on the most recent Decennial Census. Current population and current household values are COMPASS estimates, usually for the year previous, and are based on traffic analysis zone boundaries (TAZ's).

B. Service Assessment Notes

This data represents existing conditions derived from our enterprise application and GIS database, exported through dynamic reporting. The system references the most recent available data from various sources, including sewer main lines, sewer trunk sheds, floodplain, fire service areas and response times, police crime reporting, pathway information, existing and planned transit, roadway improvements, school and park proximity, and other resources.

The tool provides context for project review, using multiple indicators consistently. Data from similar topics may vary based on different levels of review.

The overall score is based on weighted criteria (not a ranked order), and the percentile score compares the parcel to others in the city (higher is better). This tool was developed as a City Council priority and outcome of the 2019 Comprehensive Plan. Scores, whether high or low, are just one data point and should not be the sole basis for decisions.

C. ACHD Roadway Infographic Notes

The Ada County Highway District utilizes a number of planning and analysis tools to understand existing and future roadway conditions.

- **Existing Level of service (LOS).** LOS indicator is a common metric to consider a driver's experience with a letter ranking from A to F. Letter A represents free flow conditions, and on the other end Level F represents forced flow with stop and go conditions. These conditions usually represent peak hour driver experience. ACHD considers Level D, stable flow, to be acceptable. The LOS does not represent conditions for bikes or pedestrians, nor indicate whether improvements: are possible; if there are acceptable tradeoffs; or if there is a reasonable cost-benefit.
- **Integrated Five Year Work Plan (IFYWP).** The IFYWP marker (yes/no) indicates whether the specified roadway is listed in the next 5-years. This work may vary, from concept design to construction.
- **Capital Improvement Plan (CIP).** The CIP marker (yes/no) indicates whether the specified roadway is programmed for improvement in the next 20-years.