



**II. COMMUNITY METRICS**

**Table 1: Land Use**

Description	Details
Acreage	23.30
Future Land Use Designation	Mixed-use Interchange (MU-I) (17.7 acres) with Medium Density Residential (MDR) along the north boundary (5.6 acres)
Current Zoning	C-G (General Retail and Service Commercial)
Existing/Proposed Land Use(s)	Commercial – in development process
History (previous approvals)	H-2019-0021 Pollard Subdivision

**Table 2: Process Facts**

Description	Details
Preapplication Meeting date	2/24/2026 (PREAPP-2026-0039)
Neighborhood Meeting	3/19/2026

Note: See section IV. City/Agency Comments & Conditions for comments received or see the public record.

**III. STAFF ANALYSIS**

Comprehensive Plan and Unified Development Code (UDC)

**A. History**

Pollard Subdivision was annexed and received preliminary plat approval in 2019, followed by final plat approval in 2022 and recordation in 2023. The annexation area encompassed 77.33 acres of land located on the east and west sides of N. Levi Ave., along the north side of W. Chinden Blvd., midway between N. McDermott Rd. and N. Black Cat Rd., as shown on the vicinity map below.



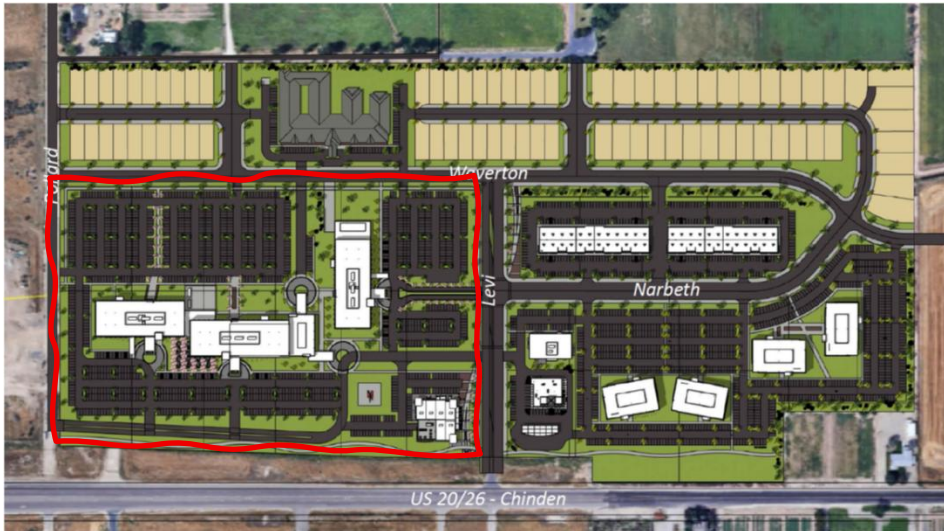
As part of the annexation process, the applicant entered into a Development Agreement (DA) (recorded as Inst. #2019-060655) that includes provisions governing future development of the property. Among other provisions, future development is required to be generally consistent with the conceptual site plan approved with the annexation.

In 2024, a modification to the DA was approved that removed the single-family residential portion of the development along the north side of W. Waverton Dr. from the agreement (H-2024-0037 Pollard North).

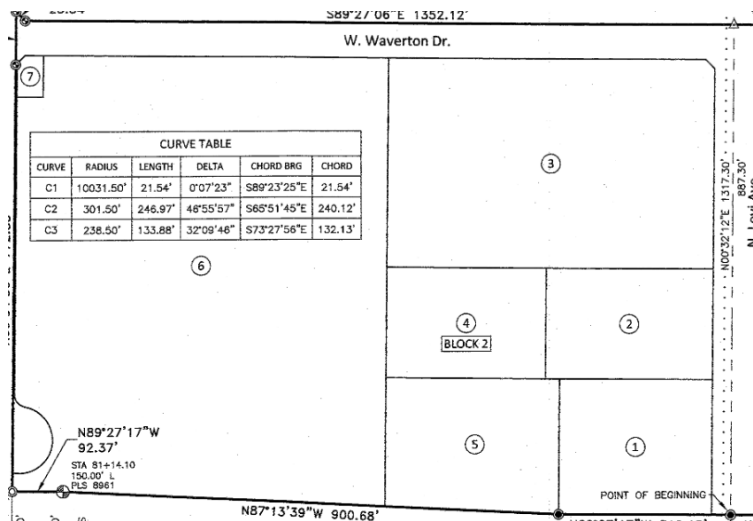
**B. General Overview**

The Applicant requests approval of a modification to the existing Development Agreement (Inst. #2019-060655) for a new agreement for Lots 1-7, Block 2, Pollard Subdivision No. 1 to update the conceptual development plan for the site. The existing DA will remain in effect for the portion of the development east of N. Levi Ave. The existing approved conceptual development plan is shown below (the area outlined in red is the subject site).

This portion of the development was entitled to develop with a medical campus consisting of a 95K square foot (s.f.) medical office building, including a surgical center, free-standing emergency department and a 50-bed hospital.



Three (3) of the lots have already received Certificate of Zoning Compliance approval for the following uses: an 80,600 square foot medical office building on Lot 3, Block 2 (A-2026-0016), an electrical wholesale supply company on Lot 2, Block 2 (A -2025-151), and a credit union on Lot 1, Block 2 (A-2024-0150) and are in the development process. A conditional use permit for a daycare center has been submitted on Lot 4, Block 2 (H-2026-0030); approval of this application is contingent upon the subject modification being approved.





The purpose of the modification is to update the conceptual development plan to accurately reflect current development activity and to allow for independent progression of the identified lots. The site layouts with access, parking, pedestrian pathways and public/quasi-public gathering areas/plazas that have already been approved are depicted on the proposed conceptual development plan, included above and below in Section VI.B. Lot 6 is still anticipated to develop with a hospital; Lot 5 is anticipated to have two (2) commercial buildings.

Because this property is located in the Mixed Use – Interchange (MU-I) designation, specific development provisions are required as noted in the existing DA that pertain to common usable open space in commercial areas such as plazas or green space; supportive and proportional public/quasi-public spaces and places; and safe pedestrian access and connectivity within developments as set forth in the Comprehensive Plan. The existing entitled uses were held to these standards and Staff recommends the remaining lots are also held to these standards. Therefore, Staff recommends these provisions are carried over to the new DA as noted below in Section IV.

#### IV. CITY/AGENCY COMMENTS & CONDITIONS

##### A. Meridian Planning Division

- 1.1 The new Development Agreement shall be signed by the property owner(s) and returned to the Planning Division within six (6) months of the City Council approval of the Findings and shall incorporate the following provisions:
  - a. Future development of this site shall be generally consistent with the conceptual site plan included below in Section VI and the provisions contained herein.
  - b. Future structures shall comply with the design standards listed in the Architectural Standards Manual. An application for Design Review shall be submitted concurrently with the Certificate of Zoning Compliance application and approved prior to submittal of building permit applications.

- c. Commercial buildings within the development shall be arranged to create some form of common, usable area, such as a plaza or green space as set forth in the Comprehensive Plan for mixed use designated areas (see p. 3-18).
- d. Supportive and proportional public and/or quasi-public spaces and places including but not limited to parks, plazas, outdoor gathering areas, open space, libraries, and schools that comprise a minimum of 5% of the development area shall be provided within the mixed use portion of the development as set forth in the Comprehensive Plan (outdoor seating areas at restaurants do not count) (see p. 3-18).
- e. Buildings, landscaping, and other design features near the SH-16/SH-20/26 interchange need to reflect Meridian's heritage, quality, and character as one of the regional gateways to the City of Meridian in accord with the Comprehensive Plan (see p. 3-25).
- f. Internal pedestrian walkways shall be provided from perimeter sidewalks to the main building entrance in accord with the standards in UDC 11-3A-19B.4 and between uses along drive aisles for safe pedestrian access and connectivity as set forth in the Comprehensive Plan (see pp. 3-18 and 3-19).

**B. Public Works**

<https://weblink.meridiancity.org/WebLink/DocView.aspx?id=443068&dbid=0&repo=MeridianCity>

**C. Department of Environmental Quality (DEQ)**

<https://weblink.meridiancity.org/WebLink/DocView.aspx?id=444834&dbid=0&repo=MeridianCity>

**V. ACTION**

**A. Staff:**

Staff recommends approval of the requested Development Agreement Modification per the provisions included above in Section IV.

**B. City Council:**

Pending

## VI. EXHIBITS

### A. Legal Description and Exhibit Map for Property Subject to Modified Development Agreement



March 17, 2026  
Pollard Subdivision No. 1  
Project No. 21-240  
Development Agreement Modification - Legal Description

Lots 1-7, Block 2 of Pollard Subdivision No. 1 (Book 127 of plats, pages 20407-20411, records of Ada County, Idaho), situated in a portion of the Southeast 1/4 of the Southwest 1/4 of Section 21, Township 4 North, Range 1 West, B.M., City of Meridian, Ada County, Idaho, and being more particularly described as follows:

Commencing at an aluminum cap marking the South 1/4 corner of said Section 21 which bears S89°27'17"E a distance of 2,609.39 feet from an aluminum cap marking the Southwest corner of said Section 21;  
Thence following the easterly line of the Southeast 1/4 of the Southwest 1/4 of said Section 21, N00°32'12"E a distance of 115.00 feet to a 5/8-inch rebar on the northerly right-of-way line of W. Chinden Boulevard;  
Thence following said northerly right-of-way line, N89°27'17"W a distance of 34.80 feet to a 1/2-inch rebar and being the **POINT OF BEGINNING**.

Thence following said northerly right-of-way line the following three (3) courses:

1. N89°27'17"W a distance of 277.35 feet to a 5/8-inch rebar;
2. N87°13'39"W a distance of 900.68 feet to an aluminum cap;
3. N89°27'17"W a distance of 92.37 feet to a 5/8-inch rebar on the westerly line of said Southeast 1/4 of the Southwest 1/4;

Thence leaving said northerly right-of-way line and following said westerly line, N00°34'56"E a distance of 33.86 feet to a 1/2-inch rebar on the easterly right-of-way line of N. Pollard Lane;

Thence leaving said westerly line and following said easterly right-of-way line the following three (3) courses:

1. 191.41 feet along the arc of a curve to the left, said curve having a radius of 60.50 feet, a delta angle of 181°16'34", a chord bearing of N11°23'04"E and a chord distance of 120.99 feet to a 1/2-inch rebar;
2. 34.14 feet along the arc of a reverse curve to the right, said curve having a radius of 24.50 feet, a delta angle of 79°50'09", a chord bearing of N39°20'08"W and a chord distance of 31.44 feet to a 1/2-inch rebar;
3. N00°34'56"E a distance of 598.56 feet to a 1/2-inch rebar on the southerly right-of-way line of W. Waverton Drive;

Thence leaving said easterly right-of-way line and following said southerly right-of-way line the following three (3) courses:

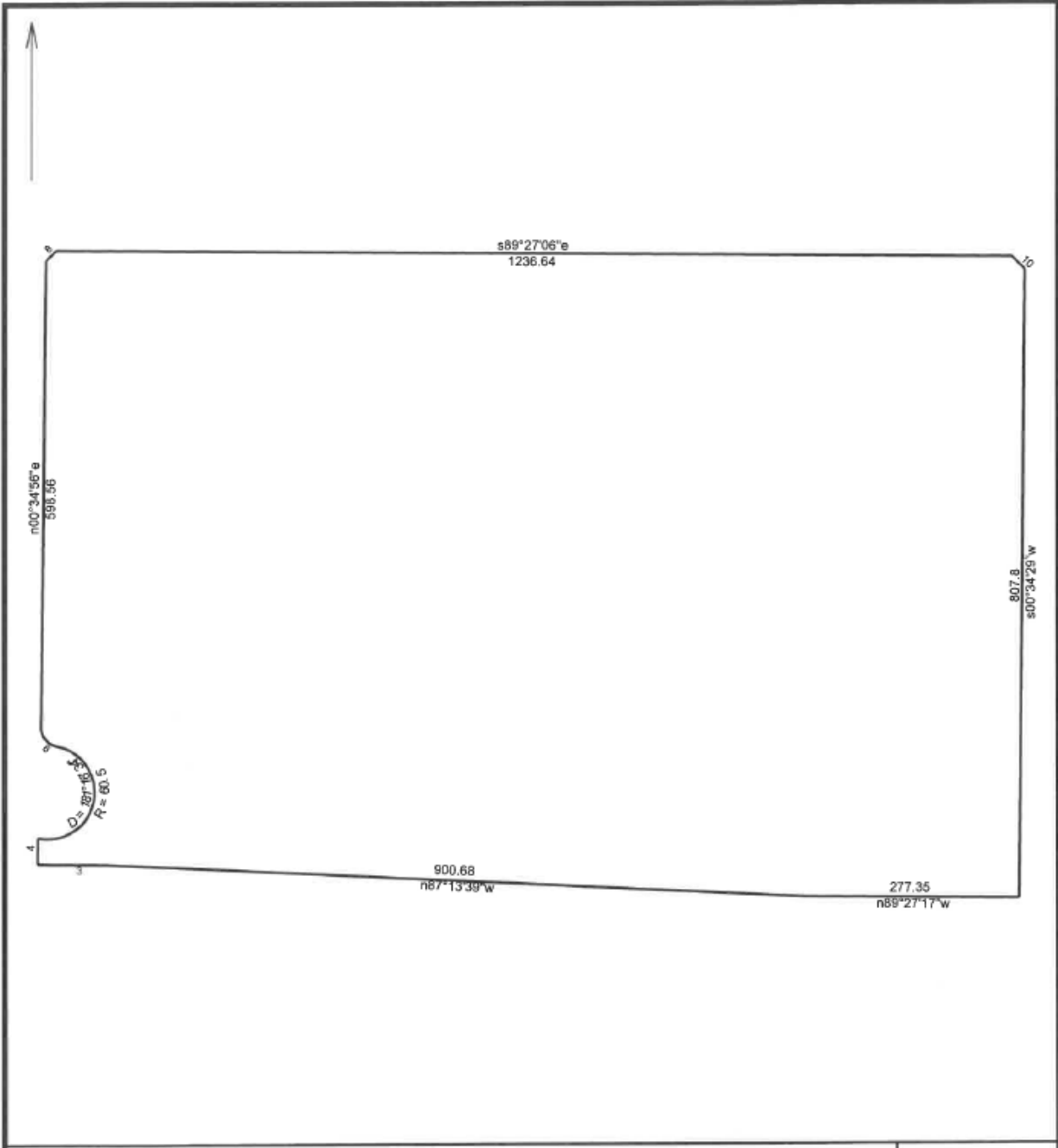
1. N45°33'55"E a distance of 19.79 feet to a brass plug;
2. S89°27'06"E a distance of 1,236.64 feet to a 1/2-inch rebar;
3. S44°26'19"E a distance of 23.34 feet to a 1/2-inch rebar on the westerly right-of-way line of N. Levi Avenue;

Thence leaving said southerly right-of-way line and following said westerly right-of-way line, S00°34'29"W a distance of 807.80 feet to the **POINT OF BEGINNING**.

Said parcel contains 23.383 acres, more or less, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.



5725 North Discovery Way • Boise, Idaho 83713 • 208.639.6939 • kmengllp.com



3/17/2026

Scale: 1 inch= 170 feet

File:

Tract 1: 23.3826 Acres, Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=4216 ft.

01 n89.2717w 277.35	10 s44.2619e 23.34
02 n87.1339w 900.68	11 s00.3429w 807.8
03 n89.2717w 92.37	
04 n00.3456e 33.86	
05 Lt, r=60.50, delta=181.1634, chord=n11.2304e 120.99	
06 Rt, r=24.50, delta=079.5009, chord=n39.2008w 31.44	
07 n00.3456e 598.56	
08 n45.3355e 19.79	
09 s89.2706e 1236.64	

**B. Proposed Conceptual Development Plan**



*Figure 3: Updated Layout in Detail*