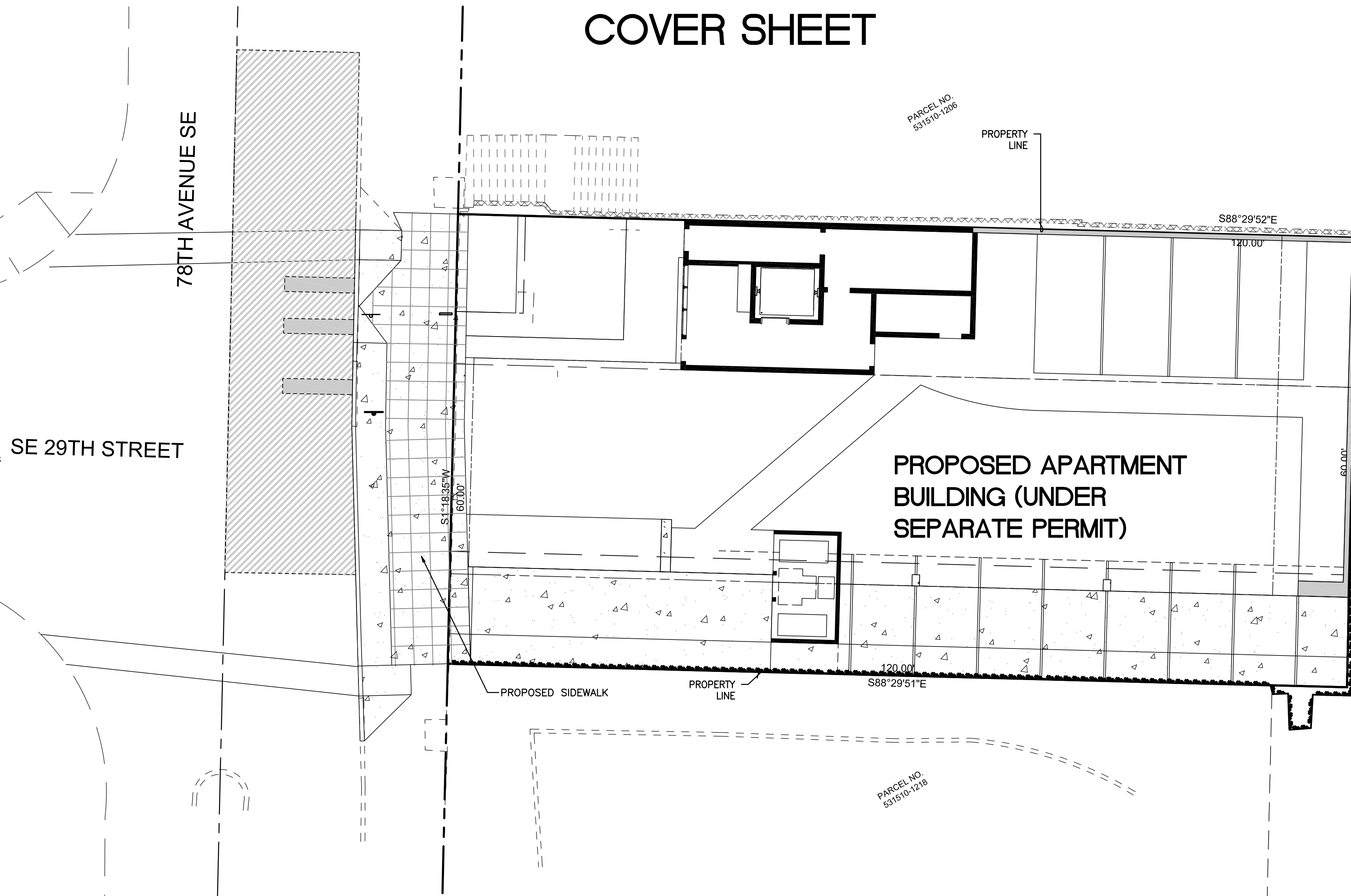
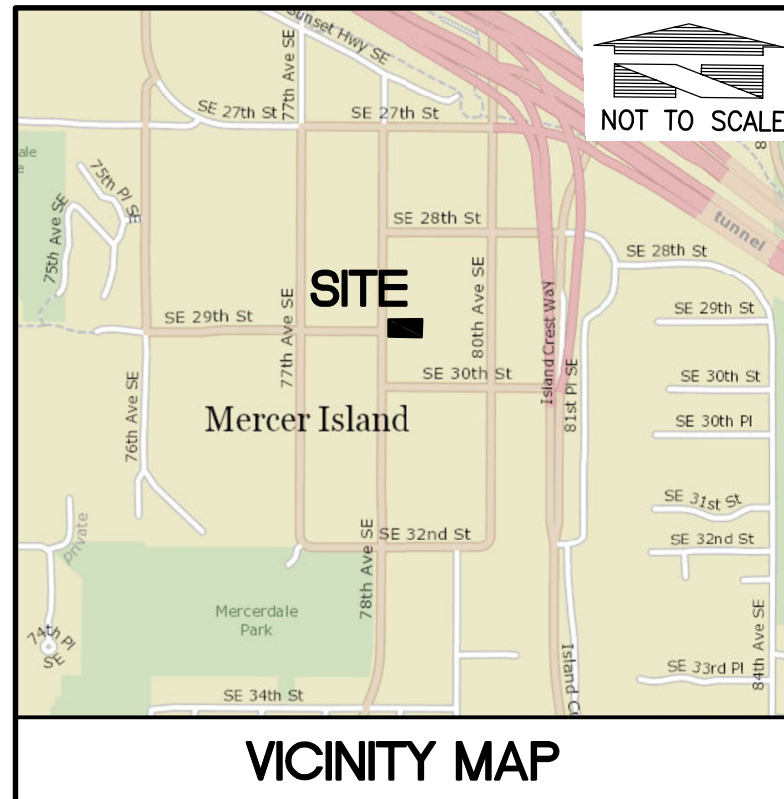
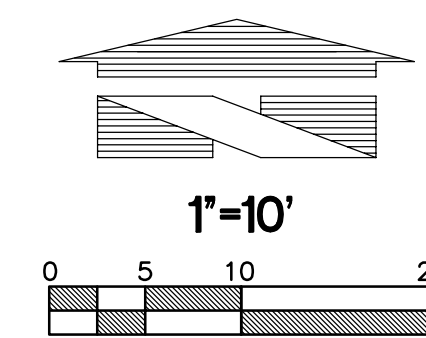


# 2900 DEVELOPMENT

## COVER SHEET



### GENERAL SITE DEVELOPMENT NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. TEBALDI ENGINEERING, LLC ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT TEBALDI ENGINEERING, LLC, TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE AUTHORITY HAVING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR OF THE AUTHORITY HAVING JURISDICTION 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE 72 HRS MIN. ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- STRUCTURAL BMPs MUST BE ACCESSIBLE FOR INSPECTION BY THE AUTHORITY HAVING JURISDICTION DURING REGULAR BUSINESS HOURS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO TEBALDI ENGINEERING, LLC AT COMPLETION OF PROJECT.

### SOILS REPORT NOTES:

- THE FOLLOWING SOILS REPORT FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:  
  
GEOTECHNICAL ENGINEERING REPORT PREPARED BY COBALT GEOSCIENCES DATED DECEMBER 16, 2021.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF TEBALDI ENGINEERING, LLC.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS.

### BASIS OF BEARING:

BASIS OF BEARINGS: N 01°19'57" E  
ALONG THE CENTERLINE OF 32nd AVE S  
BASED ON THE GPS OBSERVATION OF EXISTING MONUMENTS AND TIES TO MONUMENTS.  
SEE RECORD OF SURVEY UNDER REC. NO. 20160728900015.



Know what's below.  
Call before you dig.  
Dial 811  
(1-800-424-5555)

### BENCHMARK:

VERTICAL DATUM: NAVD88

### LEGAL DESCRIPTION:

PER QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NUMBER 20160615000759, RECORDS OF KING COUNTY, WASHINGTON.

NORTH 15 FEET OF LOT 10 AND ALL OF LOT 11, TURNER BELL ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 40 OF PLATS, PAGE 19, RECORDS OF KING COUNTY, WASHINGTON.

### EXISTING TOPOGRAPHY/SURVEY INFORMATION NOTE:

THESE DRAWINGS HAVE BEEN PREPARED BASED ON TOPOGRAPHIC SURVEY PREPARED BY 4SITE SURVEYING.

TEBALDI ENGINEERING, LLC DOES NOT WARRANT THAT THE TOPOGRAPHY SHOWN ON THESE DRAWINGS IS REPRESENTATIVE OF WHAT IS CONSTRUCTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK.

### SITE DATA:

ADDRESS: 2900 78TH AVENUE SE  
MERCER ISLAND, WA 98040

APN: 5315101219

PROPERTY AREA: 7,200 S.F. (0.17 AC)

DISTURBED AREA: 11,068 S.F. (0.25 AC)

IMPERVIOUS AREA:  
ROOF - 5,063 SF  
ON-SITE PAVEMENT - 1,866 SF  
TOTAL - 6,929 SF

PERVIOUS AREA: TOTAL - 271 S.F.

EST. EARTHWORK QUANTITIES:  
CUT: 200 CY  
FILL: 200 CY  
CUT/FILL BALANCE: 200 CY  
NET IMPORT/EXPORT: 0 CY

EARTHWORK QUANTITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY EARTHWORK QUANTITIES PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 352-120. APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES  
PUBLIC LAND SURVEY OFFICE  
1111 WASHINGTON STREET S.E.  
P.O. BOX 47060  
OLYMPIA, WASHINGTON 98504-7060

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

### UTILITIES:

#### WATER:

CITY OF MERCER ISLAND  
9611 SE 36TH STREET  
MERCER ISLAND, WA 98040  
PHONE: (206) 275-7600

#### SEWER:

CITY OF MERCER ISLAND  
9611 SE 36TH STREET  
MERCER ISLAND, WA 98040  
PHONE: (206) 275-7600

#### CABLE:

XFINITY  
PHONE (800) 266-2278

#### POWER:

PUGET SOUND ENERGY  
PHONE (888) 321-7779

#### GAS:

PUGET SOUND ENERGY  
PHONE (888) 321-7779

#### TELEPHONE:

CENTURYLINK  
PHONE (866) 415-2950

### PROJECT TEAM:

#### ARCHITECT

MEDICI ARCHITECTS  
11711 SE 8TH STREET, SUITE 100  
BELLEVUE, WA 98005

#### ENGINEER

TEBALDI ENGINEERING, LLC  
4625 126TH AVENUE EAST  
EDGEWOOD, WA 98572  
PHONE: (206) 450-5096  
EMAIL: CHRIS@TEBALDIENGINEERING.COM  
CONTACT: CHRIS TEBALDI, P.E.

#### SURVEYOR:

SITE SURVEYING, INC  
21923 NE 11TH ST  
SAMMAMISH, WA 98074

#### GEOTECHNICAL ENGINEER:

GEOTECH CONSULTANTS, INC.  
2401 10TH AVE E  
SEATTLE, WA 98102

#### OWNER:

2900 DEVELOPMENT LLC  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

### CIVIL SHEET INDEX:

- C1 COVER SHEET
- C2 TESC PLAN
- C3 CIVIL SITE PLAN
- C4 GRADING AND STORM DRAINAGE PLAN
- C5 WATER AND SANITARY SEWER PLAN
- C6 NOTES AND DETAILS
- C7 NOTES AND DETAILS TOPOGRAPHIC SURVEY

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY TEBALDI ENGINEERING, LLC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM THE ENGINEER REFLECTING ANY ISSUED PLAN REVISIONS. THE ENGINEER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

### UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY TEBALDI ENGINEERING, LLC, TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

No.	Date	By	Appr.	Revised Per City Comments
1	2/27/23			

Title:

COVER SHEET  
2900 DEVELOPMENT  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

For:

2900 DEVELOPMENT LLC  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

Scale:

Horizontal: 1"=10'  
Vertical: N/A

Designed:

Drawn: CMT  
Checked: CMT  
Approved: CMT  
Date: 6/10/22

Job Number:

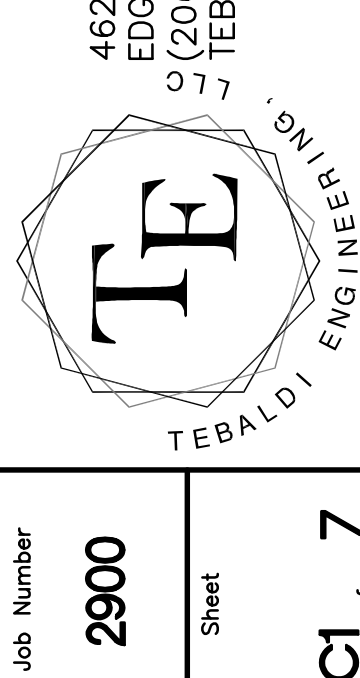
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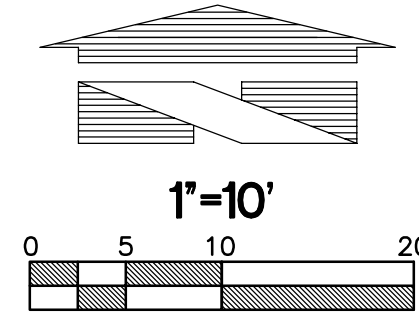
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of

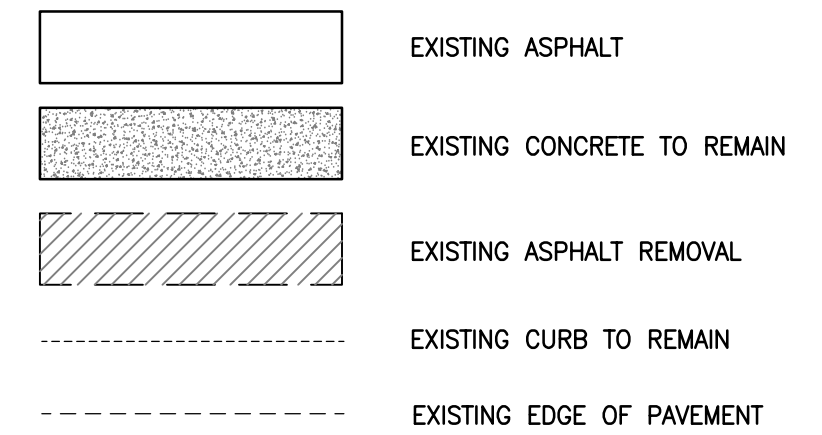
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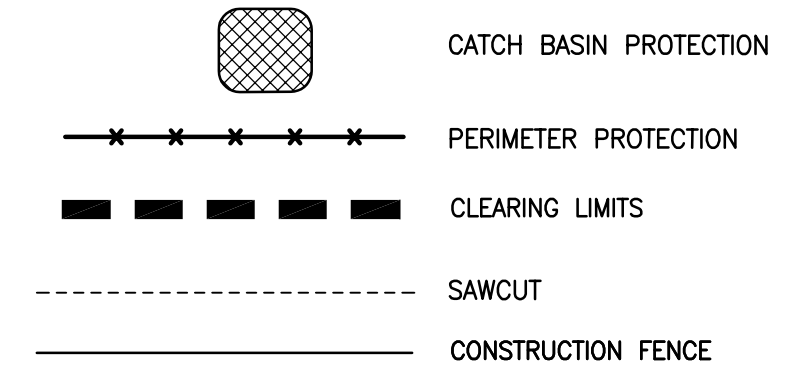
# 2900 DEVELOPMENT TESC PLAN



### DEMO LEGEND:



### TESC LEGEND:



### EROSION CONTROL CALLOUTS:

- CONTRACTOR TO INSTALL SILT FENCE AROUND PERIMETER OF SITE AS REQUIRED TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE, AND AS DIRECTED BY INSPECTOR. SEE DETAIL ON THIS SHEET.
- CONTRACTOR TO INSTALL STORM DRAIN INLET PROTECTION AT ALL DOWNSTREAM INLET LOCATIONS AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM. SEE DETAIL ON THIS SHEET.
- TEMPORARY STOCKPILE LOCATION. ADJUST SIZE AND LOCATION OF AREA AS NEEDED DURING CONSTRUCTION.
- CONSTRUCTION ENTRANCE. SEE DETAIL ON THIS SHEET.

### CONSTRUCTION SEQUENCE

- FLAG ALL DISTURBED AND/OR CLEARING LIMITS.
- CALL THE UTILITY LOCATE SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN, AS REQUIRED.
- PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
- INSTALL PERIMETER RUNOFF CONTROLS INCLUDING SILT FENCING AND CONSTRUCTION FENCING.
- INSTALL STORM DRAINAGE PROTECTION.
- CLEAR AND STABILIZE CONSTRUCTION ACCESS, IF REQUIRED.
- COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING, AND GRADING.
- INSTALL SITE UTILITIES.
- COMPLETE SITE PAVING.
- COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

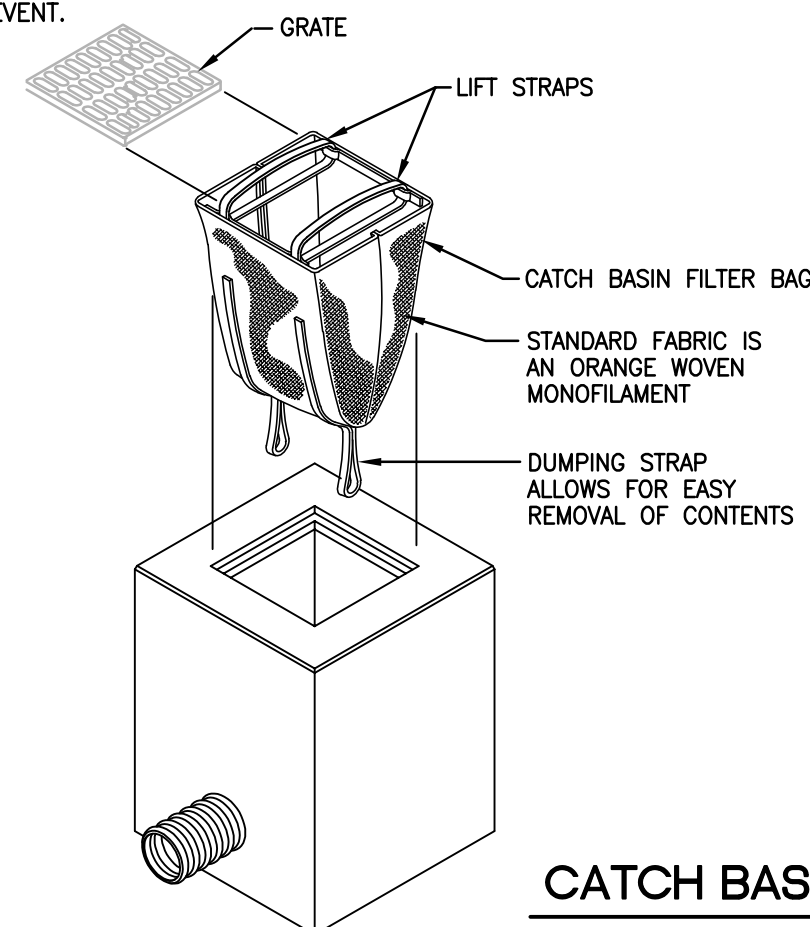
### BMP MAINTENANCE NOTES:

- AREAS TO BE CLEARED, GRUBBED, AND EXPOSED AT ONE TIME SHALL BE KEPT TO THE SMALLEST AREA POSSIBLE.
- TEMPORARY GROUND COVER SHALL BE PLANTED OR A FILL TACKIFIER SPREAD OVER EXPOSED AREAS NOT BEING WORKED ON FOR 14 DAYS.
- TEMPORARY EROSION CONTROLS SHOULD NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- ALL MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE ANY SAFETY MOVING OPERATIONS ARE INITIATED.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CHECKED AND UPDATED, AS NEEDED, AT THE END OF EACH WORK WEEK AND IMMEDIATELY FOLLOWING EACH RAIN EVENT.

### INSTALLATION AND MAINTENANCE GUIDELINES:

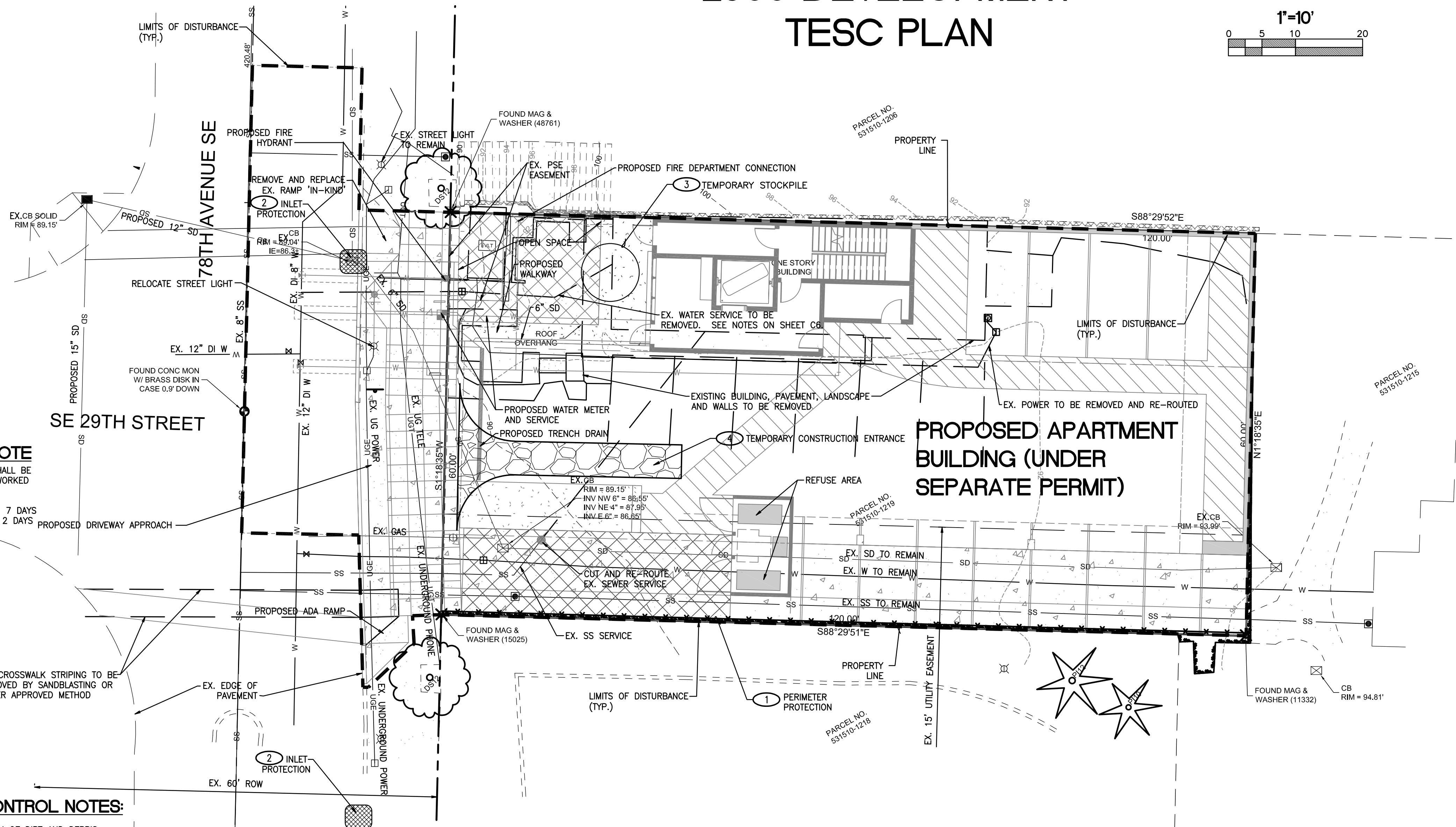
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLION IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE CATCH BASIN FILTER BAG SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.



CATCH BASIN FILTER BAG

NOT TO SCALE



### SOIL STABILIZATION NOTE

ANY AREAS UNWORKED EXPOSED SOILS SHALL BE STABILIZED WITH SEED AND MULCH IF UNWORKED AS FOLLOWS:

- DRY SEASON: MAY 1 - SEPTEMBER 30: 7 DAYS
- WET SEASON: OCTOBER 1 - APRIL 30: 2 DAYS

### HAULING/SILTATION CONTROL NOTES:

- PUBLIC STREETS ARE TO BE KEPT CLEAN OF DIRT AND DEBRIS GENERATED BY WORK. CLEANUP SHALL BE BY SWEEPING AND/OR OTHER APPROVED METHODS ON A DAILY BASIS.
- CONTRACTOR SHALL PROVIDE SILT BAGS OR OTHER SILTATION CONTROL MEASURES ON EXISTING CATCH BASIN(S) IN PROXIMITY OF WORK WHICH HAVE POTENTIAL TO RECEIVE SURFACE RUNOFF FROM THE WORK AREA OR ANY LOCATIONS THAT MAY BE DESIGNATED BY THE AUTHORITY HAVING JURISDICTION DURING THE COURSE OF THE WORK.
- EFFORTS SHALL BE MADE DURING CONSTRUCTION ACTIVITIES TO STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE EROSION.
- ITEMS FOR DEMOLITION ARE DEPICTED PER DESIGN DRAWINGS. CONTRACTOR TO VERIFY AND LOCATE ANY ITEMS FOR DEMOLITION PRIOR TO START OF CONSTRUCTION AND NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR TO REVIEW AS-BUILT DRAWINGS IN PROJECT AREA AND REMOVE AND/OR RELOCATE ANY SITE APPURTENANCES IN PROJECT AREA THAT IMPACT THE PROJECT.

### GRADING QUANTITIES

APPROX. CUT = 200 CUBIC YARDS  
APPROX. FILL = 200 CUBIC YARDS

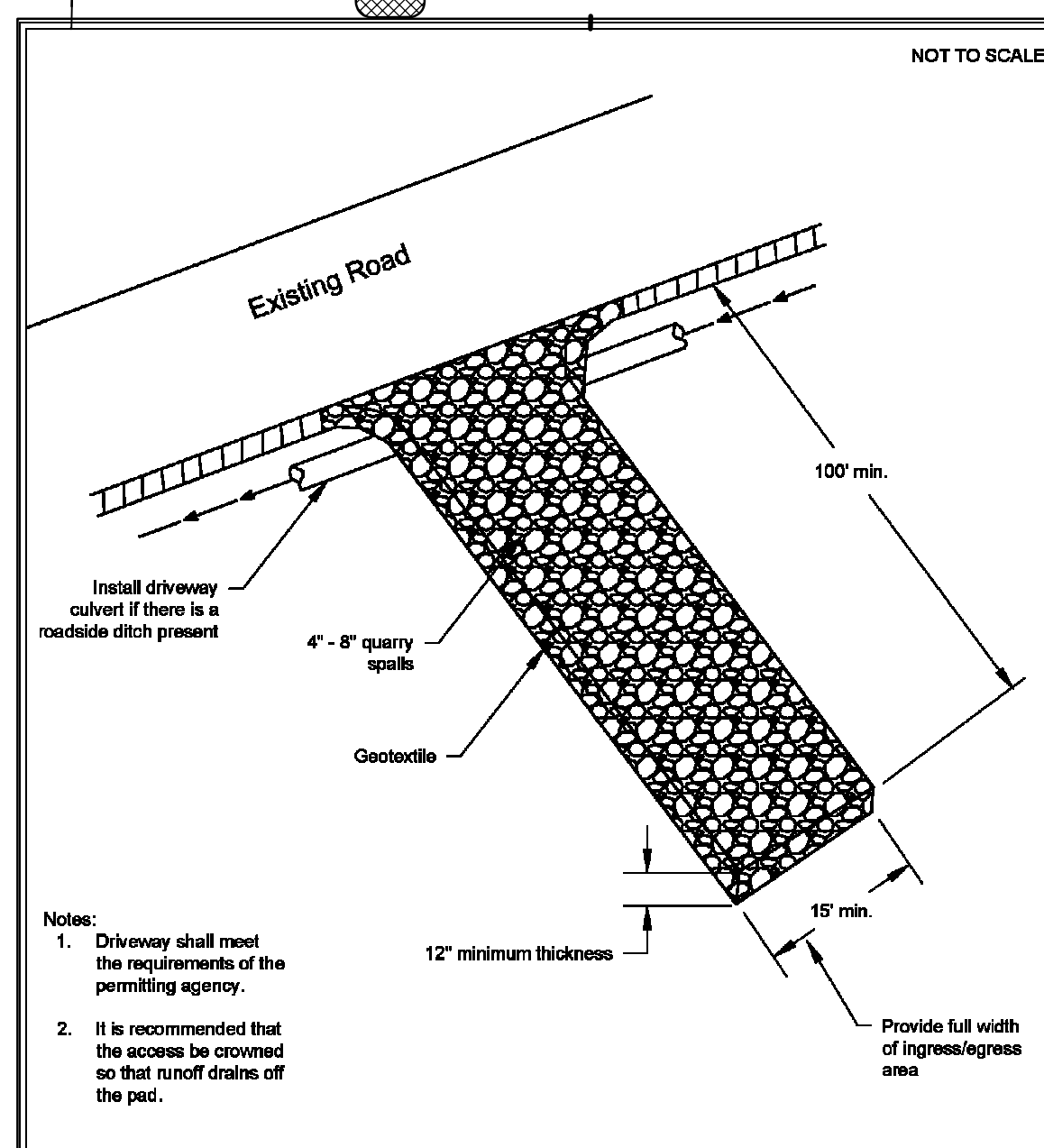
GRADING QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. ACTUAL GRADING QUANTITIES SHOULD BE DETERMINED BY CONTRACTOR AFTER REVIEW OF PLANS.



Know what's below.  
Call before you dig.  
Dial 811  
Or Call 1-800-424-5555

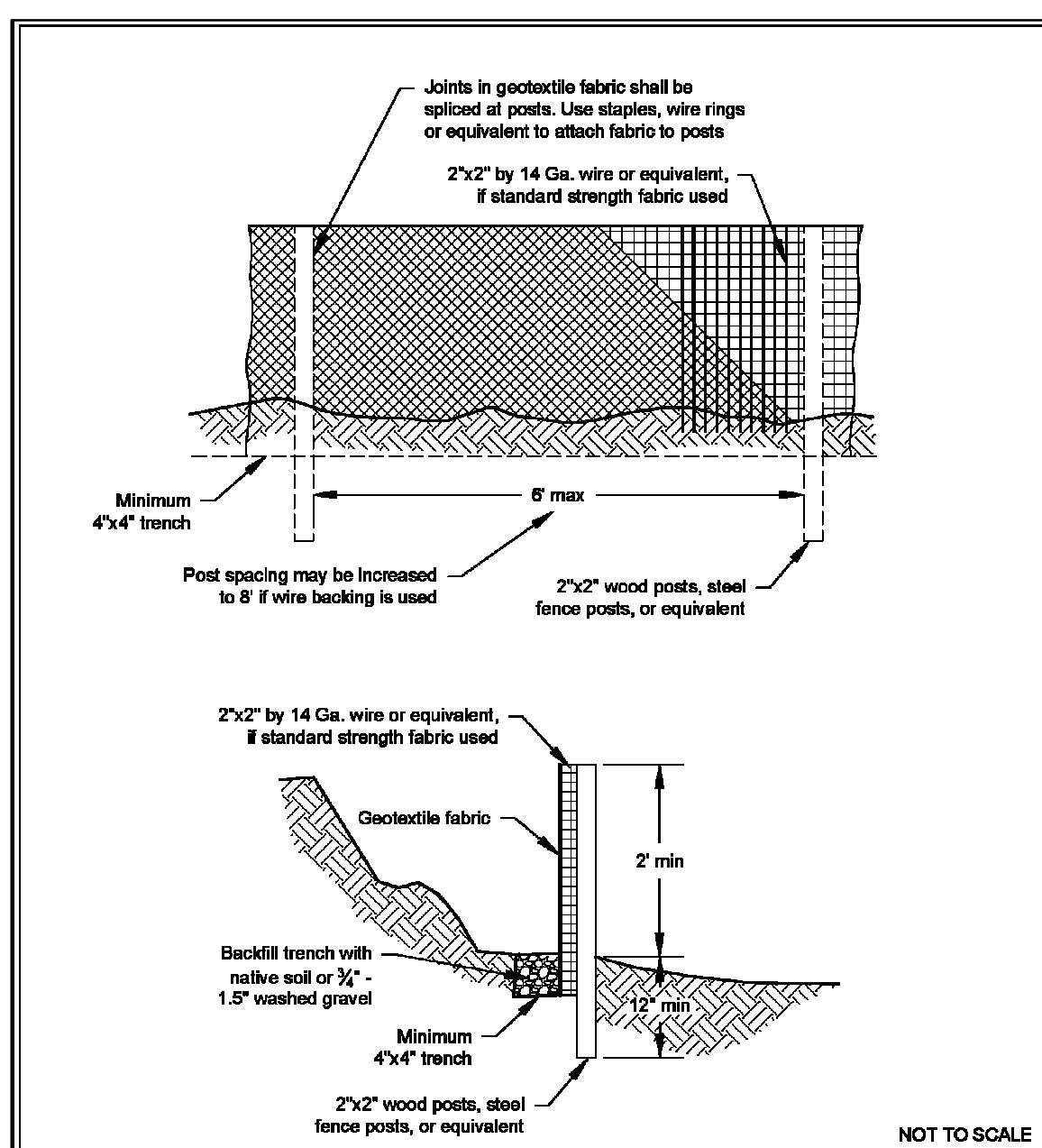
### UTILITY CONFLICT NOTE

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**Stabilized Construction Access**  
Revised June 2018

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**Silt Fence**  
Revised July 2017

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For: **2900 DEVELOPMENT LLC**  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

2/27/23  
No. 1  
Date  
By: CMT  
CMT  
Appr. CMT  
Revised PER CITY COMMENTS  
Revision

Chris M. Tebaldi  
Professional Engineer  
43524  
2/27/23

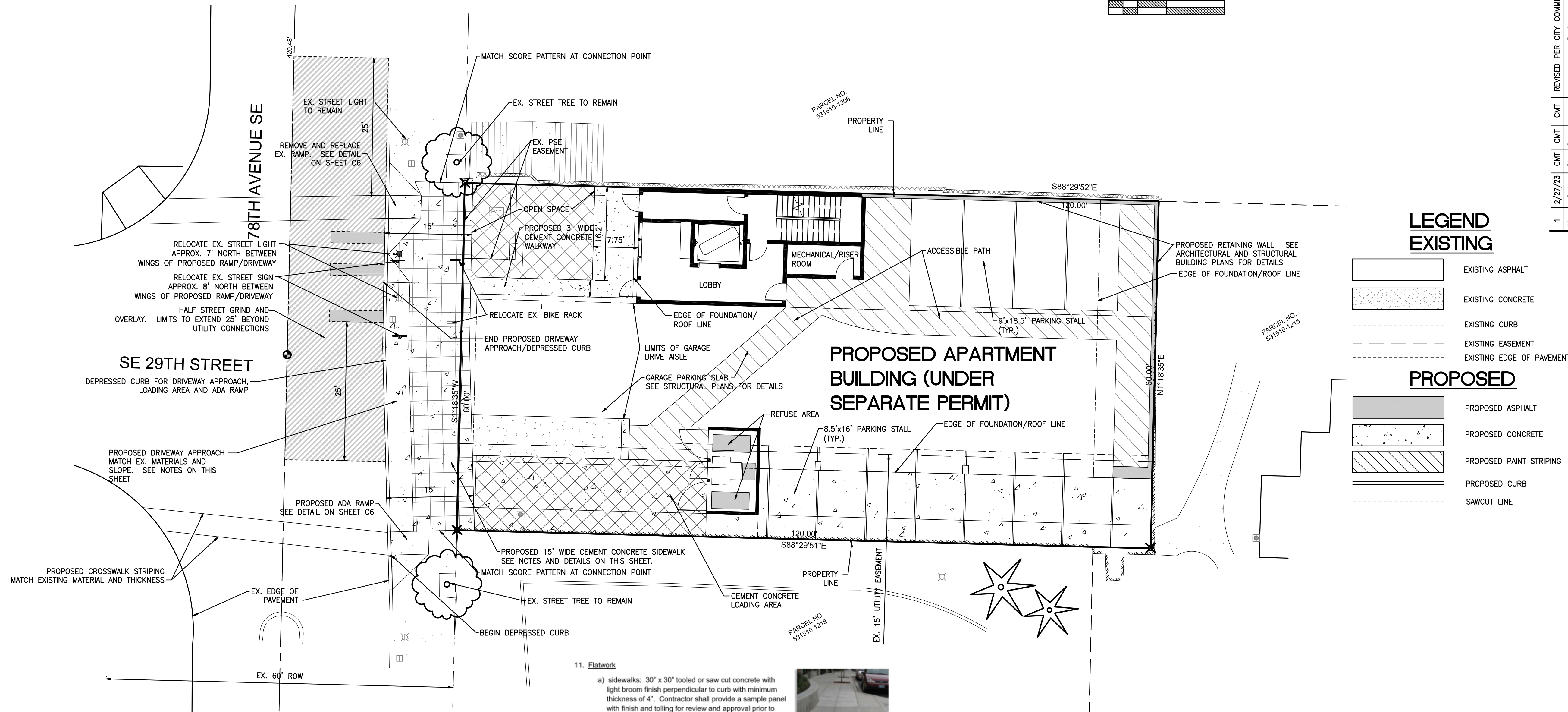
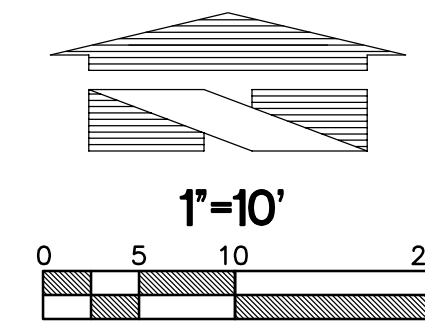
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Drawn: CMT  
Checked: CMT  
Approved: CMT  
Date: 6/10/22

4625 - 126TH AVENUE EAST  
EDGEWOOD, WA 98372  
(206) 450-5096  
TEBALDIENGINEERING.COM

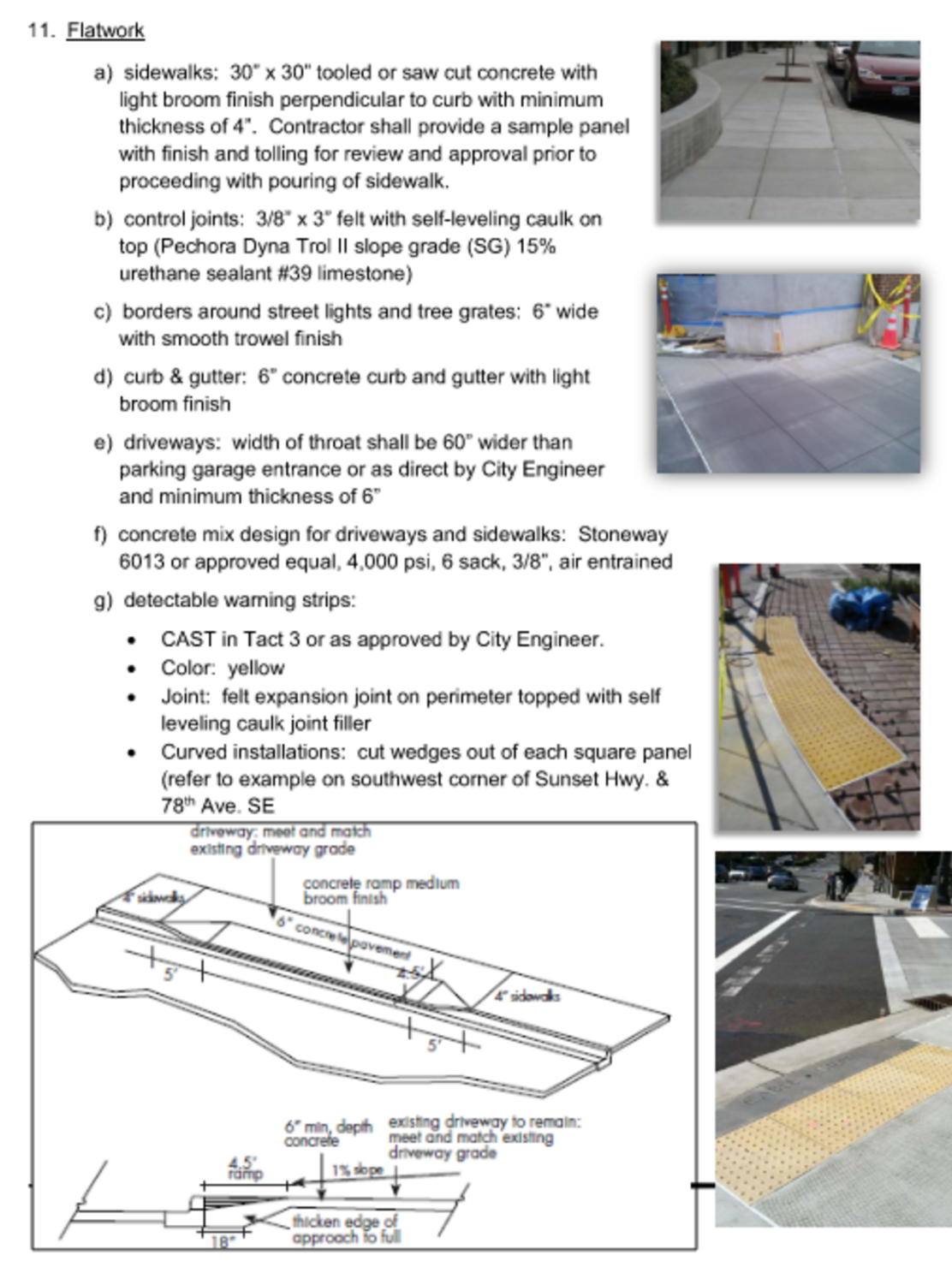
Job Number: **2900**  
Sheet: **C2** of **7**

# 2900 DEVELOPMENT CIVIL SITE PLAN



### LEGEND

EXISTING	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING CURB
[Pattern]	EXISTING EASEMENT
[Pattern]	EXISTING EDGE OF PAVEMENT
PROPOSED	
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED PAINT STRIPING
[Pattern]	PROPOSED CURB
[Pattern]	SAWCUT LINE



**SIDEWALK AND DRIVEWAY DETAILS**  
NOT TO SCALE

**811** Know what's below.  
Call before you dig.  
Dial 811  
Or Call 1-800-424-5555

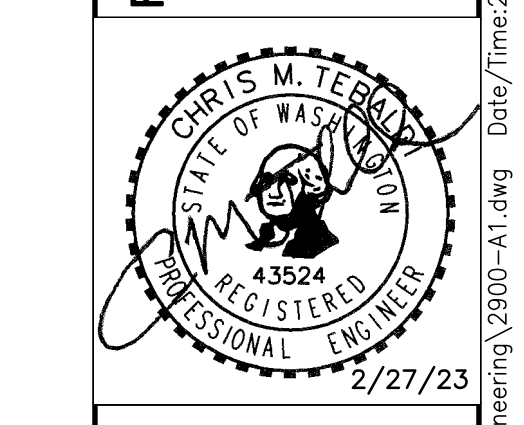
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No.	Date	By	Appr.	Revised Per City Comments
1	2/27/23	CMT	CMT	

Revision

**Title:**  
CIVIL SITE PLAN  
2900 DEVELOPMENT  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

**For:**  
2900 DEVELOPMENT LLC  
2900 78TH AVE SE  
MERCER ISLAND, WA 98040

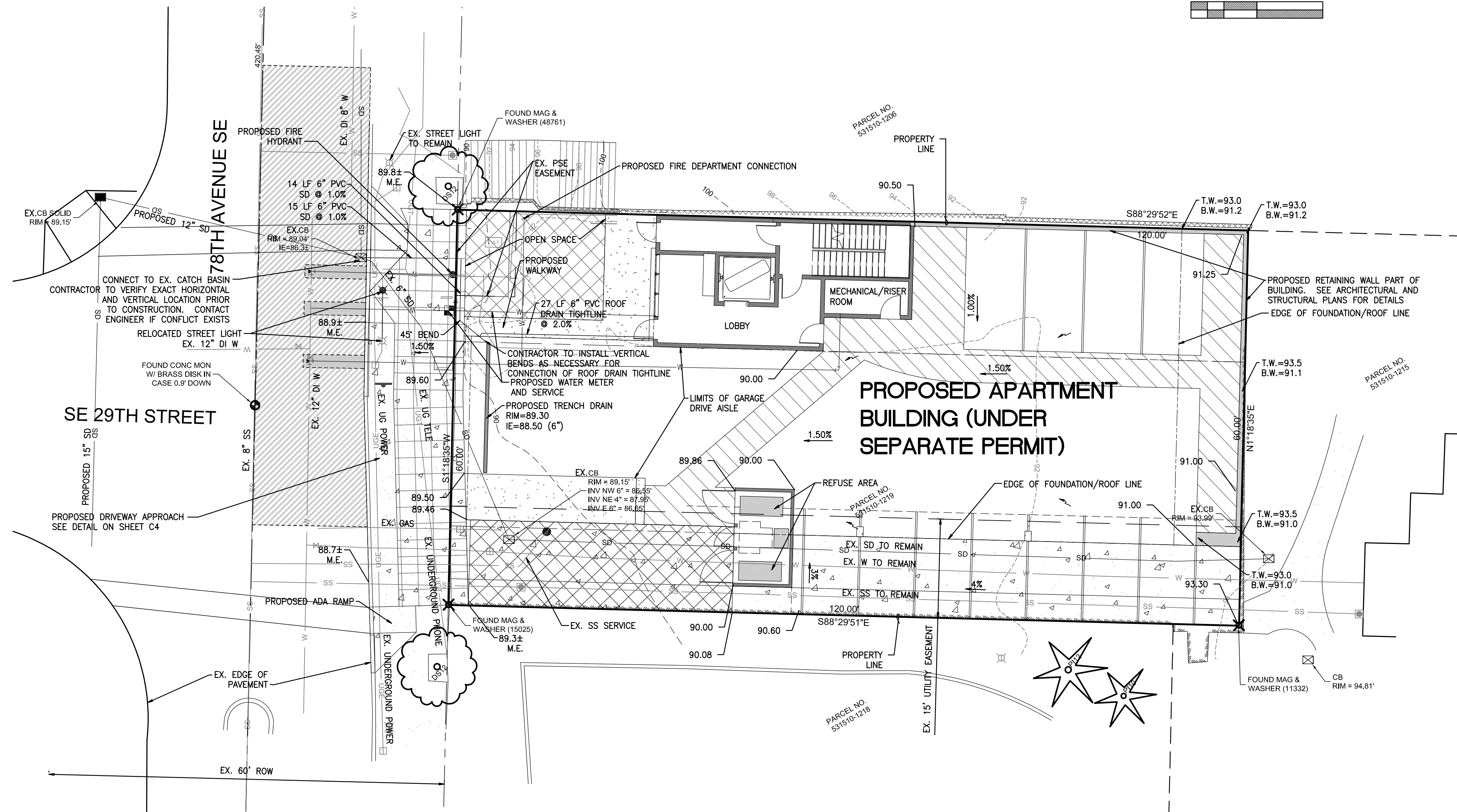
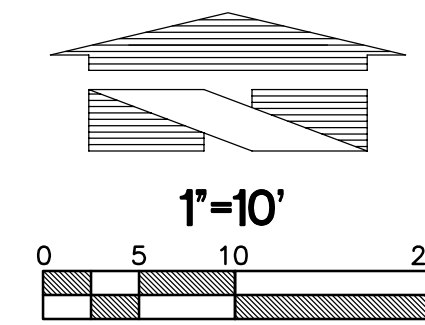


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Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	6/10/22
Date		

4625 - 126TH AVENUE EAST  
EDGEWOOD, WA 98372  
(206) 450-5096  
TEBALDIENGINEERING.COM

Job Number: 2900  
Sheet: C8 of 7

A PORTION OF SECTION 12, TOWNSHIP 24N, RANGE 4E, W.M., KING COUNTY  
**2900 DEVELOPMENT**  
**GRADING AND DRAINAGE PLAN**



**LEGEND**  
**EXISTING**

- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND POWER
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

**PROPOSED**

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED PAINT STRIPING
- PROPOSED CURB
- SAWCUT LINE
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- FLOW PATH
- PROPOSED RIDGELINE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED GRADING SLOPE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT

**UTILITY SEPARATION NOTE:**

PROVIDE A MINIMUM OF 42" OF COVER FOR ALL WATER SERVICE LINES.

PROVIDE MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND SEWER SERVICE LINES.

PROVIDE MINIMUM 0.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND STORM DRAIN LINES.

CONTRACTOR SHALL POT-HOLE EX. UTILITIES PRIOR TO CONSTRUCTION TO ENSURE PROPER SEPARATION CAN BE MET.

**NOTES:**

- ALL GRADING AND PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAD) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO INSTALL FOOTING DRAIN AND CONNECT TO DOWNSTREAM STORM DRAINAGE SYSTEM.

No.	Date	By	CMT	Appr.	Revised Per City Comments
1	2/27/23				

**Title:**  
**GRADING AND DRAINAGE PLAN**  
**2900 DEVELOPMENT**  
**2900 78TH AVE SE**  
**MERCER ISLAND, WA 98040**

**For:**  
**2900 DEVELOPMENT LLC**  
**2900 78TH AVE SE**  
**MERCER ISLAND, WA 98040**



Scale:	Horizontal	Vertical
	1"=10'	N/A
Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date	6/10/22	

4625 - 126TH AVENUE EAST  
 EDGEWOOD, WA 98372  
 (206) 450-5096  
 TEBALDIENGINEERING.COM

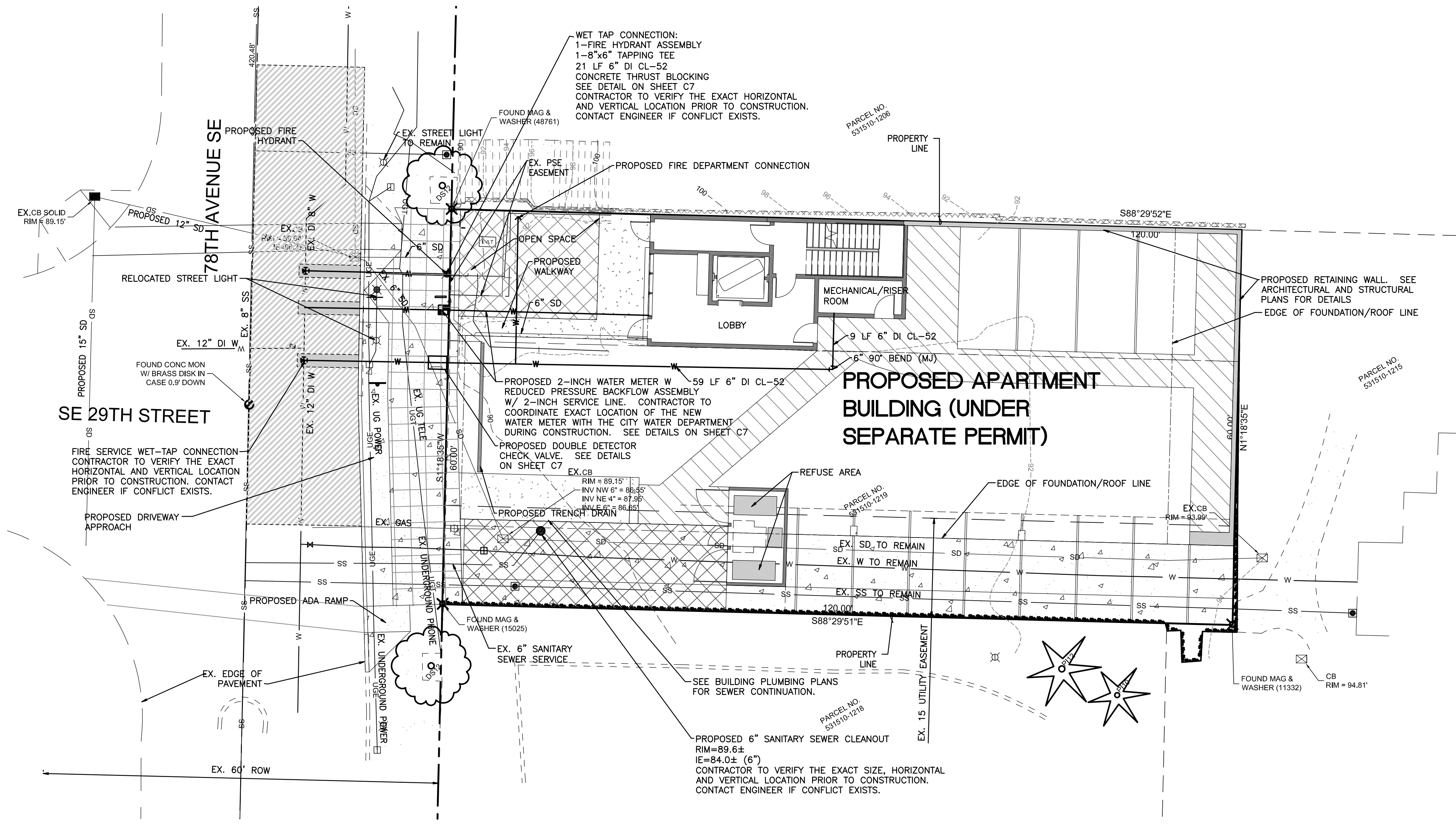
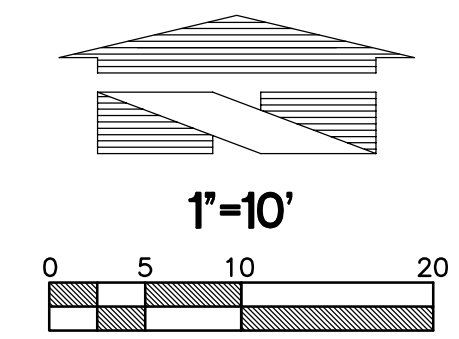


Job Number  
**2900**  
 Sheet  
**C4** of **7**

**811**  
 Know what's below.  
 Call before you dig.  
 Dial 811  
 Or Call 1-800-424-5555

**UTILITY CONFLICT NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

A PORTION OF SECTION 12, TOWNSHIP 24N, RANGE 4E, W.M., KING COUNTY  
**2900 DEVELOPMENT**  
**WATER AND SANITARY SEWER PLAN**



**LEGEND**  
**EXISTING**

- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND POWER
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

**PROPOSED**

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED PAINT STRIPING
- PROPOSED CURB
- SAWCUT LINE
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- FLOW PATH
- PROPOSED RIDGELINE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED GRADING SLOPE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT

**UTILITY SEPARATION NOTE:**

PROVIDE A MINIMUM OF 42" OF COVER FOR ALL WATER SERVICE LINES.

PROVIDE MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND SEWER SERVICE LINES.

PROVIDE MINIMUM 0.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND STORM DRAIN LINES.

CONTRACTOR SHALL POT-HOLE EX. UTILITIES PRIOR TO CONSTRUCTION TO ENSURE PROPER SEPARATION CAN BE MET.



Know what's below.  
 Call before you dig.  
 Dial 811  
 (1-800-424-5555)

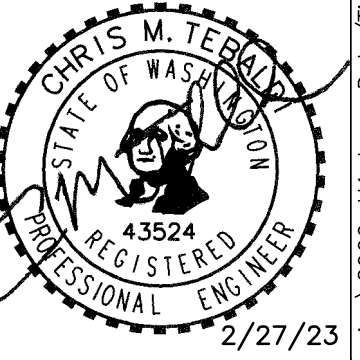
**UTILITY CONFLICT NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY TEBALDI ENGINEERING, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

No.	Date	By	Appr.	Revised Per City Comments
1	2/27/23	CMT	CMT	

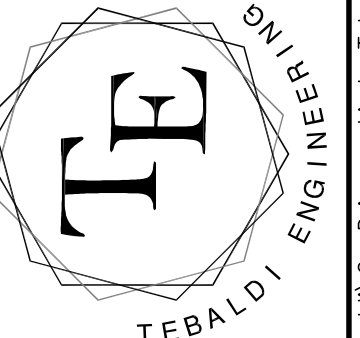
**Title:**  
 WATER AND SANITARY SEWER PLAN  
 2900 DEVELOPMENT  
 2900 78TH AVE SE  
 MERCER ISLAND, WA 98040

**For:**  
 2900 DEVELOPMENT LLC  
 2900 78TH AVE SE  
 MERCER ISLAND, WA 98040



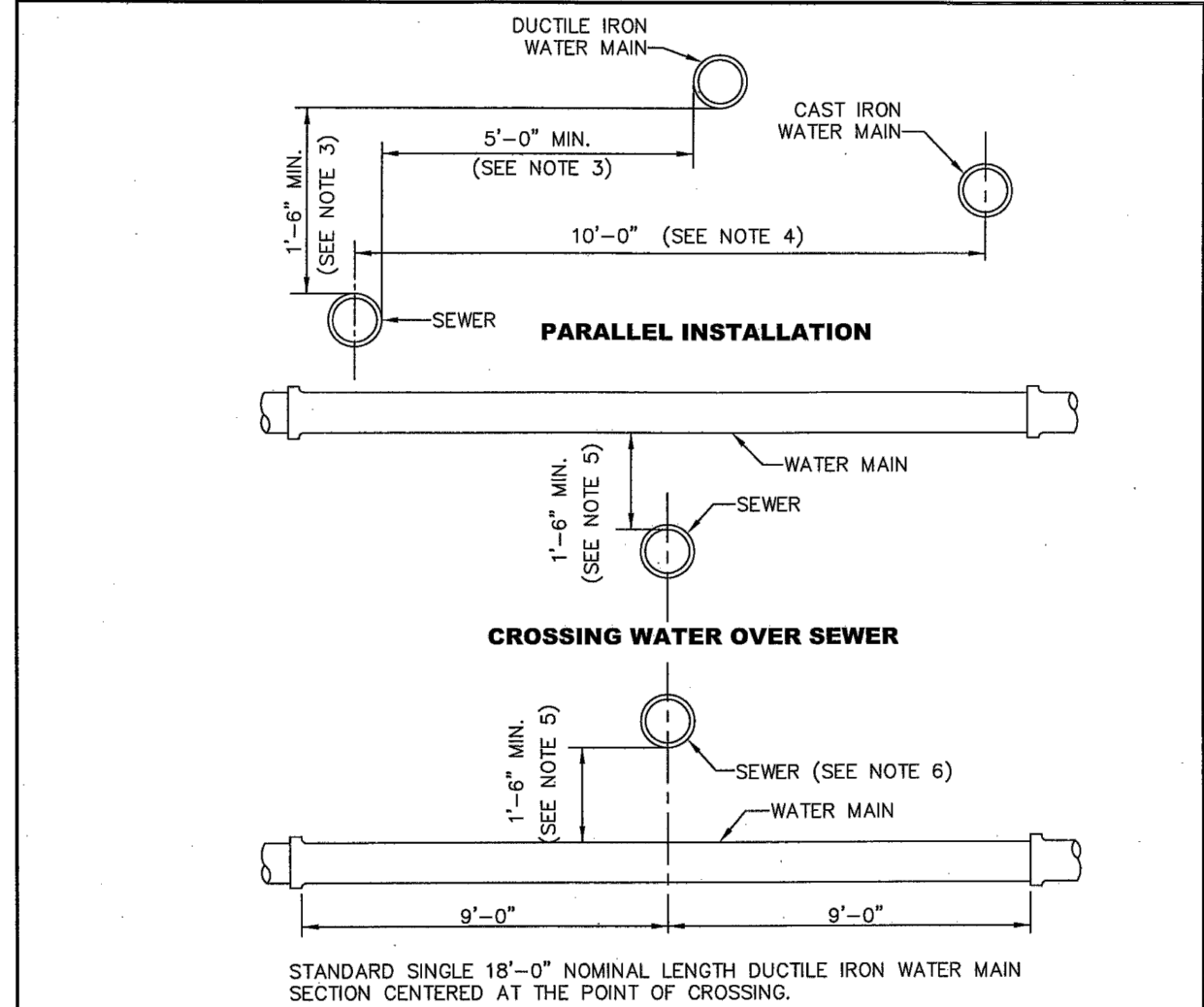
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Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date	6/10/22	

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Job Number  
**2900**  
 Sheet  
**C5** of **7**

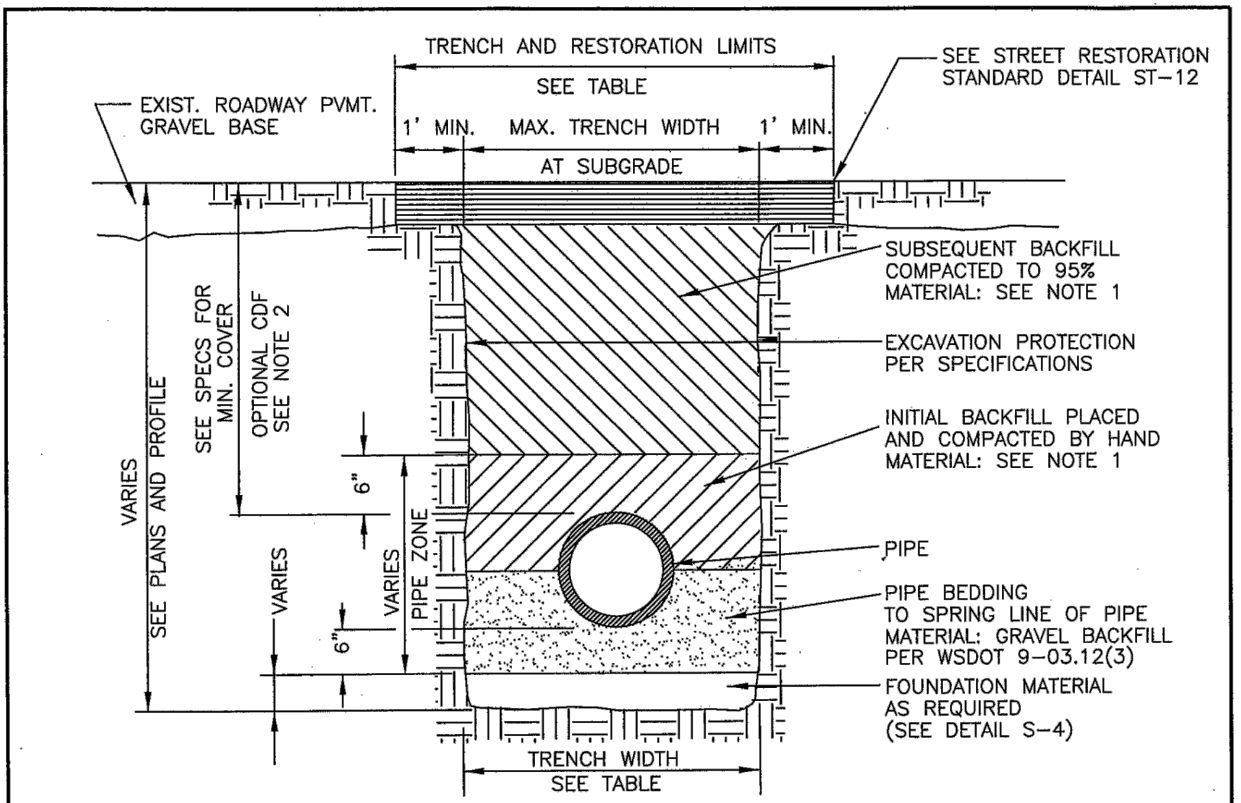
# NOTES AND DETAILS



**NOTES**

- ANY EXCEPTIONS TO THE STANDARD PLAN MAY BE APPROVED BY THE CITY ENGINEER.
- "SEWER" INCLUDES SANITARY SEWER, COMBINED SEWER AND SIDE SEWER.
- WHERE MINIMUM CLEARANCES CANNOT BE MET, SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS INCLUDING WATER MAIN PRESSURE TESTING REQUIREMENTS.
- NO VERTICAL CLEARANCE REQUIRED.
- IF VERTICAL SEPARATION CANNOT BE MET, WATER MAIN SHALL BE A STANDARD SINGLE 18'-0" NOMINAL LENGTH DUCTILE IRON WATER MAIN SECTION CENTERED AT THE POINT OF CROSSING.
- SEWER SHALL HAVE ADEQUATE FOUNDATION SUPPORT TO PREVENT SETTLEMENT ON THE WATER MAIN AN TO PREVENT DEFLECTION OF WATER MAIN JOINTS.
- CROSSINGS AT AN ANGLE BETWEEN 90° AND 45° MAY OCCUR BETWEEN 9'-0" AND 6'-0" OF WATER MAIN JOINT FOR CROSSINGS LESS THAN 45°, SEE NOTE 1.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**WATER & SEWER CLEARANCES AND MATERIAL REQUIREMENTS**  
 6-5-2009 NO SCALE **S-2**  
 APPROVED

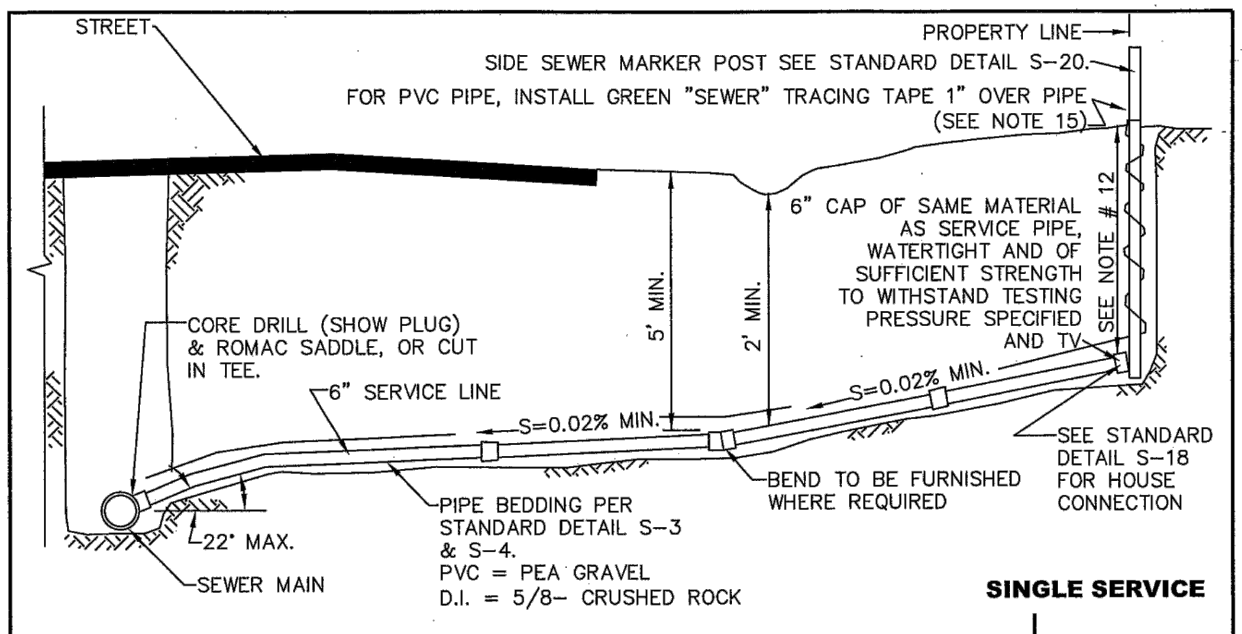


**NOTES**

- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.8(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS.
- CDF FOR BACKFILL MAY BE REQUIRED BY CITY ENGINEER WHEN PROPER COMPACTION AROUND EXISTING UTILITIES MAY NOT BE POSSIBLE. CDF SHALL BE PER WSDOT 2-09.3(1)E.
- SEE S-4 FOR PIPE BEDDING DETAILS.

TRENCH WIDTH			
PIPE SIZE	PIPE ZONE	MAX. TRENCH WIDTH	MAX. RESTORATION WIDTH AT SURFACE
4" OR 6"	2'-0"	2'-2"	6'-0"
8"	2'-4"	4'-0"	8'-0"
10"	2'-6"	4'-0"	8'-0"
12"	2'-8"	4'-6"	8'-6"

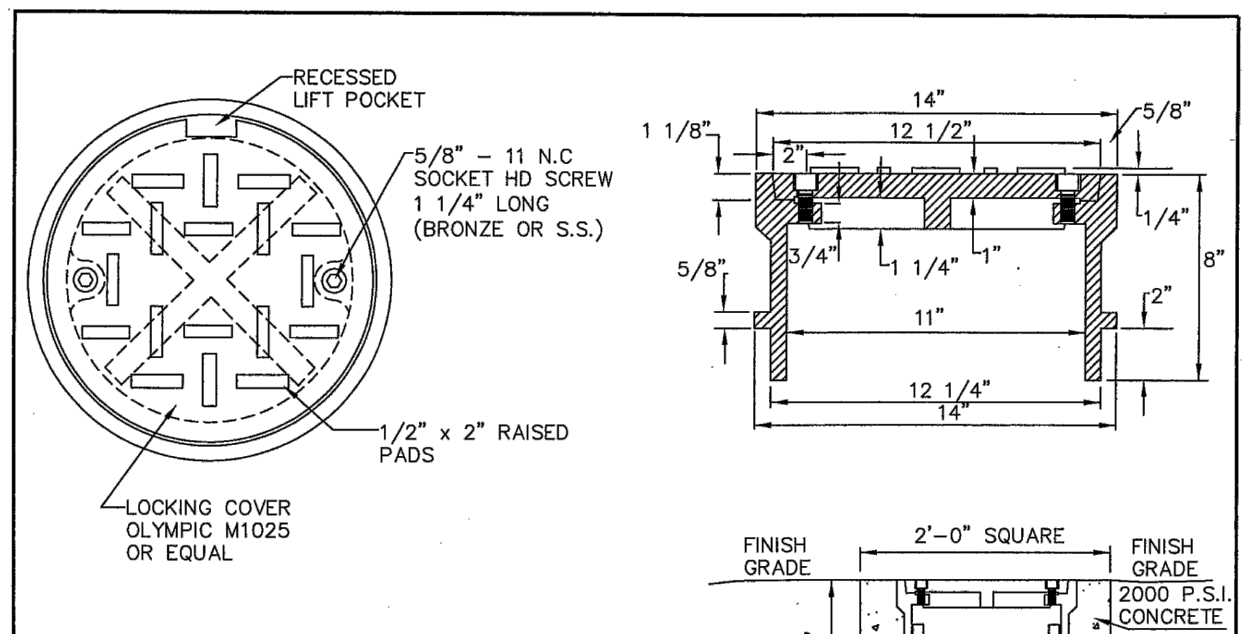
**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**TRENCH DETAIL**  
 6-5-2009 NO SCALE **S-3**  
 APPROVED



**NOTES**

- ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
- CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
- RIGHT-OF-WAY RESTORATION SHALL MATCH OR EXCEED THE ORIGINAL CONDITION AND IN ACCORDANCE WITH CITY STANDARDS.
- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.8(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS OR MAY BE CDF WHEN DIRECTED BY THE CITY ENGINEER (SEE DETAIL S-3).
- LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
- 6" SEWER PIPE MINIMUM SIZE IN RIGHT-OF-WAY, AND ELSEWHERE AS DIRECTED BY ENGINEER, 2% MIN. GRADE (UNLESS DIRECTED BY ENGINEER), 50% MAXIMUM.
- ALL A.C. MAINS TO BE TAPPED IN ACCORDANCE WITH WAC 296-62-00775 STATE/FEDERAL GUIDELINES AND CERTIFICATION.
- CONSTRUCTION IN RIGHT-OF-WAY MUST BE DONE BY A REGISTERED AND LICENSED CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY SEWER ORDINANCES.
- WHERE CITY ENGINEER ALLOWS SIDE SEWER CONNECTIONS TO MANHOLE, INVERT OF SIDE SEWER SHALL BE EQUAL TO OR ABOVE MAIN SEWER CROWN, BUT NOT TO EXCEED 18" ABOVE INVERT OF MAIN SEWER.
- UNLESS OTHERWISE INDICATED ON PLAN, SIDE SEWER SHALL BE MIN. OF 6" DEEP AT PROPERTY LINE, OR 5" LOWER THAN THE LOWEST ELEVATION, WHICH EVER IS LOWER.
- ALL PIPE MATERIALS NOT TO STANDARDS WILL BE ABANDONED AND REPLACED WITH DUCTILE IRON OR PVC PIPE OF THE SAME SIZE.
- IF A BUILDING SEWER IS TO SERVE MORE THAN ONE PROPERTY, BY JOINT AGREEMENT OF THE OWNERS, AN APPROVED EASEMENT INSURING THAT ALL PROPERTIES INVOLVED SHALL HAVE PERPETUAL USE OF THE SIDE SEWER, HAVING PROVISIONS FOR OPERATION, MAINTENANCE, RECONSTRUCTION AND FOR ACCESS FOR REPAIR PURPOSES, SHALL BE SIGNED BY THE OWNERS. THIS EASEMENT SHALL BE RECORDED WITH THE COUNTY AUDITOR. A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE COMMON LINE AND A SIX INCH CLEANOUT EXTENDING TO WITHIN 12 INCHES OF THE GROUND SURFACE SHALL BE PROVIDED AT THE WYE WHERE THE UPPER GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE INSTALLED ON SERVICE LINES UPSTREAM OF THE CONNECTION TO THE SHARED SIDE SEWER.
- THE CITY ENGINEER MAY REQUIRE BACKWATER VALVES ON SIDE SEWERS WHEN DEEMED NECESSARY. THE EFFECTIVE OPERATION AND MAINTENANCE OF ANY BACKWATER VALVE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SIDE SEWER.
- UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE. ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

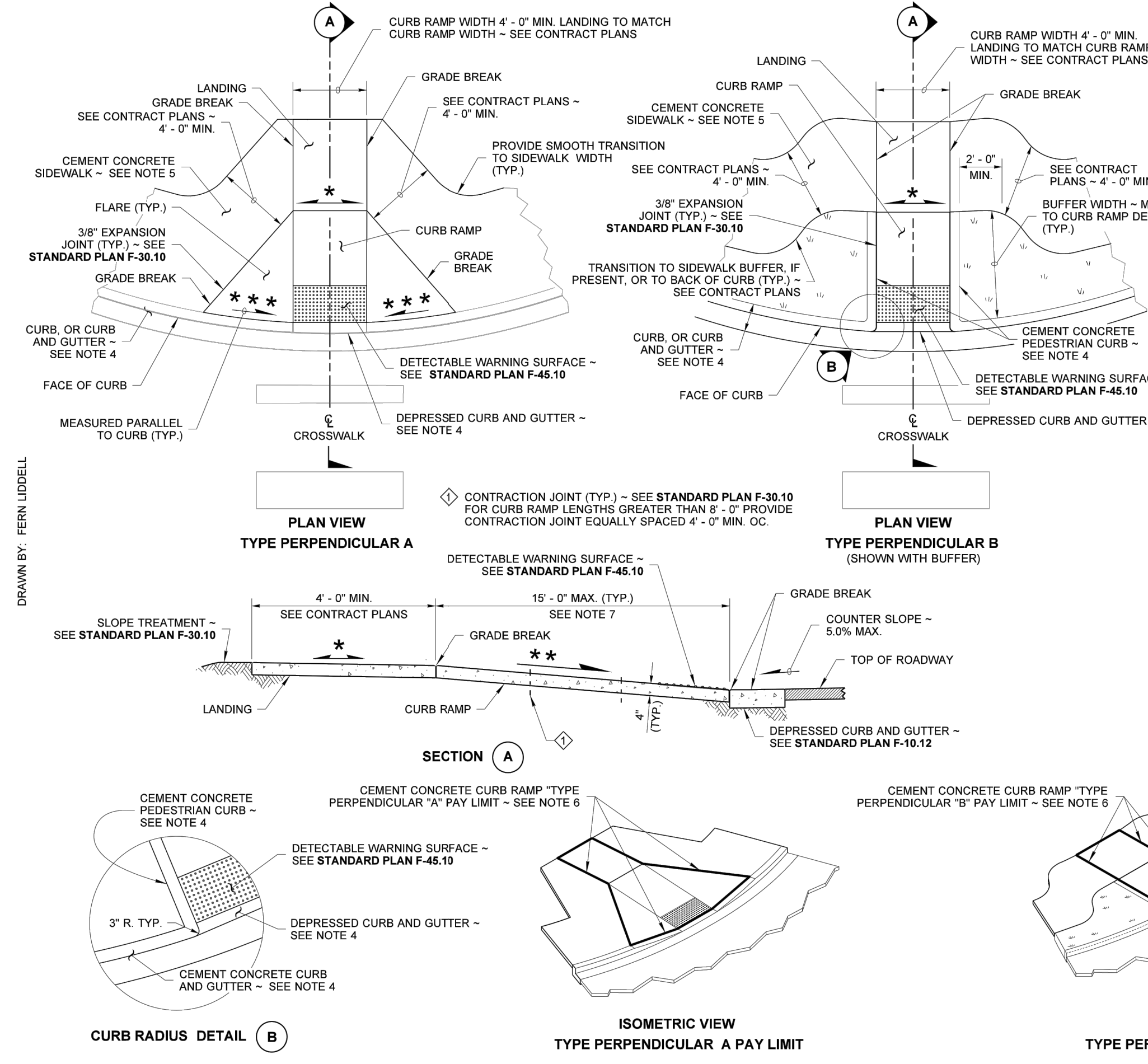
**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**SIDE SEWER CONNECTION AND STUB**  
 6-5-2009 NO SCALE **S-17**  
 APPROVED



**NOTES**

- SEE S-27 FOR INSTALLATION DETAILS.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**CLEAN OUT DETAIL**  
 6-5-2009 NO SCALE **S-19**  
 APPROVED



**NOTES**

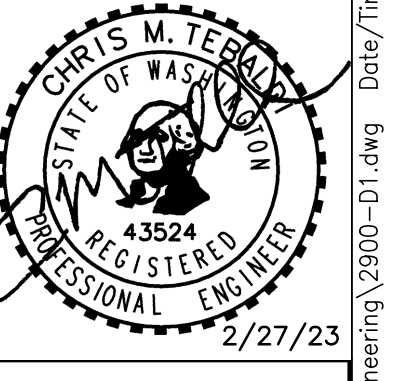
- At marked crosswalks, the connection between the curb ramp and the roadway must be contained within the width of the crosswalk markings.
- Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landing, or in front of the Curb Ramp where it connects to the roadway.
- See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
- The Bid Item "Cement Concrete Curb Ramp Type \_\_\_" does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- The Curb Ramp length is not required to exceed 15 feet (unless shown otherwise in the Contract Plans). When applying the 15-foot max. length, the running slope of the Curb Ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the landing over a horizontal distance of 15 feet. Do not include the abutting landing in the 15-foot max. measurement.
- Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
- Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp or Landing and there will not be material to retain.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**PERPENDICULAR CURB RAMP**  
**STANDARD PLAN F-40.15-04**  
 SHEET 1 OF 1 SHEET  
 APPROVED FOR PUBLICATION  
 Date: 2020.09.25  
 14:44:37 -0700  
 STATE ENGINEER  
 Washington State Department of Transportation

1 2/27/23 CMT CMT REVISED PER CITY COMMENTS  
 No. Date By Ckd. Appr. Revision

**NOTES AND DETAILS**  
**2900 DEVELOPMENT**  
**2900 78TH AVE SE**  
**MERCER ISLAND, WA 98040**

**2900 DEVELOPMENT LLC**  
**2900 78TH AVE SE**  
**MERCER ISLAND, WA 98040**



Scale: Horizontal N/A Vertical N/A  
 Designed: CMT  
 Drawn: CMT  
 Checked: CMT  
 Approved: CMT  
 Date: 6/10/22

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 EDGEWOOD, WA 98372  
 (206) 450-5096  
 TEBALDIENGINEERING.COM  
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**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**SEWER**  
**COMMERCIAL/MULTI FAMILY SIDE SEWER DISCONNECTION & RECONNECTION**  
 6-5-2009 NO SCALE **S-22A**  
 APPROVED

Job Number: **2900**  
 Sheet: **C6** of **7**

A PORTION OF SECTION 12, TOWNSHIP 24N, RANGE 4E, W.M., KING COUNTY  
**NOTES AND DETAILS**

KEY NO.	QUANTITY		MATERIAL
	4"	6" & 8"	
1	1	-	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	1	1	LW PRODUCTS ALUMINUM, SINGLE DOOR, H-20 OR EQUAL.
2	1	1	FABRICATED BOLT-ON LADDER. USE THREE SETS OF MOUNTING BRACKETS ATTACHED TO VAULT WALL WITH 5/8" DIAMETER CORROSION RESISTANT ANCHOR BOLTS (HILT KWIK BOLT, PHILIPS RED HEAD OR APPROVED EQUAL). ALL STEEL FOR LADDER SHALL BE A-36, OSHA APPROVED HOT DIPPED GALVANIZED AFTER FABRICATION. SEE DRAWING NO. W-27C.
3	1	-	4" DIAMETER FLEXIBLE FLANGED COUPLING ADAPTER ROCKWELL TYPE 912
3	-	1	8" OR 6" DIAMETER FLEXIBLE FLANGED COUPLING ADAPTER ROCKWELL TYPE 912
4	1	-	4" O.S. & Y. GATE VALVE U.L. APPROVED
4	-	1	8" OR 6" O.S. & Y. GATE VALVE U.L. APPROVED
5	1	-	4" D.S.H.S. APPROVED DOUBLE CHECK VALVE ASSEMBLY, INCLUDING 2 O.S. & Y. GATE VALVES, TEST COCK, 3/4" DOUBLE CHECK VALVE, SINGLE OR MULTI JET METER (TO READ IN CUBIC FEET) AND 3/4" BRASS OR COPPER BYPASS WITH IN LINE VALVE.
5	-	1	8" OR 6" D.S.H.S. APPROVED DOUBLE CHECK VALVE ASSEMBLY, INCLUDING 2 O.S. & Y. GATE VALVES, TEST COCK, 3/4" DOUBLE CHECK VALVE, SINGLE OR MULTI JET METER (TO READ IN CUBIC FEET) AND 3/4" BRASS OR COPPER BYPASS WITH IN LINE VALVES.
6	1	1	3/4" DIAMETER TEST COCKS
7	2	2	ADJUSTABLE PIPE SADDLE SUPPORT (IT GRINDEL FIG 264 OR APPROVED EQUAL). ATTACH TO VAULT FLOOR WITH FOUR 1/2" DIAMETER CORROSION RESISTANT ANCHOR BOLTS (HILT KWIK BOLT, PHILIPS RED HEAD OR APPROVED EQUAL). SEE DRAWING NO. W-27C.
8	-	-	PEA GRAVEL BACKFILL FOR PIPE BEDDING UNDER PRECAST CONCRETE UTILITY VAULT.
9	-	-	4" DIAMETER UNDERDRAIN, CONNECT TO DRAINAGE SYSTEM, SCHEDULE 200 PERFORATED PVC WITH GALVANIZED SCREEN EACH END.
10	-	-	4" DIAMETER CL. 52 DUCTILE IRON PIPE
10	-	-	6" OR 8" DIAMETER CL. 52 DUCTILE IRON PIPE
11	1	1	3/4" GATE VALVE U.L. LISTED
12	1	1	5/8" x 3/4" ACCULINK MULTINET MASTER METER WITH SENSUS COMPATIBLE MXU READ IN CU. FT. MULTI-JET
13	1	1	3/4" DOUBLE CHECK VALVE
14	1	1	SOLID PVC PIPE SUMP DRAIN. SIZE PER MANUFACTURER'S RECOMMENDATION. CONNECT TO DRAINAGE STRUCTURE AS APPROVED
15	1	1	3/4" "Y" STRAINER

**NOTES**  
1. ALL VAULT, BASED AND TOPS TO BE COATED WITH DAMPROOFING.  
2. SIZE DETERMINED ON BASIS OF ACTUAL FIRE DEMAND.  
3. SEE W-19A FOR ADDITIONAL DETAILED MATERIAL NOTES.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
MATERIAL LIST  
**DOUBLE DETECTOR CHECK**  
7-01-2014 NO SCALE **W-19B**  
APPROVED

**GENERAL NOTES**  
A. SEE W-19B FOR MATERIAL LIST.  
B. VALVE ASSEMBLY TO BE CENTERED IN VAULT.  
C. TEE AND GATE VALVE REQUIRED ON MAIN.  
D. WHEN DOUBLE CHECK VALVE ASSEMBLY IS USED IN SAME LINE WITH DOMESTIC BUILDING METER, METERED DETECTOR BYPASS SHALL BE OMITTED.  
E. ASSEMBLY TO BE MAINTAINED BY OWNER AND ANNUAL CERTIFICATION IS REQUIRED.  
F. THE CITY OF MERCER ISLAND MUST TEST AND CERTIFY THE FIRE LINE BEFORE CONNECTION TO THE CITY SYSTEM IS ALLOWED.  
G. FIRELINE SHALL NOT BE PUT INTO SERVICE UNTIL THE DOUBLE CHECK VALVE ASSEMBLY IS APPROVED BY THE CITY.  
H. VAULT PENETRATIONS SHALL BE CORE DRILLED.  
I. A THRUST RING OR APPROVED EQUAL SHALL BE INSTALLED ON INLET SIDE OF PIPE RESTRAINED JOINT.  
J. MATERIALS FOR BY PASS SHALL BE ALL BRASS AND COPPER WITH SWIVEL COUPLINGS BETWEEN SHUT-OFF VALVES FOR REPLACEMENT.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
DOUBLE DETECTOR CHECK VALVE ASSEMBLY  
7-01-2014 NO SCALE **W-19A**  
APPROVED

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
FIRE HYDRANT ASSEMBLY - WET TAP INSTALLATION  
02-23-2021 NO SCALE **W-24A**  
APPROVED

**NOTES:**  
1. 1-5 1/4" M.V.O. HYDRANT WITH 2-2 1/2" N.T.S. M.J. INLET WITH LUGS, BRASS-TO-BRASS SUB-SEAT AND 1-4 1/2" PLUMBER, SEATTLE STANDARD PIPE THREAD WITH 4" STORZ CONNECTOR ITEM NUMBER PH440-00-004/CAP SIZE 4.875-INCH BY 6-INCH.  
2. WET TAP IS ALLOWED ONLY UPON CITY'S APPROVAL. NO SIZE ON SIZE WET TAPS.  
3. NO DOMESTIC CONNECTIONS CAN BE MADE TO THE FIRE HYDRANT RUNS.  
4. ANY FIRE HYDRANT RUN OVER 18 FEET IN LENGTH OF PIPE SHALL HAVE RESTRAINED JOINT GASKETS.  
5. USE ROMA GRIP, OR APPROVED EQUAL, PIPE RESTRAINERS AT VALVE AND HYDRANT BASE.  
6. HYDRANT SHALL BE PAINTED WITH 2 COATS OF FARWEST #250 HIGH GLOSS WHITE PAINT, OR APPROVED EQUAL, APPLIED WITH A PAINT BRUSH. DO NOT APPLY PAINT TO STORZ FITTING, BRASS PORT THREADS, OR BELOW SAFETY FLANGE.  
7. BOLLARDS MAY BE USED TO PROTECT THE HYDRANT ONLY IN PARKING LOTS WHEN NO CURBS ARE PRESENT OR IN EXPOSED AREAS OF PARKING LOTS.  
8. STRAIGHT PIPE TO HYDRANTS FROM MAIN, NO BENDS.  
9. REMOVE CHAINS FROM HYDRANT CAPS.  
10. VALVE AND HYDRANT MUST BE PLUMB.  
11. THIS DISTANCE IS MEASURED FROM BOTTOM OF SAFETY FLANGE TO LEVEL OF FINISH GRADE BELOW HYDRANT.  
12. TAPPING SLEEVE O.D. (OUTSIDE DIAMETER) RANGE MUST BE COMMENSURATE WITH PIPE O.D.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
TAPPING TEE  
8-12-2009 NO SCALE **W-11**  
APPROVED

**NOTES**  
1. STAINLESS STEEL TAPPING TEES SHALL HAVE FULL CIRCLE SEAL.  
2. STEEL TAPPING TEES SHALL BE EPOXY COATED.  
3. NO SIZE ON SIZE TAPS. TAP SHALL BE AT LEAST 2" SMALLER DIAMETER THAN THE EXISTING MAIN.  
4. TAPPING TEES SHALL BE MULLER OR EQUAL.

**THRUST BLOCKING TABLE**

PIPE SIZE	MINIMUM BEARING AREA AGAINST UNDISTURBED SOIL IN SQUARE FEET				
	A	B	C	D	E
4	2	2	2	2	2
6	4	3	2	2	2
8	7	5	4	2	2
10	11	8	6	3	2
12	16	12	9	5	3
14	22	16	12	6	3
16	29	20	16	8	4

**NOTES**  
1. ROMAC MJ WEDGE ACTION RETAINER MAY BE SUBSTITUTED FOR VERTICAL BLOCKING UPON PRIOR APPROVAL OF THE CITY ENGINEER.  
2. CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.  
3. THRUST BLOCKS SHALL BE CAST-IN-PLACE AND BE CONSTRUCTED WITH CLASS 3000 OR COMMERCIAL CONCRETE.  
4. BLOCK SHALL BEAR AGAINST FITTINGS ONLY AND SHALL BE CLEAR OF BOLTS AND JOINTS TO PERMIT TAKING UP OR DISMANTLING JOINT. WRAP FITTINGS WITH 8 MIL THICK POLYETHYLENE SHEETING PRIOR TO POURING CONCRETE.  
5. BEARING AREA MUST BE ADJUSTED FOR HIGHER INTERNAL PRESSURES AND LOWER SOIL BEARING VALUES.  
6. THE CONTRACTOR SHALL INSTALL BLOCK WHICH IS ADEQUATE TO WITHSTAND FULL TEST PRESSURE AS WELL AS TO CONTINUOUSLY STAND OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
HORIZONTAL CONCRETE BLOCKING  
3-30-2021 NO SCALE **W-5A**  
APPROVED

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
TRENCH SECTION  
3-29-2021 NO SCALE **W-3**  
APPROVED

**NOTES**  
1. CALL IN LOCATES TWO BUSINESS DAYS BEFORE YOU DIG. (1-800-424-5555)  
2. IN RIGHT-OF-WAY USE 100# 5/8 MINUS CRUSHED ROCK FOR BEDDING, PIPE ZONE AND BACKFILL.  
3. FOUNDATION MATERIAL SHALL BE 1 1/2" MINUS CRUSHED ROCK OR OTHER AGGREGATE AS APPROVED BY CITY ENGINEER.  
4. GRIND AND OVERLAY LIMITS SHALL EXTEND A MINIMUM OF 10" PAST THE END OF TRENCH AREAS.  
5. SEAL ALL FINAL PATCHING AND PAVING SEAMS WITH LIQUID ASPHALT, SOUEEGEE OR MOP THE SEALER. COVER WITH DRY SAND.

PIPE SIZE	WIDTH TRENCH		
	PIPE ZONE MAX.	MAX. TRENCH WIDTH AT SUBGRADE	MAX. RESTORATION WIDTH AT SURFACE
WATER SERVICES	2'-0"	2'-0"	4'-0"
4" OR 6"	2'-2"	3'-0"	5'-0"
8"	2'-4"	4'-0"	6'-0"
10"	2'-6"	4'-0"	6'-0"
12"	2'-8"	4'-6"	6'-6"
16"	3'-0"	5'-0"	7'-0"

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
1" & 2" PLASTIC WATER METER BOX  
12-23-2013 NO SCALE **W-18A**  
APPROVED

**NOTES:**  
1. METER BOX SHALL BE MID-STATES PLASTICS AS SHOWN, WITH A DUCTILE IRON LID WITH A FLIP OR HINGED INSPECTION LID TO INCLUDE A 3/4" PICK HOLE.  
2. PLASTIC WATER METER BOXES SHALL NOT BE INSTALLED WITHIN A DRIVING OR PARKING AREA.

WATER SERVICE SIZE	PART NO.	A	B	C	D	E
1"	MSBCF1324-12	13.75"	23.1875"	12"	12.125"	24.5"
2"	MSBC1730-18	17.625"	30.5"	18"	22.875"	35"

**CITY OF MERCER ISLAND**  
**STANDARD DETAILS**  
**WATER**  
2" WATER METER INSTALLATION  
02-05-2021 NO SCALE **W-14A**  
APPROVED

**NOTES**  
1. WATER SERVICES SHALL COMPLY WITH THE REDUCTION OF LEAD IN DRINKING WATER ACT DATED 01/04/2014.  
2. MINIMUM DISTANCE BETWEEN CORP STOPS SHALL BE 18" MINIMUM DISTANCE BETWEEN TAPS, BETWEEN CORP STOP AND PIPE ENDS SHALL BE 24", ALL HORIZONTALLY STAGGERED.  
3. PLASTIC METER BOXES SHALL NOT BE INSTALLED WITHIN ROADWAY, SIDEWALK, OR DRIVEWAYS.  
4. UPON CITY ENGINEER'S APPROVAL, METER BOXES ARE ALLOWED TO BE INSTALLED IN PORTLAND CEMENT CONCRETE PAVEMENT OR SIDEWALK.  
5. WHEN CONNECTING TO EXISTING PRIVATE SUPPLY LINE CONTAINING FERROUS METAL, PROVIDE INSULATING COUPLING (DB SERIES WITH C21 SERIES ADAPTERS) AND PROVIDE REDUCER AS NECESSARY TO MATCH EXISTING PRIVATE SUPPLY LINE DIAMETER.  
6. SERVICE LINE SHALL BE PERPENDICULAR TO THE WATER MAIN AND STRAIGHT TO WATER METER. UNLESS OTHERWISE APPROVED BY CITY ENGINEER, PROVIDE WINDING SNAKE IN THE SERVICE LINE BETWEEN THE MAIN AND WATER METER.  
7. WATER METER SUPPLIED BY CITY.  
8. ALL FITTINGS TO BE BRASS COMPRESSION TYPE, FORD QUICK JOINT OR EQUAL.  
9. NO SERVICE CONNECTIONS BETWEEN BLOW-OFF AND END OF MAIN.

Notes and Details  
2900 Development  
2900 78th Ave SE  
Mercer Island, WA 98040

For: 2900 Development LLC  
2900 78th Ave SE  
Mercer Island, WA 98040

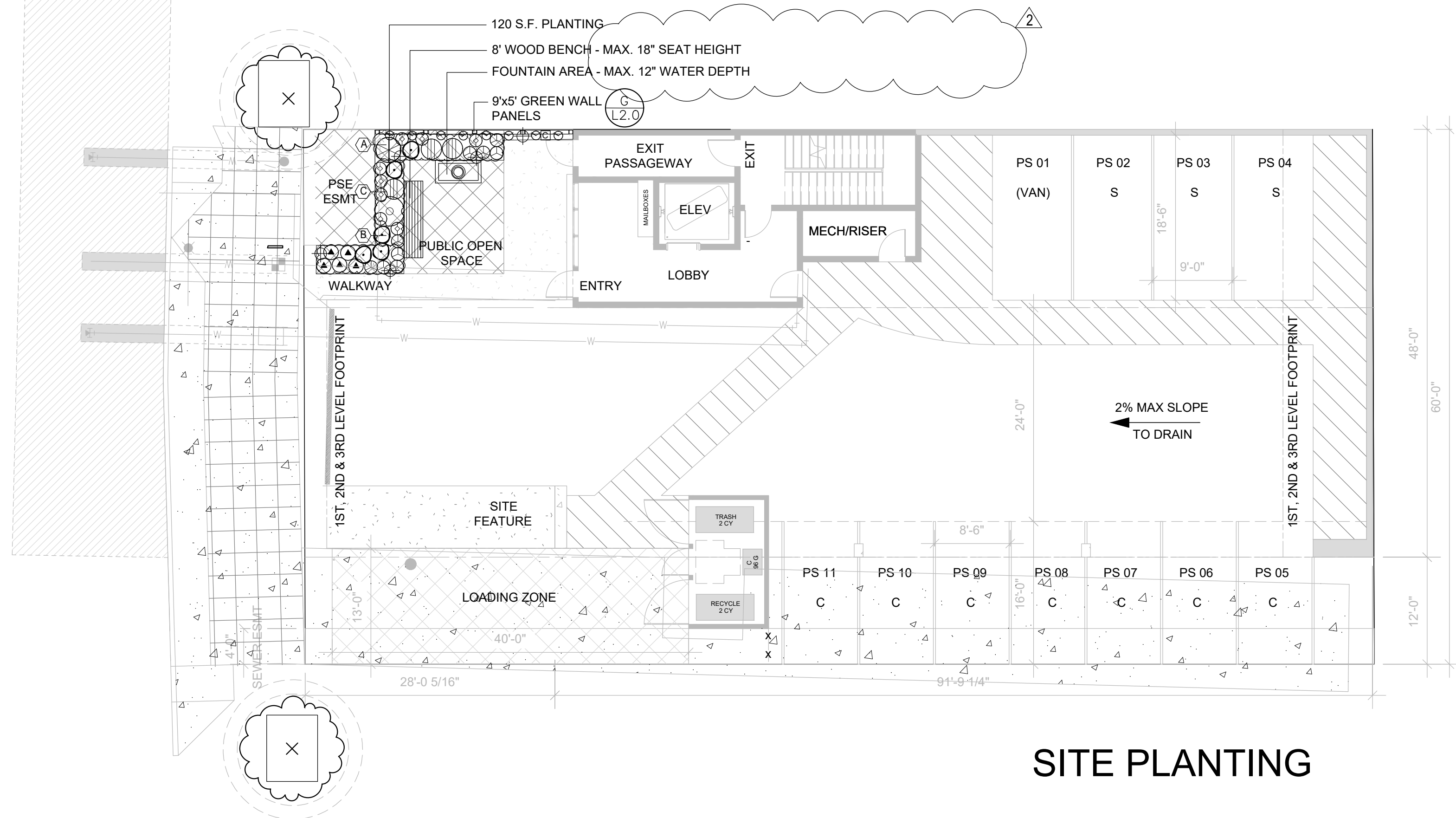
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Designed: CMT  
Drawn: CMT  
Checked: CMT  
Approved: CMT  
Date: 6/10/22

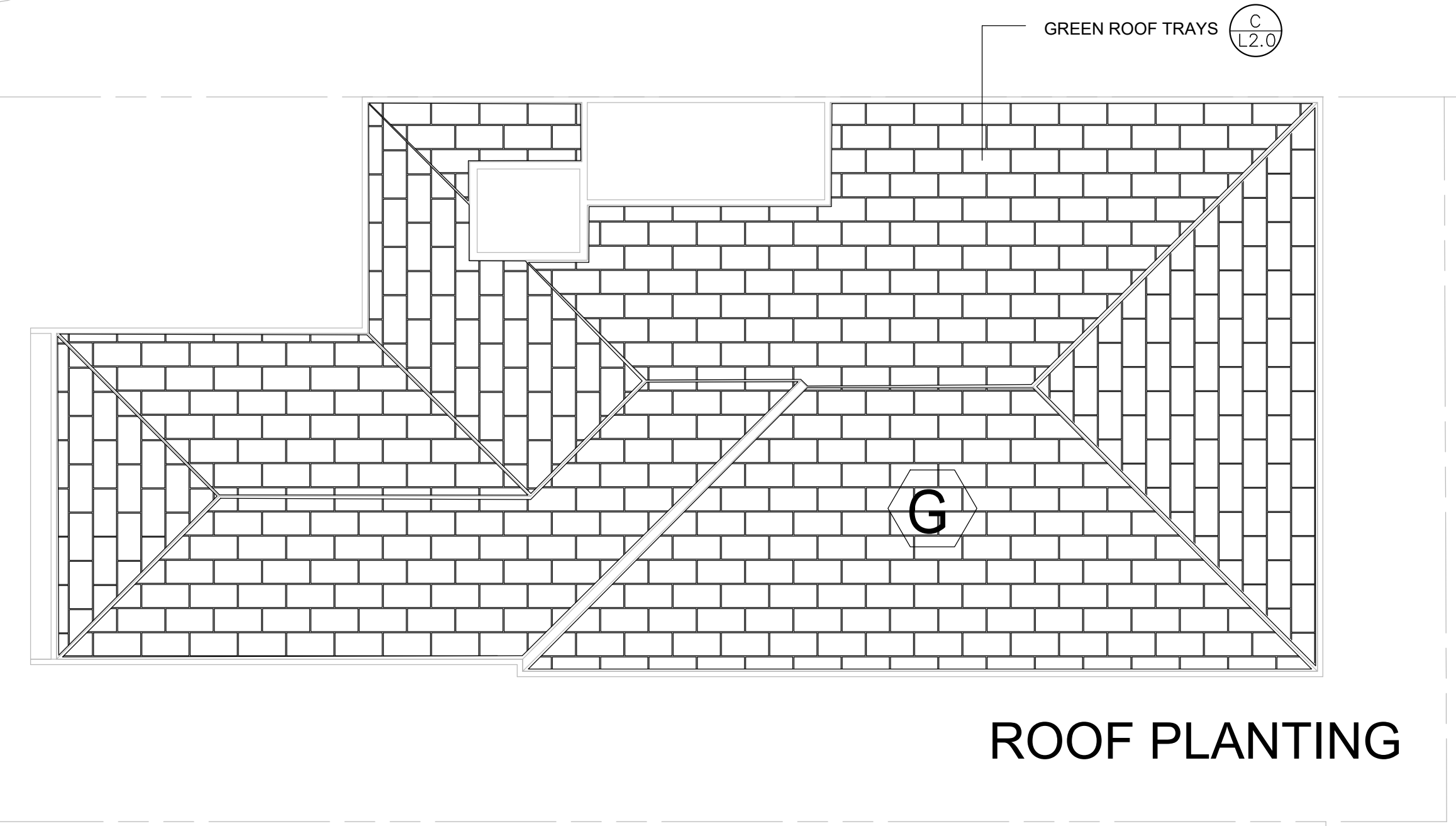
4625 - 126TH AVENUE EAST  
EDGEWOOD, WA 98372  
(206) 450-5096  
TEBALDIENGINEERING.COM  
077

**TEBALDI ENGINEERING**

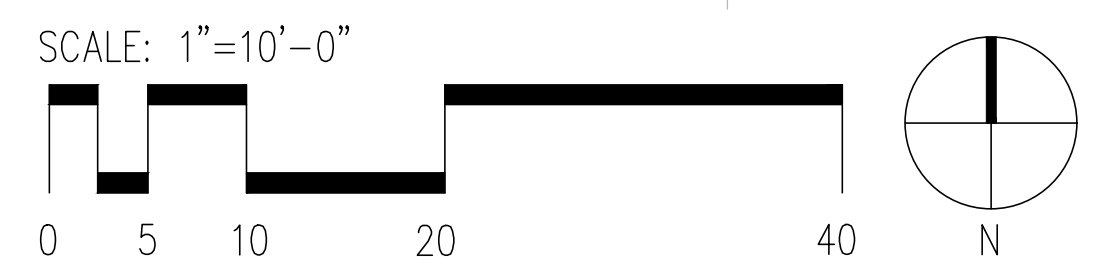
Job Number: 2900  
Sheet: C7 of 7



**SITE PLANTING**



**ROOF PLANTING**



**PLANTING SCHEDULE:**

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE AT PLANTING	QTY.	NATIVE / ADAPTIVE
<b>TREES</b>				
(X)	INDICATES EXISTING SIGNIFICANT TREE AND CRITICAL ROOT ZONE AT LANDSCAPE EDGE - SAVE AND PROTECT.			
<b>SHRUBS</b>				
(R)	RIBES SANGUINUM / RED FLOWERING CURRENT	24" HT., 5-GAL POT	1	YES
(S)	RHODODENDRON OCCIDENTALE / WESTERN AZALEA	24" HT., 5-GAL POT	1	YES
(M)	MAHONIA NERVOSA / LONG-LEAF MAHONIA	12" HT., 2-GAL POT MAX. HT. 20"	8	YES
(D)	BLECHNUM SPICANT / DEER FERN	18" HT., 1-GAL POT	3	YES
(C)	CORNUS STOLONIFERA 'KELSEY DWARF RED-TWIG	12" HT., 2-GAL POT MAX. HT. 20"	9	YES
(A)	AQUILEGA FORMOSA / WESTERN COLUMBINE	12" HT., 1-GAL POT MAX. HT. 18"	5	YES
(L)	LIRIOPE MUSCARI / BIG BLUE LILY TURF	12" HT., 1-GAL POT MAX. HT. 18"	5	NO
(T)	LONICERA CILIOSA / TRUMPET HONEYSUCKLE	24" HT., 1-GAL POT, PLANT (2) BELOW EA. GREEN SCREEN 5' PANEL	8	YES
<b>GROUNDCOVERS</b>				
(A)	LIRIOPE SPICATA / CREEPING LILY TURF	4-INCH POT	1'-0" O.C.	NO
(B)	CORNUS CANADENSIS / BUNCH-BERRY	4-INCH POT	1'-0" O.C.	YES
(C)	MAHONIA REPENS / CREEPING MAHONIA	4-INCH POT	1'-0" O.C.	YES
(G)	SEDUM DIVERGENS / STONECROP, MIX OF THREE VARIETIES	2"x4"x1/2" DEEP GREENROOF TRAYS	4,131 S.F.	YES

**NOTES**

- ALL NEW PLANTING SHALL BE INSTALLED AS PER CITY OF MERCER ISLAND INSTALLATION STANDARDS AND PLANS.
- ALL NEW ON-GRADE PLANTING AREAS SHALL RECEIVE MINIMUM 12" OF IMPORTED TOPSOIL TILLED INTO THE TOP 12" AND MINIMUM 2" OF BARK MULCH.
- ALL NEW PLANTING AREAS SHALL BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM WITH RAIN-SHUT-OFF DEVICE.
- PROPOSED APARTMENT BUILDING WILL BE PERMITTED UNDER A SEPARATE BUILDING PERMIT.

**LIGHTING SCHEDULE:**

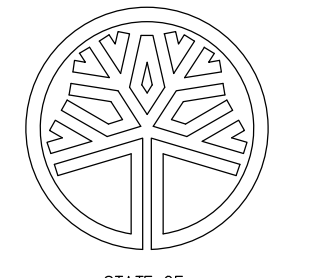
SYMBOL	DESCRIPTION	MANUFACTURER	QUANTITY
<b>EQUIPMENT</b>			
(P)	INDICATES PATHWAY LIGHT FIXTURE	KIDHLER LED SHALLOW SHADE-SMALL MODEL 15805-BKT-4W 12 VOLT LED LAMP, 23" HT., WITH GROUND STAKE MOUNTING, TEXTURED BLACK COLOR	5
(C)	INDICATES LIGHTING CONTROLLER, TRANSFORMER, TIMER, PHOTOCELL	100 AMP CONTROLLER 120 TO 12 VOLT TRANSFORMER, PHOTOCELL, TIMER - WALL MOUNT AT 4' HT. FROM FINISH GRADE	1

**JGM**  
LANDSCAPE ARCHITECTS  
INCORPORATED P.S.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
PARKS AND RECREATION PLANNING  
12610 NE 104TH ST.  
KIRKLAND WA 98033  
PH: 425.454.5723  
FX: 425.822.3525  
E: jgm@jgm-inc.com

2900 78TH AVE. S.E.  
MERCER ISLAND, WA  
98040

REVISIONS/DRAWING ISSUES:  
 1 7-20-2022  
 2 2-7-2023

Drawn by: CL  
Checked by: CL



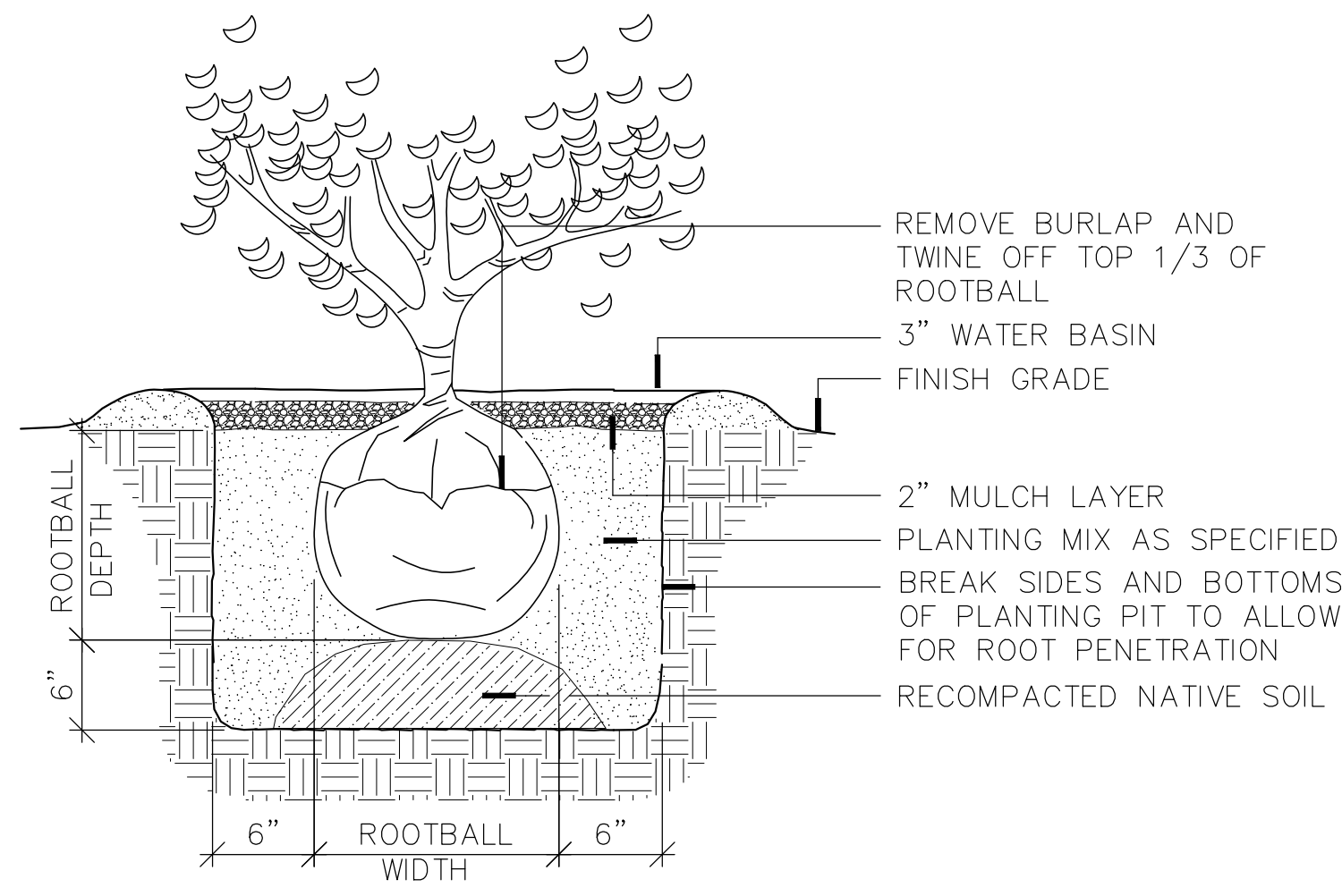
STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
*Lain D. Reiss*  
CERTIFICATE NO. 442

DATE: 6-10-2022  
LAST UPDATE:  
CAD FILE:

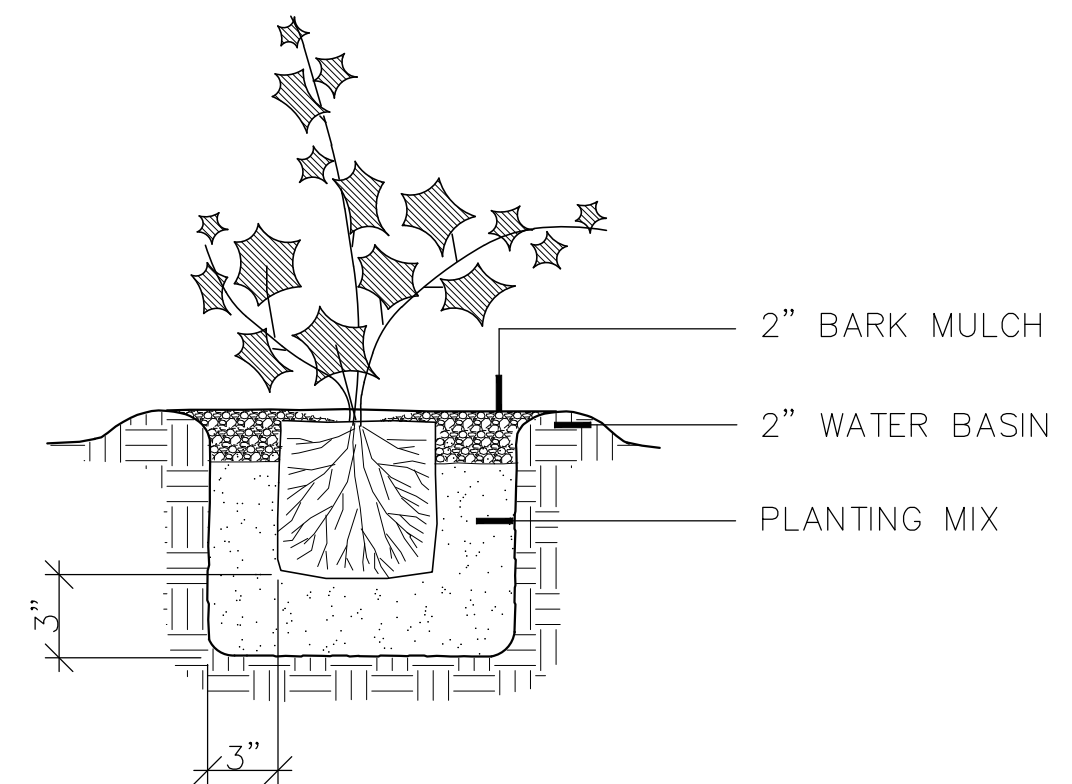
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**PLANTING PLAN**

SHEET NUMBER  
**L1.0**

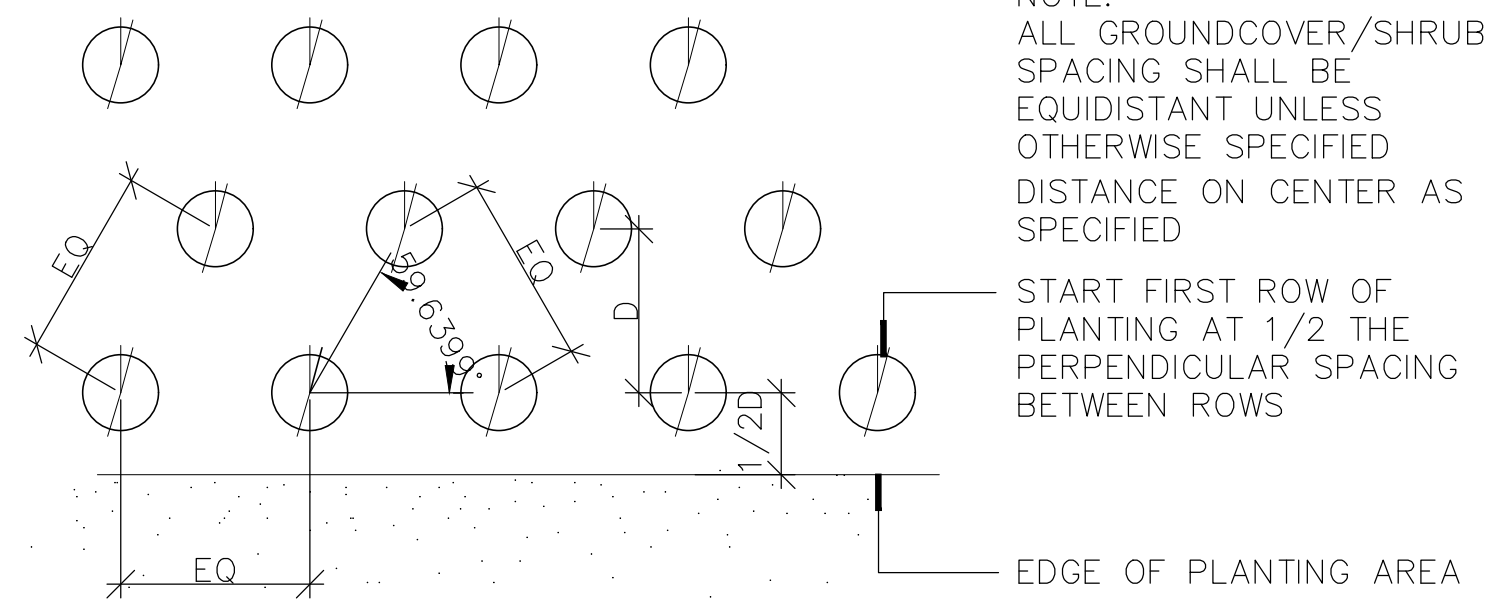




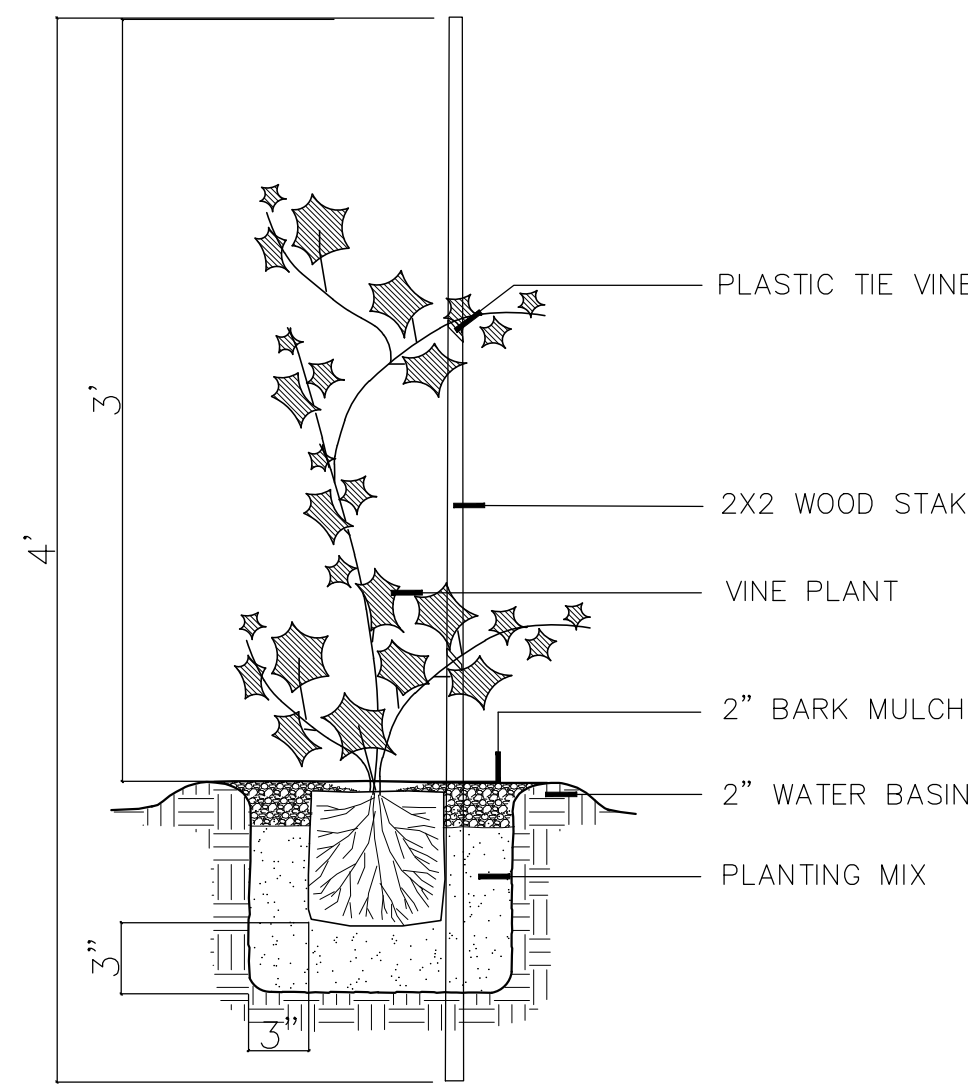
**A** TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE SHRUB-1



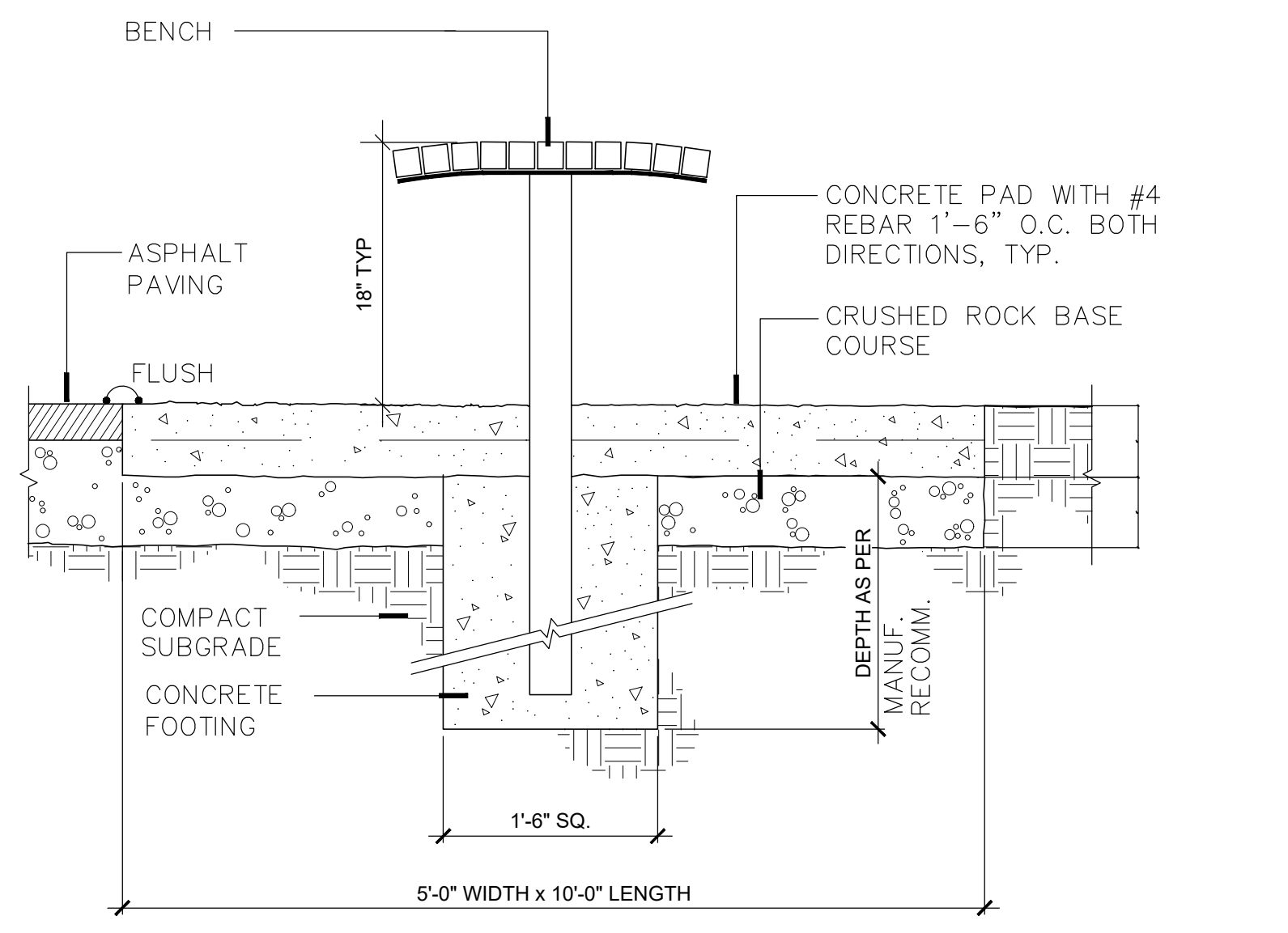
**B** GROUNDCOVER PLANTING  
NOT TO SCALE GRNDCVR1



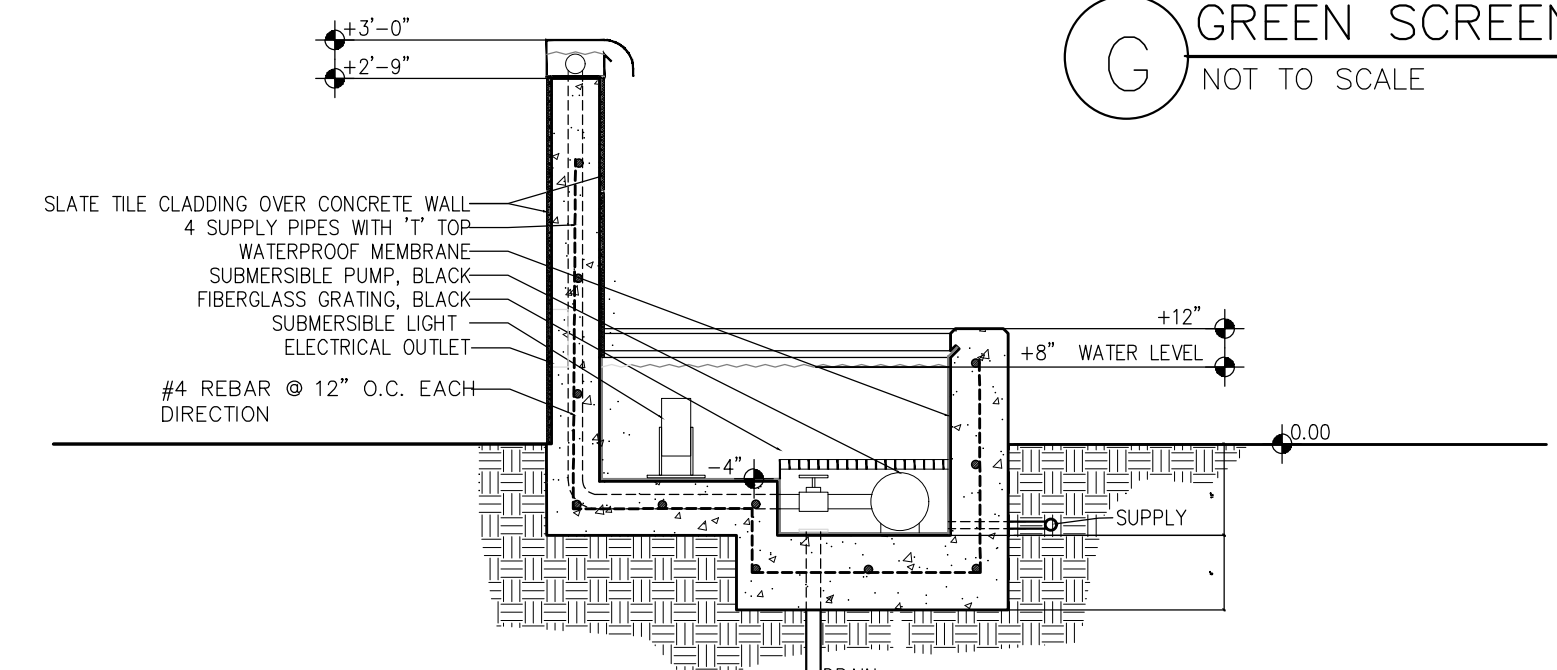
**E** TRIANGULAR PLANT SPACING  
NOT TO SCALE TRI-SPACE



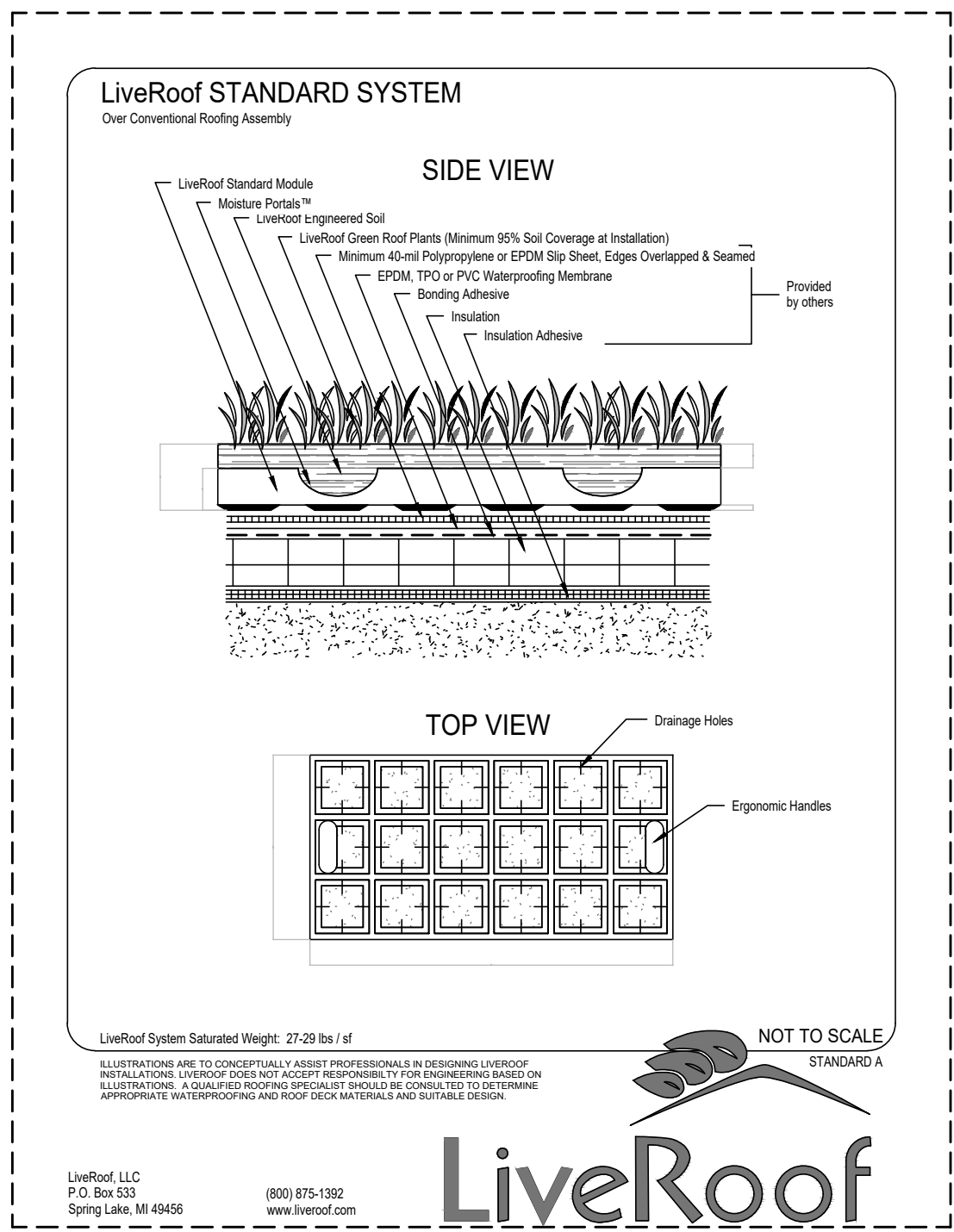
**F** STAKED VINE PLANTING  
NOT TO SCALE VINE



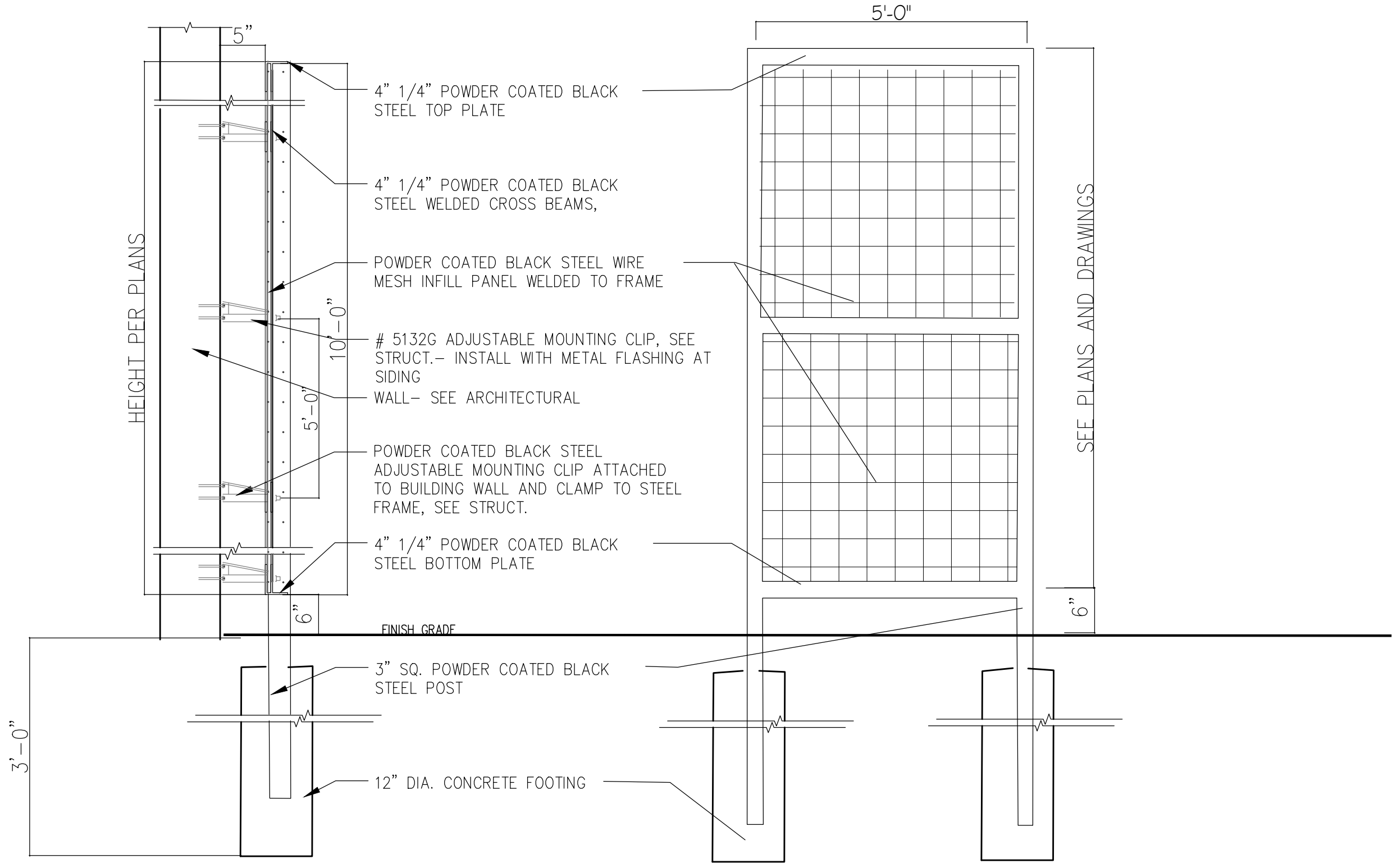
**H** TYPICAL BACKLESS BENCH INSTALLATION  
NOT TO SCALE BENCHBACKLESS



**I** FOUNTAIN WET-WALL - SECTION  
1"=1'-0"

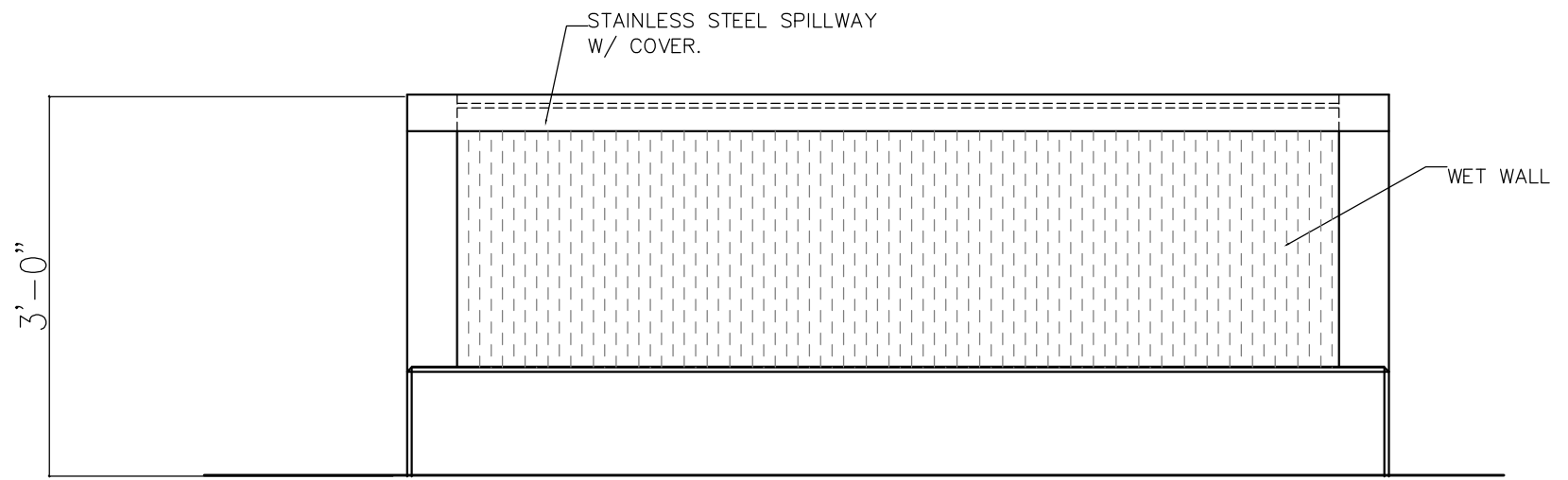


**C** GREEN ROOF PLANTING TRAYS  
NOT TO SCALE



**D** PATHWAY LIGHT FIXTURE  
NOT TO SCALE

**G** GREEN SCREEN FOR VEGETATED WALL  
NOT TO SCALE



**J** FOUNTAIN WET-WALL - FRONT  
1"=1'-0"

**KICHLER**

LED Shallow Shade - small

**PROJECT:**  
TYPE:  
ORDERING #:  
COMMENTS:

**FEATURES:**

- A design only made possible by today's LED technology, this fixture will surely captivate its audience with its understated styling. Coordinates with the 1500K.
- Cast Aluminum Housing
- 4 W / 5.8 VA Light Output, Integrated LEDs and Driver, 2500K (+100+175), High CR
- 4 W / 15W ACDC
- 3" of asable #18-2, SPT-1W leads. Cable connector supplied.
- 4" height max

**ORDERING INFORMATION**

EXAMPLE: 1500BKT (Product # & Finish)

PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES
1500 Dimensions: 6" W x 23 1/2" H	Cast Aluminum BKT - Textured Black	4 W / 5.8 VA	Integrated LEDs and Driver 2500K (+100+175) High CR	Note: Not for use with electronic transformers.	3" of asable #18-2, SPT-1W leads. Cable connector supplied.	1500AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Waterproof Seal 1500BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Waterproof Seal 1500BBR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Waterproof Seal

**NOTES:**

For Warranty Information, please visit [www.kichlerlighting.com](http://www.kichlerlighting.com)

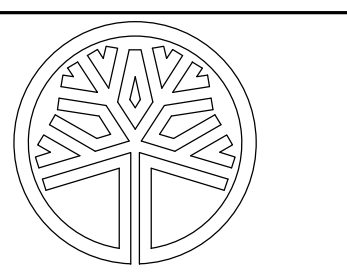
7111 E. Pleasant Valley Road, Cleveland, OH 44131 (419) 216-9733 FAX: (419) 216-9733 email: [sales@kichler.com](mailto:sales@kichler.com) web: [www.kichlerlighting.com](http://www.kichlerlighting.com)

**JGM**  
LANDSCAPE ARCHITECTS  
INCORPORATED P.S.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
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12610 NE 104TH ST.  
KIRKLAND WA 98033  
PH: 425.454.5723  
FX: 425.822.3525  
E: [jgm@jgm-inc.com](mailto:jgm@jgm-inc.com)

2900 78TH AVE. S.E.  
MERCER ISLAND, WA  
98040

REVISIONS/DRAWING ISSUES:  
2-17-2023

Drawn by: CL  
Checked by: CL

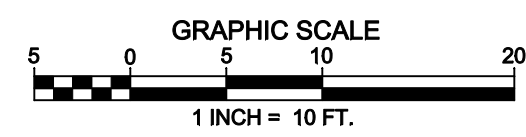
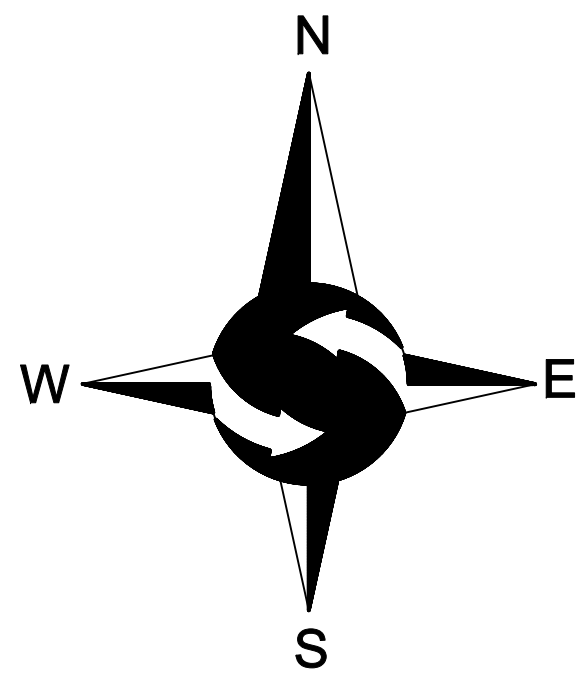


STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
Craig A. Klein  
CERTIFICATE NO. 442

DATE: 6-10-2022  
LAST UPDATE:  
CAD FILE:

DRAWING TITLE  
PLANTING DETAILS

SHEET NUMBER  
**L2.0**



**LEGEND**

	FOUND MONUMENT AS DESCRIBED		CONCRETE WALL
	FOUND MAG & WASHER		LIGHT POLE
	POWER METER		GAS VALVE
	SANITARY SEWER CLEANOUT		CATCH BASIN
	SANITARY SEWER MANHOLE		CATCH BASIN SOLID LID
	WATER VALVE		ELECTRICAL VAULT
	FIRE HYDRANT		POWER JUNCTION BOX
	WATER METER		ASPHALT SURFACE
	SIGN		CONCRETE SURFACE
	APPROXIMATE LOCATION SANITARY SEWER LINE		DECIDUOUS
	APPROXIMATE LOCATION STORM DRAIN LINE		PINE
	APPROXIMATE LOCATION UNDERGROUND GAS LINE		
	APPROXIMATE LOCATION UNDERGROUND WATER LINE		
	APPROXIMATE LOCATION UNDERGROUND POWER LINE		
	APPROXIMATE LOCATION UNDERGROUND TELEPHONE LINE		

**LEGAL DESCRIPTION**

THE WEST 120 FEET OF THE NORTH HALF OF LOT 4, BLOCK 14, MCGILLVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

RECORD OF SURVEY BY PACE FOR GENCOR S. - NORTHGATE L.P., AS RECORDED UNDER RECORDING NUMBER 199801239001, RECORDS OF KING COUNTY, WASHINGTON.

**PROJECT INFORMATION**

SURVEYOR:	SITE SURVEYING, INC. 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412
PROPERTY OWNER:	2900 DEVELOPMENT LLC 3010 77TH AVENUE SE, SUITE 108 MERCER ISLAND, WA 98040
TAX PARCEL NUMBER:	531510-1219
PROJECT ADDRESS:	2900 78TH AVENUE SE MERCER ISLAND, WA 98040
ZONING:	TC
JURISDICTION:	CITY OF MERCER ISLAND
PARCEL ACREAGE:	7,200 SF (0.165 ACRES) AS SURVEYED

**GENERAL NOTES**

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN FEBRUARY 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

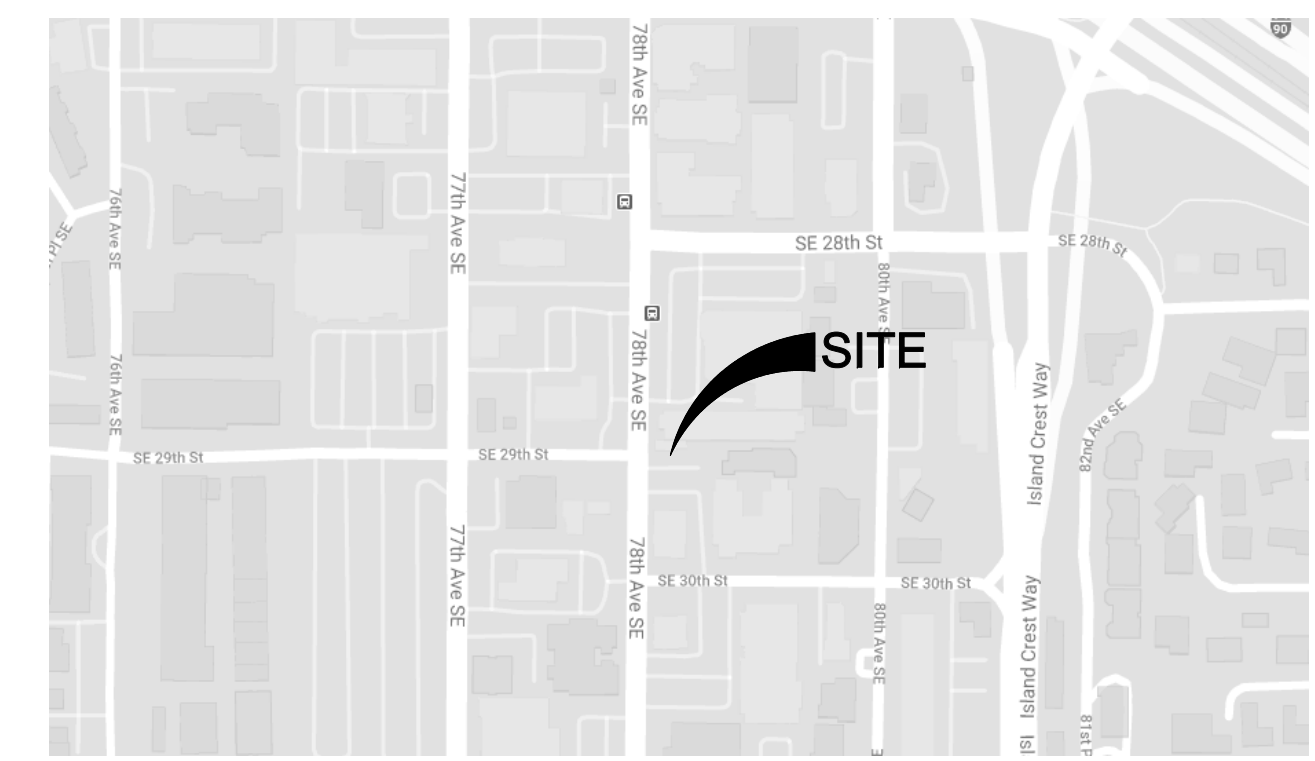
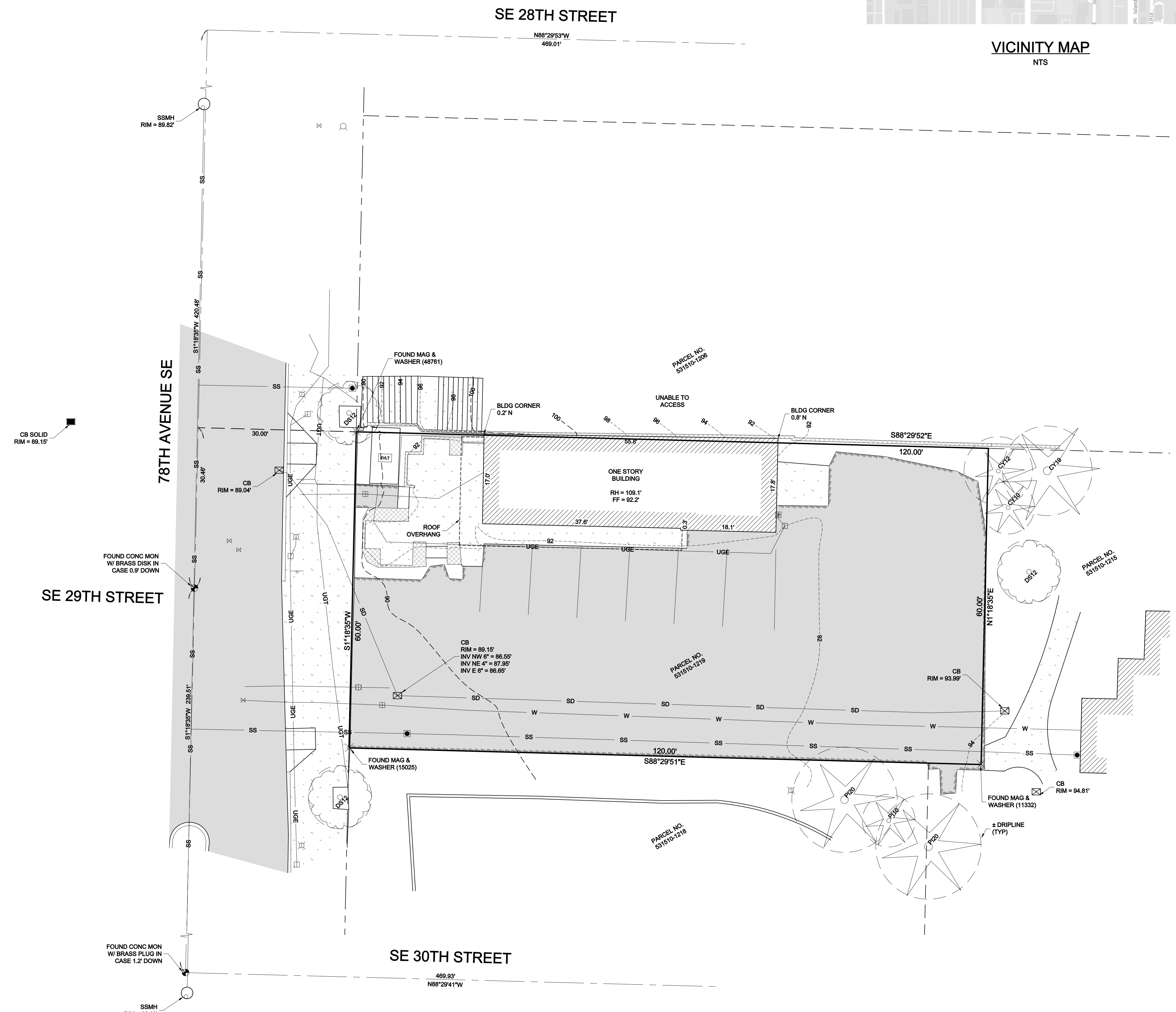
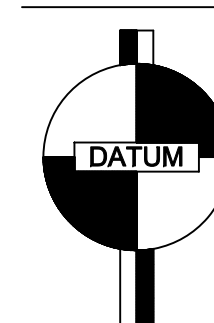
**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

THE MARK IS A BRASS CAP STAMPED "LS 23613 1995" SET IN MONUMENT CASE AT THE INTERSECTION OF SE 29TH STREET AND 78TH AVENUE SE.

POINT ID NO. 9110;  
ELEVATION: 88.424 FEET (26.952 METERS) NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR THIS PROJECT.



VICINITY MAP  
NTS

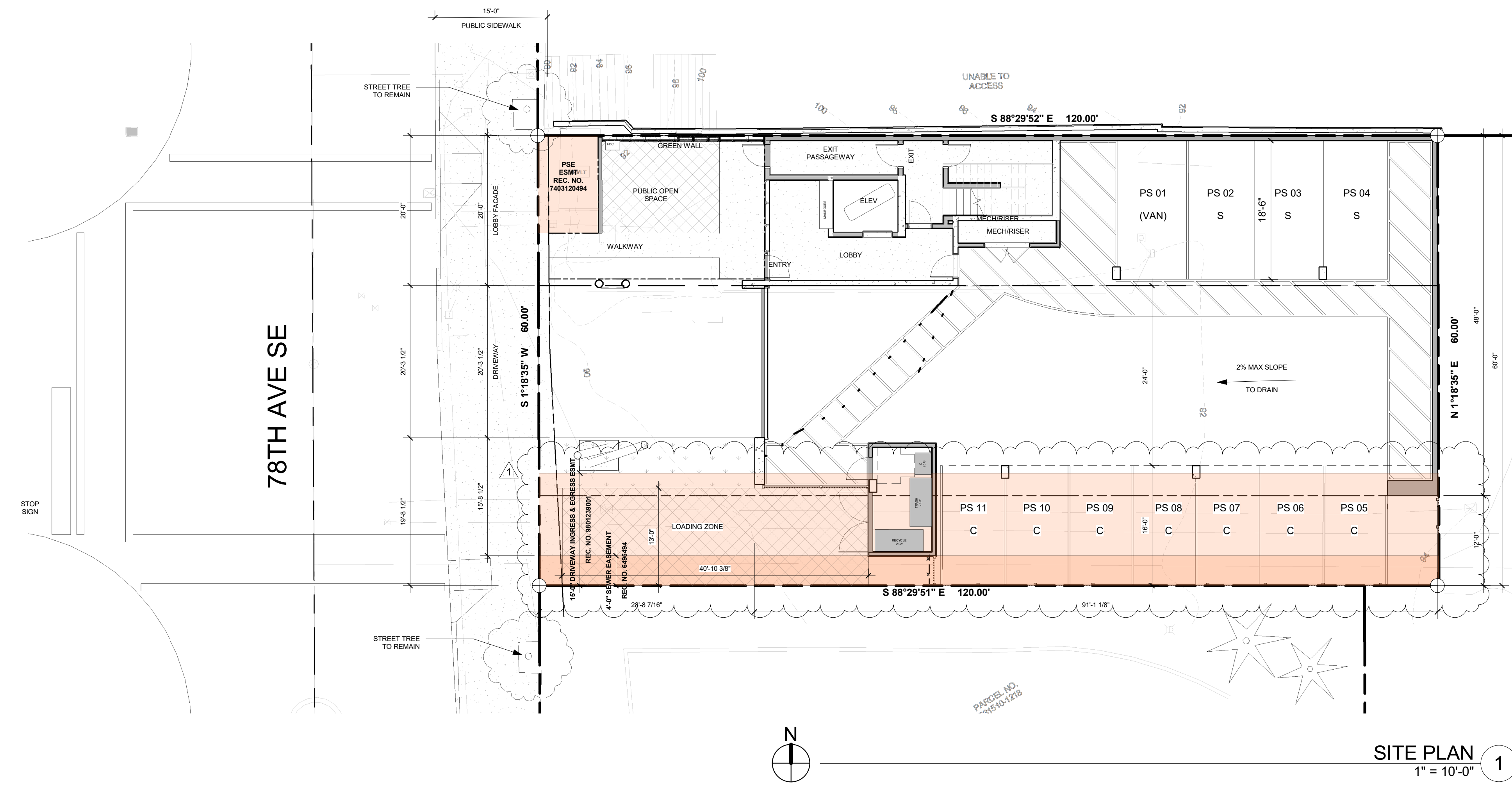
SW 1/4, NE 1/4, SEC 12, TWP 24N, RNG 4E, W.M.



DATE	REVISION	DRN	TNW
3/3/23	TREES & DRIPLINES ADDED		

**TOPOGRAPHIC SURVEY**  
**JASON IMANI**  
 2900 78TH AVENUE SE  
 MERCER ISLAND, WA 98040

PROJECT NO. 21-075  
 DRAWN BY: MTS  
 CHECKED BY: TNW  
 DATE: 3/3/23  
 SHEET 1 OF 1



**SITE PLAN**  
 1" = 10'-0" 1

**LEGEND**  
 LOCATION OF EXISTING EASEMENTS IDENTIFIED IN TITLE REPORT

**ZONING REQUIREMENTS**

JURISDICTION: CITY OF MERCER ISLAND  
 ZONING: TC-4  
 PARCEL ASSESSOR'S #: 531510-1219  
 LOT SIZE: 7200 SF = 0.17 ACRE

**LEGAL DESCRIPTION:**  
 THE WEST 120 FEET OF THE NORTH HALF OF LOT 4, BLOCK 14, MCGILVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**MAXIMUMS:**  
 MAX. FAR: 2.3 (X SF) MUST MEET THE STANDARDS OF SUBSECTION 23.45.530, GREEN BUILDING STANDARDS  
 MAX. HEIGHT: 27' BASE HEIGHT / 51' MAX HEIGHT (REQUIRES MIN. 10% AFFORDABLE HOUSING)  
 MAX. STORIES: 2 BASE STORIES / 4 MAX STORIES (REQUIRES MIN. 10% AFFORDABLE HOUSING)  
 GROUND FLOOR HEIGHT: 15' MINIMUM / 27' MAXIMUM

**SETBACKS:**  
 TOWN CENTER - TC-4 SUBAREA, PER MICC 19.11.030  
 REQUIRED FRONT: MIN. 0' MIN PROVIDED: SEE SIDEWALK REQ'T  
 REQUIRED SIDE: MIN. 0' MIN PROVIDED: 0' NORTH, 12' SOUTH  
 REQUIRED REAR: MIN. 0' MIN PROVIDED: 0'

**SIDEWALK:**  
 MICC 19.11.030(A)(6)  
 ALONG 78TH AVE SE, ALL STRUCTURES SHALL BE SET BACK SO THAT SPACE IS PROVIDED FOR AT LEAST 15 FEET OF SIDEWALK BETWEEN THE STRUCTURE AND THE FACE OF THE STREET CURB.

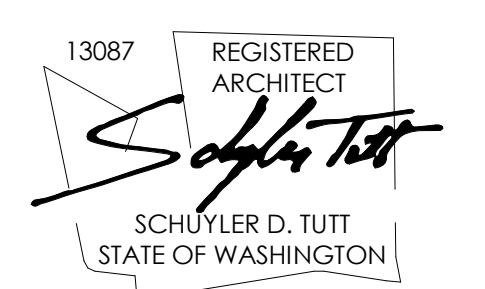
**DAYLIGHT PLANE:**  
 MICC 19.11.030(A)(7)  
 BLOCK FRONTAGES ALONG STREETS MUST INTEGRATE AVERAGE MINIMUM UPPER BUILDING SETBACK. FROM A HEIGHT OF 25 FEET AT THE FRONT PROPERTY LINE, BUILDINGS SHALL STEP BACK AT A 45-DEGREE ANGLE UP TO THE MAXIMUM HEIGHT LIMIT.

SINCE THE DAYLIGHT PLANE STANDARDS APPLY A MINIMUM AVERAGE, PORTIONS OF BLOCK FRONTAGES MAY PROJECT BEYOND THE DAYLIGHT PLANE CONCEPT DESCRIBED IN SUBSECTION (A)(7)(a) OF THIS SECTION, PROVIDED THE APPLICABLE BLOCK FRONTAGE AS A WHOLE COMPLIES WITH THE MINIMUM AVERAGE.

**VEHICULAR PARKING:**  
 MICC 19.11.130

REQUIRED:	1 TO 1.4 STALLS PER UNIT (10 UNITS = MIN. 10 STALLS)
PROVIDED:	VAN ACCESSIBLE: 1
	STANDARD: 3 (22.2%)
	COMPACT: 7 (66.7%)
	TOTAL: 11

**REGISTRATION:**



INTAKE DATE: 12/13/22

REVISIONS: DATE: 4/19/2023

1	CORRECTIONS	DATE

**PROJECT / CLIENT:**

2900 78TH AVE SE

2900 Development LLC

**JOB ADDRESS:**

2900 78TH AVE SE  
 MERCER ISLAND, 98040

DRAWING NAME:

**SITE PLAN**

Drawn By: KH  
 Checked By: ST  
 Owner Approval:

PHASE:  
 DESIGN REVIEW

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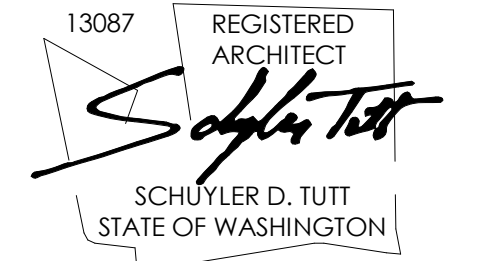
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021  
 DATE: 4/29/2023

**A0.1a**

PLOT SCALE: 1:1

REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

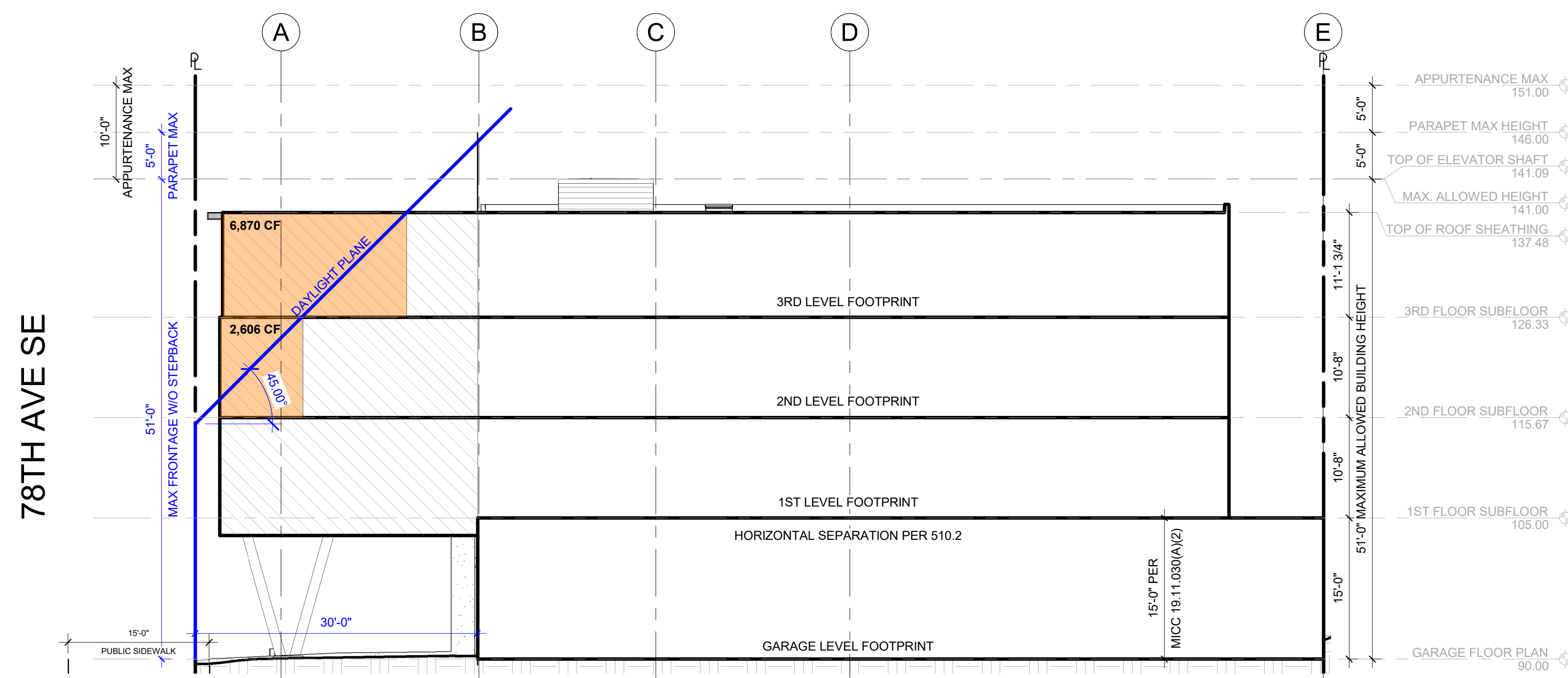
PROJECT / CLIENT:

2900 78TH AVE SE

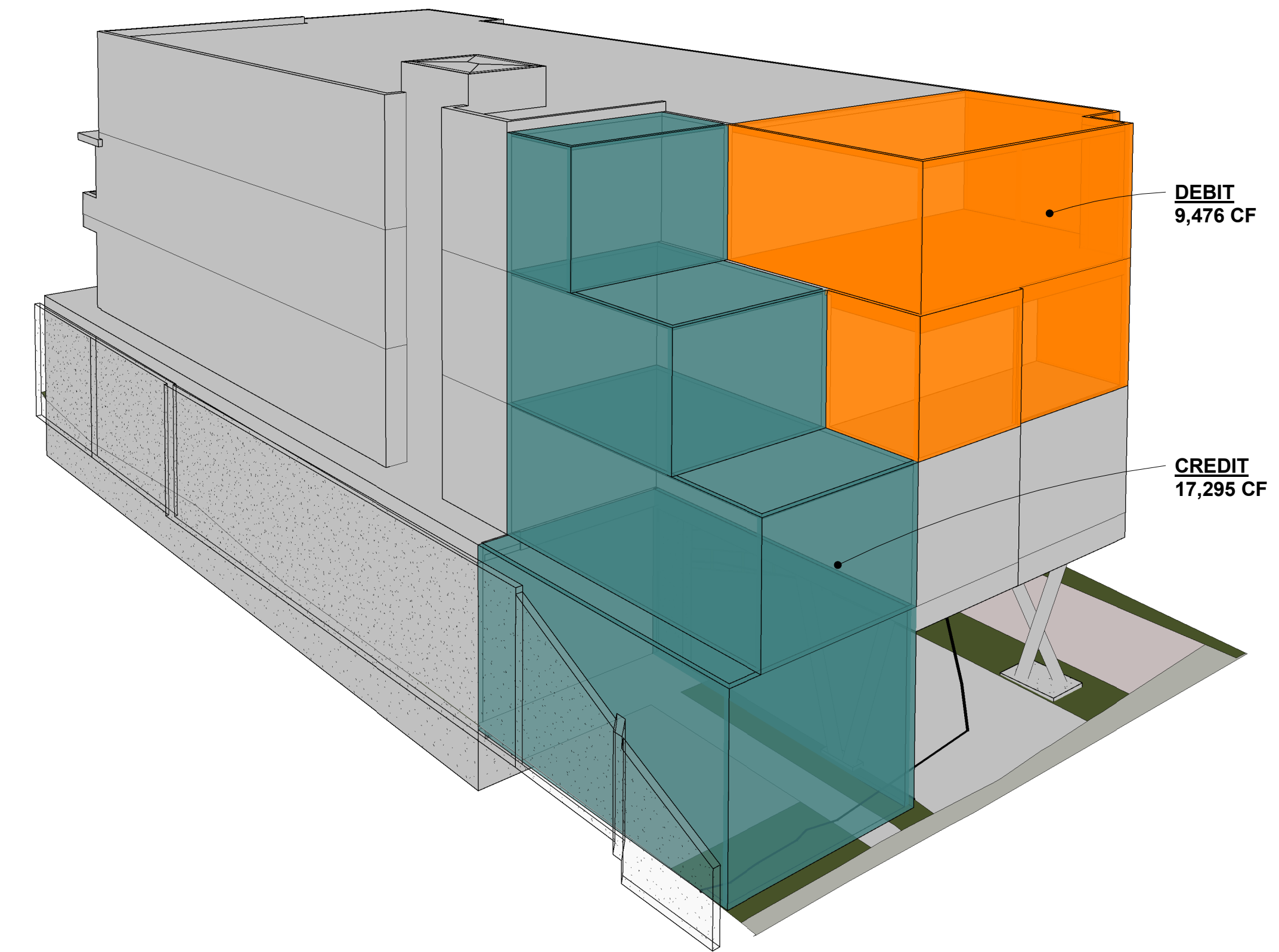
2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
 MERCER ISLAND, 98040



DAYLIGHT PLANE - DEBIT VOLUME  
 1" = 10'-0" 2



MASSING STUDY  
 NTS 1



DAYLIGHT PLANE - CREDIT VOLUME  
 1" = 10'-0" 3

**AVERAGE DAYLIGHT PLANE CALCULATION**

	<b>DEBIT VOLUME</b>	
	2ND FLOOR:	2,606
	3RD FLOOR:	6,870
	<b>DEBIT TOTAL:</b>	<b>9,476 CF</b>
	<b>CREDIT VOLUME</b>	
	GARAGE LEVEL:	7,940
	1ST FLOOR:	4,768
	2ND FLOOR:	3,237
	3RD FLOOR:	1,350
	<b>CREDIT TOTAL:</b>	<b>17,295 CF</b>
	DIFFERENCE	17,295
		- 9,476
	<b>TOTAL CREDIT VOLUME:</b>	<b>7,819 CF</b>

DRAWING NAME:

ZONING DIAGRAMS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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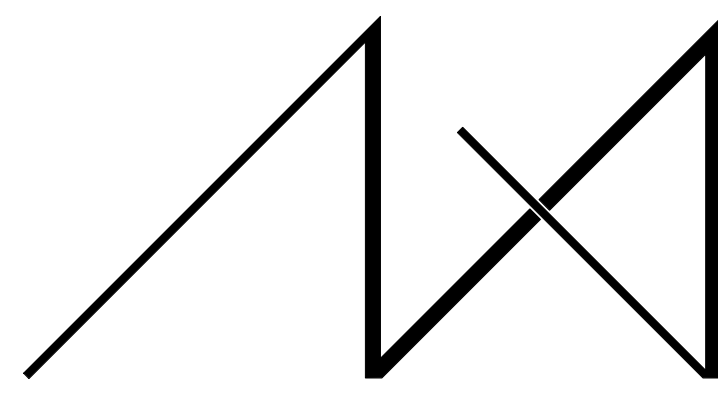
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

PLOT SCALE: 1:1

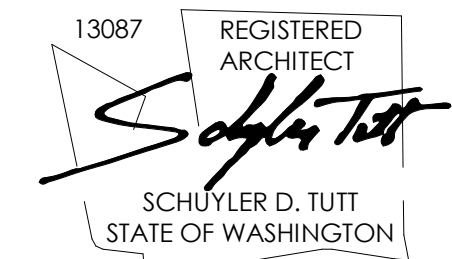
A0.1b



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

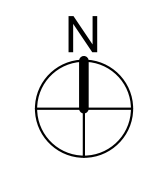
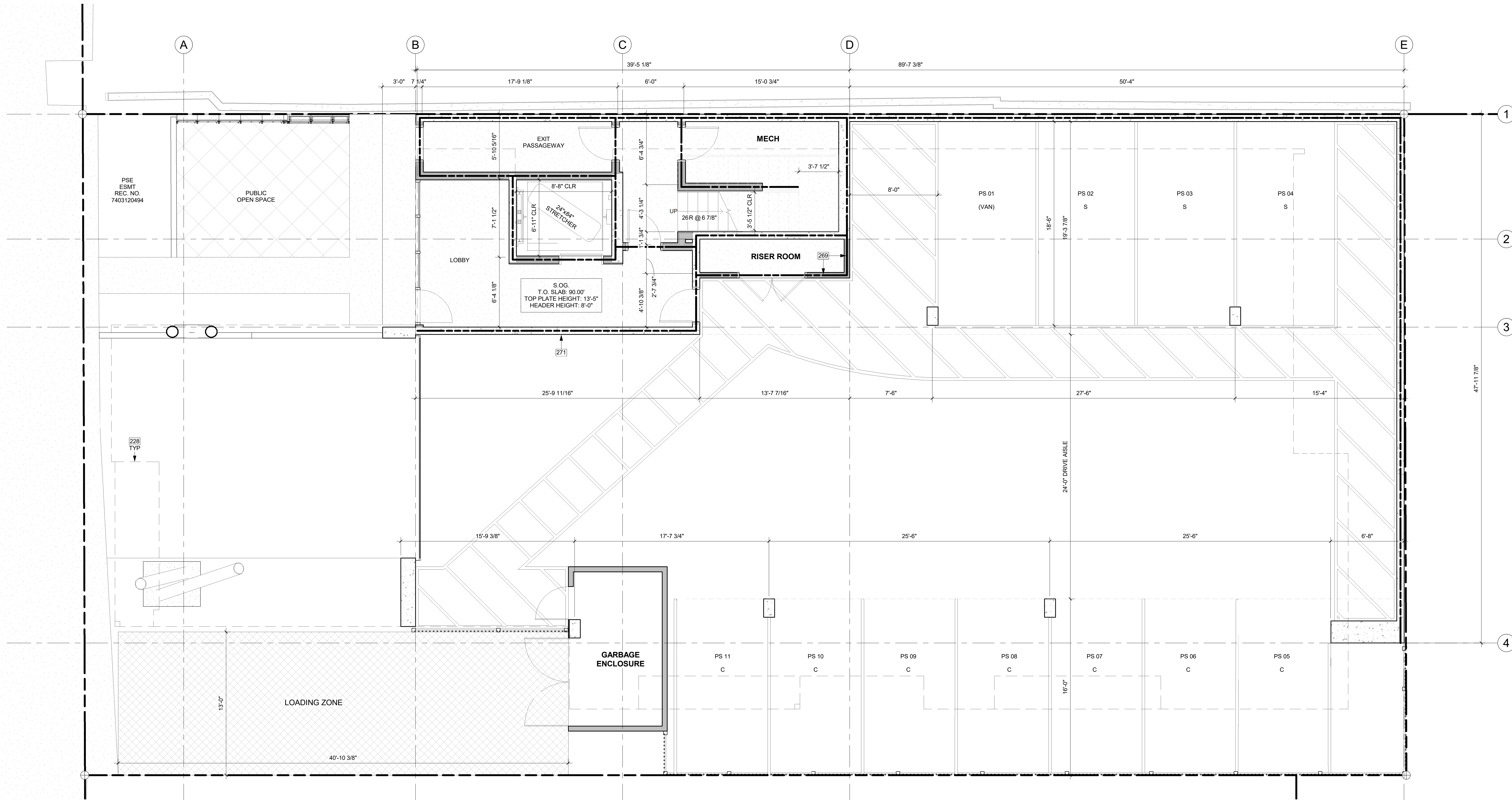
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



GARAGE FLOOR PLAN  
1/4" = 1'-0" 1

KEY NOTES

228	LONG DASHED LINE OF BUILDING ABOVE.
269	2-HOUR RATED NON-COMBUSTIBLE WALL: WP 1522, 3 5/8" STEEL STUDS. SEE ASSEMBLY DETAIL ON A0.58
271	3-HOUR RATED CONCRETE COLUMN PER STRUCTURAL.

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4 5" FROM CORNER TYP., U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS:
  - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
  - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
  - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
  - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
- LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

2018 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1505.4, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA). PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
	BATH & POWDER	MIN. 50 CFM (INTERMITTENT) @ 0.25" WG (TABLE M1505.4.4)
	KITCHEN	MIN. 100 CFM (INTERMITTENT) @ 0.25" WG (TABLE M1505.4.4) RANGE HOOD OR DOWN DRAFT EXHAUST FAN RATED AT MIN. 100 CFM AT 0.10" WG MAY BE USED FOR EXHAUST FAN REQUIREMENT. IF OVER 400 CFM, MAKEUP AIR IS REQUIRED IN THE SAME ROOM PER M1503.6
	LAUNDRY ROOM	MIN. 210 CFM (INTERMITTENT) @ 0.25" WG - TO FUNCTION AS WHOLE HOUSE FAN (4-5 BEPS) AND BE LABELED AS WHOLE HOUSE FAN (4-5 BEPS) AND 4501+600 (SF) TO OPERATE 50% OF TIME IN EXHAUST MODE PER M1503.6

FIRE-RESISTANCE ASSEMBLIES

- 1-HOUR RATED WALL ASSEMBLY
- 2-HOUR RATED WALL ASSEMBLY
- 3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

GARAGE PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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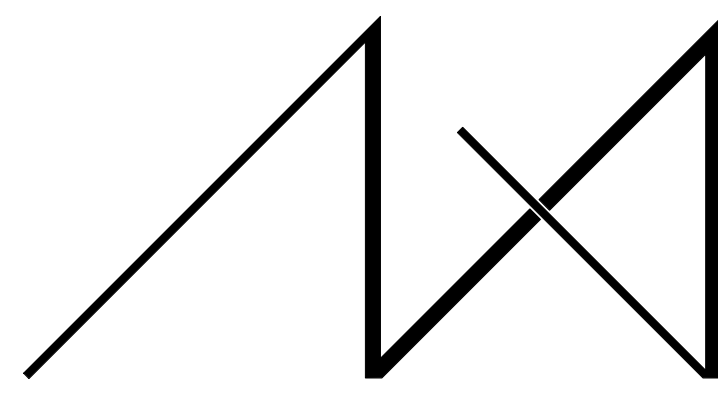
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

A2.0

PLOT SCALE: 1:1

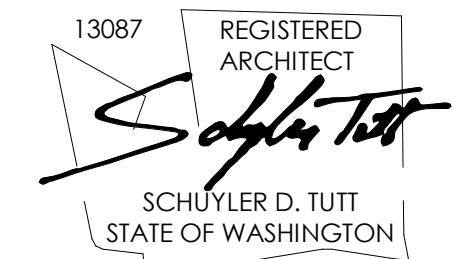


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REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

Table with 2 columns: REVISIONS, DATE. Contains a grid for tracking revisions.

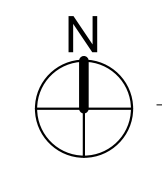
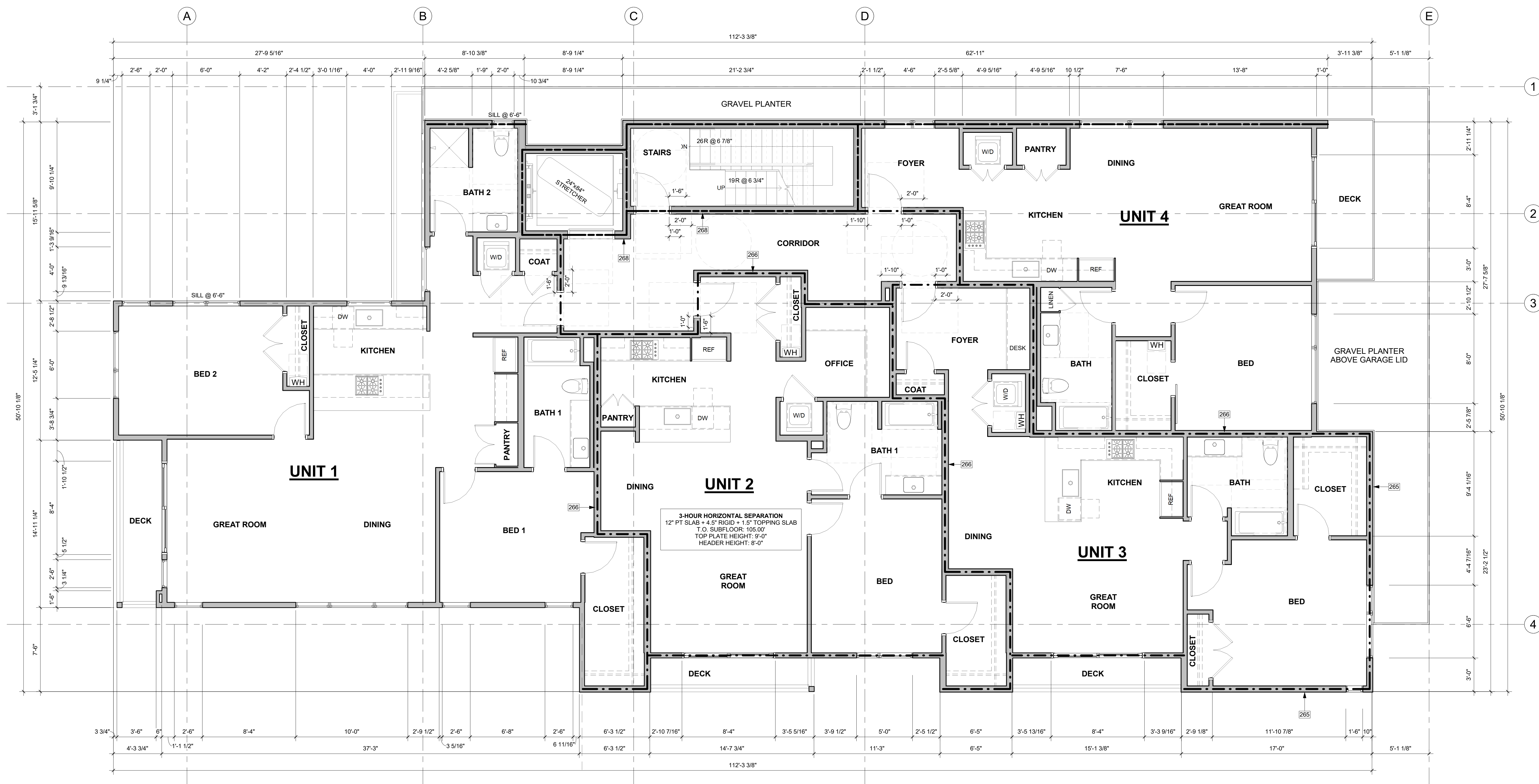
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



1ST FLOOR PLAN

1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number and description. Includes notes 265, 266, and 268 regarding fire-rated walls and elevator shafts.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4 5" FROM CORNER TYP. U.N.O.
7. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
10. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
11. SMOKE & CARBON MONOXIDE DETECTORS:
- SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
- SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
12. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR SOFT). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

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Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS. Lists requirements for Bath & Powder, Kitchen, and Laundry Room.

FIRE-RESISTANCE ASSEMBLIES

- - - - - 1-HOUR RATED WALL ASSEMBLY
- - - - - 2-HOUR RATED WALL ASSEMBLY
- - - - - 3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

1ST FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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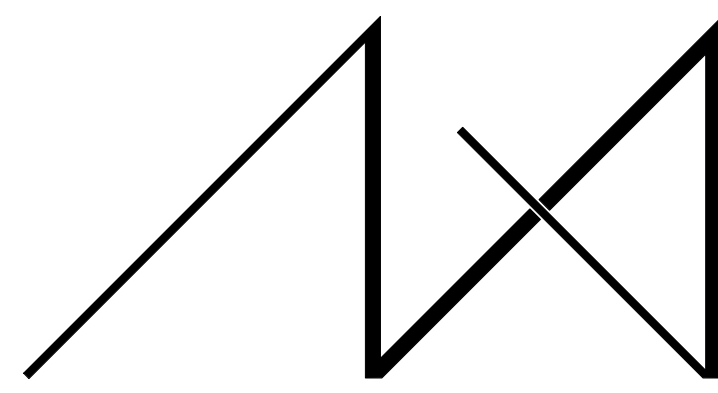
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

A2.1

PLOT SCALE: 1:1

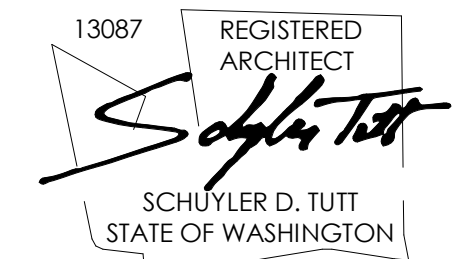


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200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

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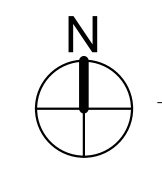
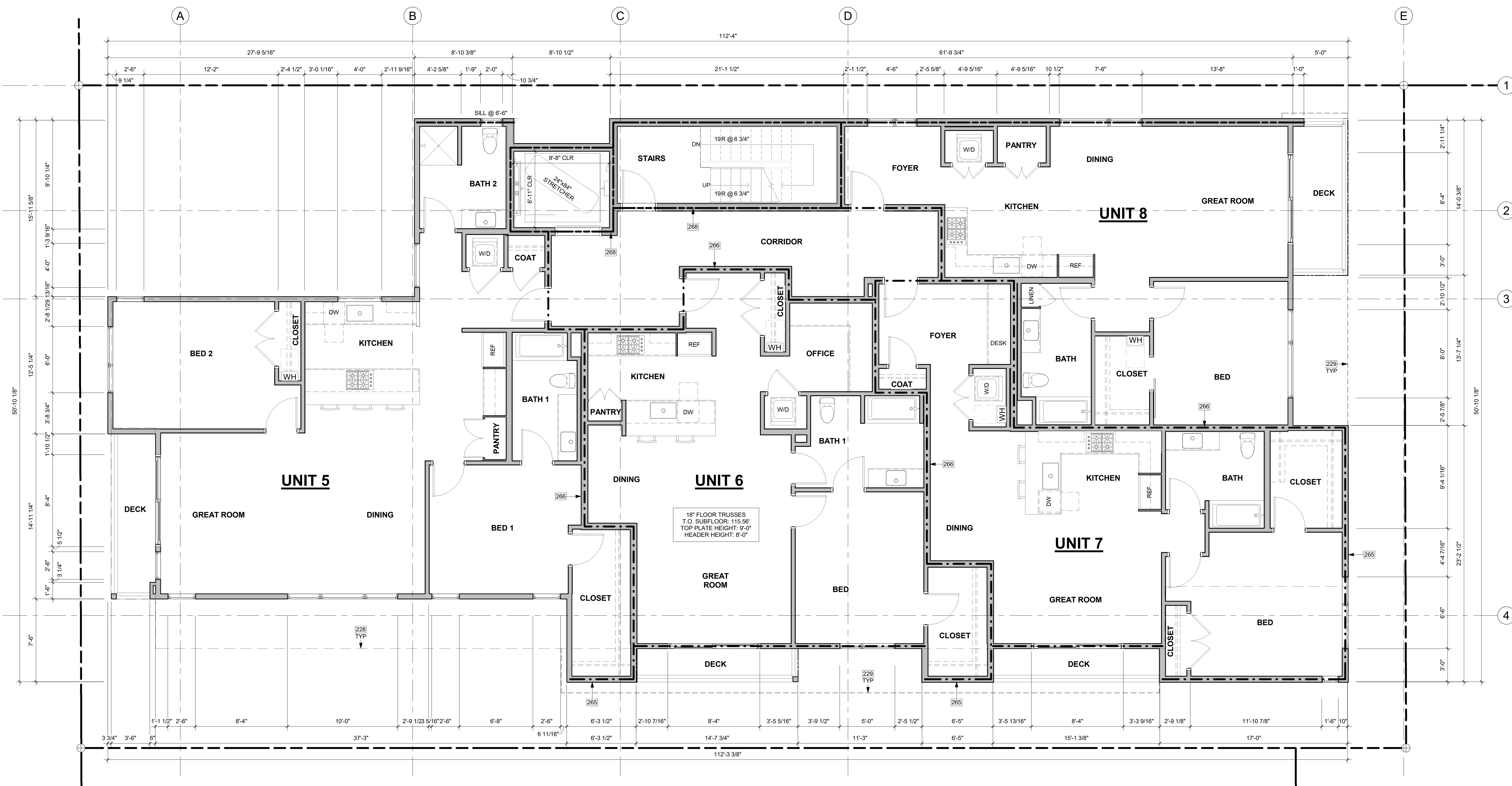
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



2ND FLOOR PLAN

1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number and description. Includes notes 228, 229, 265, and 268 regarding building lines and fire-rated assemblies.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS. PROVIDE SOLID BLOCKING OVER SUPPORTS.
3. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
4. DOOR JAMB 4.5" FROM CORNER TYP., U.N.O.
5. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
7. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
8. SMOKE & CARBON MONOXIDE DETECTORS:
- SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
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- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
9. FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
10. LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
11. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

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Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS. Details requirements for Bath & Powder, Kitchen, and Laundry Room.

FIRE-RESISTANCE ASSEMBLIES

- - - - - 1-HOUR RATED WALL ASSEMBLY
- - - - - 2-HOUR RATED WALL ASSEMBLY
- - - - - 3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

2ND FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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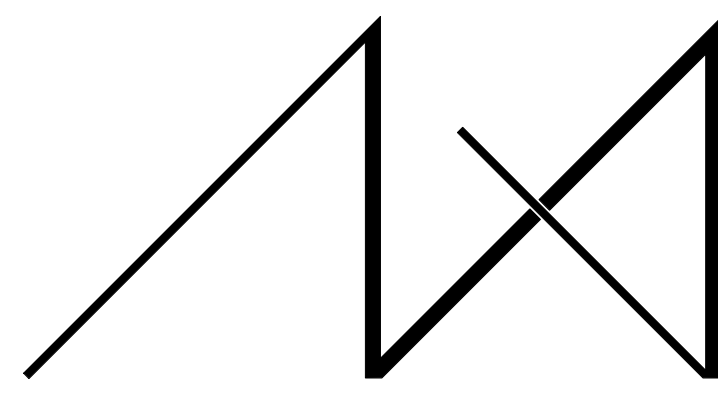
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

A2.2

PLOT SCALE: 1:1

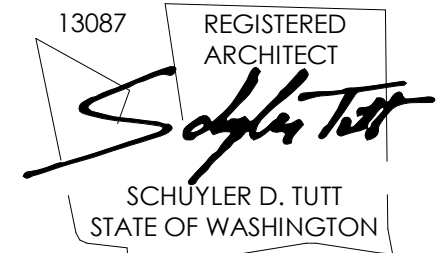


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REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

Table with 2 columns: REVISIONS, DATE

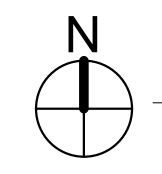
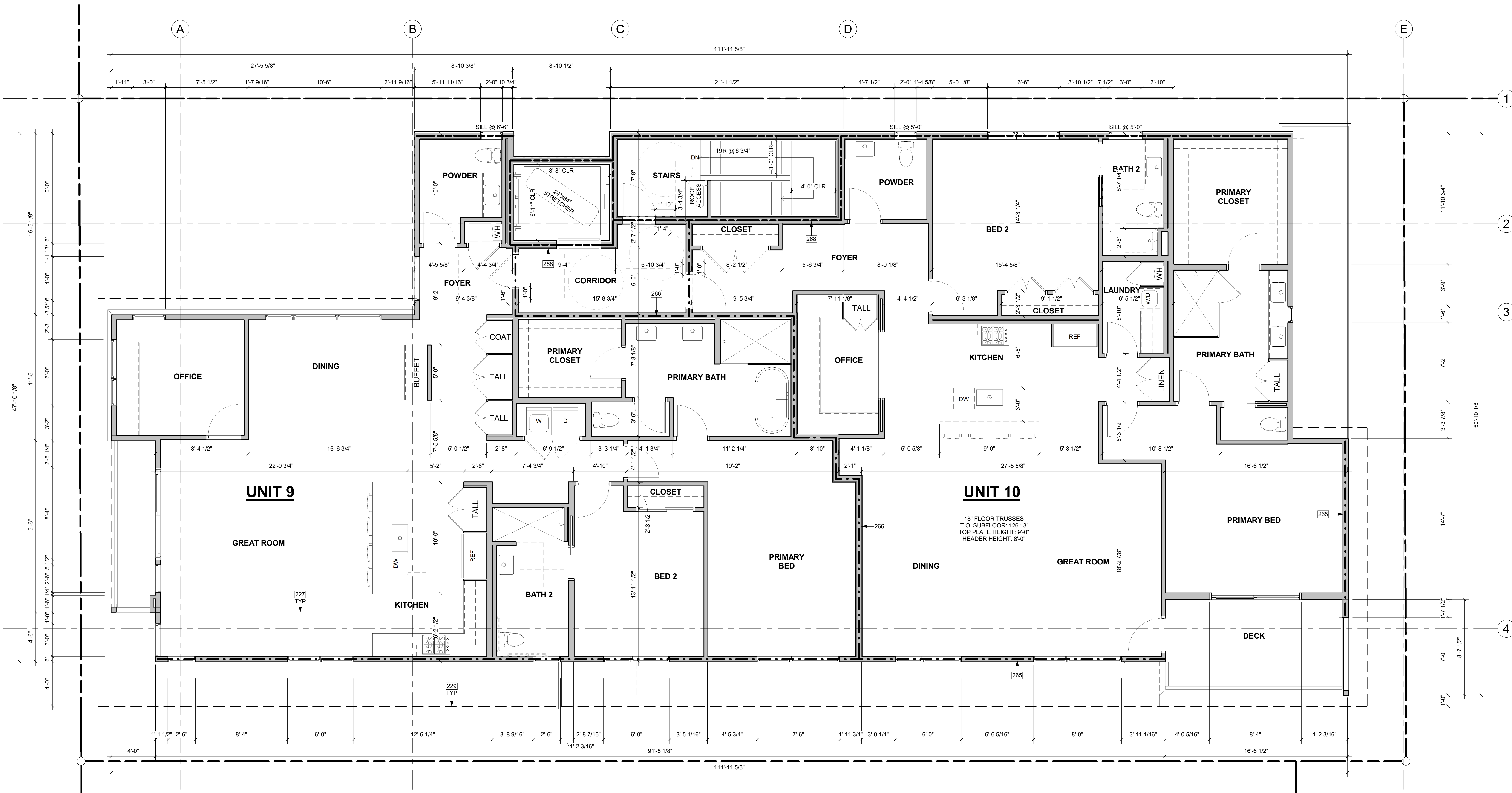
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



3RD FLOOR PLAN

1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number, Description

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4 1/2" FROM CORNER TYP., U.N.O.
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- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
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HOUSE VENTILATION

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Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS

FIRE-RESISTANCE ASSEMBLIES

- - - - - 1-HOUR RATED WALL ASSEMBLY
- - - - - 2-HOUR RATED WALL ASSEMBLY
- - - - - 3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

3RD FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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APPROVED FOR CONSTRUCTION:

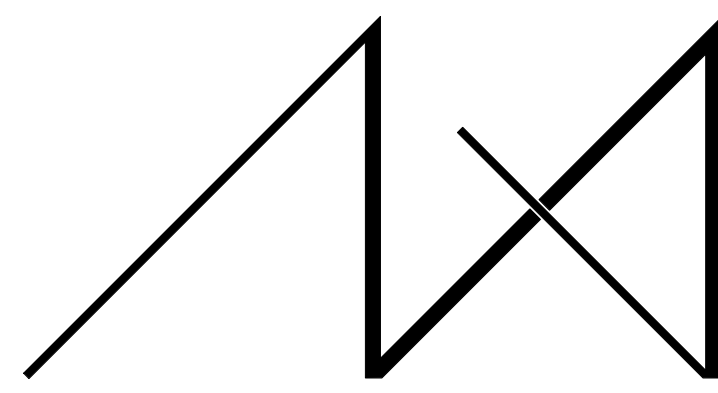
PROJECT No.: A21 021

DATE: 4/29/2023

A2.3

PLOT SCALE: 1:1

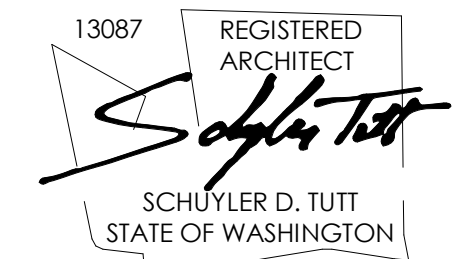




MEDICI ARCHITECTS

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REGISTRATION:



INTAKE DATE: 12/13/22

Table with 2 columns: REVISIONS, DATE. Multiple empty rows for revisions.

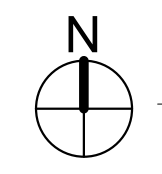
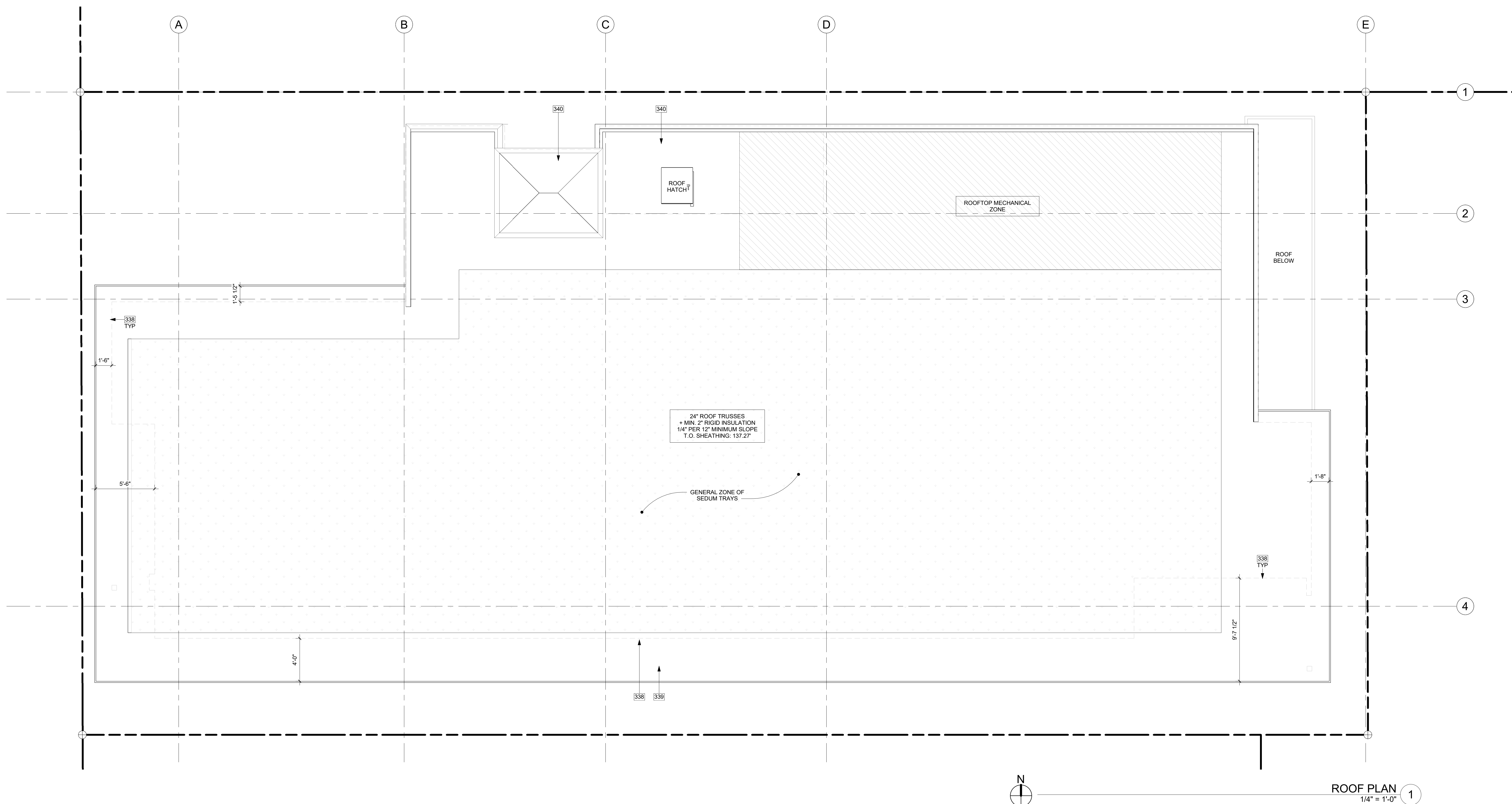
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



ROOF PLAN 1 1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number and description. Notes 338, 339, 340.

SYMBOL LEGEND

- Legend items: EAVE VENT, BUILDING BELOW, ROOF HAT VENT

ROOF VENTILATION

Table with 2 columns: Requirement and Value. Includes roof construction, area, ventilation requirements, and proposed ventilation details.

UPDATE ONLY SHOW ROOF VENTILATION IN USE

DRAWING NAME:

ROOF PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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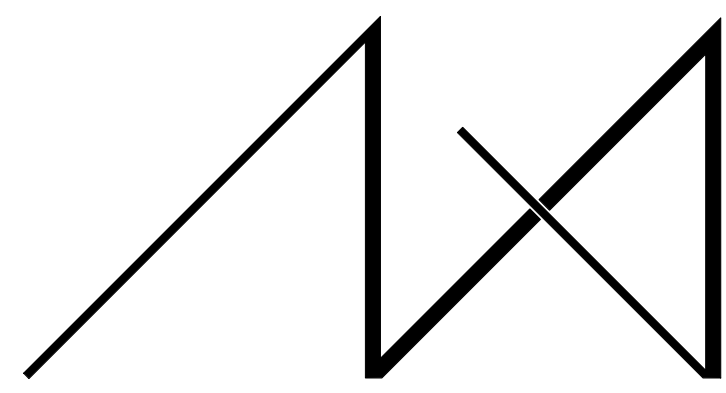
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

A3.0

PLOT SCALE: 1:1

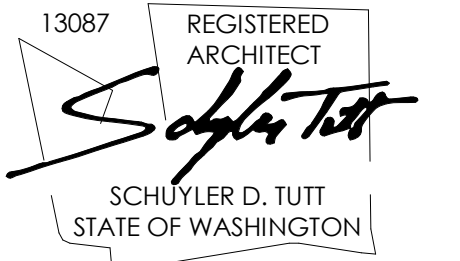


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REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

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PROJECT / CLIENT:

2900 78TH AVE SE

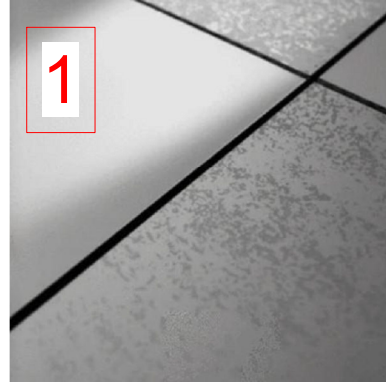
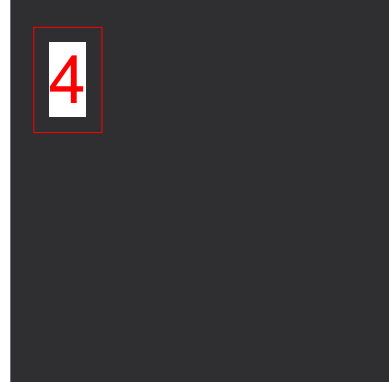
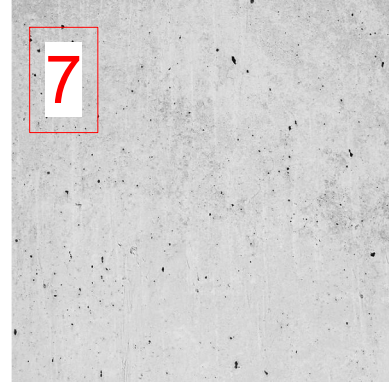
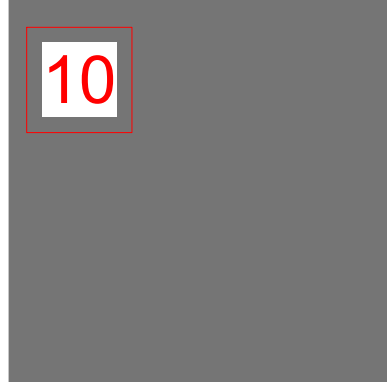
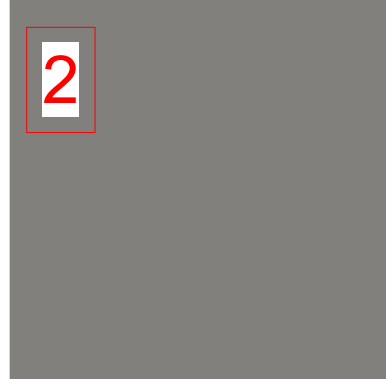
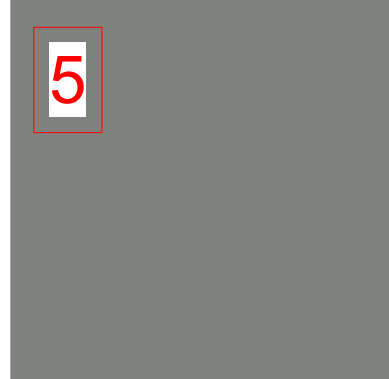
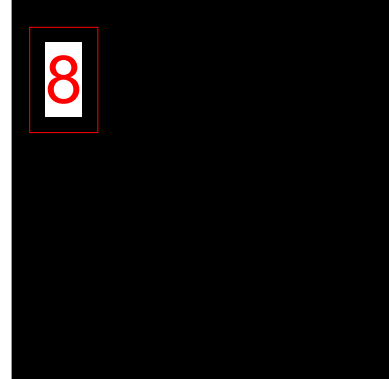
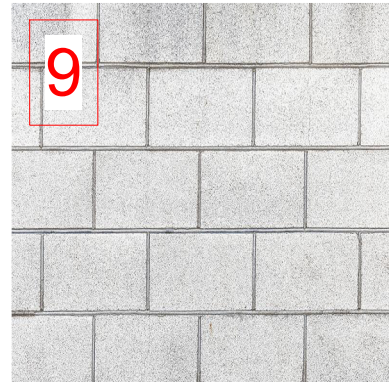
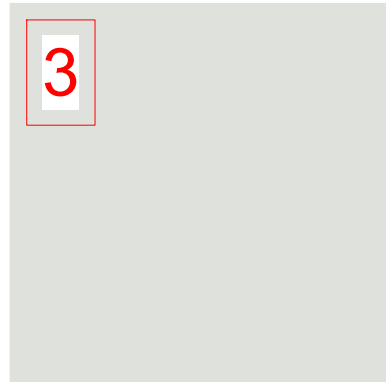

2900 Development LLC

JOB ADDRESS:

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SOUTH ELEVATION 1  
1/4" = 1'-0"

	TRESPA - LUMEN LONDON GREY OBLIQUE FINISH MATERIAL: ACCENT FAÇADE		SHERWIN WILLIAMS SW 6258 - TRICORN BLACK MATERIAL: INFILL PANELS FASCIA SOFFITS		CONCRETE MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS		GRAY MATERIAL: TRASH ENCLOSURE DOORS FLASHING
	TRESPA - LUMEN LONDON GREY DIFFUSE FINISH MATERIAL: WEST FAÇADE SOUTH FAÇADE		FIBER CEMENT PANEL SW 7067 - CITYSCAPE MATERIAL: NORTH FAÇADE EAST FAÇADE		BLACK MATERIAL: STRUCTURAL STEEL COLUMNS RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING		CMU BLOCK MATERIAL: TRASH ENCLOSURE
	NORTH CLAD ALUMINUM PANEL BONE WHITE MATERIAL: WEST FAÇADE SOUTH FAÇADE		FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE MATERIAL: RECESSED FAÇADES ELEVATOR SHAFT				

MATERIALS NTS

ELEVATION NOTES

- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED PER IRC R703.8. FLASHING AT WALLS: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R603.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS.
- CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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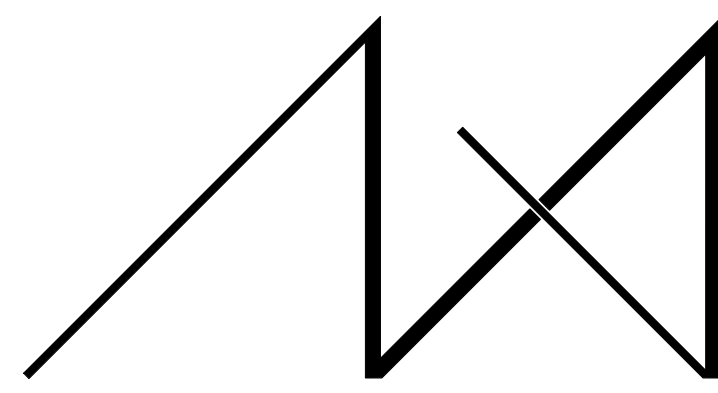
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

PLOT SCALE: 1:1

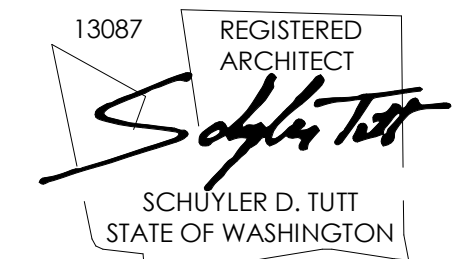
A4.0



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REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

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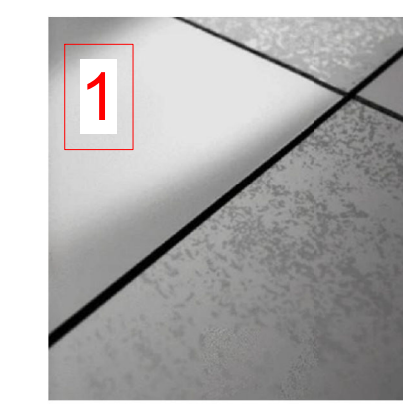
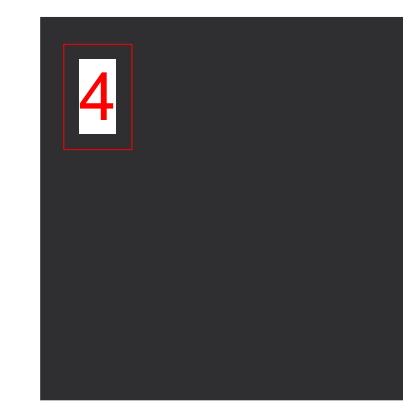
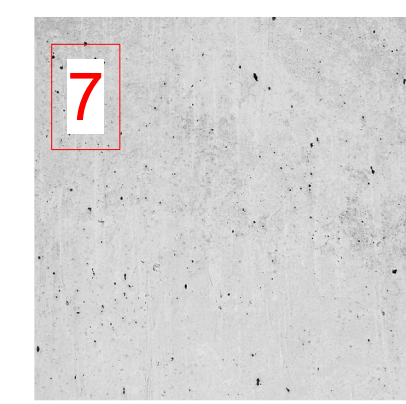
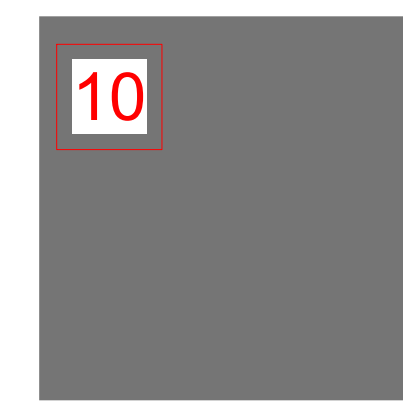
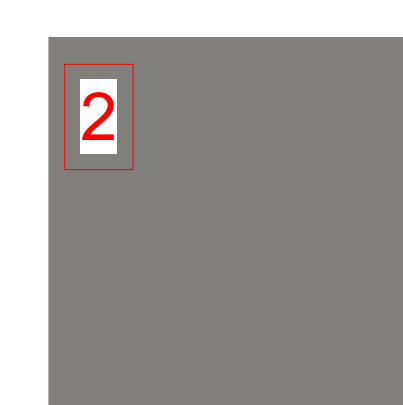
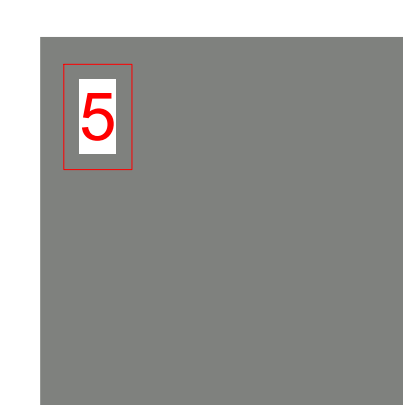
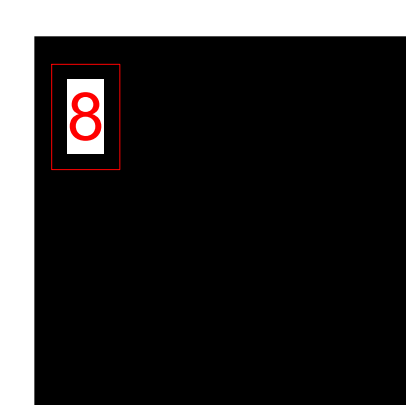
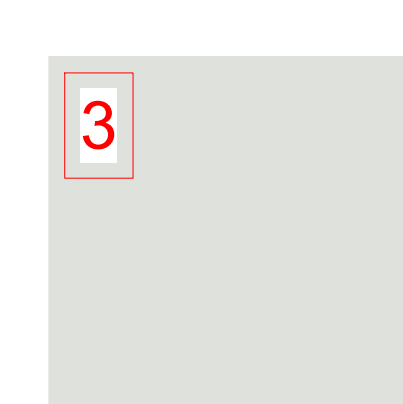

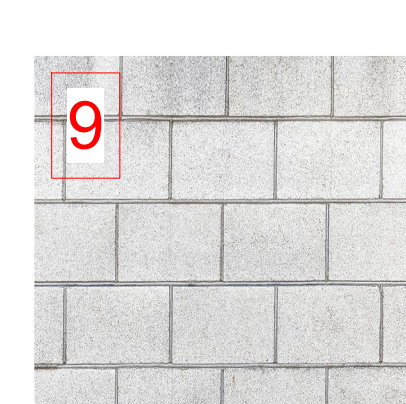
2900 Development LLC

JOB ADDRESS:

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MERCER ISLAND, 98040



NORTH ELEVATION  
1/4" = 1'-0" 1

 1 TRESPA - LUMEN LONDON GREY OBLIQUE FINISH MATERIAL: ACCENT FACADE	 4 SHERWIN WILLIAMS SW 6258 - TRICORN BLACK MATERIAL: INFILL PANELS FASCIA SOFFITS	 7 CONCRETE MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS	 10 GRAY MATERIAL: TRASH ENCLOSURE DOORS FLASHING
 2 TRESPA - LUMEN LONDON GREY DIFFUSE FINISH MATERIAL: WEST FACADE SOUTH FACADE	 5 FIBER CEMENT PANEL SW 7067- CITYSCAPE MATERIAL: NORTH FACADE EAST FACADE	 8 BLACK MATERIAL: STRUCTURAL STEEL COLUMNS WINDOW AND DOOR FRAMES RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING	
 3 NORTH CLAD ALUMINUM PANEL BONE WHITE MATERIAL: WEST FACADE SOUTH FACADE	 6 FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE MATERIAL: RECESSED FACADES ELEVATOR SHAFT	 9 CMU BLOCK MATERIAL: TRASH ENCLOSURE	

MATERIALS  
NTS

ELEVATION NOTES

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- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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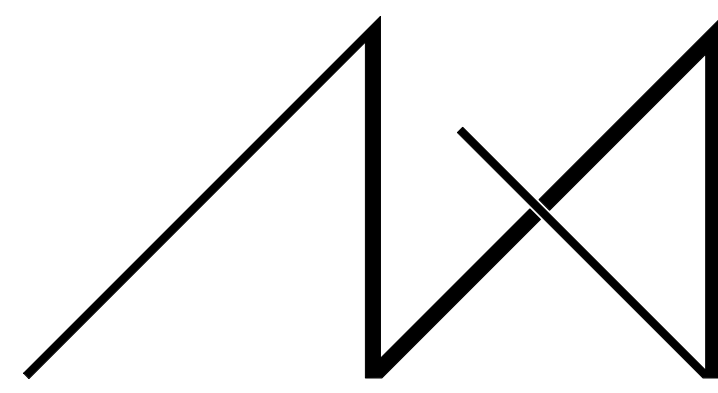
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

PLOT SCALE: 1:1

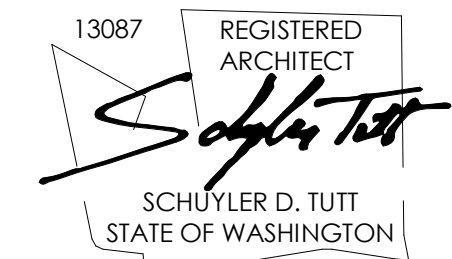
A4.1



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REGISTRATION:



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PROJECT / CLIENT:

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2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



1 TRESPA - LUMEN LONDON GREY OBLIQUE FINISH MATERIAL: ACCENT FACADE

2 TRESPA - LUMEN LONDON GREY DIFFUSE FINISH MATERIAL: WEST FACADE SOUTH FACADE

3 NORTH CLAD ALUMINUM PANEL BONE WHITE MATERIAL: WEST FACADE SOUTH FACADE

4 SHERWIN WILLIAMS SW 6258 - TRICORN BLACK MATERIAL: INFILL PANELS FASCIA SOFFITS

5 FIBER CEMENT PANEL SW 7067- CITYSCAPE MATERIAL: NORTH FACADE EAST FACADE

6 FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE MATERIAL: RECESSED FACADES ELEVATOR SHAFT

7 CONCRETE MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS

8 BLACK MATERIAL: STRUCTURAL STEEL COLUMNS WINDOW AND DOOR FRAMES RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING

9 CMU BLOCK MATERIAL: TRASH ENCLOSURE

10 GRAY MATERIAL: TRASH ENCLOSURE DOORS FLASHING

MATERIALS NTS

ELEVATION NOTES

- 1. VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
3. WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE...
4. PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R603.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS...
5. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
6. WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
7. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
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10. SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

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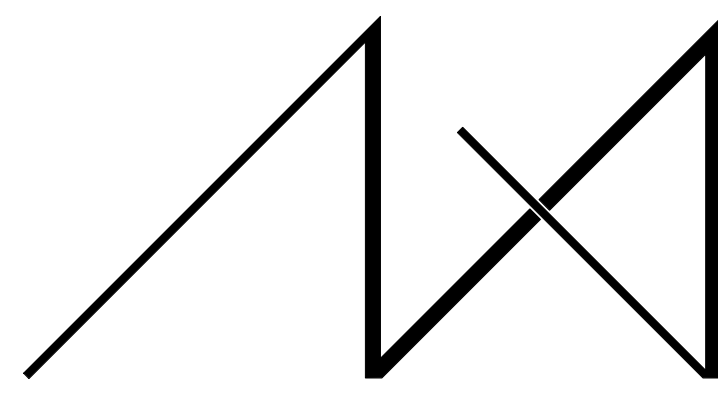
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

PLOT SCALE: 1:1

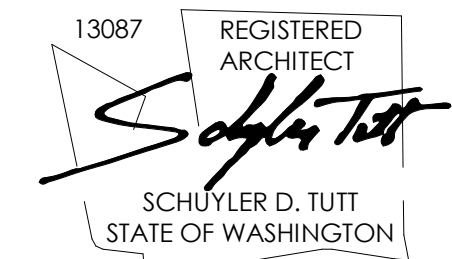
A4.2



MEDICI ARCHITECTS

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REGISTRATION:



INTAKE DATE: 12/13/22

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PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



EAST ELEVATION 1  
1/4" = 1'-0"

1 TRESPA - LUMEN LONDON GREY OBLIQUE FINISH  
MATERIAL: ACCENT FACADE

4 SHERWIN WILLIAMS SW 6258 - TRICORN BLACK  
MATERIAL: INFILL PANELS FASCIA SOFFITS

7 CONCRETE  
MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS

10 GRAY  
MATERIAL: TRASH ENCLOSURE DOORS FLASHING

2 TRESPA - LUMEN LONDON GREY DIFFUSE FINISH  
MATERIAL: WEST FACADE SOUTH FACADE

5 FIBER CEMENT PANEL SW 7067- CITYSCAPE  
MATERIAL: NORTH FACADE EAST FACADE

8 BLACK  
MATERIAL: STRUCTURAL STEEL COLUMNS RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING

3 NORTH CLAD ALUMINUM PANEL BONE WHITE  
MATERIAL: WEST FACADE SOUTH FACADE

6 FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE  
MATERIAL: RECESSED FACADES ELEVATOR SHAFT

9 CMU BLOCK  
MATERIAL: TRASH ENCLOSURE

MATERIALS NTS

ELEVATION NOTES

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- 9. SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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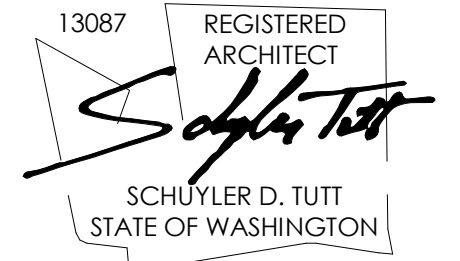
PROJECT No.: A21 021

DATE: 4/29/2023

PLOT SCALE: 1:1

A4.3

REGISTRATION:



INTAKE DATE: 12/13/22

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
 MERCER ISLAND, 98040



SW PERSPECTIVE  
 NTS



NW PERSPECTIVE  
 NTS



SE PERSPECTIVE  
 NTS



NE PERSPECTIVE  
 NTS

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

DRAWING NAME:

PERSPECTIVES

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 4/29/2023

A4.4

PLOT SCALE: 1:1