

MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS:	DATE:

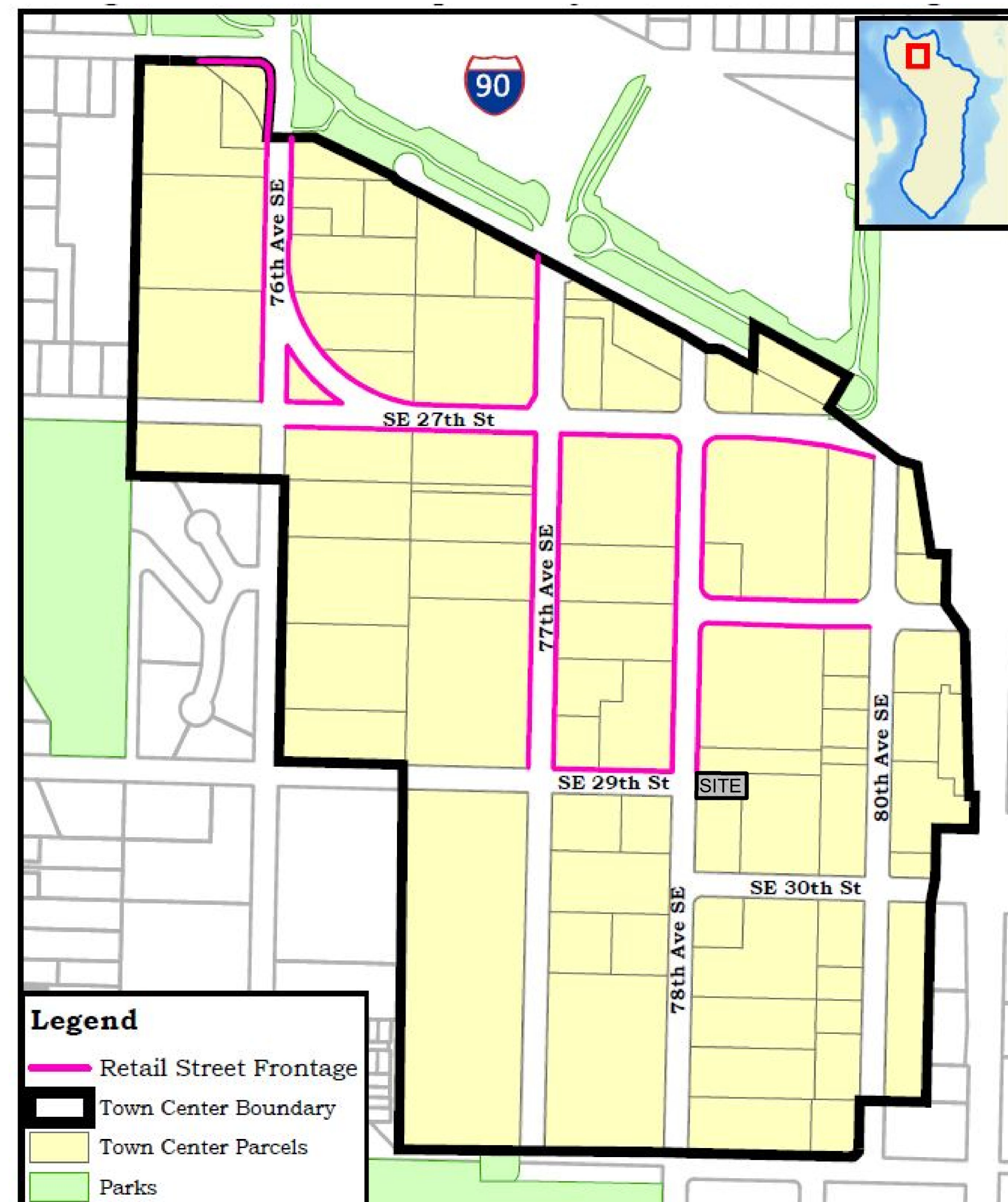
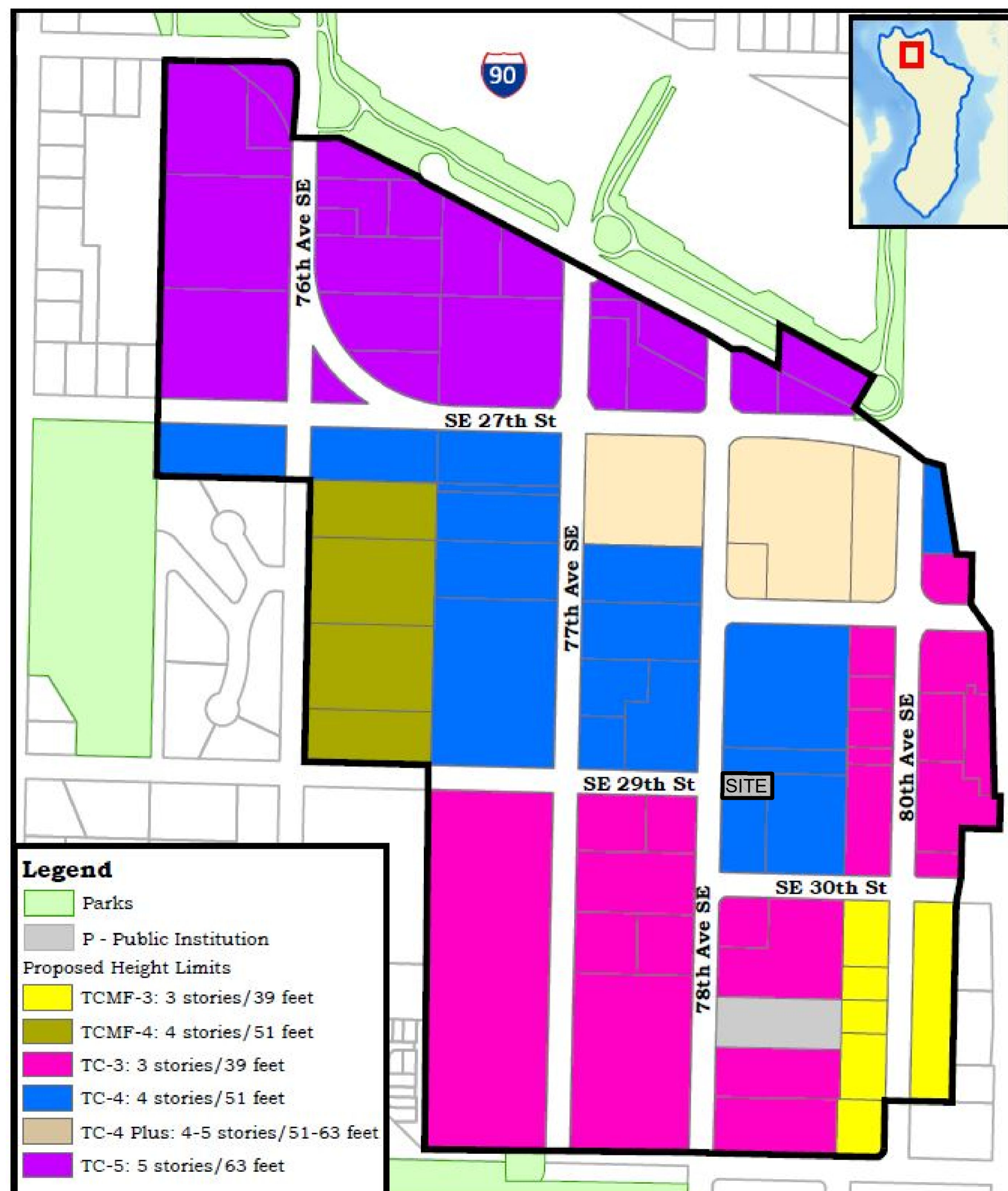
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



DRAWING NAME:

SITE CONTEXT

Drawn By: Author

Checked By: Checker

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

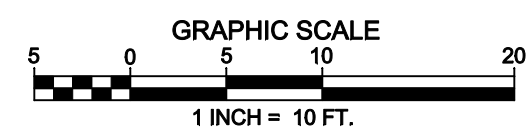
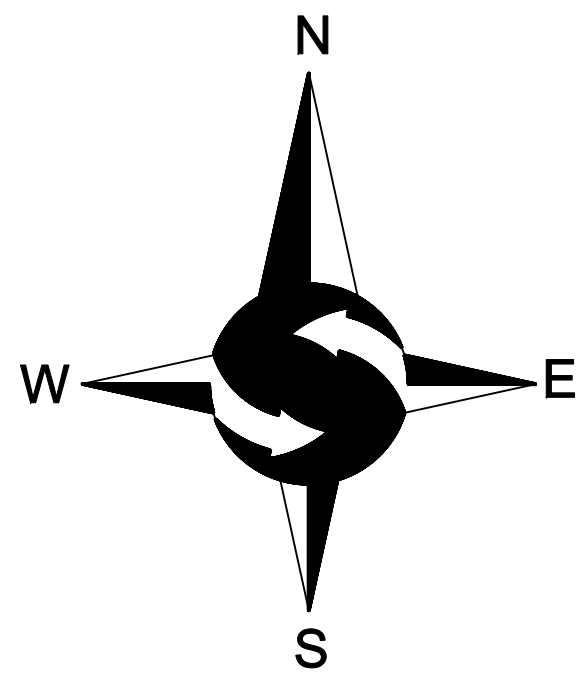
PROJECT No.: A21 021

DATE: 10/4/2023

PLOT SCALE: 1:1

'A0.1





**LEGEND**

	FOUND MONUMENT AS DESCRIBED		CONCRETE WALL
	FOUND MAG & WASHER		LIGHT POLE
	POWER METER		GAS VALVE
	SANITARY SEWER CLEANOUT		CATCH BASIN
	SANITARY SEWER MANHOLE		CATCH BASIN SOLID LID
	WATER VALVE		ELECTRICAL VAULT
	FIRE HYDRANT		POWER JUNCTION BOX
	WATER METER		ASPHALT SURFACE
	SIGN		CONCRETE SURFACE
	APPROXIMATE LOCATION SANITARY SEWER LINE		DECIDUOUS
	APPROXIMATE LOCATION STORM DRAIN LINE		PINE
	APPROXIMATE LOCATION UNDERGROUND GAS LINE		
	APPROXIMATE LOCATION UNDERGROUND WATER LINE		
	APPROXIMATE LOCATION UNDERGROUND POWER LINE		
	APPROXIMATE LOCATION UNDERGROUND TELEPHONE LINE		

**LEGAL DESCRIPTION**

THE WEST 120 FEET OF THE NORTH HALF OF LOT 4, BLOCK 14, MCGILLVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

RECORD OF SURVEY BY PACE FOR GENCOR S. - NORTHGATE L.P., AS RECORDED UNDER RECORDING NUMBER 199801239001, RECORDS OF KING COUNTY, WASHINGTON.

**PROJECT INFORMATION**

SURVEYOR:	SITE SURVEYING, INC. 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412
PROPERTY OWNER:	2900 DEVELOPMENT LLC 3010 77TH AVENUE SE, SUITE 108 MERCER ISLAND, WA 98040
TAX PARCEL NUMBER:	531510-1219
PROJECT ADDRESS:	2900 78TH AVENUE SE MERCER ISLAND, WA 98040
ZONING:	TC
JURISDICTION:	CITY OF MERCER ISLAND
PARCEL ACREAGE:	7,200 SF (0.165 ACRES) AS SURVEYED

**GENERAL NOTES**

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN FEBRUARY 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

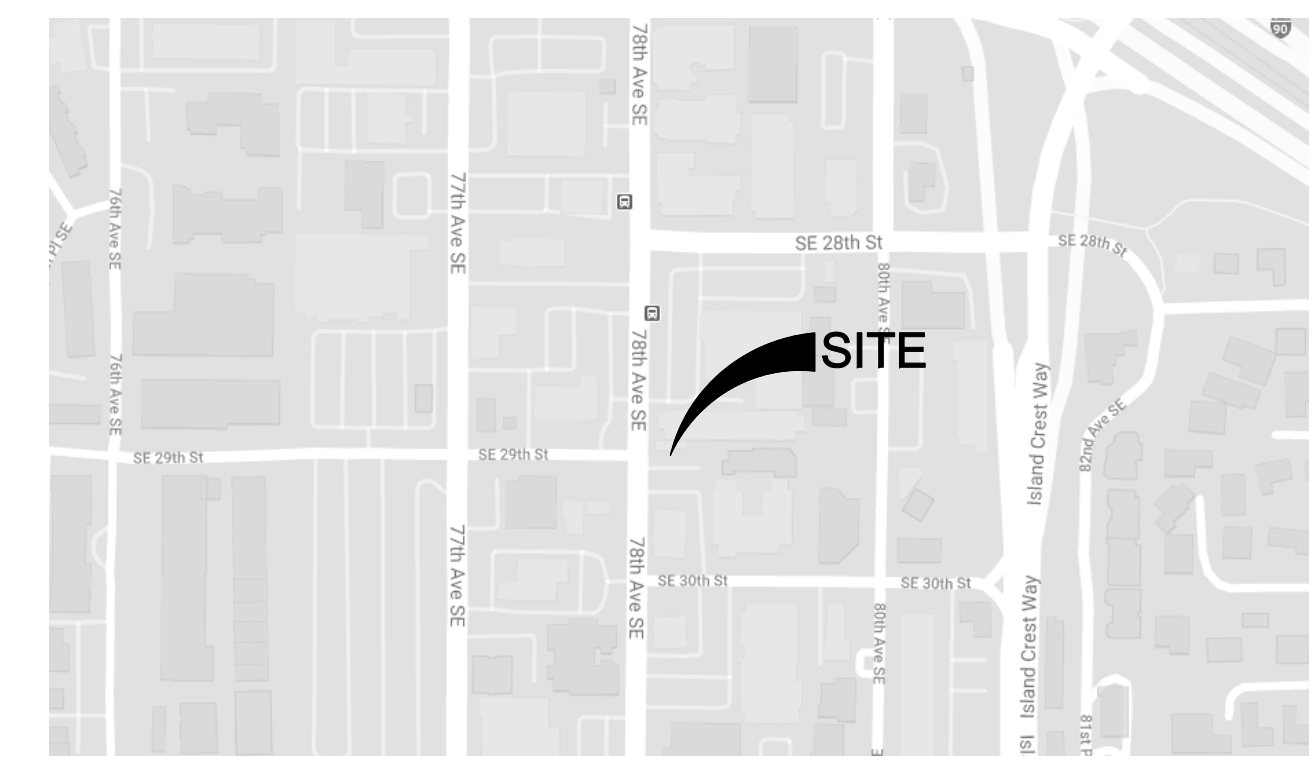
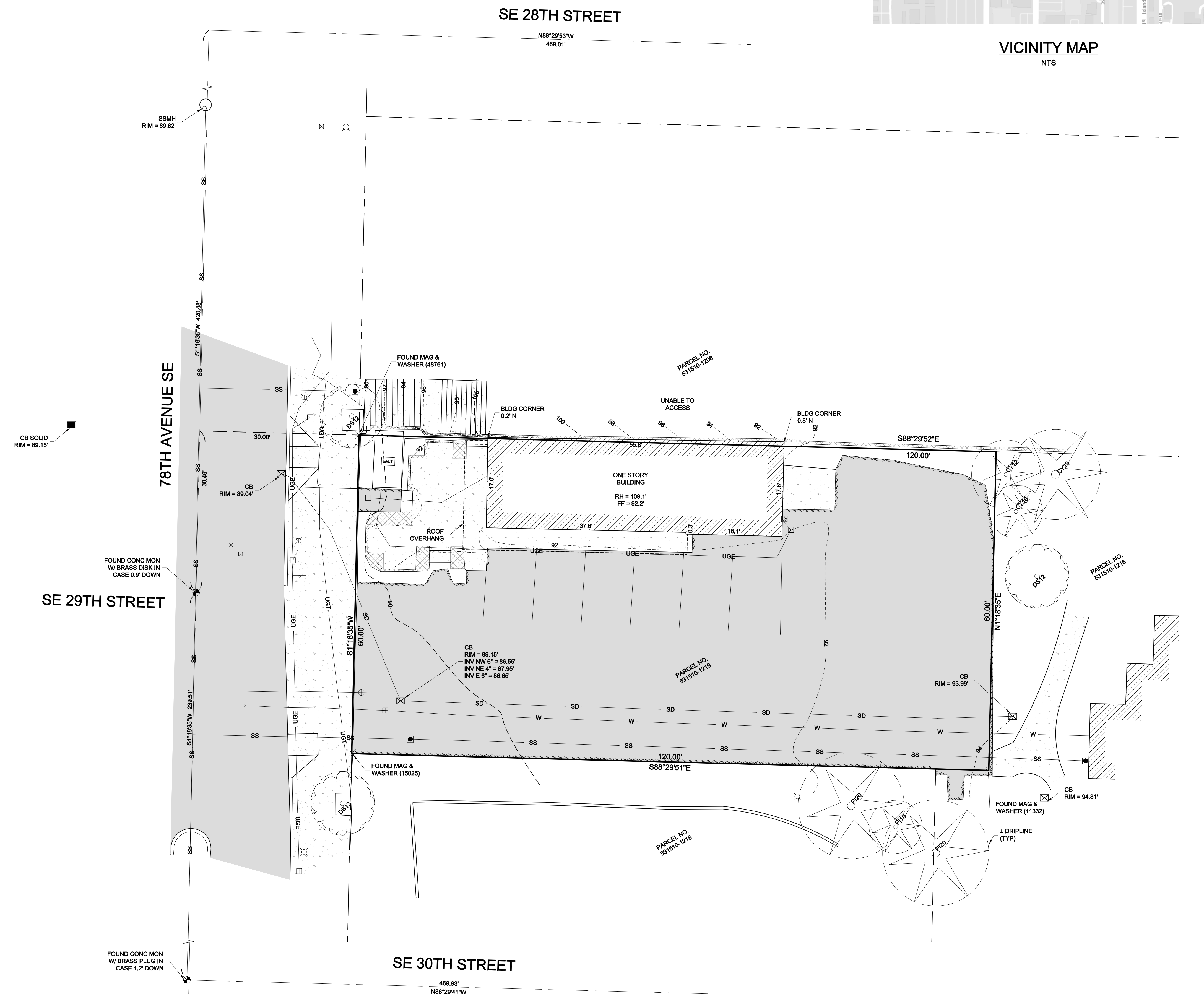
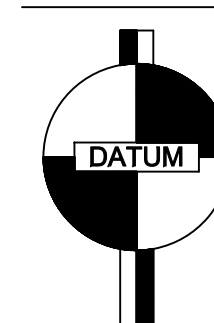
**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

THE MARK IS A BRASS CAP STAMPED "LS 23613 1995" SET IN MONUMENT CASE AT THE INTERSECTION OF SE 29TH STREET AND 78TH AVENUE SE.

POINT ID NO. 9110;  
ELEVATION: 88.424 FEET (26.952 METERS) NAVD 83

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR THIS PROJECT.



VICINITY MAP  
NTS

SW 1/4, NE 1/4, SEC 12, TWP 24N, RNG 4E, W.M.

www.siteurveying.com  
21923 NE 11th Street Sammamish, WA 98074  
Phone: 425.298.4412

DATE	REVISION	DRN	TNW
3/3/23	TREES & DRIPLINES ADDED		

**TOPOGRAPHIC SURVEY**  
JASON IMANI  
2900 78TH AVENUE SE  
MERCER ISLAND, WA 98040

PROJECT NO. 21-075

DRAWN BY: MTS  
CHECKED BY: TNW  
DATE: 3/3/23  
SHEET 1 OF 1

© 2021, SITE SURVEYING, INC. ALL RIGHTS RESERVED.



REGISTRATION:

**PRELIMINARY**

INTAKE DATE: 12/13/22

REVISIONS: DATE:

1	CORRECTIONS	4/19/2023

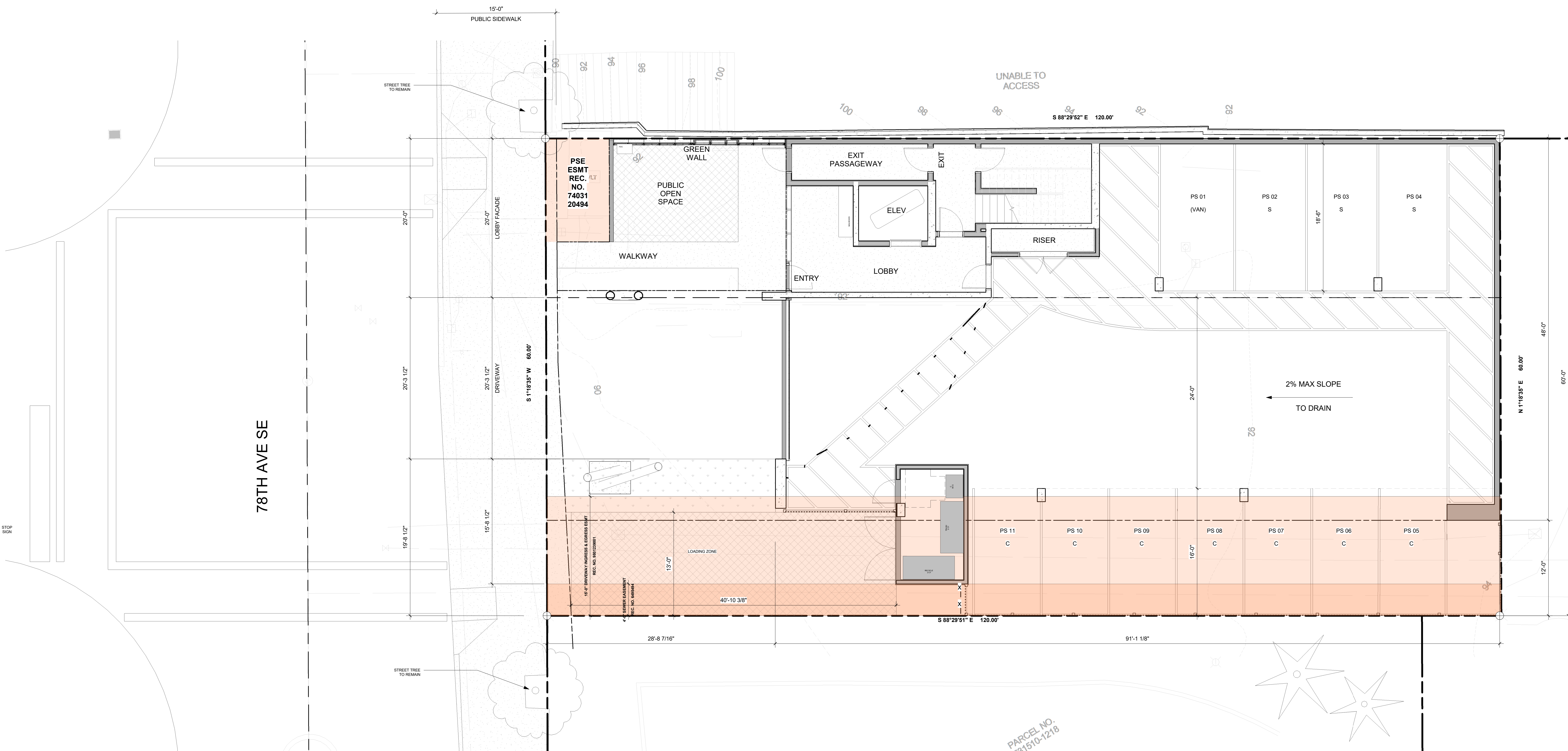
PROJECT / CLIENT:

**2900 78TH AVE SE**

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



**SITE PLAN**  
3/16" = 1'-0" 1

**ZONING REQUIREMENTS**

JURISDICTION: CITY OF MERCER ISLAND  
 ZONING: TC-4  
 PARCEL ASSESSOR'S #: 531510-1219  
 LOT SIZE: 7200 SF = 0.17 ACRE

**LEGAL DESCRIPTION:**  
 THE WEST 120 FEET OF THE NORTH HALF OF LOT 4, BLOCK 14, MCGILVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**MAXIMUMS:**  
 MAX. FAR: 2.3 (X SF) MUST MEET THE STANDARDS OF SUBSECTION 23.45.530, GREEN BUILDING STANDARDS  
 MAX. HEIGHT: 27' BASE HEIGHT  
 51' MAX HEIGHT (REQUIRES MIN. 10% AFFORDABLE HOUSING)  
 MAX. STORIES: 2 BASE STORIES  
 4 MAX STORIES (REQUIRES MIN. 10% AFFORDABLE HOUSING)  
 GROUND FLOOR HEIGHT: 15' MINIMUM / 27' MAXIMUM

**SETBACKS:**  
 TOWN CENTER - TC-4 SUBAREA, PER MICC 19.11.030  
 REQUIRED FRONT: MIN. 0' MIN PROVIDED: SEE SIDEWALK REQ'T  
 REQUIRED SIDE: MIN. 0' MIN PROVIDED: 0' NORTH, 12' SOUTH  
 REQUIRED REAR: MIN. 0' MIN PROVIDED: 0'

**SIDEWALK:**  
 MICC 19.11.030(A)(6)  
 ALONG 78TH AVE SE, ALL STRUCTURES SHALL BE SET BACK SO THAT SPACE IS PROVIDED FOR AT LEAST 15 FEET OF SIDEWALK BETWEEN THE STRUCTURE AND THE FACE OF THE STREET CURB.

**DAYLIGHT PLANE:**  
 MICC 19.11.030(A)(7)  
 BLOCK FRONTAGES ALONG STREETS MUST INTEGRATE AVERAGE MINIMUM UPPER BUILDING SETBACK. FROM A HEIGHT OF 25 FEET AT THE FRONT PROPERTY LINE, BUILDINGS SHALL STEP BACK AT A 45-DEGREE ANGLE UP TO THE MAXIMUM HEIGHT LIMIT.

**VEHICULAR PARKING:**  
 MICC 19.11.130

REQUIRED:	1 TO 1.4 STALLS PER UNIT (10 UNITS = MIN. 10 STALLS)
PROVIDED:	VAN ACCESSIBLE: 1
	STANDARD: 3 (22.2%)
	COMPACT: 7 (66.7%)
	TOTAL: 11

**LEGEND**

□ LOCATION OF EXISTING EASEMENTS IDENTIFIED IN TITLE REPORT

DRAWING NAME:

**SITE PLAN**

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

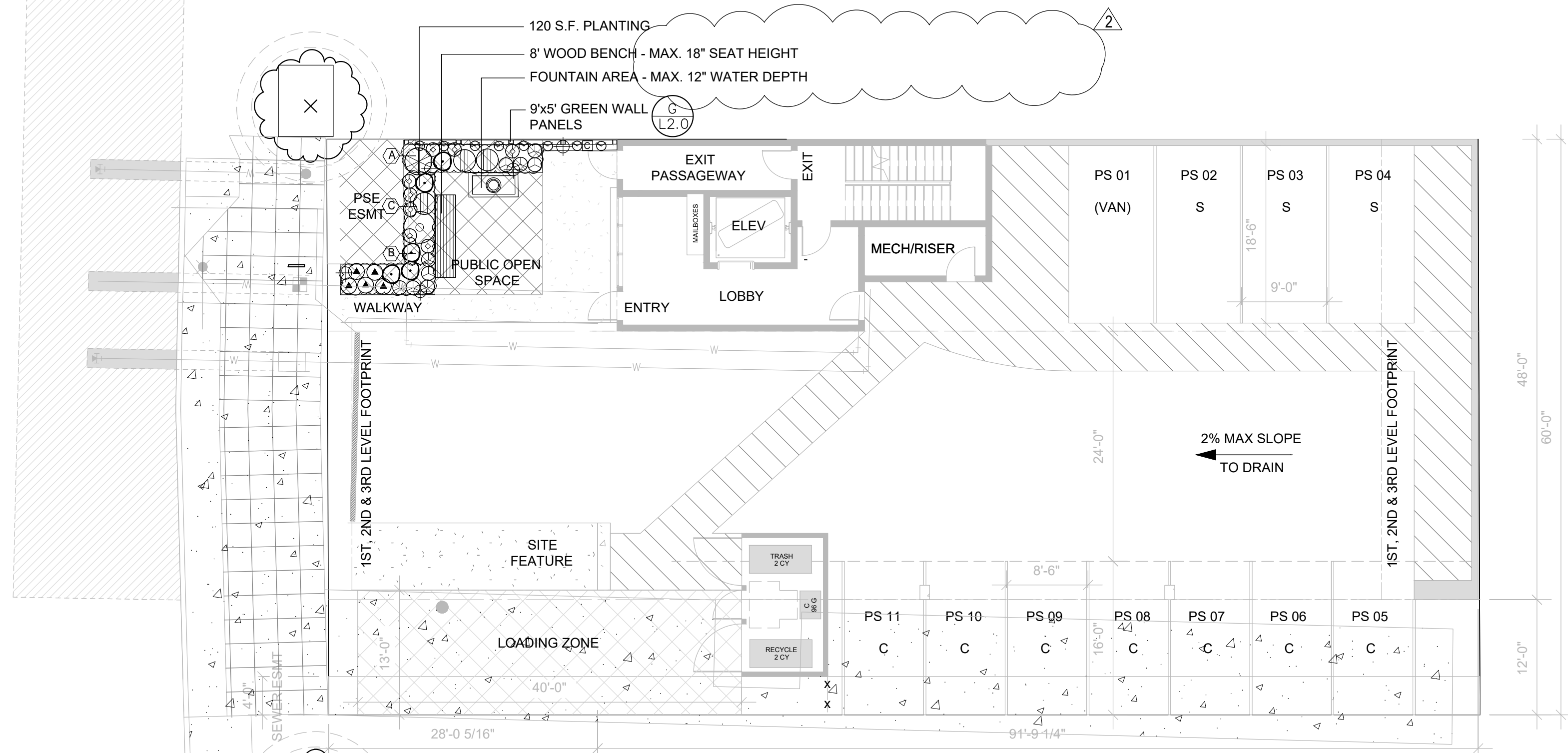
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

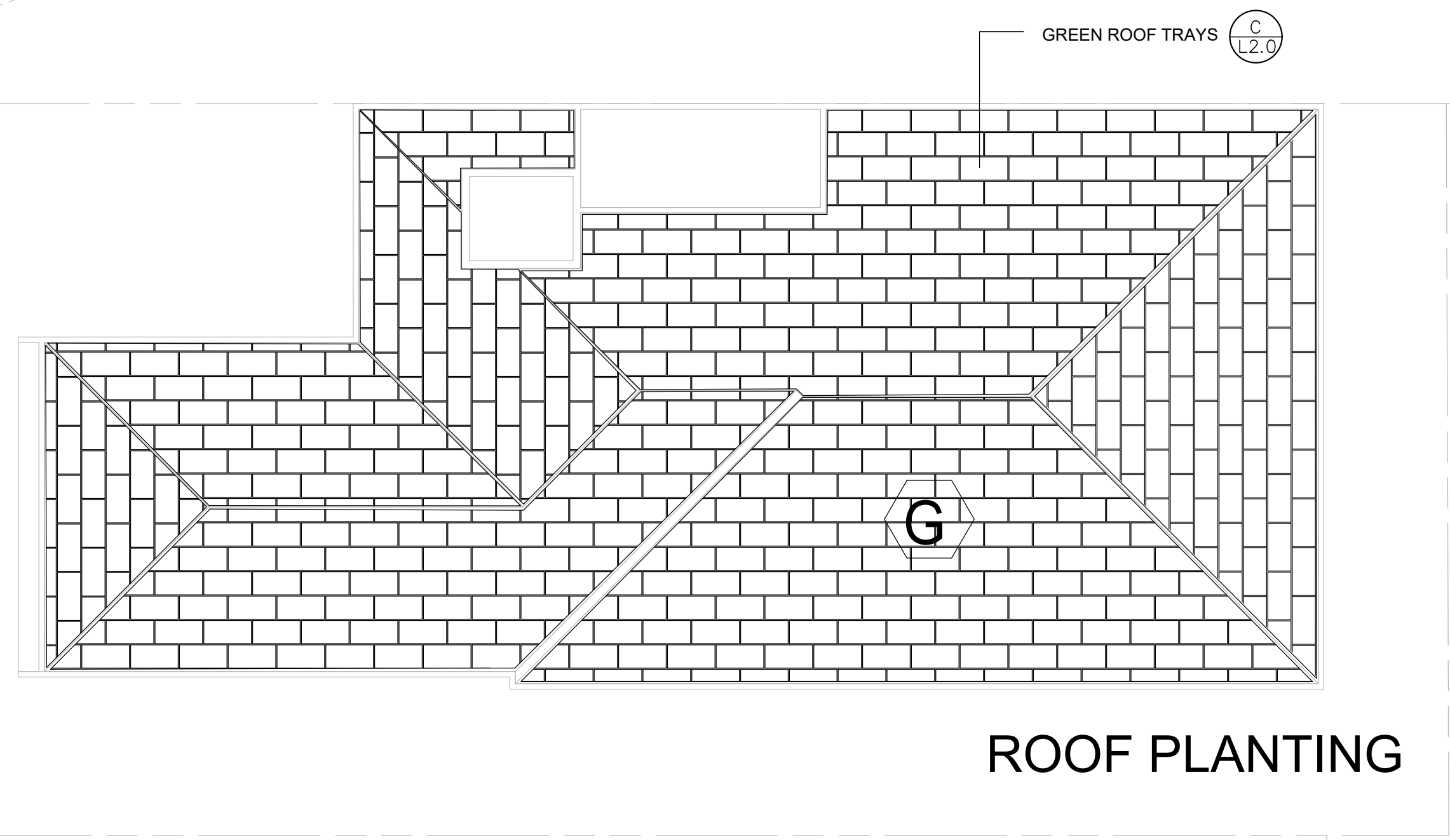
DATE: 10/4/2023

PLOT SCALE: 1:1

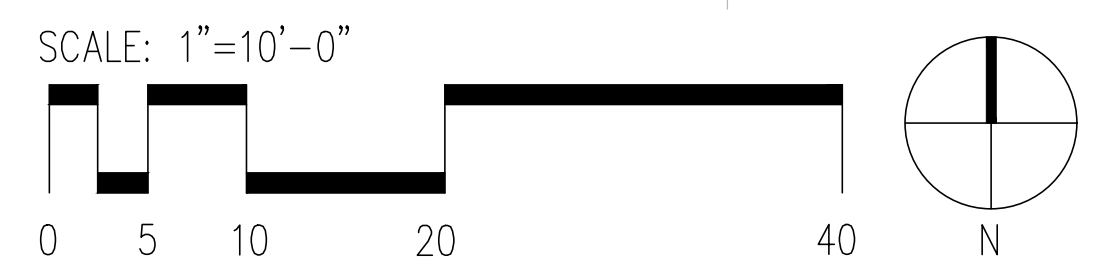
**A0.1a**



### SITE PLANTING



### ROOF PLANTING



#### PLANTING SCHEDULE:

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE AT PLANTING	QTY.	NATIVE / ADAPTIVE
<b>TREES</b>				
(X)	INDICATES EXISTING SIGNIFICANT TREE AND CRITICAL ROOT ZONE AT CANOPY EDGE - SAVE AND PROTECT.			
<b>SHRUBS</b>				
(R)	RIBES SANGUINUM / RED FLOWERING CURRENT	24" HT., 5-GAL POT	1	YES
(S)	RHODODENDRON OCCIDENTALE / WESTERN AZALEA	24" HT., 5-GAL POT	1	YES
(M)	MAHONIA NERVOSA / LONG-LEAF MAHONIA	12" HT., 2-GAL POT MAX. HT. 20"	8	YES
(D)	BLECHNUM SPICANT / DEER FERN	18" HT., 1-GAL POT	3	YES
(C)	CORNUS STOLONIFERA 'KELSEY DWARF RED-TWIG	12" HT., 2-GAL POT MAX. HT. 20"	9	YES
(A)	AQUILEGIA FORMOSA / WESTERN COLUMBINE	12" HT., 1-GAL POT MAX. HT. 18"	5	YES
(L)	LIRIOPE MUSCARI / BIG BLUE LILY TURF	12" HT., 1-GAL POT MAX. HT. 18"	5	NO
(T)	LONICERA CLOSA / TRUMPET HONEYSUCKLE	24" HT., 1-GAL POT, PLANT (2) BELOW EA. GREEN SCREEN 5' PANEL	8	YES
<b>GROUNDCOVERS</b>				
(A)	LIRIOPE SPICATA / CREEPING LILY TURF	4-INCH POT	1'-0" O.C.	NO
(B)	CORNUS CANADENSIS / BUNCH-BERRY	4-INCH POT	1'-0" O.C.	YES
(C)	MAHONIA REPENS / CREEPING MAHONIA	4-INCH POT	1'-0" O.C.	YES
(G)	SEDUM DIVERGENS / STONECROP, MIX OF THREE VARIETIES	2"x4"x1/2" DEEP GREENROOF TRAYS	4,131 S.F.	YES

#### NOTES

- ALL NEW PLANTING SHALL BE INSTALLED AS PER CITY OF MERCER ISLAND INSTALLATION STANDARDS AND PLANS.
- ALL NEW ON-GRADE PLANTING AREAS SHALL RECEIVE MINIMUM 12" OF IMPORTED TOPSOIL TILLED INTO THE TOP 12" AND MINIMUM 2" OF BARK MULCH.
- ALL NEW PLANTING AREAS SHALL BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM WITH RAIN-SHUT-OFF DEVICE.
- PROPOSED APARTMENT BUILDING WILL BE PERMITTED UNDER A SEPARATE BUILDING PERMIT.

#### LIGHTING SCHEDULE:

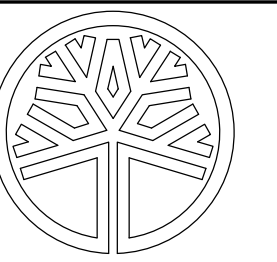
SYMBOL	DESCRIPTION	MANUFACTURER	QUANTITY
<b>EQUIPMENT</b>			
(P)	INDICATES PATHWAY LIGHT FIXTURE	KIDHLER LED SHALLOW SHADE-SMALL MODEL 15805-BKT-4W 12 VOLT LED LAMP, 23" HT., WITH GROUND STAKE MOUNTING, TEXTURED BLACK COLOR	5
(C)	INDICATES LIGHTING CONTROLLER, TRANSFORMER, TIMER, PHOTOCELL	100 AMP CONTROLLER 120 TO 12 VOLT TRANSFORMER, PHOTOCELL, TIMER - WALL MOUNT AT 4' HT. FROM FINISH GRADE	1

**JGM**  
 LANDSCAPE ARCHITECTS  
 INCORPORATED P.S.  
 LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 SITE PLANNING  
 PARKS AND RECREATION PLANNING  
 12610 NE 104TH ST.  
 KIRKLAND WA 98033  
 PH: 425.454.5723  
 FX: 425.822.3525  
 E: jgm@jgm-inc.com

2900 78TH AVE. S.E.  
 MERCER ISLAND, WA  
 98040

REVISIONS/DRAWING ISSUES:  
 7-20-2022  
 2-7-2023

Drawn by: CL  
 Checked by: CL



STATE OF WASHINGTON  
 REGISTERED  
 LANDSCAPE ARCHITECT  
*Lain D. Reiss*  
 CERTIFICATE NO. 442

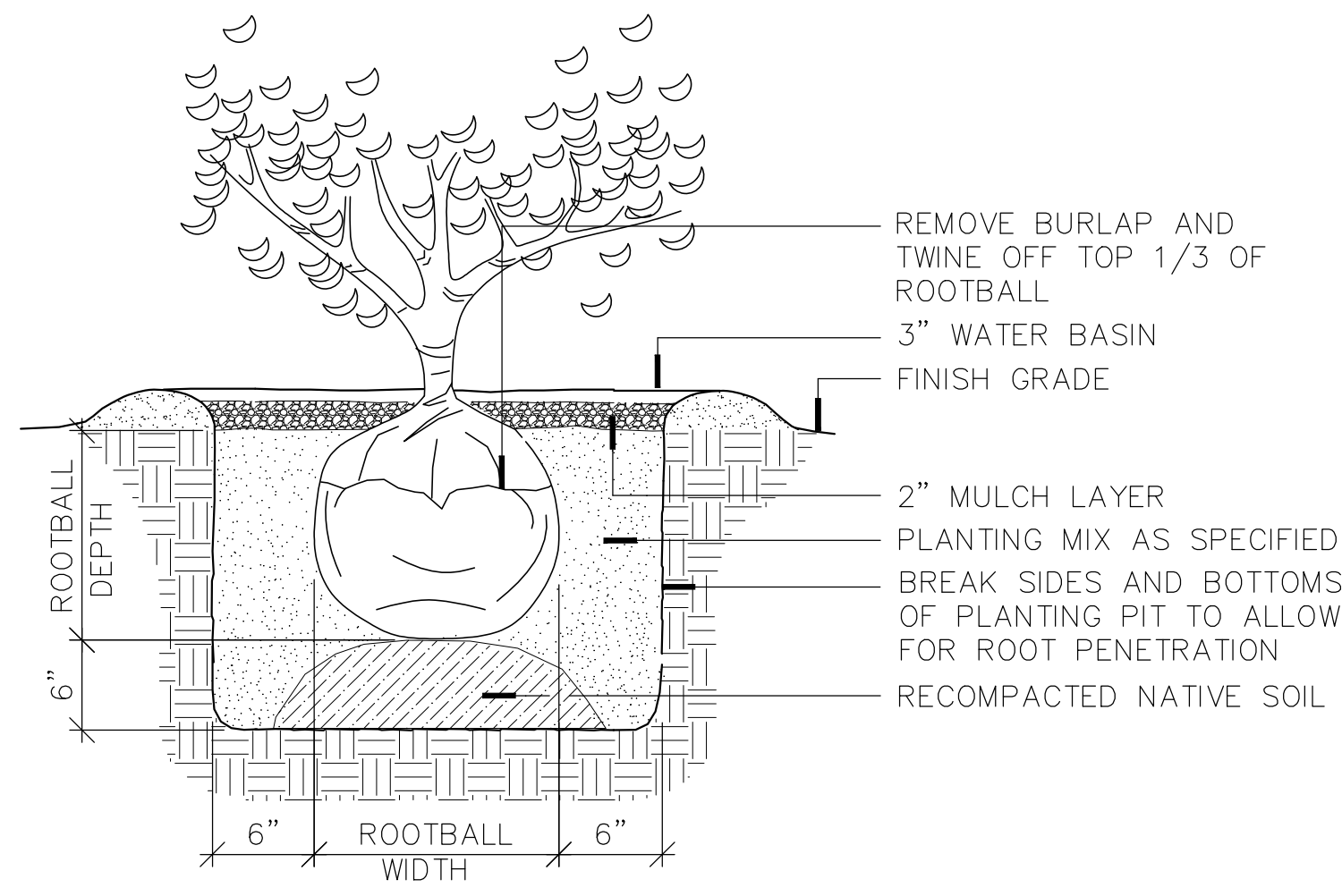
DATE: 6-10-2022

LAST UPDATE:  
 CAD FILE:

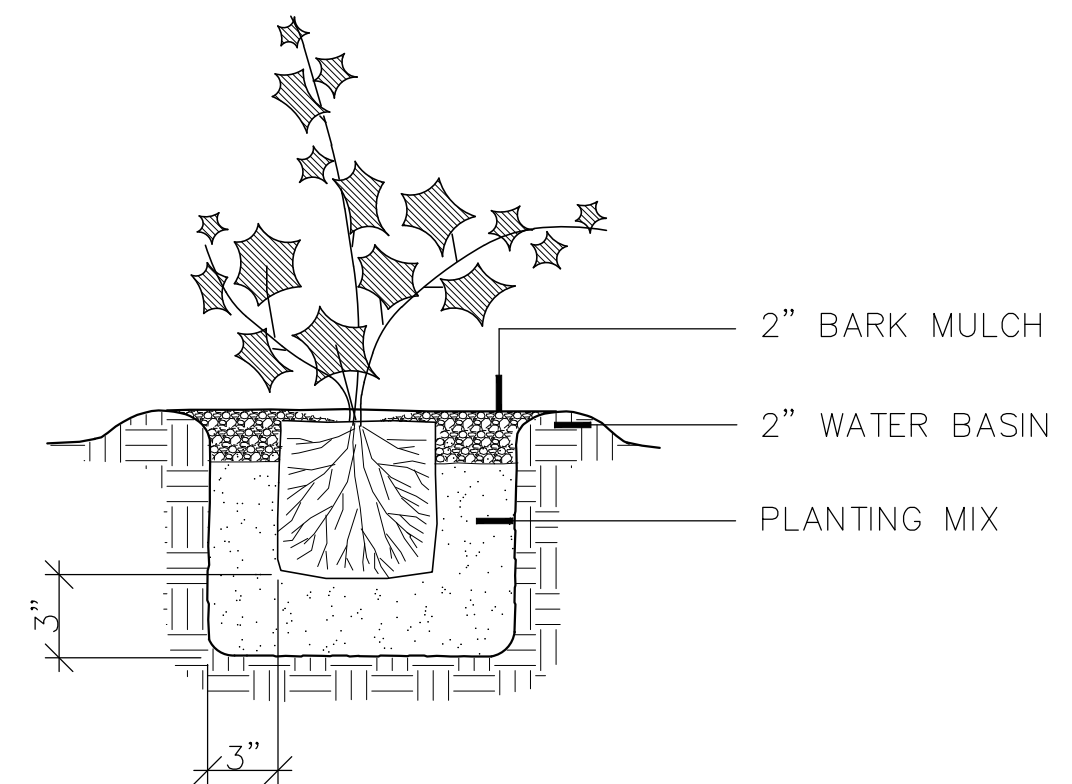
DRAWING TITLE  
**PLANTING PLAN**

SHEET NUMBER  
**L1.0**

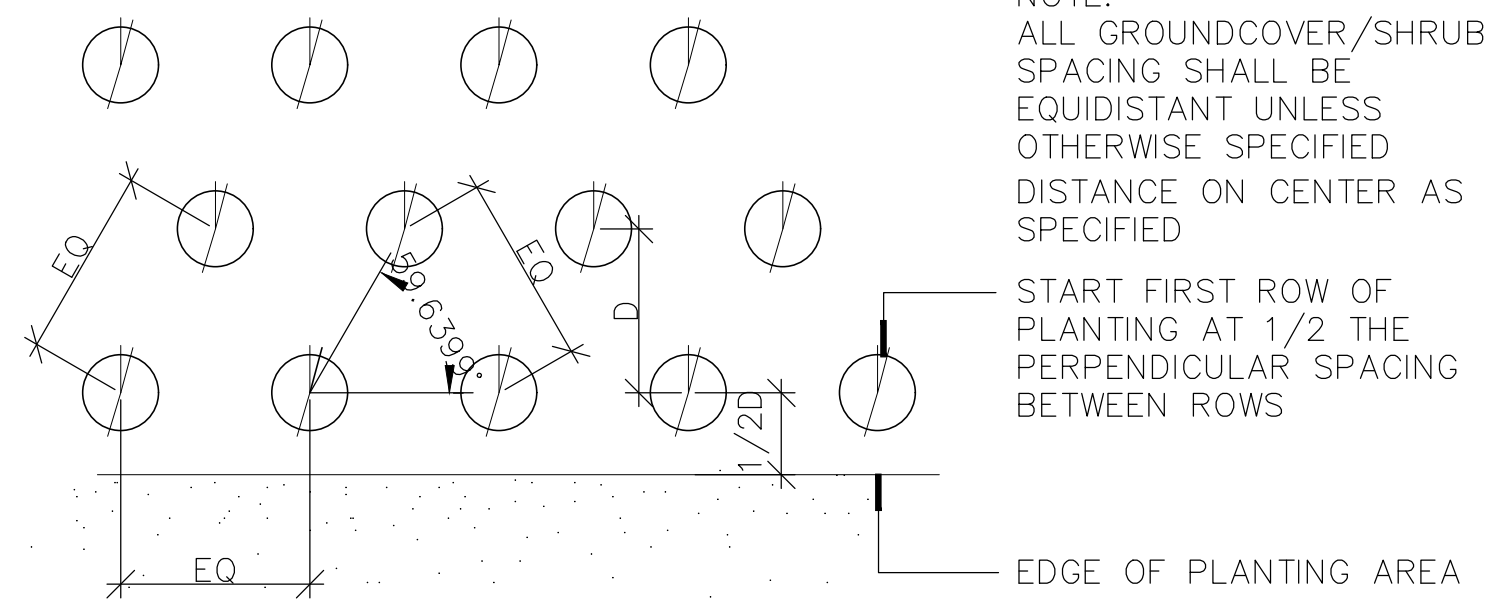




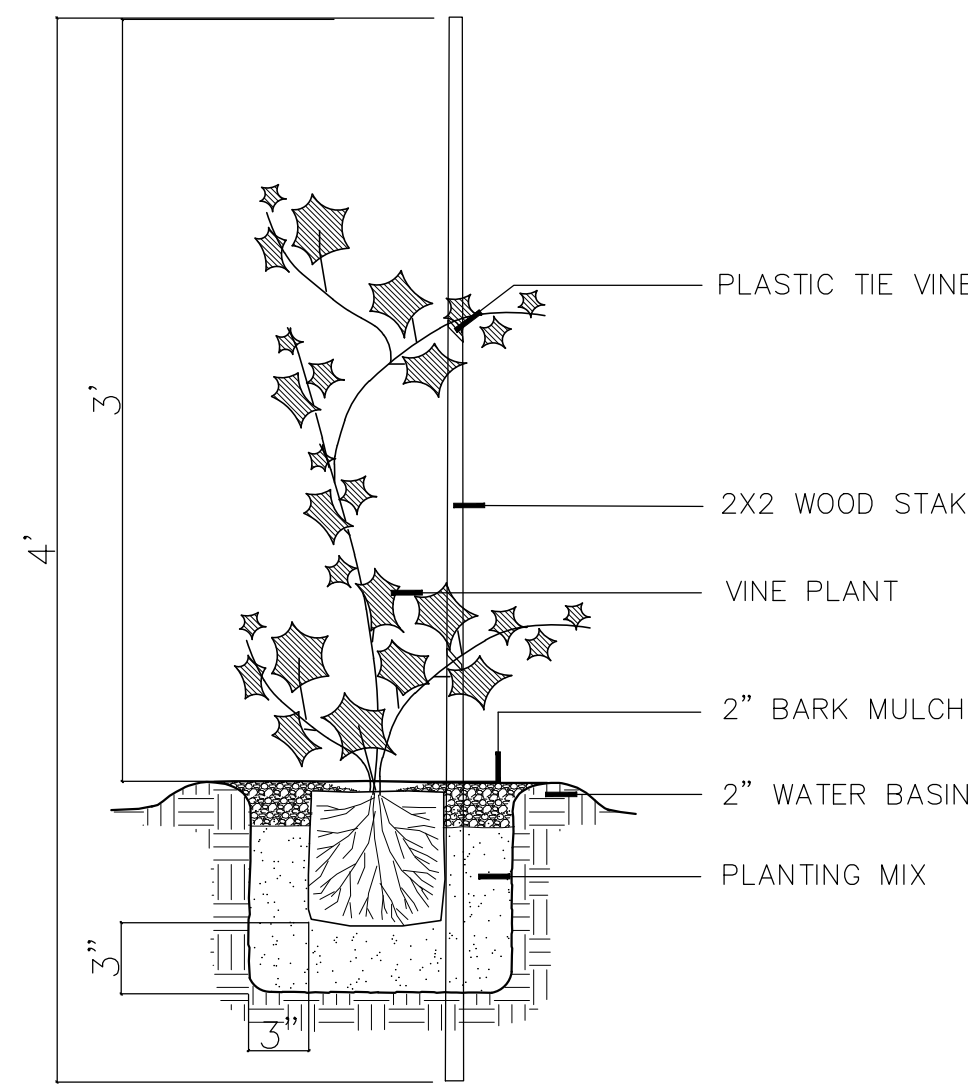
**A** TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE SHRUB-1



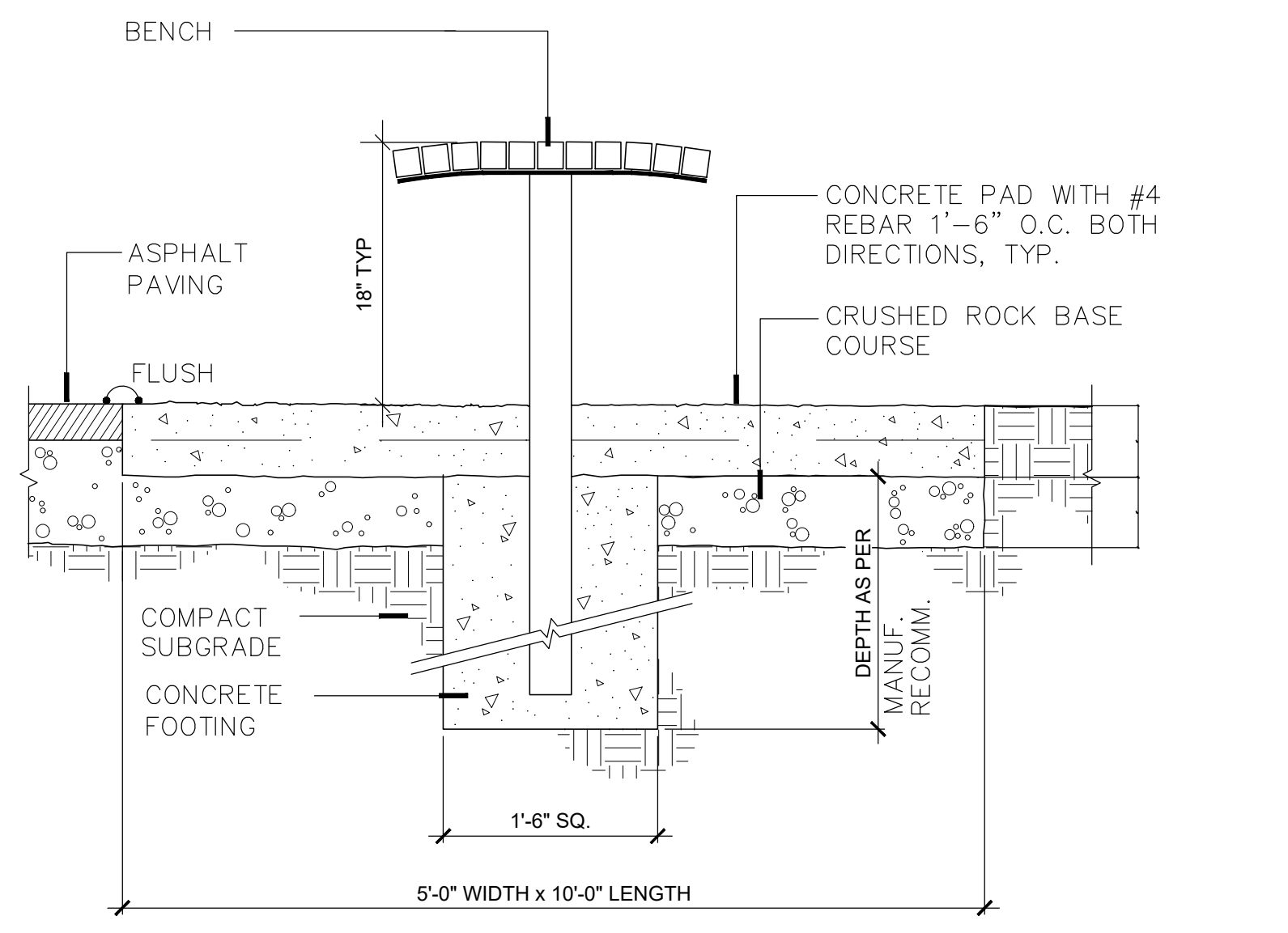
**B** GROUNDCOVER PLANTING  
NOT TO SCALE GRNDCLR1



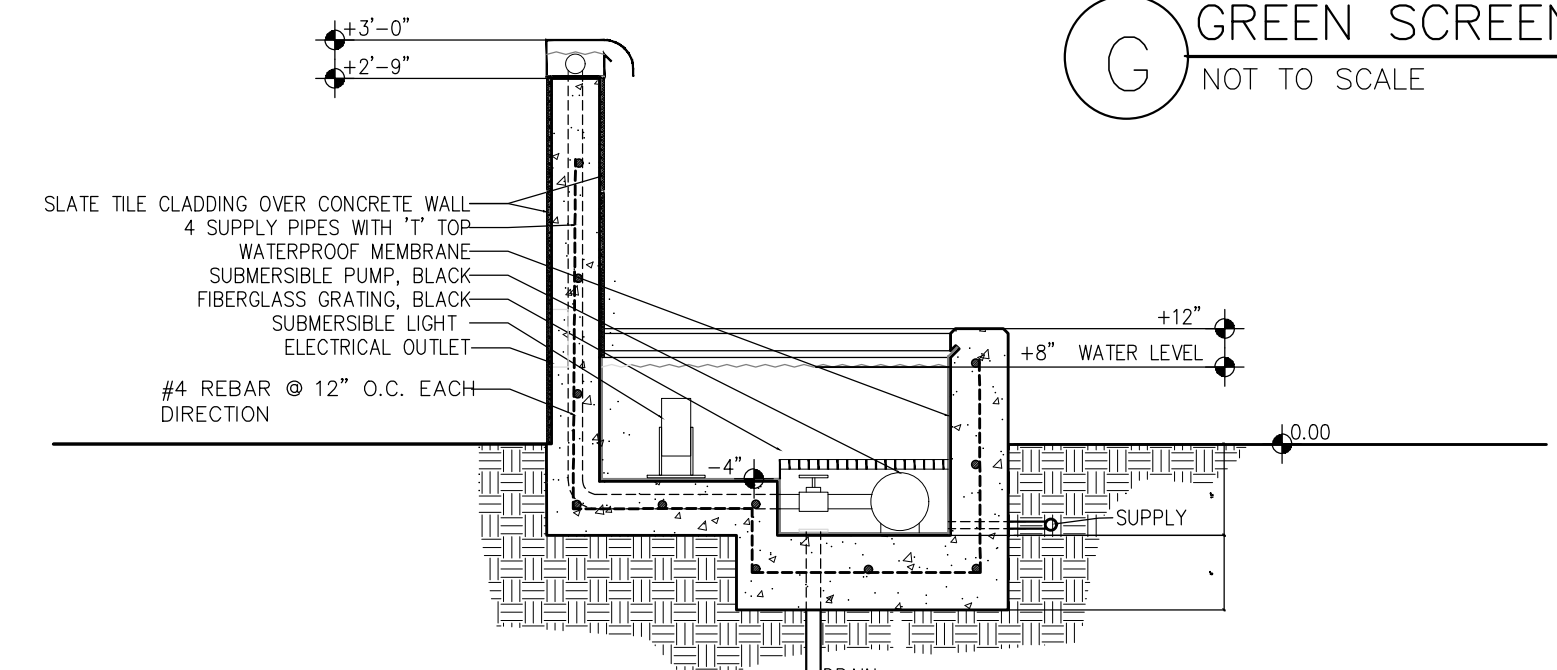
**E** TRIANGULAR PLANT SPACING  
NOT TO SCALE TRI-SPACE



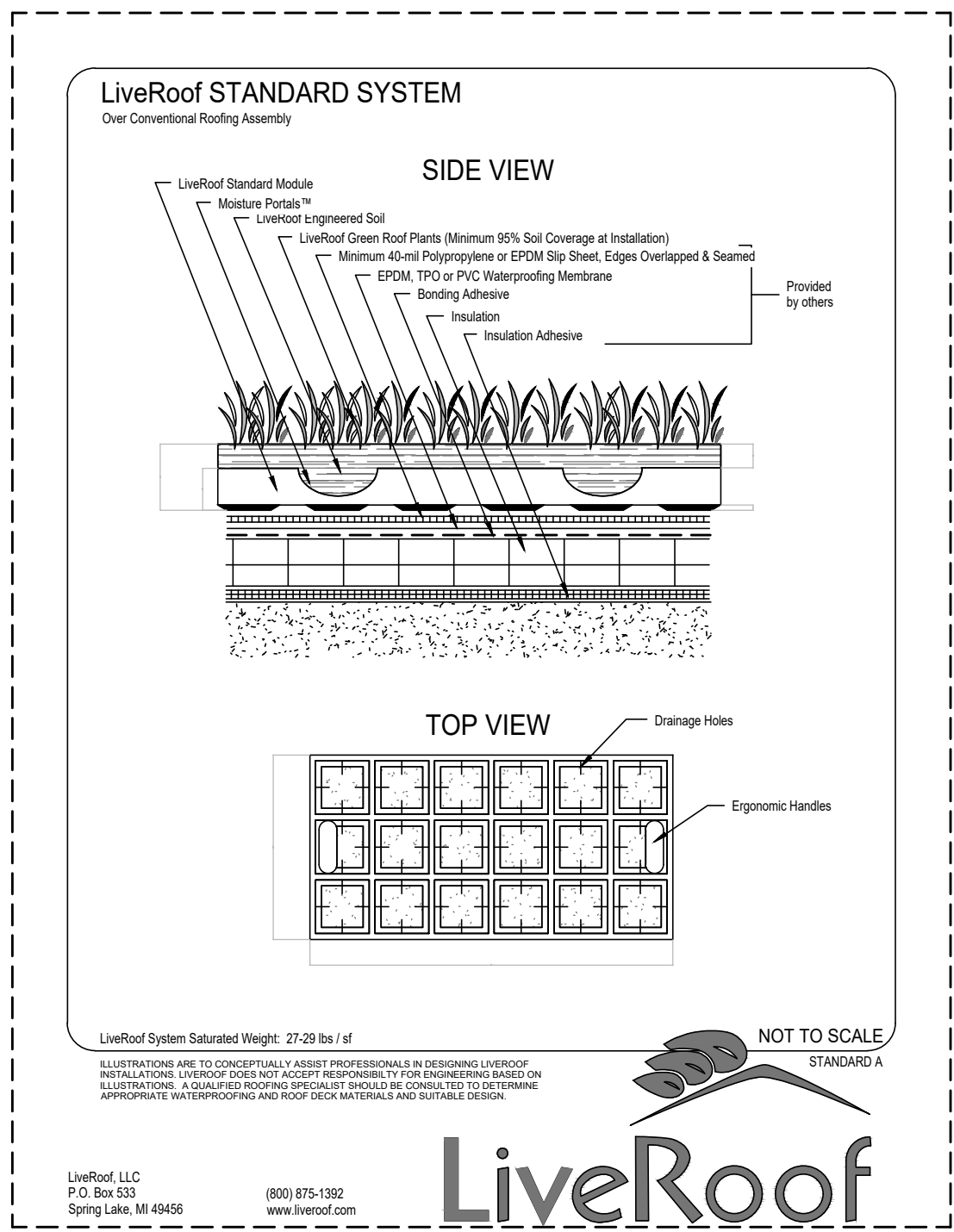
**F** STAKED VINE PLANTING  
NOT TO SCALE VINE



**H** TYPICAL BACKLESS BENCH INSTALLATION  
NOT TO SCALE BENCHBACKLESS



**I** FOUNTAIN WET-WALL - SECTION  
1"=1'-0"



**C** GREEN ROOF PLANTING TRAYS  
NOT TO SCALE

**KICHLER**

LED Shallow Shade - small

PROJECT: \_\_\_\_\_  
TYPE: \_\_\_\_\_  
ORDERING #: \_\_\_\_\_  
COMMENTS: \_\_\_\_\_

**FEATURES**

- A design only made possible by today's LED technology, this fixture will surely captivate its audience with its unobtrusive styling. Coordinates with the 1500K.
- Cast Aluminum Housing
- 4 W / 5.8 VA Light Output, Integrated LEDs and Driver, 2500K (+100+175), High CR
- 40-150 KLM
- 30" of asable #18-2, SPT-1W leads. Cable connector supplied.
- 4" height wide

**ORDERING INFORMATION**

EXAMPLE: 1500BKT (Product # & Finish)

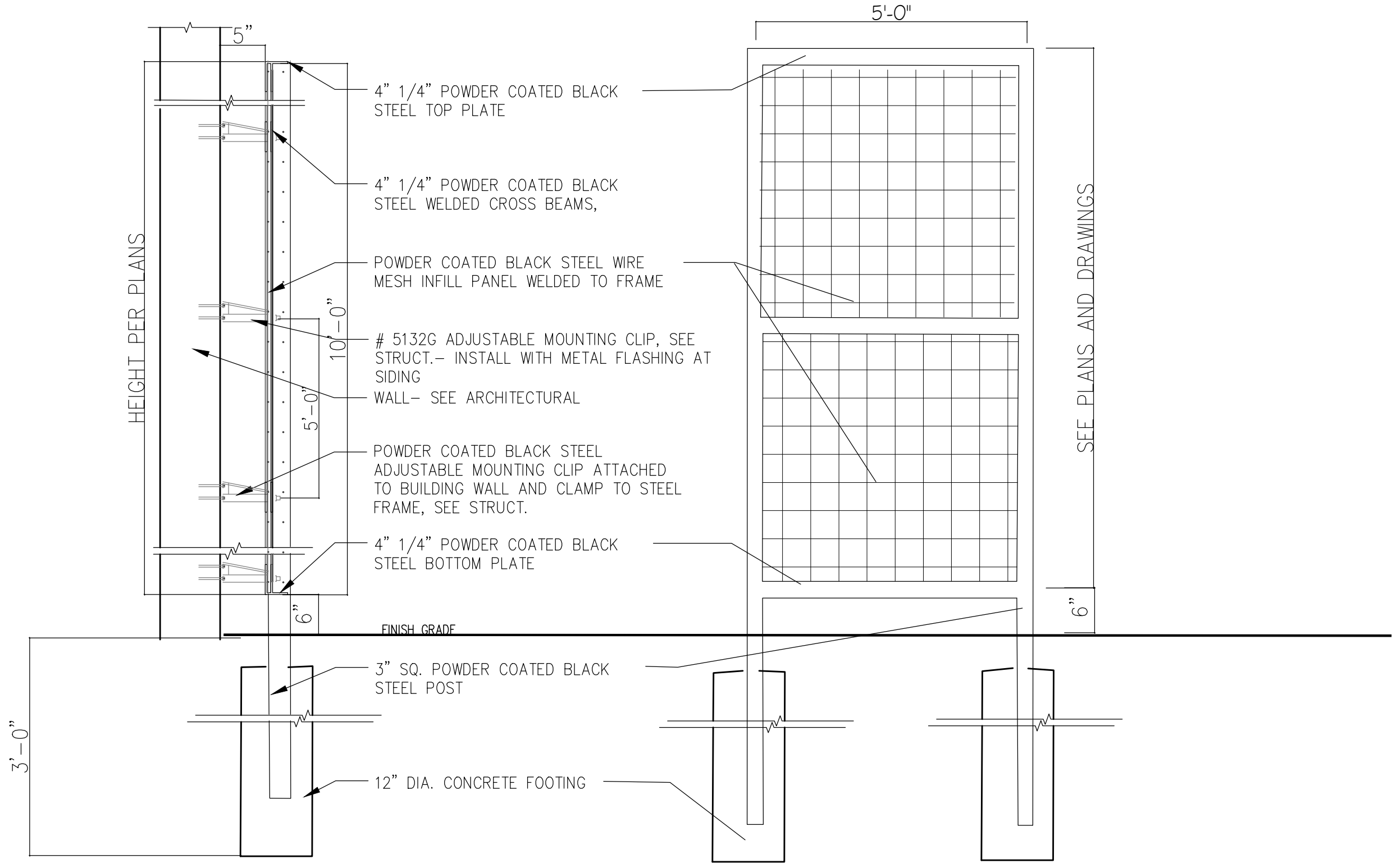
PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES
1500 Dimensions: 6" W x 23 1/2" H	Cast Aluminum BKT - Textured Black	4 W / 5.8 VA	Integrated LEDs and Driver 2500K (+100+175) High CR	30" of asable #18-2, SPT-1W leads. Cable connector supplied.	6" ground stake	1500AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Waterproof Seal 1500BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Waterproof Seal 1500BBR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Waterproof Seal

**NOTES**

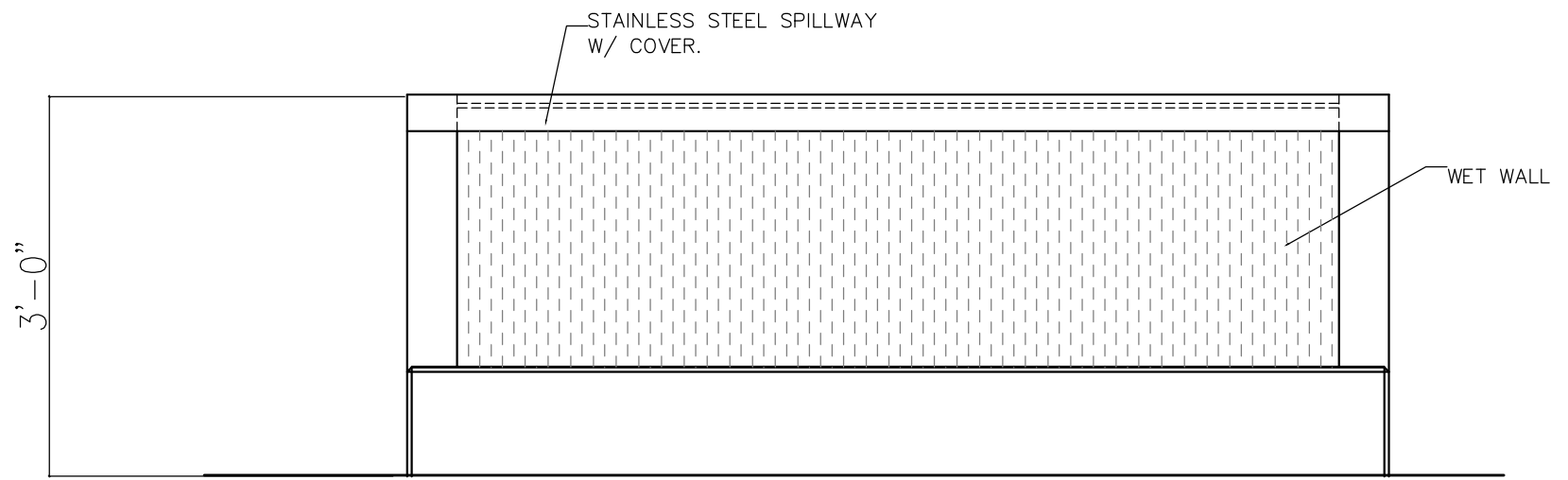
For Warranty Information, please visit [www.kichlerlighting.com](http://www.kichlerlighting.com)

7111 E. Pleasant Valley Road, Cleveland, OH 44131 (419) 251-9100 fax: (419) 251-2270 email: [sales@kichler.com](mailto:sales@kichler.com) web: [www.kichlerlighting.com](http://www.kichlerlighting.com)

**D** PATHWAY LIGHT FIXTURE  
NOT TO SCALE



**G** GREEN SCREEN FOR VEGETATED WALL  
NOT TO SCALE



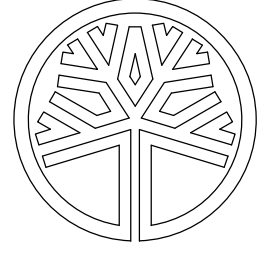
**J** FOUNTAIN WET-WALL - FRONT  
1"=1'-0"

**JGM**  
LANDSCAPE ARCHITECTS  
INCORPORATED P.S.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
PARKS AND RECREATION PLANNING  
12610 NE 104TH ST.  
KIRKLAND WA 98033  
PH: 425.454.5723  
FX: 425.822.3525  
E: [jgm@jgm-inc.com](mailto:jgm@jgm-inc.com)

2900 78TH AVE. S.E.  
MERCER ISLAND, WA  
98040

REVISIONS/DRAWING ISSUES:  
2-17-2023

Drawn by: CL  
Checked by: CL



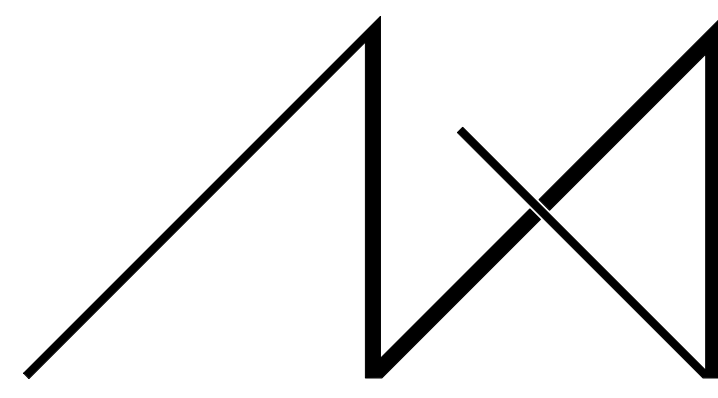
STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
Craig A. Klein  
CERTIFICATE NO. 442

DATE: 6-10-2022  
LAST UPDATE:  
CAD FILE:

DRAWING TITLE  
PLANTING DETAILS

SHEET NUMBER  
**L2.0**





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

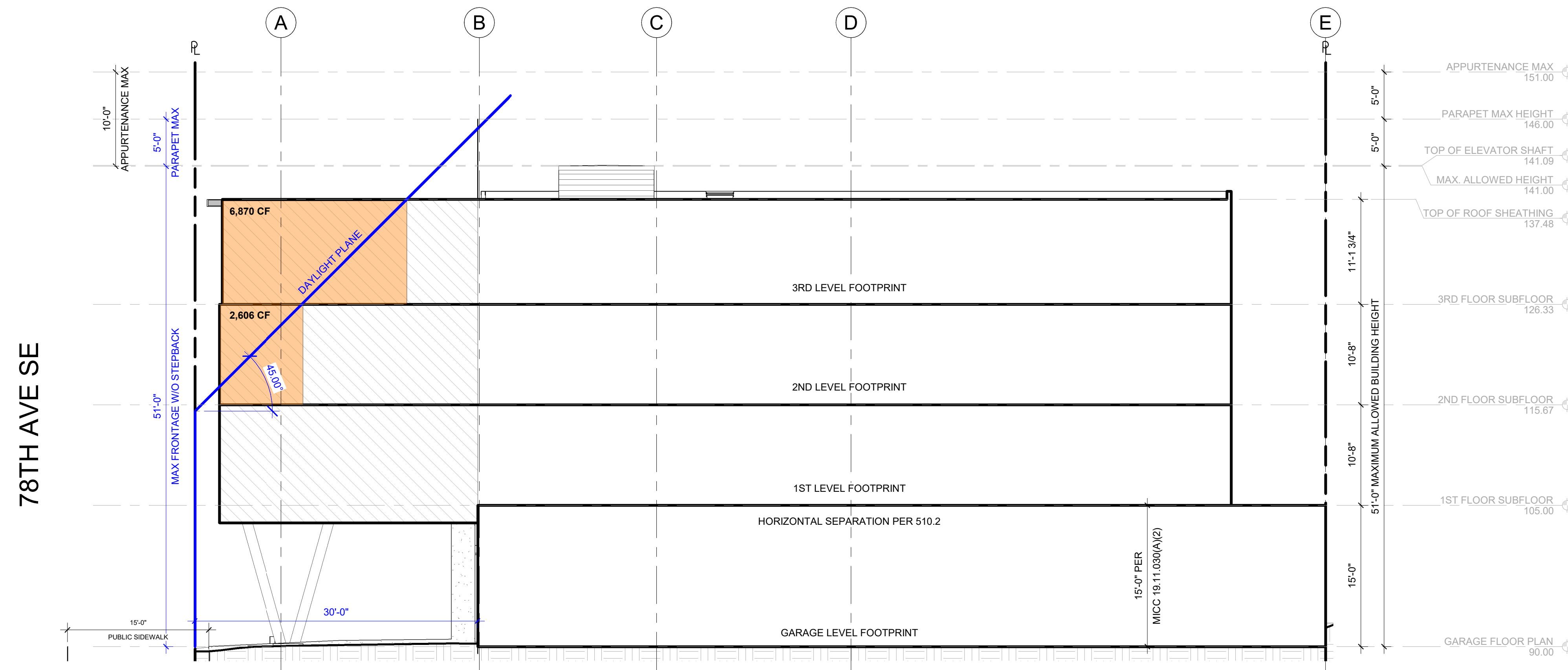
PROJECT / CLIENT:

2900 78TH AVE SE

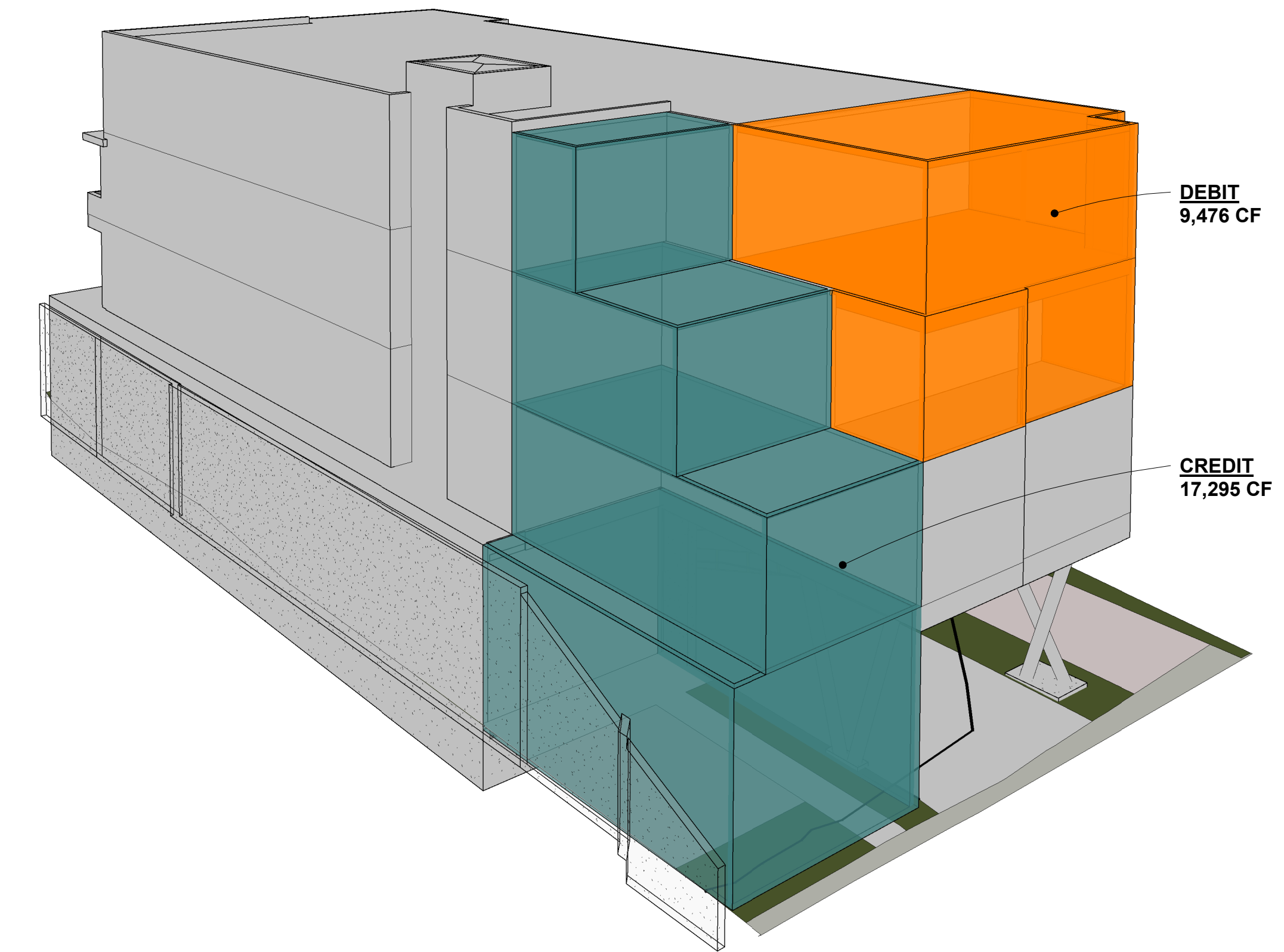
2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
 MERCER ISLAND, 98040



DAYLIGHT PLANE - DEBIT VOLUME  
 1/8" = 1'-0" 2



MASSING STUDY  
 NTS 1

**AVERAGE DAYLIGHT PLANE CALCULATION**

	<b>DEBIT VOLUME</b>	
	2ND FLOOR:	2,606
	3RD FLOOR:	6,870
	<b>DEBIT TOTAL:</b>	<b>9,476 CF</b>
	<b>CREDIT VOLUME</b>	
	GARAGE LEVEL:	7,940
	1ST FLOOR:	4,768
	2ND FLOOR:	3,237
	3RD FLOOR:	1,350
	<b>CREDIT TOTAL:</b>	<b>17,295 CF</b>
	DIFFERENCE	17,295
		- 9,476
	<b>TOTAL CREDIT VOLUME:</b>	<b>7,819 CF</b>

DRAWING NAME:

ZONING DIAGRAMS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

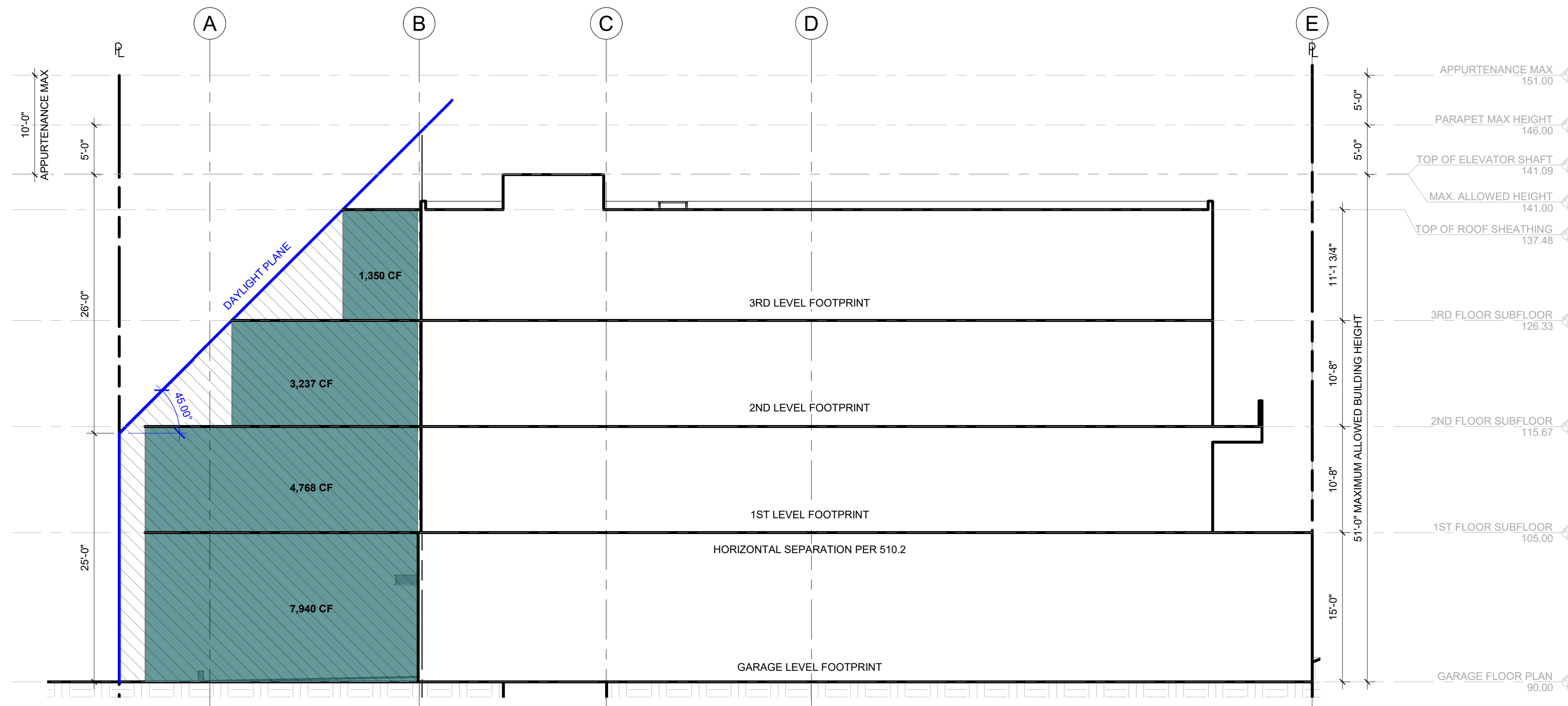


PROJECT No.: A21 021

DATE: 10/4/2023

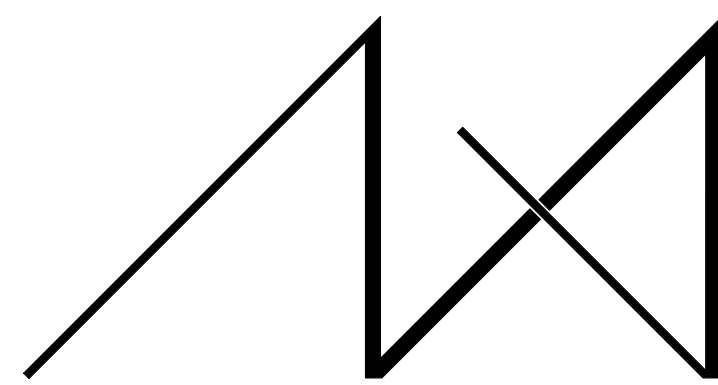
A0.1b

PLOT SCALE: 1:1



DAYLIGHT PLANE - CREDIT VOLUME  
 1/8" = 1'-0" 3





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

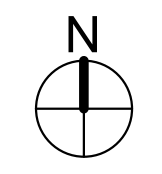
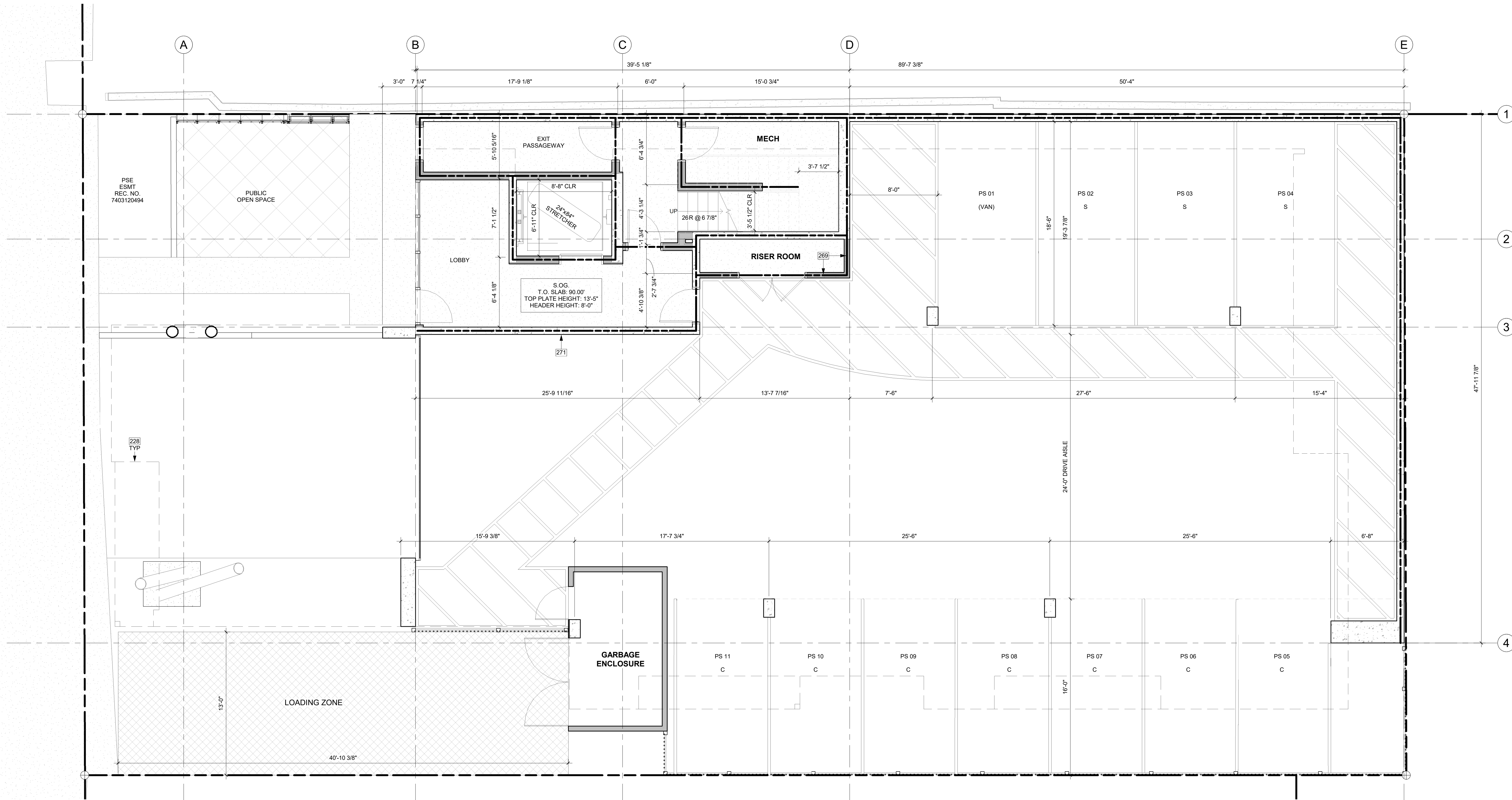
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



GARAGE FLOOR PLAN  
1/4" = 1'-0" 1

KEY NOTES

228	LONG DASHED LINE OF BUILDING ABOVE.
269	2-HOUR RATED NON-COMBUSTIBLE WALL: WP 1522, 3 5/8" STEEL STUDS. SEE ASSEMBLY DETAIL ON A0.58
271	3-HOUR RATED CONCRETE COLUMN PER STRUCTURAL.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- 2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
- 3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
- 4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- 5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- 6. DOOR JAMB 4 5" FROM CORNER TYP., U.N.O.
- 7. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- 8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- 9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- 10. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
- 11. SMOKE & CARBON MONOXIDE DETECTORS:
  - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
  - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
  - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
  - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- 12. FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
- 13. LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- 14. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

2018 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1505.4, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA). PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
	BATH & POWDER	MIN. 50 CFM (INTERMITTENT) @ 0.25" WG (TABLE M1505.4.4)
	KITCHEN	MIN. 100 CFM (INTERMITTENT) @ 0.25" WG (TABLE M1505.4.4) RANGE HOOD OR DOWN DRAFT EXHAUST FAN RATED AT MIN. 100 CFM AT 0.10" WG MAY BE USED FOR EXHAUST FAN REQUIREMENT. IF OVER 400 CFM, MAKEUP AIR IS REQUIRED IN THE SAME ROOM PER M1503.6
	LAUNDRY ROOM	MIN. 210 CFM (INTERMITTENT) @ 0.25" WG - TO FUNCTION AS WHOLE HOUSE FAN (4-5 BEPS) AND BE LABELED AS WHOLE HOUSE FAN (4-5 BEPS) AND 4501+6000 SF) TO OPERATE 50% OF TIME IN EXHAUST SEGMENT.

\*\* MAKEUP AIR IS NOT REQUIRED IF ALL GAS APPLIANCES IN THE HOUSE HAVE A DIRECT VENT OR MECHANICAL DRAFT VENT SYSTEM, PER MODIFICATION M1503.6.

FIRE-RESISTANCE ASSEMBLIES

- - - - - 1-HOUR RATED WALL ASSEMBLY
- 2-HOUR RATED WALL ASSEMBLY
- ===== 3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

GARAGE PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

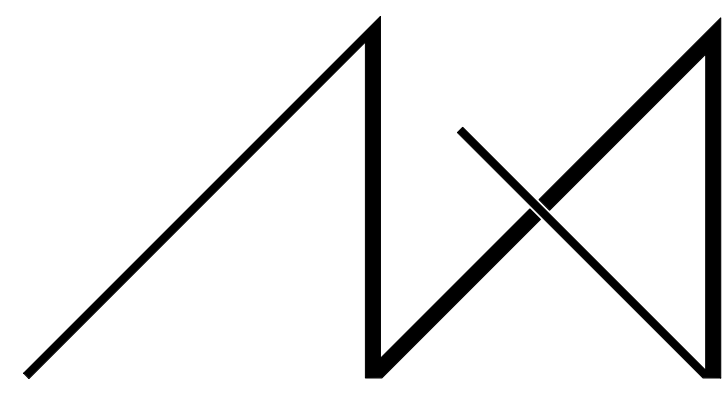
PROJECT No.: A21 021

DATE: 10/4/2023

A2.0

PLOT SCALE: 1:1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

Table with 2 columns: REVISIONS, DATE

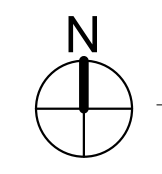
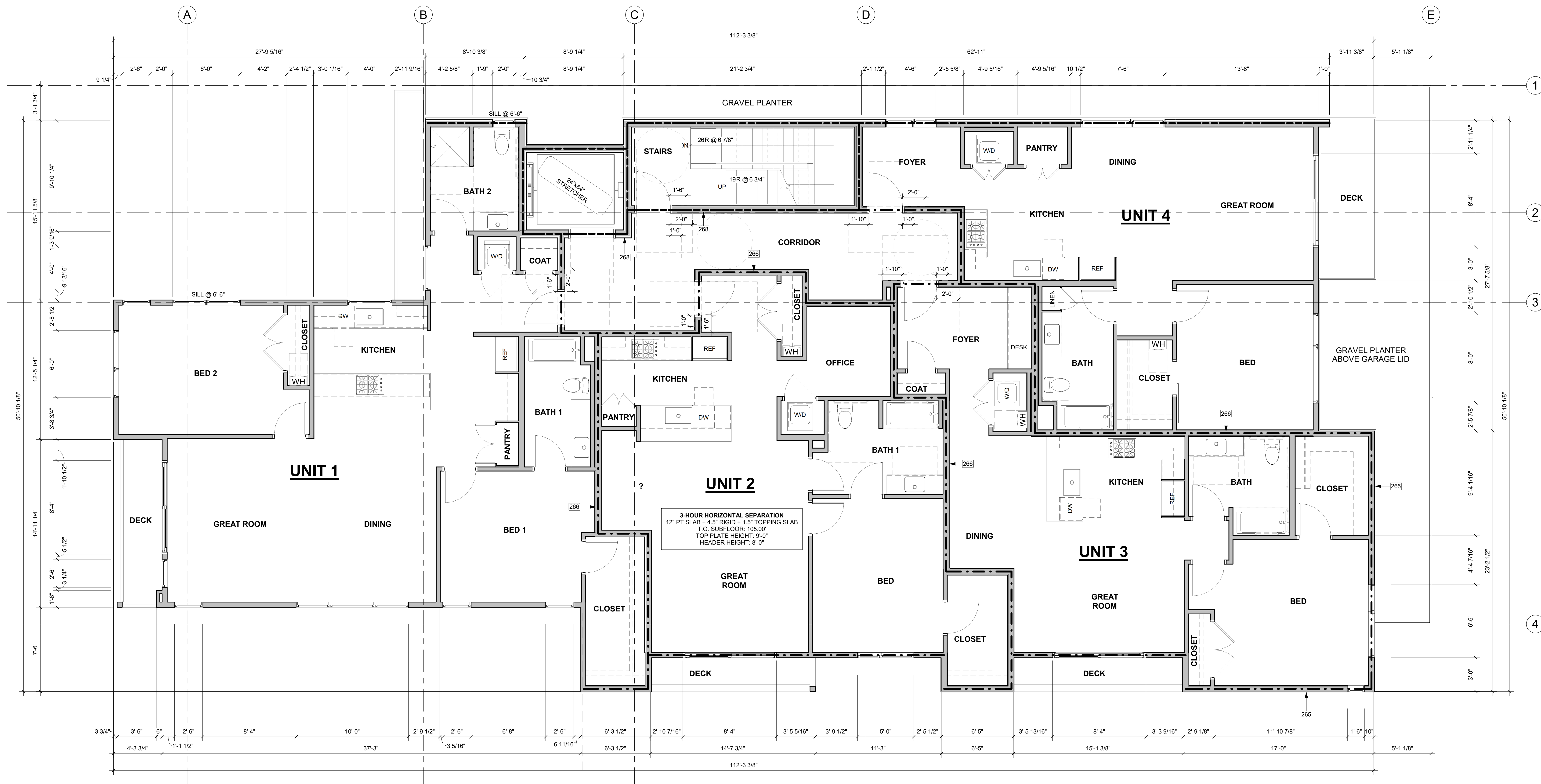
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



1ST FLOOR PLAN 1/4" = 1'-0"

KEY NOTES

- 265 1-HOUR RATED EXTERIOR WALL; WP 8105. SEE ASSEMBLY DETAIL ON A0.5a.
266 1-HOUR RATED FIRE PARTITION; WP 3242. STC RATING OF 50-54. SEE ASSEMBLY DETAIL ON A0.5a
268 2-HOUR RATED ELEVATOR SHAFT; WP 3825. STC RATING OF 55-59. SEE ASSEMBLY DETAIL ON A0.5a.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS. PROVIDE SOLID BLOCKING OVER SUPPORTS.
3. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
4. DOOR JAMB 4 5" FROM CORNER TYP. U.N.O.
5. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
7. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
8. SMOKE & CARBON MONOXIDE DETECTORS:
- SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP
- SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
9. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS. Includes rows for Bath & Powder, Kitchen, and Laundry Room.

FIRE-RESISTANCE ASSEMBLIES

- 1-HOUR RATED WALL ASSEMBLY
2-HOUR RATED WALL ASSEMBLY
3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

1ST FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

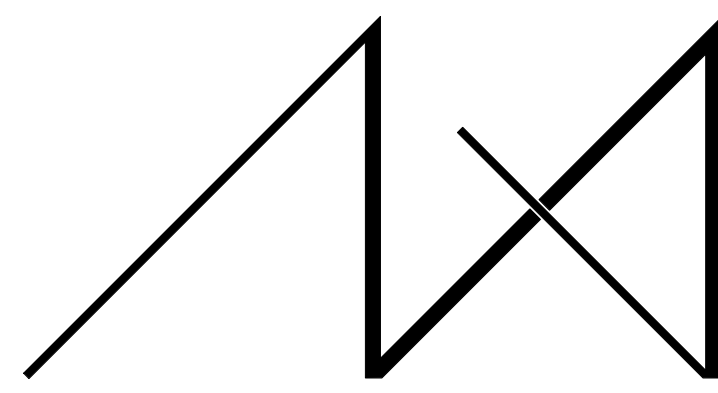
PROJECT No.: A21 021

DATE: 10/4/2023

A2.1

PLOT SCALE: 1:1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

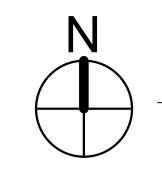
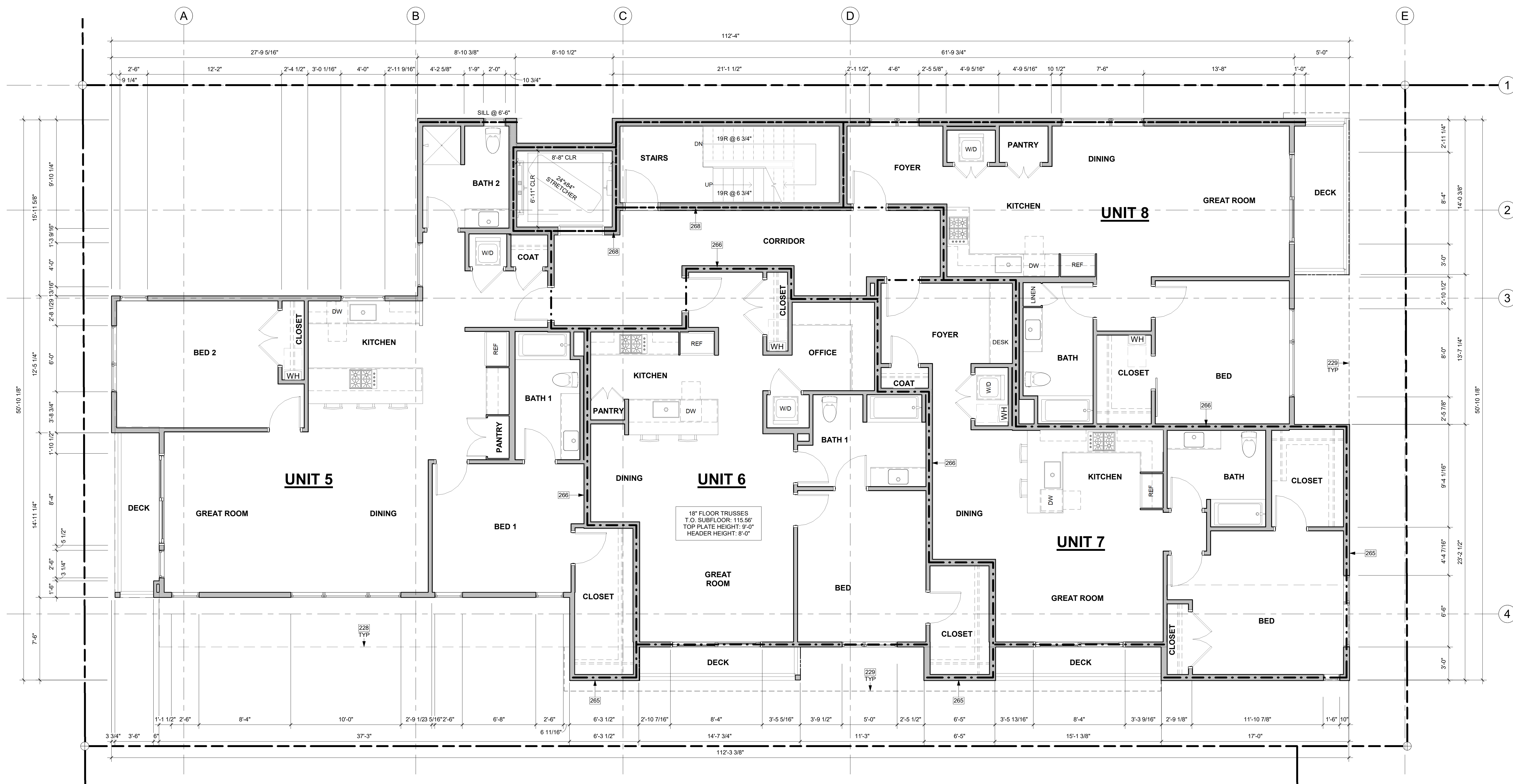
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



2ND FLOOR PLAN

1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number and description. Includes notes 228, 229, 265, and 268 regarding building lines, fire partitions, and elevator shafts.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS. PROVIDE SOLID BLOCKING OVER SUPPORTS.
3. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
4. DOOR JAMB 4.5" FROM CORNER TYP., U.N.O.
5. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
7. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
8. SMOKE & CARBON MONOXIDE DETECTORS:
- SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
- SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
9. FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
10. LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
11. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

2018 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1505.4, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA). PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.

Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS. Lists requirements for Bath & Powder, Kitchen, and Laundry Room.

FIRE-RESISTANCE ASSEMBLIES

- 1-HOUR RATED WALL ASSEMBLY
2-HOUR RATED WALL ASSEMBLY
3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

2ND FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

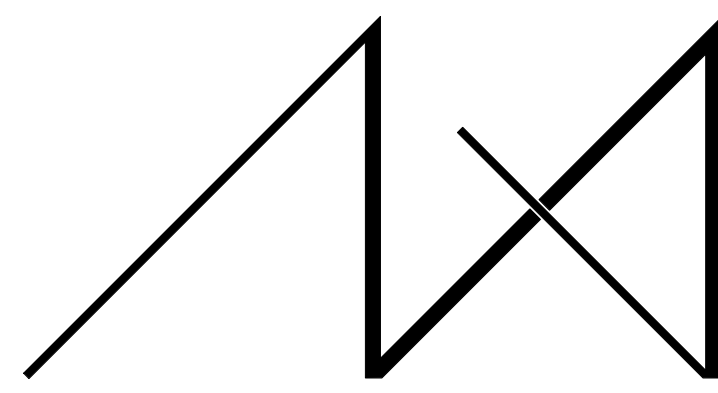
PROJECT No.: A21 021

DATE: 10/4/2023

A2.2

PLOT SCALE: 1:1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

Table with 2 columns: REVISIONS, DATE. Multiple empty rows for revisions.

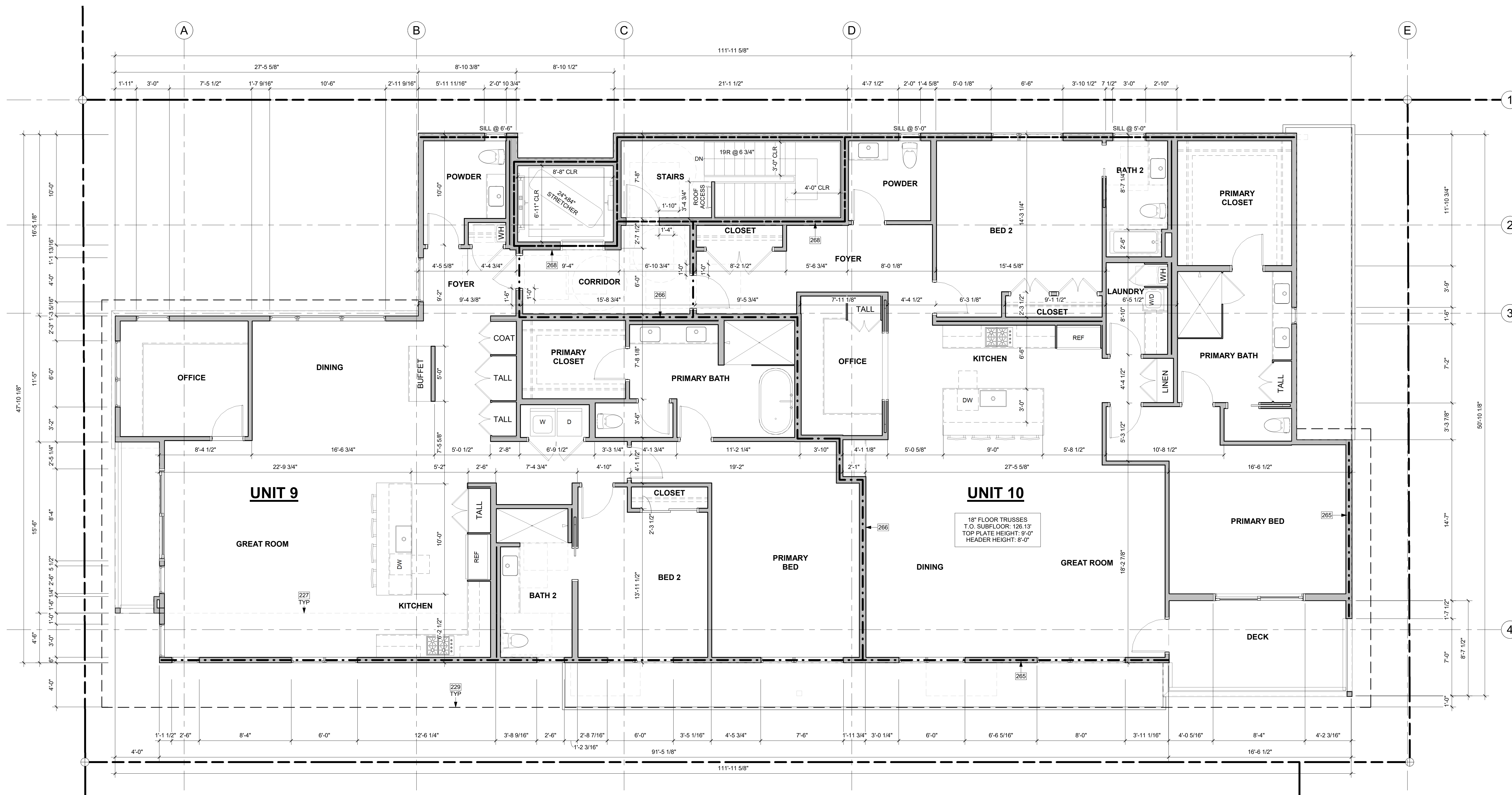
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE MERCER ISLAND, 98040



3RD FLOOR PLAN 1/4" = 1'-0"

KEY NOTES

Table with 2 columns: Note number and description. Includes notes 227, 229, 265, and 268.

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4 5/8" FROM CORNER TYP., U.N.O.
7. SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
9. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
10. SMOKE & CARBON MONOXIDE DETECTORS:
- SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
- SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
- SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
- SHALL BE INSTALLED IN EACH HABITABLE ROOM WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
11. FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
12. LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
13. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

HOUSE VENTILATION

2018 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1505.4, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA). PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.

Table with 3 columns: SYMBOL, LOCATION, MINIMUM FAN REQUIREMENTS. Lists requirements for Bath & Powder, Kitchen, and Laundry Room.

FIRE-RESISTANCE ASSEMBLIES

- 1-HOUR RATED WALL ASSEMBLY
2-HOUR RATED WALL ASSEMBLY
3-HOUR RATED WALL ASSEMBLY

SYMBOL LEGEND

SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.

DRAWING NAME:

3RD FLOOR PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

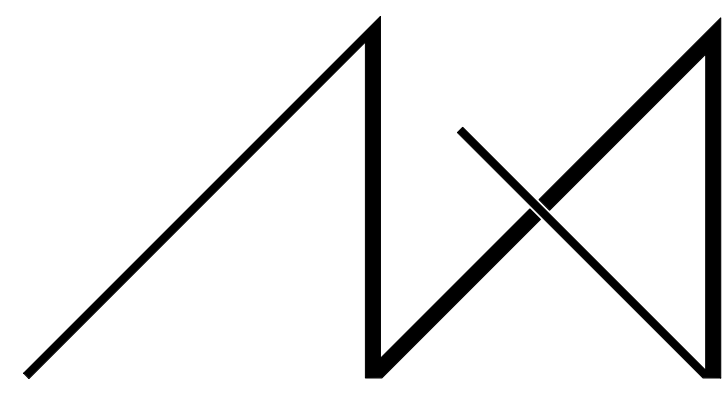
PROJECT No.: A21 021

DATE: 10/4/2023

A2.3

PLOT SCALE: 1:1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS:	DATE:

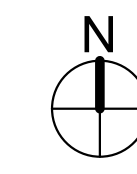
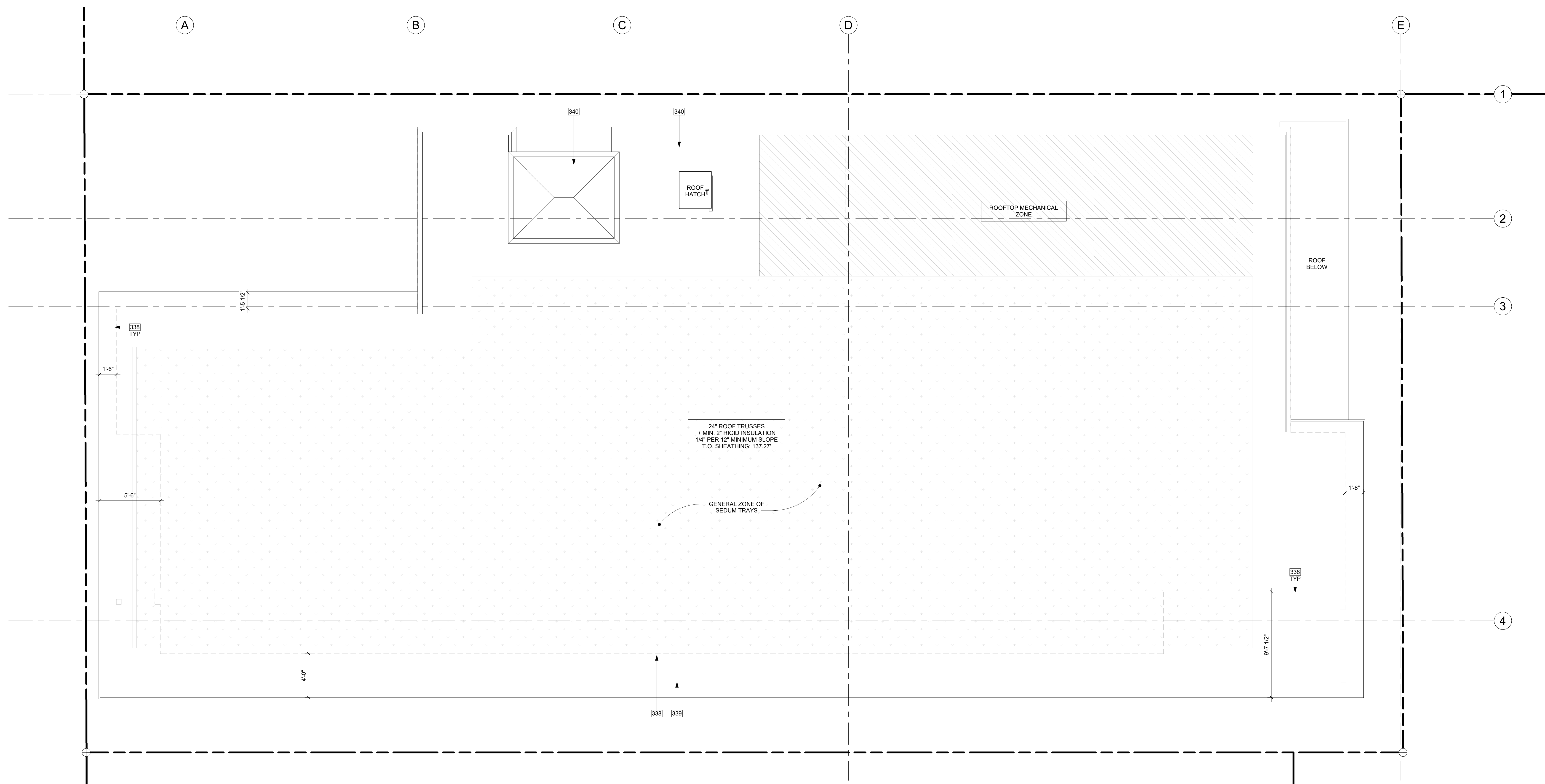
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



ROOF PLAN  
1/4" = 1'-0" 1

KEY NOTES

338	DASHED LINE OF BUILDING BELOW.
339	1-HOUR RATED ROOF ASSEMBLY, RC 2604. SEE ASSEMBLY DETAIL ON A0.5a
340	2-HOUR RATED ROOF ASSEMBLY AT STAIRS AND ELEVATOR SHAFT, RC 2751. SEE ASSEMBLY DETAIL ON A0.5a.

SYMBOL LEGEND

- EAVE VENT
- EAVE VENT
- BUILDING BELOW
- ROOF HAT VENT

ROOF VENTILATION

ROOF CONSTRUCTION:	PARALLEL CHORD TRUSSES
ROOF AREA:	XXX SF
VENTILATION REQUIRED:	(XXX SF x 144 SI) / 150" = XXX" SI REQUIRED
PROPOSED VENTILATION:	
(4) 2'-1/2" DIA. HOLES PER 24":	9.8 SI / LF - 26"
PROVIDE:	87 LF EA" = 854 SI
2" WIDE RIDGE VENT:	18"
PROVIDE:	= 0 SI / LF
ROOF HAT VENT:	= 50 SI / VENT
PROVIDE:	= 600 SI
TOTAL MIN. VENTILATION:	1,454 SI IS GREATER THAN 1237.9 REQ.
* PER IRC R806.2, MINIMUM 1/150 OF THE AREA, AS AN ALTERNATIVE, NET FREE CROSS VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN LOCATED IN THE UPPER PORTION OF ROOF. PER IRC SECTION R806.2.2	

UPDATE  
ONLY SHOW ROOF VENT TYPES IN USE

DRAWING NAME:

ROOF PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

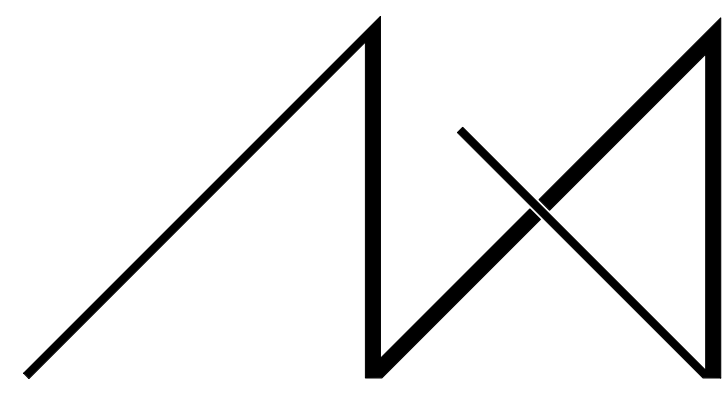
PROJECT No.: A21 021

DATE: 10/4/2023

A3.0

PLOT SCALE: 1:1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

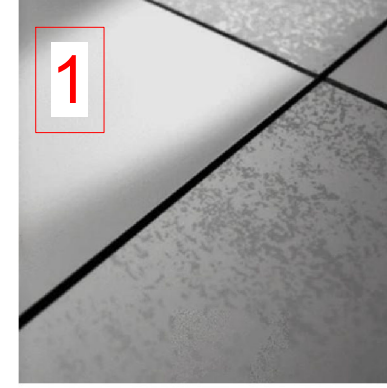
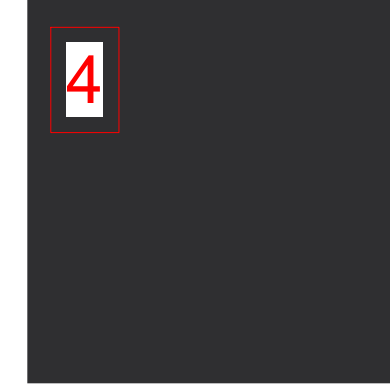
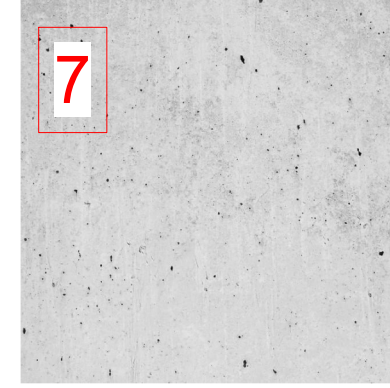
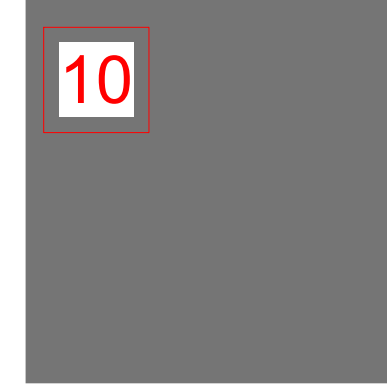
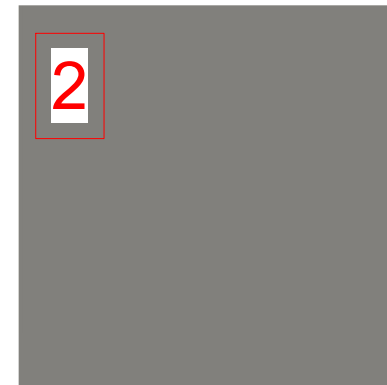
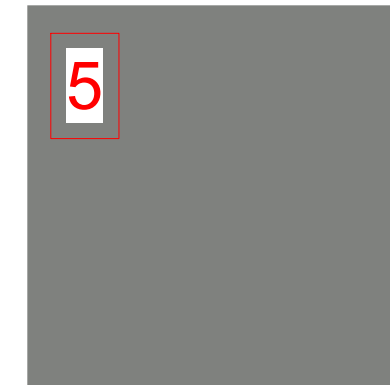
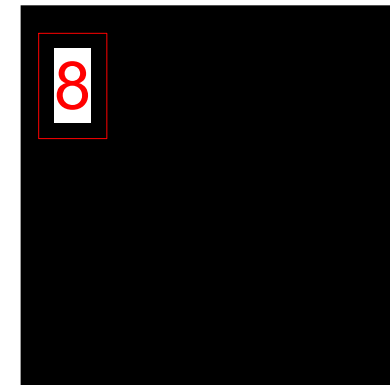
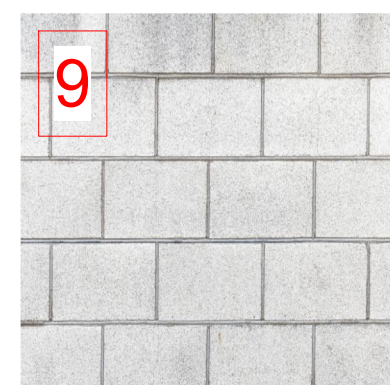
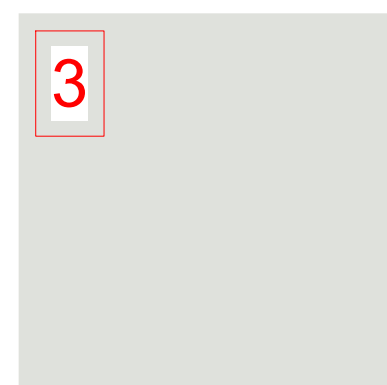

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



SOUTH ELEVATION  
1/4" = 1'-0" 1

	<p>1 TRESPA - LUMEN LONDON GREY OBLIQUE FINISH MATERIAL: ACCENT FACADE</p>		<p>4 SHERWIN WILLIAMS SW 6258 - TRICORN BLACK MATERIAL: INFILL PANELS FASCIA SOFFITS</p>		<p>7 CONCRETE MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS</p>		<p>10 GRAY MATERIAL: TRASH ENCLOSURE DOORS FLASHING</p>
	<p>2 TRESPA - LUMEN LONDON GREY DIFFUSE FINISH MATERIAL: WEST FACADE SOUTH FACADE</p>		<p>5 FIBER CEMENT PANEL SW 7067 - CITYSCAPE MATERIAL: NORTH FACADE EAST FACADE</p>		<p>8 BLACK MATERIAL: STRUCTURAL COLUMNS RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING</p>		<p>9 CMU BLOCK MATERIAL: TRASH ENCLOSURE</p>
	<p>3 NORTH CLAD ALUMINUM PANEL BONE WHITE MATERIAL: WEST FACADE SOUTH FACADE</p>		<p>6 FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE MATERIAL: RECESSED FACADES ELEVATOR SHAFT</p>				

MATERIALS  
NTS

ELEVATION NOTES

- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED PER IRC R703.8. FLASHING AT WALLS: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R603.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS.
- CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

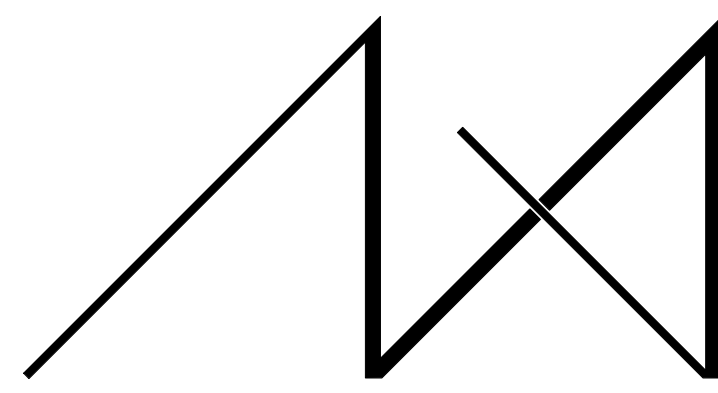
PROJECT No.: A21 021

DATE: 10/4/2023

PLOT SCALE: 1:1

A4.0





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

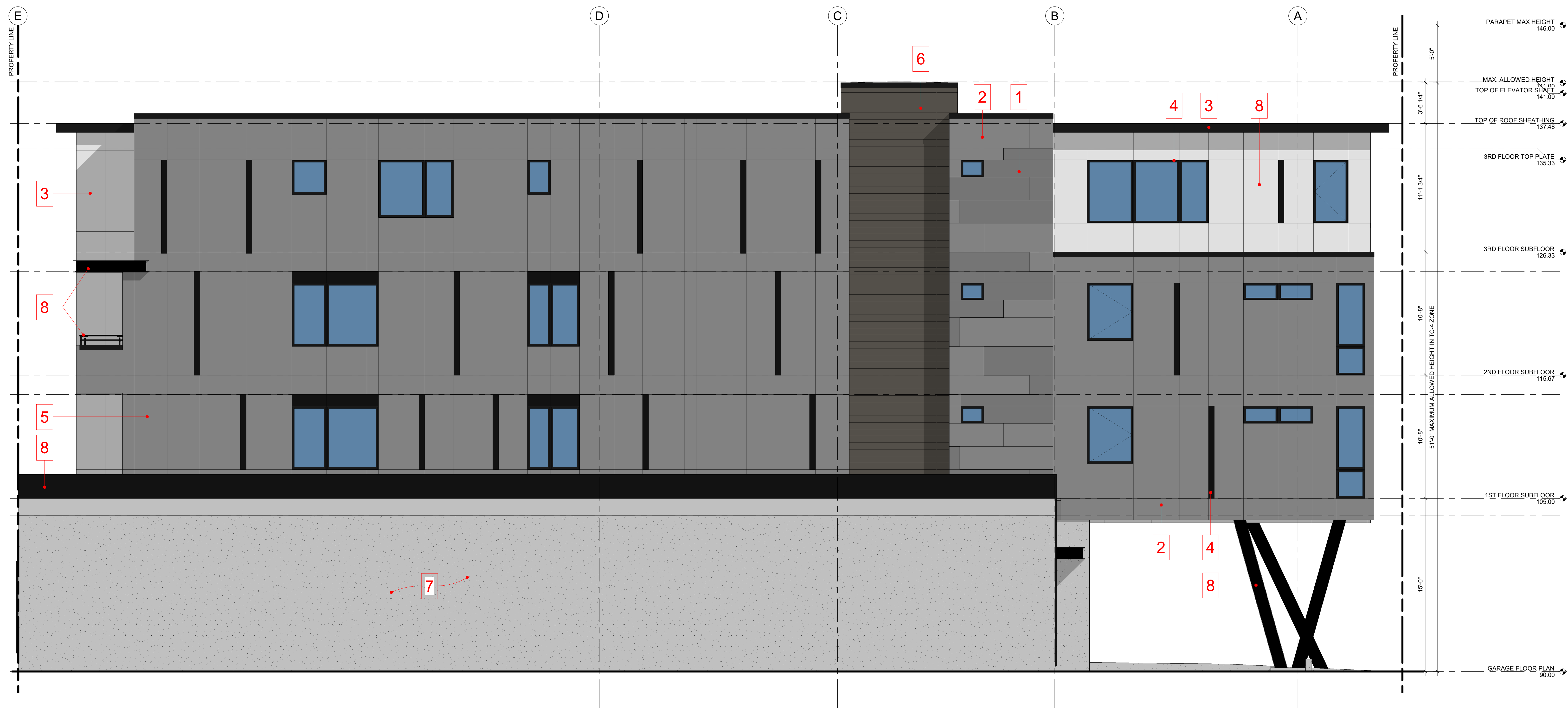
PROJECT / CLIENT:

2900 78TH AVE SE

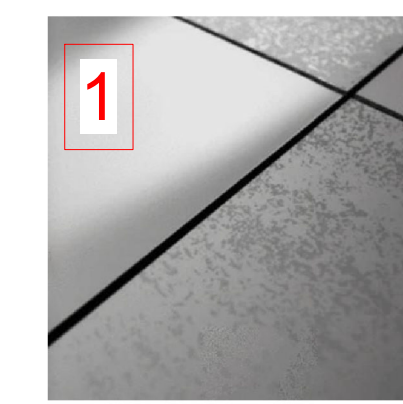

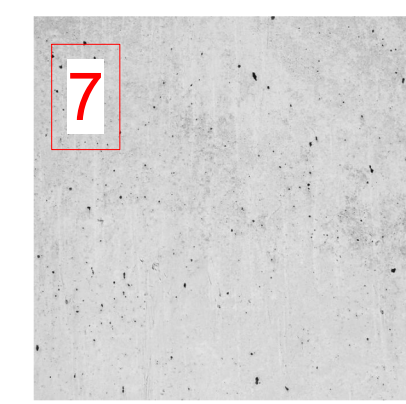
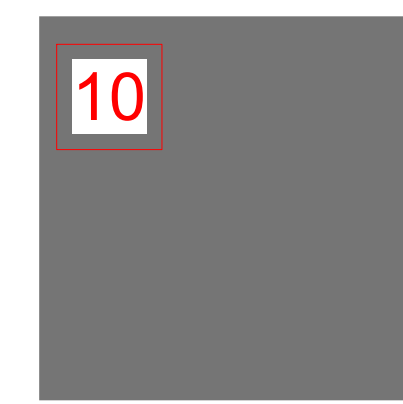
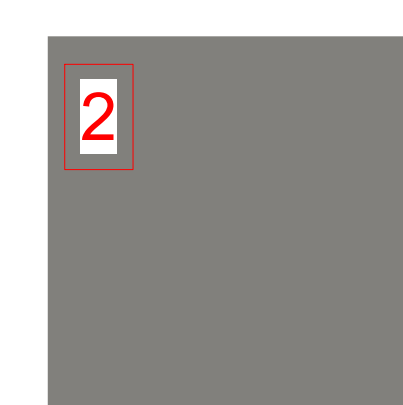
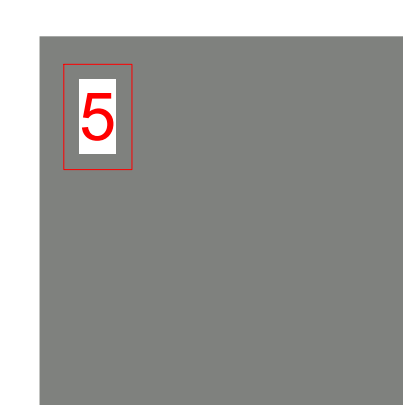
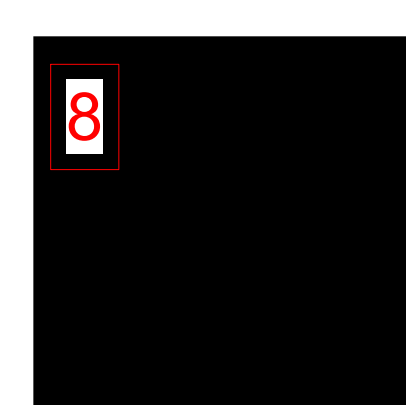
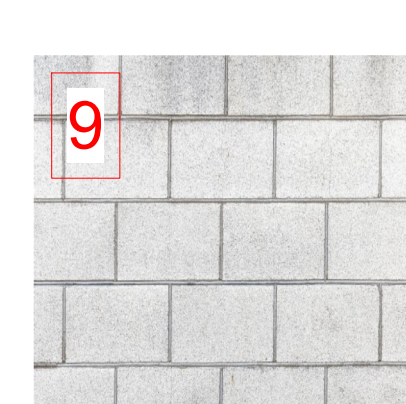
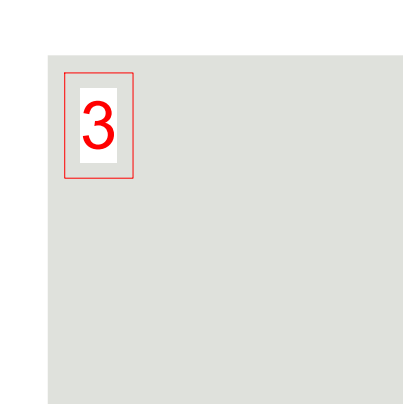
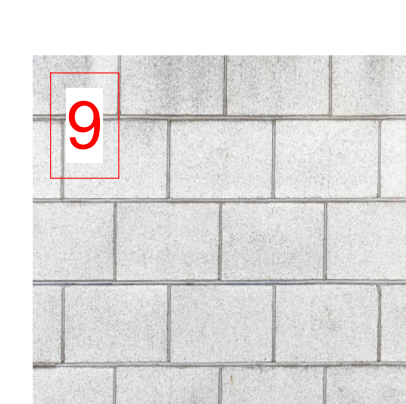

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



NORTH ELEVATION 1  
1/4" = 1'-0"

 <b>1</b>	TRESPA - LUMEN LONDON GREY OBLIQUE FINISH MATERIAL: ACCENT FACADE	 <b>4</b>	SHERWIN WILLIAMS SW 6258 - TRICORN BLACK MATERIAL: INFILL PANELS FASCIA SOFFITS	 <b>7</b>	CONCRETE MATERIAL: PARKING GARAGE WALLS STRUCTURAL COLUMNS	 <b>10</b>	GRAY MATERIAL: TRASH ENCLOSURE DOORS FLASHING
 <b>2</b>	TRESPA - LUMEN LONDON GREY DIFFUSE FINISH MATERIAL: WEST FACADE SOUTH FACADE	 <b>5</b>	FIBER CEMENT PANEL SW 7067- CITYSCAPE MATERIAL: NORTH FACADE EAST FACADE	 <b>8</b>	BLACK MATERIAL: STRUCTURAL COLUMNS WINDOW AND DOOR FRAMES RAILING METAL AWNING EXIT DOOR STEEL PLATES LIGHT FIXTURES GUTTERS / DOWNSPOUTS FLASHING	 <b>9</b>	CMU BLOCK MATERIAL: TRASH ENCLOSURE
 <b>3</b>	NORTH CLAD ALUMINUM PANEL BONE WHITE MATERIAL: WEST FACADE SOUTH FACADE	 <b>6</b>	FIBER CEMENT V-GROOVE SIDING SW 7048 - URBANE BRONZE MATERIAL: RECESSED FACADES ELEVATOR SHAFT	 <b>11</b>			

MATERIALS  
NTS

ELEVATION NOTES

- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED PER IRC R703.8. FLASHING AT WALLS: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R603.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

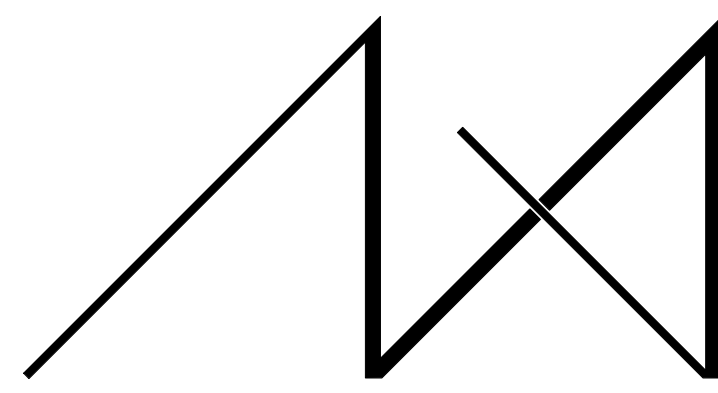
PROJECT No.: A21 021

DATE: 10/4/2023

PLOT SCALE: 1:1

A4.1





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

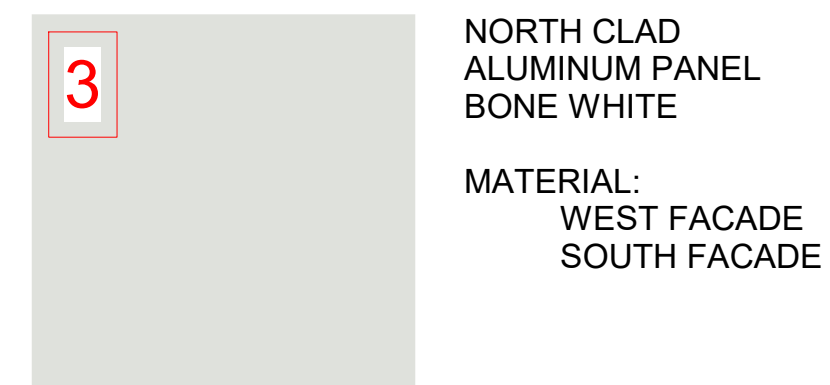
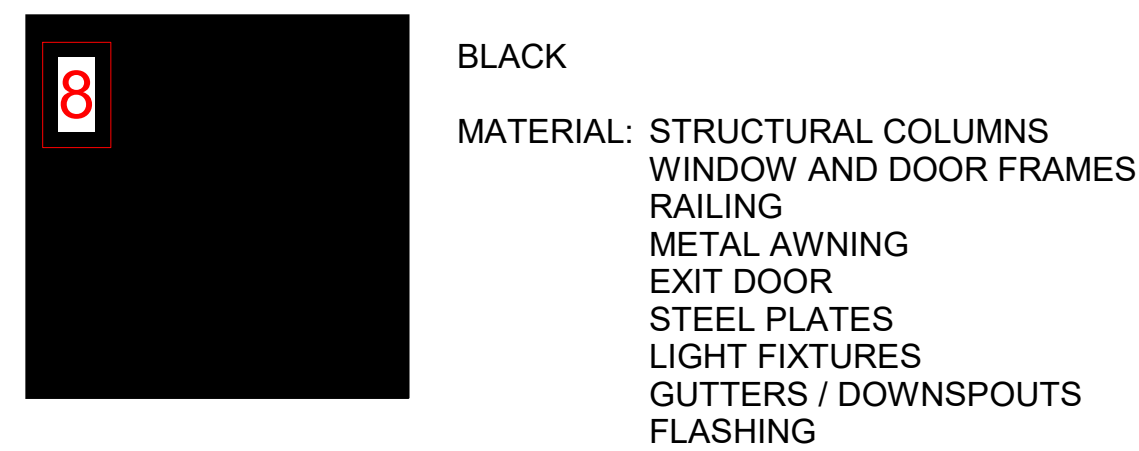
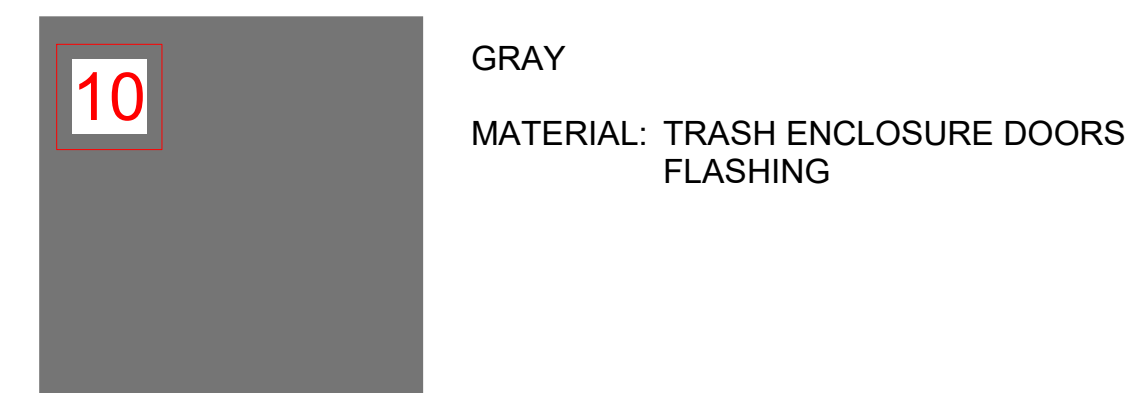
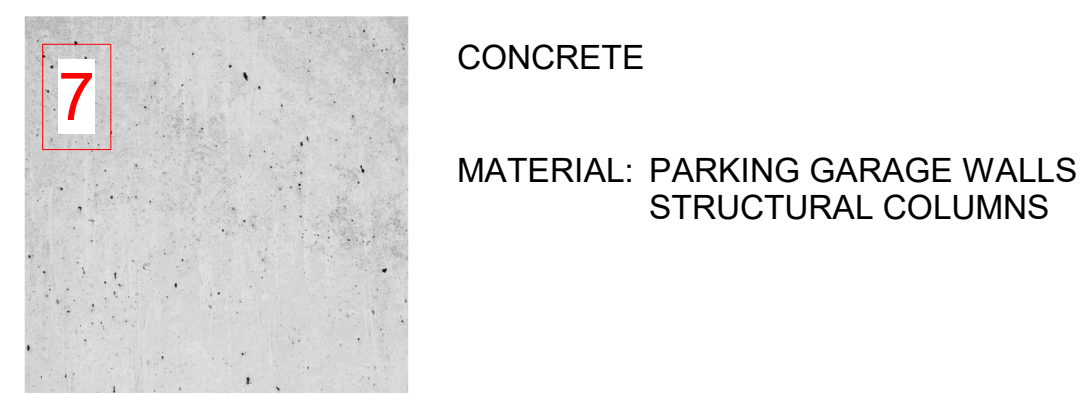
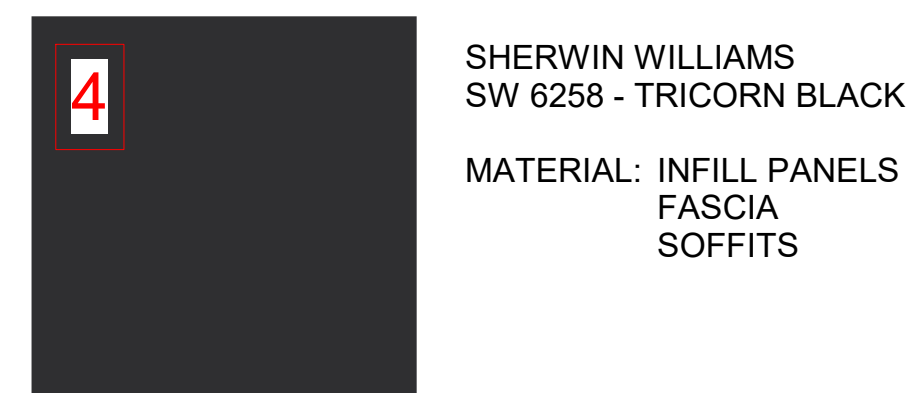
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



MATERIALS

ELEVATION NOTES

1. VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
3. WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED PER IRC R703.8. FLASHING AT WALLS: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
4. PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R903.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
5. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
6. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
7. WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
8. SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

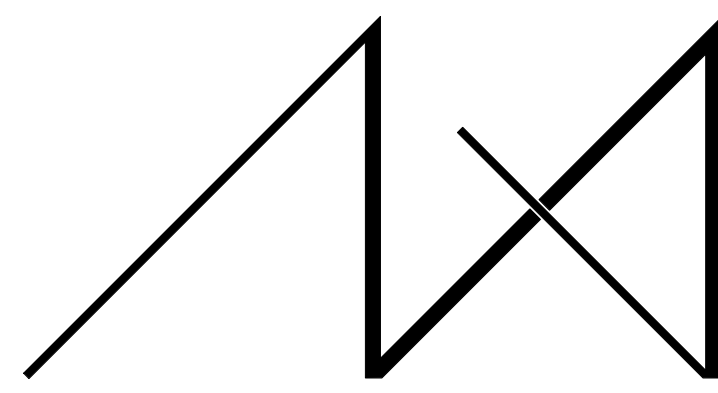
PROJECT No.: A21 021

DATE: 10/4/2023

PLOT SCALE: 1:1

A4.2





MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

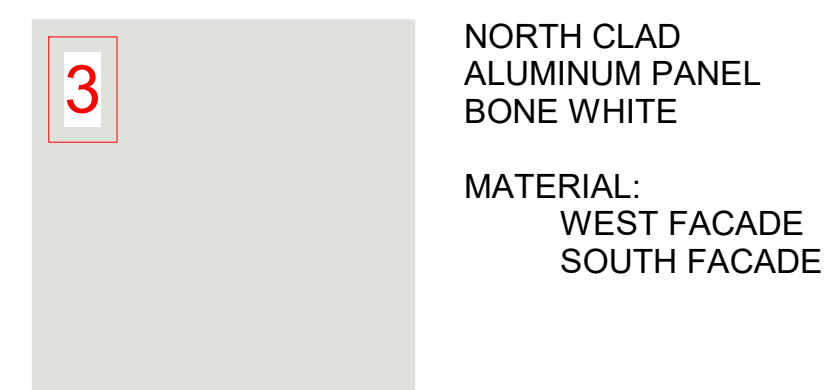
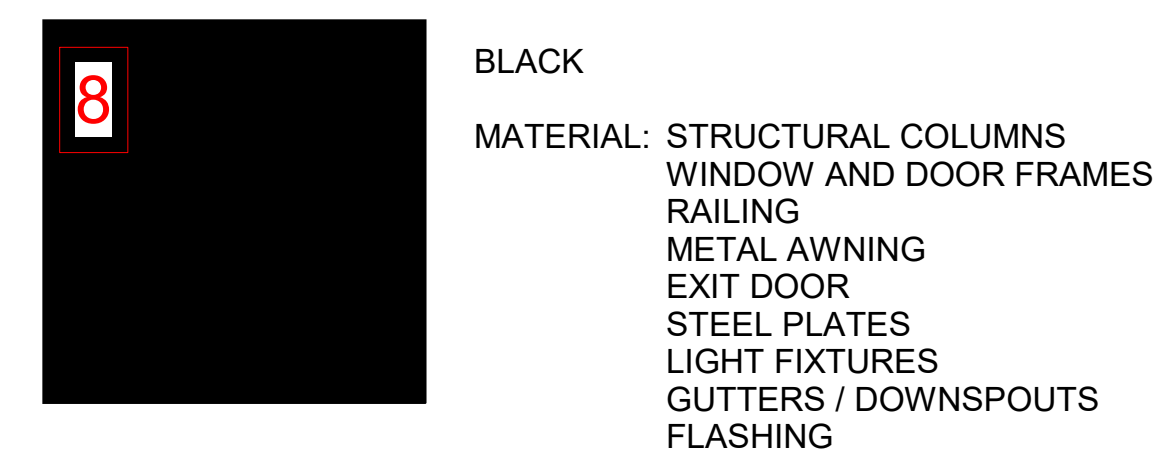
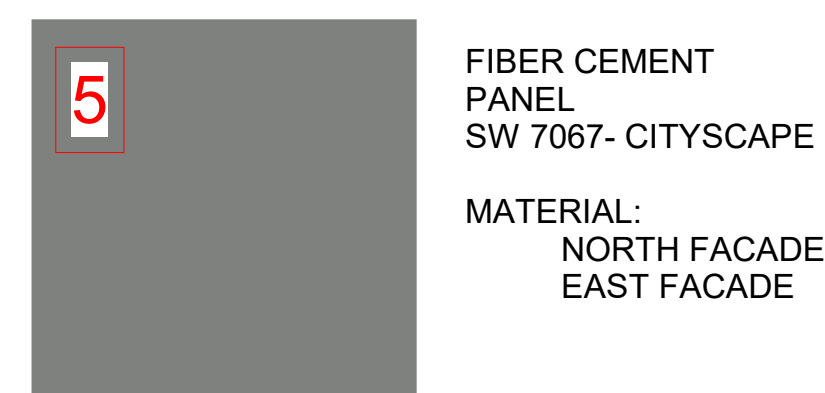
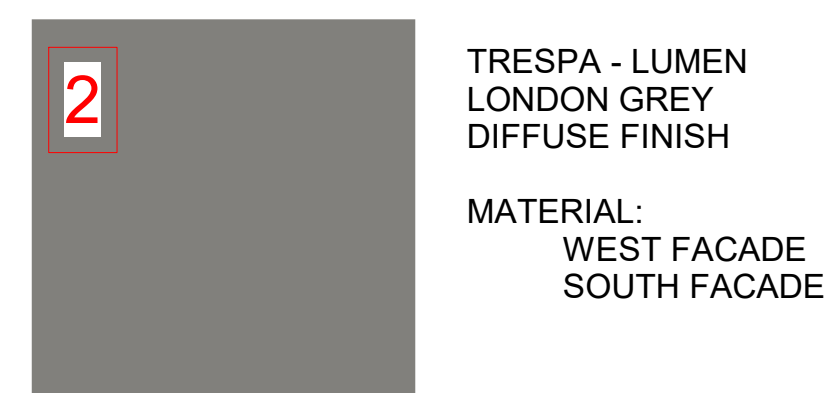
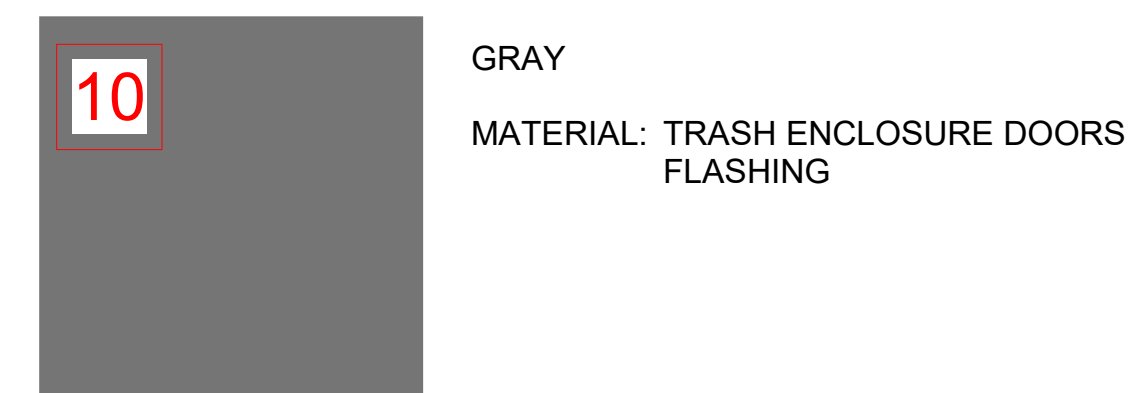
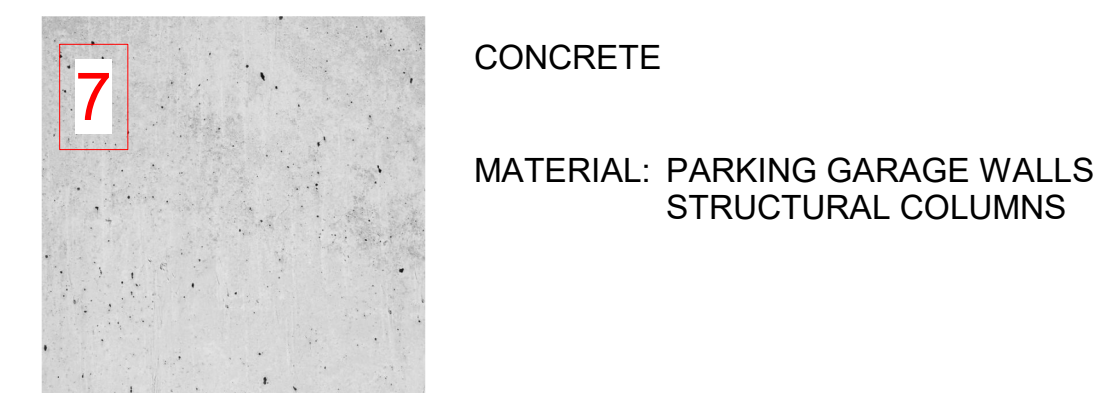
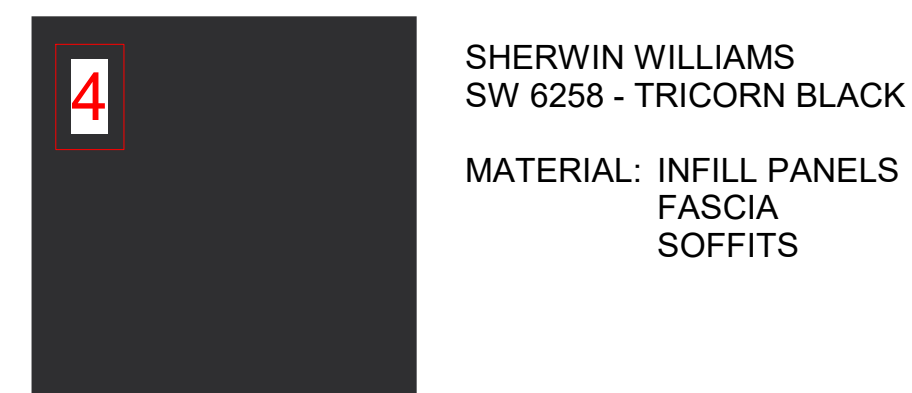
2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
MERCER ISLAND, 98040



EAST ELEVATION  
1/4" = 1'-0" 1



MATERIALS  
NTS

ELEVATION NOTES

- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION: EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED PER IRC R703.8. FLASHING AT WALLS: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R903.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

DRAWING NAME:

ELEVATIONS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 10/4/2023

PROJECT No.: A21 021

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

DATE: 10/4/2023

A4.3

PLOT SCALE: 1:1



REGISTRATION:

PRELIMINARY

INTAKE DATE: 12/13/22

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE  
 MERCER ISLAND, 98040



SW PERSPECTIVE  
 NTS



NW PERSPECTIVE  
 NTS



SE PERSPECTIVE  
 NTS



NE PERSPECTIVE  
 NTS

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

DRAWING NAME:

PERSPECTIVES

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

DESIGN REVIEW

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

PROJECT No.: A21 021

DATE: 10/4/2023

A4.4

PLOT SCALE: 1:1