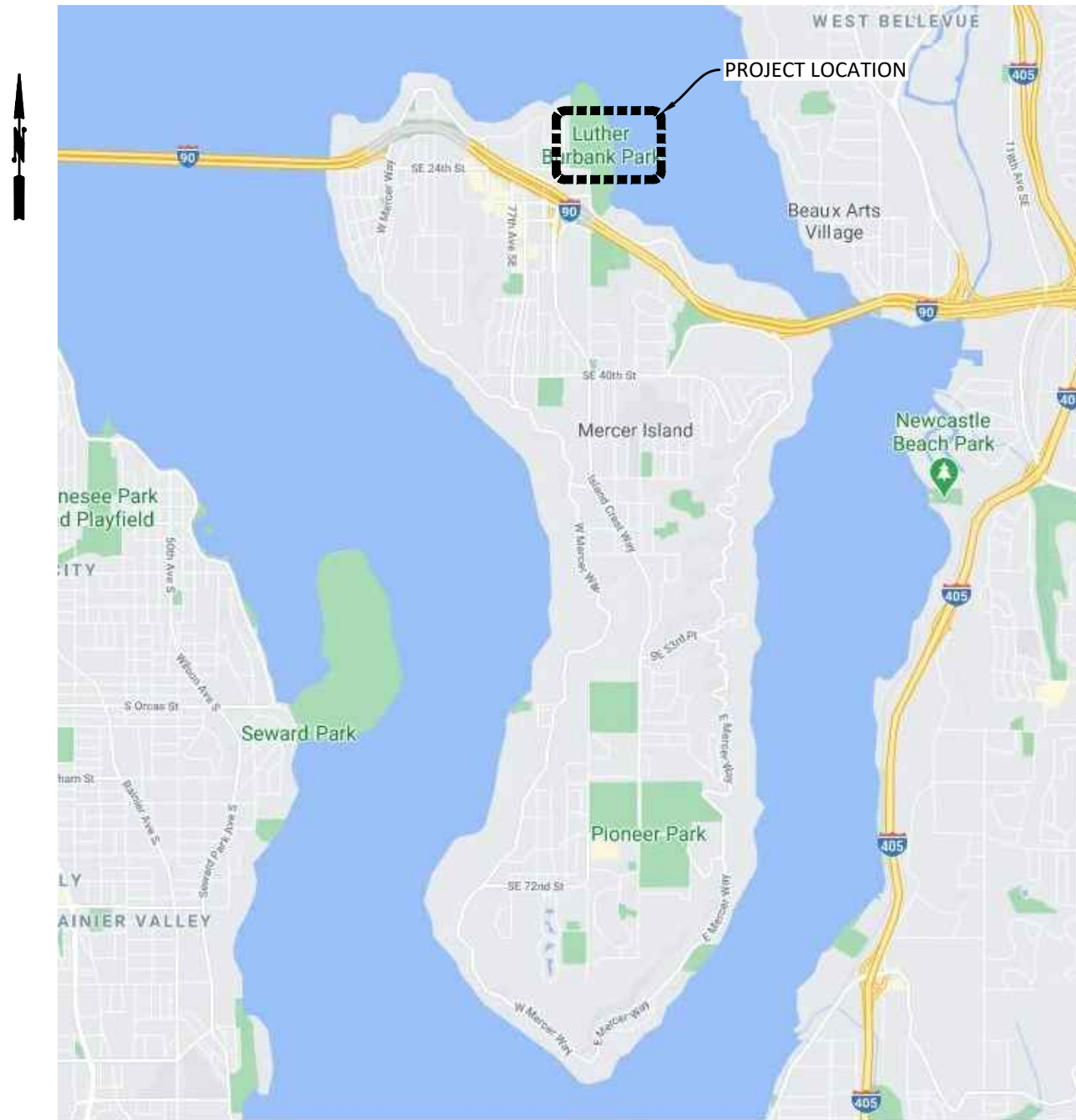


LUTHER BURBANK PARK DOCK RENOVATION AND WATERFRONT IMPROVEMENTS

CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT

SHEET INDEX



VICINITY MAP

1	Cover Sheet
2	G-001 Project General Notes
3	G-010 Existing Conditions Site Plan
4	G-020 Site Improvements Key Plan
5	G-021 Composite Site Plan (Uplands)
6	D-010 Demolition and TESC Plan
7	D-011 TESC Details
8	T-001 Temporary Access & Staging Plan
9	C-010 Storm Drain - Enlarged Plan
10	C-011 Storm Drain Details
11	C-020 Grading Plan
12	C-021 Grading Cross-Sections
13	CU-010 Intake & Pumping Facilities - Overall Site Plan
14	CU-011 Intake & Pumping Facilities - Equipment Plan and Section
15	CU-012 Intake & Pumping Facilities - Details
16	CM-010 Materials Plan
17	L-010 Planting Plan
18	L-011 Plant Schedule
19	S-001 Structural Notes
20	S-010 Pier Improvement Plan
21	S-011 Enlarged Pier Plan
22	S-012 New Floats Plan
23	S-020 Overwater Stair Details
24	AS-010 Architectural Site Plan
25	AD-021 Selective Demolition - First Floor Plan
26	AD-022 Selective Demolition - First Floor RCP
27	AD-023 Selective Demolition - Second Floor Plan
28	AD-031 Selective Demolition - Building Section
29	AD-041 Selective Demolition - Building Elevation
30	AD-042 Selective Demolition - Building Elevation
31	A-021 First Floor Plan
32	A-022 First Floor RCP
33	A-023 2nd Floor Plan
34	A-024 2nd Floor RCP
35	A-031 Building Sections
36	A-041 Building Elevations
37	A-042 Building Elevations
38	P-001 Plumbing Legend, Abbreviations, and General Notes
39	P-002 Plumbing Schedules
40	PD-011 Plumbing First Floor Demo Plan
41	PD-012 Plumbing Second Floor Demo Plan
42	P-010 Plumbing Underground Plan
43	P-011 Plumbing First Floor Plan
44	P-012 Plumbing Second Floor Plan
45	E-001 Electrical Legend
46	E-010 Electrical Site Plan
47	ED-011 Selective Demo - First Floor Plan - Lighting
48	ED-012 Selective Demo - First Floor Plan - Power
49	E-021 First Floor Plan - Lighting
50	E-022 Second Floor Plan - Lighting
51	E-031 First Floor Plan - Electrical
52	E-032 Second Floor Plan - Electrical

Plot Date: Sep 14, 2021 - 4:25pm



PRIME CONSULTANT



1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

PROJECT ADDRESS

2040 84TH AVE SE
MERCER ISLAND, WA 98040

OWNER

CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT
9611 SE 36TH STREET
MERCER ISLAND, WA 98040
PROJECT CONTACT: PAUL WEST
(206) 677-1028
paul.west@mercerisland.gov

PROJECT GENERAL NOTES

CAD USER: touniep PLOT DATE: Sep 14, 2021-04:14pm
PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design (v2019)\30% Submittal\LBPB_G-001.dwg



NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

PROJECT GENERAL NOTES

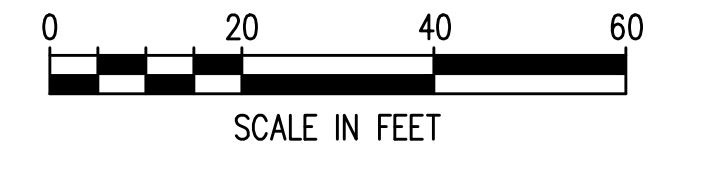
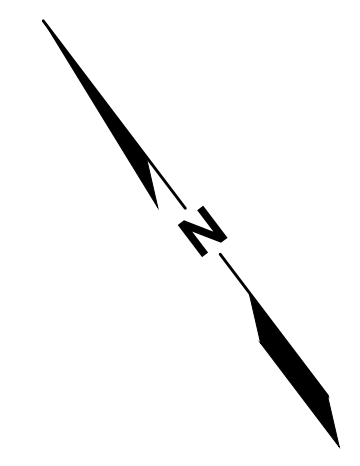
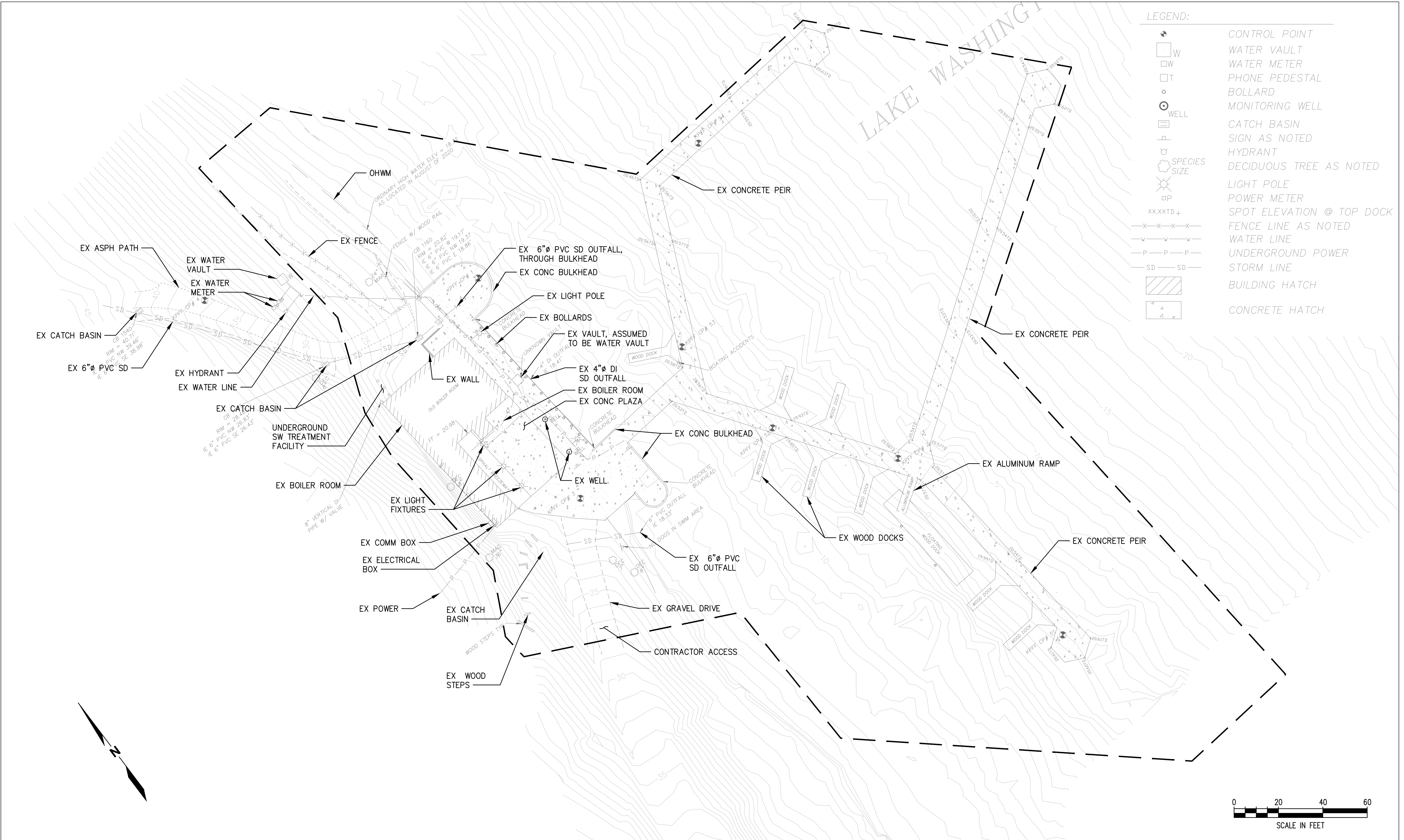
DRAWN: TP	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	G-001
SHEET NO.	## OF ##

30% SUBMITTAL

Xrefs:
 X-SURVEY
 X-TB
 X-SITE
 X-SITE-ARCH
 xplan2

LEGEND:

- CONTROL POINT
- WATER VAULT
- WATER METER
- PHONE PEDESTAL
- BOLLARD
- MONITORING WELL
- CATCH BASIN
- SIGN AS NOTED
- HYDRANT
- DECIDUOUS TREE AS NOTED
- LIGHT POLE
- POWER METER
- SPOT ELEVATION @ TOP DOCK
- FENCE LINE AS NOTED
- WATER LINE
- UNDERGROUND POWER
- STORM LINE
- BUILDING HATCH
- CONCRETE HATCH



CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:12pm
 PATH: N:\2020\20000291 Luther Burbank Park Drawings\Current (DWG2018)\G-010 EXISTING CONDITIONS SITE PLAN.dwg



NO.	DATE	BY	REVISION



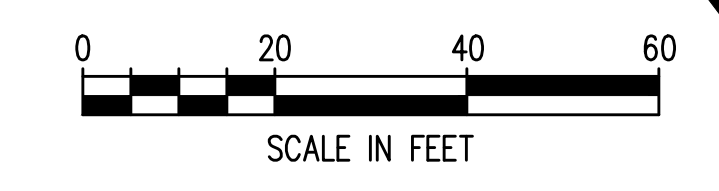
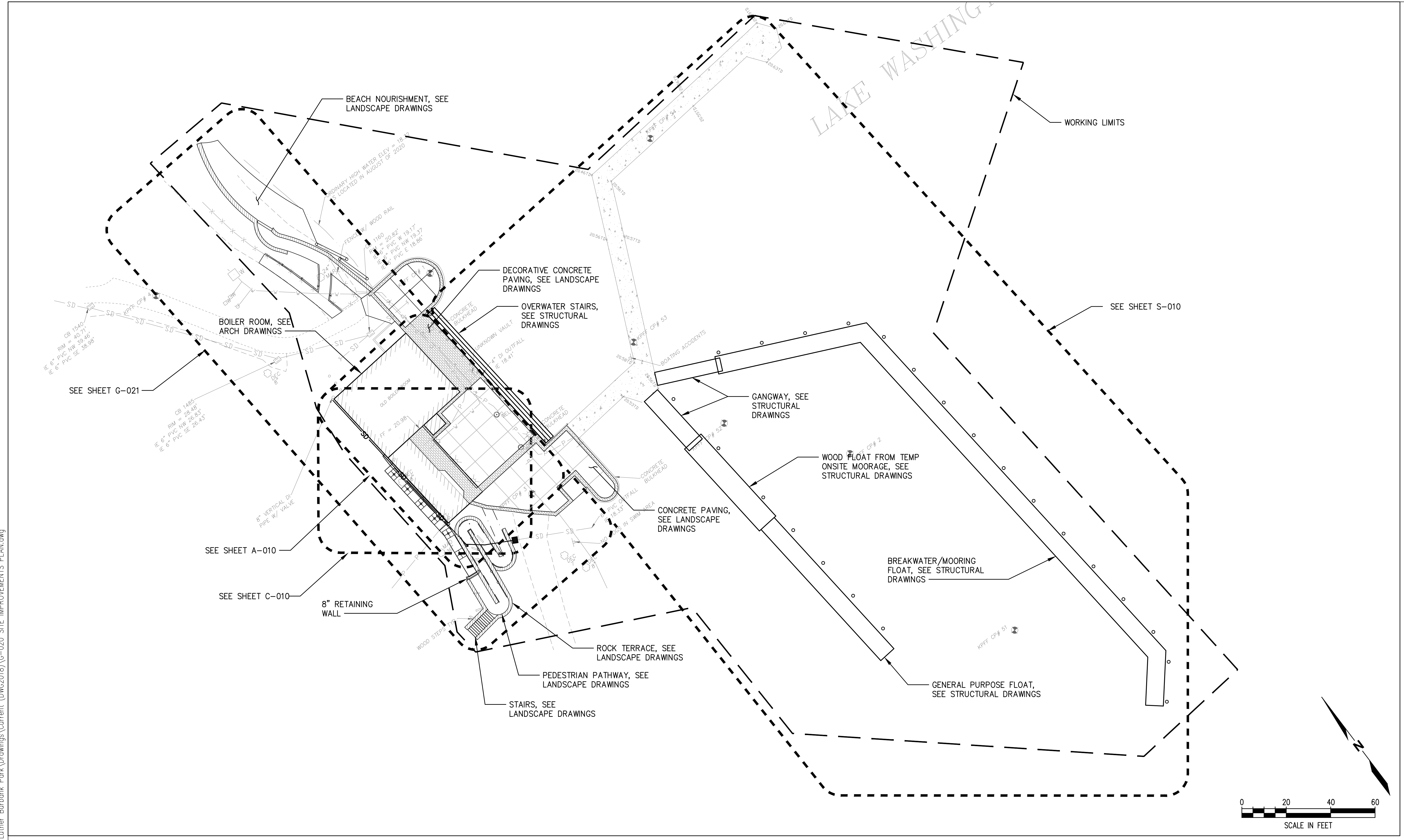
LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

EXISTING CONDITIONS SITE PLAN

DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO. G-010	
SHEET NO.1	OF 7

30% SUBMITTAL

Xrefs:
 X-SURVEY
 X-TB
 X-SITE
 X-SITE-ARCH
 42000291 TOPOBM
 X-STRUCT
 X-SITE-LSA



CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:12pm
 PATH: N:\2020\20000291 Luther Burbank Park Drawings\Current (DWG2018)\G-020 SITE IMPROVEMENTS PLAN.dwg



NO.	DATE	BY	REVISION

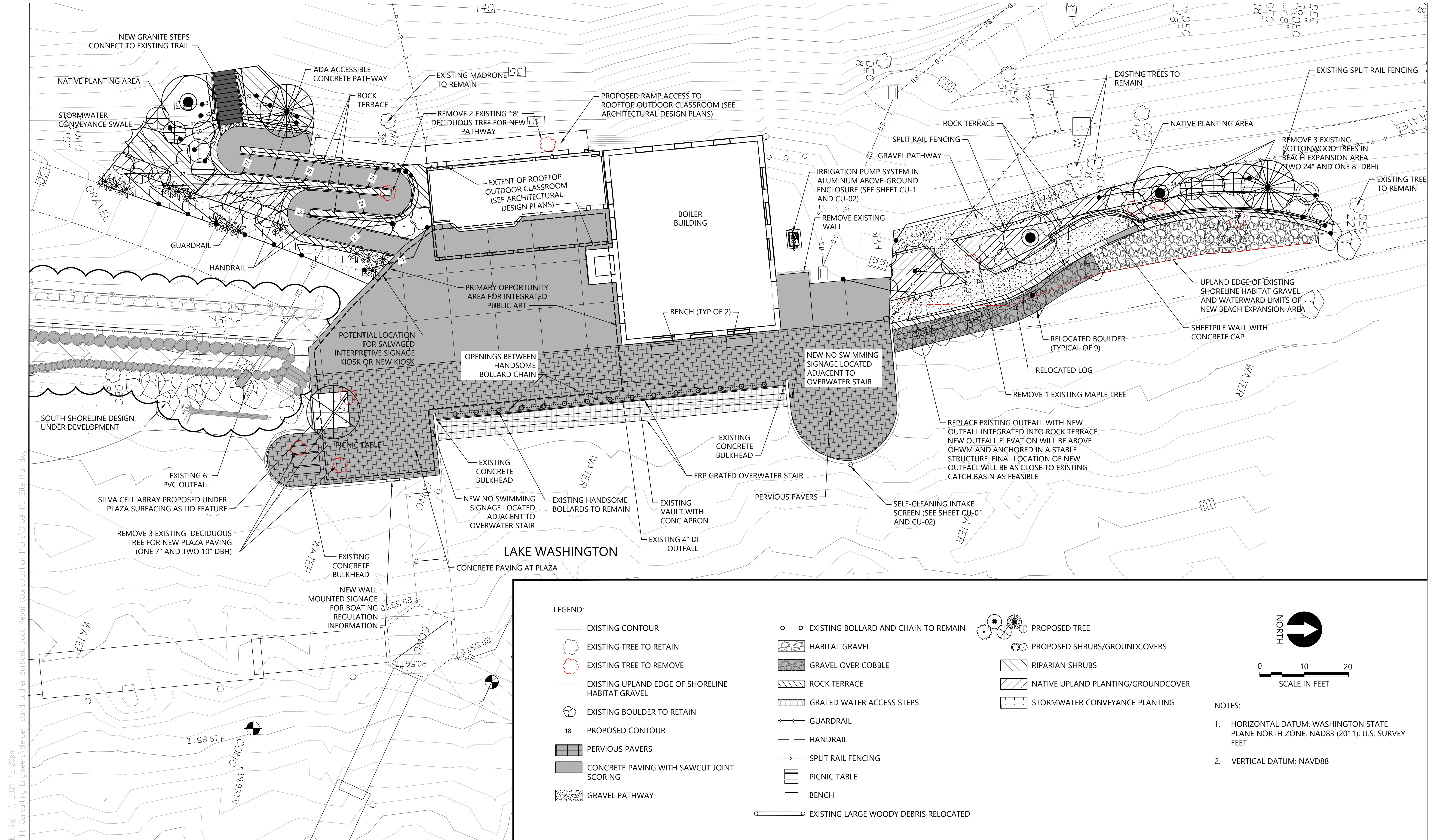


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

SITE IMPROVEMENTS PLAN

DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO. G-020	
SHEET NO.2	OF 7

30% SUBMITTAL



LEGEND:

EXISTING CONTOUR	EXISTING BOLLARD AND CHAIN TO REMAIN	PROPOSED TREE
EXISTING TREE TO RETAIN	HABITAT GRAVEL	PROPOSED SHRUBS/GROUNDCOVERS
EXISTING TREE TO REMOVE	GRAVEL OVER COBBLE	RIPARIAN SHRUBS
EXISTING UPLAND EDGE OF SHORELINE HABITAT GRAVEL	ROCK TERRACE	NATIVE UPLAND PLANTING/GROUNDCOVER
EXISTING BOULDER TO RETAIN	GRATED WATER ACCESS STEPS	STORMWATER CONVEYANCE PLANTING
PROPOSED CONTOUR	GUARDRAIL	
PERVIOUS PAVERS	HANDRAIL	
CONCRETE PAVING WITH SAWCUT JOINT SCORING	SPLIT RAIL FENCING	
GRAVEL PATHWAY	PICNIC TABLE	
	BENCH	
	EXISTING LARGE WOODY DEBRIS RELOCATED	

NOTES:

- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NAD83 (2011), U.S. SURVEY FEET
- VERTICAL DATUM: NAVD88

SCALE IN FEET
0 10 20

NORTH

kpff
1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

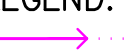

COMPOSITE SITE PLAN

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	G-021
SHEET NO. 5	OF 52

30% SUBMITTAL

Xrefs:
 X-TB
 X-SURVEY



LEGEND:
 FOOT OR SMALL EQUIPMENT ACCESS ONLY
 TRUCK/VEHICLE ACCESS

NOTES:
 1. AERIAL FROM BING MAPS

CAD USER: jbrim PLOT DATE: Sep 14, 2021--02:13pm
 PATH: N:\2020\20000291\Luther Burbank Park\Drawings\Current (DWG2018)\T-001 TEMPORARY ACCESS AND STAGING PLAN.dwg



NO.	DATE	BY	REVISION



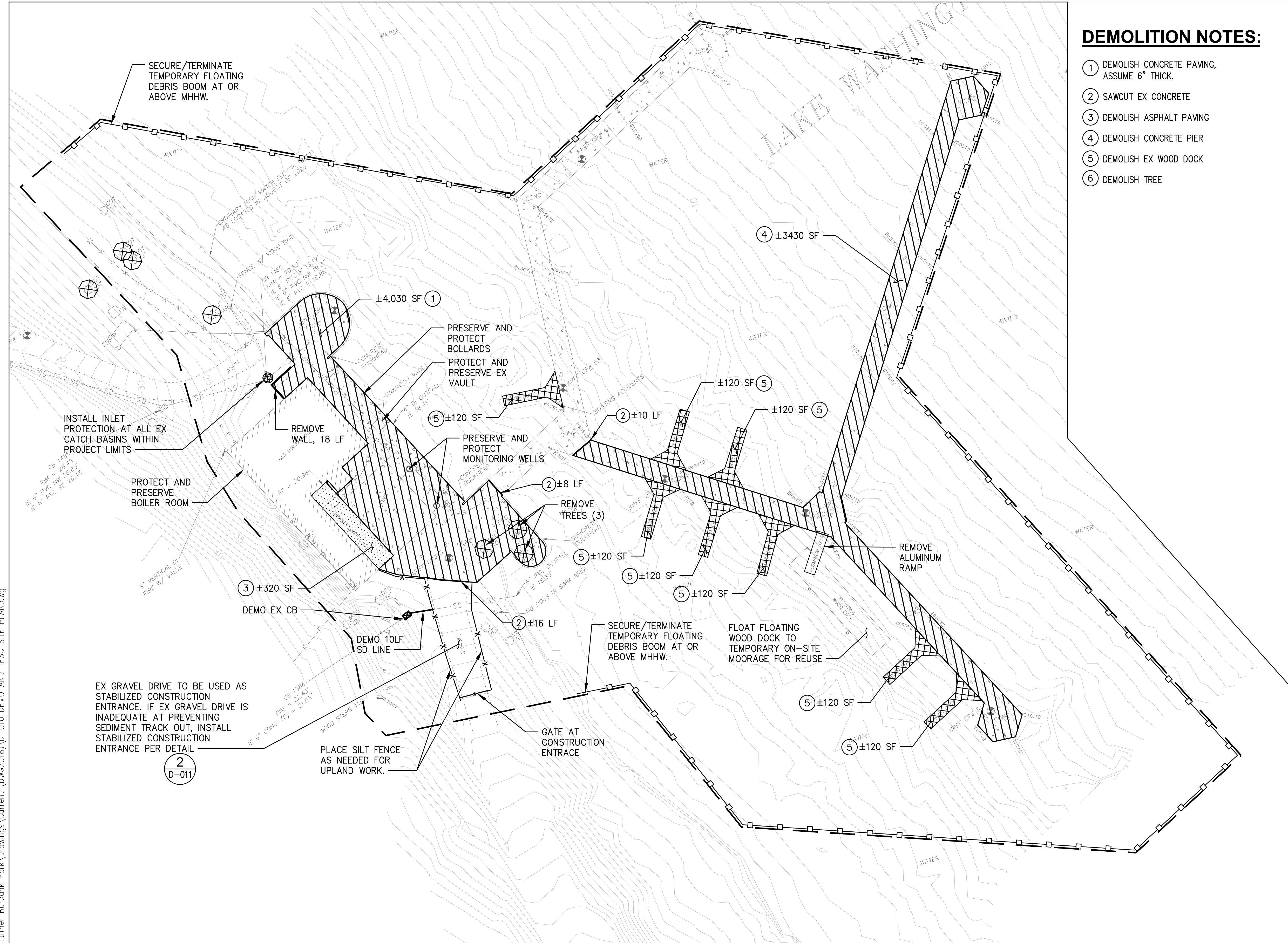
LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

TEMPORARY ACCESS AND STAGING PLAN

DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO. T-001	
SHEET NO. 3	OF 7

30% SUBMITTAL

Xrefs:
 X-SURVEY
 X-TB
 X-TESC
 X-DEMO
 X-SITE-LSA



DEMOLITION NOTES:

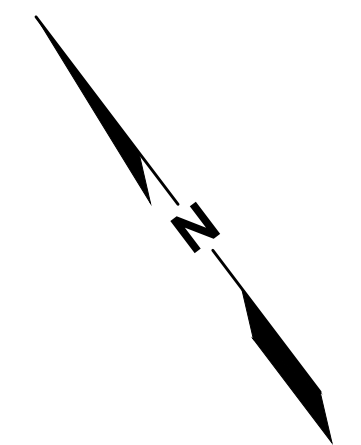
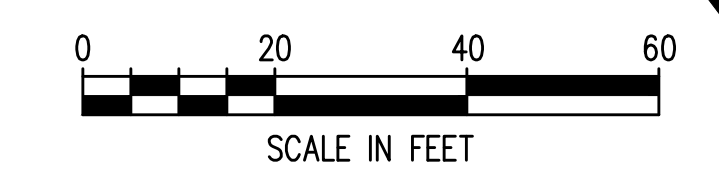
- ① DEMOLISH CONCRETE PAVING, ASSUME 6" THICK.
- ② SAWCUT EX CONCRETE
- ③ DEMOLISH ASPHALT PAVING
- ④ DEMOLISH CONCRETE PIER
- ⑤ DEMOLISH EX WOOD DOCK
- ⑥ DEMOLISH TREE

NOTES:

1. CONTRACTOR SHALL INSTALL TESC MEASURES BEFORE COMMENCEMENT OF ANY OTHER WORK ON SITE.
2. CONTRACTOR SHALL MAINTAIN ACCESS AND PROTECT WATER VALVES, MONITORING WELLS, OVERHEAD LIGHTS AND LIGHT POLES. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.
3. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF DEMOLISHED AND EXCAVATED MATERIAL AT A PERMITTED DISPOSAL FACILITY.
4. CONTRACTOR SHALL INSTALL TESC MEASURES BEFORE PAVEMENT REMOVAL AND EXCAVATION.
5. CONTRACTOR SHALL PROVIDE SWEEPING AS NEEDED.
6. CONTRACTOR SHALL COORDINATE WITH SITE OWNER TO DETERMINE AN APPROPRIATE STOCKPILE LAYDOWN AREA WITHIN PROJECT LIMITS. SEE DETAIL 2 ON SHEET D-011.
7. INLET PROTECTION SHALL BE PLACED IN ALL CATCH BASINS IN THE VICINITY OF THE PROPERTY LIMITS PRIOR TO THE COMMENCEMENT OF WORK AND MAINTAINED FOR THE DURATION OF THE PROJECT.
8. UPON COMPLETION OF PROJECT CONTRACTOR SHALL CLEAN AND RE-INSTALL INLET PROTECTION AND LEAVE IN PLACE WITHIN PROPERTY LIMITS.

LEGEND:

- PROJECT WORK AREA LIMITS
- TEMPORARY FLOATING DEBRIS BOOM ① D-011
- x—x— SILT FENCE ④ D-011
- ⊗ INLET PROTECTION ③ D-011
- ⊗ REMOVE TREE
- ▨ DEMOLISH CONCRETE
- ▨ DEMOLISH ASPHALT
- ▨ DEMOLISH WOOD DOCK
- ▨ SAWCUT CONCRETE



CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:13pm
 PATH: N:\2020\20000291 Luther Burbank Park Drawings\Current (DWG2018)\D-010 DEMO AND TESC SITE PLAN.dwg



NO.	DATE	BY	REVISION



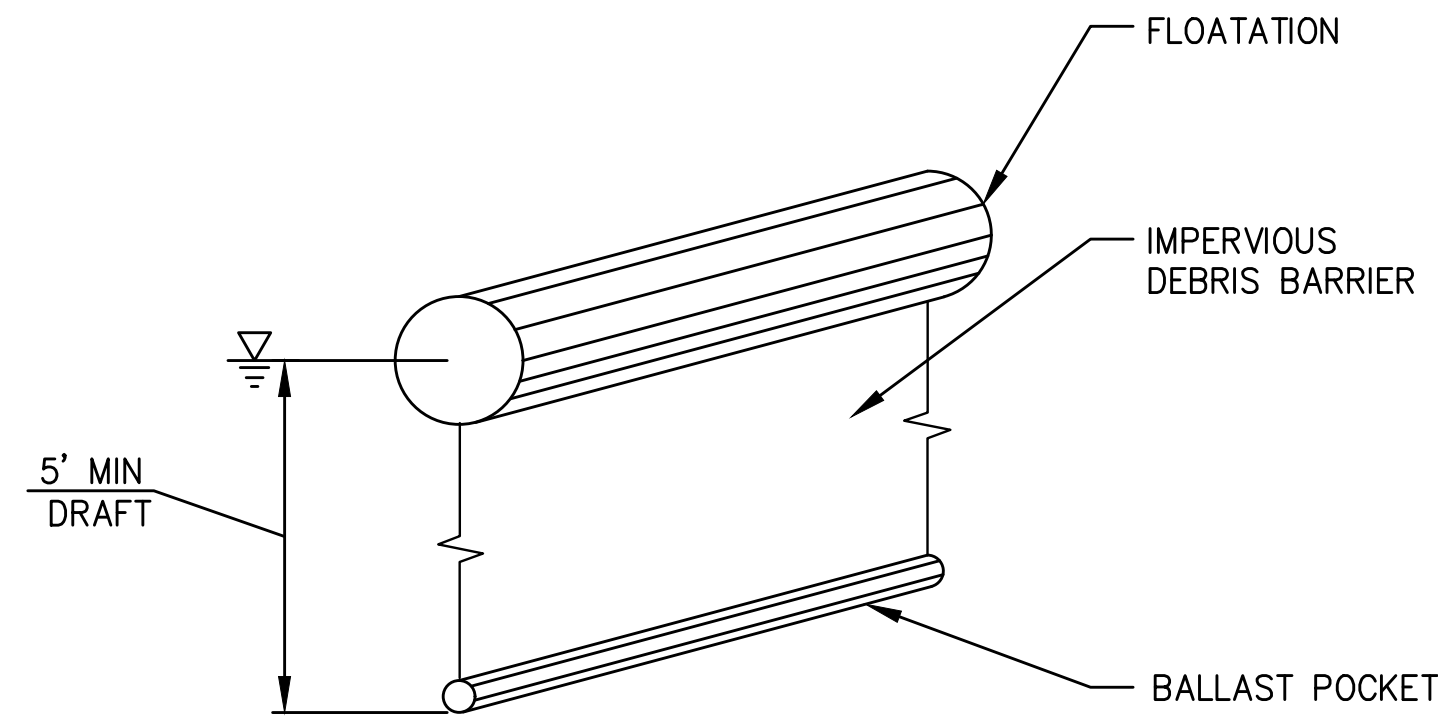
LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

DEMO AND TESC SITE PLAN

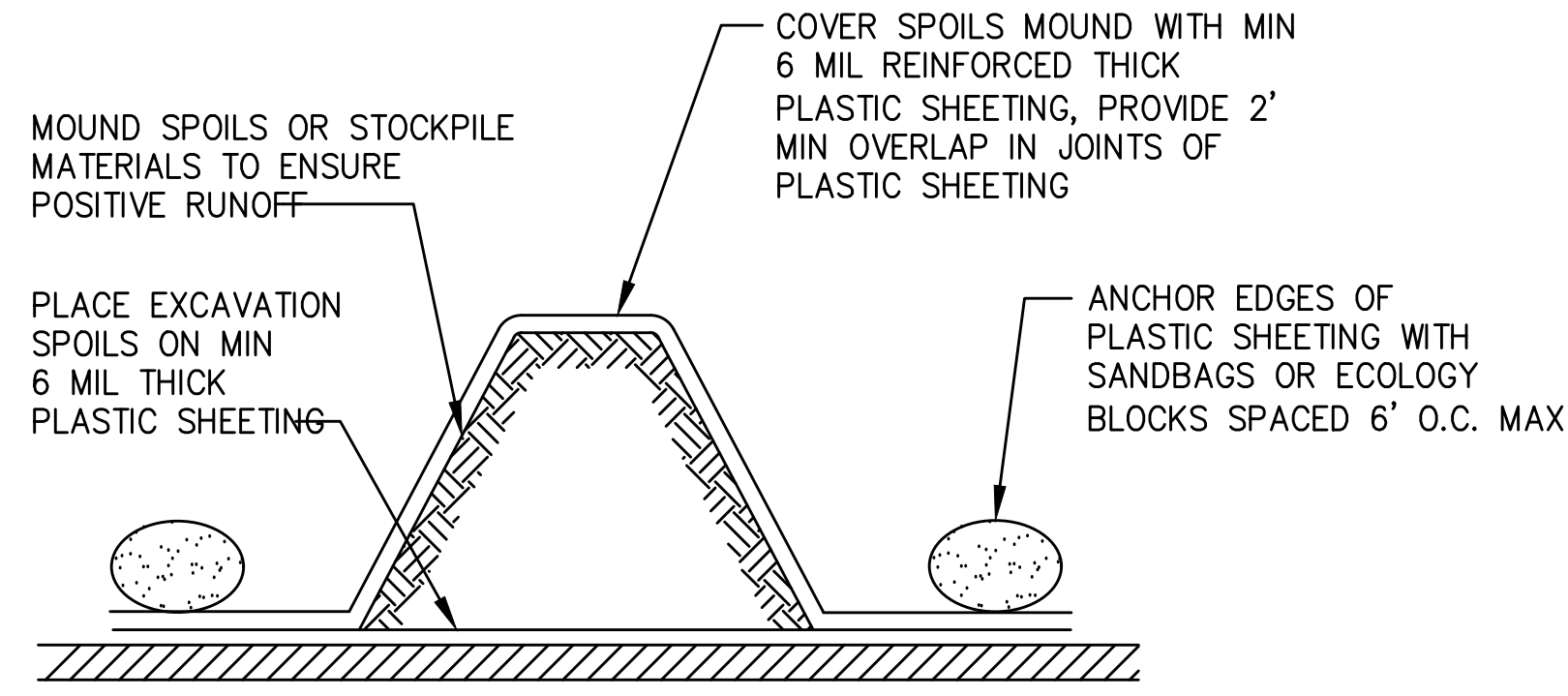
DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO.	D-010
SHEET NO. 4	OF 7

30% SUBMITTAL

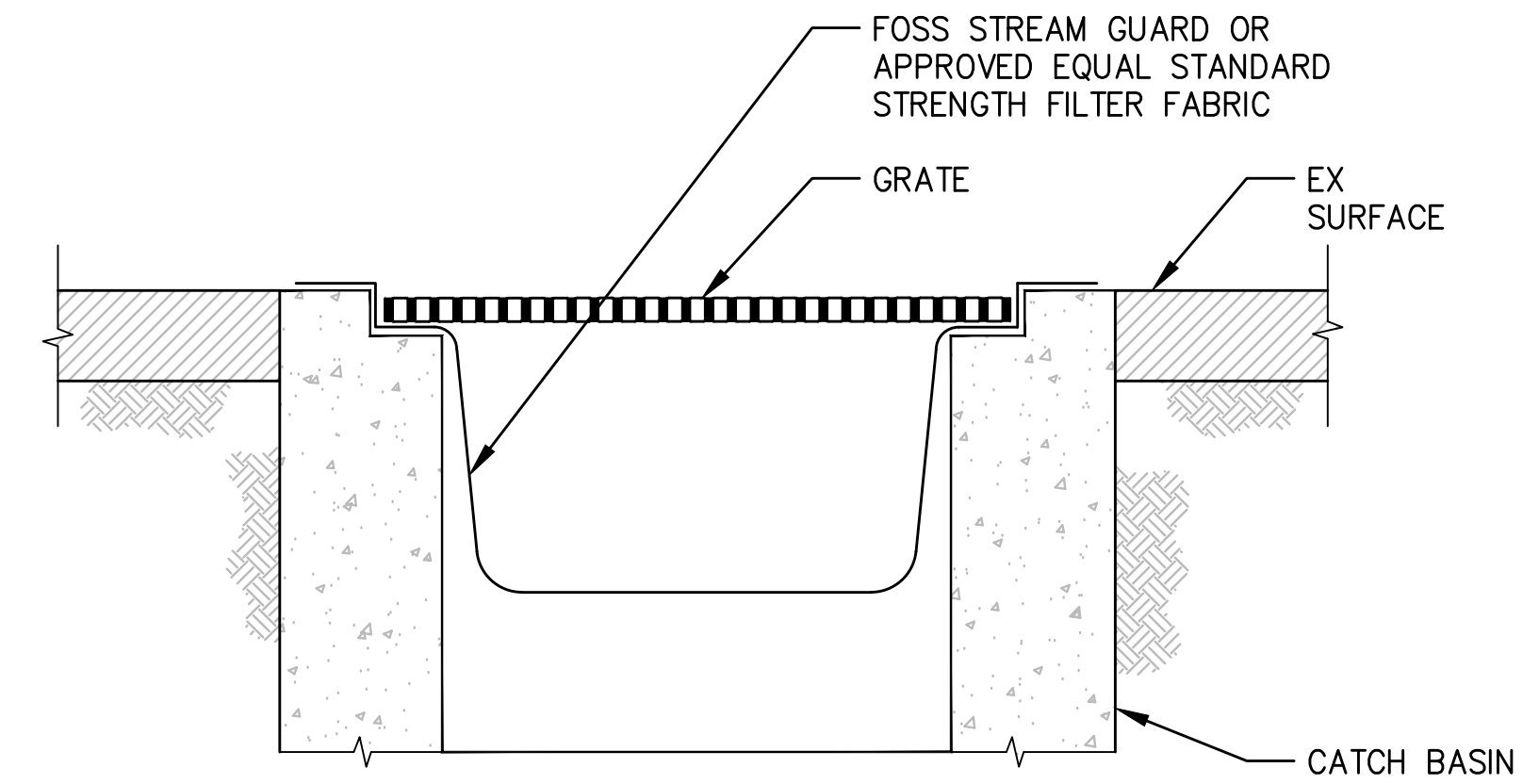
Xrefs:
 X-SURVEY
 X-TB
 X-SITE
 X-SITE-ARCH
 X-STRUCT
 X-SITE-LSA
 42000291 TOPOBM



1 DEBRIS BOOM
 D-010 NTS



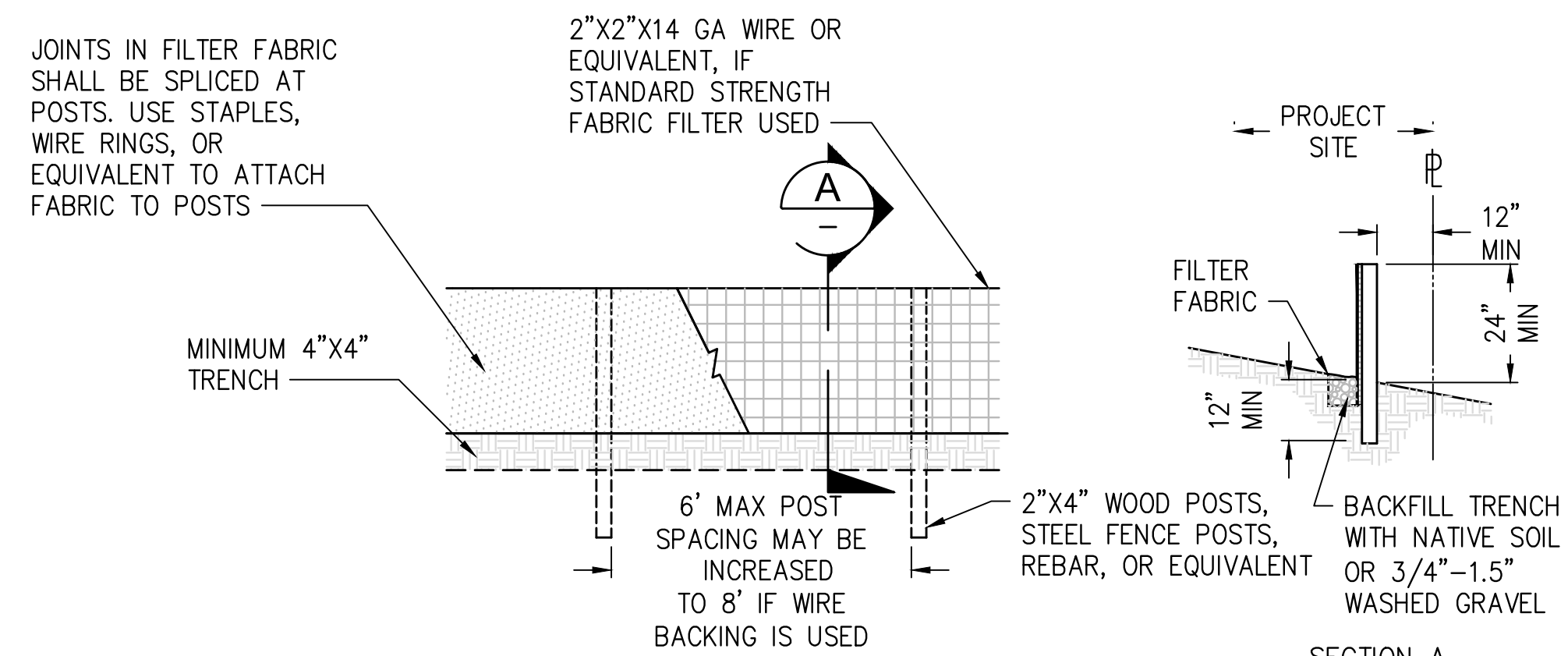
2 STOCKPILE PROTECTION DETAIL
 D-010 NTS



MAINTENANCE STANDARDS:

- EXISTING CATCH BASINS SHALL BE FITTED WITH FILTER FABRIC AS SHOWN.
- ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED BY FLUSHING WITH WATER. ALL SEDIMENT MUST BE DISPOSED OF OFF-SITE.

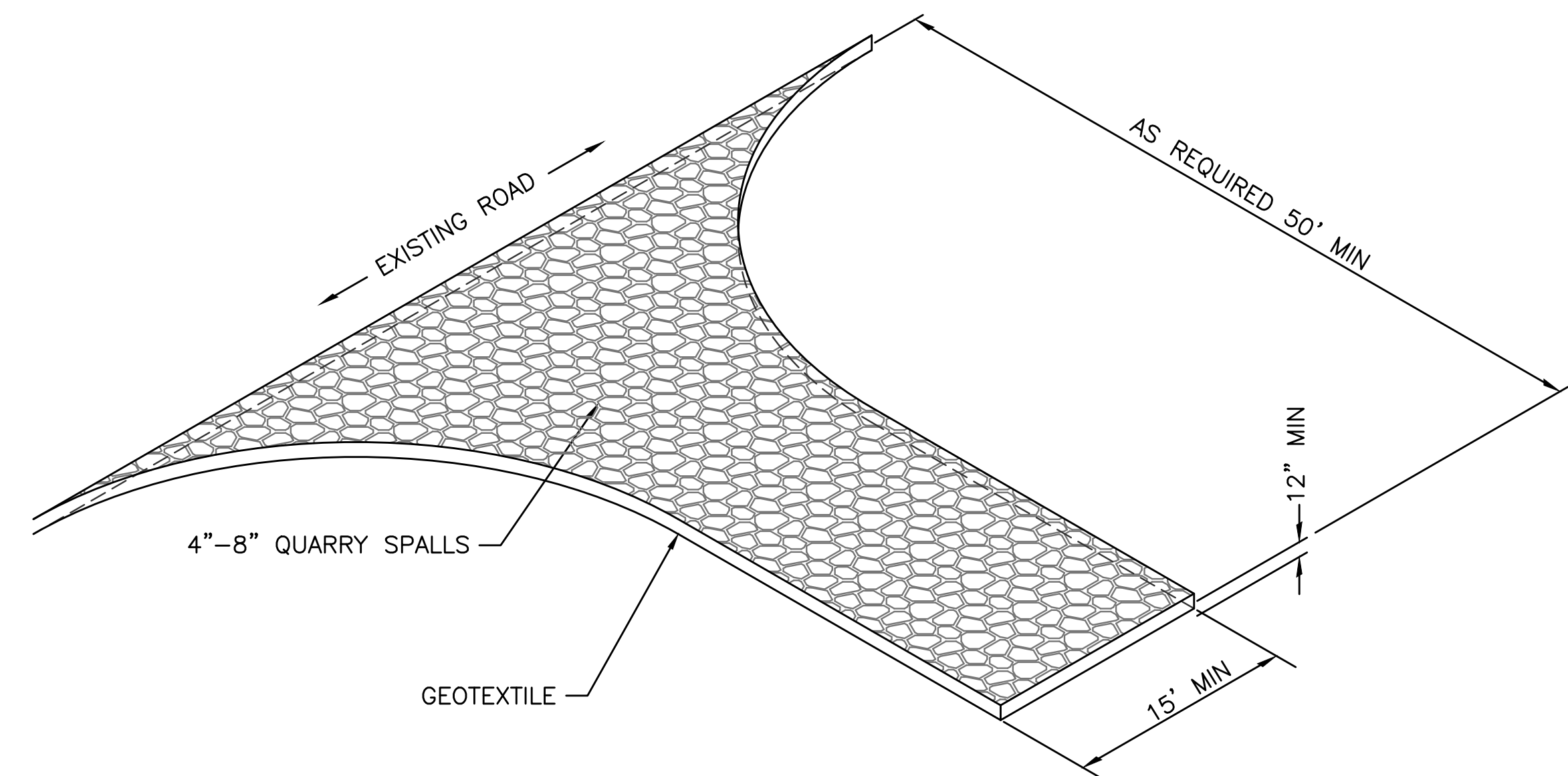
3 INLET PROTECTION DETAIL
 D-010 NTS



4 SILT FENCE
 D-010 NTS

MAINTENANCE NOTES:

- REPAIR ANY DAMAGE IMMEDIATELY.
- IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, INTERCEPT AND CONVEY THEM TO A SEDIMENT POND.
- IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING, ACTING AS A BARRIER TO FLOW, AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
- REMOVE SEDIMENT DEPOSITS WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-THIRD THE HEIGHT OF THE SILT FENCE, OR INSTALL A SECOND SILT FENCE.
- IF THE FILTER FABRIC (GEOTEXTILE) HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, REPLACE IT.



5 CONSTRUCTION ENTRANCE DETAIL
 D-010 NTS

CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:13pm
 PATH: N:\2020\20000291 Luther Burbank Park\Drawings\Current (DWG2018)\D-011 TESC DETAILS.dwg



1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

TESC DETAILS

DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO. D-011	
SHEET NO. 5	OF 7

30% SUBMITTAL

Xrefs:
 X-SURVEY
 X-TB
 X-SITE
 X-SITE-ARCH
 X-STRUCT
 42000291 TOPOBM
 X-SITE-LSA

6"Ø PERFORATED
 PVC PIPE
 INVERT = ±24.41

6"Ø PERFORATED PVC PIPE
 INVERT = ± 22.00
 BEGIN PLACING FILL TO
 MAINTAIN 12" OF COVER
 ABOVE CROWN OF PIPE

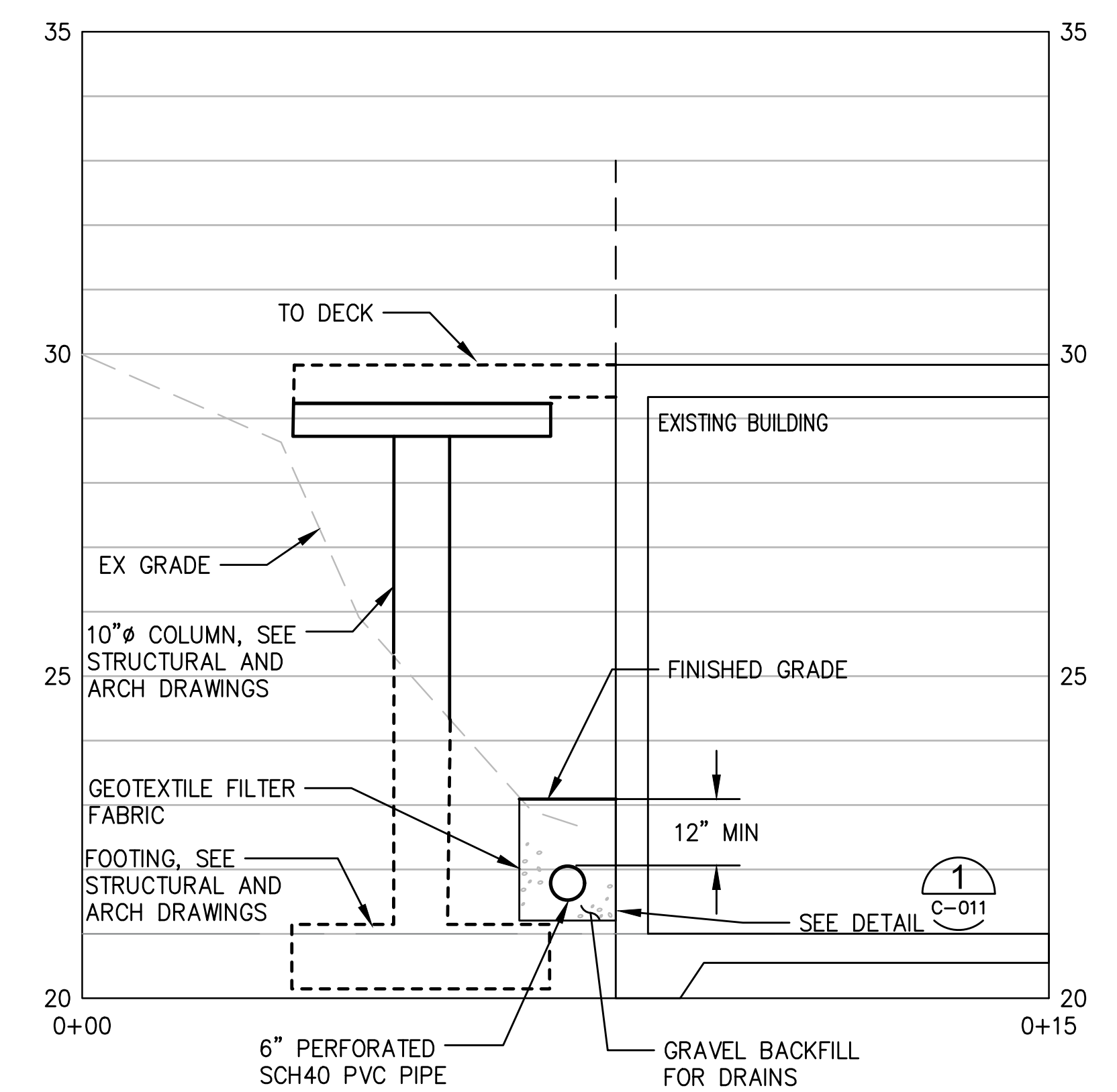
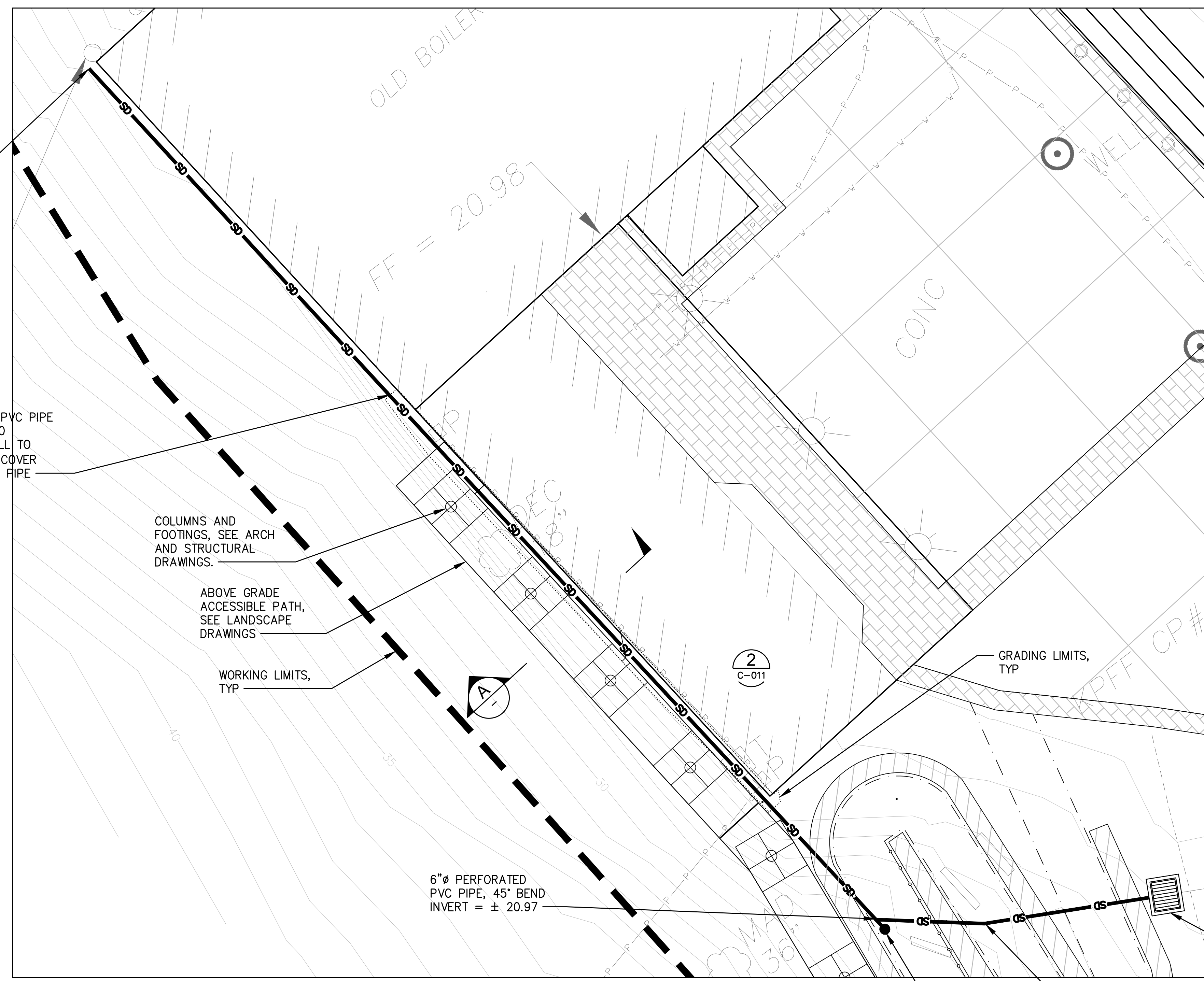
COLUMNS AND
 FOOTINGS, SEE ARCH
 AND STRUCTURAL
 DRAWINGS.

ABOVE GRADE
 ACCESSIBLE PATH,
 SEE LANDSCAPE
 DRAWINGS

WORKING LIMITS,
 TYP

6"Ø PERFORATED
 PVC PIPE, 45° BEND
 INVERT = ± 20.97

1 ENLARGED PLAN - STORM DRAIN
 6-020 1"=5'

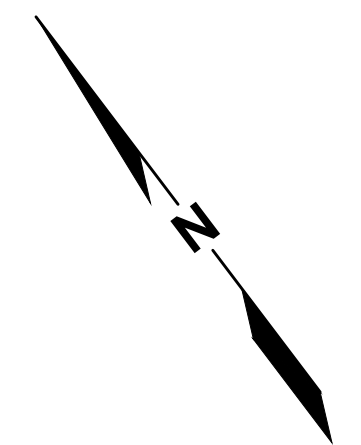
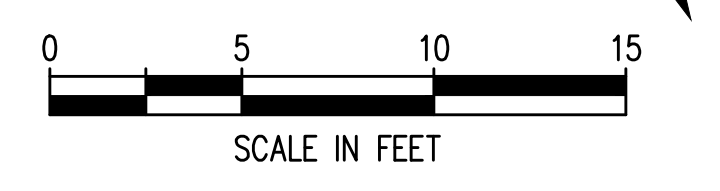


A STORM DRAIN AND PATHWAY SECTION
 NTS

CB 1, TYPE 1 - FRAME AND GRATE
 RIM = ±21.55'
 6" IE IN = ±20.55 (W)
 6" IE OUT = ±20.55 (E)
 SEE DETAIL 3 C-011

6"Ø PERFORATED PVC
 PIPE, 11.25° BEND
 INVERT = ± 20.80

CLEAN OUT,
 SEE DETAIL



CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:13pm
 PATH: N:\2020\20000291 Luther Burbank Park\Drawings\Current (DWG2018)\C-010 ENLARGED PLAN - STORM DRAIN.dwg



NO.	DATE	BY	REVISION



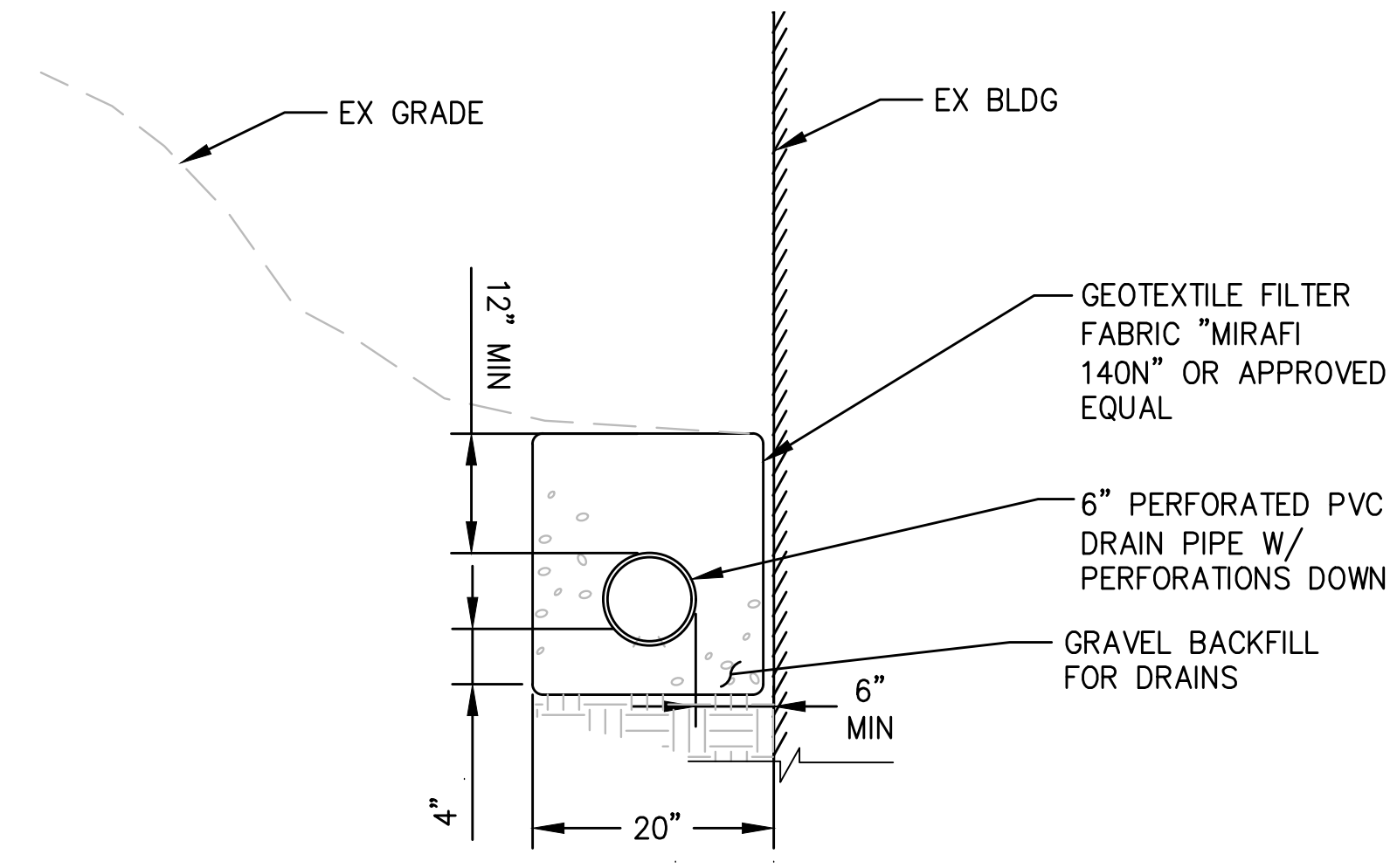
LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

ENLARGED PLAN - STORM DRAIN

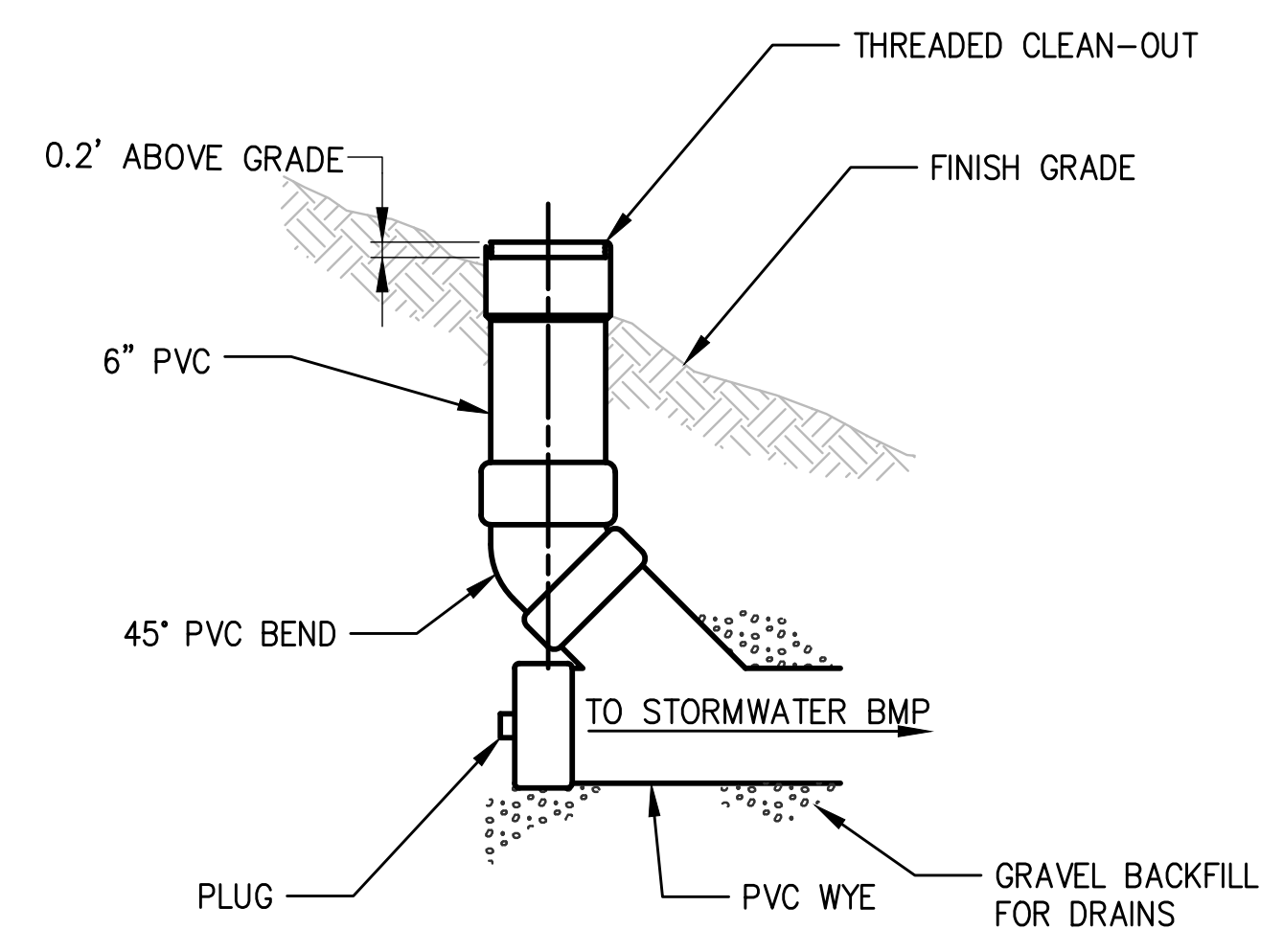
DRAWN: JTB	PROJECT NO.: 20000291
DESIGN:	SCALE:
CHECKED: SS	DATE: 9.14.21
DRAWING NO. C-010	
SHEET NO. 6	OF 7

30% SUBMITTAL

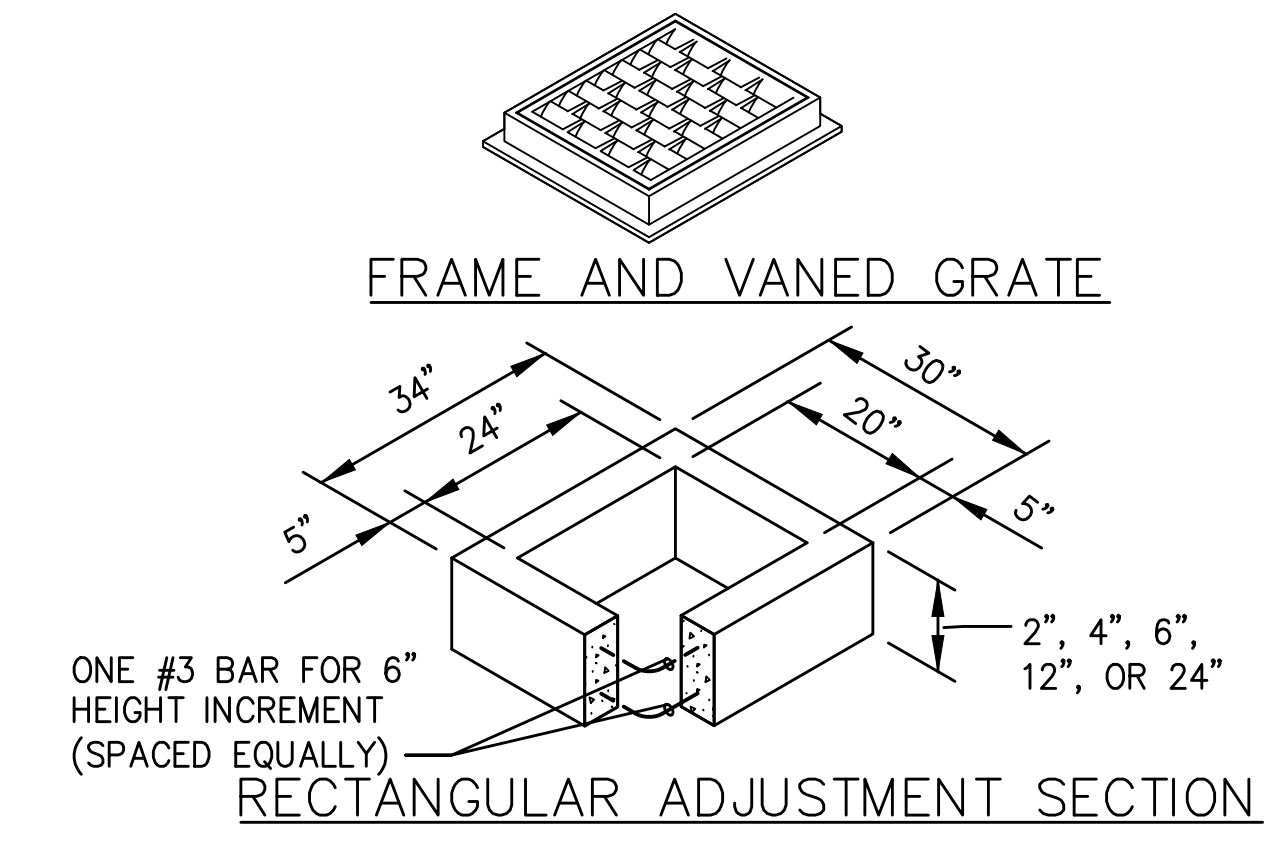
Xrefs:
 X-SURVEY
 X-TB
 X-SITE
 X-SITE-ARCH
 X-STRUCT
 X-SITE-LSA
 42000291 TOPOBM



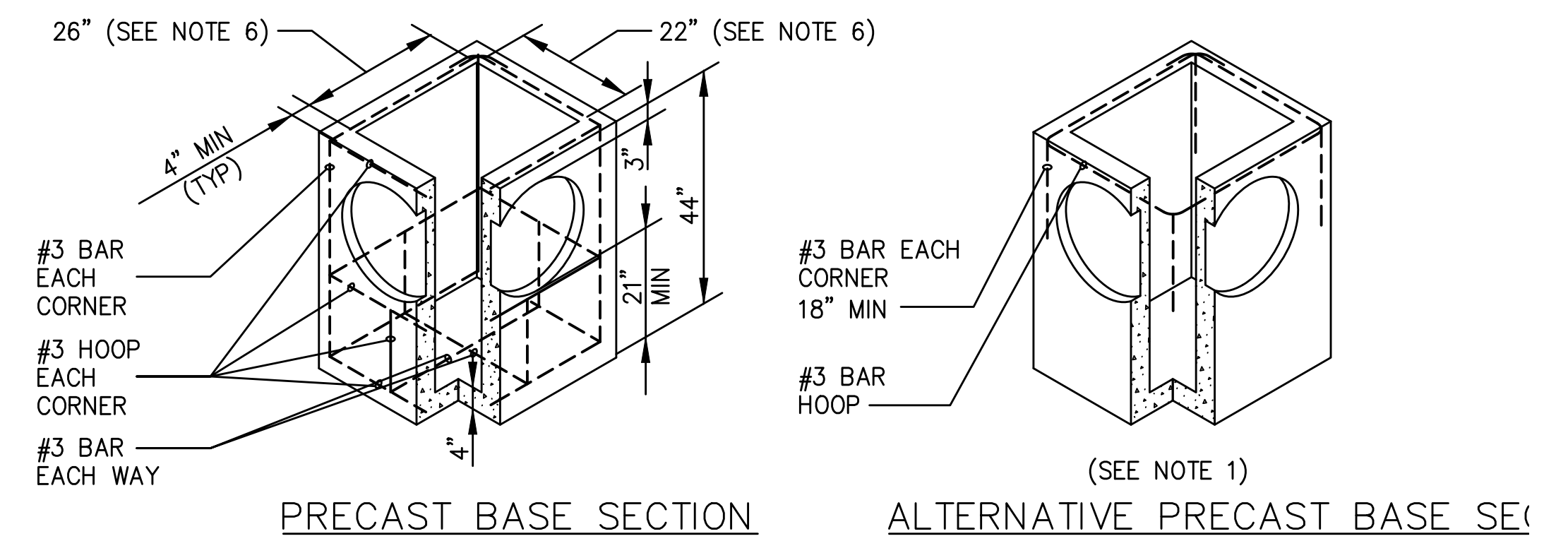
1
 C-010 NTS
STORM DRAINAGE WALL AND FOOTING DRAIN SECTION



2
 C-010 NTS
CLEANOUT DETAIL



PIPE ALLOWANCES	
PIPE MATERIAL	MAXIMUM INSIDE DIAMETER
REINFORCED OR PLAIN CONCRETE	12"
ALL METAL PIPE	15"
CPSSP * (STD.SPEC.9-05.20)	12"
SOLID WALL PVC (STD.SPEC.9-05.12(1))	15"
PROFILE WALL PVC (STD.SPEC.9-05.12(2))	15"



1
 C-010 NTS
CATCH BASIN TYPE 1 DETAIL

CAD USER: jbrim PLOT DATE: Sep 14, 2021-02:13pm
 PATH: N:\2020\20000291 Luther Burbank Park Drawings\Current (DWG2018)\C-011 STORM DRAIN DETAILS.dwg



1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

NO.	DATE	BY	REVISION

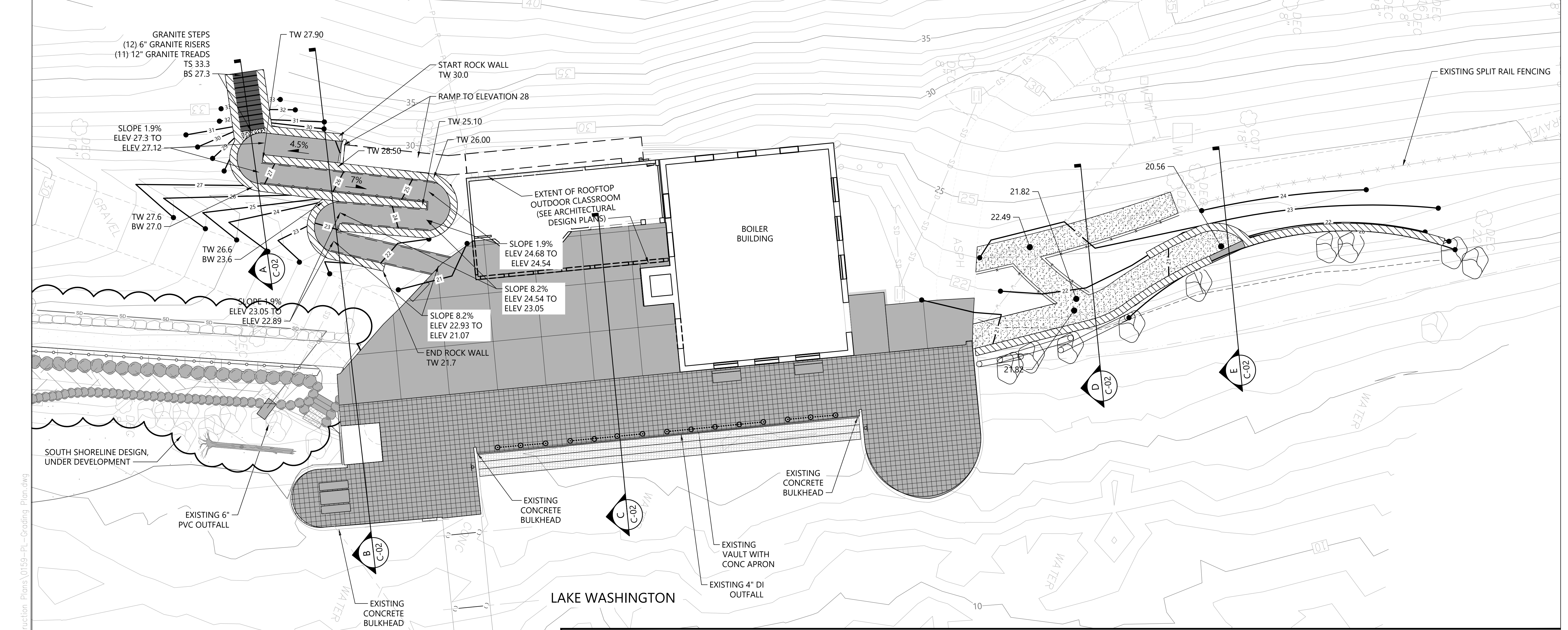


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

STORM DRAIN DETAILS

DRAWN:JTB	PROJECT NO.:20000291
DESIGN:	SCALE:
CHECKED:SS	DATE: 9.14.21
DRAWING NO. C-011	
SHEET NO.7	OF 7

30% SUBMITTAL



LEGEND:

- EXISTING CONTOUR
- EXISTING TREE
- PROPOSED CONTOUR
- PERVIOUS PAVERS
- CONCRETE PAVING WITH SCORING
- GRAVEL PATHWAY
- EXISTING BOLLARD AND CHAIN TO REMAIN
- ROCK TERRACE
- GRATED WATER ACCESS STEPS
- SECTION LOCATION
- TOP OF WALL

Legend:

- BW BOTTOM OF WALL
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS

NORTH

0 10 20
SCALE IN FEET

NOTES:

- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NAD83 (2011), U.S. SURVEY FEET
- VERTICAL DATUM: NAVD88

CAD USER: cwee PLOT DATE: Sep 13, 2021 12:20pm
 PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island\Luther Burbank Dock Repair\Construction Plans\0159-PL-Grading_Plan.dwg

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

NO.	DATE	BY	REVISION

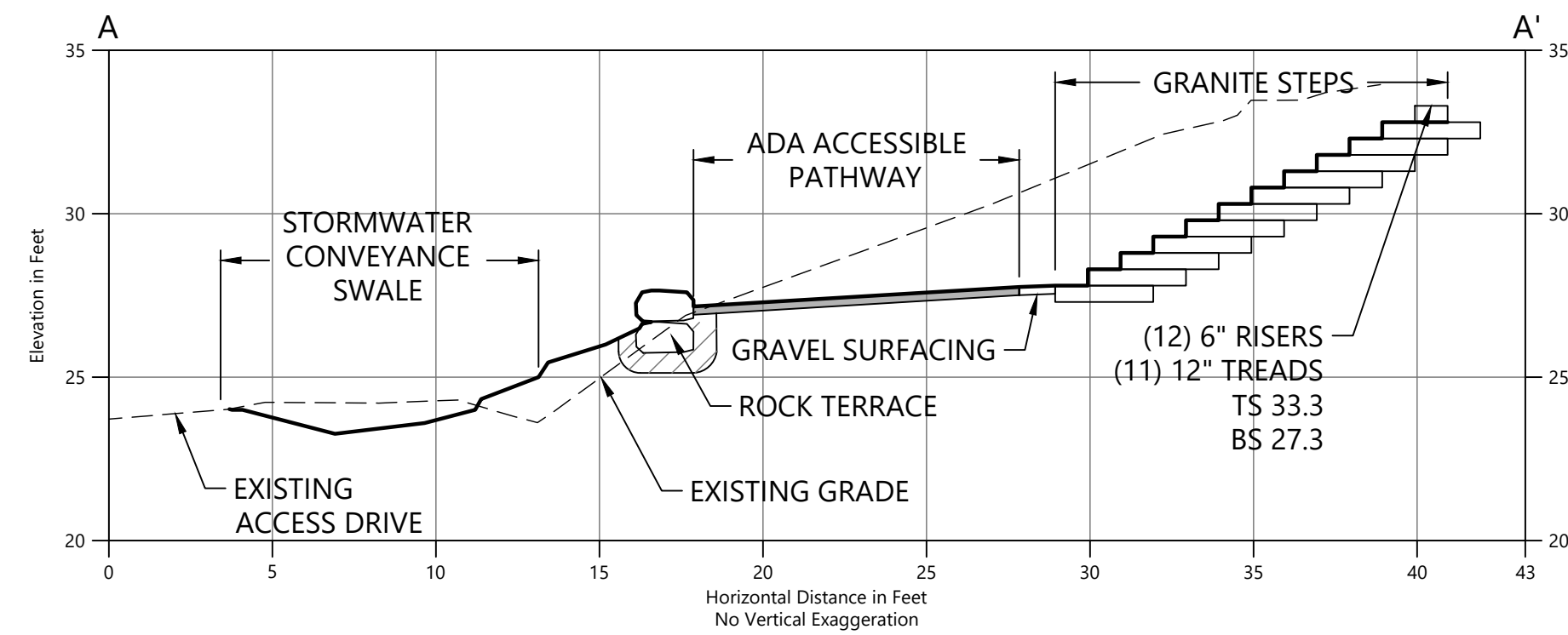


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND
GRADING PLAN

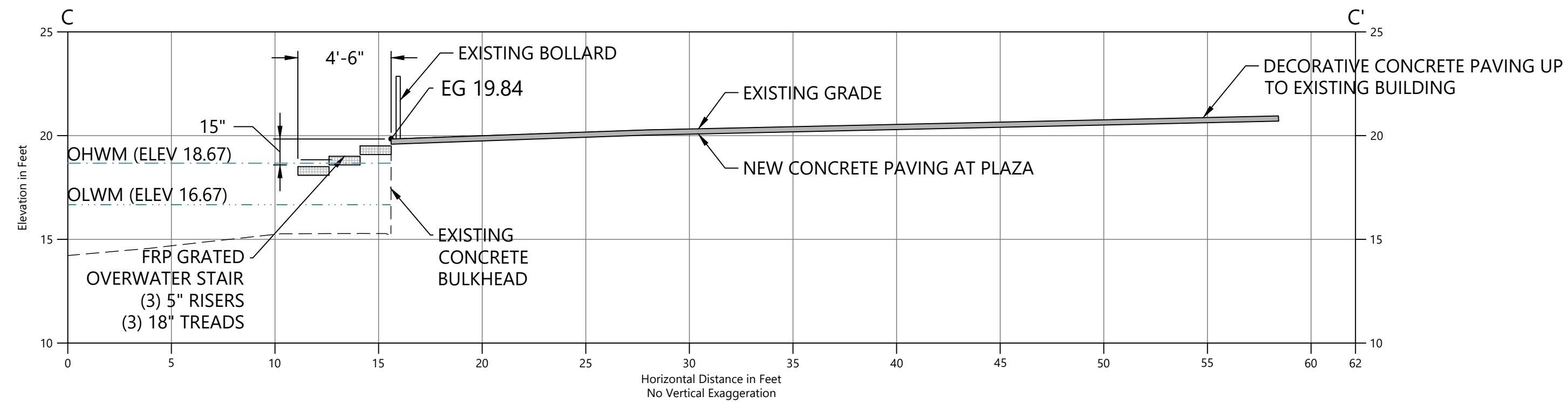
DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	C-020
SHEET NO. 11	OF 52

30% SUBMITTAL

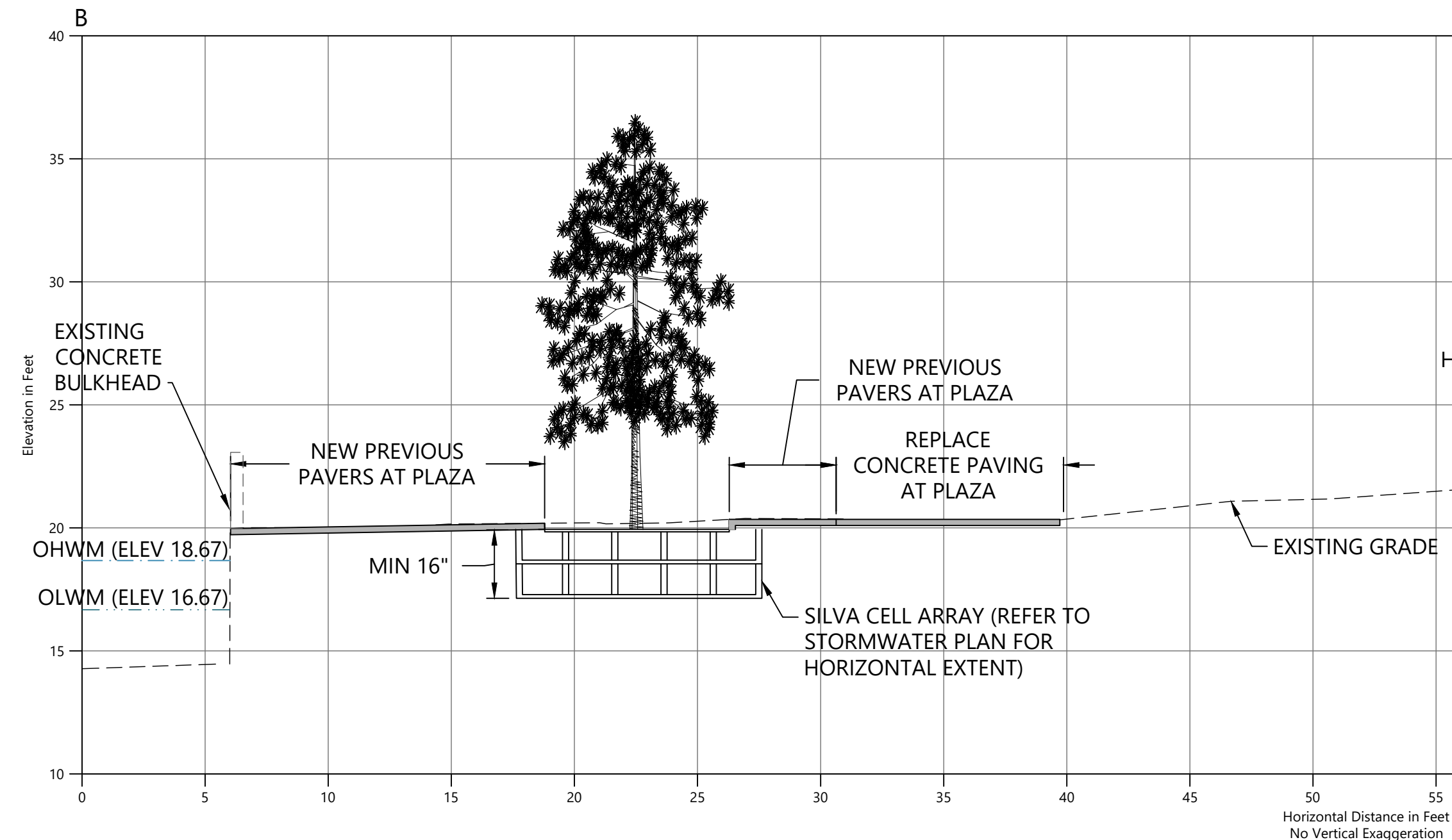
CAD USER: cwee PLOT DATE: Sep 13, 2021 12:20pm
 PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PI-Grading_Plan.dwg



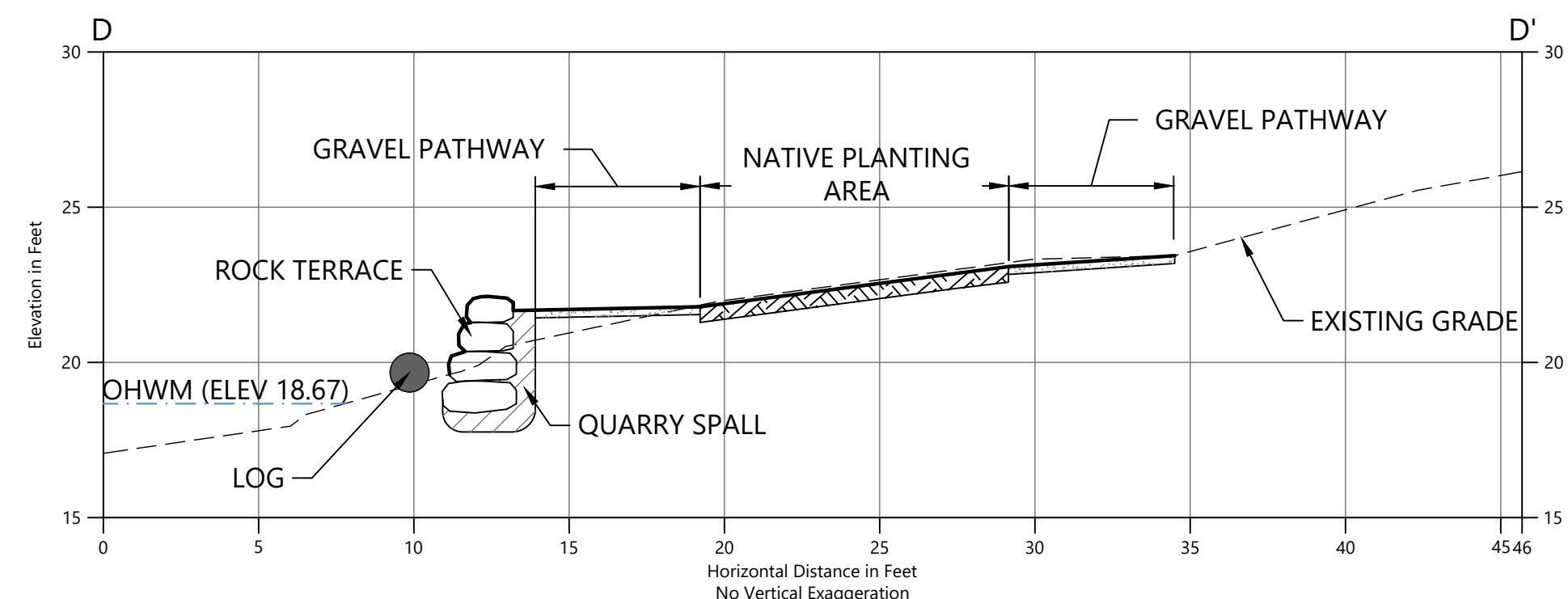
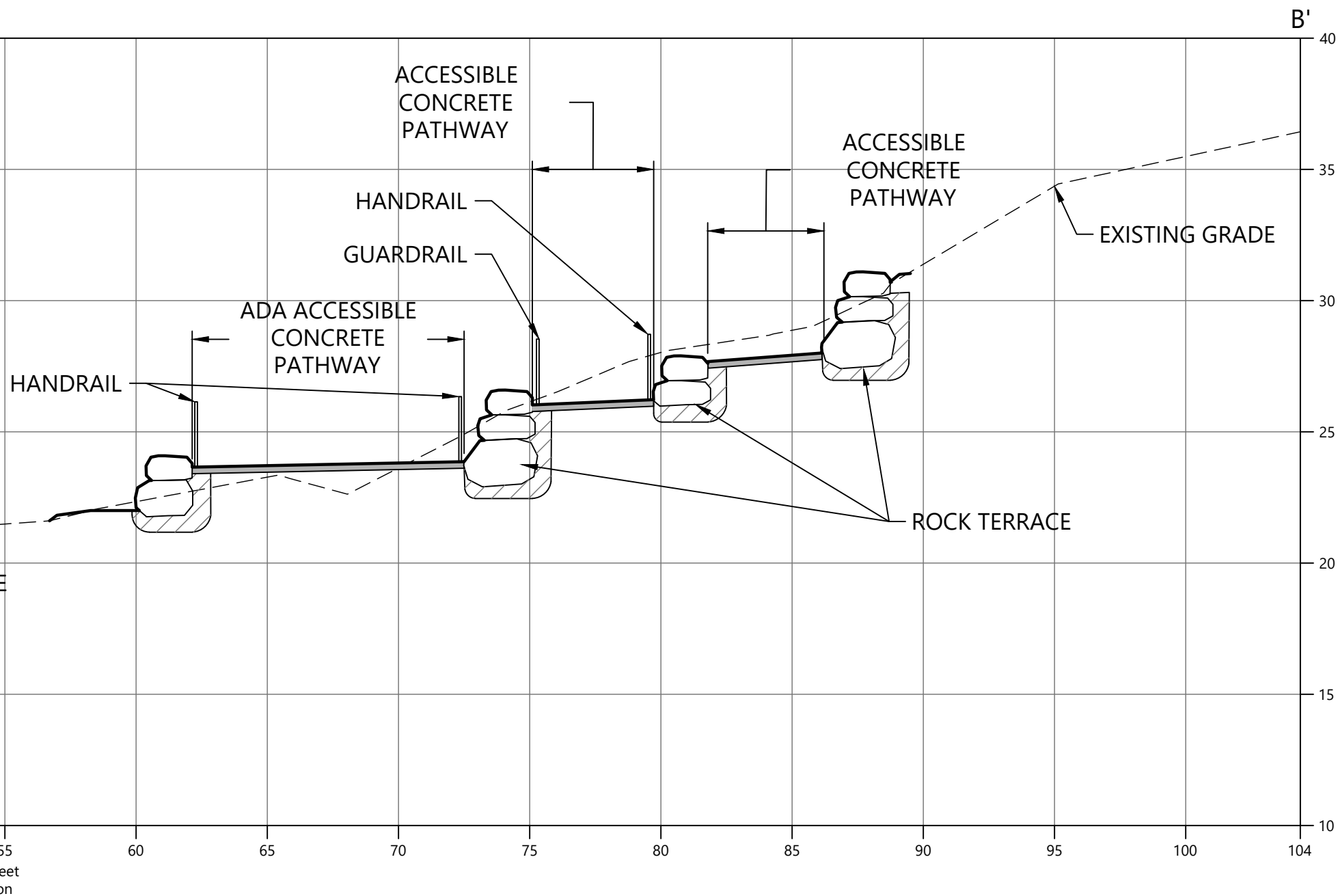
A SECTION A
 C-1 SCALE: 1" = 5'



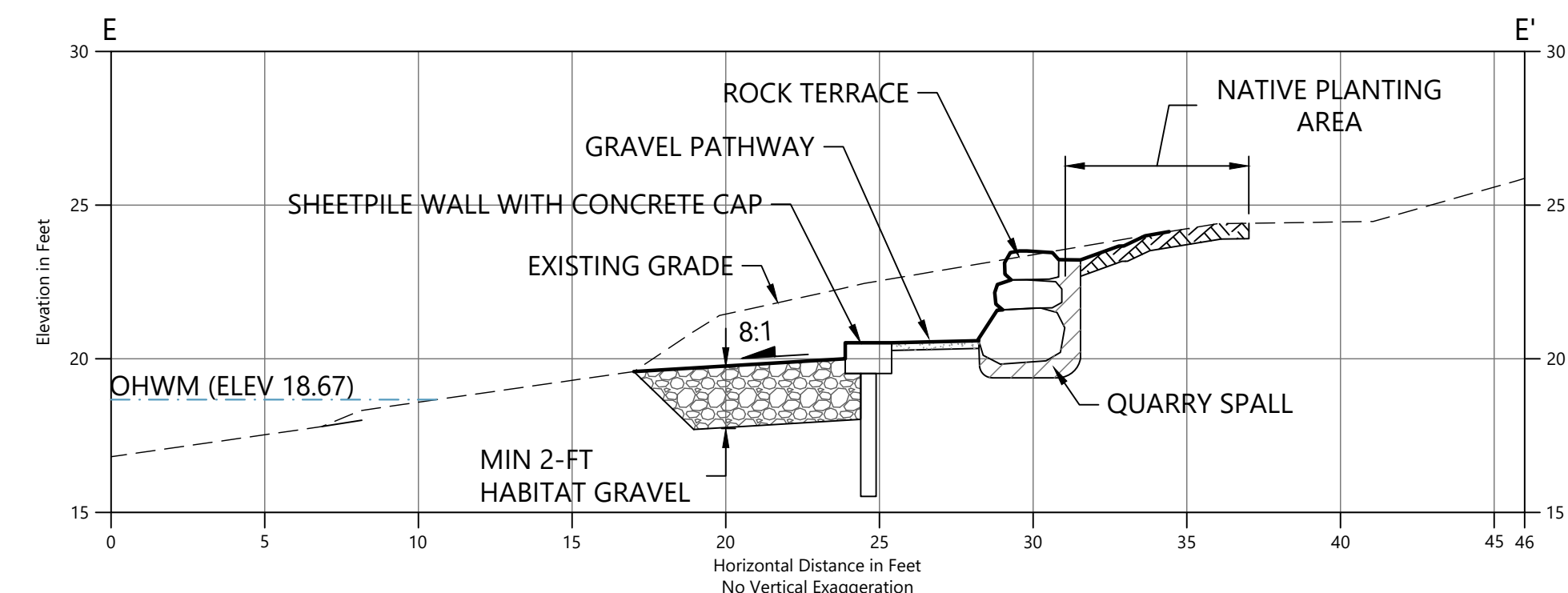
C SECTION C
 C-1 SCALE: 1" = 5'



B SECTION B
 C-1 SCALE: 1" = 5'



D SECTION D
 C-1 SCALE: 1" = 5'



E SECTION E
 C-1 SCALE: 1" = 5'

- LEGEND:**
- - - EXISTING GRADE
 - PROPOSED GRADE
 - [Pattern] HABITAT GRAVEL
 - [Pattern] QUARRY SPALL
 - [Symbol] ROCK TERRACE
 - [Pattern] TOPSOIL
 - [Pattern] GRAVEL PATHWAY
 - [Pattern] CONCRETE PAVING
 - [Pattern] GRATED STAIRS
 - TS TOP OF STAIRS
 - BS BOTTOM OF STAIRS



- NOTES:**
- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NAD83 (2011), U.S. SURVEY FEET
 - VERTICAL DATUM: NAVD88



1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

GRADING CROSS-SECTIONS

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	C-021
SHEET NO. 12	OF 52

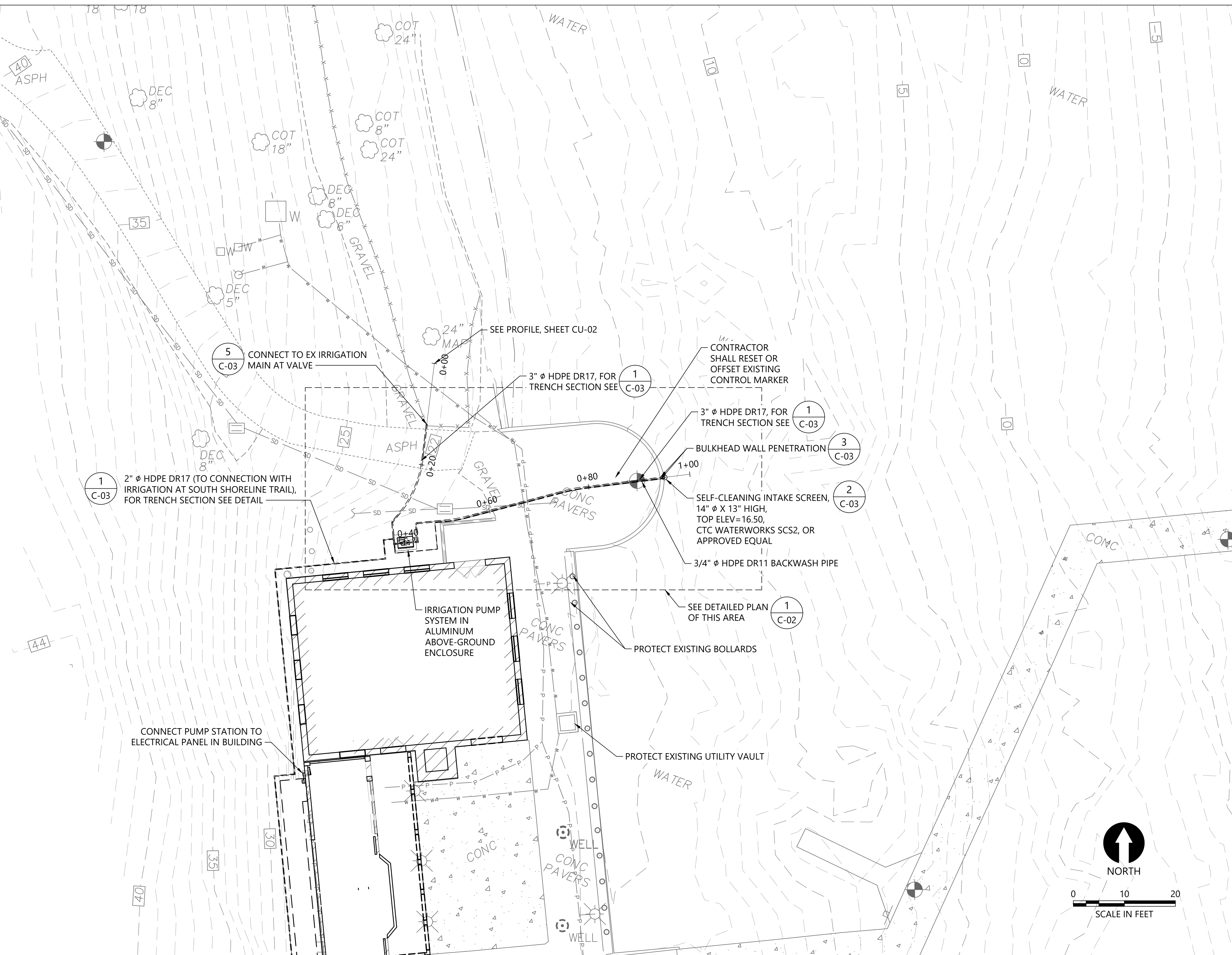
30% SUBMITTAL

LEGEND

- FOUND MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- BOLLARD
- SIGN - WOODEN POST
- DECIDUOUS TREE
- CONCRETE
- IRRIGATION VALVE
- WATER VALVE
- WATER METER
- INVERT ELEVATION
- CONCRETE PIPE
- ELECTRIC METER
- LIGHT POLE
- CLEANOUT
- CATCH BASIN
- SUBSURFACE DRAIN
- FENCE LINE
- WATER LINE
- UNDERGROUND POWER
- UNDERGROUND COMMUNICATIONS LINE
- STORM DRAIN LINE
- SEWER LINE
- EXISTING CONTOUR, MAJOR
- EXISTING CONTOUR, MINOR
- PROPOSED PIPE (BURIED)
- PROPOSED PIPE (ABOVE GROUND)
- PROPOSED INTAKE SCREEN
- PROPOSED PUMP SYSTEM

NOTES:

1. HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83), U.S. SURVEY FEET
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. SURVEY BASE MAP FROM PACIFIC GEOMATIC SERVICES, DATED OCTOBER 28, 2019.



CAD USER: cwee PLOT DATE: Sep 13, 2021 12:21pm PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PI-Intake-Overall-Site-Plan.dwg

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

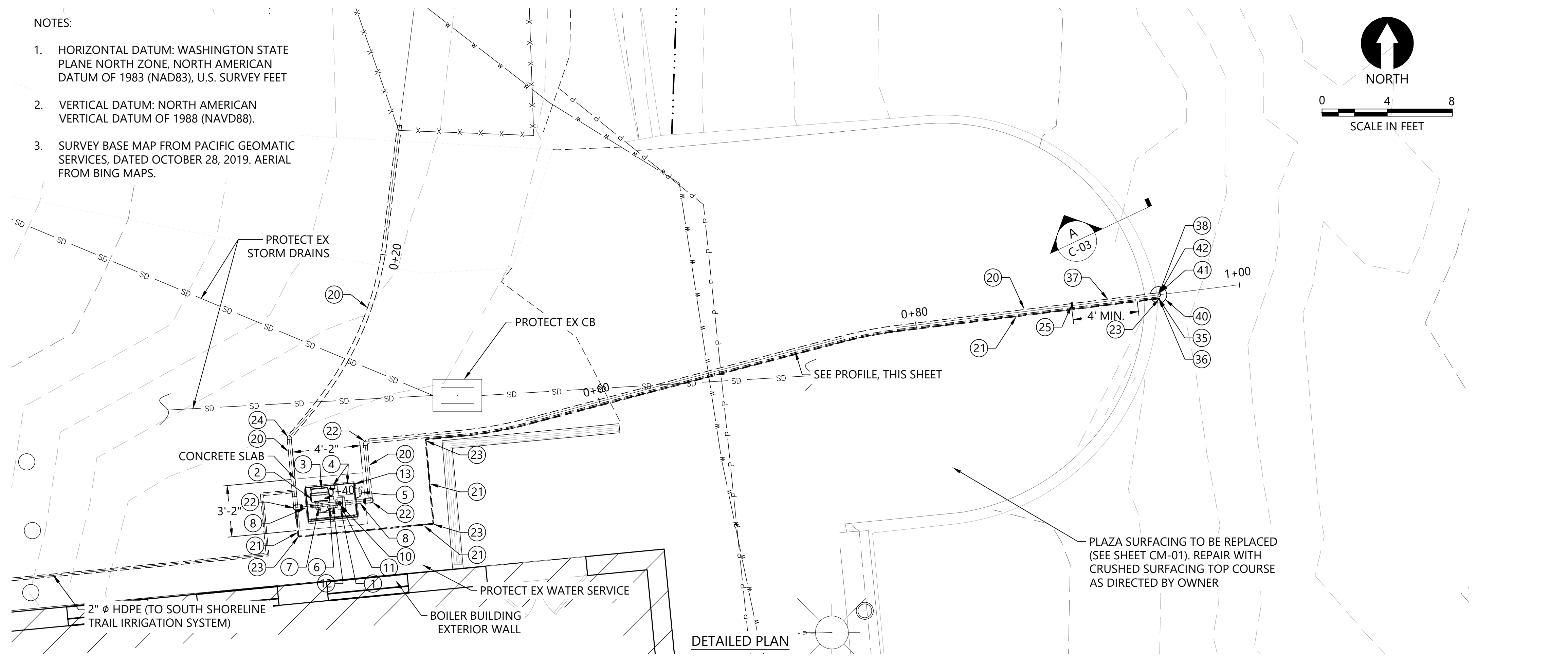
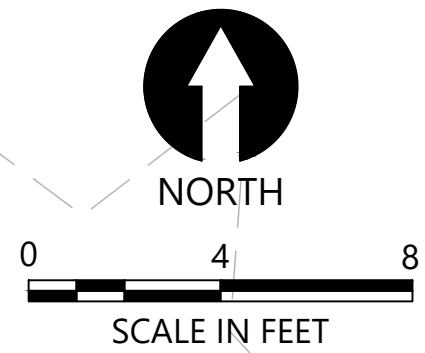
**INTAKE AND PUMPING FACILITIES -
OVERALL SITE PLAN**

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO. CU-010	
SHEET NO. 13	OF 52

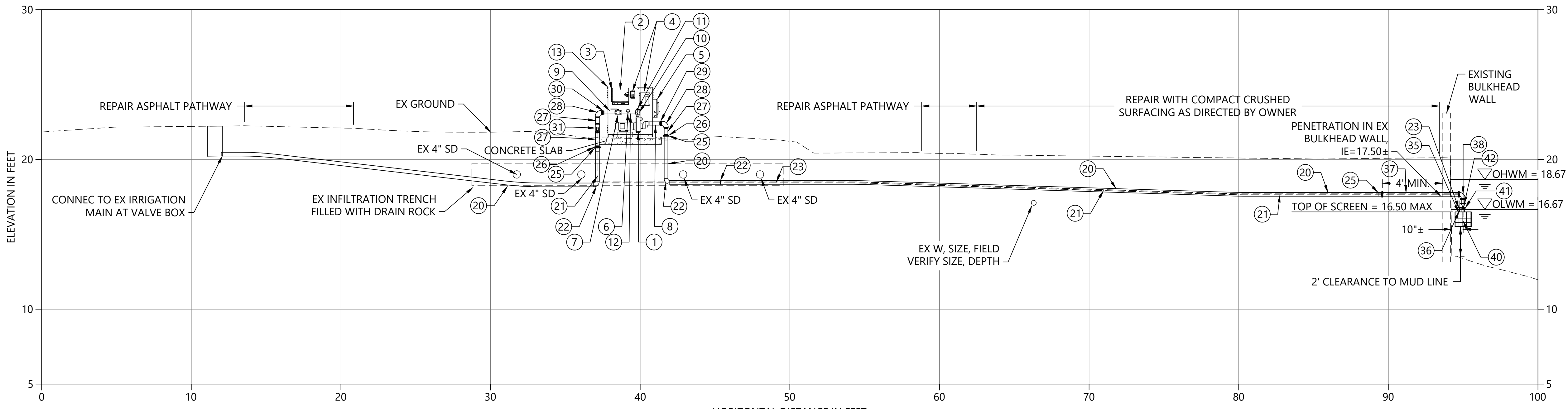
30% SUBMITTAL

NOTES:

- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83), U.S. SURVEY FEET
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- SURVEY BASE MAP FROM PACIFIC GEOMATIC SERVICES, DATED OCTOBER 28, 2019. AERIAL FROM BING MAPS.



DETAILED PLAN



NO VERTICAL EXAGGERATION

A PIPE PROFILE
SCALE: 1" = 4'

EQUIPMENT LEGEND	
PACKAGED PUMP SYSTEM (RAINBIRD CLP5VAAS OR APPROVED EQUAL):	
NUMBER	DESCRIPTION
1	"SELF-PRIMING, END-SUCTION, CENTRIFUGAL PUMP W/ VFD, 50 GPM @ 150 FEET TDH, ~ 5 HP"
2	IRRIGATION SYSTEM CONTROLLER
3	MOUNTING BRACKET FOR IRRIGATION SYSTEM CONTROLLER
4	208V 1-PHASE POWER DISCONNECT, PUMP START RELAY
5	MANUAL SWITCH (PROGRAMMABLE CONTROLLER OVERRIDE)
6	LIQUID-FILLED PRESSURE GAUGE, SST, DISCHARGE
7	2" ISOLATION VALVE
8	2-1/2" THREADED PIPE NIPPLE, SST, MNPT
9	2" THREADED NIPPLE, SST, MNPT
10	2" THREADED TEE, SST, FNPT
11	2" THREADED PLUG, SST, MNPT
12	2" THREADED NIPPLE, SST, MNPT, WITH WELDED OUTLET FOR PRESSURE GAGE AND AIR RELEASE VALVE
13	MARINE GRADE ALUMINUM DECK AND ENCLOSURE
SUCTION AND DISCHARGE PIPE AND FITTINGS:	
NUMBER	DESCRIPTION
20	3" HDPE PIPE, DR 17, BUTT-FUSED
21	3/4" HDPE PIPE, DR 11, BUTT-FUSED (BACKWASH LINE)
22	3" HDPE 90° BEND, DR 17, BUTT-FUSED
23	3/4" HDPE 90° BEND, DR11, BUTT-FUSED
24	3" HDPE 45° BEND, DR 17, BUTT-FUSED
25	3" HDPE FLANGE ADAPTER W/ DI BACKING RING
26	3" COMPANION FLANGE, SST, FNPT X FL
27	3" THREADED NIPPLE, SST, MNPT
28	3" 90° BEND, SST, FNPT
29	3" X 2-1/2" HEX BUSHING, SST, MNPT X FNPT
30	3" X 2" HEX BUSHING, SST, MNPT X FNPT
31	3" X 1" TEE, SST, FNPT
32	1" THREADED NIPPLE, SST, MNPT
33	1" 90° BEND, SST, FNPT
34	1" X 3/4" COUPLING, SST, MNPT X PACK JOINT
35	3/4" COUPLING, SST, MNPT X PACK JOINT
36	3/4" UNION, FNPT X FNPT
37	3" PIPE SPOOL, SST, FL X FL
38	3" 90° BEND, SST, FL X FL
FISH SCREEN AND ASSOCIATED FITTINGS:	
NUMBER	DESCRIPTION
40	CTC WATERWORKS SCS2, 100 GPM MAX., SELF-CLEANING INTAKE SCREEN, OR APPROVED EQUAL
41	3" COMPANION FL, SST
42	3" DOUBLE DOOR CHECK VALVE, WAFER STYLE

CAD USER: cwee PLOT DATE: Sep 13, 2021 12:21pm
PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island\Construction Plans\0159-PI-Intake-Overall-Site-Plan.dwg

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

NO.	DATE	BY	REVISION



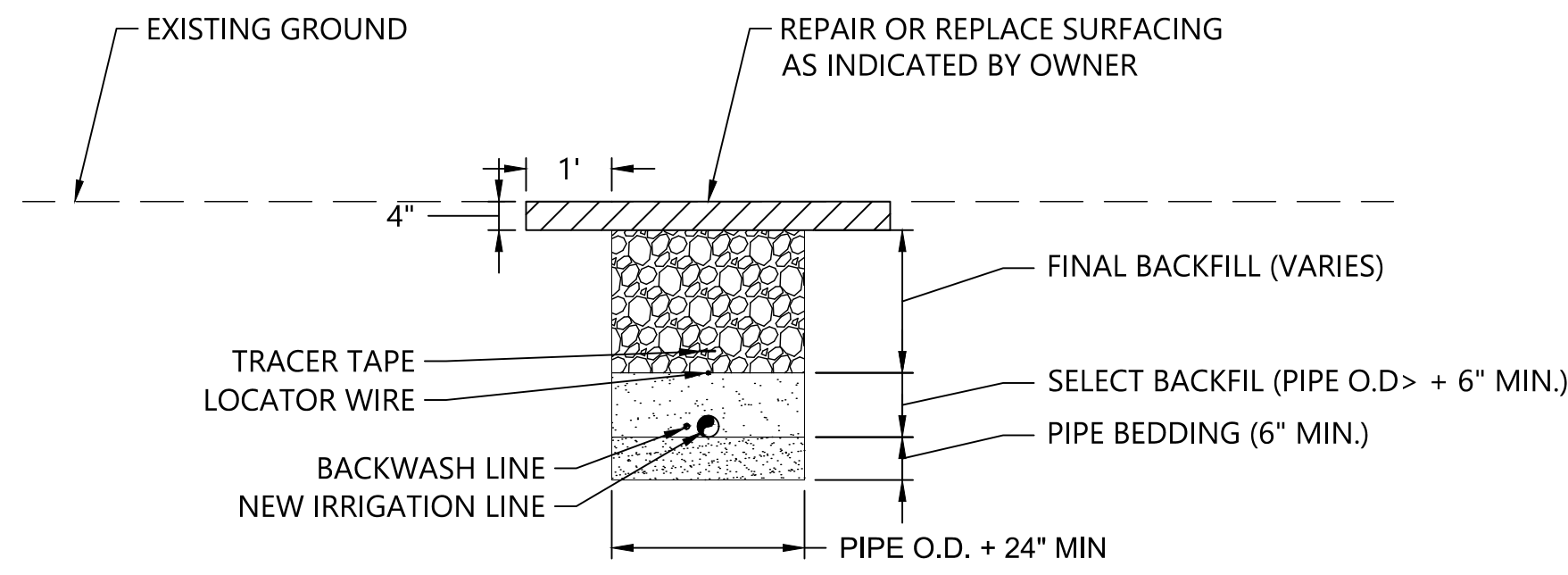
LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

INTAKE AND PUMPING FACILITIES - EQUIPMENT PLAN AND SECTIONS

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	CU-011
SHEET NO. 14	OF 52

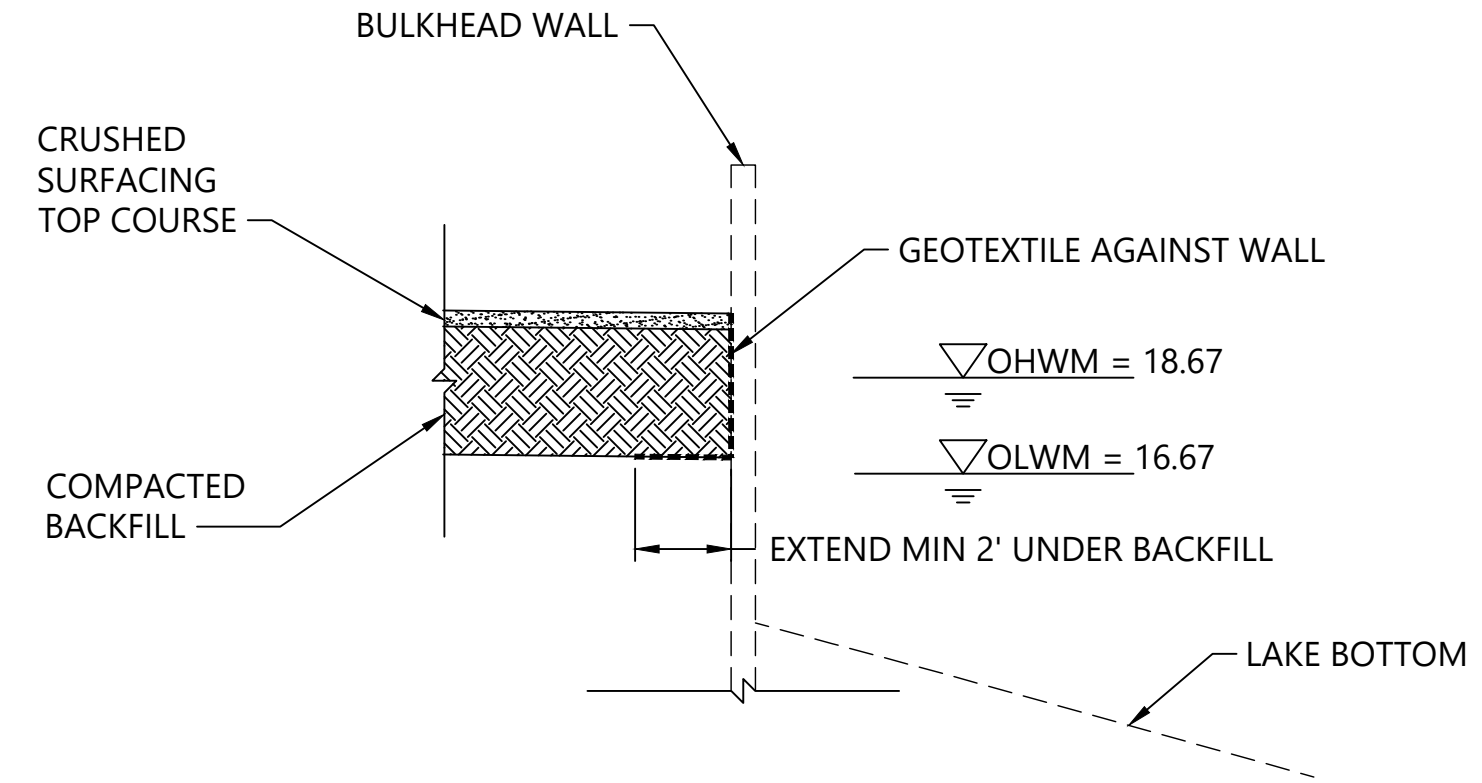
30% SUBMITTAL

CAD USER: cwee PLOT DATE: Sep 13, 2021-12:21pm
 PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PL-Intake-Overall-Site-Plan.dwg



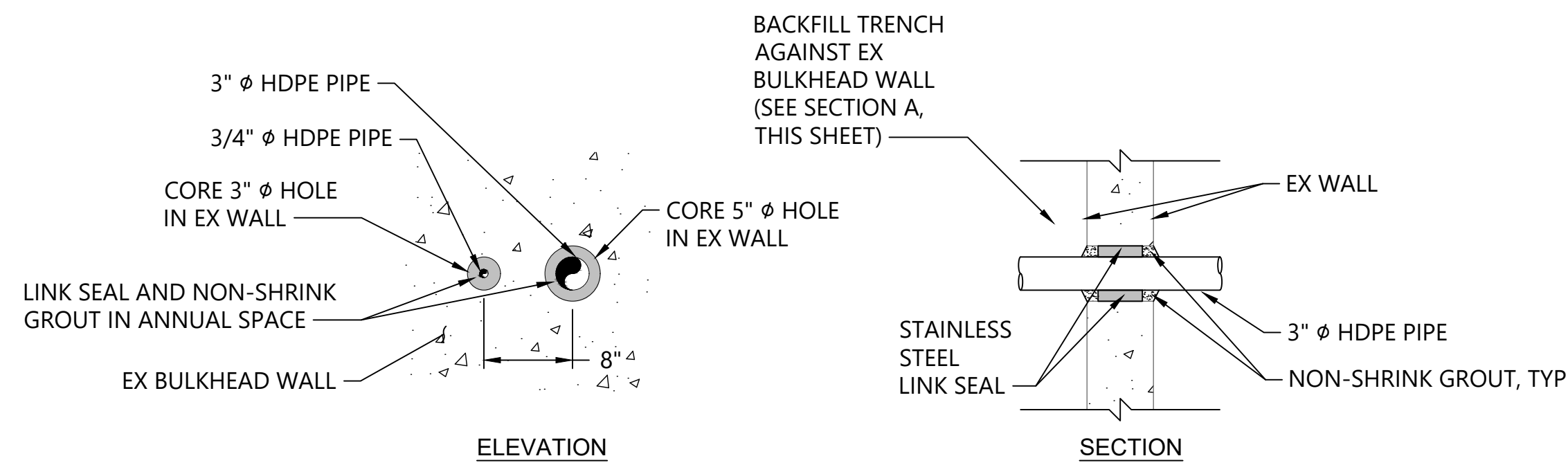
1 TYPICAL TRENCH SECTION
 ##### SCALE: NTS

- TYPICAL TRENCH SECTION NOTES:**
1. PIPE BEDDING - PIPE BEDDING SHALL BE AT LEAST 6 INCHES DEEP AND SHALL MEET THE REQUIREMENTS OF SECTION 9-03.12(3) OF THE STANDARD SPECIFICATIONS. IF EXCAVATED TRENCH BOTTOM IS UNSTABLE OR NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND BACKFILL WITH PIPE BEDDING. PLACE PIPE BEDDING IN MAXIMUM 6-INCH LIFTS AND COMPACT TO 90% OF MAXIMUM DRY DENSITY.
 2. SELECT BACKFILL - SELECT FILL SHALL ALSO MEET THE REQUIREMENTS OF SECTION 9-03.12(3) OF THE STANDARD SPECIFICATIONS. PLACE SELECT BACKFILL IN 6-INCH LIFTS TO A MINIMUM DEPTH OF 6 INCHES ABOVE THE CROWN OF THE PIPE AND COMPACT TO 90% OF MAXIMUM DRY DENSITY.
 3. FINAL BACKFILL - UNDER PATHWAYS AND OTHER HARD SURFACES, THE CONTRACTOR SHALL BACKFILL THE REMAINING PORTION OF THE TRENCH TO THE LINES AND GRADES SHOW WITH 5/8-INCH MINUS CRUSHED ROCK SURFACING COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
 4. TRACER TAPE AND LOCATOR WIRE - TRACER TAPE SHALL MEET THE REQUIREMENTS OF SECTION 9-15.18 OF THE STANDARD SPECIFICATIONS. LOCATOR WIRE SHALL BE 12 GA. COPPER MULTI-STRAND RHW, CERTIFIED FOR DIRECT BURIAL. THE TRACER TAPE AND LOCATOR WIRE SHALL BE INSTALLED ALONG THE ENTIRE PROFILE OF THE PIPE.
 5. DRAIN ROCK - WHERE THE PIPE IS INSTALLED ACROSS OR UNDER DRAIN ROCK PLACED AS PART OF AN INFILTRATION TRENCH ADJACENT TO THE BOILER BUILDING, THE CONTRACTOR SHALL BACKFILL THE TRENCH WITH DRAIN ROCK AND OTHER MATERIALS TO MATCH THE MATERIALS EXCAVATED TO PLACE THE IRRIGATION PIPE.



A BACKFILL AGAINST BULKHEAD WALL
 ##### SCALE: NTS

2 INTAKE SCREEN DETAIL
 ##### SCALE: NTS



3 BULKHEAD WALL PENETRATION DETAIL
 ##### SCALE: 1" = 1'

PLACEHOLDER - DETAIL TO BE ADDED AT 90% DESIGN

PLACEHOLDER - DETAIL TO BE ADDED AT 90% DESIGN

4 DRAIN VALVE DETAIL
 ##### SCALE: NTS

5 EXISTING IRRIGATION MAIN CONNECTION DETAIL
 ##### SCALE: NTS



1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

NO.	DATE	BY	REVISION

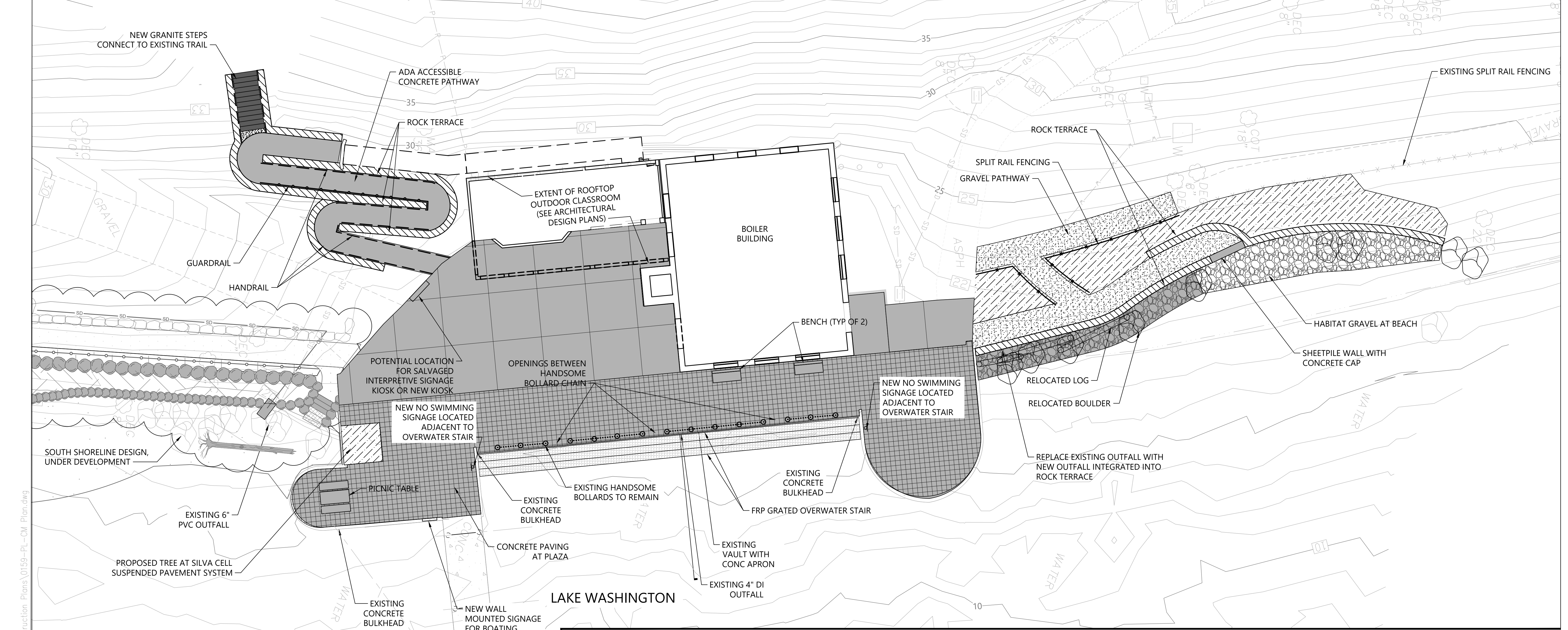


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

INTAKE AND PUMPING FACILITIES -
 DETAILS

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	CU-012
SHEET NO. 15	OF 52

30% SUBMITTAL



LAKE WASHINGTON

LEGEND:

EXISTING CONTOUR	ROCK TERRACE
EXISTING TREE TO RETAIN	GRATED WATER ACCESS STEPS
EXISTING BOULDER TO RETAIN	GUARDRAIL
PERVIOUS PAVERS	HANDRAIL
CONCRETE PAVING WITH SAWCUT JOINT SCORING	SPLIT RAIL FENCING
GRAVEL PATHWAY	PICNIC TABLE
EXISTING BOLLARD AND CHAIN TO REMAIN	BENCH
HABITAT GRAVEL	EXISTING LARGE WOODY DEBRIS RELOCATED
GRAVEL OVER COBBLE	
TOPSOIL	

NOTES:

- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NAD83 (2011), U.S. SURVEY FEET
- VERTICAL DATUM: NAVD88

SCALE IN FEET
0 10 20

NORTH

CAD USER: cwee PLOT DATE: Sep 13, 2021 -12:21pm
 PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PL-CM-Plan.dwg

kpff
 1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

ANCHOR QEA

NO.	DATE	BY	REVISION

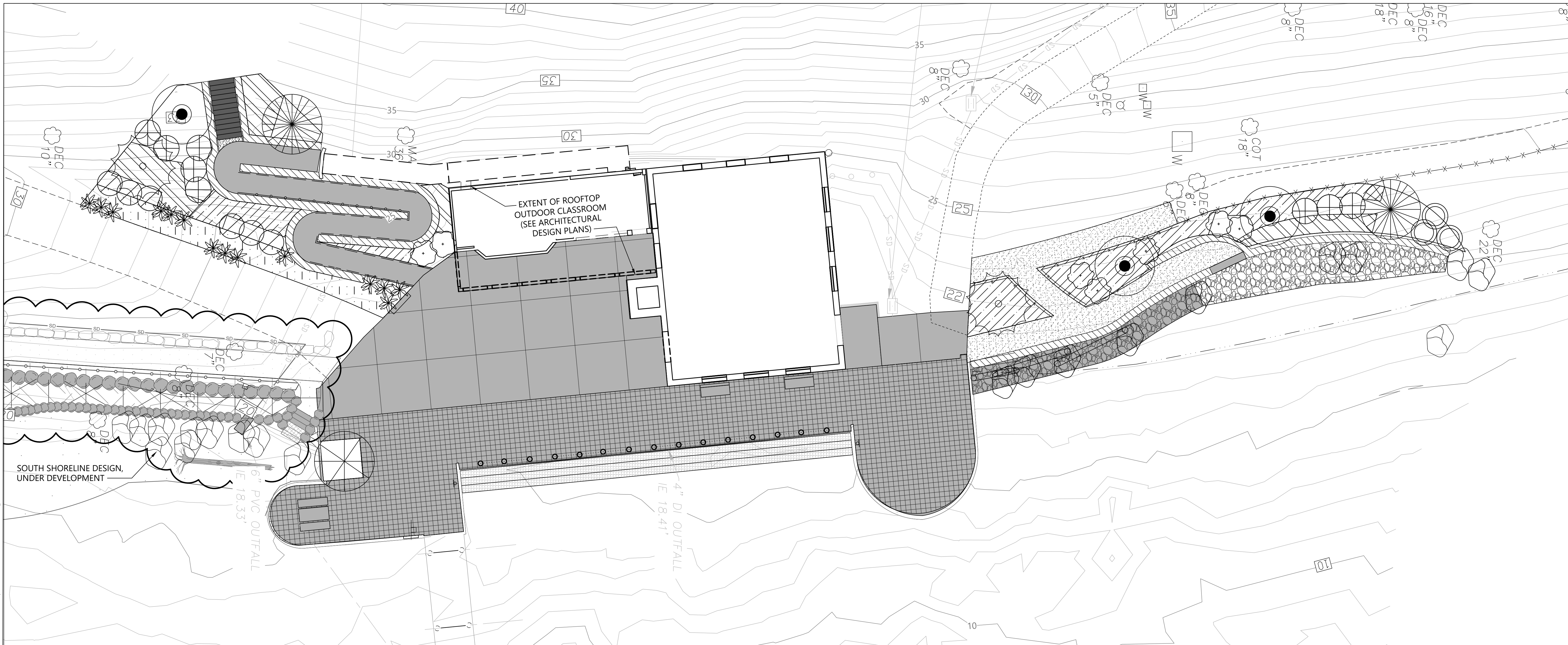


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

MATERIALS PLAN

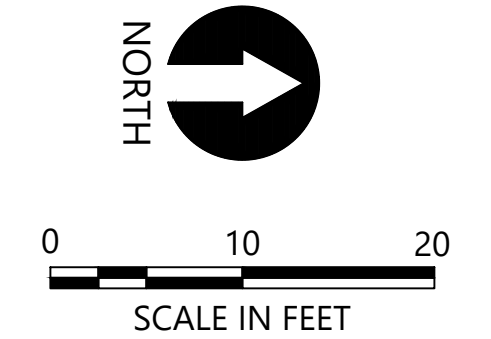
DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	CM-010
SHEET NO. 16	OF 52

30% SUBMITTAL



LEGEND:

- EXISTING CONTOUR
- EXISTING TREE TO RETAIN
- EXISTING LARGE WOODY DEBRIS RELOCATED
- PROPOSED TREE
- PROPOSED SHRUBS/GROUNDCOVERS
- RIPARIAN SHRUBS
- GROUNDCOVER
- STORMWATER CONVEYANCE PLANTING



- NOTES:**
- HORIZONTAL DATUM: WASHINGTON STATE PLANE NORTH ZONE, NAD83 (2011), U.S. SURVEY FEET
 - VERTICAL DATUM: NAVD88
 - SEE SHEET L02 FOR PLANT SCHEDULE

CAD USER: cwee PLOT DATE: Sep 13, 2021 12:21pm PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PL-PLANTING.dwg

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

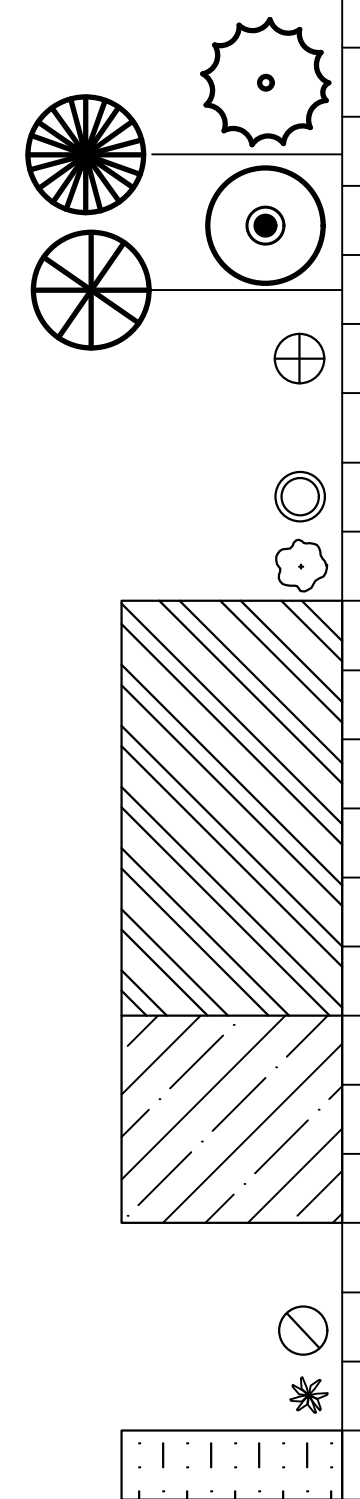
PLANTING PLAN

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	L-010
SHEET NO. 17	OF 52

30% SUBMITTAL

CAD USER: cwee PLOT DATE: Sep 13, 2021-12:21pm
 PATH: K:\Projects\0159-KPFF Consulting Engineers\Mercer Island Luther Burbank Dock Repair\Construction Plans\0159-PL-PLANTING.dwg

PLANT SCHEDULE					
COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	QUANTITY	NOTES
TREES					
GRAND FIR	ABIES GRANDIS	5-6' HT	AS SHOWN	2	
WESTERN RED CEDAR	THUJA PLICATA	5-6' HT	AS SHOWN	2	
BIG LEAF MAPLE	ACER MACROPHYLLUM	1.5" CAL	AS SHOWN	3	
DAWN REDWOOD	METASEQUOIA GLYPTOSTROBOIDES	2" CAL	AS SHOWN	1	
VINE MAPLE	ACER CIRCINATUM	5 GAL	AS SHOWN	8	
HIGH SHRUBS					
INDIAN PLUM	OEMLERIA CERASIFORMIS	2 GAL	AS SHOWN	3	
MOCK ORANGE	PHILADELPHUS LEWISII	2 GAL	AS SHOWN	7	
SHRUBS - RIPARIAN					
SWORD FERN	POLYSTICHUM MUNITUM	1 GAL	3' O.C.		
RED FLOWERING CURRANT	RIBES SANGUINEUM	1 GAL	3' O.C.		
NOOTKA ROSE	ROSA NUTKANA	1 GAL	3' O.C.		
THIMBLEBERRY	RUBUS PARVIFLORUS	1 GAL	3' O.C.		
SNOWBERRY	SYMPHORICARPOS ALBUS	1 GAL	3' O.C.		
GROUNDCOVERS					
SWORD FERN	POLYSTICHUM MUNITUM	1 GAL	3' O.C.		
OREGON GRAPE	MAHONIA NERVOSA	1 GAL	3' O.C.		
SHRUBS/GROUNDCOVERS - STORMWATER CONVEYANCE AREA					
RED OSIER DOGWOOD	CORNUS SERICEA	1 GAL	AS SHOWN	6	
LADY FERN	ATHYRIUM FELIX FEMINA	1 GAL	AS SHOWN	14	
SEED MIX - STORMWATER CONVEYANCE AREA					



NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

PLANT SCHEDULE

DRAWN: TG/CW	PROJECT NO.: 2000291
DESIGN: AS	SCALE: AS NOTED
CHECKED: PH	DATE: 09/08/2021
DRAWING NO.	L-011
SHEET NO. 18	OF 52

30% SUBMITTAL

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR FIELD CHANGES PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS (±) OR REF INDICATE UNVERIFIED DIMENSIONS AND ARE APPROXIMATE. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR EXCESSIVE VARIATIONS FROM INDICATED DIMENSIONS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS—DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS AND ARE TO BE FIELD-VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS, AS REQUIRED, AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. TEMPORARY SHORING AND BRACING SHALL NOT BE REMOVED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND MATERIALS HAVE ACHIEVED DESIGN STRENGTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED TO PERFORM THE WORK.
- ALL MATERIALS SHALL BE NEW, UNO.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE DRAWINGS, NOTES, AND MANUFACTURER RECOMMENDATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THESE DOCUMENTS, THE ENGINEER SHALL BE CONTACTED FOR DIRECTION.
- THE CONTRACTOR SHALL CAREFULLY DECONSTRUCT EXISTING ELEMENTS AS NECESSARY TO ACCESS THE WORK AREAS. ALL DECONSTRUCTED ELEMENTS SHALL BE RECONSTRUCTED TO MATCH THE ORIGINAL APPEARANCE AND MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

CODES AND STANDARDS:

- ALL DESIGN, METHODS AND MATERIALS SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE 2018.
- WOOD WORK, SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION (NDS) 2018 EDITION.
- REINFORCED CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION AND ERECTION SHALL CONFORM TO THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" 2016.

DESIGN CRITERIA

DEAD LOADS:
SELF WEIGHT OF ALL MATERIALS.

SEISMIC LOADS:
THERE IS NO CHANGE TO THE EXISTING LATERAL FORCE RESISTING SYSTEM

TIMBER

- EACH PIECE OF LUMBER SHALL BEAR A STAMP INDICATING A GRADE MARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN LUMBER STANDARD COMMITTEE (ALSC).
- DIMENSION LUMBER SHALL BE DOUG-FIR NO 2 OR BTR.

PRESERVATIVE TREATED WOOD:

- PRESERVATIVE PRESSURE TREATED (PPT) SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF AWPA STANDARDS. ALL TREATMENT SHALL BE DONE BY A COMPANY SPECIALIZING IN THE TREATMENT OF WOOD PRODUCTS. ALL CUTTING AND BORING AFTER PRESERVATIVE TREATMENT SHALL BE FIELD TREATED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL TREATED WOOD ON THE PRODUCT SHALL UTILIZE THE SAME PRESERVATIVE AND GIVE A UNIFORM APPEARANCE. A SAMPLE OF EACH SIZE OF WOOD TO BE USED IN THE FINAL TREATED AND FINISHED CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- TIMBER SHALL BE TREATED IN ACCORDANCE WITH THE AWPA USE CATEGORY UC4B.
- CUTS AND DRILLED HOLES MADE IN THE FIELD SHALL BE TREATED WITH COPPER NAPHTHENATE-BASED SOLUTION IN ACCORDANCE WITH AWPA STANDARD M4. THE PRESERVATIVES CONCENTRATION SHALL CONTAIN NO LESS THAN 2 PERCENT COPPER METAL. FIELD TREATMENT SHALL BE BY BRUSHING, DIPPING OR SOAKING AND SHALL BE DONE IN A MANNER THAT THE PRESERVATIVE DOES NOT DRIP OR SPILL ON THE GROUND OR IN THE WATER.

HARDWARE

- ALL ANCHOR RODS AND CONNECTED NUTS AND WASHERS SHALL BE HOT-DIP GALVANIZED CONFORMING TO THE FOLLOWING ASTM STANDARDS AS APPLICABLE: ASTM A653, ASTM A123, AND ASIA A153.
- ALL HARDWARE (HANGERS, NAILS, HEX BOLTS, CARRIAGE BOLTS, CONNECTORS, WASHERS, SCREWS, LAG SCREWS, ACCESSORIES, ETC.) SHALL BE HOT DIPPED GALVANIZED TO GRADE G185 CONFORMING TO ASTM F593.
- WOOD CONNECTOR HARDWARE SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1. LAG SCREWS SHALL MATCH THE DIAMETER INDICATED ON PLAN UNLESS NOTED OTHERWISE. THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK. THE LEAD HOLE FOR THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 60% TO 75% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION. THE THREADED PORTION OF THE LAG SCREW SHALL BE INSERTED IN ITS LEAD HOLE BY TURNING WITH A HANDHELD WRENCH OR RATCHET DRIVE. LUBRICANT CAN BE USED ON THE LAG SCREW OR IN THE LEAD HOLES TO FACILITATE INSERTION AND TO PREVENT DAMAGE TO THE LAG SCREW. SEE PRESERVATIVE PRESSURE TREATED WOOD REQUIREMENTS FOR FASTENER REQUIREMENTS.
- ALL BOLT HOLES IN WOOD MEMBERS SHALL BE MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE PLATE WASHERS WHERE NUTS AND/OR BOLT HEADS BEAR ON WOOD. CUT WASHERS SHALL MEASURE 2 1/4"x3/16" THICK.
- WOOD CONNECTOR HARDWARE SHALL HAVE ICC APPROVAL AND BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, OR PRE-APPROVED EQUAL. PROVIDE MAXIMUM SIZE AND QUANTITY OF NAILS OR BOLTS PER MANUFACTURER, EXCEPT AS NOTED OTHERWISE. PROVIDE PRE-DRILLED HOLES TO PREVENT SPLITTING OF MEMBERS WHERE APPLICABLE.
- CONTRACTOR SHALL USE A SMALL HAND NET IMMEDIATELY AFTER EACH HOLE IS DRILLED TO RETRIEVE AS MANY CREOSOTE DRILL SHAVINGS AS POSSIBLE FROM THE WATER SURFACE AND BELOW THE WATER SURFACE FOR UPLAND DISPOSAL. DOCUMENT THE TOTAL QUANTITY OF SHAVINGS COLLECTED IN THIS MANNER FOR THIS PROJECT (I.E. VIA PHOTOS, ESTIMATES) AND CONVEY TO DNR.

REINFORCED CONCRETE

- REINFORCING STEEL
 - ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A 615 – GRADE 60, EXCEPT AS NOTED.
 - REINFORCING SHALL BE SUPPORTED AS SPECIFIED BY THE PROJECT SPECIFICATIONS AND THE CRSI "MANUAL OF STANDARD PRACTICE," (MSP). REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH "ACI DETAILING MANUAL," ACI SP-66.
 - ALL HORIZONTAL REINFORCEMENT AT DISCONTINUITIES AND CORNERS SHALL END WITH STANDARD 90° HOOKS IN ACCORDANCE WITH ACI SP-66, UNLESS SHOWN OTHERWISE.
- REPAIR CONCRETE SHALL BE BY FIVE STAR PRODUCTS, INC. OR APPROVED EQUAL. ACCEPTABLE PRODUCTS BY FIVE STAR INCLUDE STRUCTURAL CONCRETE, STRUCTURAL CONCRETE ES, AND STRUCTURAL CONCRETE ES 60. CONCRETE SHALL BE EXTENDED WITH AGGREGATE AS REQUIRED BY THE MANUFACTURE WITH 50% WASHED 3/8" PEA GRAVEL BY WEIGHT. CONCRETE SHALL BE PREPARED, PLACED, AND CURED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS.
- ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 IN.
- CONCRETE SAW CUTTING AND CHIPPING
 - EXISTING REBAR SHALL NOT BE DAMAGED OR CUT DURING CONCRETE DEMOLITION.
 - CONTRACTOR SHALL PROVIDE TEMPORARY STRUCTURES DURING DEMOLITION TO PREVENT ANY MATERIAL FROM ENTERING THE WATER.
- CONCRETE BONDING AGENT SHALL CONFORM TO ASTM C1059 AND BE APPLIED IN STRICT ADHERENCE WITH MANUFACTURERS RECOMMENDATIONS. THE BONDING AGENT SHALL BE APPLIED PRIOR TO PLACING FRESH CONCRETE.
- CONCRETE CURING
 - CONCRETE SHALL BE MAINTAINED ABOVE 40° F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST SEVEN DAYS (168 HOURS) AFTER PLACEMENT.
 - WHERE PERMITTED, APPLY AN ASTM C 309, TYPE 1, CLASS A OR B CURING COMPOUND TO THE FRESH CONCRETE IMMEDIATELY AFTER FINISHING THE CONCRETE AND AS SOON AS THE VISIBLE BLEED WATER HAS EVAPORATED OR AS DIRECTED BY THE ENGINEER. APPLY ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS. THE RATE OF COVERAGE SHALL BE AT LEAST ONE GALLON PER 100 SQUARE FEET AND BE SUFFICIENT TO EFFECTIVELY OBSCURE THE ORIGINAL COLOR OF THE CONCRETE.
 - APPLY THE CURING COMPOUND IN TWO APPLICATIONS TO ENSURE FULL COVERAGE OF THE CONCRETE, WITH THE SECOND COAT APPLIED IN A DIRECTION PERPENDICULAR TO THAT OF THE FIRST APPLICATION. DO NOT APPLY CURING COMPOUND TO CONSTRUCTION JOINT SURFACES, REINFORCING STEEL, OR EMBEDMENTS IN THE CONCRETE. CURING COMPOUND ON CONSTRUCTION JOINTS, REINFORCING STEEL, OR EMBEDMENTS SHALL BE COMPLETELY REMOVED BEFORE THE FOLLOWING CONCRETE POUR.
 - SUPPLY BACKUP SPRAY EQUIPMENT AND SUFFICIENT WORKERS TO PROPERLY APPLY THE CURING COMPOUND.
 - WITHIN 12 HOURS FOLLOWING THE APPLICATION OF THE CURING COMPOUND, THE TOP SURFACES SHALL BE COVERED WITH COTTON MATS, AN APPROVED VAPOR PROOF CURING PAPER, OR WHITE POLYETHYLENE SHEETING. IF THE COVERING USED IS COTTON MATS, IT SHALL BE KEPT CONTINUOUSLY WET DAY AND NIGHT FOR THE PERIOD OF TIME SPECIFIED ABOVE, AND IF CURING PAPER OR PLASTIC FILM IS USED, IT SHALL BE LEFT IN PLACE FOR THE SAME LENGTH OF TIME.
 - CURING PAPER AND WHITE POLYETHYLENE SHEETING SHALL BE KEPT TIGHTLY IN PLACE BY TAPING AND WEIGHTING JOINTS, OR OTHER METHODS FOR THE PRESCRIBED LENGTH OF TIME. MEMBRANE CURING COMPOUNDS WHICH LEAVE A WAXY FILM ON THE CONCRETE SHALL NOT BE USED. AFTER THE CONCRETE HAS CURED FOR THE REQUIRED TIME, THE TOP SURFACES SHALL BE SWEEP CLEAN.
 - ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE AND ACCELERATED DRYING. NO FIRE OR EXCESSIVE HEAT SHALL BE PERMITTED NEAR THE CONCRETE AT ANY TIME.

STRUCTURAL DRAWING ABBREVIATIONS

BLDG	BUILDING
CONC	CONCRETE
&	AND
MB	MALLEABLE BOLT
PT	PRESERVATIVE TREATED
EX, EXIST	EXISTING
VIF	VERIFY IN FIELD
W/	WITH
OPP	OPPOSITE
SIM	SIMILAR
TYP	TYPICAL
⊙	AT
REINF	REINFORCEMENT
EA	EACH
OC	ON CENTER
BTM	BOTTOM
CLR	CLEAR
CL OR C	CENTERLINE
∅, DIA	DIAMETER
WP	WORK POINT

CAD USER: tauniep PLOT DATE: Sep 14, 2021-03:31pm
PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design (v2019)\30% Submittal\LBPR_S-001.dwg



NO.	DATE	BY	REVISION

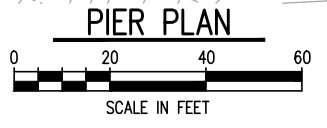
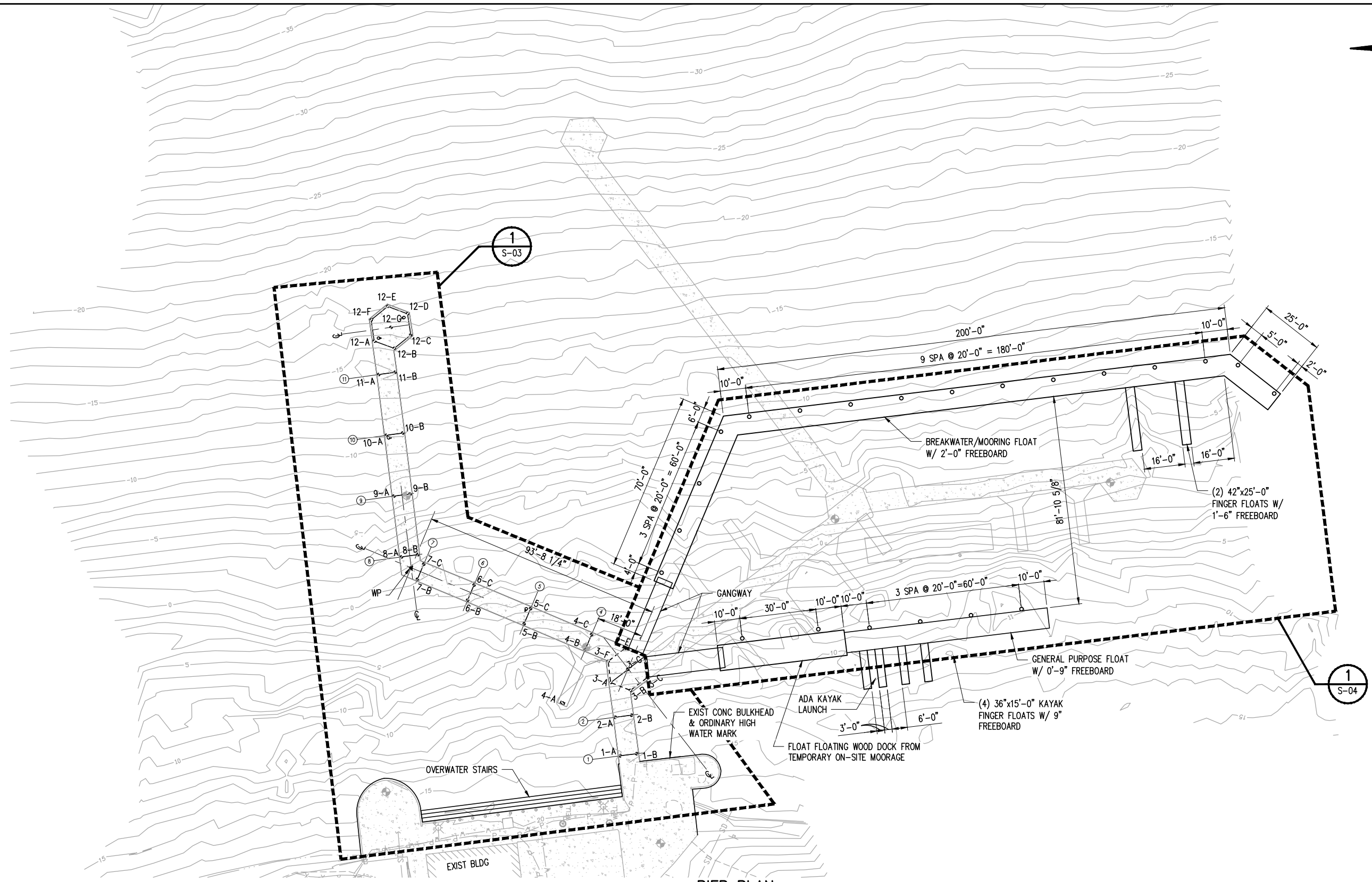


LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

STRUCTURAL NOTES

DRAWN: TP	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	S-001
SHEET NO.	## OF ##

30% SUBMITTAL



NOTES:
 PROPOSED TOTAL OVERWATER COVERAGE: ~7000 SQ. FT.

CAD USER: tauniep PLOT DATE: Sep 14, 2021-05:12pm
 PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design\30% Submittal\LBPR_S-010.dwg



NO.	DATE	BY	REVISION

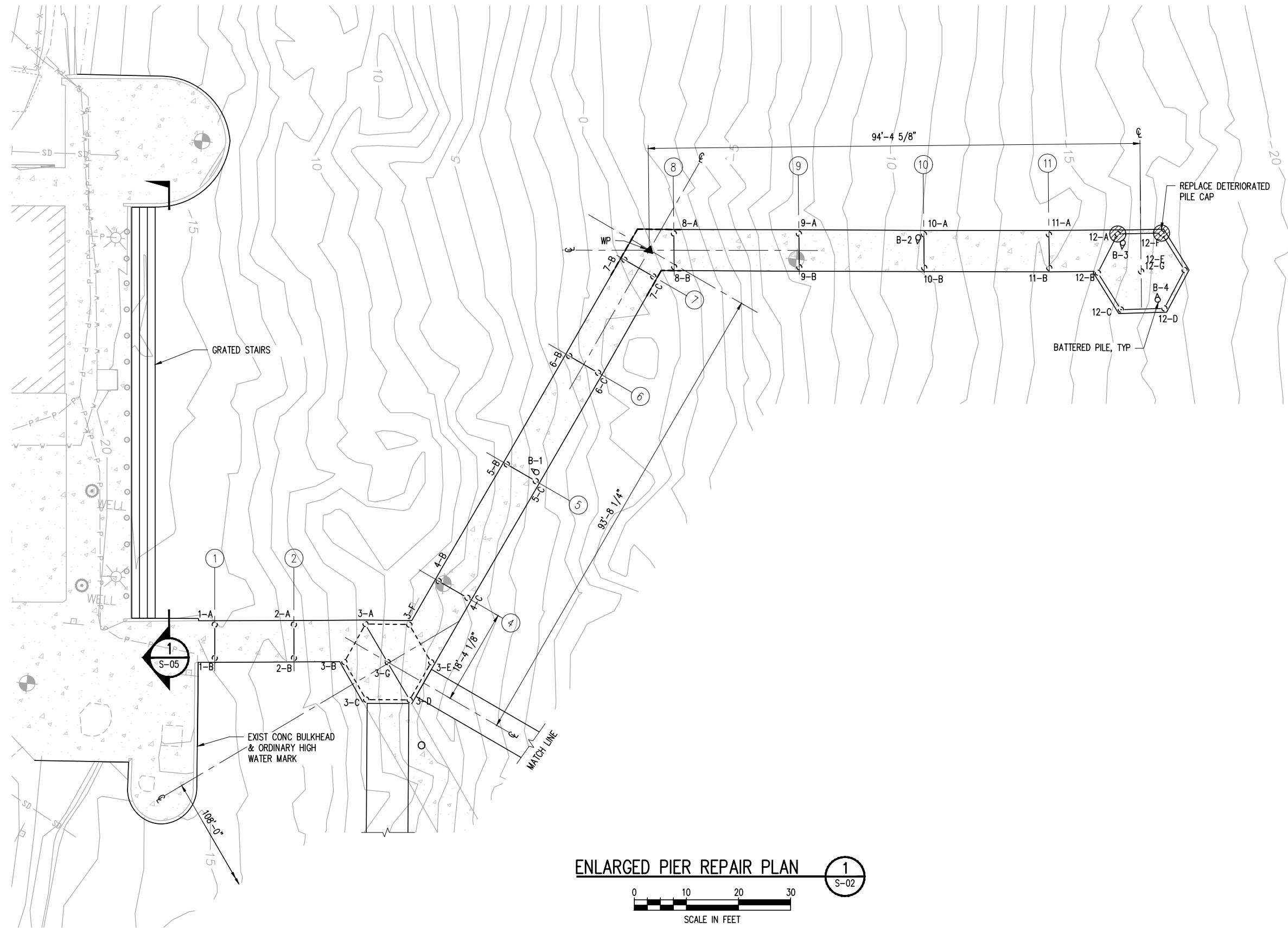


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

PIER IMPROVEMENT PLAN

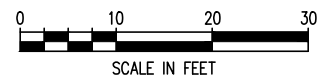
DRAWN: SQ	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	S-010
SHEET NO.	## OF ##

30% SUBMITTAL



ENLARGED PIER REPAIR PLAN

1
S-02



CAD USER: tauniep PLOT DATE: Sep 14, 2021-05:09pm
 PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design (v2019)\30% Submittal\LBPR_S-011.dwg



NO.	DATE	BY	REVISION

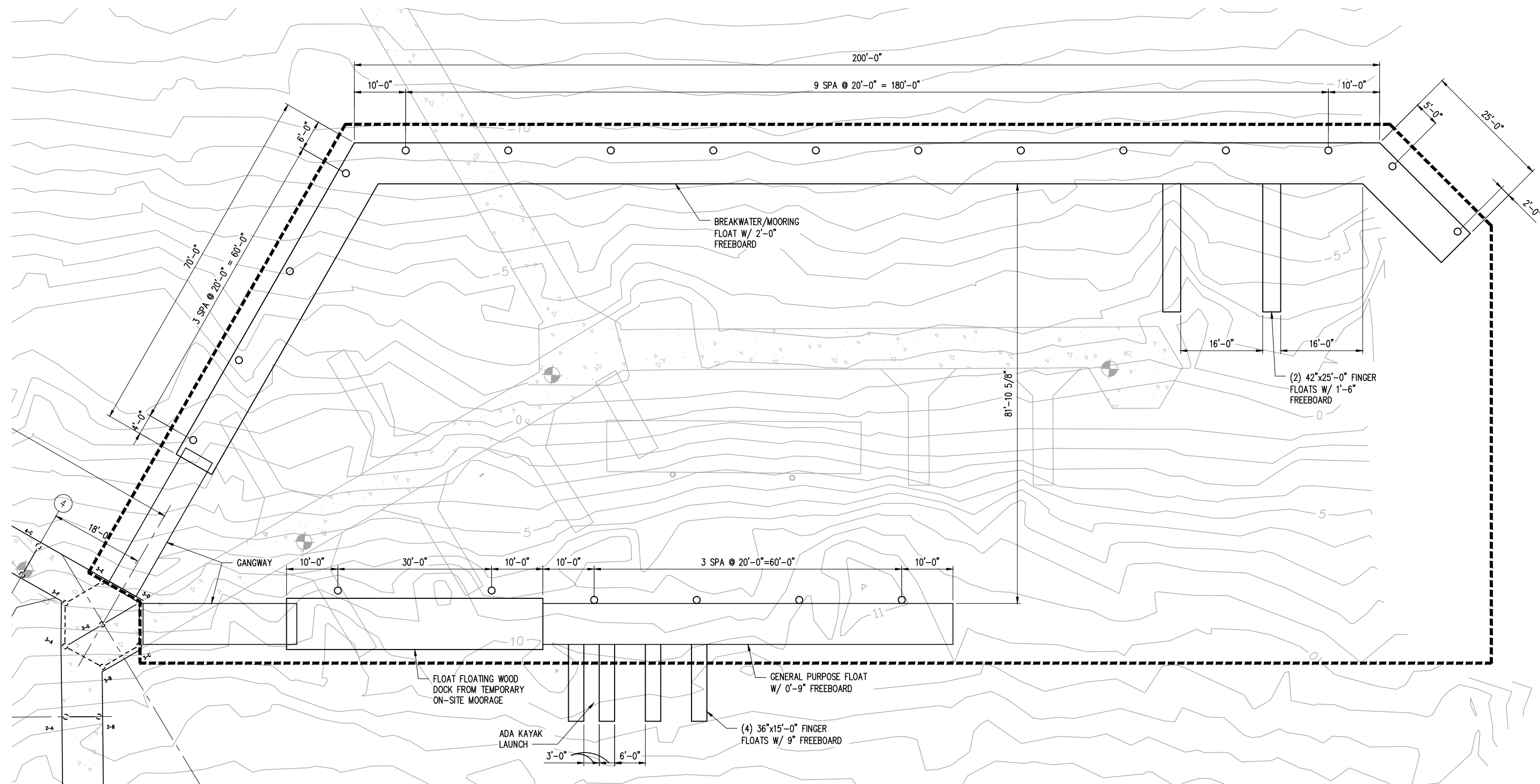


LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND

ENLARGED PIER REPAIR PLAN

DRAWN: SQ	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	S-011
SHEET NO.	## OF ##

30% SUBMITTAL



NEW FLOATS PLAN 1
 S-02
 0 10 20 30
 SCALE IN FEET

CAD USER: touniep PLOT DATE: Sep 14, 2021-05:03pm
 PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design (v2019)\30% Submittal\LBPR_S-012.dwg



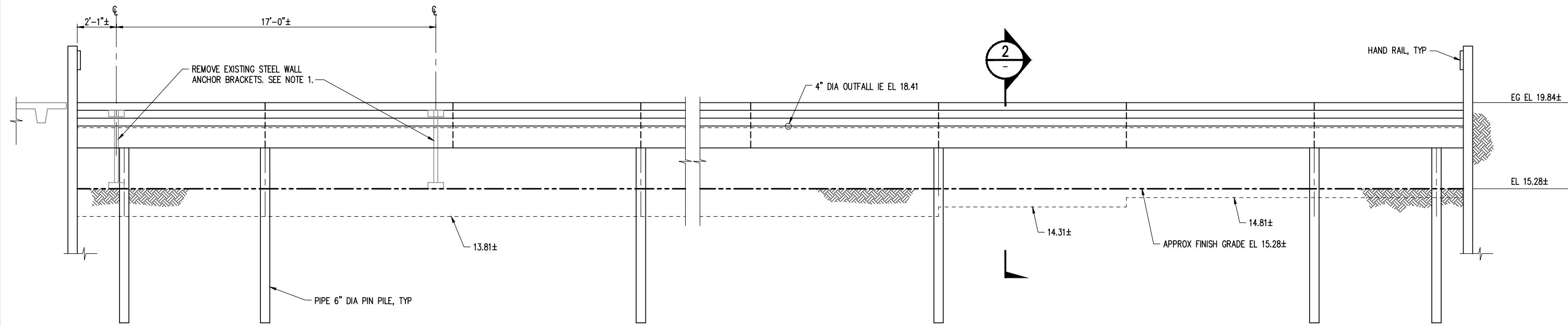
NO.	DATE	BY	REVISION



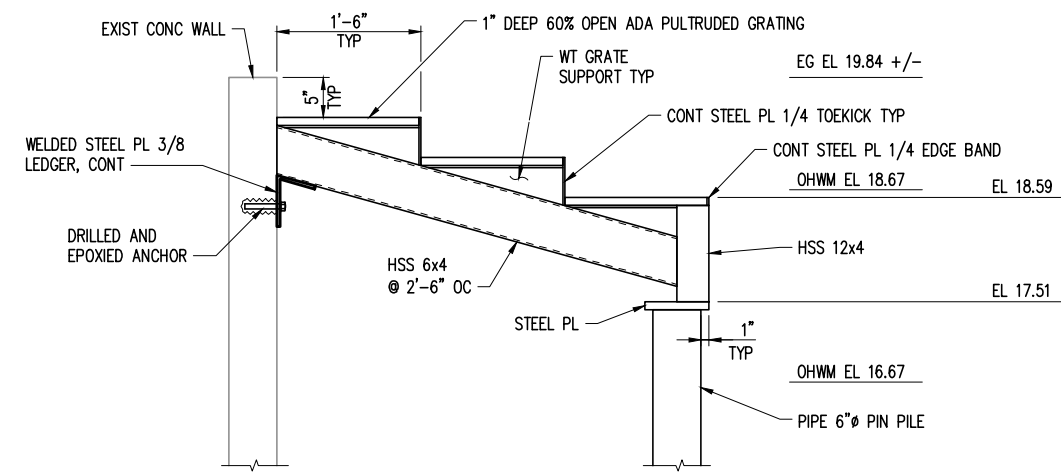
LUTHER BURBANK PARK PIER REPAIR
 CITY OF MERCER ISLAND
 NEW FLOATS PLAN

DRAWN: SQ	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	S-012
SHEET NO.	## OF ##

30% SUBMITTAL



EAST ELEVATION 1
SCALE: 3/8" = 1'-0" S-03



SECTION 2
NTS

NOTES:

- BRACKETS ARE ATTACHED TO WALL W/ (3) 5/8" STEEL BOLTS. REMOVE BRACKET AND CUT AND GRIND BOLTS FLUSH TO WALL SURFACE.

CAD USER: touniep PLOT DATE: Sep 14, 2021-02:47pm
PATH: V:\2000291 (Luther Burbank Pier Repairs)\02_Design\30% Submittal\LBPR_S-020.dwg



NO.	DATE	BY	REVISION



LUTHER BURBANK PARK PIER REPAIR
CITY OF MERCER ISLAND

OVERWATER STAIR DETAILS

DRAWN: SQ	PROJECT NO.: 2000291
DESIGN: IDF	SCALE: AS SHOWN
CHECKED: AKB	DATE: 09/01/2021
DRAWING NO.	S-020
SHEET NO.	## OF ##

30% SUBMITTAL

PROPERTY & LAND USE INFORMATION

LOCATION: LUTHER BURBANK PARK
2040 8TH AVENUE

PROPERTY OWNER: CITY OF MERCER ISLAND

LEGAL DESCRIPTION: 6L 6 LESS THE S 30 FT DEEDED TO KC FOR RD UNDER AFD FILE NO 1042150

APN: 0624059104
ZONING: R-15
PARCEL SIZE: 995,782 SF (22.86 ACRES)

LAND USE INFORMATION

19.02.010 USES PERMITTED IN SINGLE-FAMILY ZONE R-15
A.6 - PUBLIC PARKS PERMITTED
A. ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES SHALL BE REASONABLY PROVIDED.
B. OUTDOOR LIGHTING SHALL BE LOCATED TO MINIMIZE GLARE UPON ADJUTING PROPERTY AND STREETS.
C. MAJOR STRUCTURES, BALLFIELDS AND SPORT COURTS SHALL BE LOCATED AT LEAST 20 FEET FROM ANY ADJUTING PROPERTY.
D. IF A PERMIT IS REQUIRED FOR A PROPOSED IMPROVEMENT, A PLOT, LANDSCAPE AND BUILDING PLAN SHOWING COMPLIANCE WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY DEVELOPMENT SERVICES GROUP (DSG) FOR ITS APPROVAL.

CURRENT USE IS "STORAGE ACCESSORY TO PARK"

19.07.110 SHORELINE MASTER PROGRAM
B.1 - LEGAL NONCONFORMING USES & STRUCTURES MAY CONTINUE
C.1 - SITE IS IN URBAN PARK ENVIRONMENT
GOVERNMENT SERVICES, PUBLIC FACILITIES, PARKS & OPEN SPACE PERMITTED (TABLE A)
E.1 - SHORELAND DEVELOPMENT STANDARDS LANDWARD OF OHWM:
SETBACK FOR ALL STRUCTURES & PARKING: 25' FROM OHWM
MAXIMUM IMPERVIOUS SURFACE COVERAGE: 10% BETWEEN 0' & 25' FROM OHWM
30% BETWEEN 25' & 50' FROM OHWM
ORDINARY HIGH WATER MARK IS 10'-6"

BUILDING CODE INFORMATION

APPLICABLE CODE: 2018 INTERNATIONAL BUILDING CODE W/
W/ WASHINGTON STATE AMMENDMENTS
2018 INTERNATIONAL EXISTING BUILDING CODE W/
W/ WASHINGTON STATE AMMENDMENTS

CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IIB, NON-SPRINKLED
CHAPTER 6 NONCOMBUSTIBLE CONSTRUCTION
PRIMARY FRAME: NO RATING REQUIRED
BEARING WALLS: NO RATING REQUIRED
FLOOR STRUCTURE: NO RATING REQUIRED
ROOF STRUCTURE: NO RATING REQUIRED

OCCUPANCY TYPE: CURRENT OCCUPANCY IS S-1 STORAGE
CHAPTER 3 NEW OUTDOOR CLASSROOM OCCUPANCY: B
SPACE USED FOR ASSEMBLY WITH OCCUPANT LOAD LESS THAN 50

HEIGHTS & AREAS: EXISTING BUILDING HEIGHTS & AREAS:
CHAPTER 5 BOILER BUILDING: (1) STORY, 24' HIGH, 1600 SF
CONCESSIONS BUILDING: (1) STORY, 8'-2" HIGH, 835 SF
W/ NEW OUTDOOR CLASSROOM: (2) STORIES, 12'-8" HIGH, 1670 SF
ALLOWABLE HEIGHTS & AREAS
TYPE IIB CONSTRUCTION, NON-SPRINKLED, B&S OCCUPANCY:
(2) STORIES, 55' HIGH, 17,500 SF PER STORY
NON-SEPARATED OCCUPANCIES PERMITTED PER IBC SECTION 508.3

OCCUPANT LOADS: CURRENT OCCUPANT LOAD (STORAGE): 1600 SF/300 = (6) OCCUPANTS
TABLE 1004.1.2 (1) EXIT REQUIRED
NO CHANGE TO EXISTING BOILER BUILDING
NEW OUTDOOR CLASSROOM: 835 SF/20 = (42) OCCUPANTS
(1) EXIT REQUIRED

ACCESSIBILITY: BATHROOMS & CONCESSION TO BE REMODELED FOR ACCESSIBILITY
CHAPTER II, ANSI A117.1 ACCESSIBLE ROUTE FROM PARKING AREA TO BUILDING SITE TO BE PROVIDED BY PATH NORTH OF BUILDING SITE
ACCESSIBLE ROUTE TO BE PROVIDED FROM GRADE AT BATHROOMS TO NEW OUTDOOR CLASSROOM

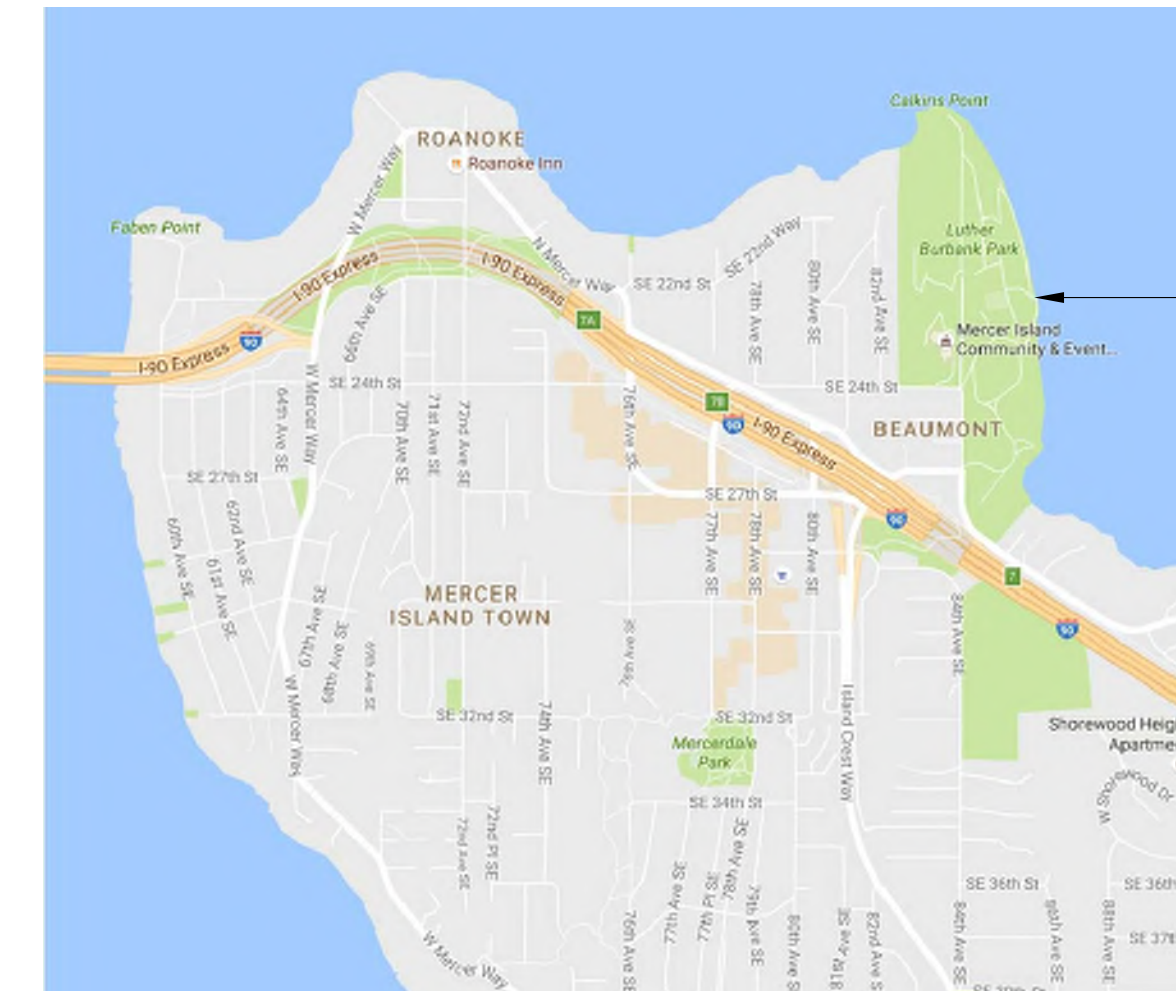
OCCUPANCY CHANGE: IEBG REQUIRES THE REMEDY OF UNSAFE CONDITIONS PRIOR TO CHANGE OF USE OR OCCUPANCY OF HISTORIC BUILDING.
SEISMIC MITIGATION INCLUDING REINFORCING THE TOWER, SECURING MASONRY VENEER, AND SHORING LATERAL FORCES WILL BE PART OF PROJECT FUNDED AND PERFORMED SEPARATELY FROM THIS PROJECT.
THE SEISMIC MITIGATION WILL BE EXISTING CONDITIONS WHEN THIS PROJECT IS BUILT.

DRAWING INDEX

- TI PROJECT INFORMATION
- A-010 SITE PLAN
- AD-021 SELECTIVE DEMOLITION FIRST FLOOR PLAN
- AD-022 SELECTIVE DEMOLITION FIRST FLOOR RCP
- AD-023 SELECTIVE DEMOLITION SECOND FLOOR PLAN
- AD-031 SELECTIVE DEMOLITION BUILDING SECTION
- AD-041 SELECTIVE DEMOLITION BUILDING ELEVATION
- AD-042 SELECTIVE DEMOLITION BUILDING ELEVATION
- A-021 FIRST FLOOR PLAN
- A-022 FIRST FLOOR RCP
- A-023 2ND FLOOR PLAN
- A-024 2ND FLOOR RCP
- A-031 BUILDING SECTIONS
- A-041 BUILDING ELEVATIONS
- A-042 BUILDING ELEVATIONS

- P-001 PLUMBING LEGEND, ABBREVIATIONS & GENERAL NOTES
- P-002 PLUMBING SCHEDULES
- PD-011 PLUMBING FIRST FLOOR DEMO PLAN
- PD-012 PLUMBING SECOND FLOOR DEMO PLAN
- P-010 PLUMBING UNDERGROUND PLAN
- P-011 PLUMBING FIRST FLOOR PLAN
- P-012 PLUMBING THIRD FLOOR PLAN

- E-001 LEGEND - ELECTRICAL
- E-010 SITE PLAN - ELECTRICAL
- ED-011 SELECTIVE DEMO FIRST FLOOR PLAN - LIGHTING
- ED-012 SELECTIVE DEMO FIRST FLOOR PLAN - POWER
- E-021 FIRST FLOOR PLAN - LIGHTING
- E-022 SECOND FLOOR PLAN - LIGHTING
- E-031 FIRST FLOOR PLAN - ELECTRICAL
- E-032 2ND FLOOR PLAN - ELECTRICAL



LOCATION PLAN
NO SCALE

PROJECT DESCRIPTION

- * NEW SECOND FLOOR OUTDOOR CLASSROOM ON (E) ROOF
- * NEW DECK/RAMP ACCESS TO OUTDOOR CLASSROOM
- * RENOVATION OF (E) TOILET ROOMS
- * RENOVATION OF (E) CONCESSION AREA IN BATHROOM BUILDING
- * BUILDING ELECTRICAL SERVICE, PANELS & DISTRIBUTION

PROJECT DIRECTORY

OWNER
CITY OF MERCER ISLAND
PARKS & RECREATION DEPARTMENT
2040 84TH AVENUE SE
MERCER ISLAND WA 98040
CONTACT: PAUL WEST
206.275.1833 (T)

TEAM LEAD
KPF CONSULTING ENGINEERS
1601 FIFTH AVENUE, SUITE 1600
SEATTLE WA 98101
CONTACT: ANDY BENNETT
206.926.0544 (T)

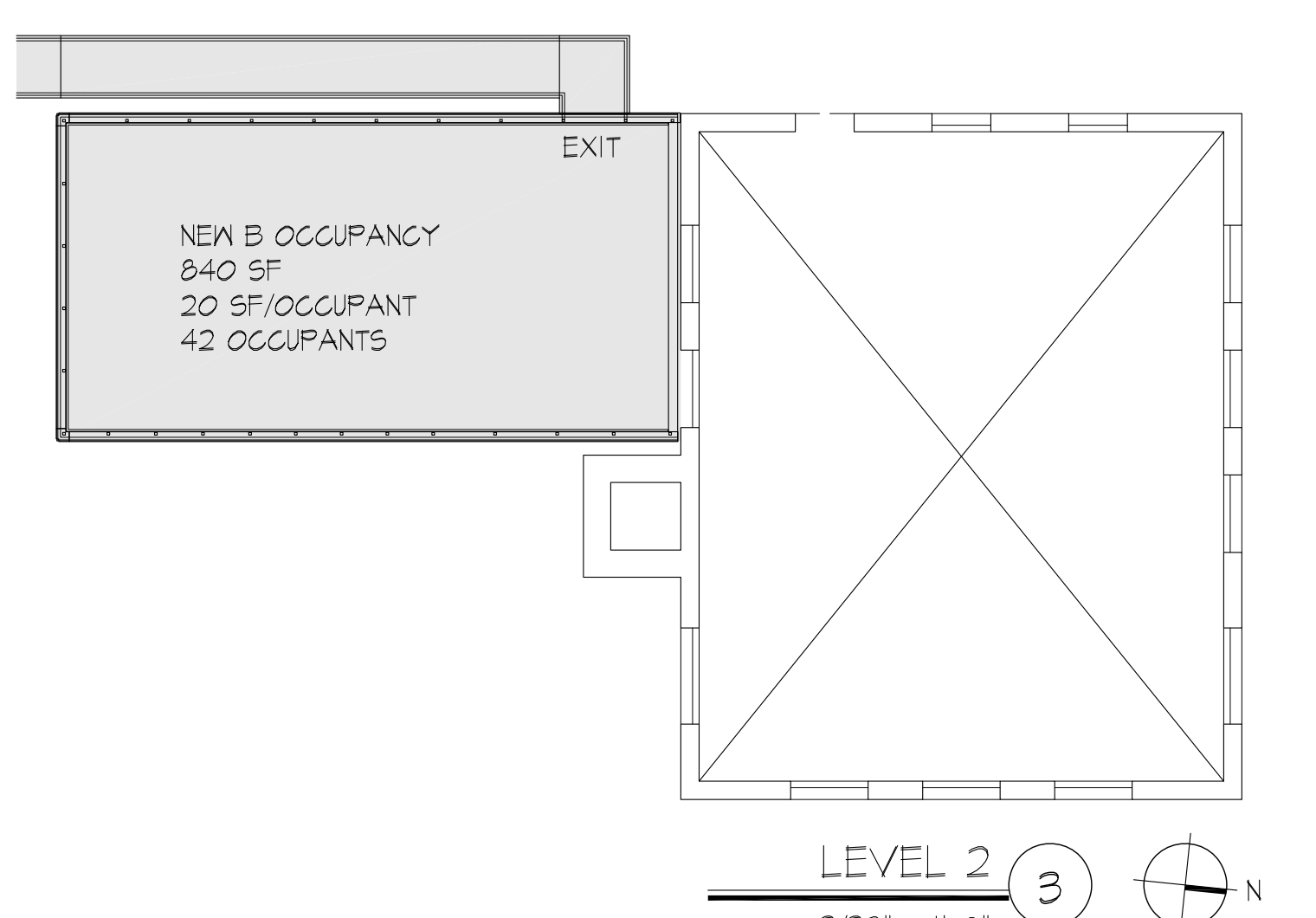
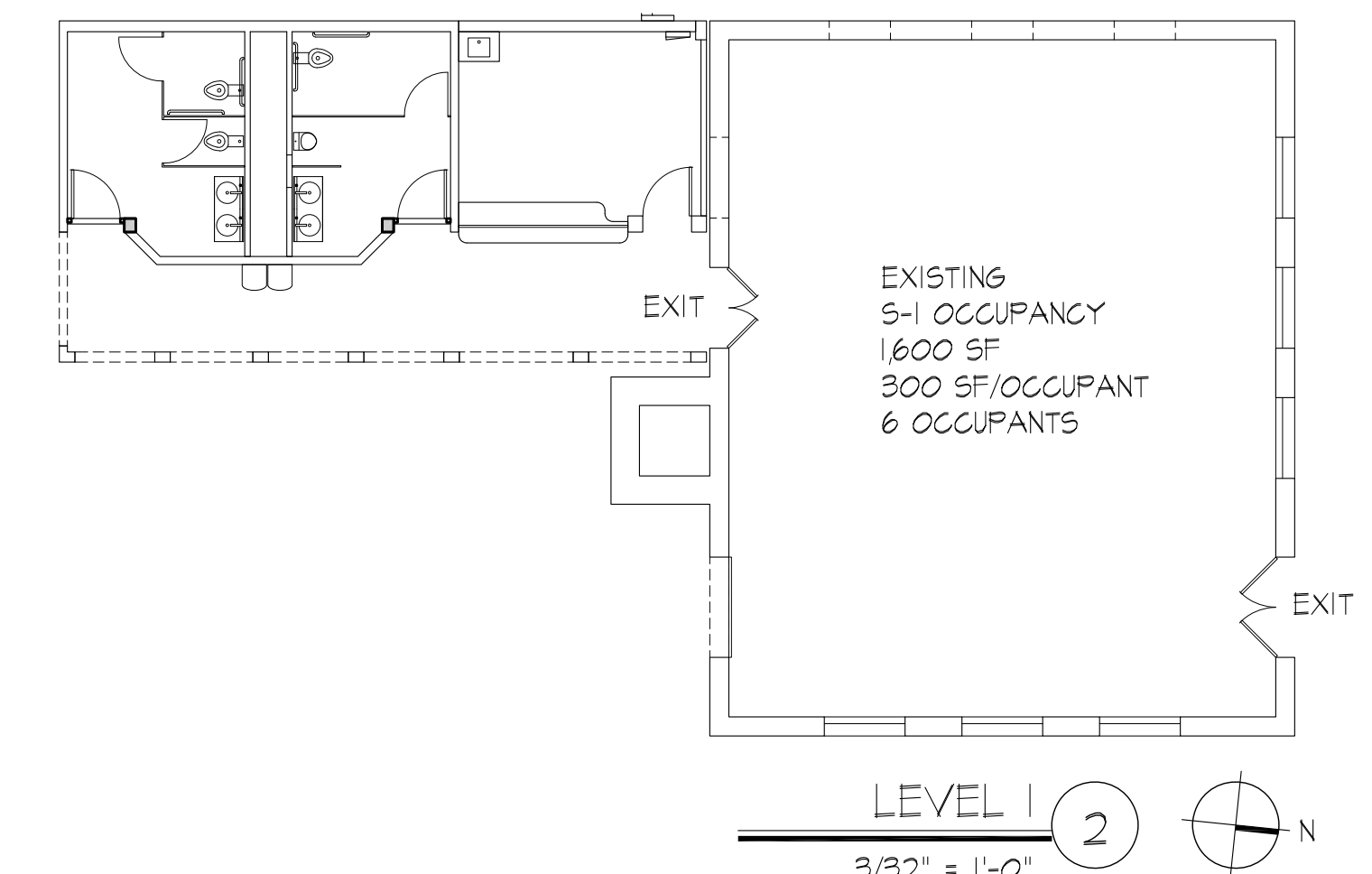
ARCHITECT
CARDINAL ARCHITECTURE PC
1326 5TH AVENUE, SUITE 440
SEATTLE WA 98101
CONTACT: JIM CARY
206.624.2365 (T)

STRUCTURAL ENGINEER
S&F ENGINEERS
2124 THIRD AVENUE, SUITE 100
SEATTLE WA 98121
CONTACT: GREG COONS
206.443.6212 (T)

MECHANICAL ENGINEER
FSI ENGINEERS
1001 ALASKAN WAY, SUITE 200
SEATTLE WA 98104
CONTACT: OLA JARVEGREN
206.622.3321 (T)

ELECTRICAL ENGINEER
TFAB ENGINEERS
1200 WESTLAKE AVENUE N, SUITE 509
SEATTLE WA 98109
CONTACT: KEVIN WARTELLE
206.285.1228 (T)

COST ESTIMATOR
DCM COST MANAGEMENT
815 FIRST AVENUE
SEATTLE WA 98104
CONTACT: TRISH DREM
206.259.2990 (T)



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021
PROJECT INFORMATION

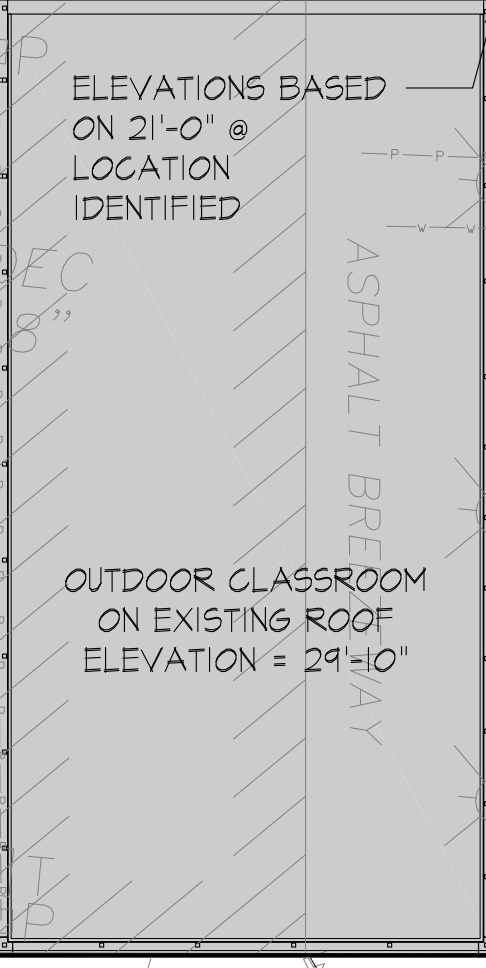
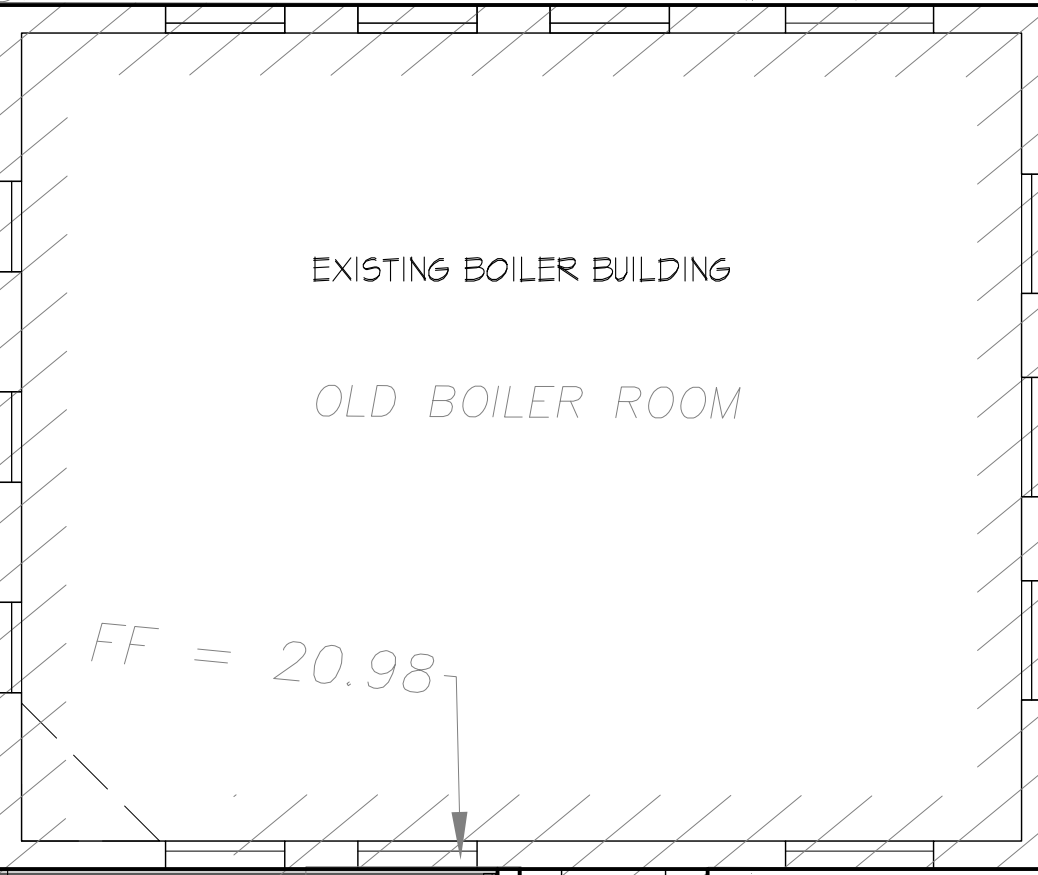
T1

IE 6" PVC SE 26.43'

FF = 20.82'
IE 6" PVC W 19.17'
IE 6" PVC NW 19.37'
IE 6" PVC E 18.86'

8" VERTICAL DI PIPE W/ VALVE

FUTURE LANDING AT FUTURE 2ND FLOOR ELEV = 30'-4"
FUTURE SLOPED ACCESS FROM OUTDOOR CLASSROOM TO FUTURE 2ND FLOOR 5% MAXIMUM GRADE
LANDING AT DECK LEVEL ELEV = 29'-10"



NEW ACCESSIBLE PATH 4% MAX SLOPE

NEW LANDING ELEV = 28'-6"

NEW ACCESSIBLE PATH 4% MAX SLOPE

NEW LANDING AT AT GRADE ELEV = 28'-0"

CB 1384 RIM = 22.43' IE 6" CONC. (E) = 21.08'

WOOD STEPS TYP.

CONCRETE BULKHEAD

UNKNOWN VAULT

4" DI OUTFALL IE 18.41'

CONCRETE BULKHEAD

KPFF CP# 3

DEC 10"

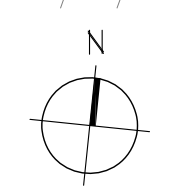
DEC 10"

DEC 7"

6" PVC OUTFALL IE 18.33'

CONCRETE BULKHEAD

SITE PLAN 1 1/8" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS	

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC

1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

SITE PLAN

A-010

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC

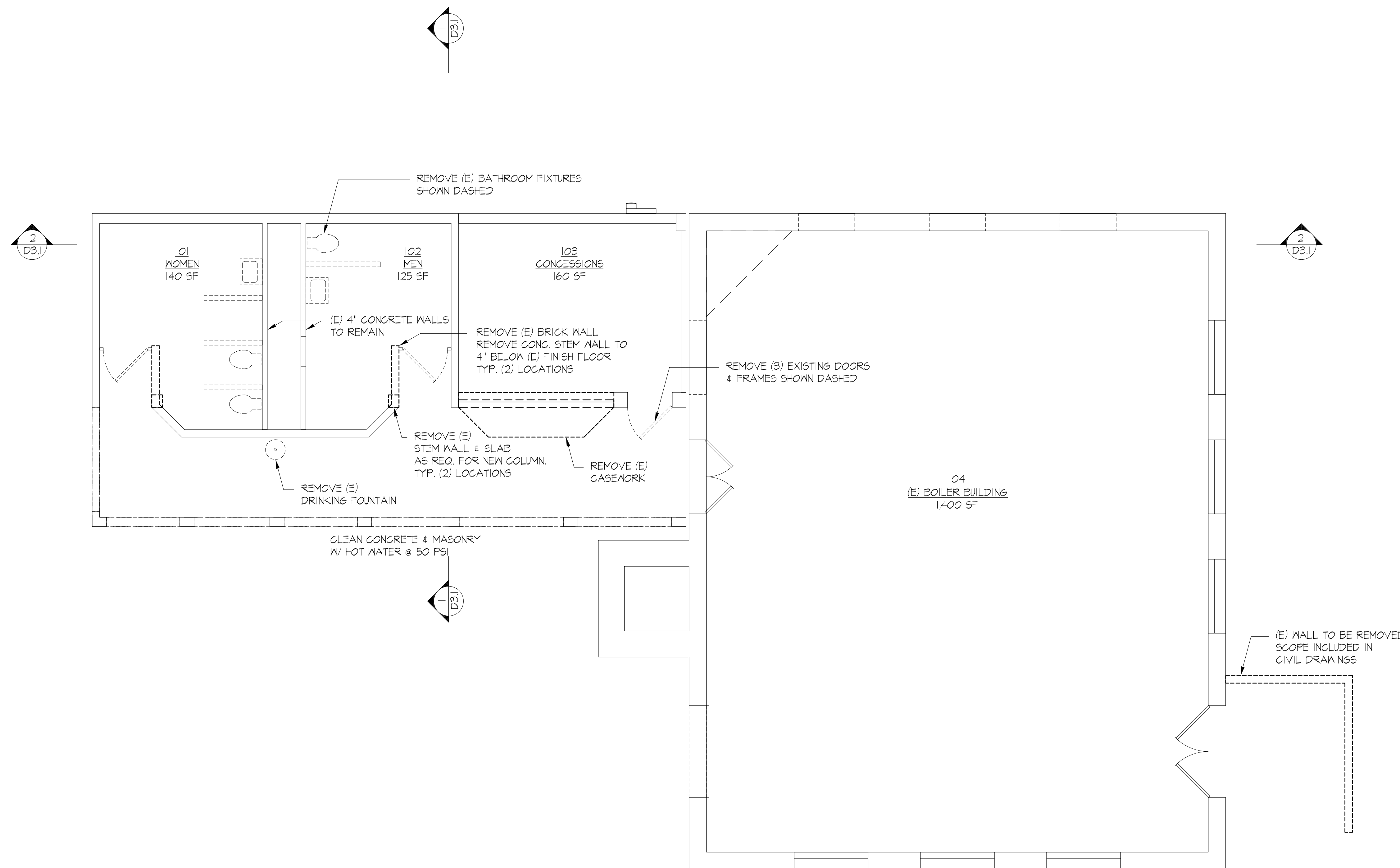
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

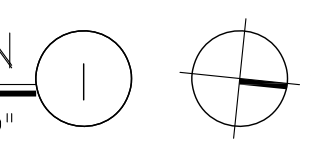
SELECTIVE DEMO
FIRST FLOOR PLAN

AD-021



SELECTIVE DEMO FIRST FLOOR PLAN

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC

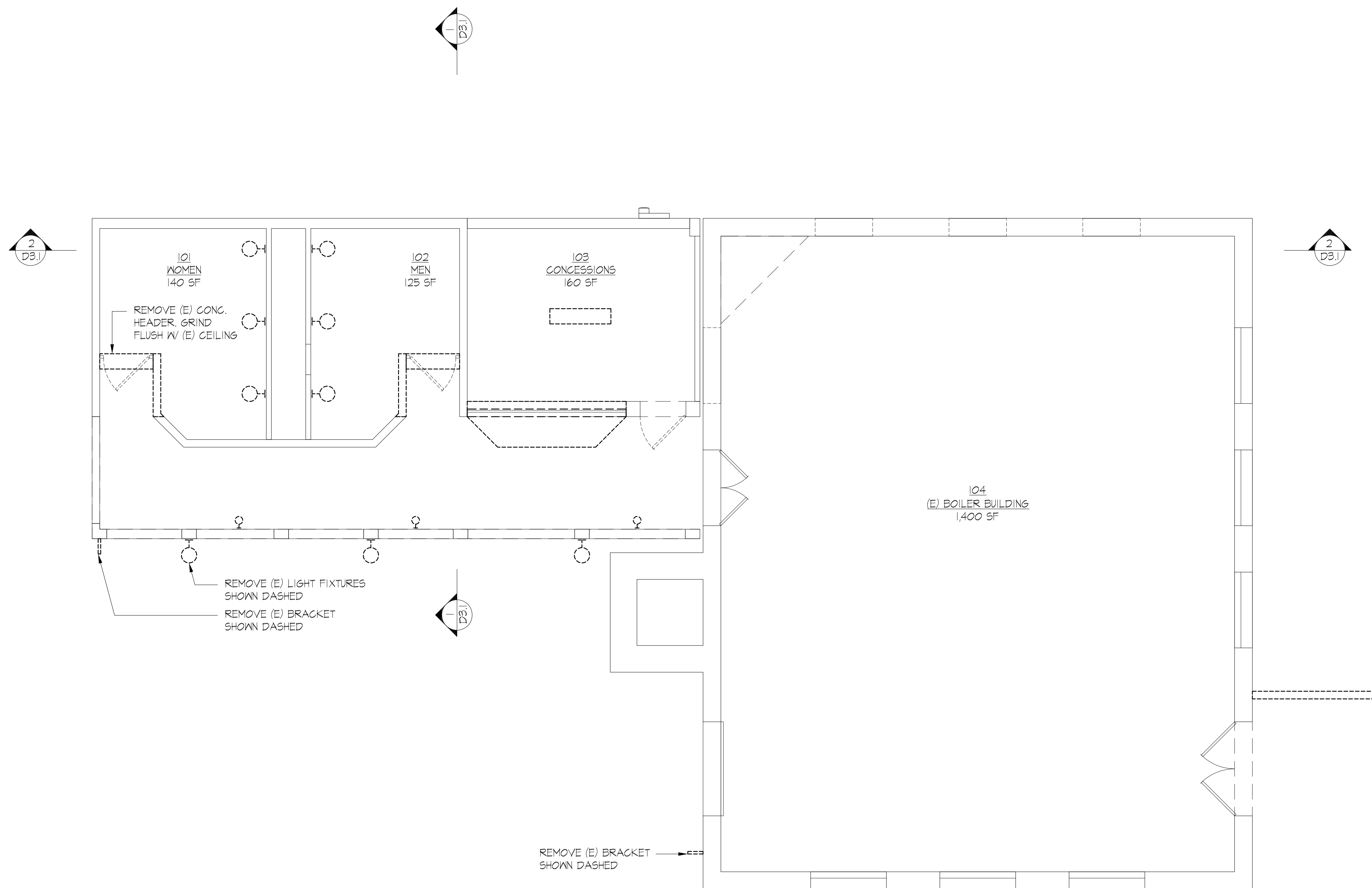
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

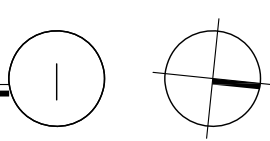
SELECTIVE DEMO
FIRST FLOOR RCP

AD-022



SELECTIVE DEMO FIRST FLOOR RCP

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040


CARDINAL
ARCHITECTURE PC

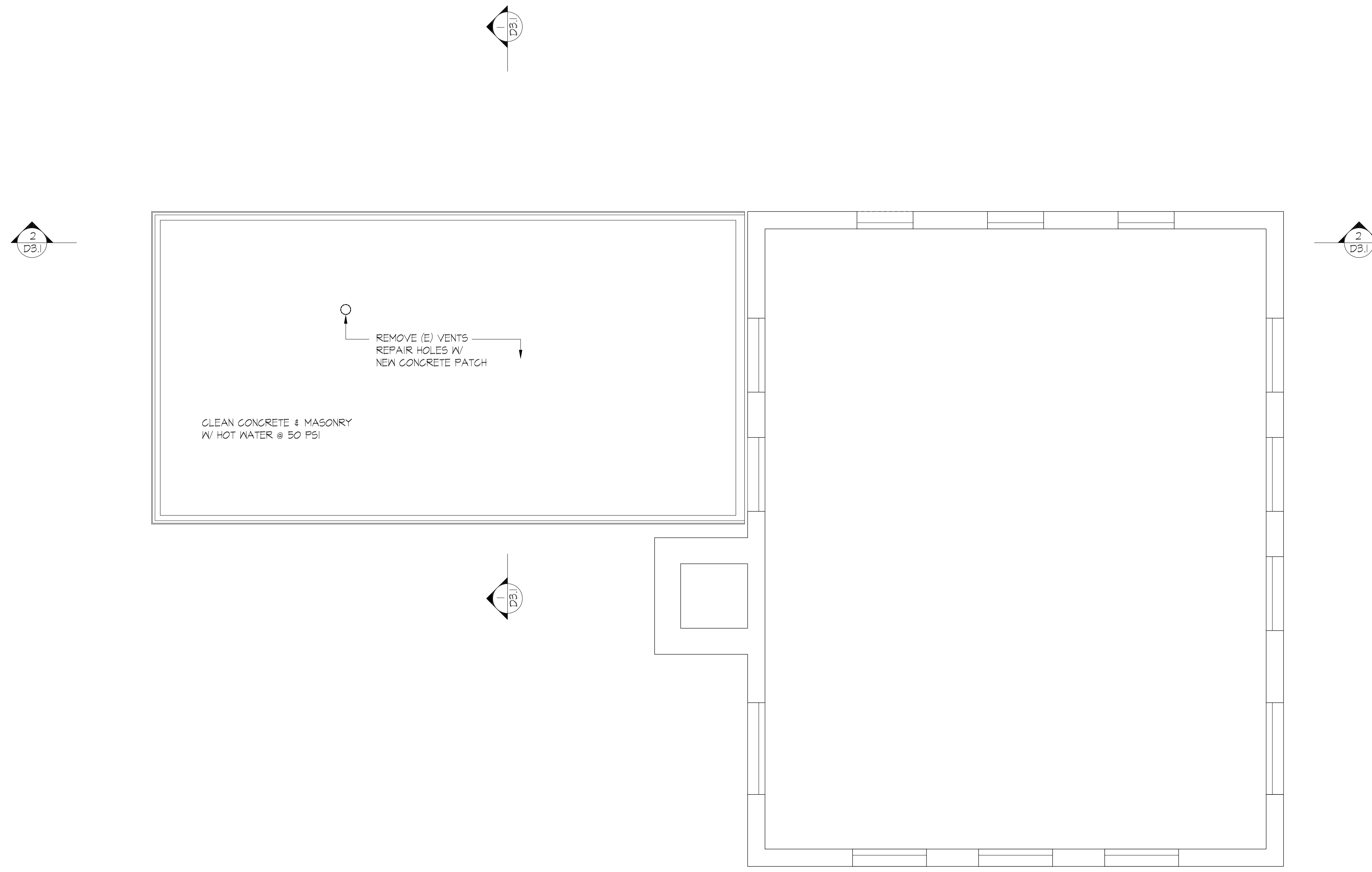
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

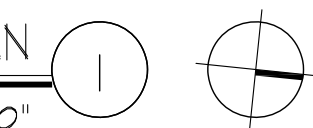
SELECTIVE DEMO
2ND FLOOR PLAN

AD-023



SELECTIVE DEMO SECOND FLOOR PLAN

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040


CARDINAL
ARCHITECTURE PC

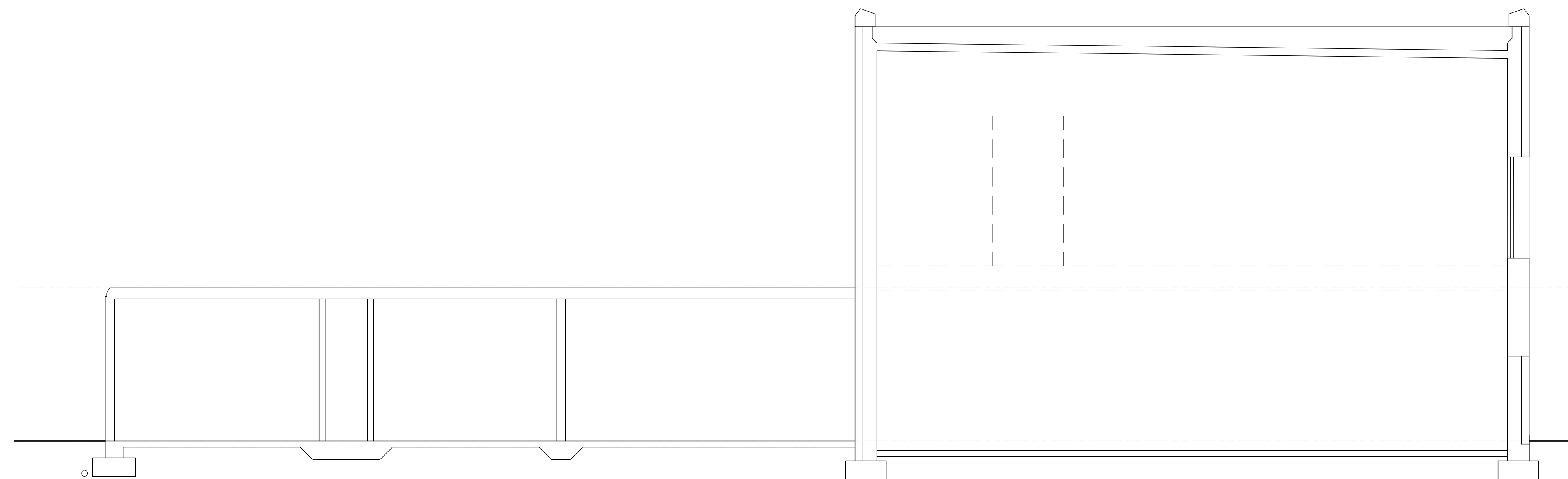
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

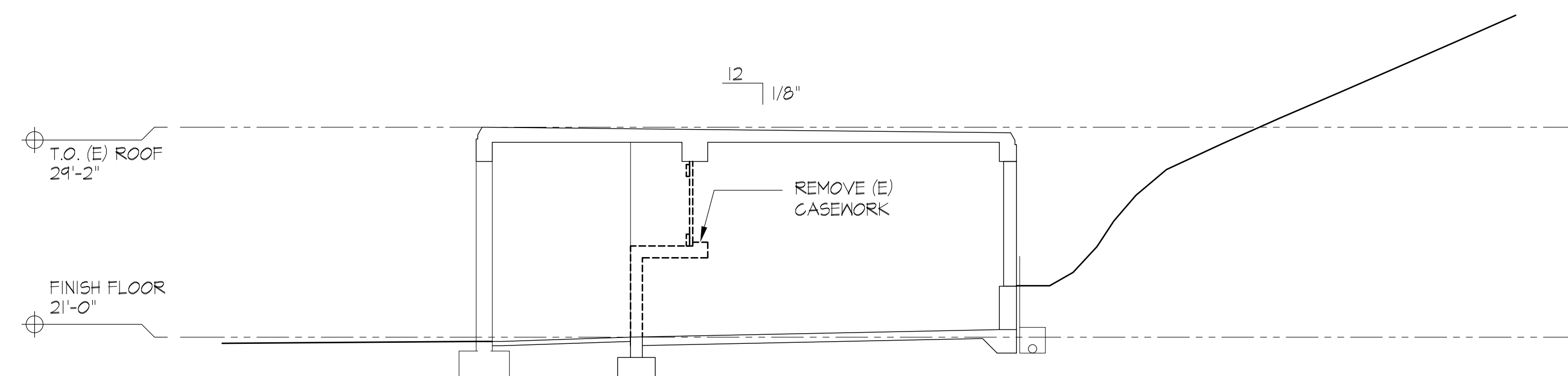
23 JULY 2021

SELECTIVE DEMO
BUILDING
SECTIONS

AD-031



SELECTIVE DEMO BUILDING SECTION 2
1/4" = 1'-0" 2



SELECTIVE DEMO BUILDING SECTION 1
1/4" = 1'-0" 1

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

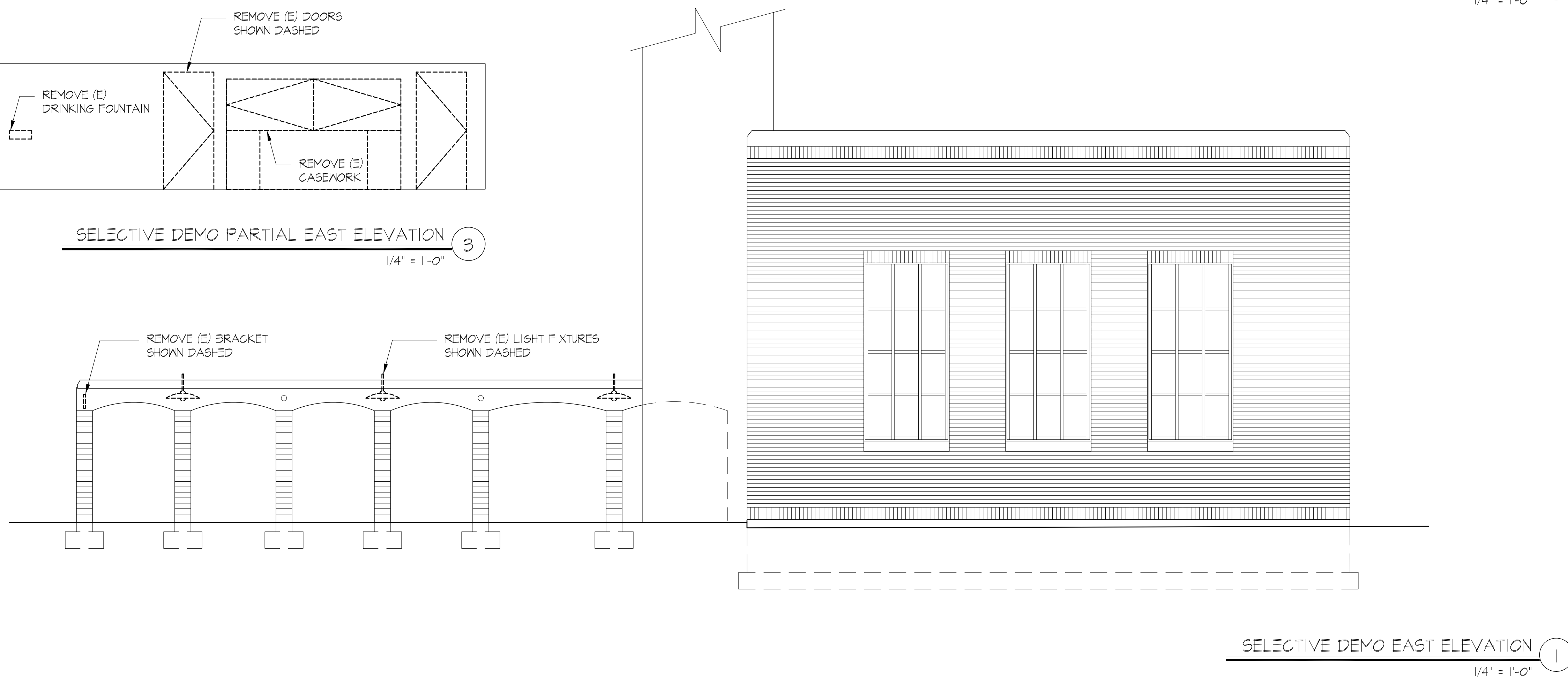
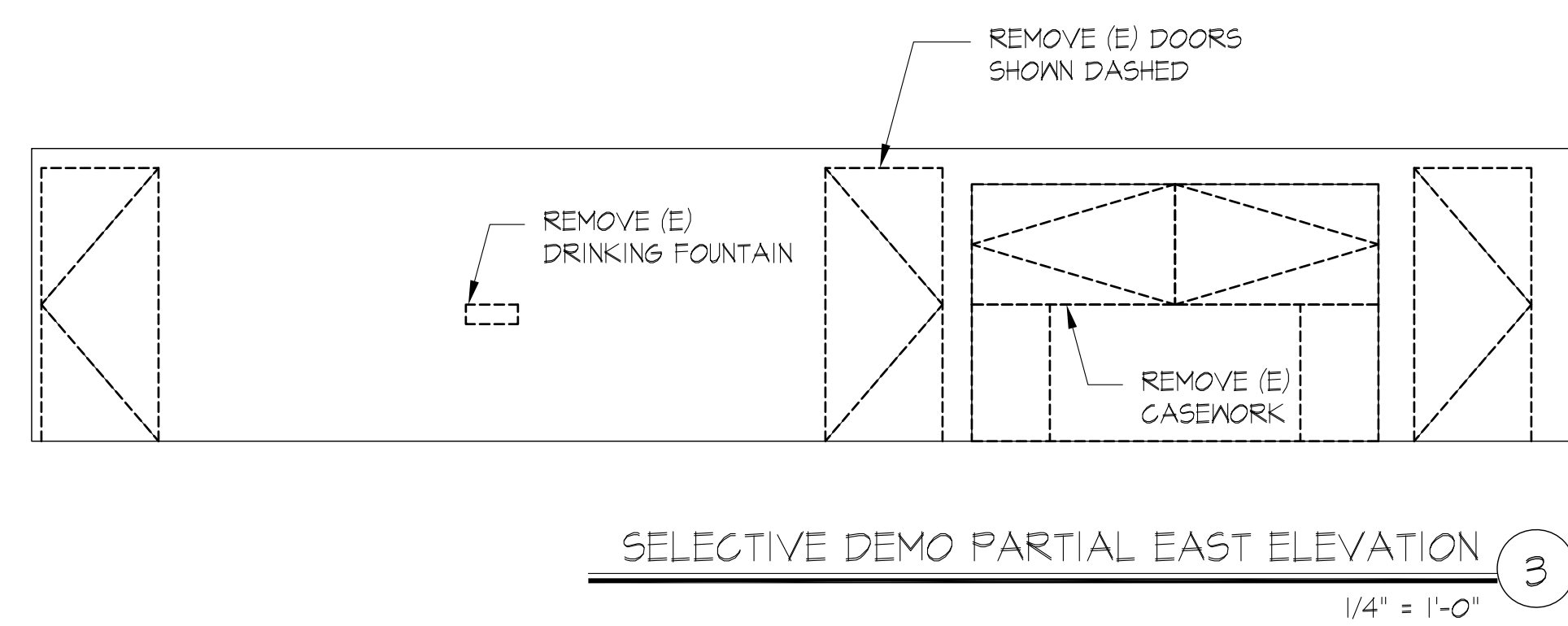

CARDINAL
ARCHITECTURE PC

1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

SELECTIVE DEMO
BUILDING
ELEVATIONS

AD-041



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040


CARDINAL
ARCHITECTURE PC

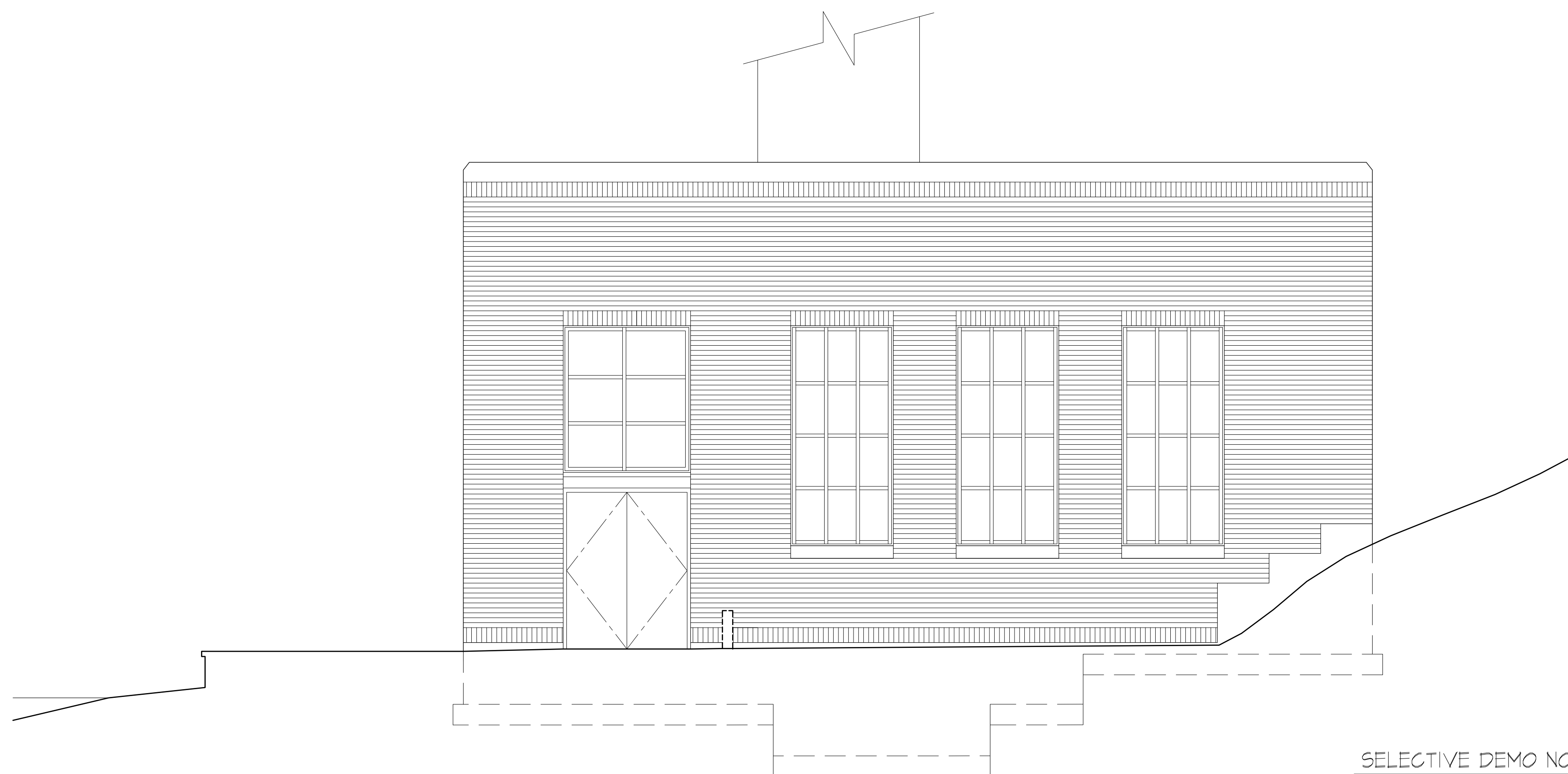
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

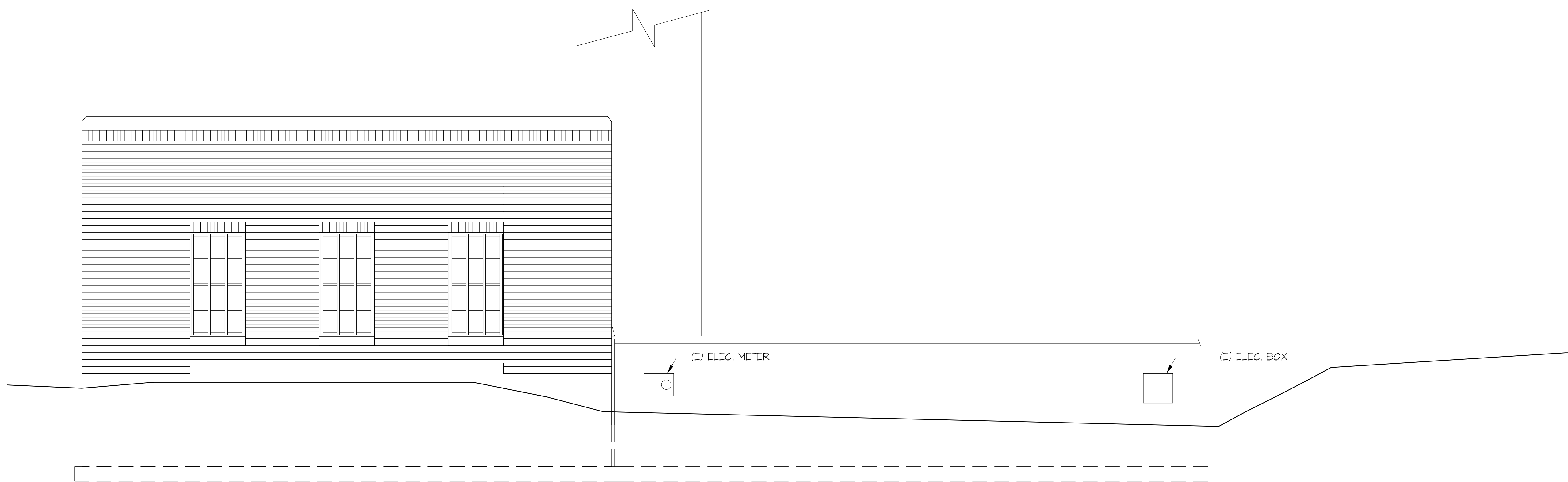
23 JULY 2021

SELECTIVE DEMO
BUILDING
ELEVATIONS

AD-042

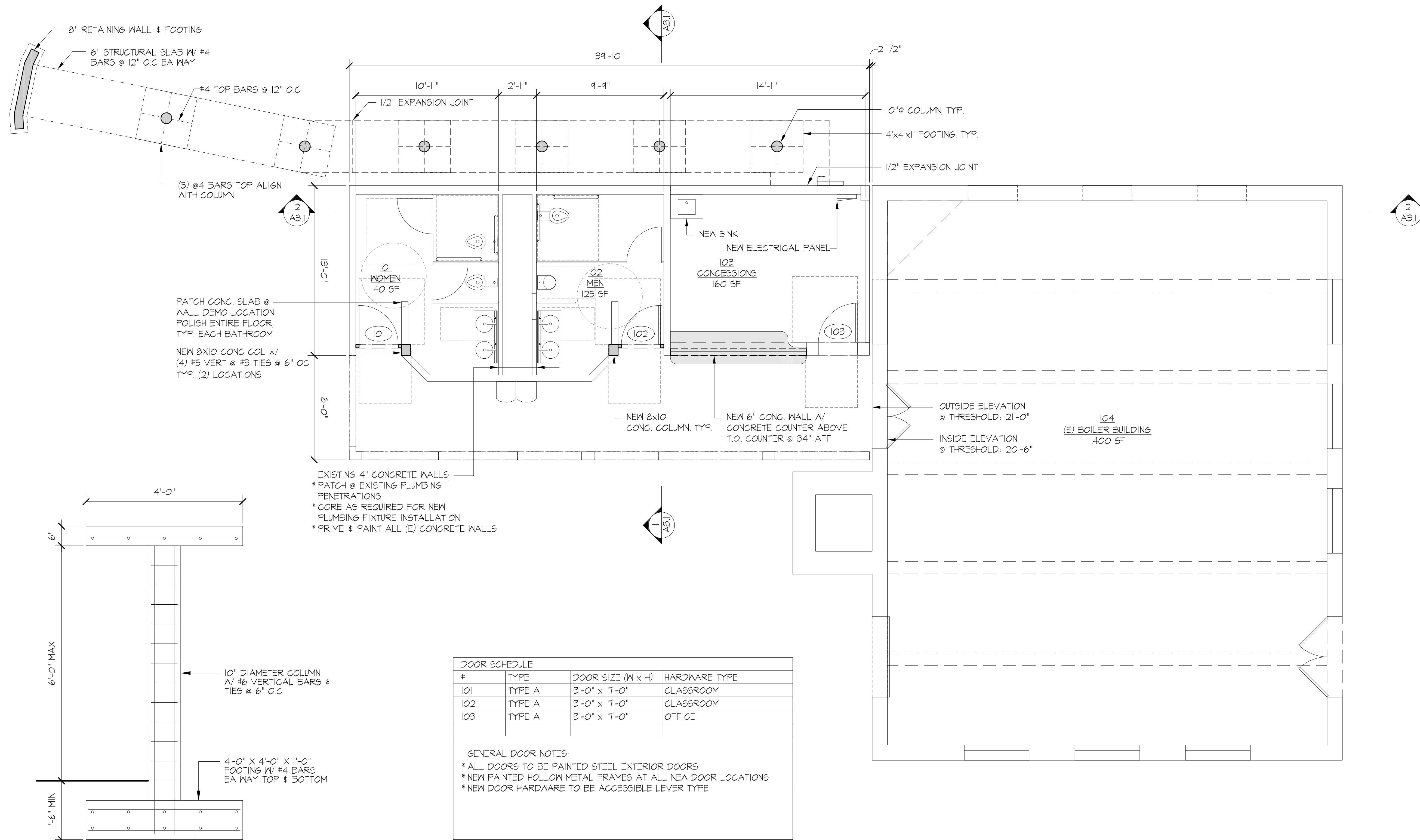


SELECTIVE DEMO NORTH ELEVATION 4
1/4" = 1'-0"



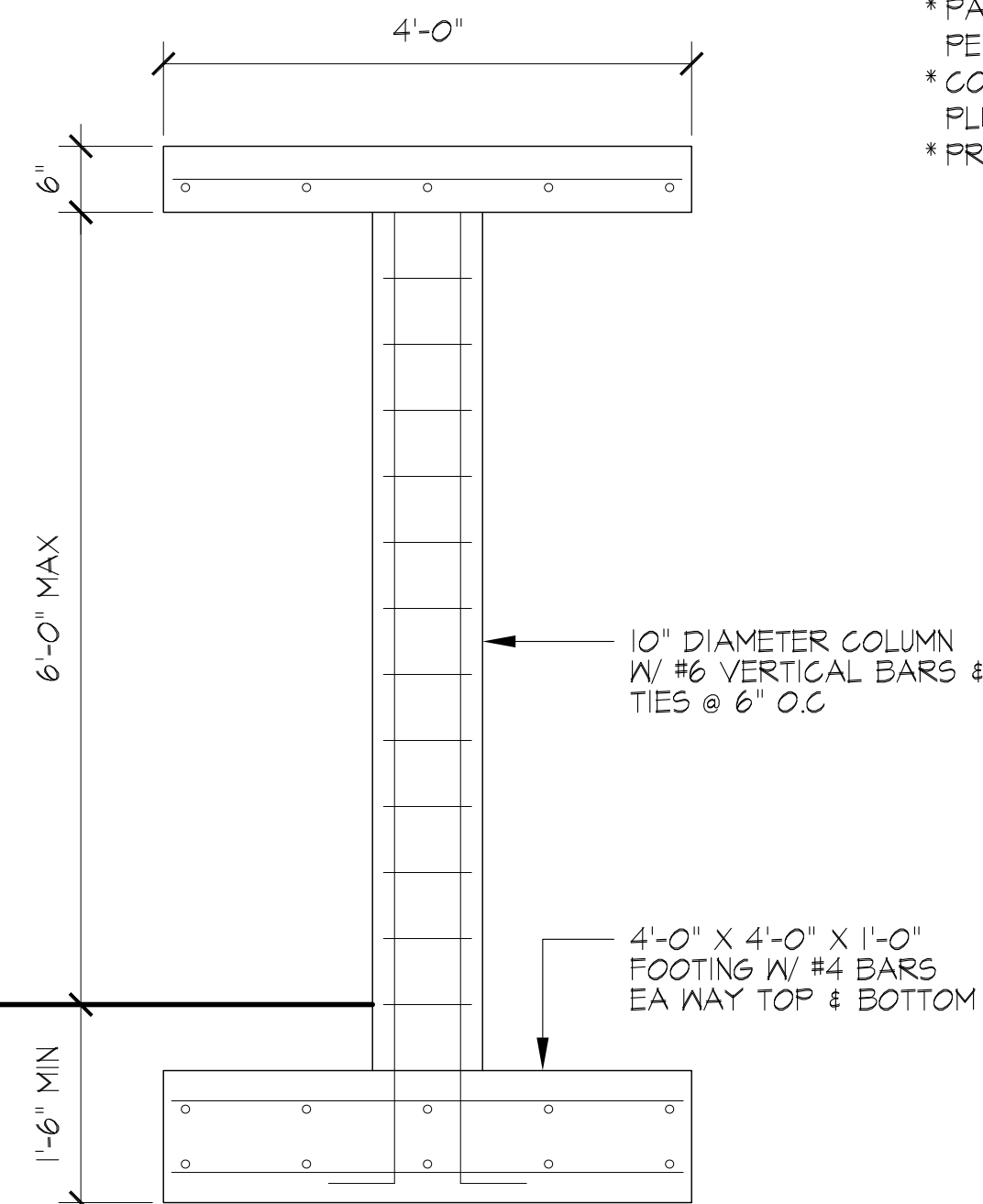
SELECTIVE DEMO WEST ELEVATION 3
1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



PATCH CONC. SLAB @ WALL DEMO LOCATION POLISH ENTIRE FLOOR, TYP. EACH BATHROOM
NEW 8x10 CONC COL W/ (4) #5 VERT @ #3 TIES @ 6" OC TYP. (2) LOCATIONS

EXISTING 4" CONCRETE WALLS
* PATCH @ EXISTING PLUMBING PENETRATIONS
* CORE AS REQUIRED FOR NEW PLUMBING FIXTURE INSTALLATION
* PRIME & PAINT ALL (E) CONCRETE WALLS



RAMP SECTION 2
3/4" = 1'-0"

DOOR SCHEDULE			
#	TYPE	DOOR SIZE (W x H)	HARDWARE TYPE
101	TYPE A	3'-0" x 7'-0"	CLASSROOM
102	TYPE A	3'-0" x 7'-0"	CLASSROOM
103	TYPE A	3'-0" x 7'-0"	OFFICE

GENERAL DOOR NOTES:
* ALL DOORS TO BE PAINTED STEEL EXTERIOR DOORS
* NEW PAINTED HOLLOW METAL FRAMES AT ALL NEW DOOR LOCATIONS
* NEW DOOR HARDWARE TO BE ACCESSIBLE LEVER TYPE

TOILET ROOM ACCESSORIES
* STAINLESS STEEL TOILET PARTITIONS
* SEAT COVER DISPENSERS - (1) AT EACH WC
* TOILET PAPER DISPENSERS - (1) AT EACH WC
* GRAB BARS - (3) AT EACH ACCESSIBLE WC
* TRASH CAN - (1) PER BATHROOM
* STAINLESS STEEL SECURITY MIRROR - (1) PER BATHROOM
* MANUAL PAPER TOWEL DISPENSER BY VENDOR
* SOAP DISPENSER BY VENDOR

FLOOR PLAN 1
1/4" = 1'-0"

REVISIONS	

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

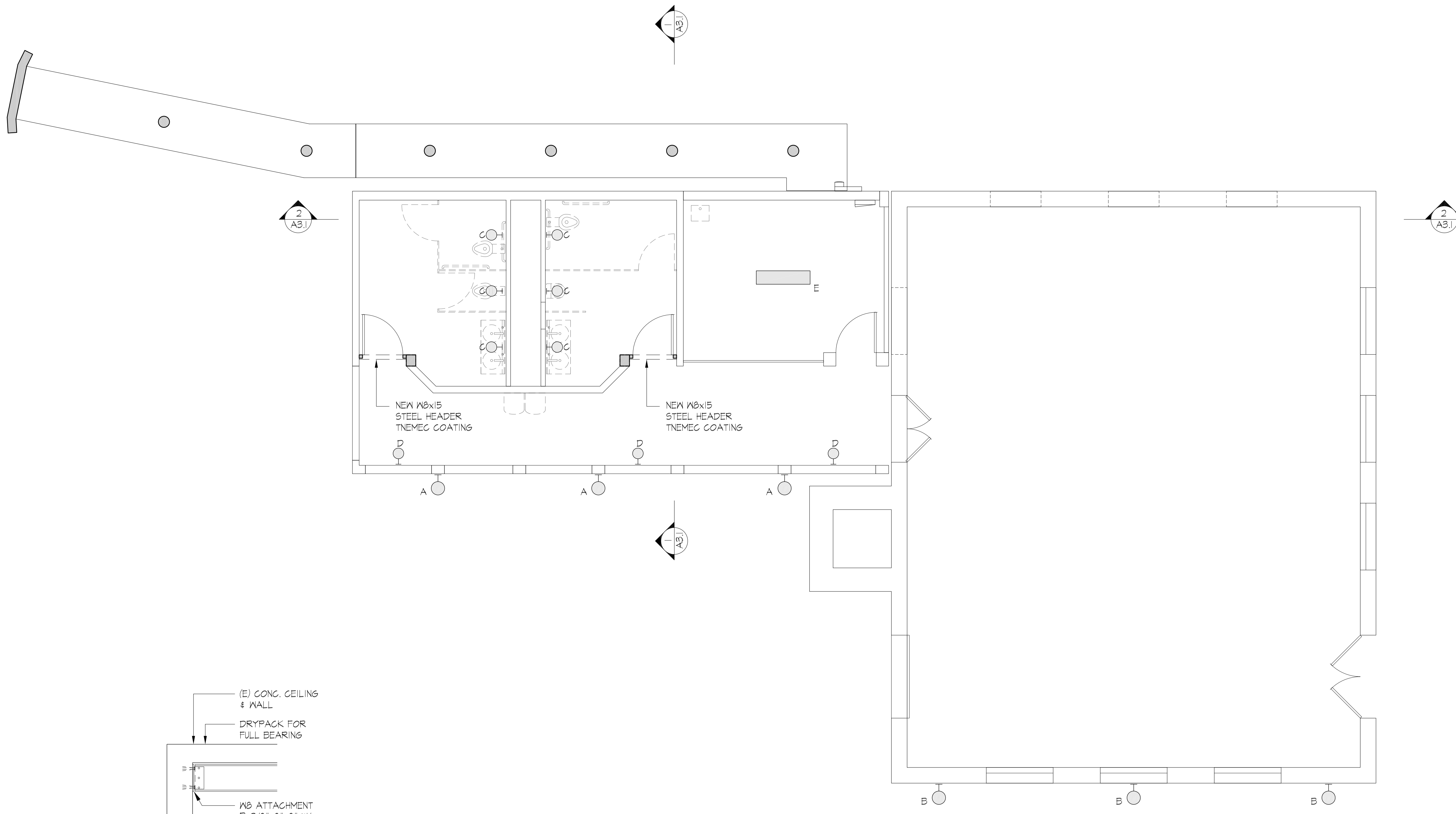
CARDINAL
ARCHITECTURE PC
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

FIRST FLOOR PLAN

A-021

LIGHTING SCHEDULE						
#	TYPE	PRODUCT	FINISH	SHADE	LAMP	NOTES
A	TROY RLM HEAVY DUTY ALUMINUM SHADE	TROY RH6LED122TBB-C-FGAC				
B	WE-EF SURFACE MOUNTED LUMINAIRES	WE-EF RLS410 131-9604 LED-3/6/100 MA-2100K				
C	A-LIGHT 2' LONG LED WALL MOUNTED FIXTURE	A-LIGHT 03, 1" DROP LENSE				
D	WALL PACK LED LIGHT FIXTURE	LITHONIA TWX				
E	4' SURFACE-MOUNTED LED FIXTURE	LITHONIA BLXP				



(E) CONC. CEILING & WALL
 DRYPACK FOR FULL BEARING
 W8 ATTACHMENT
 PL 3/8"x8"x8" W/
 (4) 1/2" EXPANSION BOLTS
 @ 5 1/2" OC EA WAY
 3" EMBED

DETAIL @ HEADER 2
 3/4" = 1'-0"

FIRST FLOOR RCP 1
 1/4" = 1'-0" N

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
 BOILER BUILDING
 RENOVATIONS
 2040 84TH AVENUE SE
 MERCER ISLAND, WA 98040

CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2119
 23 JULY 2021

FIRST FLOOR RCP

A-022

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

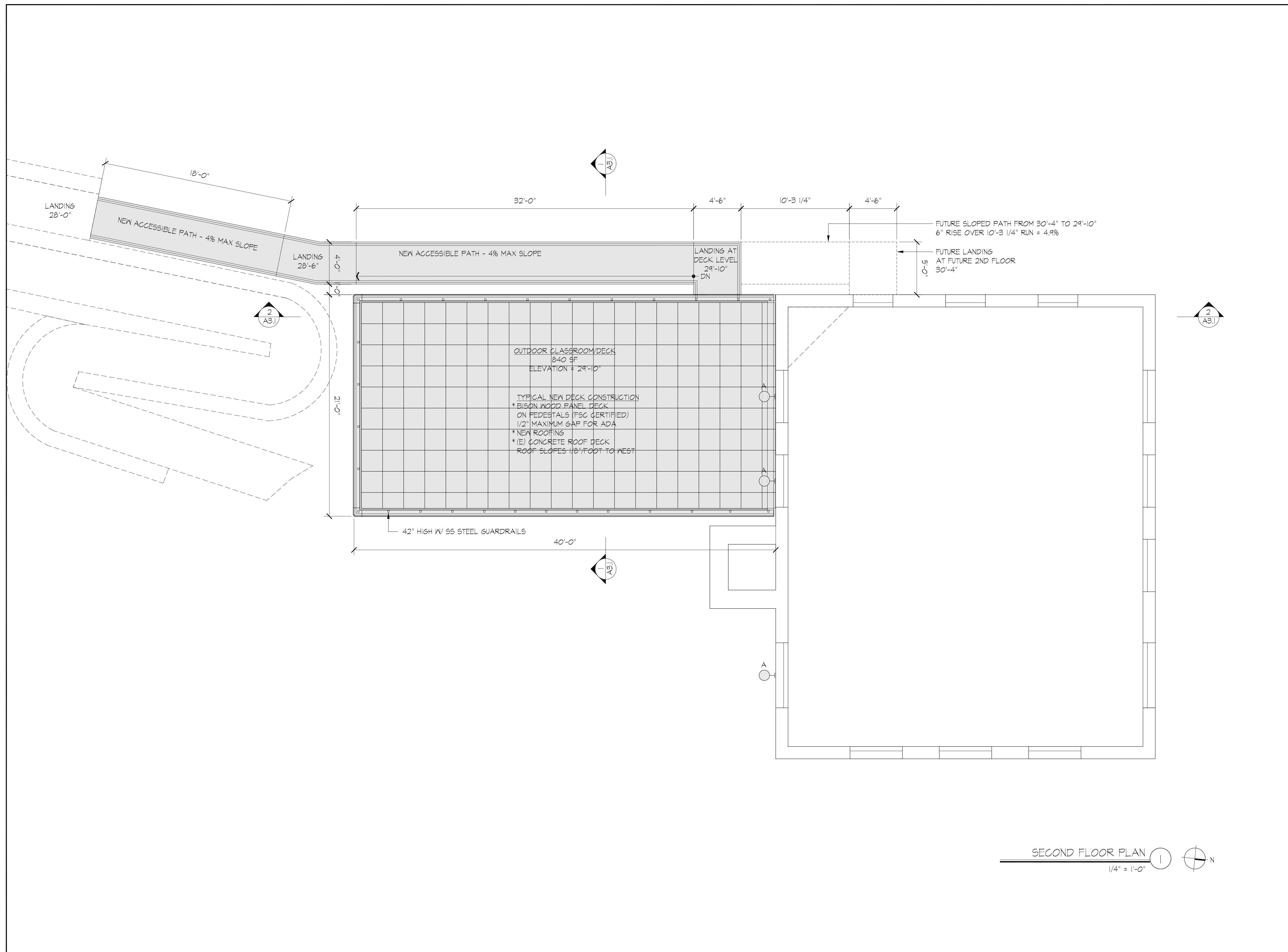


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

2ND FLOOR PLAN

A-023



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040


CARDINAL
ARCHITECTURE PC

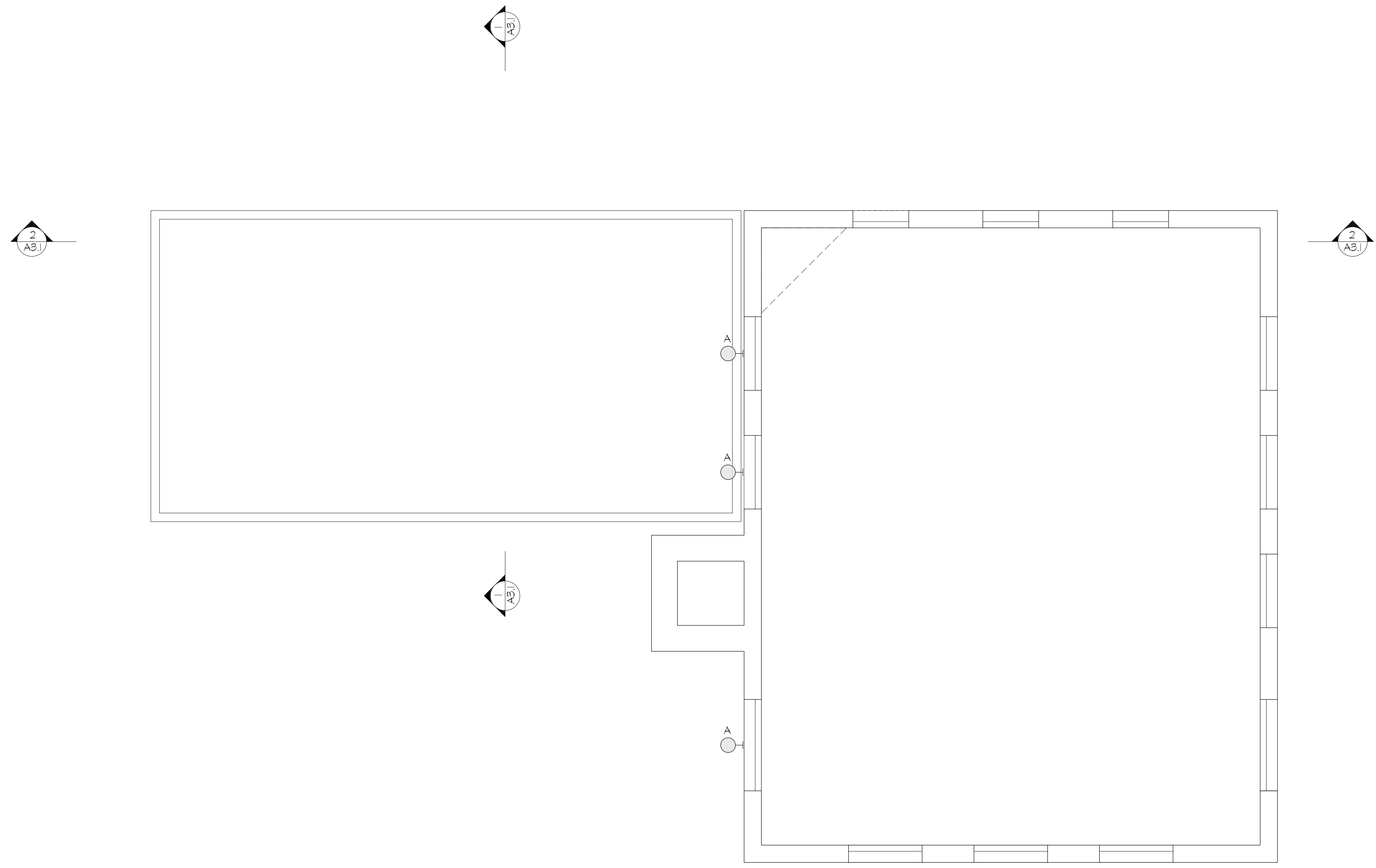
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

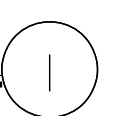
2ND FLOOR RCP

A-024



SECOND FLOOR RCP

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

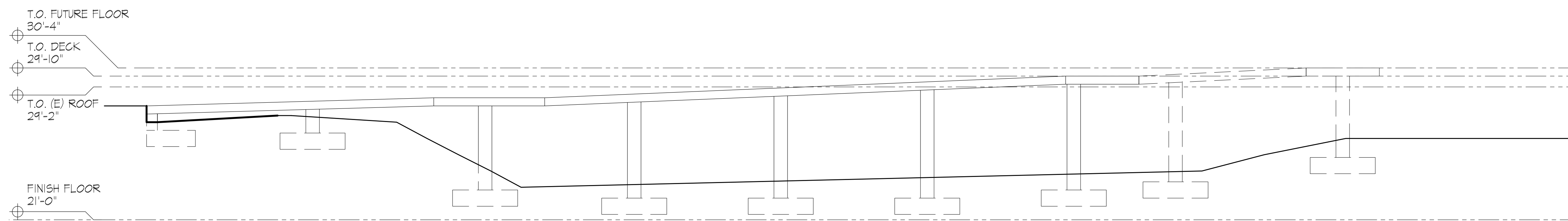


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

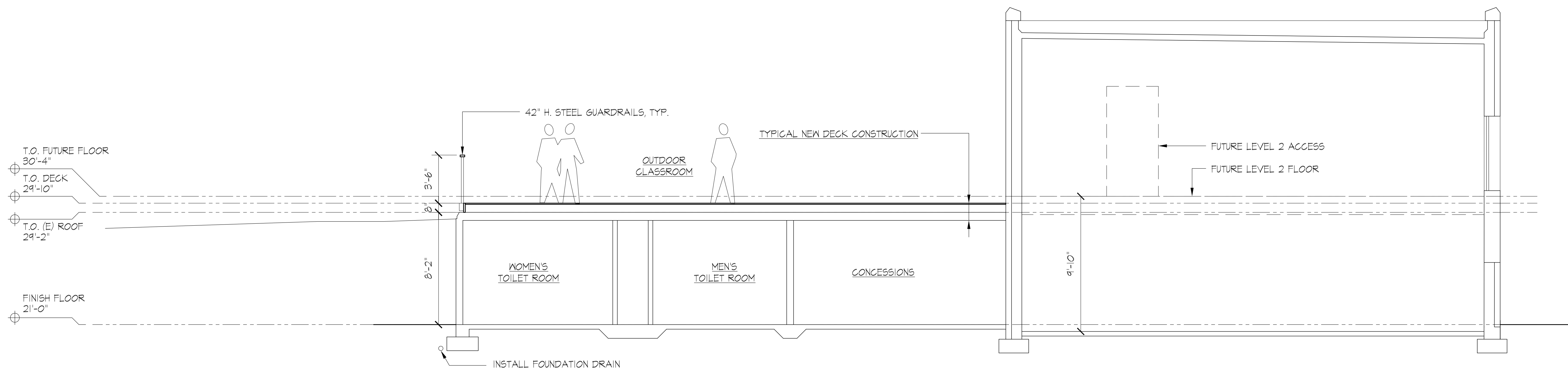
#2119
23 JULY 2021

BUILDING
SECTIONS

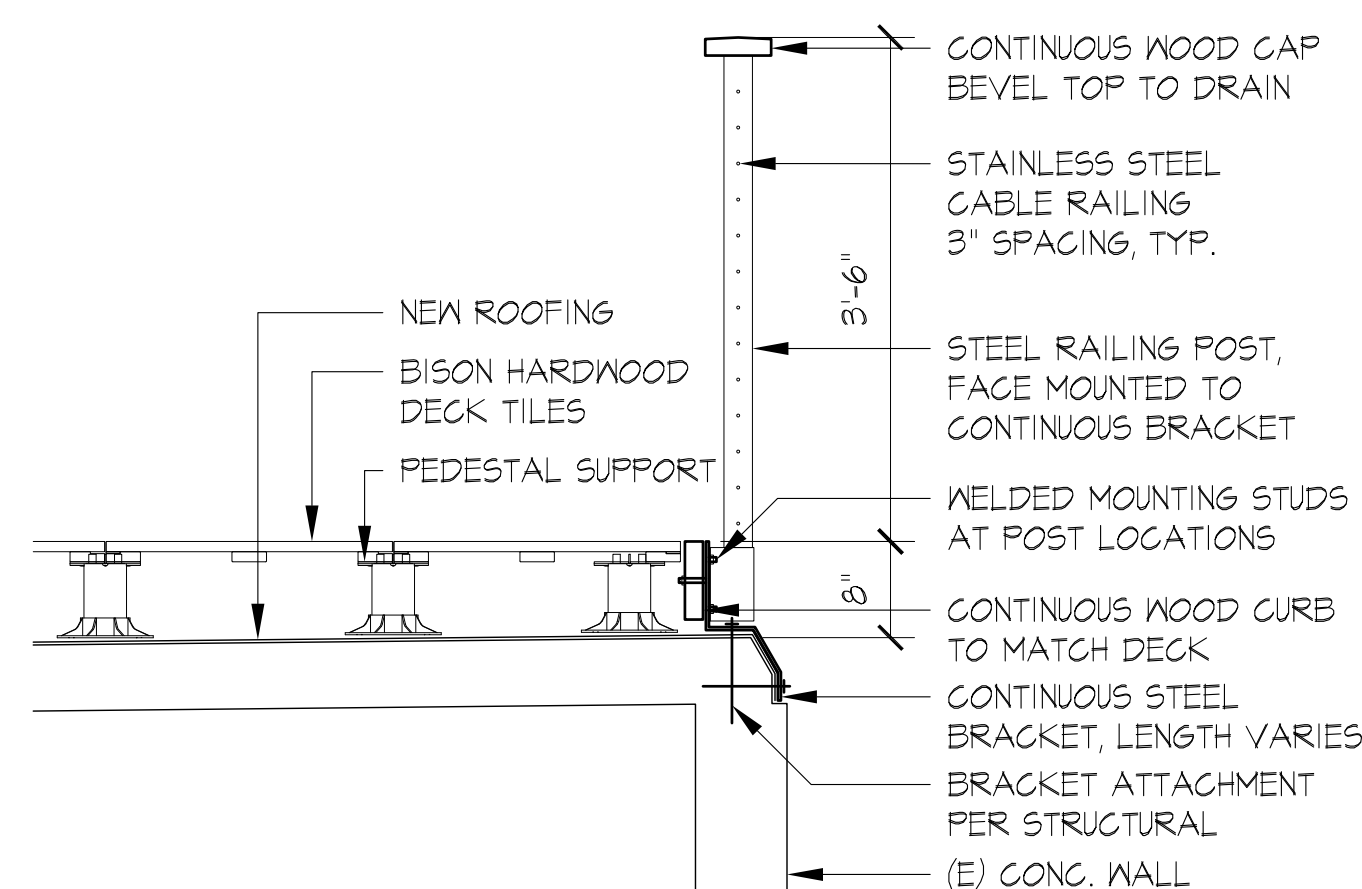
A-031



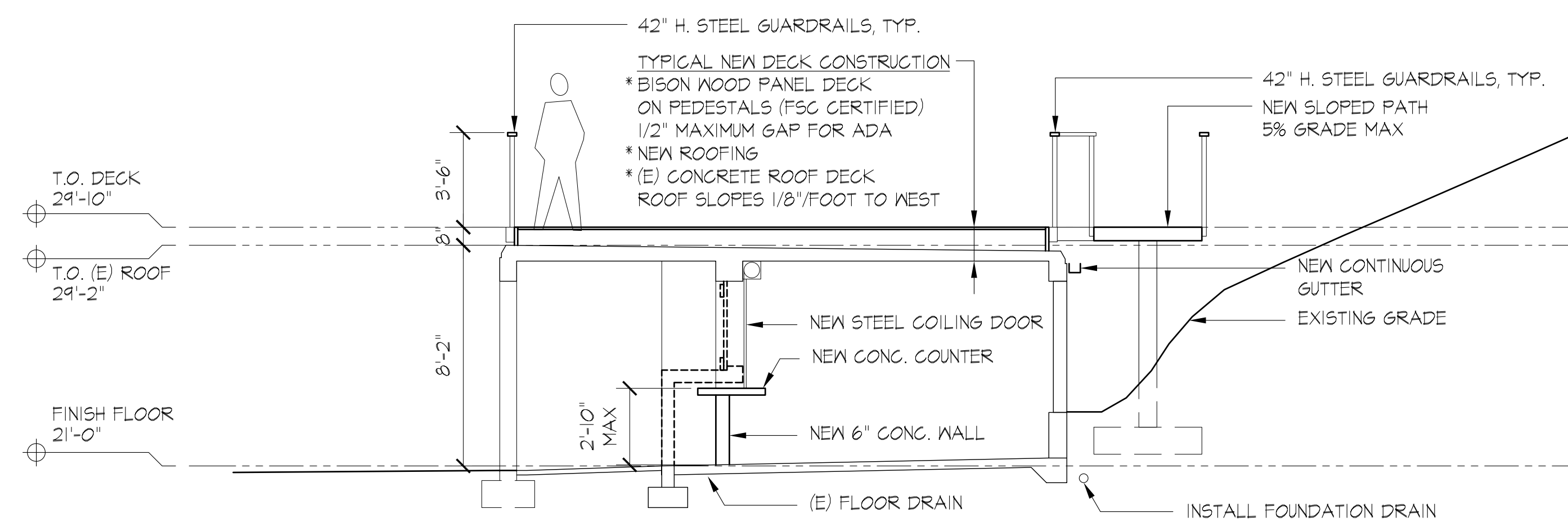
BUILDING SECTION 3
1/4" = 1'-0" 3



BUILDING SECTION 2
1/4" = 1'-0" 2



DETAIL @ DECK RAILING
3/4" = 1'-0" 4



BUILDING SECTION 1
1/4" = 1'-0" 1

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

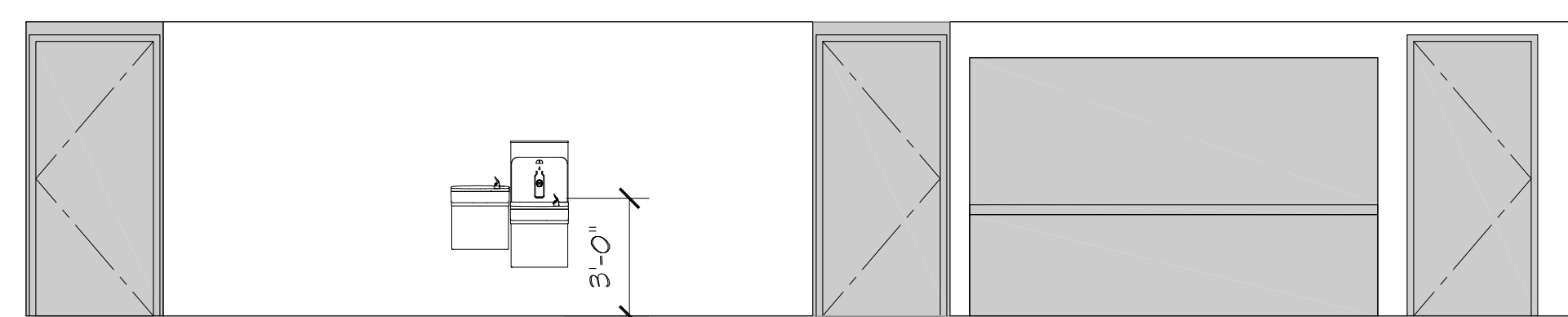
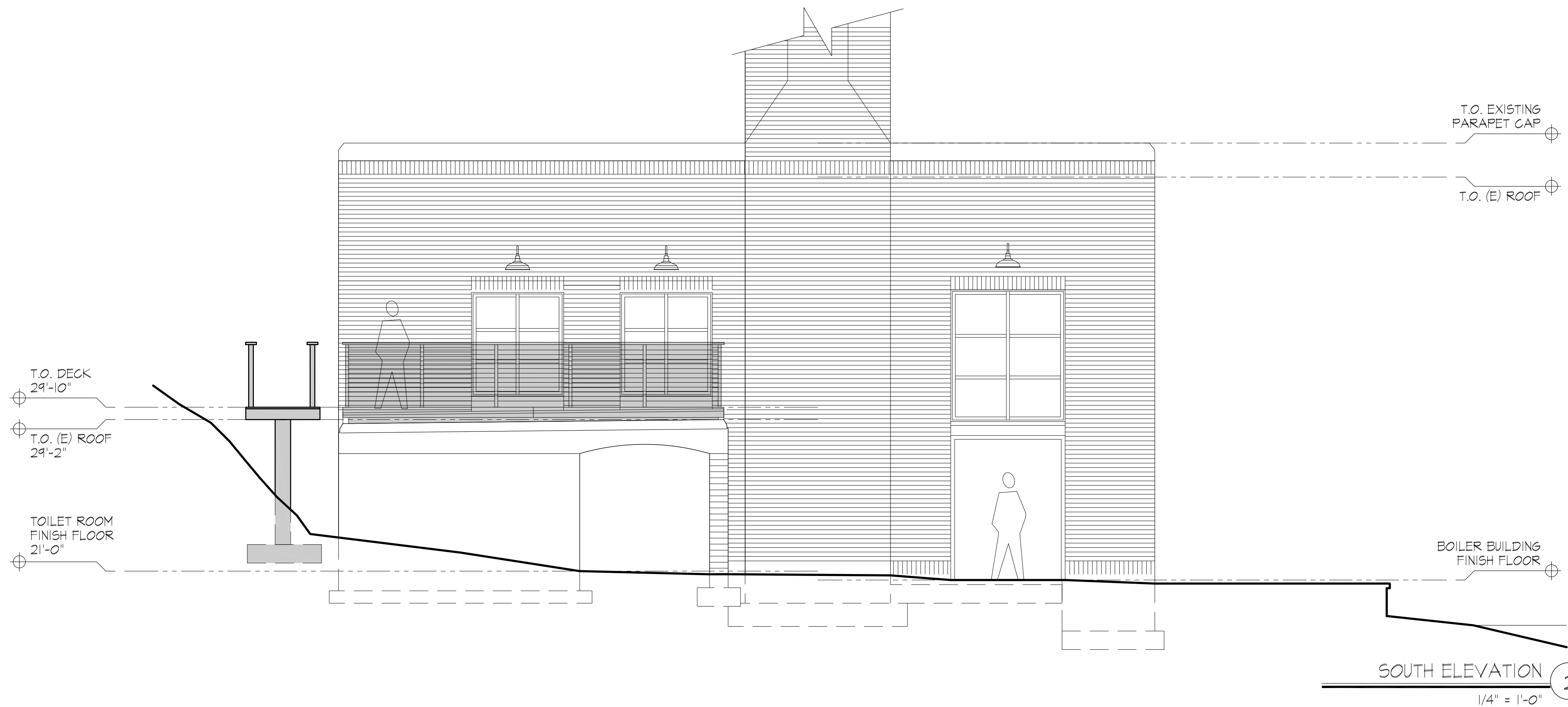


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

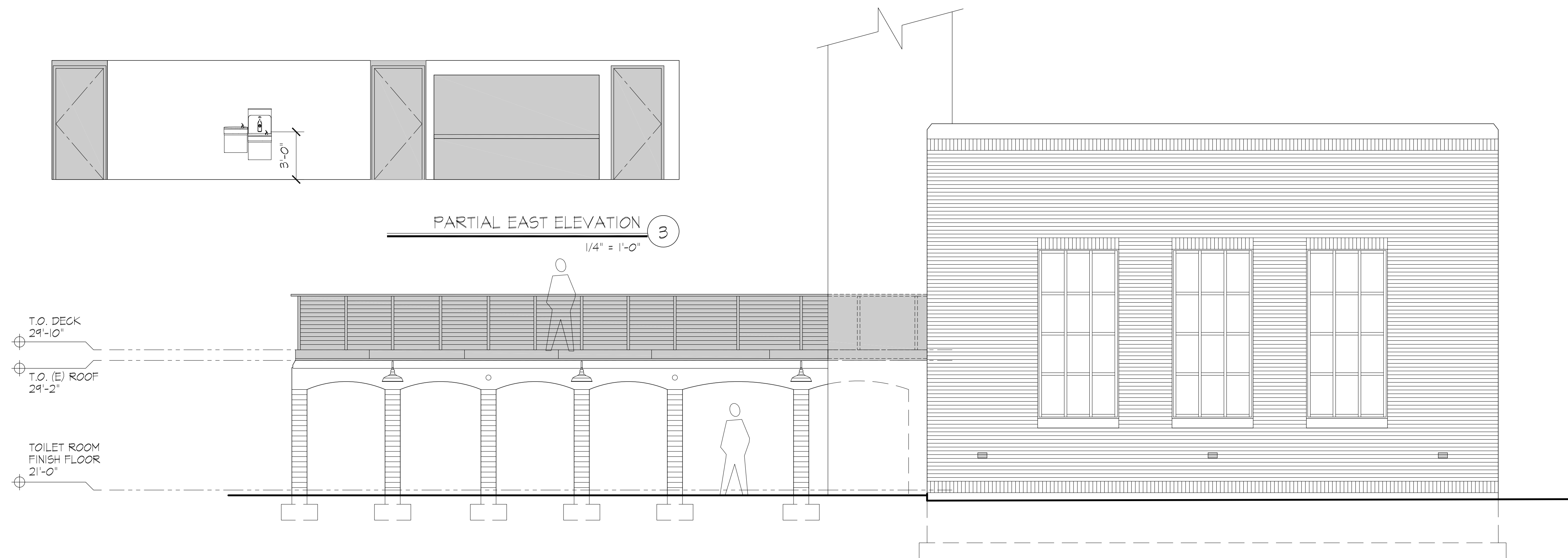
BUILDING
ELEVATIONS

A-041



PARTIAL EAST ELEVATION 3

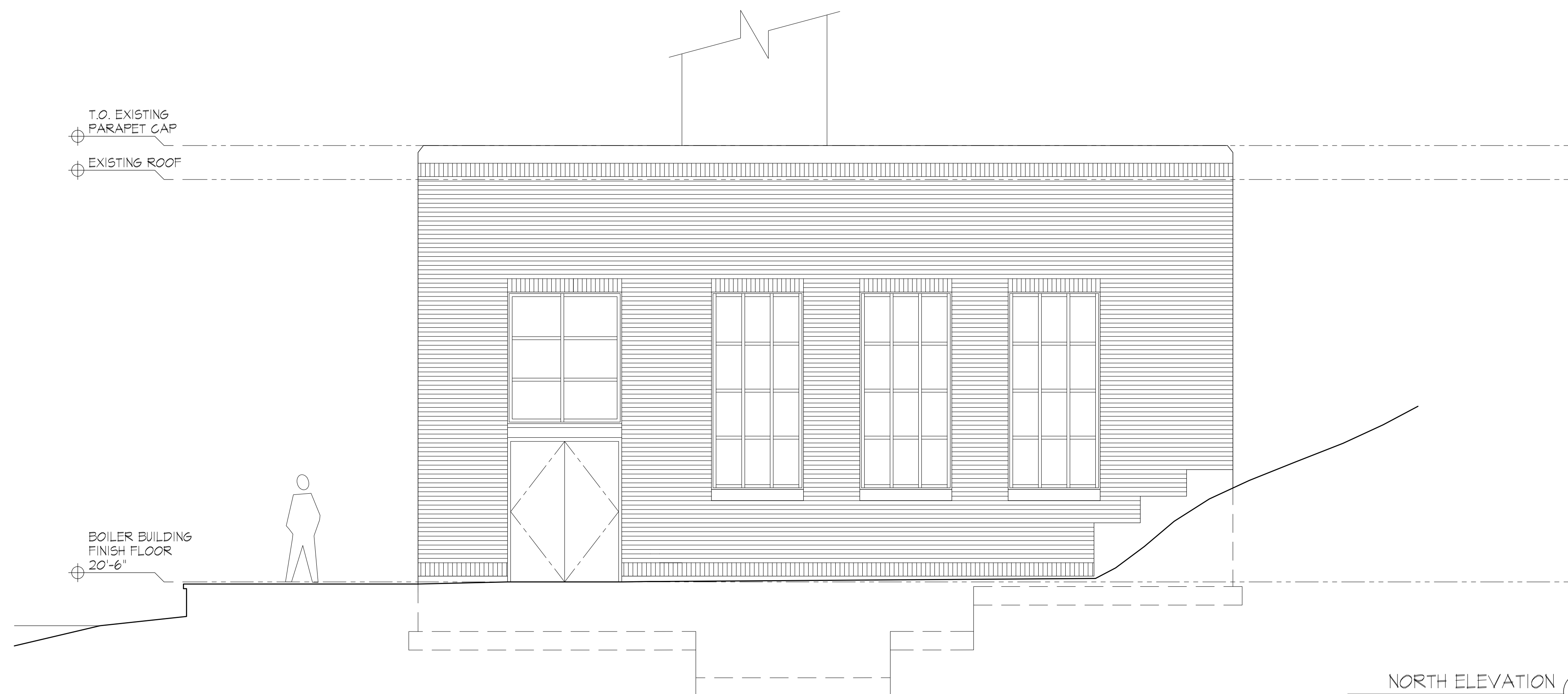
1/4" = 1'-0"



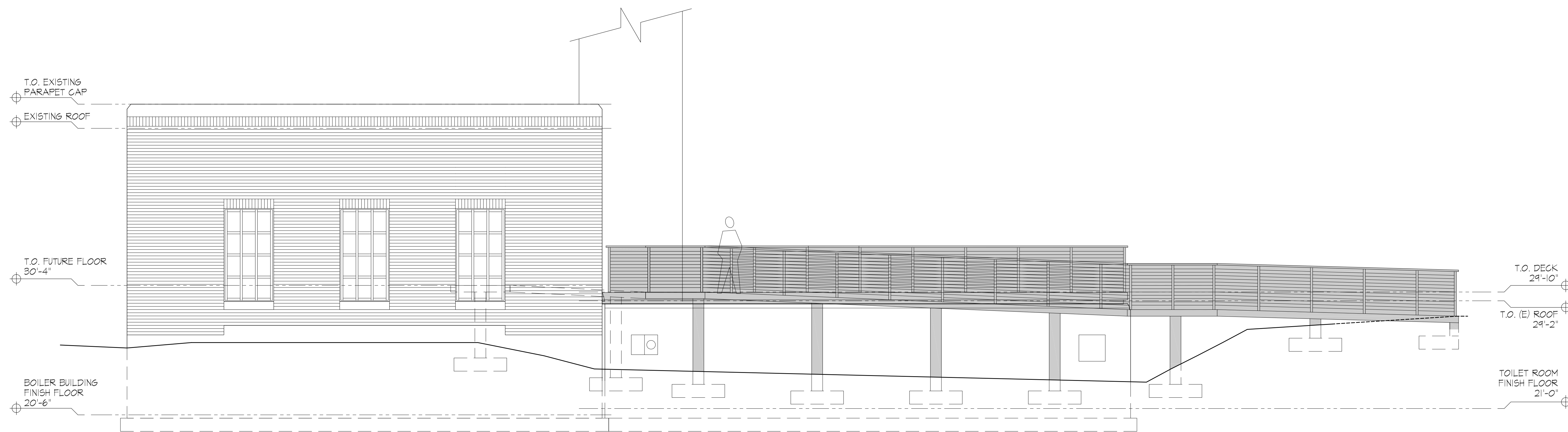
EAST ELEVATION 1

1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



NORTH ELEVATION 4
1/4" = 1'-0"



WEST ELEVATION 3
1/4" = 1'-0"

REVISIONS	

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS

2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

BUILDING
ELEVATIONS

A-042

GENERAL LEGEND

	NORTH ARROW
	DETAIL/DRAWING REFERENCE
	SECTION REFERENCE
	CONSTRUCTION NOTE
	REVISION SYMBOL
	POINT OF CONNECTION
	BOLD LINE WEIGHT INDICATES NEW WORK
	LIGHT LINE WEIGHT INDICATES EXISTING WORK
	SLASHED LINE INDICATES EXISTING WORK TO BE DEMOLISHED

PLUMBING LEGEND

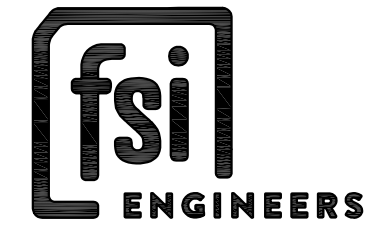
	DOMESTIC COLD WATER (CW)
	DOMESTIC HOT WATER (HW)
	DOMESTIC HOT WATER CIRCULATING (HWC)
	SOIL, WASTE (S,W)
	VENT (V)
	PIPING IDENTIFIER, SEE ABBREVIATIONS
	ELBOW DOWN
	ELBOW UP
	TEE
	TEE DN
	TEE UP
	ISOLATION OR SHUT-OFF VALVE (NO), TYPE AS SPECIFIED
	ISOLATION OR SHUT-OFF VALVE (NC), TYPE AS SPECIFIED
	BALL VALVE (NO)
	BALL VALVE (NC)
	BUTTERFLY VALVE (NO)
	BUTTERFLY VALVE (NC)
	GLOBE VALVE (NO)
	GLOBE VALVE (NC)
	THROTTLING VALVE, TYP AS SPECIFIED
	METERING BALANCING VALVE
	CHECK VALVE
	CONTROL VALVE
	PLUG VALVE
	PRESSURE REGULATING VALVE
	PRESSURE REDUCING VALVE
	PRESSURE RELIEF VALVE
	BACKFLOW PREVENTER
	CAP
	BLIND FLANGE
	EXPANSION JOINT
	REDUCER
	PRESSURE GAUGE
	STRAINER
	UNION
	PRESSURE/TEMPERATURE TAP
	TEMPERATURE GAUGE

PLUMBING ABBREVIATIONS

AW	ACID WASTE
A	AIR, COMPRESSED AIR
BOP	BOTTOM OF PIPE
C	CONDENSATE
CA	COMPRESSED AIR
CI	CAST IRON
CF	CHEMICAL FEED
CIRC	CIRCULATING
CW	CITY WATER; DOMESTIC COLD WATER
CO	CLEAN OUT
CA	COMPRESSED AIR
DI	DEIONIZED WATER
DW	DISTILLED WATER
DOM	DOMESTIC
DR	DOOR; DRAIN
DF	DRINKING FOUNTAIN
ES	EMERGENCY SHOWER
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FPHB	FREEZE PROOF HOSE BIBB
GPH	GALLONS PER HOUR
HB	HOSE BIBB
HW	DOMESTIC HOT WATER
HWC	DOMESTIC HOT WATER CIRCULATING
IPC	INTERNATIONAL PLUMBING CODE
IW	INDIRECT WASTE
JAN	JANITOR
L	LAVATORY
MV	MEDICAL VACUUM
N	NITROGEN
NG	NATURAL GAS
NO	NITROUS OXIDE; NUMBER
NPW	NON-POTABLE WATER
O	OXYGEN
PC	PUMPED CONDENSATE
PLBG	PLUMBING
PNEU	PNEUMATIC
PRV	PRESSURE REDUCING VALVE
RWL	RAIN WATER LEADER
RECIRC	RECIRCULATING
RD	ROOF DRAIN
S	SOIL
SS	SANITARY SEWER; SERVICE SINK; STAINLESS STEEL
SD	STORM DRAIN
UPC	UNIFORM PLUMBING CODE
V	VENT
VA	VALVE
VAC	VACUUM
VB	VACUUM BREAKER
VTR	VENT THRU ROOF
W	WASTE; WATER; WIDE(DIM)
WC	WATER CLOSET
WFS	WATER FLOW SWITCH
Y	WYE

PLUMBING GENERAL NOTES

1. PROVIDE COMPLETE SUPPORTS, SEISMIC AND RESTRAINTS FOR ALL PIPES AND EQUIPMENT PER SPECIFICATIONS, AS REQUIRED, AND AS SHOWN ON THE DRAWINGS.
2. PROVIDE ALL REQUIRED MISCELLANEOUS STRUCTURAL STEEL, SUPPORTS, ATTACHMENTS, AND ANCHORAGES.
3. PROVIDE ANCHOR BOLTS OF SIZE, TYPE, AND LENGTH AS REQUIRED TO SATISFY THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, THE SPECIFICATIONS, AND AS INDICATED ON DRAWINGS.
4. PROVIDE ADDITIONAL MISCELLANEOUS STRUCTURAL MEMBERS BETWEEN STRUCTURAL ELEMENTS AS REQUIRED TO RESIST FORCES AND MEET DEFLECTION REQUIREMENTS. ALL MISCELLANEOUS STRUCTURAL MEMBERS AND ANCHORAGES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. NO WELDING, BOLTING, OR OTHER MEANS OF ATTACHMENT FOR SUPPORT OR RESTRAINT SHALL BE MADE ON PORTIONS OF STRUCTURAL MEMBERS AT OR NEAR CONNECTIONS BETWEEN STRUCTURAL MEMBERS OR ON ELEMENTS DESIGNATED IN THE SEISMIC LOAD RESISTING SYSTEM UNLESS APPROVED BY THE CONTRACTING OFFICER.
5. PROVIDE MISCELLANEOUS STRUCTURAL STEEL SHOP DRAWINGS AND CALCULATIONS FOR REVIEW BY THE CONTRACTING OFFICER. ALL REQUIRED MISCELLANEOUS STRUCTURAL MEMBERS, BOLTS, AND WELDS SHALL BE DESIGNED AND MEET REQUIREMENTS OF THE SPECIFICATIONS.



Seattle // Spokane // Baltimore
Copyright © FSI consulting engineers

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA, 98101
206-624-2365 T

#2119

23 JULY 2021

PLUMBING LEGEND,
ABBREVIATIONS AND
GENERAL NOTES

P-001

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE DESCRIPTION	BRANCH PIPE SIZE - INCHES DIA.				ADDITIONAL COMPONENTS	BASIS OF DESIGN		REMARKS
		COLD WATER	HOT WATER	WASTE	VENT		MANUFACTURER	MODEL	
LAV-1	WALL-HUNG DUAL-BASIN LAVATORY	1/2"	1/2"	1 1/2"	1 1/4"	INTEGRATED FAUCET; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT	ACORN MERIDIAN	3712	ADA COMPLIANT STAINLESS STEEL
WC-1	WALL-HUNG WATER CLOSET (FLUSH VALVE)	1"	-	4"	2"	SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; BEMIS ELONGATED OPEN-FRONT SEAT	ACORN MERIDIAN	2141	ADA COMPLIANT STAINLESS STEEL
UR-1	WALL-HUNG URINAL	3/4"	-	2"	1 1/2"	SLOAN ROYAL FLUSH VALVE; VACUUM BREAKER TRAP PRIMER; MOUNT WITH JAY R. SMITH CONCEALED SUPPORT	ACORN	2158	ADA COMPLIANT STAINLESS STEEL
DF-1	DRINKING FOUNTAIN & BOTTLE FILLER	1/2"	-	1 1/4"	1 1/4"	-FRA2: FREEZE RESISTANT VALVE	MURDOCK	GYE14-R-FRA2-316	ADA COMPLIANT STAINLESS STEEL DRINKING FOUNTAIN WITH BOTTLE FILLER
FD-1	FLOOR DRAIN	-	-	2"	1 1/2"	ROUND NICKEL-BRONZE STRAINER, NO-HUB OUTLET AND TRAP PRIMER CONNECTION	JAY R. SMITH	2005Y	
KS-1	SINGLE COMPARTMENT KITCHEN SINK	1/2"	1/2"	2"	1 1/2"	FAUCET: ELKAY #LK940A08L2S DRAIN: ELKAY #LK-99 (WITH REMOVABLE STRAINER BASKET)	ELKAY	#14-1C16X20-0X	
HB-1	FREEZE-PROOF HOSE BIB	3/4"	-	-	-		JAY R. SMITH	#5609QT	1/4 TURN NON FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER

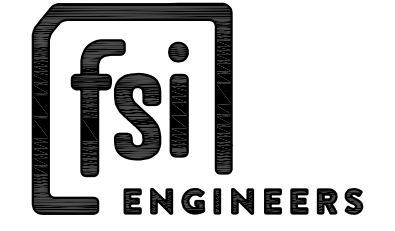
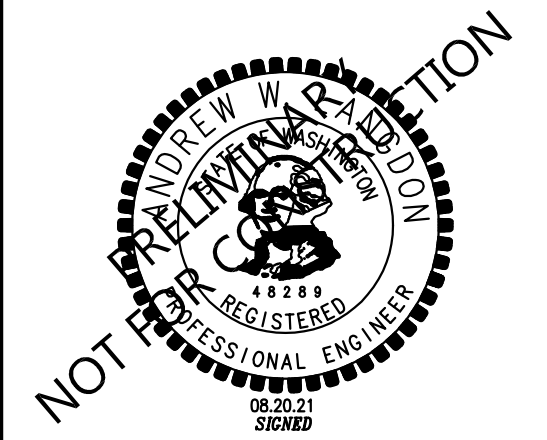
PUMP SCHEDULE

CALLOUT		LOCATION	SERVICE	PUMP				FLUID		MOTOR			ELECTRICAL			BASIS OF DESIGN		NOTES	
TYPE	MARK			TYPE	IMPELLER DIAMETER (IN)	RPM	FLOW (GPM)	TOTAL HEAD (FT)	TYPE [1]	TEMP (DEG F)	SPEED	HP	BHP	V	HZ	Ø	MANUFACTURER		MODEL
P	1	VAULT	VAULT SUMP	DUPLEX SUMP		1160	60	15	WATER	-	1750	1	-	460	60	3	WEIL	2554	[1] [2]

SCHEDULE NOTES:
 [1] STAINLESS STEEL CONSTRUCTION
 [2] PROVIDE WITH REMOVAL SYSTEM, FLOATS, ALARM, AND CONTROL PANEL

WATER HEATER SCHEDULE

CALLOUT		SERVICE	LOCATION	TYPE	CAPACITY (GPM)	TEMP RISE (F)	ELECTRICAL				BASIS OF DESIGN		REMARKS	
TYPE	MARK						INPUT KW	AMPS	V	HZ	Ø	MANUFACTURER		MODEL
IWH	1	CONCESSIONS HW	CONCESSIONS	POINT OF USE	1	51	7.5	32	240	60	3	EEMAX	SPEX75T S	
IWH	2	MENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	3	EEMAX	SPEX75T ML	
IWH	3	WOMENS RESTROOM HW	PIPE CHASE	POINT OF USE	1	51	7.5	32	240	60	3	EEMAX	SPEX75T ML	



Seattle // Spokane // Baltimore
 Copyright © FSI consulting engineers

REVISIONS

**LUTHER BURBANK PARK
 BOILER BUILDING
 RENOVATIONS**
 2040 84TH AVENUE SE
 MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2119

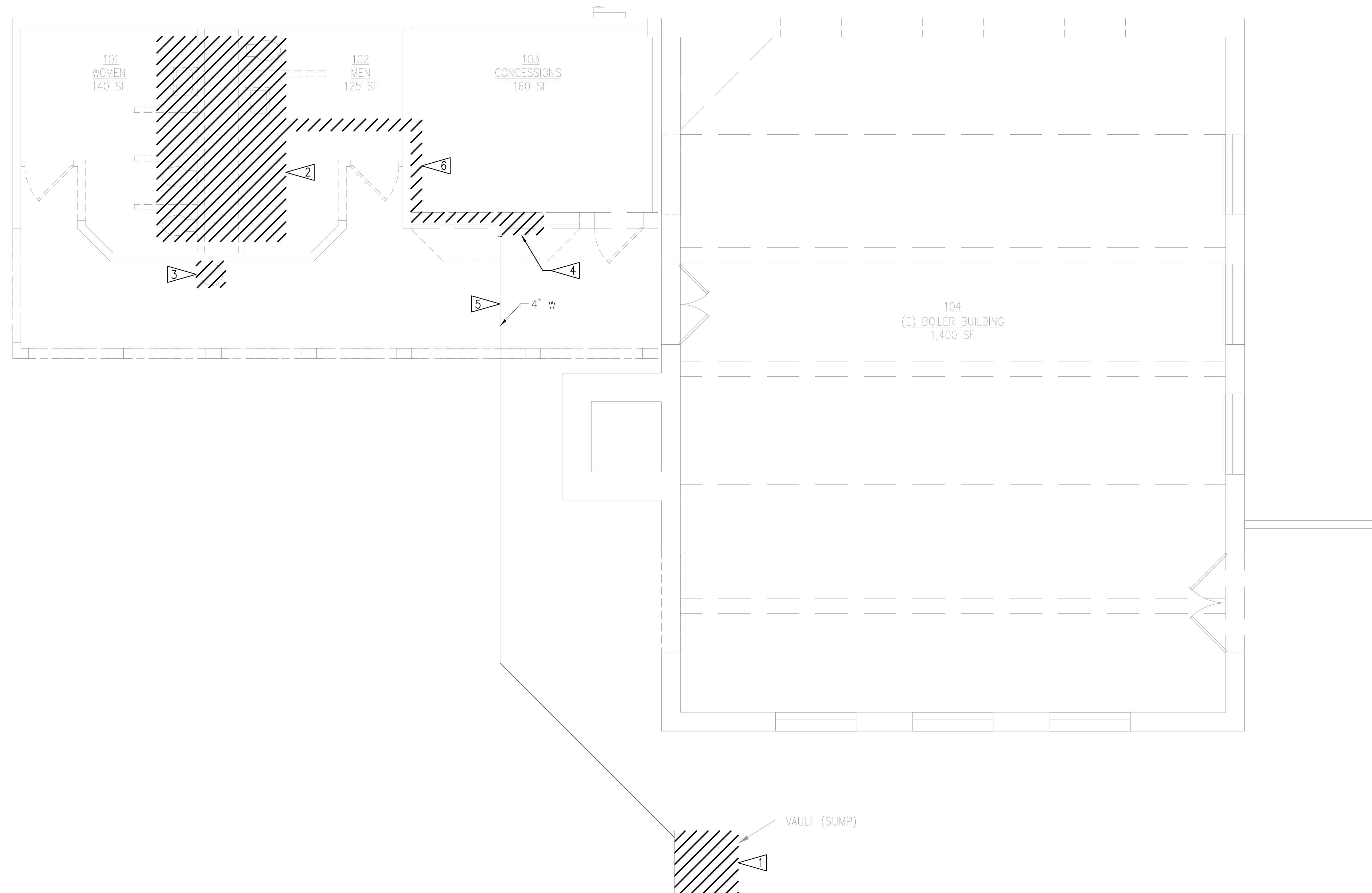
23 JULY 2021

PLUMBING SCHEDULES

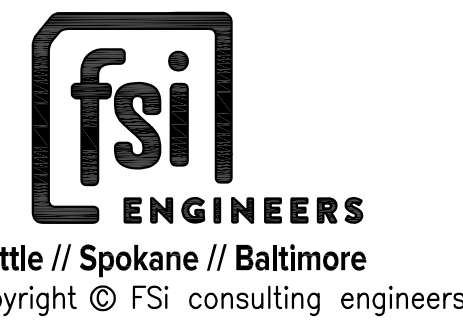
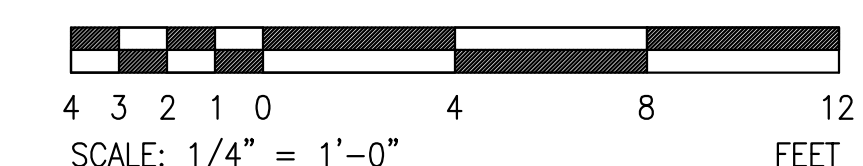
P-002

DEMOLITION NOTES

- 1 REMOVE SUMP PUMP AND ALL ASSOCIATED PIPING, FLOATS, VALVES, AND PIPING APPURTENANCES.
- 2 REMOVE ALL PLUMBING FIXTURES, ABOVE AND BELOW GROUND PIPING, VALVES, AND PIPING APPURTENANCES.
- 3 REMOVE DRINKING FOUNTAIN AND HOSE BIB.
- 4 REMOVE FLOOR SINK AND HOSE BIB. REMOVE CW PIPING FOR HOSE BIB. CAP EXISTING 2" CW PIPING ABOVE FLOOR FOR INSTALL PHASE.
- 5 FIELD LOCATE EXISTING WASTE PIPING RUNNING FROM BATHROOMS/CONCESSIONS ROOM TO VAULT (SUMP). VERIFY PIPING IS AT LEAST 4". IF LESS THAN 4", REMOVE WASTE PIPING.
- 6 REMOVE CW PIPING RUNNING FROM PIPE CHASE.



1 PLUMBING FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

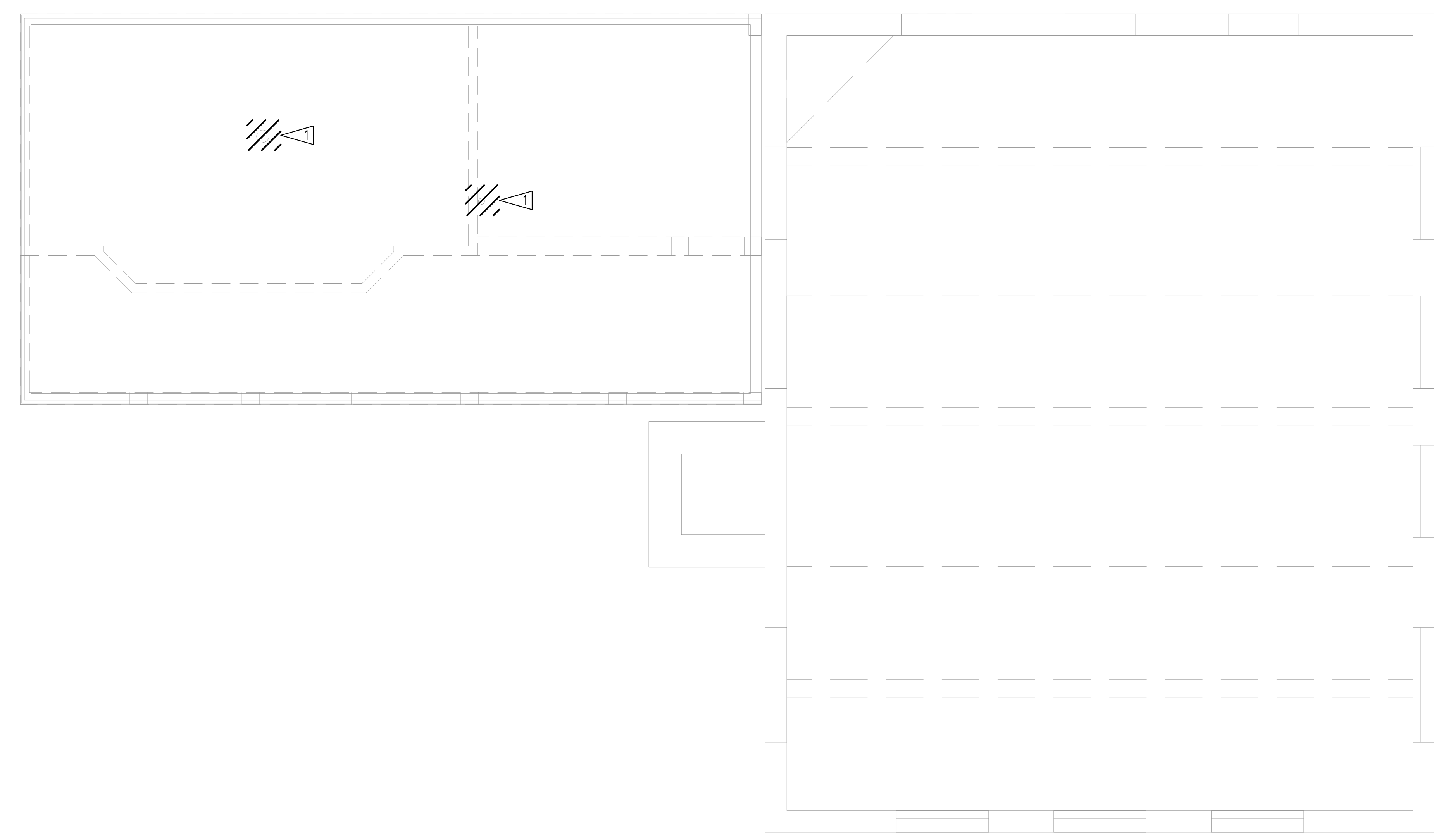


#2119
23 JULY 2021
PLUMBING
FIRST FLOOR
DEMO PLAN

PD-011

DEMOLITION NOTES

▽ REMOVE VENT, SEAL PENETRATION.



REVISIONS

LUTHER BURBANK PARK
 BOILER BUILDING
 RENOVATIONS
 2040 84TH AVENUE SE
 MERCER ISLAND, WA 98040

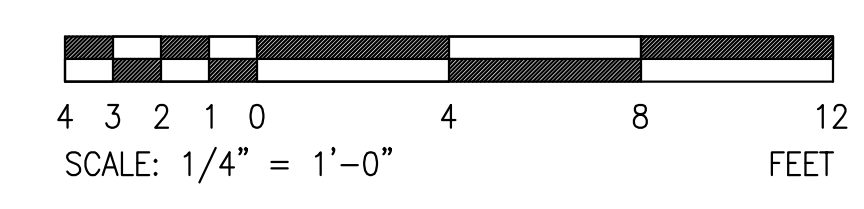
CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2119
 23 JULY 2021

PLUMBING
 SECOND FLOOR
 DEMO PLAN

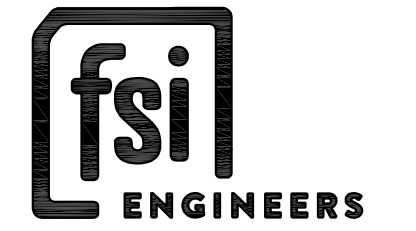
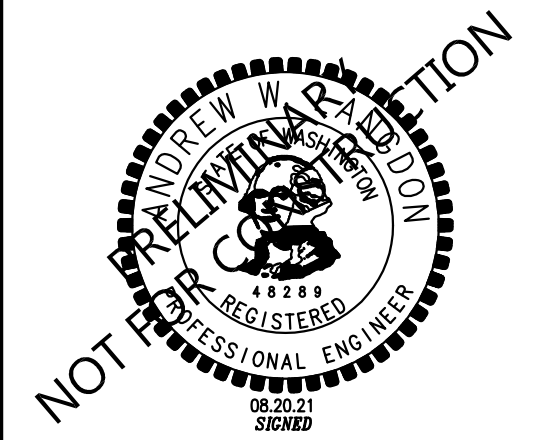
PD-012

1 PLUMBING SECOND FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES

FIELD LOCATE EXISTING WASTE PIPING RUNNING FROM BATHROOMS/CONCESSIONS ROOM TO VAULT (SUMP). VERIFY PIPING IS AT LEAST 4". IF LESS THAN 4", PROVIDE 4" WASTE PIPING. CONNECT NEW WASTE PIPING TO THIS EXISTING (OR NEW) PIPING.



Seattle // Spokane // Baltimore
Copyright © FSI consulting engineers

REVISIONS

NO.	DESCRIPTION

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

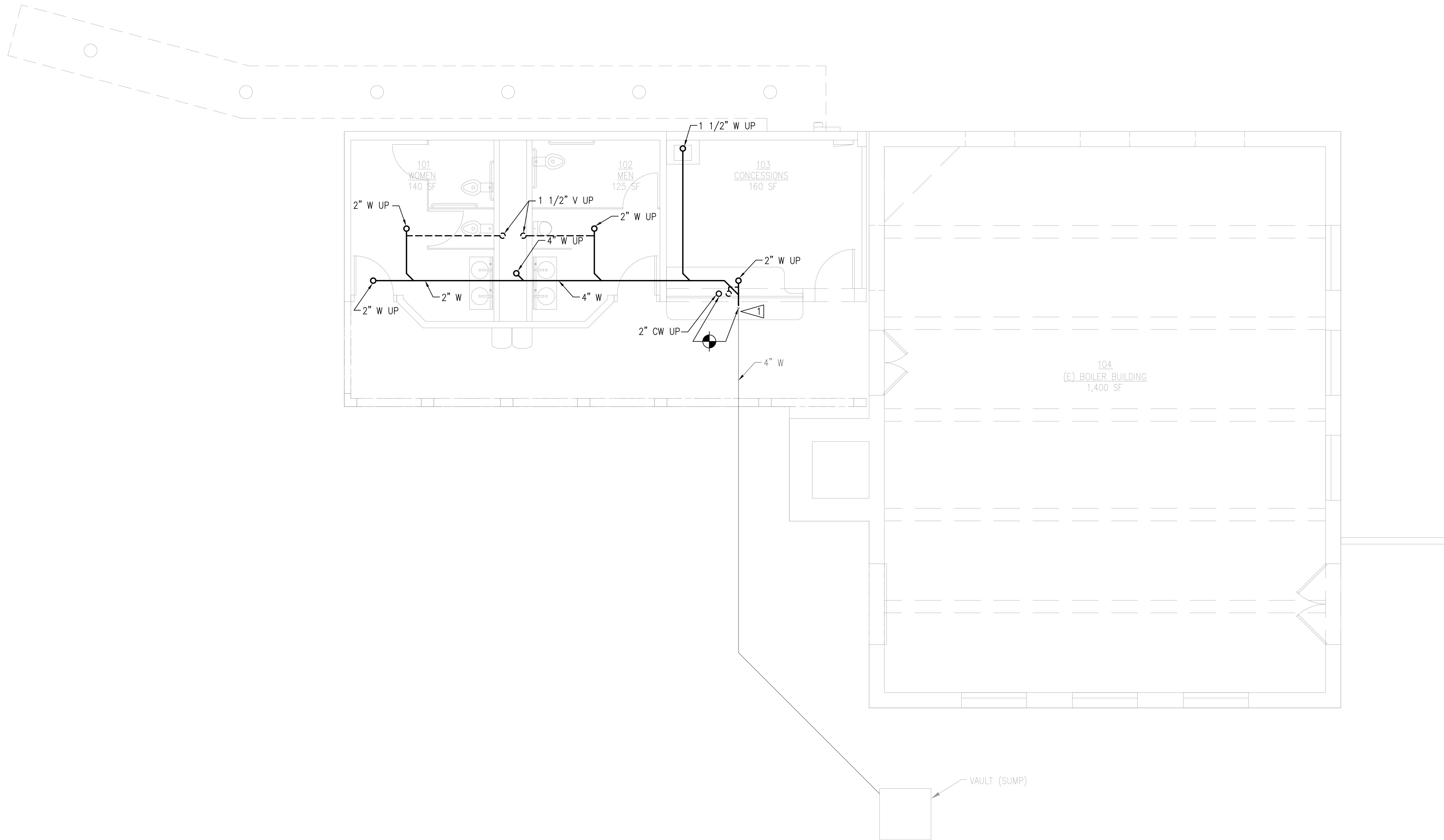


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

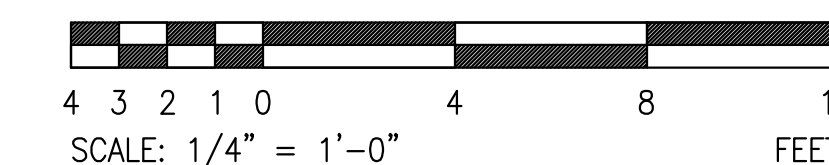
#2119
23 JULY 2021

PLUMBING
UNDERGROUND
PLAN

P-010

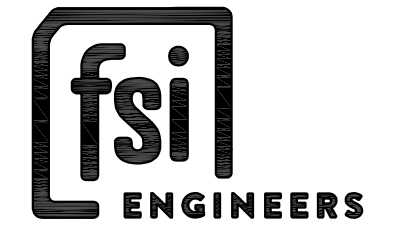
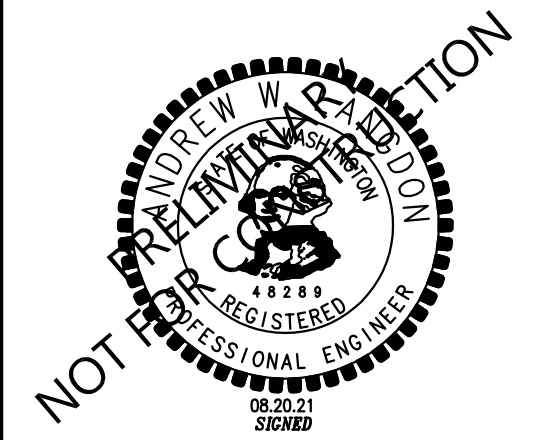


1 PLUMBING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES

- 1 PROVIDE PUMP P-1, PIPING, VALVES, FLOATS, CONTROL PANEL, AND PIPING APPURTENANCES.
- 2 PROVIDE IWH-1 UNDERNEATH KS-1.
- 3 PROVIDE IWH-2 AND IWH-3 IN PIPE CHASE BEHIND LAV-1.
- 4 PROVIDE INSULATION AND HEAT TRACING FOR ALL CW AND HW PIPING IN ALL ROOMS.
- 5 TIE 2 1/2" VENT INTO EXISTING VTR. IF VTR IS LESS THAN 3", PROVIDE 3" VTR.



Seattle // Spokane // Baltimore
Copyright © FSI consulting engineers

REVISIONS

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

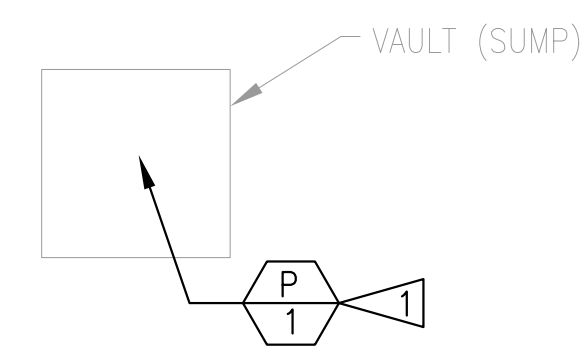
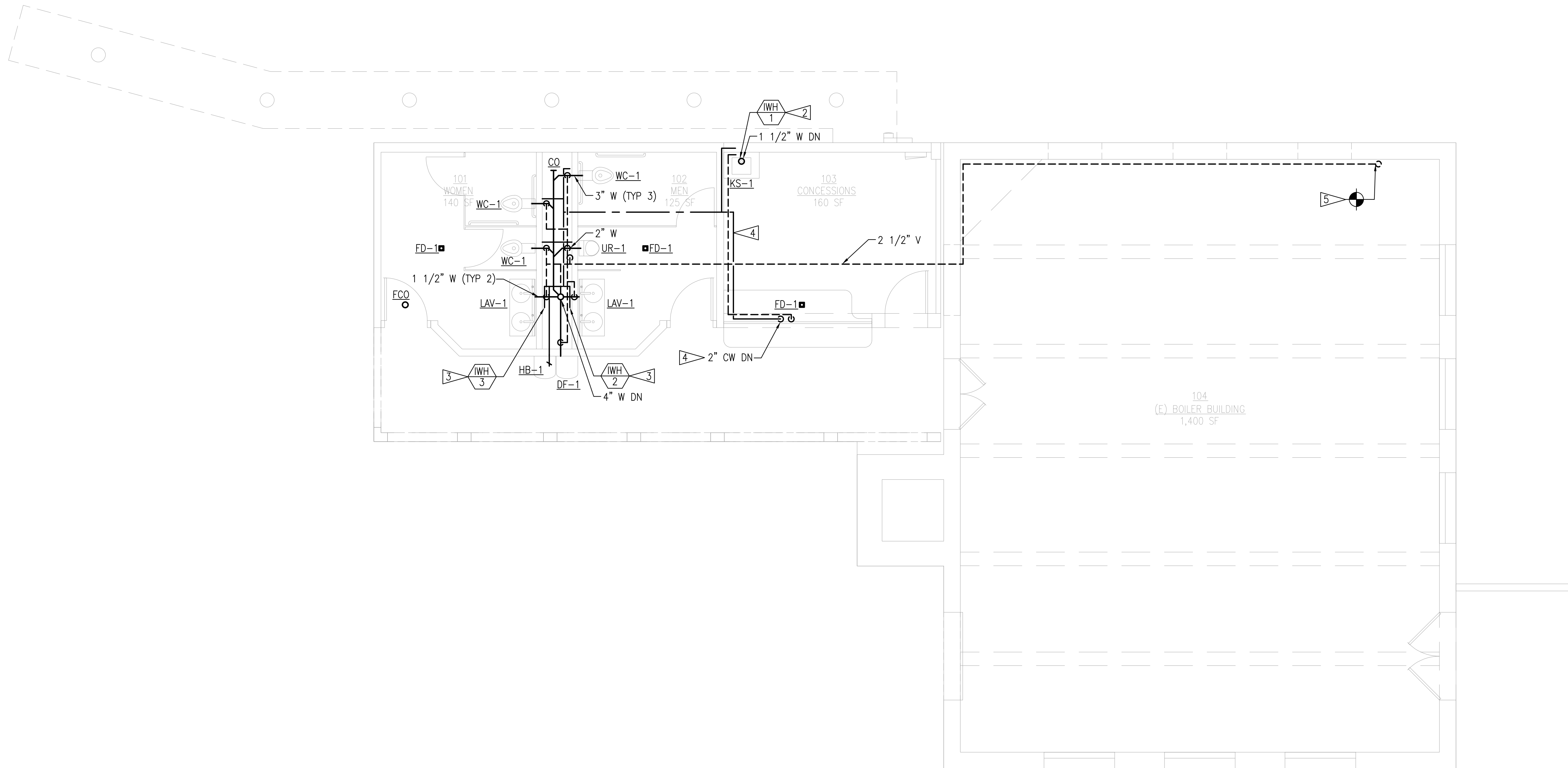
CARDINAL
ARCHITECTURE PC

1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

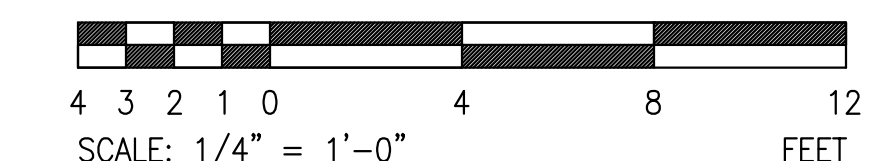
#2119
23 JULY 2021

PLUMBING
FIRST FLOOR
PLAN

P-011

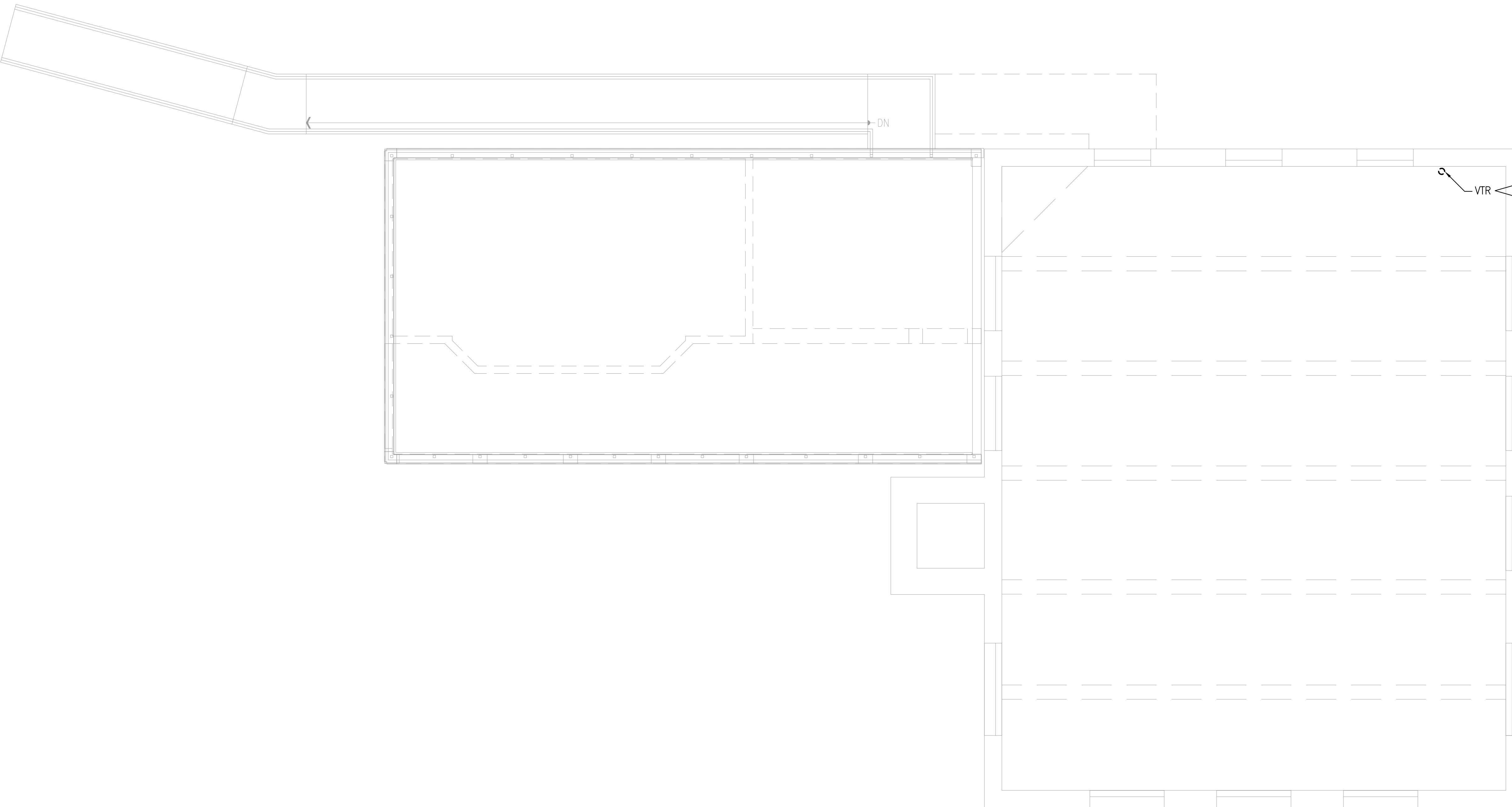


1 PLUMBING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

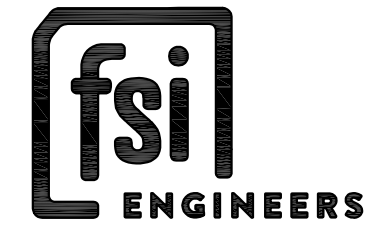
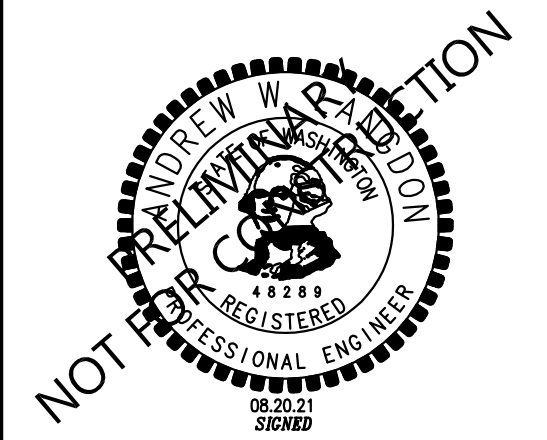
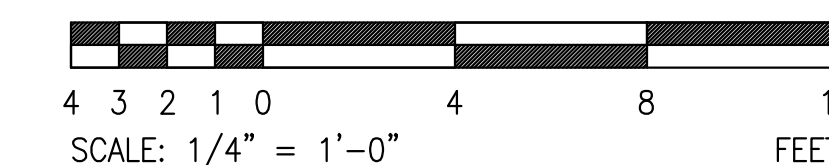


CONSTRUCTION NOTES

▽ ENSURE EXISTING VENT IS AT LEAST 3". IF LESS THAN 3", PROVIDE 3" VENT.



1 PLUMBING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



Seattle // Spokane // Baltimore
Copyright © FSI consulting engineers

REVISIONS

NO.	DESCRIPTION

**LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS**
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

PLUMBING
SECOND FLOOR
PLAN

P-012

PRELIMINARY
NOT FOR CONSTRUCTION

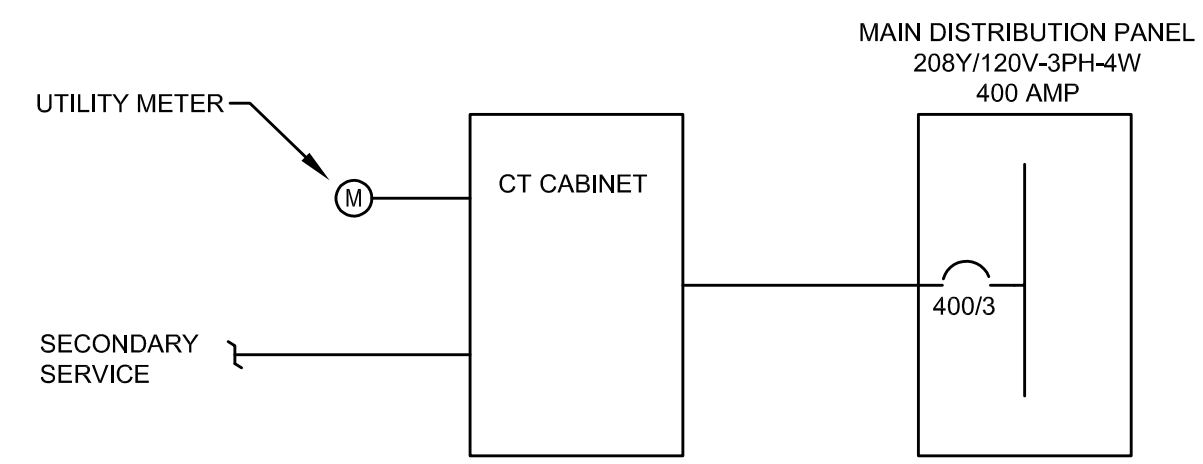


Travis Fitzmaurice Wartelle
Balange Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109

p: 206-285-7228 | info@tfwb.com

REVISIONS

NO.	DESCRIPTION



ONE LINE DIAGRAM
NTS

ELECTRICAL NARRATIVE:

ESTABLISH NEW POWER TO BUILDING. ALL WORK FOR SERVICE IN COMPLIANCE WITH APPLICABLE PUGET SOUND ENERGY (PSE) STANDARDS AND REQUIREMENTS. PROVIDE NEW MAIN DISTRIBUTION PANEL. PANEL AND SERVICE ARE SIZED TO ACCOMMODATE LOADS ASSOCIATED WITH THIS PROJECT, IRRIGATION PUMP, EXISTING BUILDING LOADS, AND ANTICIPATED FUTURE LOADS INCLUDING AN ADDED CLASSROOM AND ELEVATOR.

PROVIDE LIGHTING AND LIGHTING CONTROLS FOR TOILET ROOMS AND CONCESSION ROOMS. PROVIDE EXTERIOR LIGHTING FOR OUTDOOR CLASSROOMS, RAMP AND OTHER PATHWAYS. LIGHTING CONTROLS IN COMPLIANCE WITH WASHINGTON STATE ENERGY CODE REQUIREMENTS.

PROVIDE BRANCH CIRCUITRY AS REQUIRED FOR RECEPTACLES, APPLIANCES, EQUIPMENT AND HVAC UNITS.

PROVIDE DATA OUTLET IN CONCESSIONS ROOM TO SUPPORT POINT OF SALE NETWORK CONNECTION.

- LEGEND**
- CONDUIT CONCEALED IN CEILING OR WALLS
 - CONDUIT CONCEALED UNDERGROUND OR UNDER FLOOR
 - HOME RUN TO DESTINATION INDICATED. 3/4" MINIMUM UNLESS NOTED OTHERWISE.
 - SURFACE OR PENDANT MOUNTED LIGHT FIXTURE
 - WALL MOUNTED FIXTURE
 - COMBINATION EXIT SIGN AND EMERGENCY LIGHT TYPE X2
 - WALL SWITCH
 - WALL SWITCH WITH INTEGRAL OCCUPANCY SENSOR
 - OCCUPANCY SENSOR
 - DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE ABOVE COUNTER
 - DOUBLE DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE GFI TYPE
 - WEATHERPROOF DUPLEX RECEPTACLE (GFI TYPE)
 - DRYER OUTLET
 - EQUIPMENT CONNECTION
 - MOTOR CONNECTION
 - DISCONNECT SWITCH
 - FUSED DISCONNECT SWITCH
 - JUNCTION BOX
 - EXIST DEVICE/FIXTURE AS INDICATED
 - EXIST DEVICE/FIXTURE AS INDICATED TO BE REMOVED
 - CIRCUIT BREAKER
 - SWITCH
 - FUSED SWITCH
 - FUSE
 - TRANSFORMER
 - GROUNDING PER CODES
 - 2-PORT DATA OUTLET
 - 208V PANEL
 - FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR
 - FOIO FURNISHED BY OWNER INSTALLED BY OWNER
 - GFI GROUND FAULT CIRCUIT INTERRUPTER
 - WP WEATHERPROOF
 - DETAIL INDICATOR WITH SHEET WHERE DRAWN INDICATED
 - AVAILABLE FAULT CURRENT AS INDICATED
 - FLAG NOTE

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

LEGEND - ELECTRICAL

E-001



PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

SITE PLAN
- ELECTRICAL

E-010

PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

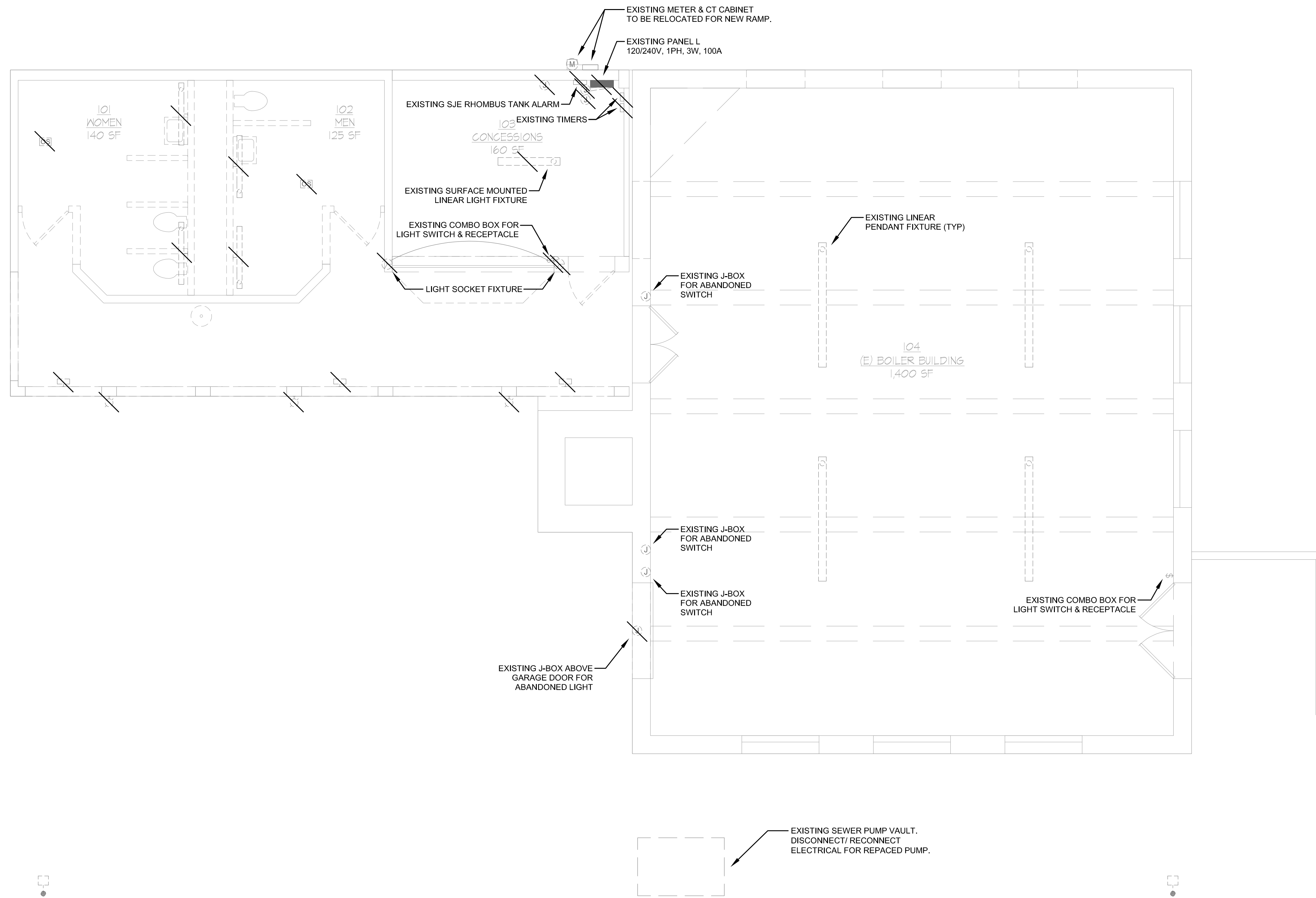


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

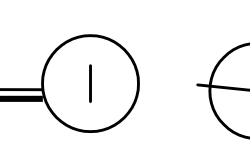
SELECTIVE DEMO
FIRST FLOOR PLAN
- LIGHTING

ED-011



SELECTIVE DEMO FIRST FLOOR PLAN - LIGHTING

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balange Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



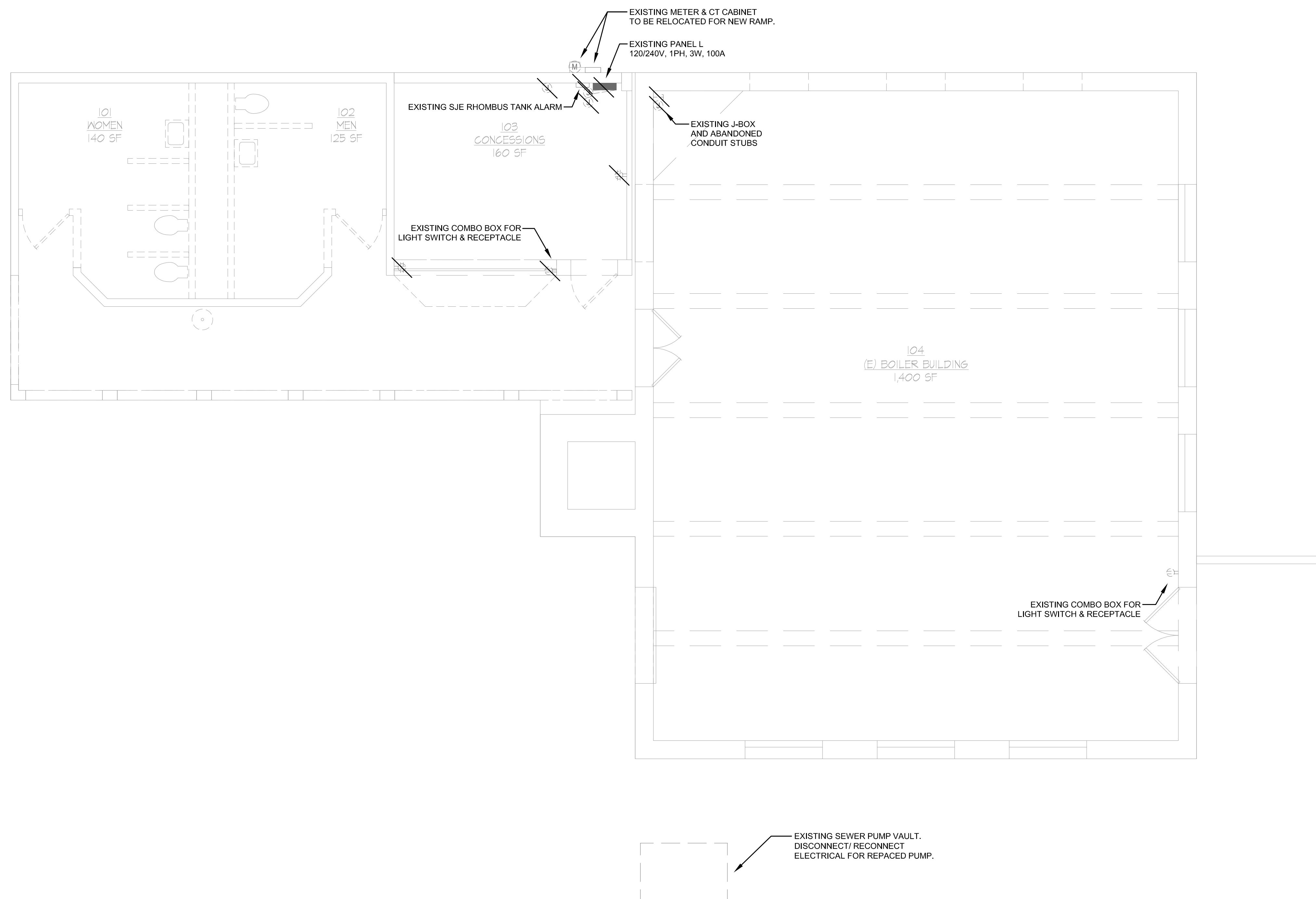
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

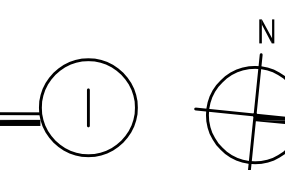
SELECTIVE DEMO
FIRST FLOOR PLAN
- POWER

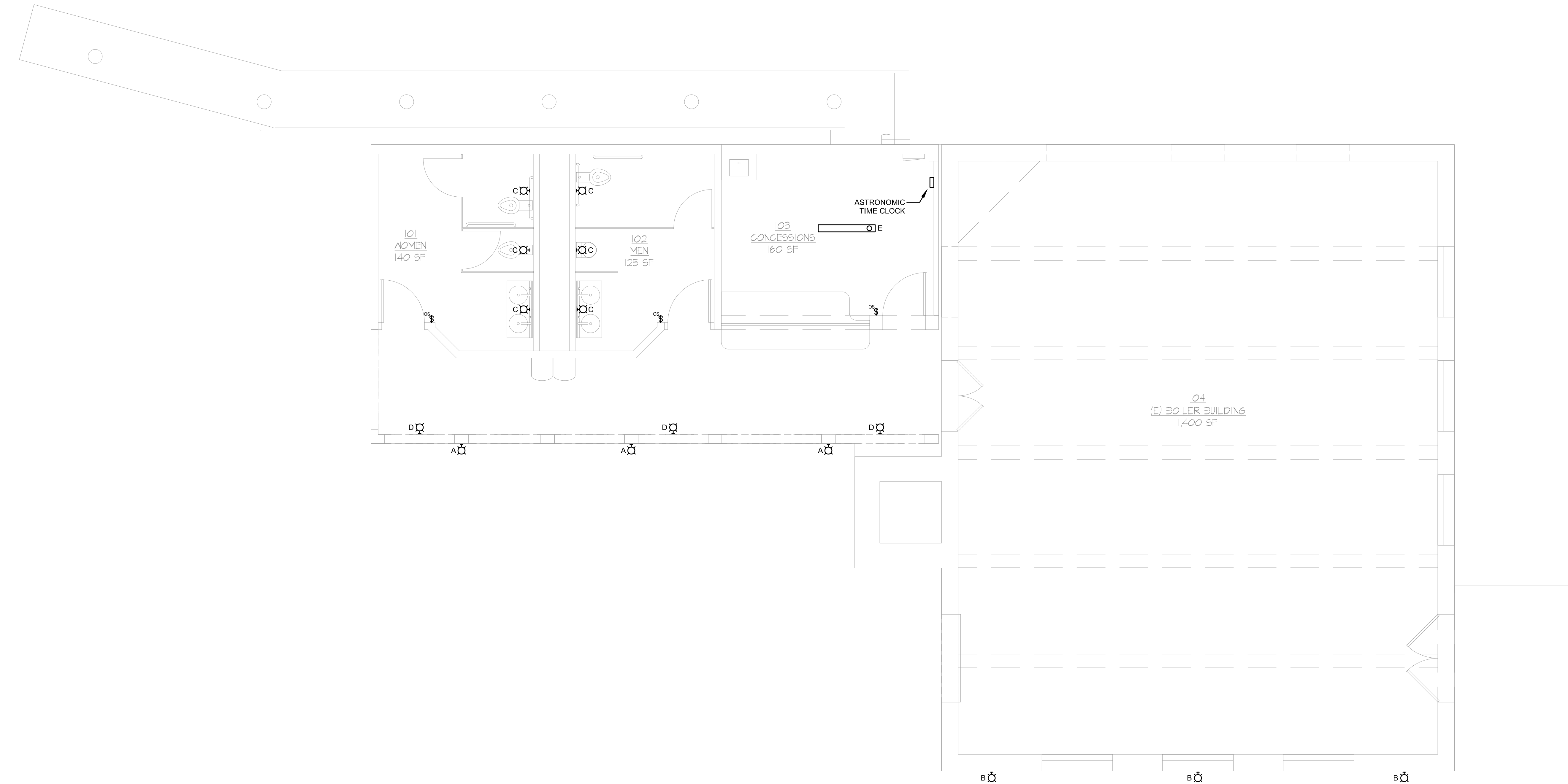
ED-012



SELECTIVE DEMO FIRST FLOOR PLAN - POWER

1/4" = 1'-0"





- GENERAL NOTES:**
1. ALL NEW EXTERIOR LIGHTING SHALL BE CONTROLLED VIA ASTRONOMIC TIME CLOCK LOCATED IN CONCESSIONS 105.

PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

FIRST FLOOR PLAN
- LIGHTING

E-021

FIRST FLOOR PLAN - LIGHTING 1
1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

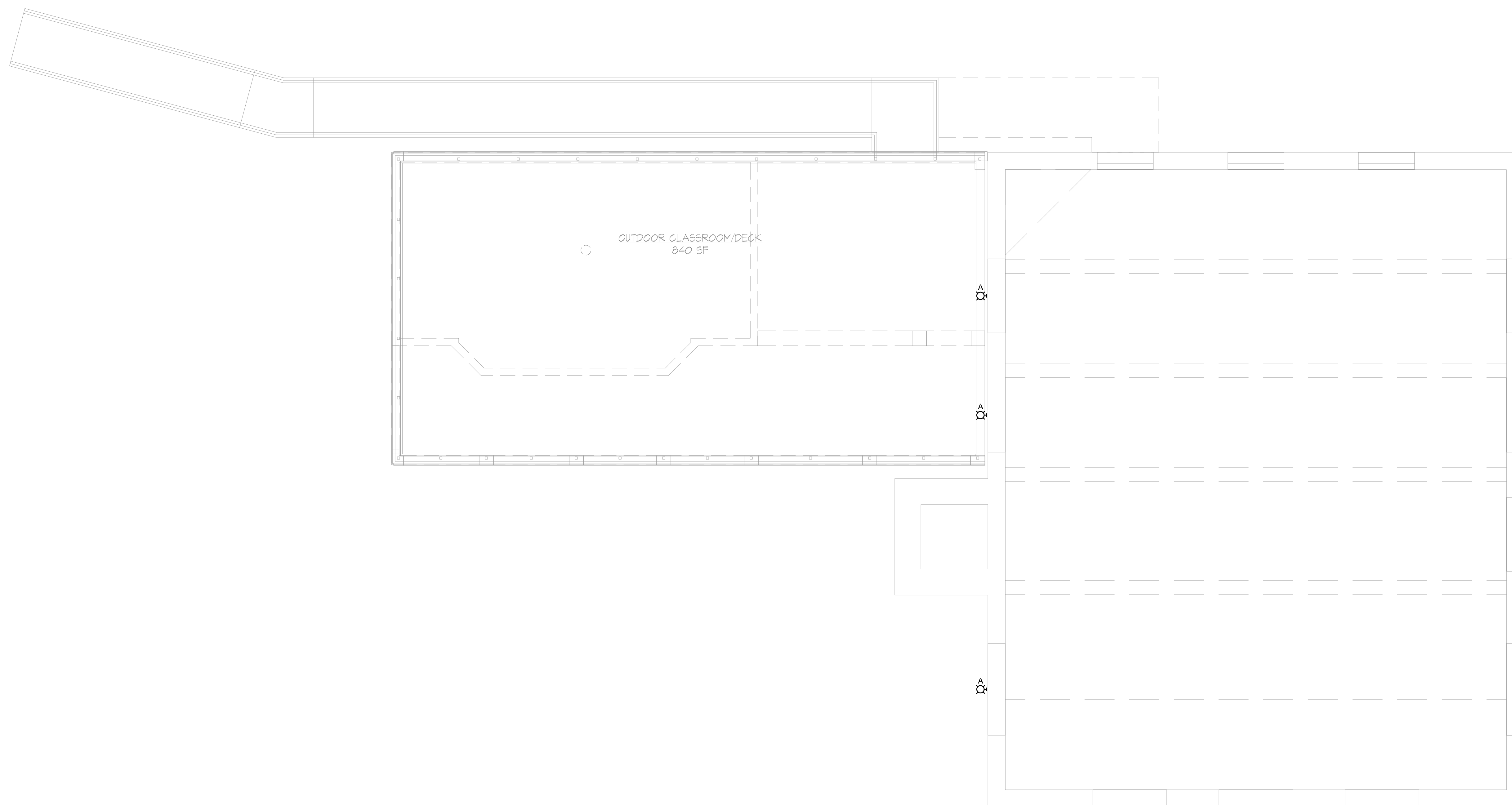


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

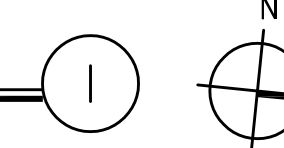
2ND FLOOR PLAN
- LIGHTING

E-022



SECOND FLOOR PLAN - LIGHTING

1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



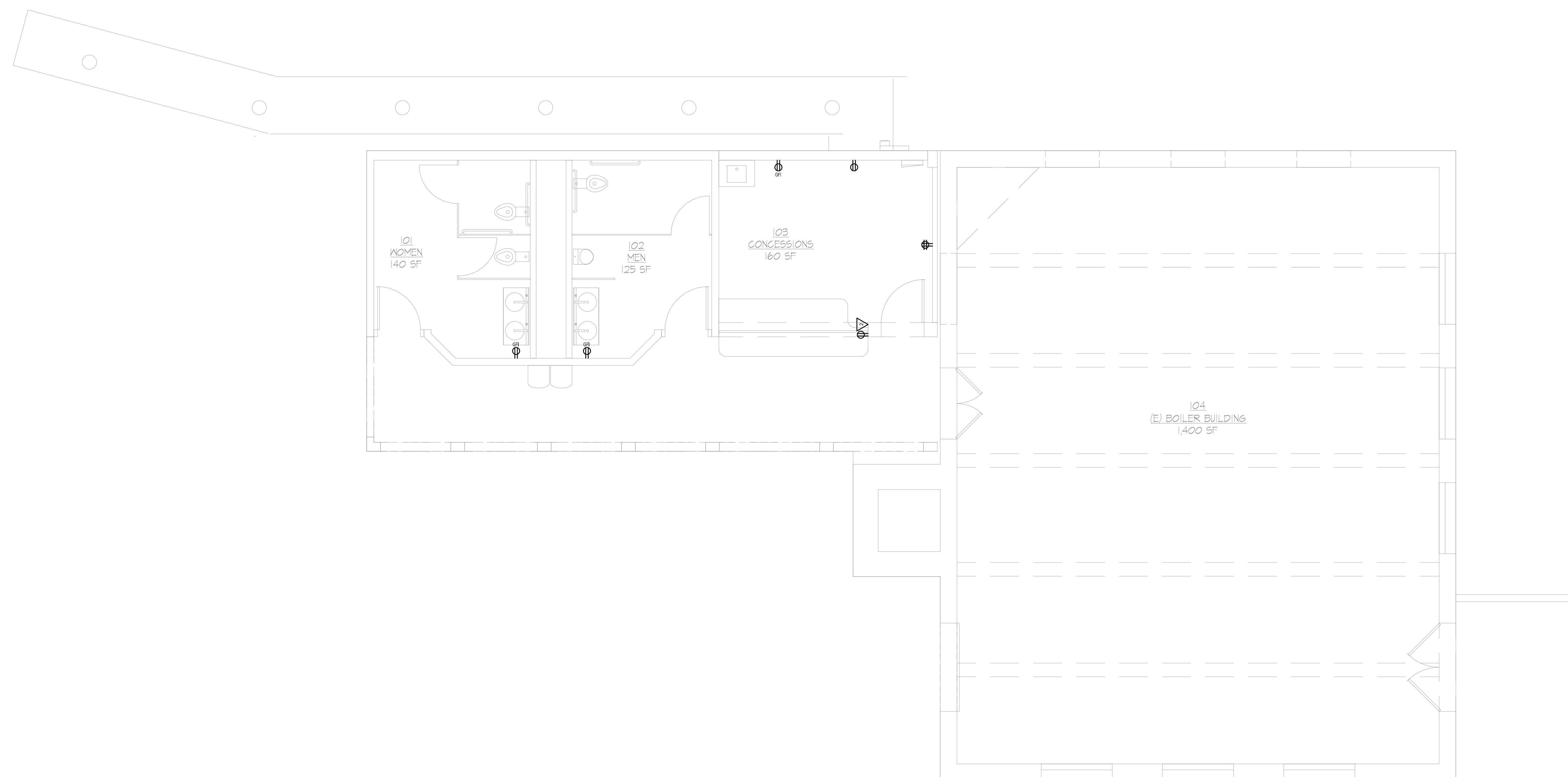
1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119

23 JULY 2021

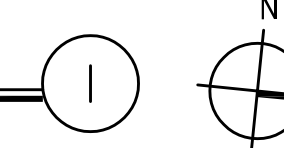
FIRST FLOOR PLAN
- ELECTRICAL

E-031



FIRST FLOOR PLAN - POWER

1/4" = 1'-0"



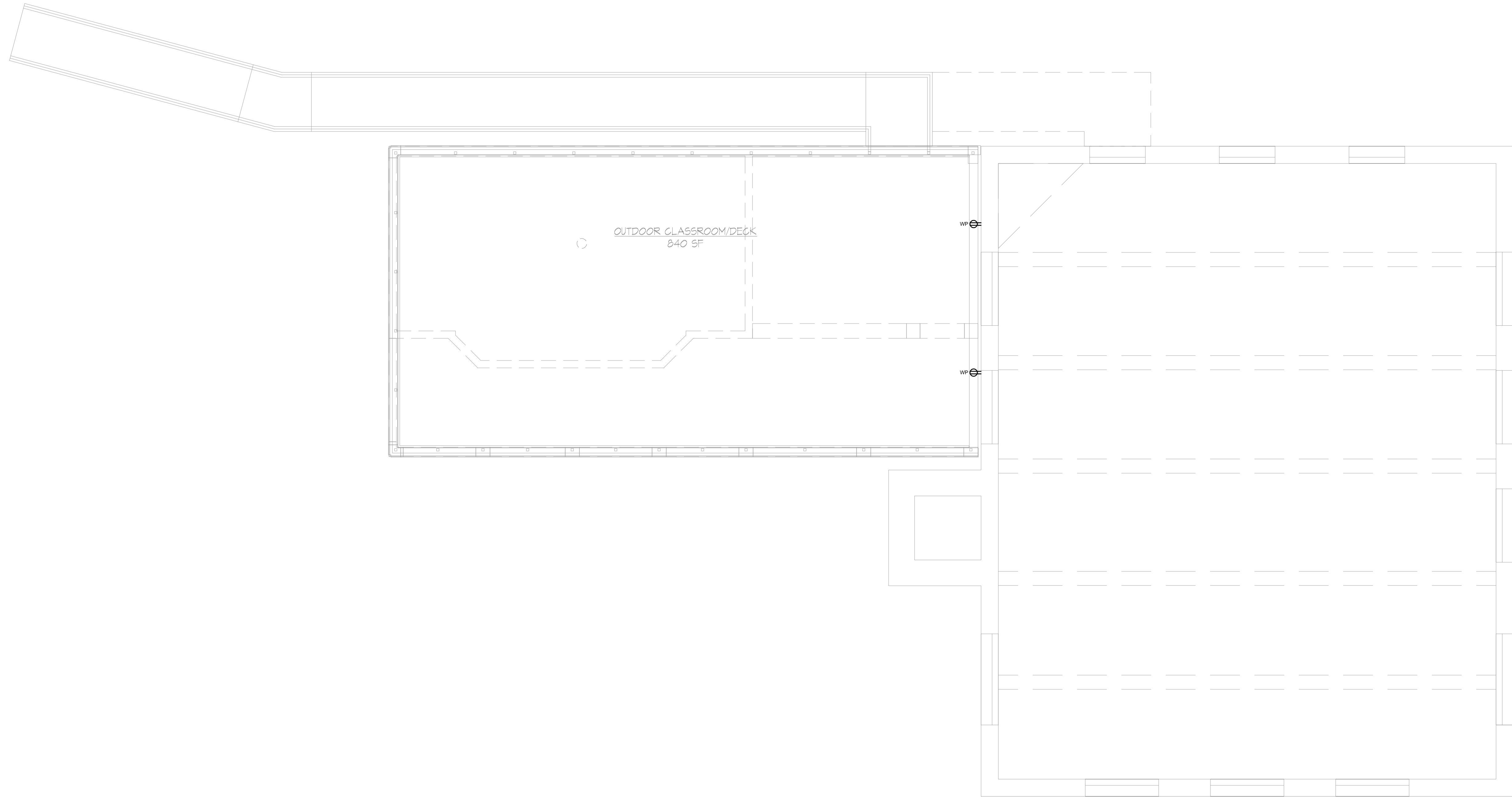
PRELIMINARY
NOT FOR CONSTRUCTION



Travis Fitzmaurice Wartelle
Balague Engineers Inc.
1200 Westlake Ave. N., #509
Seattle, WA 98109
p: 206-285-7228 | info@tfwb.com

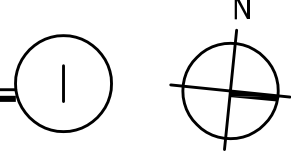
REVISIONS

NO.	DESCRIPTION	DATE



SECOND FLOOR PLAN - POWER

1/4" = 1'-0"



C:\Users\luther_burbank\OneDrive\Documents\2021\07\20210723\20210723_001.dwg
2/23/2021 12:03 PM

LUTHER BURBANK PARK
BOILER BUILDING
RENOVATIONS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2119
23 JULY 2021

2ND FLOOR PLAN
- ELECTRICAL

E-032