

TOWN OF MEAD COMMUNITY CENTER

SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
07/21/23



ESSENZA
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LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

CERTIFICATE OF OWNERSHIP AND DEDICATION

THE TOWN OF MEAD IS THE OWNER OF CERTAIN LANDS DESCRIBED BELOW, AND BY THIS PLAT, HAS CAUSED SAID LAND TO BE RESUBDIVIDED AND CONSOLIDATED INTO ONE (1) LOT UNDER THE NAME OF MEAD COMMUNITY CENTER SUBDIVISION.

THE TOWN OF MEAD IS THE OWNER OF CERTAIN LANDS IN MEAD, COLORADO, DESCRIBED HEREIN, AND BY THIS PLAT, AS APPLICABLE: (1) HAS CAUSED SAID LAND TO BE REPLATTED INTO LOTS, BLOCKS, TRACTS, STREETS, OR OTHER DESIGNATED PARCELS, AS APPLICABLE, UNDER THE NAME OF MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT, AND (2) HEREBY DEDICATES AND GRANTS FOR THE PUBLIC BENEFIT SUCH EASEMENTS AS ARE DEPICTED OR BY NOTE OR NOTATION REFERENCED HEREON (EXCEPT THOSE OF PRIOR RECORD), FOR THE USES AND PURPOSES SO INDICATED, ALONG WITH THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR THE PURPOSE NAMED ON THE EASEMENT, INCLUDING AS APPLICABLE THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY ONES AND/OR FACILITIES OR SERVICES CONSISTENT WITH THE PURPOSE OF THE EASEMENT, BY THE TOWN OR APPLICABLE UTILITY/SERVICE PROVIDER OR ENTITY. THE TOWN DOES NOT ACCEPT ANY DUTY OF MAINTENANCE OF THE EASEMENTS, OR OF IMPROVEMENTS IN THE EASEMENTS THAT ARE NOT OWNED BY THE TOWN, AND FURTHER RESERVES THE RIGHT TO REMOVE OR REQUIRE THE OWNER(S) OF IMPROVEMENTS IN THE EASEMENTS TO REMOVE, AT THE EXPENSE OF THE OWNER(S), ANY OBJECTS IN THE EASEMENTS THAT INTERFERE WITH THEIR USE AND ENJOYMENT FOR THEIR INTENDED PURPOSE. THE RIGHTS GRANTED TO THE TOWN BY THIS PLAT INURE ALSO TO THE BENEFIT OF ITS AUTHORIZED AGENTS, LICENSEES, PERMITTEES AND ASSIGNS. ALL CONDITIONS, TERMS, WARRANTIES, REPRESENTATIONS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED HEREIN SHALL BE BINDING ON THE OWNER AND THE SUCCESSORS AND ASSIGNS OF THE OWNER.

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH PM., TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE WESTERLY LINE OF VACATED FAIRBAIRN AVENUE AS DESCRIBED IN THE RECORDS OF WELD COUNTY ON MAY 7, 2001, AT REC. NO. 2846383, AND THE EASTERLY LINE OF A 20' WIDE PLATTED ALLEY, BLOCK 7, TOWN OF MEAD AS DESCRIBED IN THE RECORDS OF WELD COUNTY ON FEBRUARY 12, 1906, AT RECEPTION NO. 106433 TO BEAR NORTH 00°32'45" WEST, A DISTANCE OF 379.17 FEET BETWEEN A FOUND #4 REBAR WITH 1 1/2" ALUMINUM CAP, "FLATIRONS SURV 29038" AT THE SOUTHWEST CORNER OF SAID VACATED FAIRBAIRN AVENUE AND A FOUND #4 REBAR WITH A 1" BROKEN YELLOW PLASTIC CAP, ILLEGIBLE AT THE NORTHWEST CORNER OF LOT 1, SAID BLOCK 7, AS SHOWN HEREON, COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

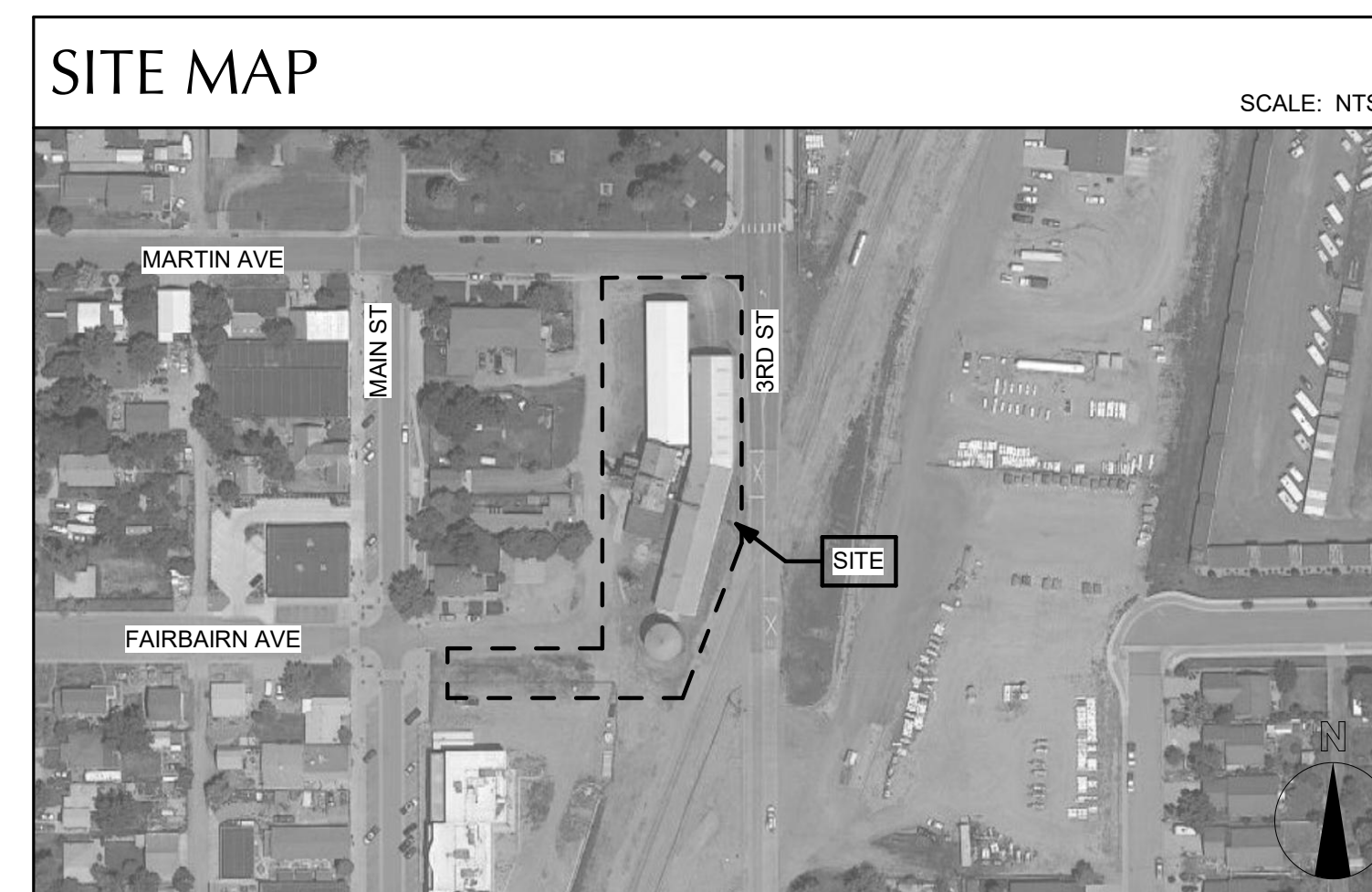
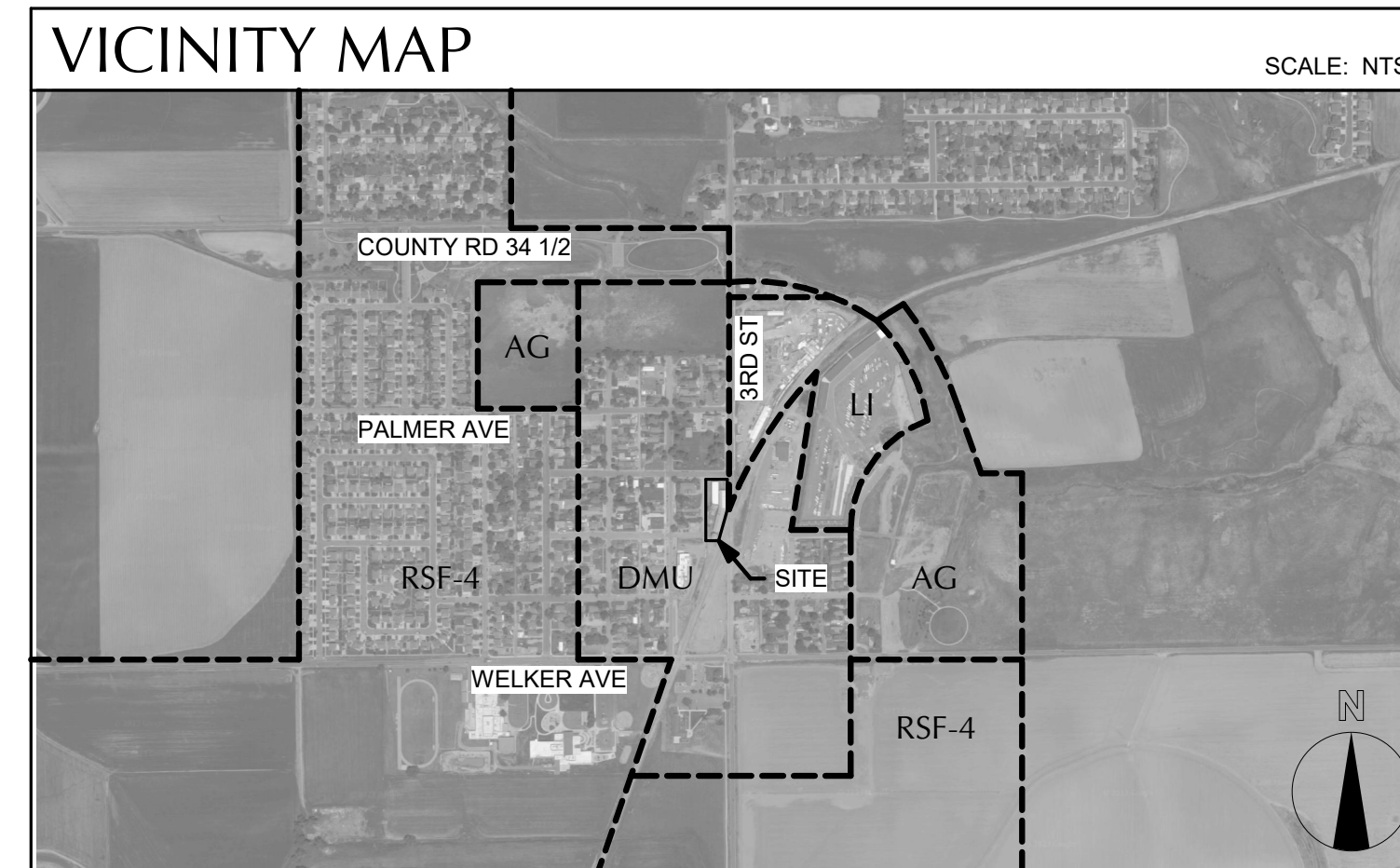
BEGINNING AT SAID NORTHWEST CORNER;
THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF MEAD STREET, NORTH 89°12'07" EAST, A DISTANCE OF 140.08 FEET;
THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF 3RD STREET, SOUTH 00°28'25" EAST, A DISTANCE OF 268.76 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE GREAT WESTERN RAILWAY COMPANY;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE SOUTH 20°20'37" WEST, A DISTANCE OF 201.85 FEET;
THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 89°48'41" WEST, A DISTANCE OF 227.35 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF MAIN STREET;
THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 00°23'40" WEST, A DISTANCE OF 74.94 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF FAIRBAIRN AVENUE;
THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 89°44'30" EAST, A DISTANCE OF 159.39 FEET TO THE SOUTHWEST CORNER OF SAID VACATED FAIRBAIRN AVENUE;
THENCE ALONG THE WESTERLY LINE OF SAID VACATED FAIRBAIRN AVENUE, AND ALONG THE EASTERLY LINE OF SAID 20' WIDE PLATTED ALLEY, NORTH 00°32'45" WEST, A DISTANCE OF 379.17 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, AND THE POINT OF BEGINNING.

THIS DESCRIBED FINAL PLAT CONTAINS 68,798 SQ. FT. OR 1.58 ACRES MORE OR LESS, TOGETHER WITH AND SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY EXISTING AND/OR OF PUBLIC RECORD.

IN WITNESS WHEREOF, WE HAVE HERETO SET OUR HAND AND SEAL THIS ____ DAY OF _____ 20__

OWNER: TOWN OF MEAD, COLORADO ATTEST:

MAYOR TOWN CLERK



PROJECT TEAM

<p>OWNER TOWN OF MEAD 441 3RD STREET MEAD, CO 80542 T: 970.805.4185 CONTACT: ERIKA RASMUSSEN EMAIL: Erasmussen@townofmead.org</p>	<p>ELECTRICAL ENGINEER AE DESIGN GROUP, INC. 1900 WAZEE STREET, SUITE 205 DENVER, CO 80202 T: 303.296.3579 CONTACT: MIO STANLEY EMAIL: mstanley@aedesign-inc.com</p>	<p>OWNERS REP. DITESCO SERVICES 2133 S. TIMBERLINE ROAD, SUITE 110 FORT COLLINS, CO 80525 T: 970.632.5068 CONTACT: BILL RENZ EMAIL: bill.renz@ditescoservices.com</p>
<p>ARCHITECT ESSENZA ARCHITECTURE 685 S. ARTHUR AVE., UNIT 12-B LOUISVILLE, CO 80027 T: 303.952.5080 CONTACT: CHRISTA PLAZA EMAIL: christa@essenza-arch.com</p>	<p>LANDSCAPE ARCHITECT NORRIS DESIGN 244 NORTH COLLEGE AVE #150 FORT COLLINS, CO 80524 T: 970.409.3414 CONTACT: RYAN HOLDORF EMAIL: rholdorf@norris-design.com</p>	<p>PEMB: HEATH STEEL PO BOX 473 FORT COLLINS, CO 80522 T: 970.490.8061 CONTACT: TONY DEMARIO EMAIL: tdemario@heatsteel.com</p>
<p>CIVIL ENGINEER MPD ENGINEERING 1550 QUINCE AVE, BOULDER, CO 80304 T: 303.498.9224 CONTACT: MARC DOLEZAL EMAIL: marc@mpd-engineering.com</p>	<p>STRUCTURAL ENGINEER MARTIN / MARTIN 12499 WEST COLFAX AVENUE LAKEWOOD, CO 80215 T: 303.431.6100 x 485 CONTACT: DAVID COPLAN EMAIL: DCoplan@martinmartin.com</p>	
<p>LITTLE THOMPSON WATER DISTRICT 835 E. HIGHWAY 56 BERTHOUD, CO 80513 T: 970.532.2096 CONTACT: CLAYTON ORBACK EMAIL: corback@ltwd.org</p>	<p>MECHANICAL/PLUMBING ENGINEER BALLARD GROUP 2525 S WADSWORTH BLVD SUITE 200 LAKEWOOD, CO 80227 T: 303.988.4514 X 148 CONTACT: PETER FAILLA II, PE EMAIL: PFailla@theballardgroup.com</p>	

TOWN OF MEAD WAIVER STATEMENT

ALL WORK SHALL BE CONSTRUCTED TO THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS. THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF MEAD FOR CONCEPT ONLY AND GENERAL CONFORMANCE WITH THE TOWNS STANDARDS AND SPECIFICATIONS. THE REVIEW BY THE TOWN OF MEAD DOES NOT IMPLY RESPONSIBILITY BY THE TOWN OF MEAD OR THE TOWN ENGINEER FOR ACCURACY AND CORRECTNESS OF THE PLANS OR CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY OF THE TOWN OF MEAD FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION. THIS APPROVAL IS FOR CONFORMANCE TO THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THE DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OR LANDSCAPE PROFESSIONAL.

SURVEY NOTES

SCALE FACTOR:
1.0002789982

VERTICAL DATUM: NGS POINT L 329, BEING A 3 1/2" BRASS CAP "L329 1951" LOCATED 2.3 MILES FROM THE SITE AT THE INTERSECTION OF U.S. HWY 66 AND COUNTY ROAD 5, WITH A PUBLISHED ELEVATION OF 4982.16 FEET, WAS CHECKED INTO WITH AN AS-MEASURED ELEVATION OF 4982.18'

SITE BENCHMARK: ON-SITE BENCHMARK ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF MARTIN AVENUE, BEING A SET #4 REBAR WITH 1" PINK PLASTIC CAP "FLATIRONS CONTROL" WITH AN ELEVATION OF 5001.92 FEET (NAVD 88), E=3139775.32 N=1329384.80'

SURVEYING CERTIFICATE

I, _____ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SITE BOUNDARIES SHOWN HEREON ARE A CORRECT DELINEATION OF THE ABOVE DESCRIBED PARCEL OF LAND.

I FURTHER CERTIFY THAT THE IMPROVEMENT SURVEY PLAT WAS PREPARED UNDER MY PERSONAL SUPERVISION AND IN ACCORD WITH APPLICABLE STATE OF COLORADO REQUIREMENTS

ON THIS _____ DAY OF _____
BY: _____ (SEAL)
(REG. NO.)

TOWN ENGINEER CERTIFICATE

THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED BY THE TOWN ENGINEER AND APPROVED AS TO FORM.

THIS _____ DAY OF _____

TOWN ENGINEER

CERTIFICATE OF FINAL STAFF REVIEW AND APPROVAL

THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED AND APPROVED BY THE TOWN OF MEAD STAFF, WITH SUBMITTAL THEREAFTER TO THE BOARD OF TRUSTEES FOR ACCEPTANCE BY ORDINANCE.

THIS _____ DAY OF _____

TOWN MANAGER

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES

THE SITE PLAN SHOWN HEREON IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____ ("ORDINANCE"), PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF MEAD, COLORADO, HELD ON _____ THE ORDINANCE FURTHER ACKNOWLEDGES THAT THE TOWN WAS THE BENEFICIARY OF CERTAIN EASEMENTS GRANTED TO THE TOWN OVER THE PROPERTY DESCRIBED HEREIN, AS FURTHER SHOWN ON THE IMPROVEMENT SURVEY AND RECORDED WITH THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NOS. 2846383, 2911126, 3397569, AND 3767169. THE TOWN ACKNOWLEDGES THAT SUCH EASEMENTS HAVE EXTINGUISHED BY MERGER OF THE TOWN'S FEE OWNERSHIP AND EASEMENT INTERESTS.

HELDO ON _____

TOWN OF MEAD, COLORADO ATTEST:

MAYOR TOWN CLERK

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SITE DATA TABLE

SITE AREA (SF/AC)	68,798 SF	1.58 AC
TOTAL LOT COVERAGE	0.62	
BUILDING (SF)	11,551 SF	
LAND USE	OFFICE / BUSINESS USES	
BLDG HEIGHT PROPOSED	31' - 5"	
NUMBER OF EMPLOYEES	6	
	*REQUIRED	PROPOSED
PARKING SPACES	23	64
ACCESSIBLE SPACES	3	3
BICYCLE SPACES	2	6

*PER MEAD MUNICIPAL CODE - CHAPTER 16 - ARTICLE II - TABLE 2.1 PARKING REQUIREMENTS

LITTLE THOMPSON WATER DISTRICT
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY THE LITTLE THOMPSON WATER DISTRICT (DISTRICT) FOR WATERLINE IMPROVEMENTS ONLY. THIS REVIEW IS FOR GENERAL CONFORMANCE TO DISTRICT STANDARDS AND SPECIFICATIONS AND DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE SOLE RESPONSIBILITY FOR COMPLETENESS AND ACCURACY OF THESE CONSTRUCTION PLANS SHALL REMAIN WITH THE ENGINEER OF RECORD.
ALL MATERIALS RELATED TO WATERLINE IMPROVEMENTS MUST CONFORM TO THE CURRENT VERSION OF THE DISTRICT'S STANDARDS AND SPECIFICATIONS AND MUST BE APPROVED THROUGH THE DISTRICT'S MATERIAL SUBMITTAL PROCESS PRIOR TO CONSTRUCTION.
THE DISTRICT'S ACCEPTANCE OF THESE CONSTRUCTION PLANS IS VALID FOR ONE (1) YEAR.
APPROVED BY: _____
LITTLE THOMPSON WATER DISTRICT DATE

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542
COVER SHEET



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
COVER SHEET

SHEET #:
A001.
SITE PLAN SHEET #
1 of 32



TOWN OF MEAD GENERAL NOTES FOR CONSTRUCTION PLANS

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. COLORADO DEPARTMENT OF TRANSPORTATION, MOUNTAIN VIEW ARE PROTECTION DISTRICT REQUIREMENTS, LITTLE THOMPSON WATER DISTRICT AND ALL APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS
2. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS, AND PERMITS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE MOUNTAIN VIEW FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY. 3. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AUTHORIZED TOWN OF MEAD PERSONNEL
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN ENGINEER, GEOTECHNICAL ENGINEER, AND ALL UTILITY OWNERS, AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKCALLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING, SAFETY OF PERSONS AND PROPERTY DURING THE PERFORMANCE OF WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE TOWN CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
7. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR TOWN APPROVAL BY THE TOWN OF MEAD PRIOR TO CONSTRUCTION AND ALL LIGHTS, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MUTCD WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
8. THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE AS SHOWN ON THE DRAWINGS BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES ARE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, SIZE, TYPE, AND LOCATION OF ALL UNDERGROUND UTILITIES WHETHER SHOWN OR NOT ALONG THE ROUTE OF THE WORK. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE TOWN OF ANY DISCREPANCIES. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN ENGINEER AND THE UTILITY OWNER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE TOWN ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).
9. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION. THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY. TO THE PIPE BEING PLACED, TO TREES, OR TO ANY EXISTING STRUCTURE WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING NEARBY PUBLIC STREETS OF MUD OR DEBRIS DUE TO CONSTRUCTION ACTIVITY INITIATED BY SAID CONTRACTOR ON A DAILY BASIS OR AS OTHERWISE DIRECTED BY AUTHORIZED TOWN PERSONNEL
12. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER, WITHIN 48 HOURS OF PROJECT COMPLETION.
13. PRIOR TO THE BEGINNING OF WORK, A PRECONSTRUCTION CONFERENCE SHALL BE HELD BETWEEN THE TOWN, THE RESPONSIBLE PARTY WHO IS SCHEDULED TO PERFORM THE WORK, THE DESIGNATED ON-SITE FIELD REPRESENTATIVE, THE CONSULTING ENGINEER OR LANDSCAPE PROFESSIONAL AND ANY OTHER ENTITIES INVOLVED IN THE CONSTRUCTION.
14. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE TOWN OF MEAD STANDARDS AND SPECIFICATION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME I, THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. THE TOWN OF MEAD MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY THE TOWN OF MEAD.
15. DEVELOPMENT PHASING OF ANY PROJECT MUST BE SHOWN ON THE CONSTRUCTION PLANS. APPROVED BY THE TOWN ENGINEER AND MADE A PART OF THE APPLICATION PROCEDURE. NO PHASING SHALL BE PERMITTED UNLESS THIS REQUIREMENT HAS BEEN ADHERED TO.
16. NO WORK SHALL BEGIN UNTIL THE INSTALLING RESPONSIBLE PARTY IS IN POSSESSION OF AN APPROVED SET OF PLANS AND THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS, AND ALL NECESSARY PERMITS FOR THE IMPROVEMENTS HAS BEEN ISSUED BY THE TOWN. TOWN ENGINEERING'S APPROVAL SHALL BE FOR GENERAL CONFORMITY TO THE UTILITY SPECIFICATIONS AND SHALL NOT CONSTITUTE BLANKET APPROVAL OF ALL DIMENSIONS, QUANTITIES AND DETAILS OF THE MATERIAL OR EQUIPMENT SHOWN. NOR SHALL SUCH APPROVAL RELIEVE THE RESPONSIBLE PARTY, CONSULTING ENGINEER, OR LANDSCAPE ARCHITECT OF THEIR RESPONSIBILITY FOR ERRORS CONTAINED IN THE DRAWINGS.

TOWN OF MEAD GENERAL NOTES FOR CONSTRUCTION PLANS (CONTINUED)

17. THE RESPONSIBLE PARTY SHALL FURNISH REASONABLE AID AND ASSISTANCE REQUIRED BY THE TOWN ENGINEER FOR THE PROPER EXAMINATION OF THE MATERIALS AND WORK. WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED WORKMANSHIP PRACTICES AND THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. ANY WORK NOT ACCEPTED BY THE TOWN ENGINEER SHALL BE REDONE UNTIL COMPLIANCE WITH THESE STANDARDS IS ACHIEVED. INSTRUCTIONS GIVEN BY THE TOWN ENGINEER RELATING TO QUALITY OF MATERIALS AND WORKMANSHIP MUST BE OBEYED AT ONCE BY THE RESPONSIBLE PARTY. THE TOWN SHALL NOT SUPERVISE SET OUT WORK, OR GIVE LINE AND GRADE STAKES.
18. THE MATERIALS USED IN PROJECTS SHALL BE NEW AND SUBJECT TO THE INSPECTION AND APPROVAL OF THE INSPECTOR AT ALL TIMES. THE INSPECTOR HAS THE RIGHT TO PERFORM ANY TESTING DEEMED NECESSARY TO ENSURE COMPLIANCE OF THE MATERIAL WITH THESE STANDARDS. NO MATERIAL SHALL BE USED BEFORE BEING INSPECTED AND APPROVED BY THE INSPECTOR. FAILURE OR NEGLECT ON THE PART OF THE INSPECTOR TO CONDEMN OR REJECT INFERIOR MATERIALS OR WORK SHALL NOT BE CONSTRUED TO IMPLY THEIR ACCEPTANCE SHOULD THEIR INEFFECTIVITY BECOME EVIDENT AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK. INSPECTORS HAVE THE AUTHORITY TO REJECT DEFECTIVE OR INFERIOR MATERIALS AND/OR DEFECTIVE WORKMANSHIP AND TO SUSPEND WORK UNTIL SUCH TIME AS THE RESPONSIBLE PARTY SHALL CORRECT THE DISCREPANCIES IN QUESTION.
19. WHENEVER DEFECTIVE MATERIALS AND WORK ARE REJECTED, THE RESPONSIBLE PARTY SHALL PROMPTLY REMOVE SUCH DEFECTIVE MATERIALS AND CONSTRUCTION FROM THE JOB SITE AND REPLACE ALL DEFECTIVE PORTIONS TO THE SATISFACTION OF THE TOWN ENGINEER. IN THE EVENT THE RESPONSIBLE PARTY FAILS TO REMOVE REJECTED ITEMS FROM THE JOB SITE WITHIN A REASONABLE LENGTH OF TIME, THE TOWN ENGINEER MAY ARRANGE FOR SUCH REMOVAL AT THE EXPENSE OF THE RESPONSIBLE PARTY.
20. INSPECTION SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM ANY OBLIGATION TO PERFORM THE WORK STRICTLY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS OR ANY MODIFICATIONS THEREOF. WORK NOT SO CONSTRUCTED SHALL BE REMOVED AND CORRECTED BY THE RESPONSIBLE PARTY AT HIS SOLE EXPENSE, WHENEVER SO ORDERED BY THE TOWN ENGINEER, WITHOUT REFERENCE TO ANY PREVIOUS ERROR OR OVERSIGHT IN INSPECTION.
21. EXCEPT IN CASES OF EMERGENCY, MAINTENANCE, OR PROTECTION OF WORK ALREADY COMPLETED, NO WORK SHALL BE ALLOWED BETWEEN THE HOURS OF 7 P.M. AND 7 A.M. NOR ON SATURDAY, SUNDAY, OR LEGAL HOLIDAYS UNLESS APPROVED BY THE TOWN ENGINEER IN EACH CASE. WHEN ANY INSPECTOR IS REQUIRED TO WORK OUTSIDE THE HOURS OF 7 A.M. TO 4 P.M. ON REGULAR TOWN BUSINESS DAYS, OVERTIME SHALL BE CHARGED TO THE RESPONSIBLE PARTY. HOWEVER, SUCH INSPECTORS SHALL REMAIN EMPLOYEES OF THE TOWN FOR ALL PURPOSES. REQUESTS FOR OVERTIME SHALL BE MADE TO THE TOWN ENGINEER AT LEAST 48 HOURS IN ADVANCE. PAYMENT FOR SUCH OVERTIME WORK SHALL BE MADE TO THE TOWN PRIOR TO FINAL ACCEPTANCE.
22. IN THE EVENT ONE OR MORE INSPECTORS REPRESENTING PRIVATE CONSULTING ENGINEERING FIRMS ARE ALSO INSPECTING A PROJECT ALONG WITH THE TOWN ENGINEER, THE INSTRUCTIONS GIVEN BY THE TOWN ENGINEER SHALL PREVAIL IN THE EVENT OF CONFLICTING INSTRUCTIONS.
23. ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST NOT BE STEEPER THAN 48:1 (2.0%) PERPENDICULAR TO DIRECTION OF TRAVEL. RUNNING SLOPE OF ACCESSIBLE WALKS MUST BE NOT STEEPER THAN 1:20 (5.0%) IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ACCESSIBLE CURB RAMPS AND RAMPS IS 1:12 (8.3%). CURB RAMPS SHALL PROVIDE A LANDING AT THE TOP AND RAMP RUNS PROVIDE LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN AT A SLOPE NOT TO EXCEED 1:48. RAMPS RISE EXCEEDING SIX INCHES SHALL INCLUDE HANDRAILS. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES (150 MM) SHALL HAVE HANDRAILS COMPLYING WITH SECTION 505. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK. SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED, ALL RAMPS, STAIRS, EDGE PROTECTION, AND RAILINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. ACCESSIBLE CURB RAMPS SHALL CONFORM TO THE CDOT M-STANDARDS.
24. PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
25. THE WORK SHALL BE SURVEYED AND STAKED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR IN ACCORDANCE WITH THE APPROVED PLANS.
26. RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
27. THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. FINAL AS-BUILT PLANS PREPARED BY THE ENGINEER OF RECORD SHALL BE PROVIDED TO THE TOWN OF MEAD.
28. IF A FOUNDATION UNDERDRAIN SYSTEM IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE FOLLOWING STATEMENT SHALL BE INCLUDED IN THE DRAWINGS: o. THE FOUNDATION UNDERDRAIN SYSTEM IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER OR ITS ASSIGNS. THE TOWN IS NOT RESPONSIBLE FOR THE MAINTENANCE OR REPAIR OF SAID SYSTEM.

LITTLE THOMPSON WATER DISTRICT GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE MOST RECENT STANDARDS AND SPECIFICATIONS FOR LITTLE THOMPSON WATER DISTRICT.
2. SUBMITTALS FOR ALL MATERIALS MUST BE PROVIDED FOR REVIEW AND APPROVAL BY LITTLE THOMPSON WATER DISTRICT PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE INSPECTED AND APPROVED BY LITTLE THOMPSON WATER DISTRICT.
4. ALL PVC PIPE SHALL BE C900 DR14.
5. ALL SERVICE LINES THAT CROSS STORM SEWER SHALL BE SLEEVED WITH 2-INCH HDPE DR9 PIPE.
6. ALL ROADWAY GRADING AND PREPARATION SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF WATERLINES.
7. THE CONTRACTOR SHALL CONTACT LITTLE THOMPSON WATER DISTRICT TO SCHEDULE A PRECONSTRUCTION MEETING AT LEAST 72 HOURS' NOTICE IN ADVANCE OF CONSTRUCTION.
8. THE CONTRACTOR SHALL COORDINATE WITH LITTLE THOMPSON WATER DISTRICT FOR NECESSARY SYSTEM SHUTDOWNS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 72-HOUR NOTICE PRIOR TO ANY ANTICIPATED SHUT DOWN.
9. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH/IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. IF A CONFLICT EXISTS WITH ANOTHER UTILITY AND A LITTLE THOMPSON WATER DISTRICT WATERLINE, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER OF RECORD AND LITTLE THOMPSON WATER DISTRICT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO LITTLE THOMPSON WATER DISTRICT AT ALL TIMES.
11. AFTER ACCEPTANCE BY LITTLE THOMPSON WATER DISTRICT, WATERLINE IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
12. APPROVAL BY LITTLE THOMPSON WATER DISTRICT DOES NOT RELIEVE THE ENGINEER OF RECORD FROM THE RESPONSIBILITY FOR THE DESIGN OF THE WATERLINE FACILITIES.

GRADING NOTES

1. CONSTRUCTION SHALL ADHERE TO THE FOLLOWING SEQUENCE UNLESS OTHERWISE SPECIFIED BY THE TOWN ENGINEER: SANITARY SEWER INSTALLATION, WATER MAIN INSTALLATION, CURB AND GUTTER INSTALLATION, WATER SERVICE INSTALLATION.
2. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE TOWN OF MEAD PRIOR TO FINAL ACCEPTANCE.
3. ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A TOWN REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO.
4. DEVELOPER AND BUILDER SHALL REGULARLY PATROL THE PUBLIC LANDS ADJACENT TO THE DEVELOPMENT TO REMOVE CONSTRUCTION DEBRIS AND KEEP THE SITE CLEAN AND SAFE.
5. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. LATEST EDITION. A COPS GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL BE OBTAINED PRIOR TO ANY GRADING BEING PERFORMED ON SITES ONE (1) ACRE OR LARGER IN SIZE. THESE PERMITS CAN BE OBTAINED FROM THE STATE WATER QUALITY CONTROL DIVISION.
6. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
7. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROPER MEASURES TAKEN TO CONTROL EROSION AND SEDIMENT MOVEMENT.
8. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
9. PERMANENT SLOPES SHALL NOT EXCEED 4:1 (H:V) IN AREAS TO BE SEEDED OR SODDED. RETAINING WALLS SHALL BE REVIEWED AND APPROVED BY SEPARATE APPLICATION TO THE TOWN OF MEAD.
10. THIS EROSION AND SEDIMENT CONTROL PLAN HAS BEEN SUBMITTED TO THE TOWN OF MEAD AND IS IN GENERAL CONFORMANCE WITH THE TOWN'S EROSION CONTROL STANDARDS. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURE MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEM OR IF THE PROPOSED EROSION CONTROL MEASURES DO NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS EROSION CONTROL PLAN AND THE OBLIGATION OF THE LANDOWNER SHALL RUN WITH THE LAND UNTIL SUCH TIME AS THE EROSION CONTROL PLAN IS PROPERLY COMPLETED, OFFICIALLY MODIFIED, OR VOIDED.

STREET NOTES

1. AFTER ANY OVERLAY OF AN EXISTING ROADWAY, WHERE TOWN UTILITIES ARE PRESENT, THE DEVELOPER SHALL OPEN ALL MANHOLES AND VALVE BOXES FOLLOWING THE PAVING OPERATION TO ENSURE THAT MANHOLE AND VALVES WERE NOT PAVED OVER NOR FILLED WITH ASPHALT.
2. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE TOWN OF MEAD'S INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREAS, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE TOWN ENGINEER.
3. FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
4. PAVING SHALL NOT START UNTIL A GEOTECHNICAL REPORT AND PAVEMENT DESIGN HAVE BEEN APPROVED BY THE TOWN OF MEAD'S THE TOWN ENGINEER DIVISION AND SUBGRADE COMPACTION TEST AND PROOF ROLL HAVE BEEN PERFORMED AND THE RESULTS HAVE MET WITH THE APPROVAL OF THE TOWN OF MEAD. THE PAVEMENT DESIGN REPORT MUST BE SUBMITTED THREE (3) WEEKS PRIOR TO THE ANTICIPATED DATE OF PAVING.
5. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
6. ALL CURB RETURNS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED WITH SIDEWALK RAMPS IN ACCORDANCE WITH THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. ALL SIDEWALK RAMPS SHALL INCLUDE A TRUNCATED DOME DETECTABLE WARNING PATTERN AS SHOWN ON THE DETAIL SHEETS.

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CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542
STANDARD GENERAL NOTES
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
STANDARD GENERAL
NOTES

SHEET #:
A002.
SITE PLAN
SHEET #
2 of 32

IMPROVEMENT SURVEY PLAT

A PORTION OF BLOCKS 6 & 7, AND VACATED FAIRBAIRN AVE, TOWN OF MEAD, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

SHEET 2 OF 2

PRELIMINARY
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Call before you dig.

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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542
IMPROVEMENT SURVEY PLAT
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:

DATE:

JULY 20, 2023

REVISIONS:

OCTOBER 17, 2023

JANUARY 10, 2024

MARCH 18, 2024

DRAWN BY:

EP

REVIEWED BY:

JZG/MW/JK

PROJECT #:

2206

DRAWING TITLE:

IMPROVEMENT
SURVEY PLAT

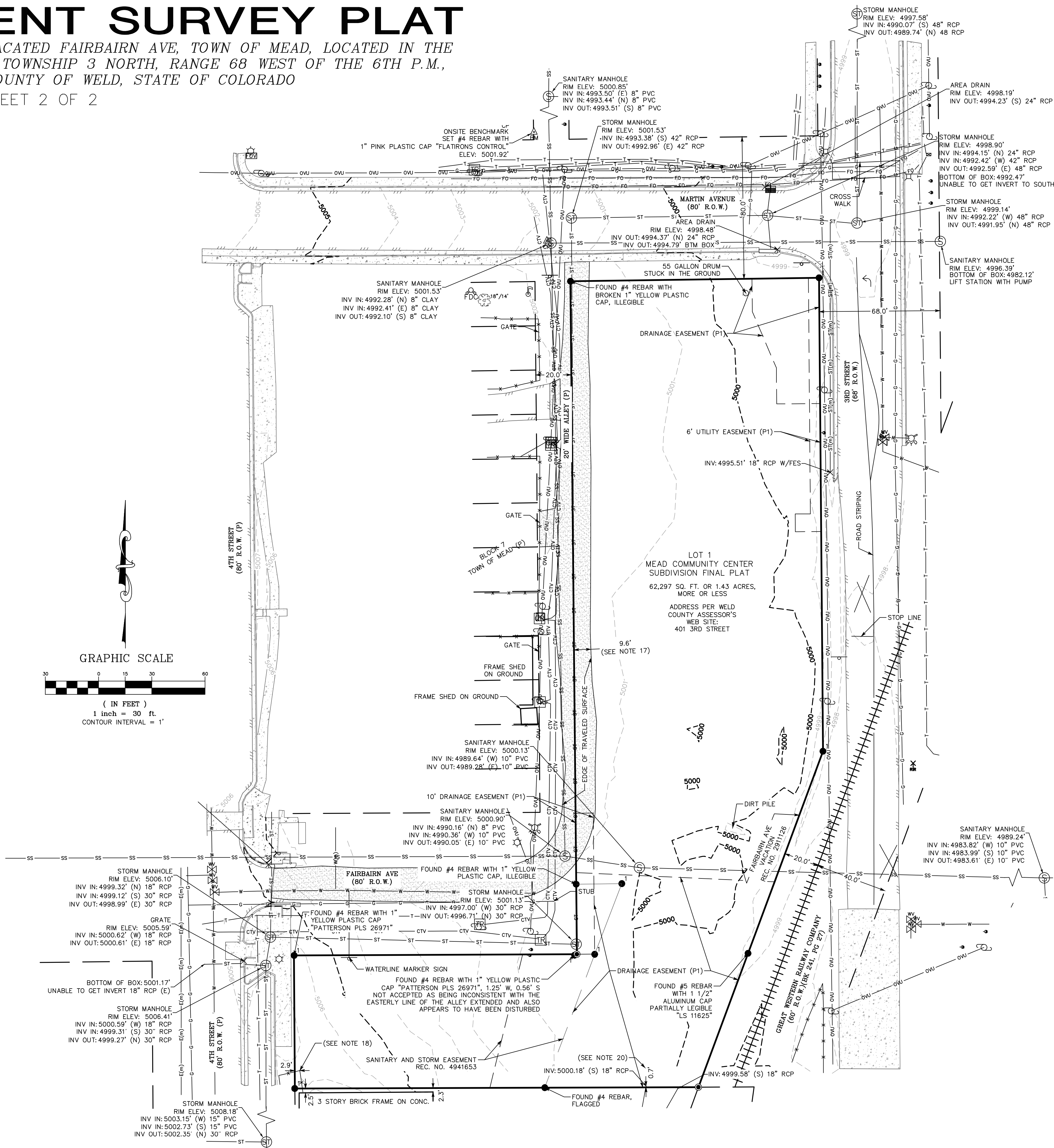
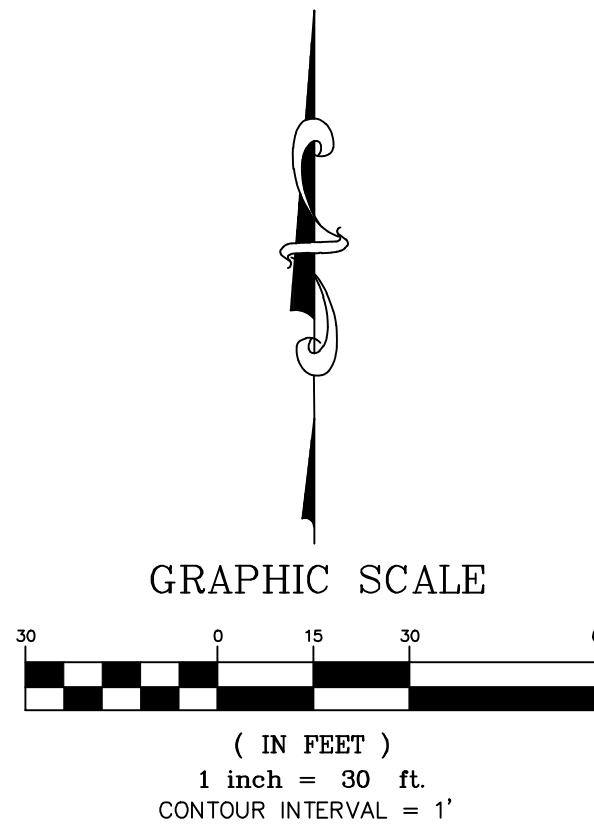
SHEET #:

2

SITE PLAN
SHEET #

4 of 31

- Legend**
- FOUND MONUMENT AS DESCRIBED
 - FOUND #4 REBAR WITH 1" YELLOW PLASTIC CAP "PATTERSON 26971"
 - ▲ SET TEMPORARY BENCHMARK AS DESCRIBED
 - FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 29038"
 - (P) AS PER THE PLAT OF TOWN OF MEAD, REC. NO. 106433, 2/12/1906
 - (P1) AS PER THE PLAT OF LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT
 - CONCRETE
 - TRAVELED SURFACE FOR 20' WIDE ALLEY (P) AND FAIRBAIRN AVE
 - EDGE OF ASPHALT
 - FENCE
 - SIGN
 - DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
 - WATER LINE
 - W(m) WATER LINE SCALED FROM MAPS
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - SS SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - E ELECTRIC LINE
 - TRANSFORMER
 - LIGHT POLE
 - OW OVERHEAD UTILITY LINE
 - UTILITY POLE
 - GUY WIRE
 - TRAFFIC LIGHT
 - CTV CABLE TV LINE
 - CR CABLE/FIBEROPTIC RISER
 - FO FIBEROPTIC LINE
 - FOV FIBEROPTIC VAULT
 - T TELEPHONE LINE
 - TR TELEPHONE RISER
 - G GAS LINE
 - FLAGPOLE
 - RAILROAD CROSSING
 - ELEV ELEVATION
 - INV INVERT
 - PVC PLASTIC PIPE
 - RCP REINFORCED CONCRETE PIPE
 - ||||| CENTER LINE OF RAILROAD TRACKS



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REV: 2023-07-19 EP
REV: 2023-10-17 EP
REV: 2023-12-19 EP
REV: 2024-03-14 EP
REV: 2024-04-22-EP

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

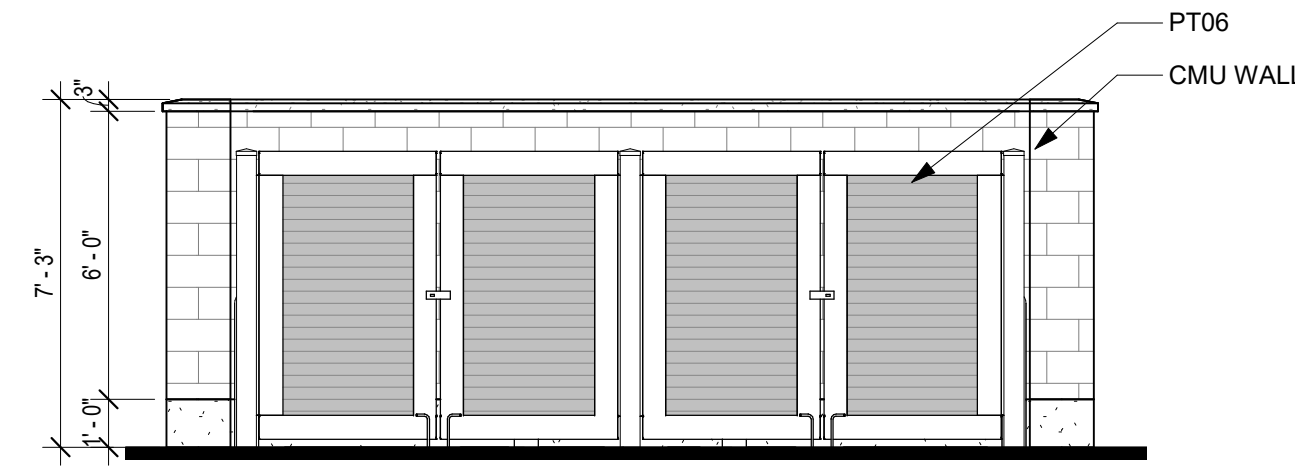
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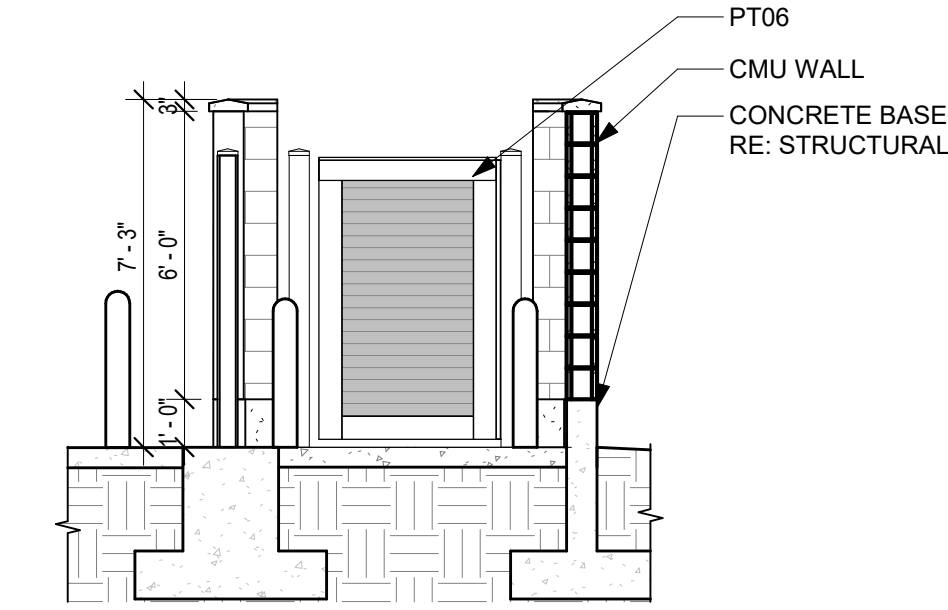
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PROJECT KEYNOTES

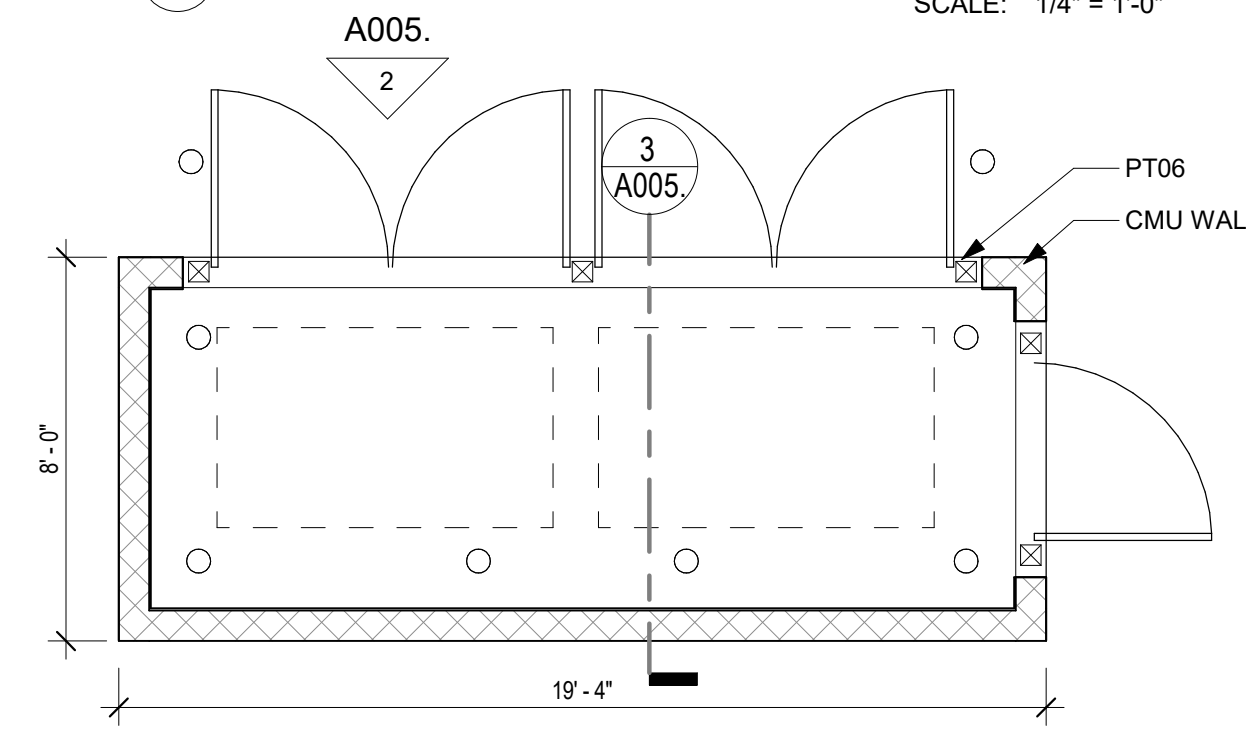
#	DESCRIPTION
02.01	(E) CONC. POOL DECK TO BE DEMOED
10.01	SHADE ELEMENT; RE: LANDSCAPE
13.05	SPLASH PAD
21.01	FIRE HYDRANT
26.08	GENERATOR; RE: ELEC.
26.09	UTILITY TRANSFORMER; RE: ELEC.
26.10	STRING LIGHTS; RE: ELEC.
26.14	MULTI DISTRIBUTION SWITCHBOARD; RE: ELEC.
32.01	TRASH ENCLOSURE
32.04	ANGLED PARKING; RE: CIVIL
32.09	CURB & GUTTER; RE: CIVIL
32.11	PLANTING; RE: LANDSCAPE
33.02	DETENTION POND; RE: CIVIL
33.03	GAS METER; RE: PLUMBING
34.01	EV CHARGING STATION OFOI; RE: ELEC



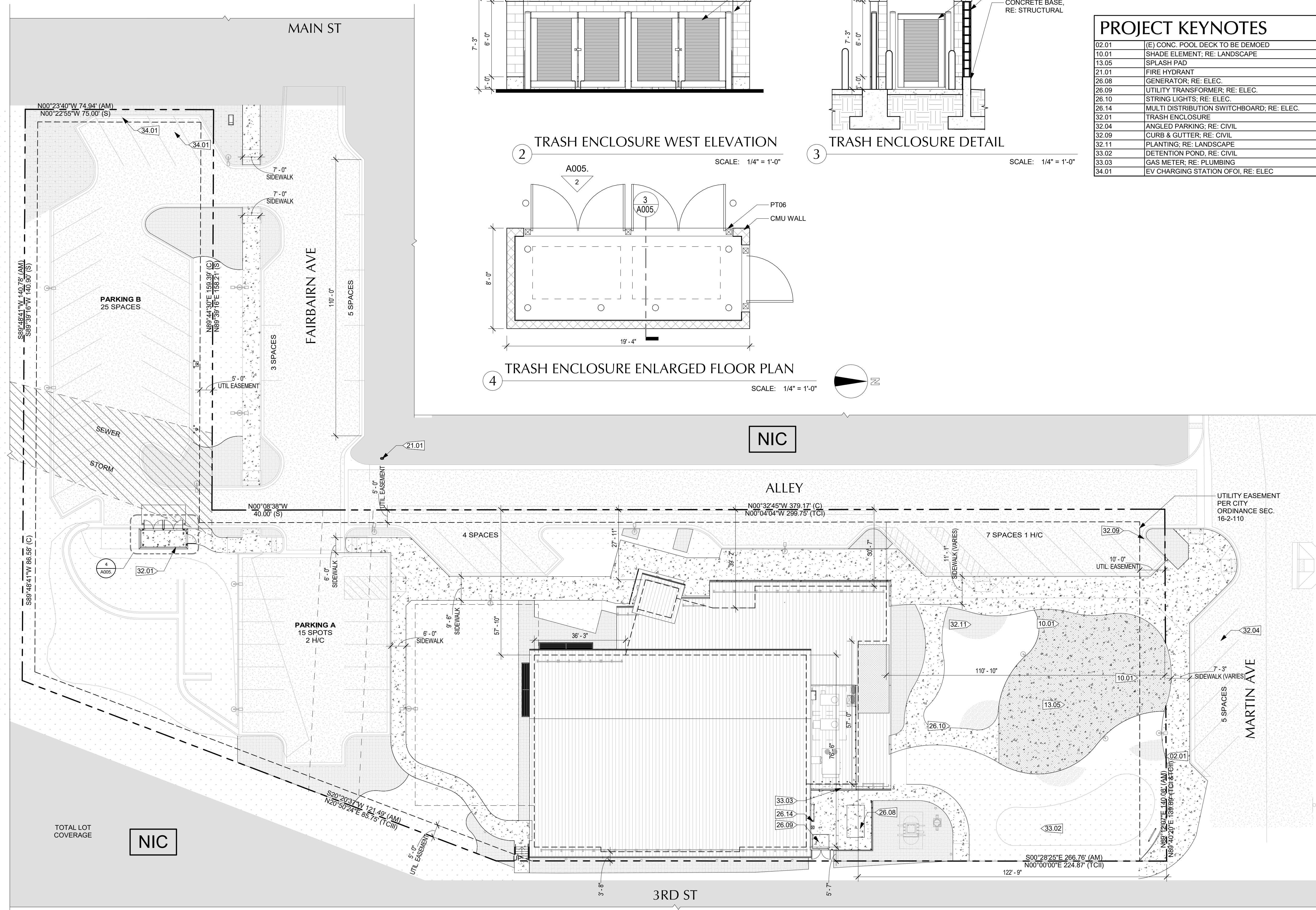
2 TRASH ENCLOSURE WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE DETAIL
SCALE: 1/4" = 1'-0"

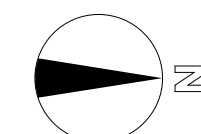


4 TRASH ENCLOSURE ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 SITE PLAN

SCALE: 1" = 20'-0"



MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542

SITE PLAN

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

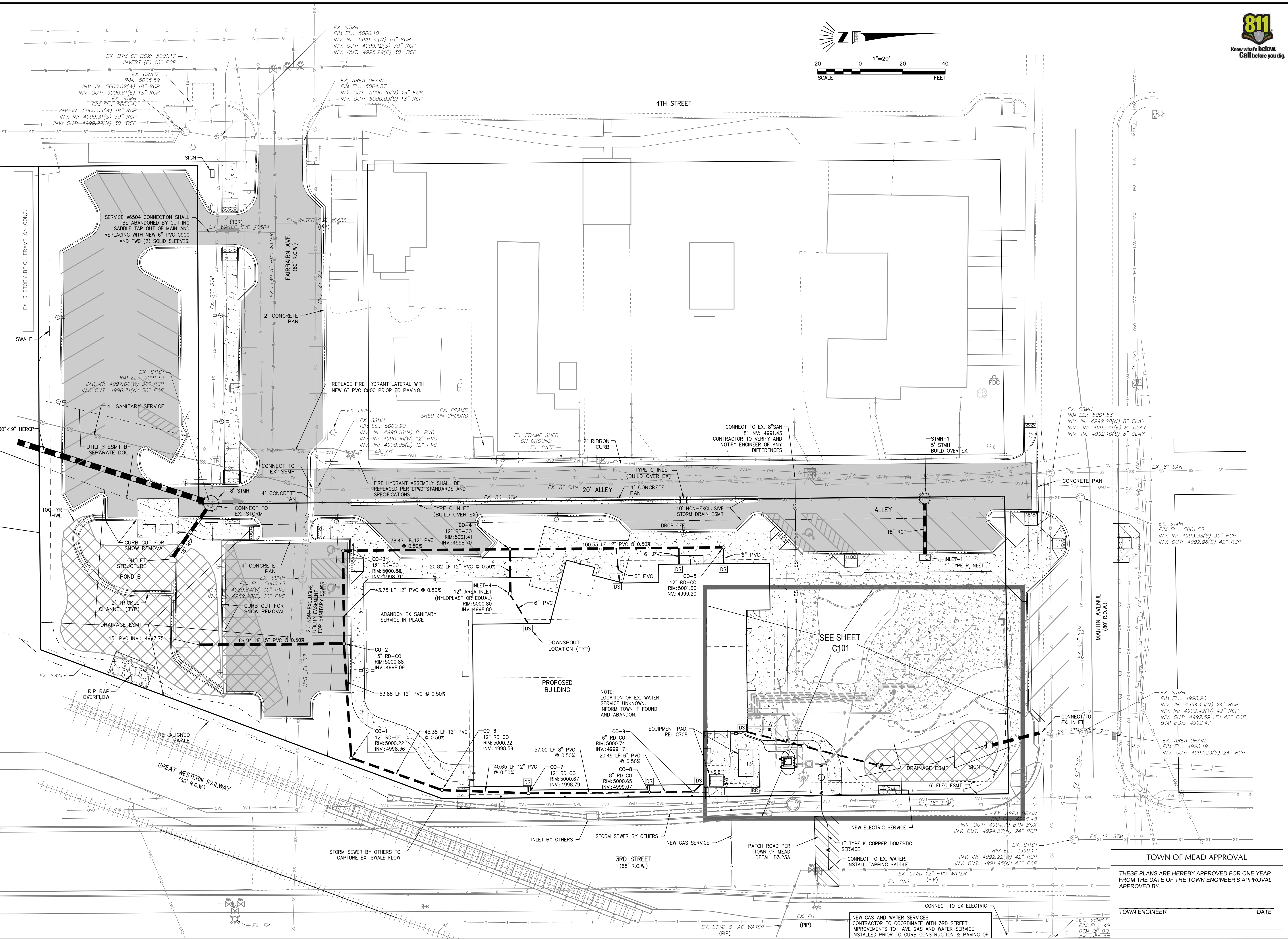


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SITE PLAN SUBMITTAL
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11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
SITE PLAN

SHEET #:
A005.
SITE PLAN
SHEET #
5 of 32

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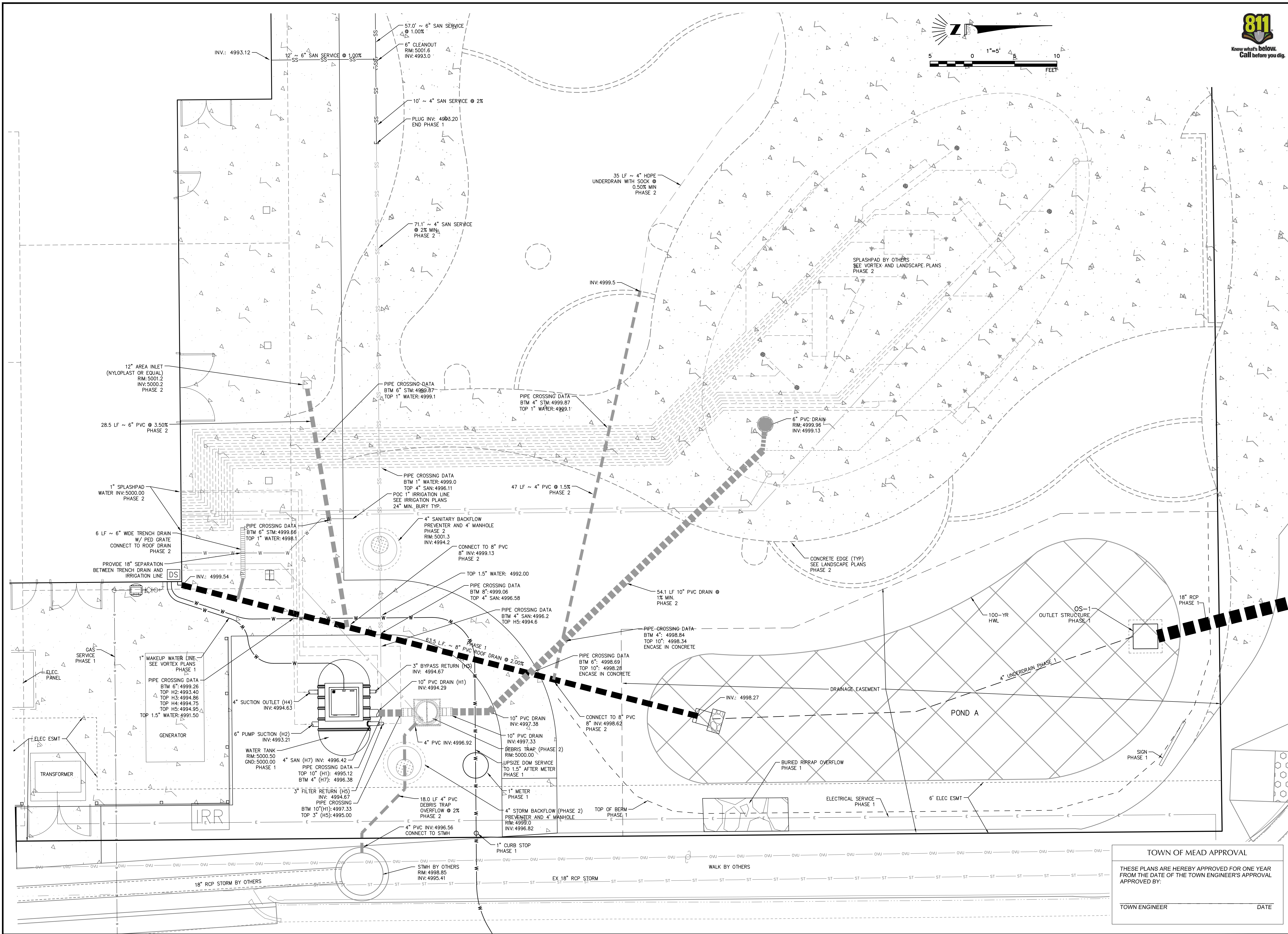
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SITE PLAN SUBMITTAL
DATE:
07.21.23
REVISIONS:
11.10.23
03.18.24
DRAWN BY:
REVIEWED BY:
PROJECT #:
DRAWING TITLE:
UTILITY PLAN
SHEET #:
C100
SITE PLAN
SHEET #
6 of 32

TOWN OF MEAD APPROVAL
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR
FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL
APPROVED BY:
TOWN ENGINEER _____ DATE _____

NEW GAS AND WATER SERVICES:
CONTRACTOR TO COORDINATE WITH 3RD STREET
IMPROVEMENTS TO HAVE GAS AND WATER SERVICE
INSTALLED PRIOR TO CURB CONSTRUCTION & PAVING OF



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MEAD COMMUNITY CENTER
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LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
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07.21.23
REVISIONS:
11.10.23
03.18.24
DRAWN BY:
REVIEWED BY:
PROJECT #:

TOWN OF MEAD APPROVAL
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FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL
APPROVED BY:
TOWN ENGINEER _____ DATE _____

DRAWING TITLE: UTILITY PLAN
SHEET #: C101
SITE PLAN SHEET # 7 of 32



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MEAD COMMUNITY CENTER
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GRADING AND DRAINAGE PLAN

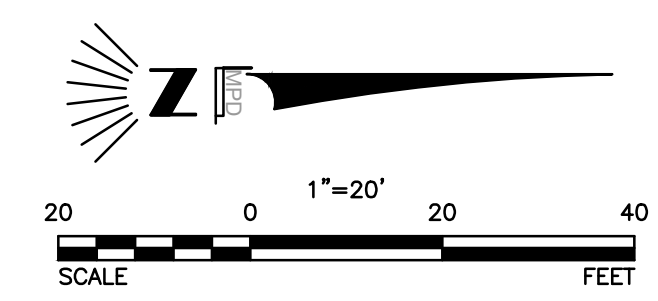
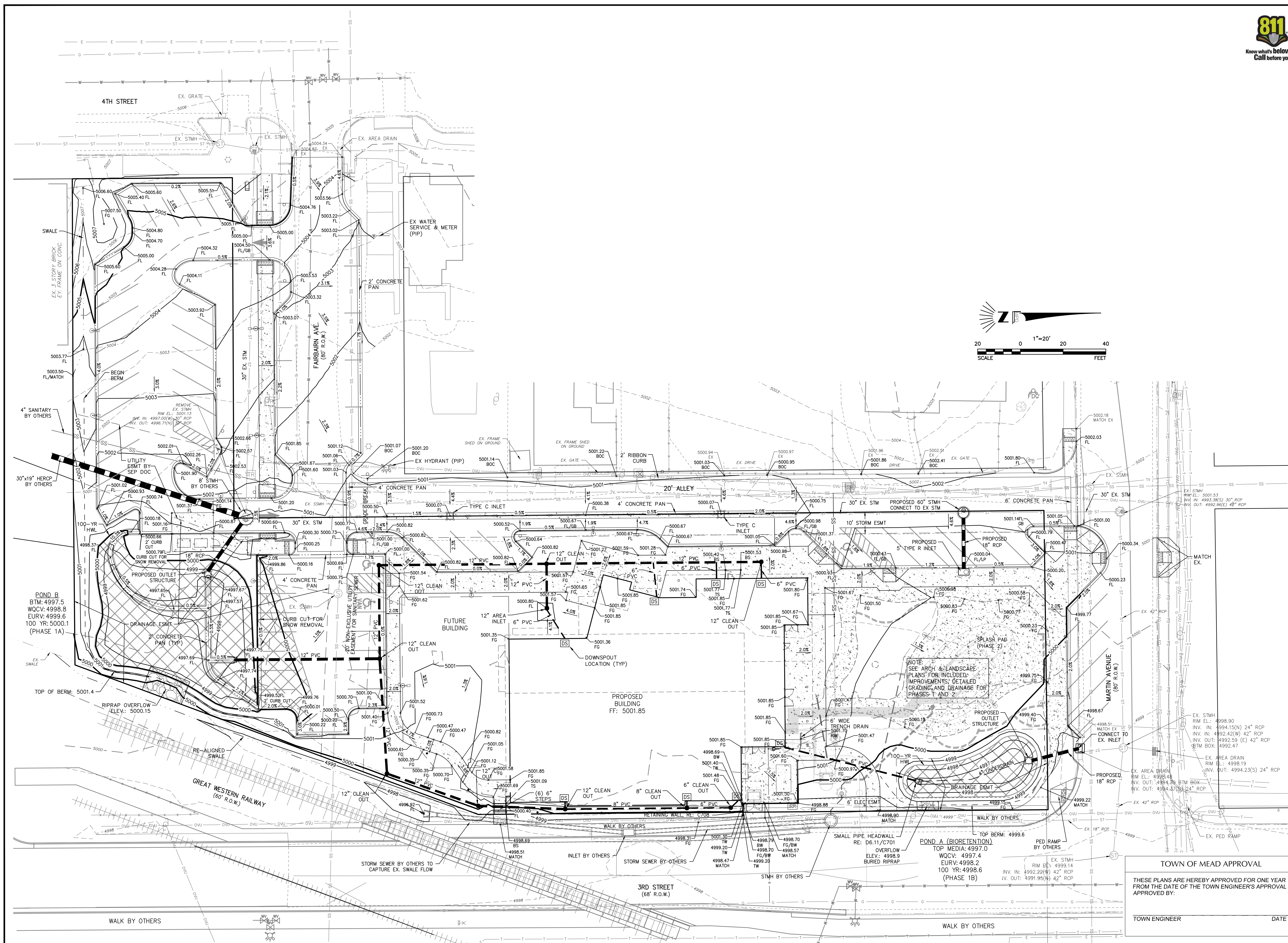
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07.21.23
REVISIONS:
11.10.23
03.18.24

DRAWN BY:
DSS
REVIEWED BY:
MPD
PROJECT #:
1934
DRAWING TITLE:
GRADING PLAN &
DRAINAGE PLAN

SHEET #:
C200
SITE PLAN SHEET #
8 of 32



TOWN OF MEAD APPROVAL
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:
TOWN ENGINEER DATE

GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE, TO INCLUDE RE-INSTALLATION OF SOD OR OTHER LANDSCAPE MATERIALS. TRENCHES TO BE FILLED AND COMPACTED IN LIFTS AS NEEDED TO PROVIDE SUITABLE FINISH GRADE FOR INSTALLATION OF LANDSCAPE WITHIN TOLERANCES AS PROVIDED ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.

LAYOUT NOTES

- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CURVED FLATWORK EDGES SHALL BE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
- THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING FORMS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER. ALL FORMS TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF FLATWORK.
- THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.

TOWN OF MEAD STANDARDS AND CONSTRUCTION NOTES

- ALL WORK SHALL BE CONSTRUCTED TO THE TOWN OF MEAD DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF MEAD FOR CONCEPT ONLY AND GENERAL CONFORMANCE WITH THE TOWN'S STANDARDS AND SPECIFICATIONS. THE REVIEW BY THE TOWN OF MEAD DOES NOT IMPLY RESPONSIBILITY BY THE TOWN OF MEAD OR THE TOWN ENGINEER FOR ACCURACY AND CORRECTNESS OF THE PLANS OR CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED IN ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY OF THE TOWN OF MEAD FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING HE CONSTRUCTION PHASE. THIS APPROVAL IS FOR CONFORMANCE TO THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THE DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OR LANDSCAPE PROFESSIONAL.

- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

PHASING NOTES

- 1 YEAR LANDSCAPE MAINTENANCE TO BE PROVIDED SEPARATELY BY PHASE INITIATED AT FINAL ACCEPTANCE.

PAVEMENT SCHEDULE - PHASE 2

PAVEMENT SCHEDULE						
CODE	DESCRIPTION	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
P-01	CONCRETE PAVING - TYPE 1	PER CIVIL	STANDARD GREY, MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL	PER CIVIL	6 / LS-503	REFER TO CIVIL FOR STANDARD PAVING DETAIL AND SPECIFICATION
P-02	CONCRETE PAVING - TYPE 2	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	AZURE SPRINKLE, SANDSCAPE REFINED FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
P-03	CONCRETE PAVING - TYPE 3	DAVIS COLORS (OR APPROVED EQUAL) TEL: (303) 750-8200	SILVERSMOKE IRON OXIDE, MEDIUM BROOM FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
P-04	CONCRETE PAVING - TYPE 4	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	CARBIDE, SANDSCAPE FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

MATERIALS SCHEDULE - PHASE 1

LANDSCAPE MATERIAL SCHEDULE							
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	WOOD MULCH	WASHINGTON CEDAR MULCH	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	WASHINGTON CEDAR	4" DEPTH	2, 3, 4 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-02	ROCK MULCH	RIVER ROCK	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	1-1/2", 4" DEPTH	2, 3 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-05	SANDSTONE SLAB SEATING	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 663-1920	BUFF	PER DETAIL	1 / LS-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-06	LANDSCAPE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 663-1920	BUFF	PER DETAIL	1 / LP-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE

PAVEMENT SCHEDULE - PHASE 1

PAVEMENT SCHEDULE						
CODE	DESCRIPTION	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
P-01	CONCRETE PAVING - TYPE 1	PER CIVIL	STANDARD GREY, MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL	PER CIVIL	6 / LS-503	REFER TO CIVIL FOR STANDARD PAVING DETAIL AND SPECIFICATION
P-02	CONCRETE PAVING - TYPE 2	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	AZURE SPRINKLE, SANDSCAPE REFINED FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

MATERIALS SCHEDULE - PHASE 2

LANDSCAPE MATERIAL SCHEDULE							
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-02	ROCK MULCH	RIVER ROCK	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	1-1/2", 4" DEPTH	2, 3 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-03	CRUSHER FINES	CRUSHER FINES	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GREY BREEZE	3/8" +	1 / LS-502	INSTALL AND COMPACT IN 2" LIFTS WITH STABILIZER
M-04	COBBLE	COBBLE	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	2"-4"		REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-05	SANDSTONE SLAB SEATING	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 663-1920	BUFF	PER DETAIL	1 / LS-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-06	LANDSCAPE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 663-1920	BUFF	PER DETAIL	1 / LP-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-07	WATER FEATURE BOULDER	RIVER ROUND BOULDER	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GRAY GRANITE	PER DETAIL	5 / LS-503	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-08	WATER FEATURE SOURCE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 663-1920	BUFF	48" WIDTH X 48" LENGTH X 30" HEIGHT	1 / LS-504	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE



TOWN OF MEAD APPROVAL	
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:	
TOWN ENGINEER _____	DATE _____



NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

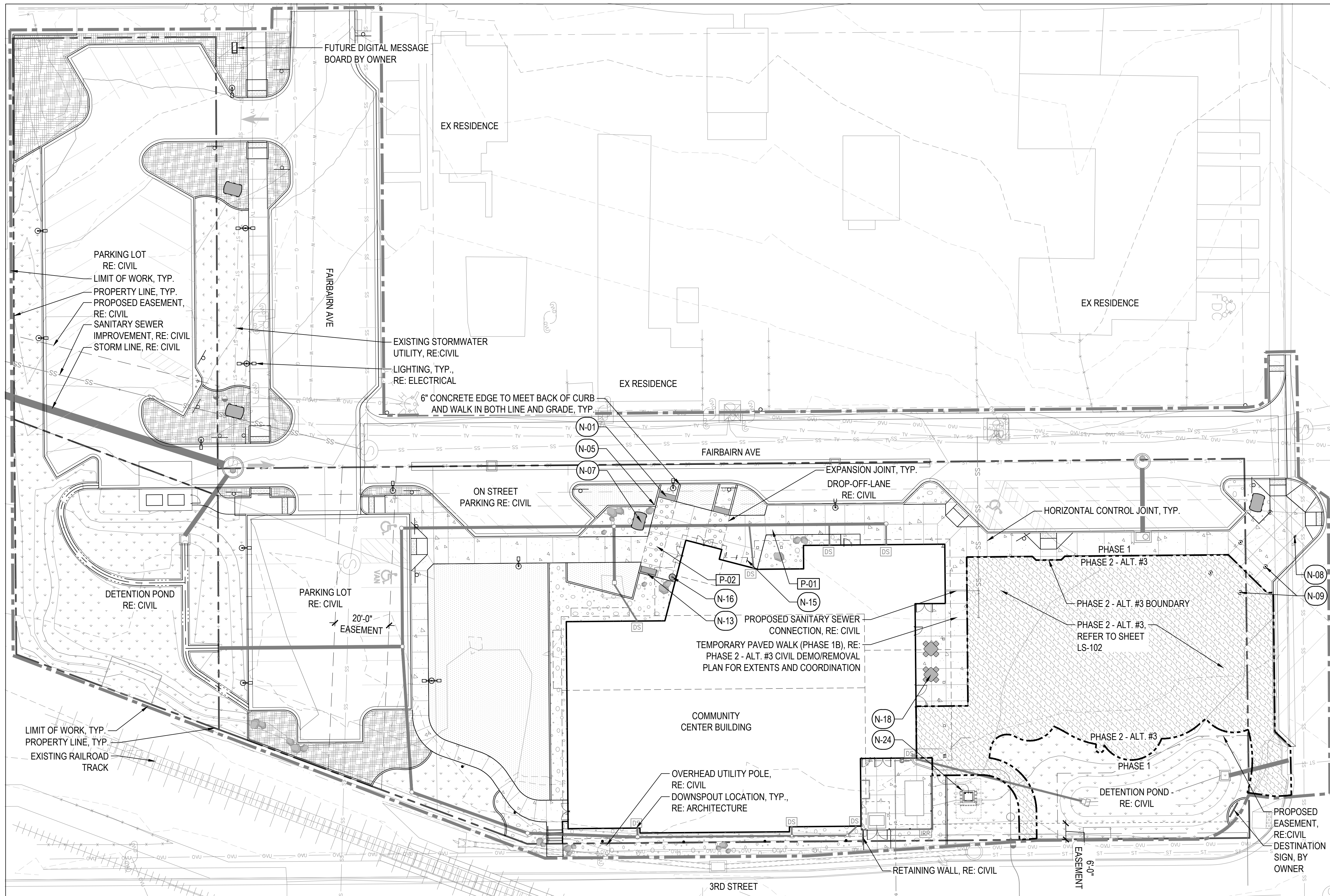
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE SITE NOTES

SHEET #: LS-001
SITE PLAN SHEET # 09 of 32



LEGEND

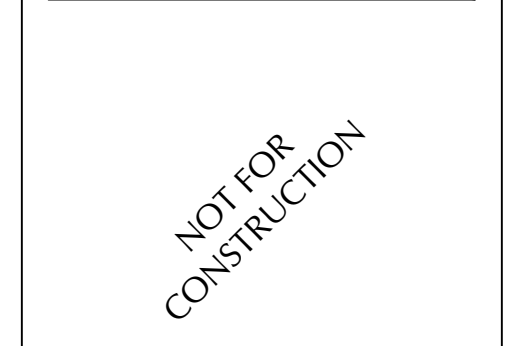
---	LIMIT OF WORK
- - - -	PHASE LINE
---	PROPERTY LINE
---	CONCRETE EDGE
---	EASEMENT LINE
---	EXPANSION JOINT (1/2")
---	HORIZONTAL CONTROL JOINT

○	BENCH
○	WASTE RECEPTACLE
○	BIKE RACK
+	PICNIC TABLE - TYPE B
▭	SANDSTONE SLAB SEATING
▭	BEAN POT PLANTER

CODE	DESCRIPTION
P-01	CONCRETE PAVING - TYPE 1
P-02	CONCRETE PAVING - TYPE 2

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	SANDSTONE SLAB SEATING	1 / LS-501
N-05	CONCRETE EDGE	2 / LS-502
N-07	RE-PURPOSED BEAN POT PLANTER	4 / LS-503
N-08	RE-PURPOSED CONVEYOR / POLE COLUMN	6 / LS-502
N-09	FESTOON LIGHT POLE, PVC SLEEVE, CONDUIT, STRUCTURAL CAISSON, AND POST TO BE INSTALLED IN PHASE 1. FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-13	BENCH	1 / LS-503
N-15	BIKE RACK	3 / LS-502
N-16	WASTE RECEPTACLE	7 / LS-503
N-18	PICNIC TABLE - TYPE B	5 / LS-502
N-24	WATER CONTAINMENT SYSTEM, PHASE 1, REFER TO VORTEX	



MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

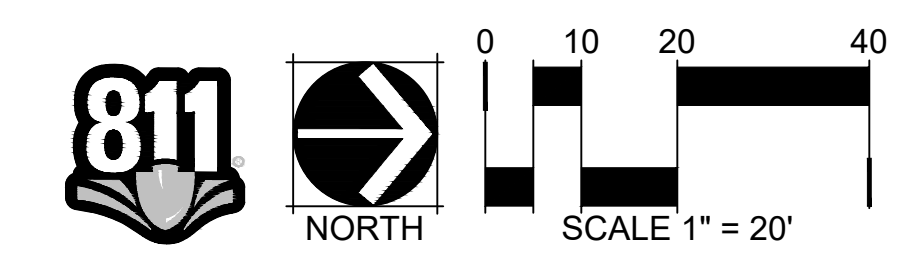
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



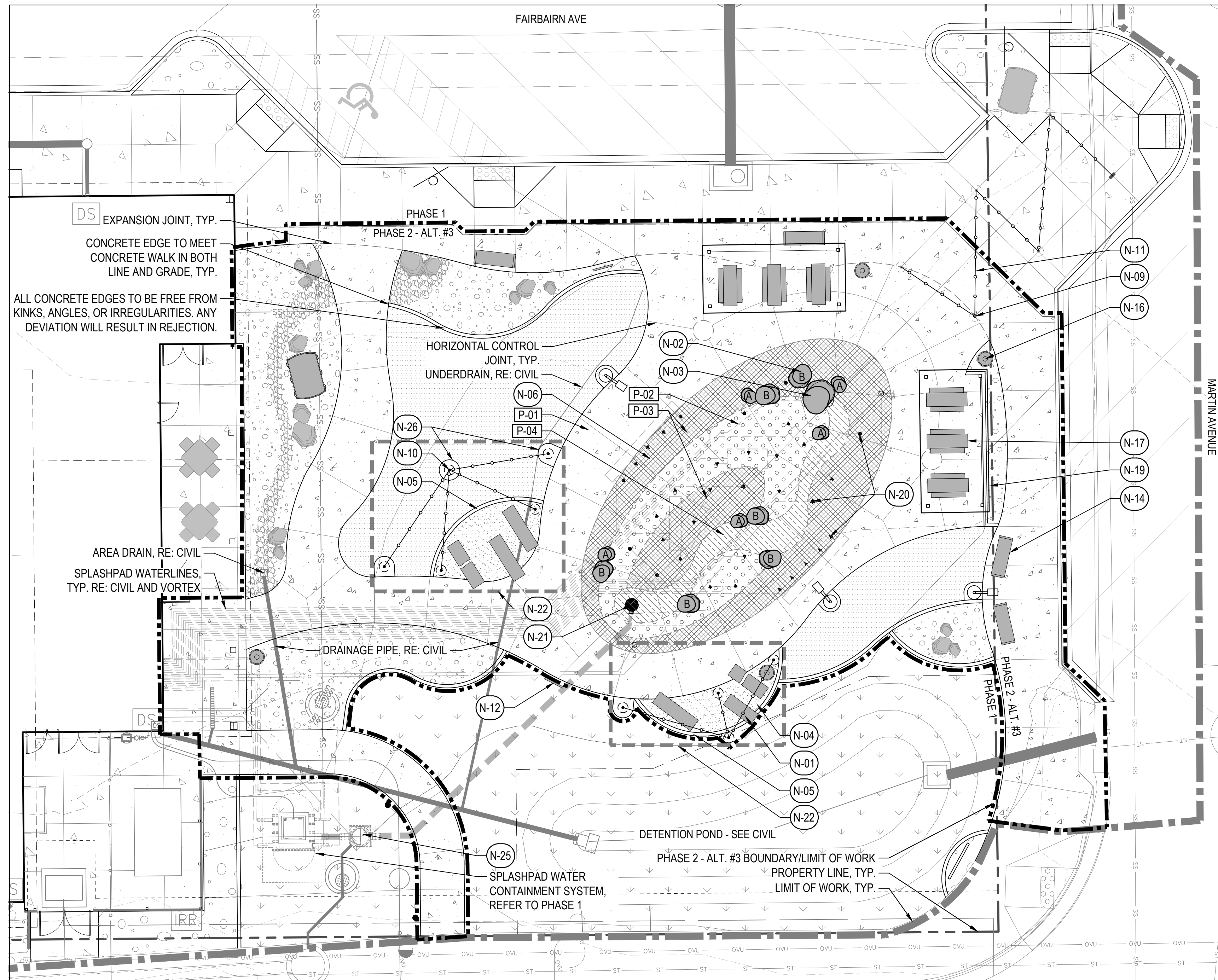
ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:
 PHASE 1
 LANDSCAPE SITE PLAN

SHEET #:
LS-101
 SITE PLAN
 SHEET #
 10 of 32



TOWN OF MEAD APPROVAL	
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TOWN ENGINEER	DATE

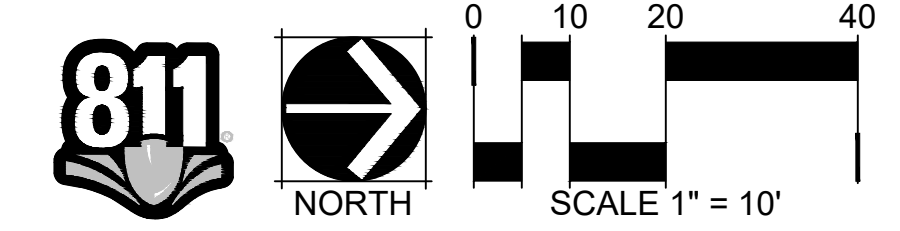


LEGEND

	LIMIT OF WORK
	PHASE LINE
	PROPERTY LINE
	CONCRETE EDGE
	FESTOON LIGHTS
	EXPANSION JOINT (1/2")
	HORIZONTAL CONTROL JOINT
	BACKLESS BENCH
	WASTE RECEPTACLE
	PICNIC TABLE - TYPE A
	REGULATORY SIGNAGE
	SANDSTONE SLAB SEATING
	BEAN POT PLANTER
CODE	DESCRIPTION
	M-03 CRUSHER FINES
	M-07 WATER FEATURE BOULDER
	M-08 WATER FEATURE SOURCE BOULDER
CODE	DESCRIPTION
	P-01 CONCRETE PAVING - TYPE 1
	P-02 CONCRETE PAVING - TYPE 2
	P-03 CONCRETE PAVING - TYPE 3
	P-04 CONCRETE PAVING - TYPE 4

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	SANDSTONE SLAB SEATING	1 / LS-501
N-02	WATER FEATURE BOULDER	5 / LS-503
N-03	WATER FEATURE SOURCE BOULDER	1 / LS-504
N-04	CRUSHER FINES PAVING	1 / LS-502
N-05	CONCRETE EDGE	2 / LS-502
N-06	SPLASHPAD CONCRETE PAVING	2 / LS-504
N-09	FESTOON LIGHT POLE, PVC SLEEVE, CONDUIT, STRUCTURAL CAISSON, AND POST TO BE INSTALLED IN PHASE 1. FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-10	FESTOON LIGHT POLE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-11	FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-12	REGULATORY SIGNAGE	4 / LS-504
N-14	BACKLESS BENCH	2 / LS-503
N-16	WASTE RECEPTACLE	7 / LS-503
N-17	PICNIC TABLE - TYPE A	3 / LS-503
N-19	SHADE STRUCTURE	3 / LS-504
N-20	SPLASHPAD SPRAY HEADS, REFER TO VORTEX SPLASHPAD LAYOUT DRAWING	
N-21	PLAYSAFE DRAIN, REFER TO VORTEX SPLASHPAD LAYOUT DRAWING	
N-22	SANDSTONE SLAB LAYOUT	3 / LS-501
N-25	DEBRIS TRAP, PHASE 2 - ALT. #3, REFER TO VORTEX	
N-26	LIGHT POLE BASE	4 / LS-501



TOWN OF MEAD APPROVAL

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TOWN ENGINEER _____ DATE _____

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NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



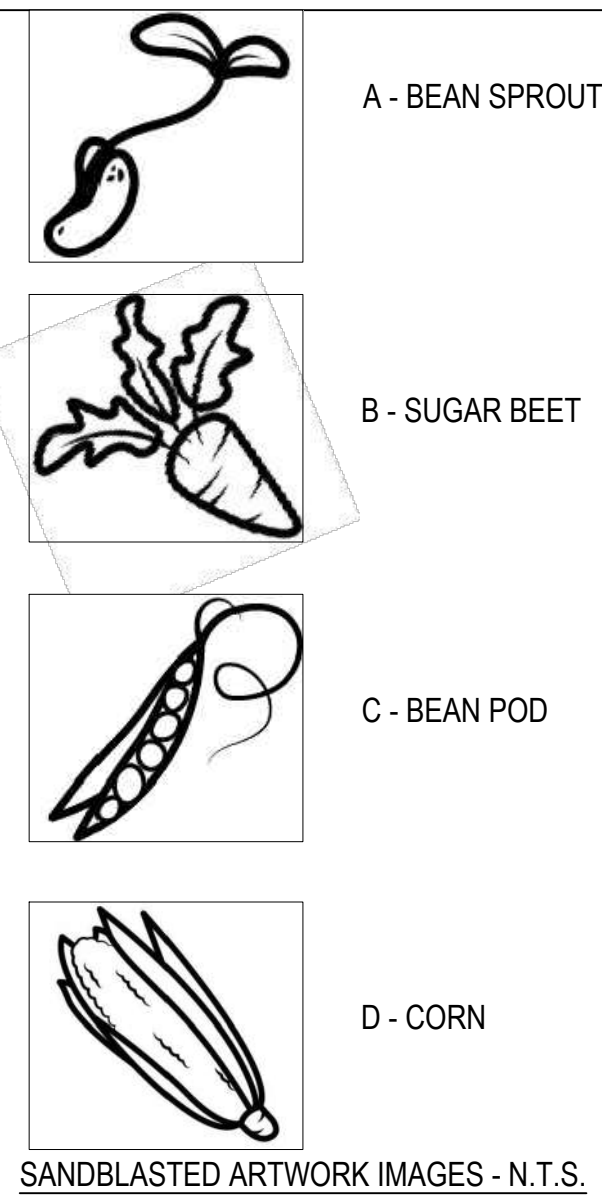
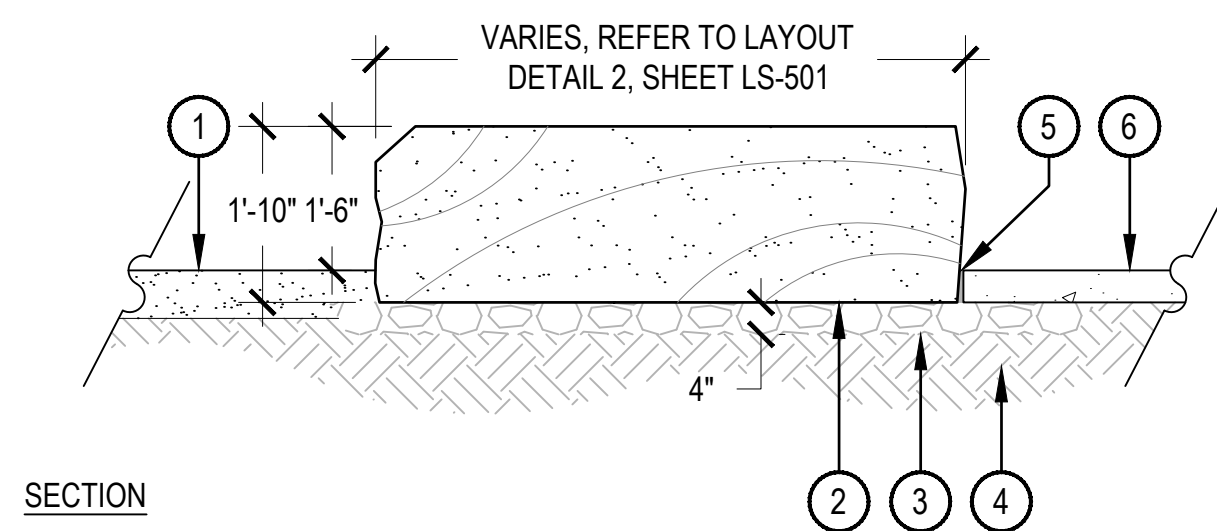
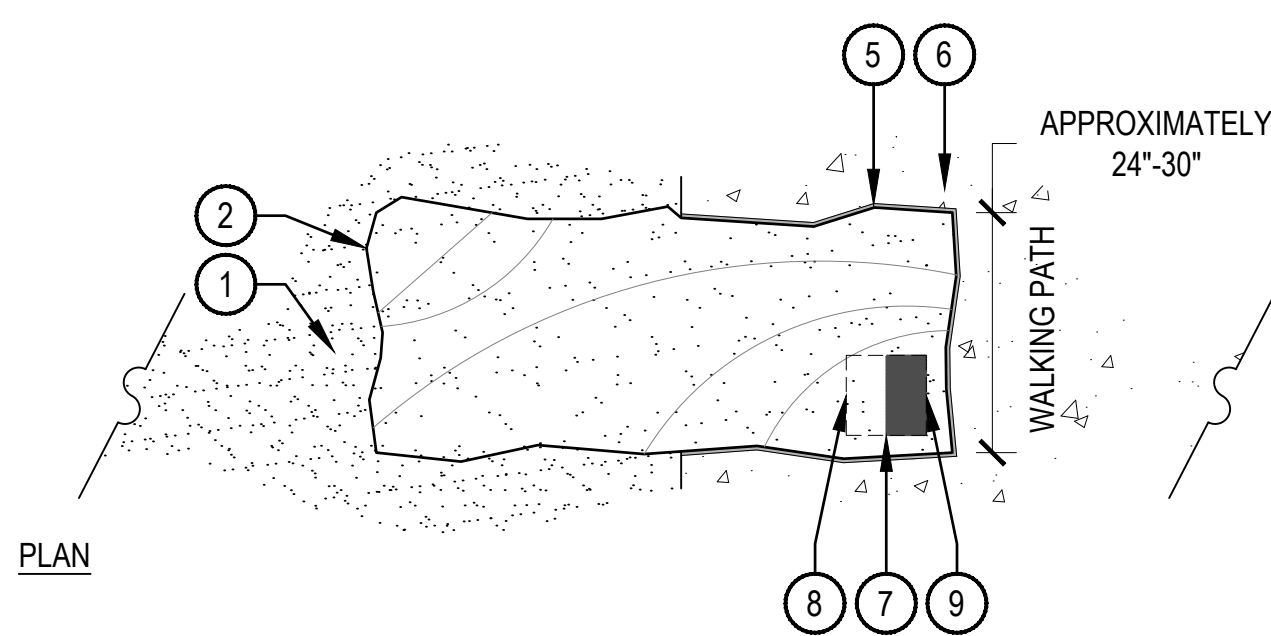
ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:

PHASE 2
 LANDSCAPE SITE PLAN

SHEET #: **LS-102**

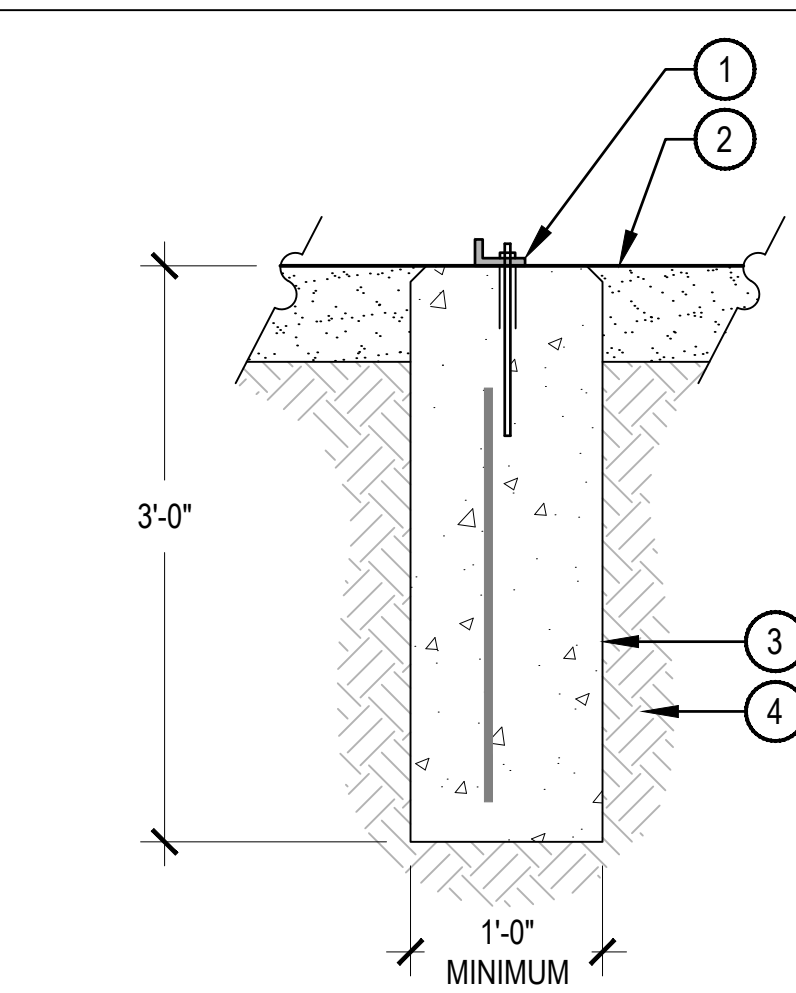
SITE PLAN SHEET # **11 of 32**



SANDBLASTED ARTWORK IMAGES - N.T.S.

- NOTES:
1. CONTRACT LANDSCAPE ARCHITECT TO SELECT STONES PRIOR TO DELIVERY.
 2. (4) 10" X 10" ARTWORK IMAGES TO BE SANDBLASTED 1/4" DEPTH ON SANDSTONE BOULDERS, AND STAINED WITH UV RESISTANT BLACK LITHICHRROME STAIN.
 3. ARTWORK SHALL BE PROVIDED BY LANDSCAPE ARCHITECT FOR COORDINATION WITH SANDBLAST CONTRACTOR. CONTRACTOR TO PROVIDE FULL SCALE MOCK UP OF (1) ART IMAGE PRIOR TO INSTALLATION.
 4. ALL SIDES OF STONE SLAB SHALL HAVE A NATURAL BROKEN FACE, TOP OF STONE SLAB SHALL BE FLAT. CONTACT LANDSCAPE ARCHITECT/OWNER TO SELECT STONES. ANY AND ALL DAMAGED / SCARIFIED PORTIONS SHALL BE PLACED FACE DOWN.
 5. REFER TO DETAIL 3, SHEET LS-501 FOR SANDSTONE SLAB SEATING AND ARTWORK LAYOUT.

1. ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
2. SANDSTONE SLAB. REFER TO MATERIAL SCHEDULE, SHEET LS-001. ALL SIDES SHALL HAVE A NATURAL BROKEN FACE, TOP FACE SHALL BE SET LEVEL. SET STONE PRIOR TO POURING HARDSCAPE, PROTECT STONE DURING POURING PROCESS
3. COMPACTED AGGREGATE
4. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
5. 1/2" MAXIMUM CAULKED AND SEALED EXPANSION JOINT, COLOR TO MATCH CONCRETE
6. ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
7. SANDBLASTED ARTWORK LOCATION, TO BE LOCATED ON CORNER AND TOP OF SLAB NEAREST TO THE ADJACENT CONCRETE WALK.
8. TOP OR ARTWORK ORIENTATION
9. BOTTOM OF ARTWORK ORIENTATION

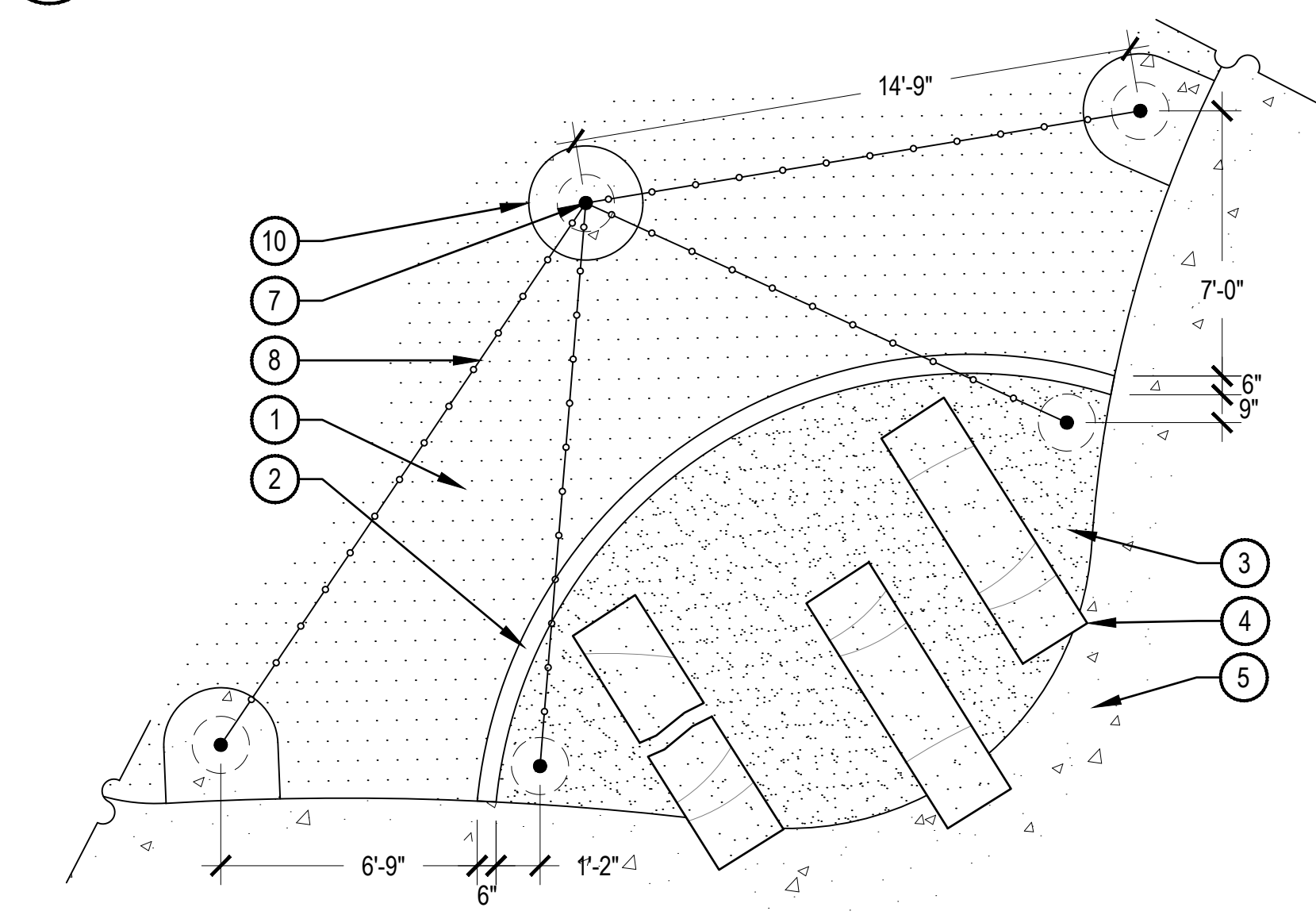


FOR WASTE RECEPTACLES IN LANDSCAPE BED, NATIVE SEED, OR CRUSHER FINES

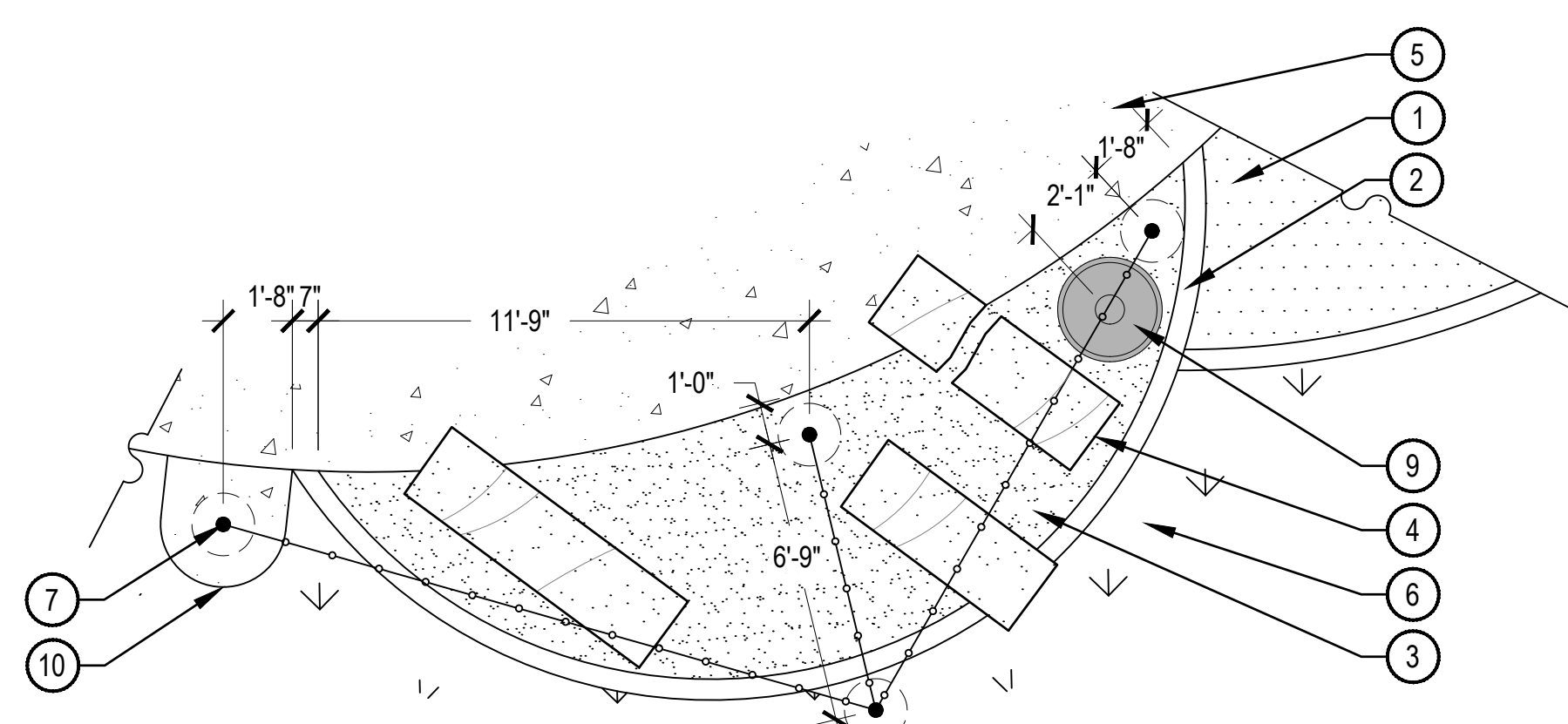
- NOTES:
1. AFTER SIGNIFICANT SETTLING TIME, ALL-THREAD ROD(S) TO BE CUT FLUSH.

1. SITE AMENITY MOUNTING BRACKET OR PRE-DRILLED MOUNTING POINT OF CONNECTION. USE MANUFACTURER RECOMMENDED MOUNTING HARDWARE TO SECURE TO CONCRETE FOOTER
2. CRUSHER FINES, NATIVE SEED, OR LANDSCAPE BED, REFER TO LANDSCAPE PLAN
3. CONCRETE FOOTER WITH (1) #4 REBAR, SPACE FOOTERS TO CORRESPOND WITH SPECIFIC FURNITURE PIECE; (1) CONCRETE FOOTER PER SITE FURNISHING CONNECTION REQUIRED. 1" CHAMFER ON ALL EXPOSED CORNERS
4. COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY

1 SANDSTONE SLAB SEATING
(PHASE 1A AND PHASE 2 - ALT. #3)

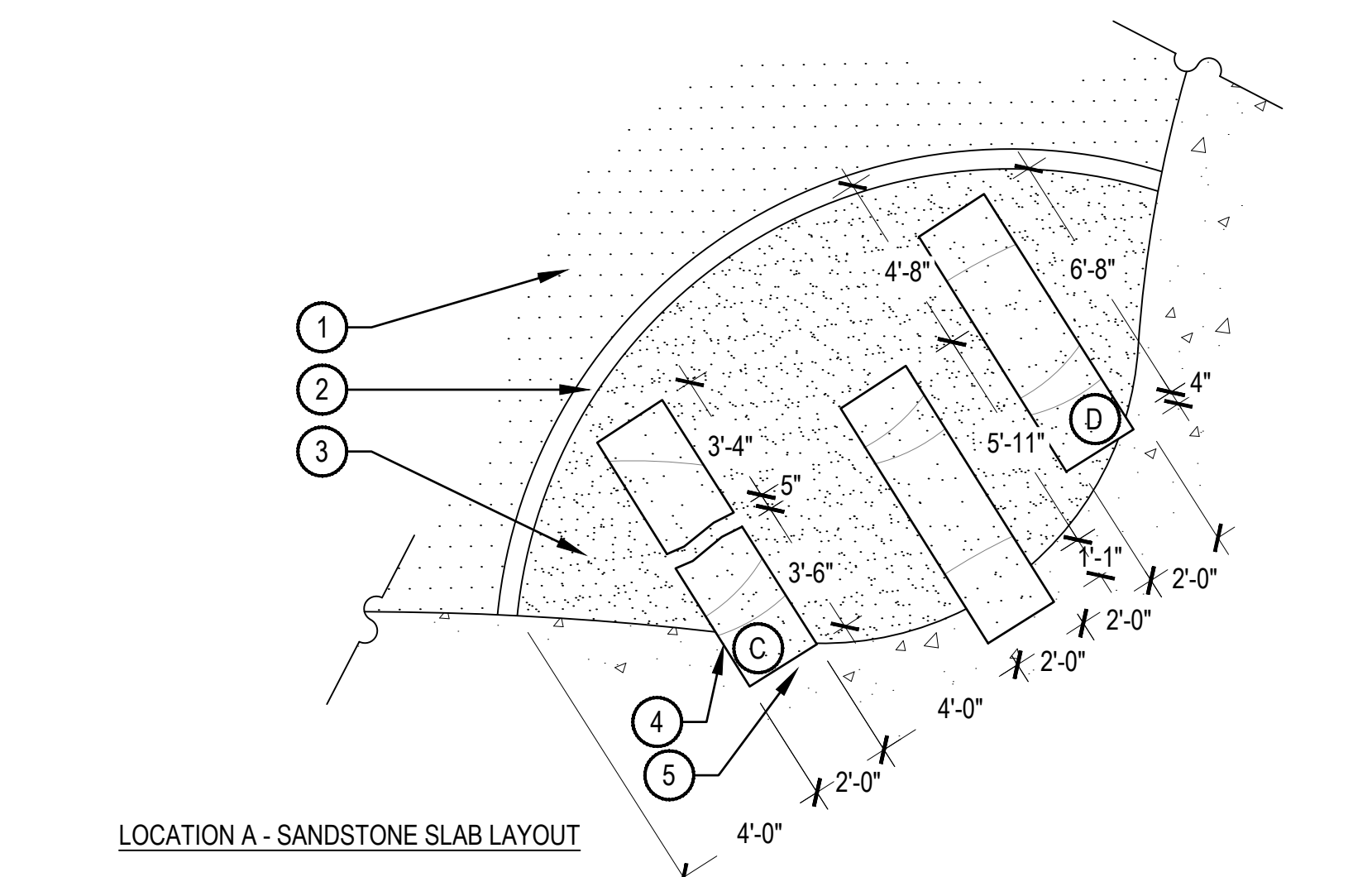


LOCATION A - FESTOON LIGHT LAYOUT

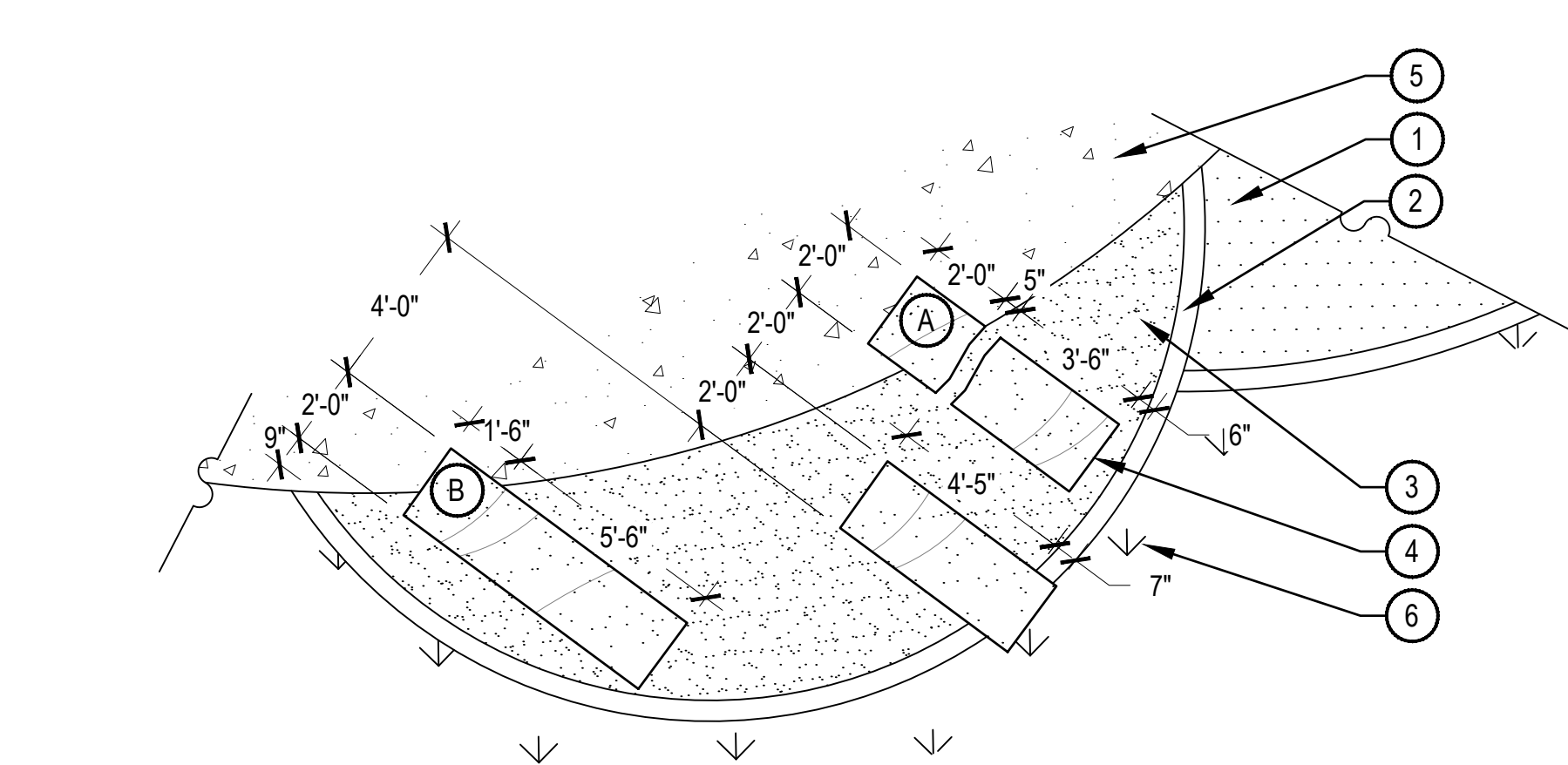


LOCATION B - FESTOON LIGHT LAYOUT

1. ADJACENT TURF, REFER TO PLAN
2. CONCRETE EDGE, REFER TO DETAIL 2, SHEET LS-502
3. ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
4. SANDSTONE SLAB SEATING, REFER TO DETAIL 1, SHEET LS-501
5. ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
6. ADJACENT NATIVE SEED, REFER TO PLAN
7. FESTOON LIGHT POLE, REFER TO DETAIL 7, SHEET LS-502
8. FESTOON LIGHTING
9. WASTE RECEPTACLE, REFER TO DETAIL 7, SHEET LS-503
10. LIGHT POLE BASE, REFER TO DETAIL 4, SHEET LS-501



LOCATION A - SANDSTONE SLAB LAYOUT



LOCATION B - SANDSTONE SLAB LAYOUT

- A. SANDBLAST IMAGE A, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
- B. SANDBLAST IMAGE B, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
- C. SANDBLAST IMAGE C, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
- D. SANDBLAST IMAGE D, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK

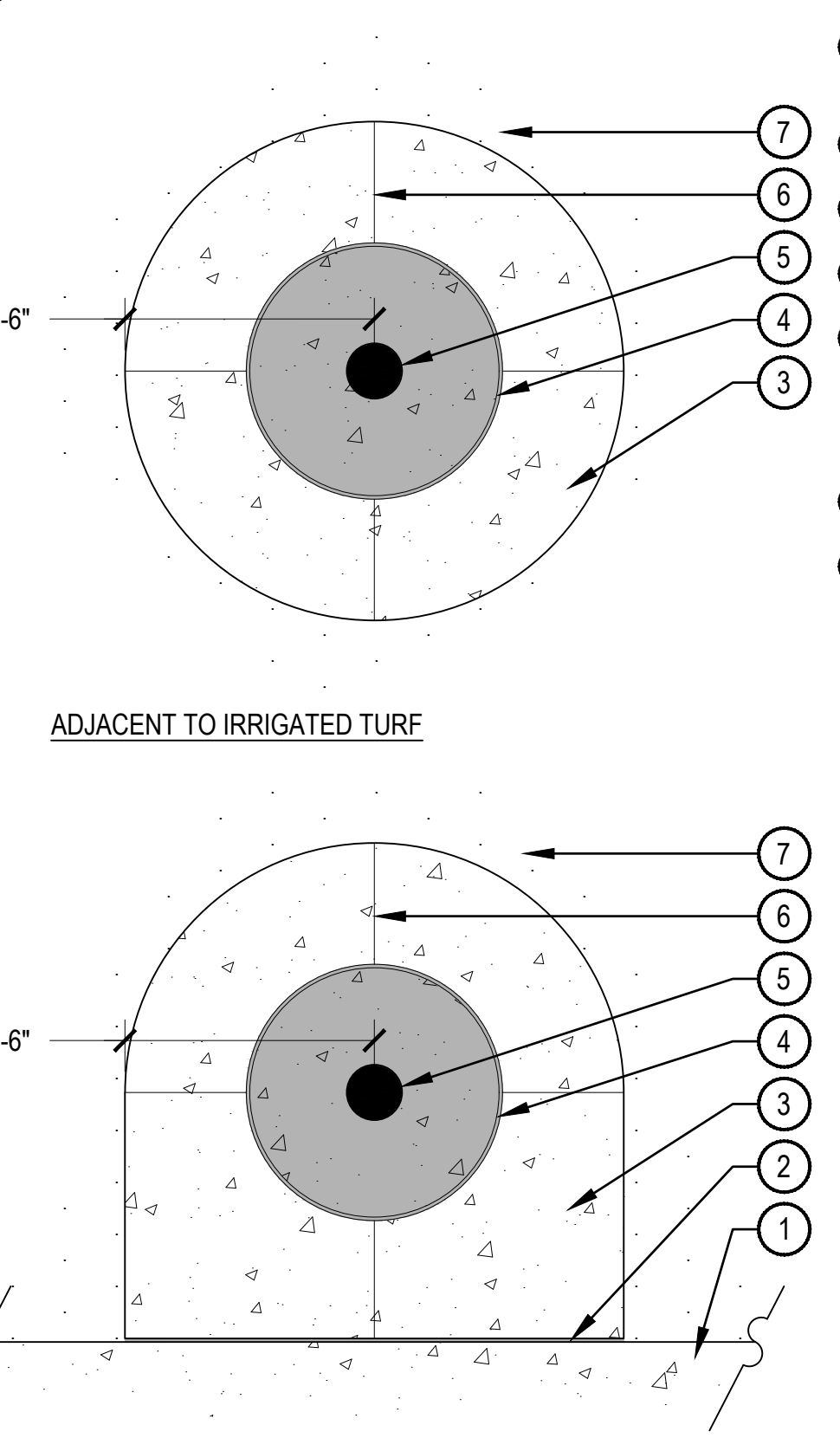
3 SANDSTONE SLAB LAYOUT
(PHASE 2 - ALT. #3)



2 SITE AMENITY SURFACE MOUNT
(PHASE 2 - ALT. #3)



4 LIGHT POLE BASE
(PHASE 2 - ALT. #3)



- NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

4 LIGHT POLE BASE
(PHASE 2 - ALT. #3)



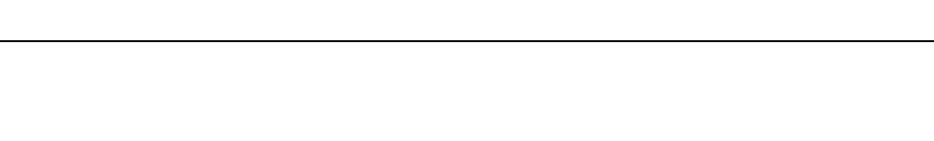
1. ADJACENT CONCRETE WALK, SEE PLANS
2. EXPANSION JOINT
3. CONCRETE PAVING
4. FOAM JOINT WITH SEALANT
5. FESTOON LIGHT POLE OR SITE LIGHT POLE, REFER TO PLANS AND DETAIL 7, SHEET LS-502
6. CONTROL JOINT
7. ADJACENT LANDSCAPE, SEE PLANS

4 LIGHT POLE BASE
(PHASE 2 - ALT. #3)



SCALE: 1/4" = 1'-0"

3 SANDSTONE SLAB LAYOUT
(PHASE 2 - ALT. #3)



3 SANDSTONE SLAB LAYOUT
(PHASE 2 - ALT. #3)



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

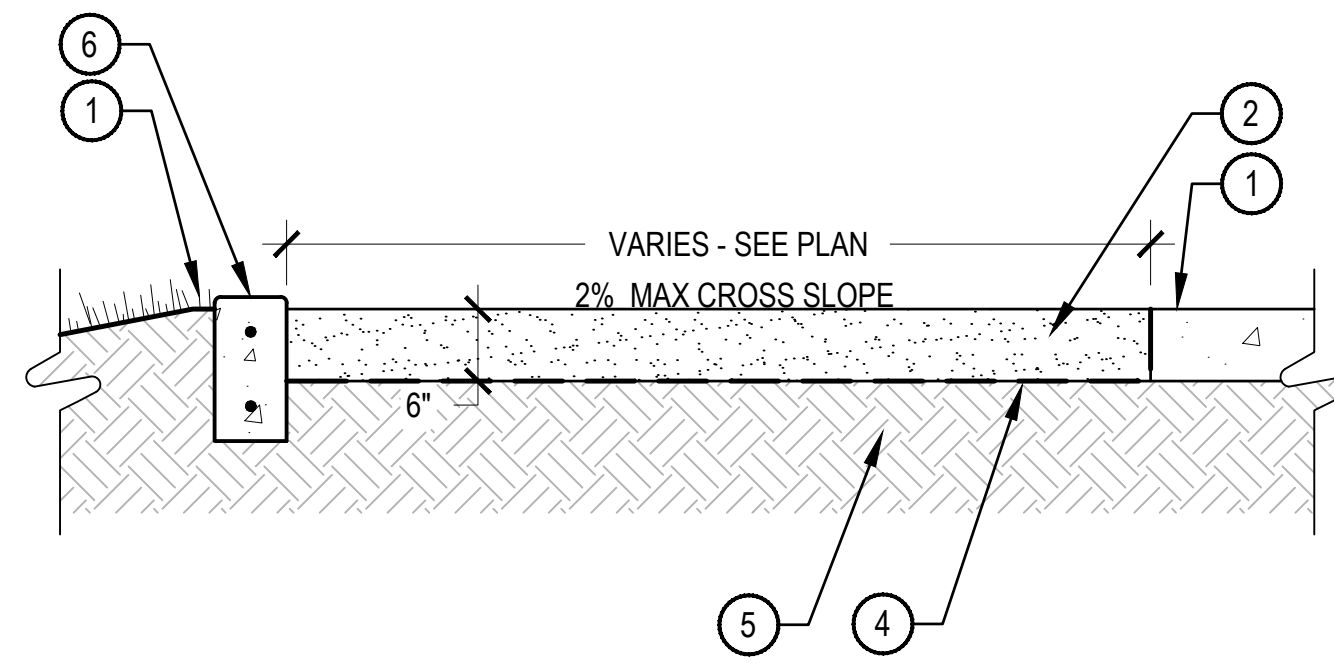


ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE SITE DETAILS

SHEET #: **LS-501**

SITE PLAN SHEET # **12 of 32**

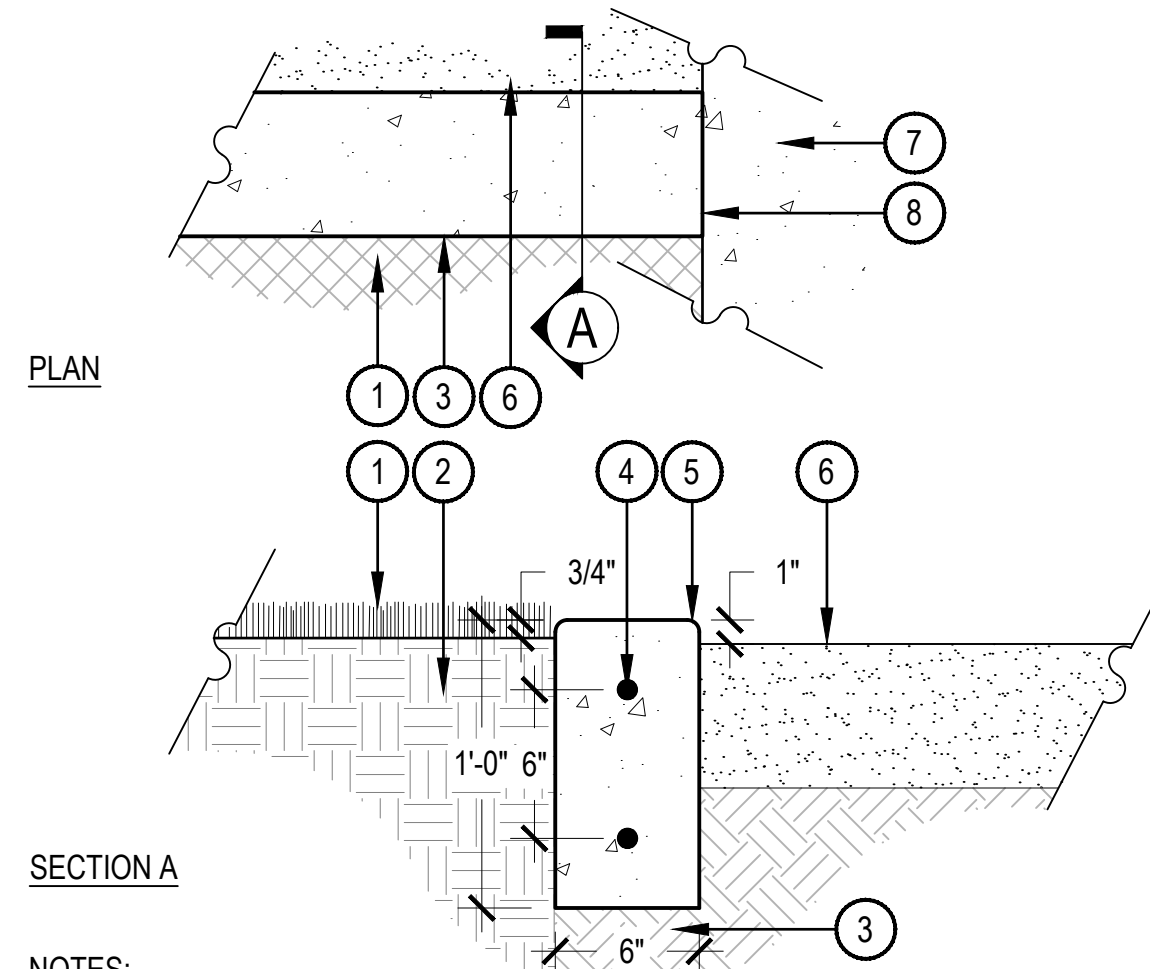


- ① LANDSCAPE AREA OR FLUSH WITH ADJACENT PAVING
- ② CRUSHER FINES WITH STABILIZER, REFER TO MATERIAL SCHEDULE, SHEET LS-001, SLOPE TO DRAIN, SEE GRADING PLANS
- ③ ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
- ④ GEOTEXTILE FABRIC, SECURE W/ FABRIC STAKES AT EACH EDGE, 5' ON CENTER AND WRAP AT EDGES
- ⑤ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ⑥ CONCRETE EDGE, REFER TO DETAIL 2, SHEET LS-502

- NOTES:
1. COMPACT CRUSHER FINES WET; COMPACT TO 95% STANDARD PROCTOR DENSITY.
 2. USE A SMALL 4" RIDING ROLLER TO COMPACT.
 3. CROSS SLOPE AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES. PROVIDE SMOOTH TRANSITION TO ADJACENT CONCRETE WALK.
 4. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE.

1 CRUSHER FINES PAVING
(PHASE 2 - ALT. #3)

SCALE: 3/4" = 1'-0"



- ① ADJACENT LANDSCAPE AREA
- ② UNDISTURBED GRADE
- ③ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ④ #4 REBAR CONTINUOUS
- ⑤ CONCRETE CURB WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES
- ⑥ ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
- ⑦ ADJACENT CONCRETE WALK OR BACK OF CURB
- ⑧ CURB TO MEET GRADE AT CONCRETE WALK AND BACK OF CURB, IN BOTH LINE AND GRADE

- NOTES:
1. PROVIDE CONTROL JOINTS AT 6' ON CENTER AND EXPANSION JOINTS AT 8'-0" ON CENTER.
 2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2", UNLESS OTHERWISE NOTED.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 4. ALL CONCRETE EDGES TO BE FREE FROM KINKS, ANGLES, OR IRREGULARITIES. ANY DEVIATION WILL RESULT IN REJECTION.

2 CONCRETE EDGE
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)

SCALE: 1 1/2" = 1'-0"



3 BIKE RACK
(PHASE 1A)

MANUFACTURER: KEYSTONE RIDGE, AS PROVIDED BY GARRET JACOBS, CONTACT, T: (724) 284-1213 ext. 244
 Keystone Ridge Designs, Inc.
 670 Mercer Rd Butler, PA 16001-1840
<https://www.keystoneridgedesigns.com/>

MODEL: CREEKVIEW BIKE RACK, CW10 (OR APPROVED EQUAL)

COLOR: CHROMITE

MATERIALS: POLYESTER POWDER COATED FINISH

MOUNTING: SURFACE MOUNT



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, robert.harlow@forms-surfaces.com

MODEL: TANGENT TABLE ENSEMBLE, SETAN-4LA, NO UMBRELLA

FRAME: CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH

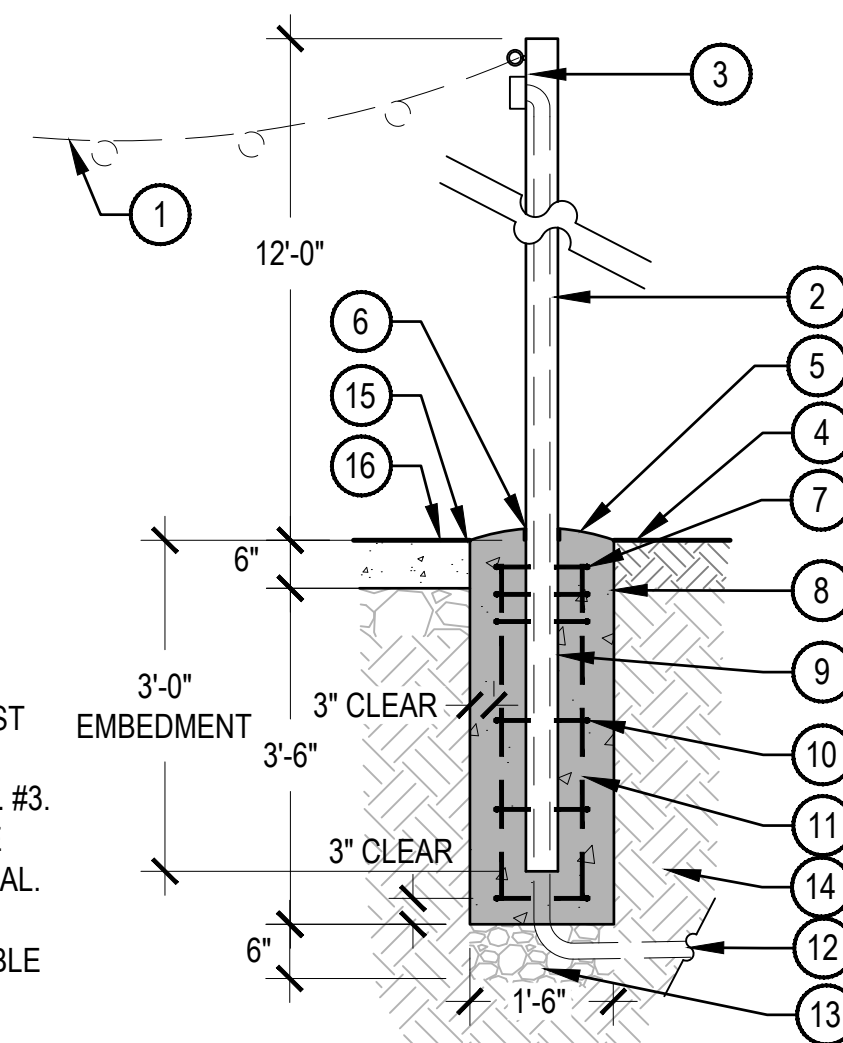
SEAT AND TABLE TOP: EXTRUDED ALUMINUM SLATS WITH ARGENTO POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT

5 PICNIC TABLE - TYPE B
(PHASE 1B)

SCALE: 3/4" = 1'-0"

- ① FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2, RE: ELECTRICAL
- ② 4" POWDERCOATED ROUND 3/16" TUBE STEEL POST WELD OPEN TOP SHUT, COLOR: MATTE BLACK
- ③ FESTOON LUMINAIRE JUNCTION BOX, RE: ELECTRIC PLANS
- ④ FINISH GRADE, REFER TO PLANS FOR SURFACE TYPE
- ⑤ DOME TOP OF CONCRETE TO DRAIN SURFACE WATER
- ⑥ CAULK JOINT AT TOP OF PIER BETWEEN COLUMN AND CONCRETE
- ⑦ (3) #3 TIES AT 3" ON CENTER, AT TOP
- ⑧ CAST IN PLACE CONCRETE FOOTING, EXPOSED SURFACES TROWELLED SMOOTH
- ⑨ COAT STEEL CAST INTO CONCRETE WITH COAL TAR EPOXY OR SIMILAR WATERPROOFING EMULSION
- ⑩ #3 TIES AT 12" ON CENTER
- ⑪ (6) #5 VERTICAL
- ⑫ CONDUIT SLEEVE, RE: ELECTRICAL
- ⑬ COMPACTED AGGREGATE BASE
- ⑭ COMPACTED SUBGRADE
- ⑮ 1/2" EXPANSION JOINT WITH CLEAR WATER TIGHT EPOXY
- ⑯ ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503



- NOTES:
1. PVC SLEEVE, CONDUIT, STRUCTURAL CAISSON, AND POST TO BE INSTALLED IN PHASE 1A.
 2. FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3.
 3. CONTRACTOR SHALL COORDINATE WIRING WITHIN TUBE STEEL POSTS FOR FESTOON LUMINAIRE WITH ELECTRICAL.
 4. CONTRACTOR SHALL PROVIDE STAMPED STRUCTURAL SHOP DRAWINGS. DRAWINGS SHALL MEET ALL APPLICABLE CODE.
 5. STRUCTURAL DETAIL WILL BE A DEFERRED SUBMITTAL UNTIL AFTER THE PROJECT IS AWARDED.
 6. ALL METAL HARDWARE SHALL BE GALVANIZED.

7 FESTOON LIGHT POLE
(PHASE 1A AND PHASE 2 - ALT. #3)

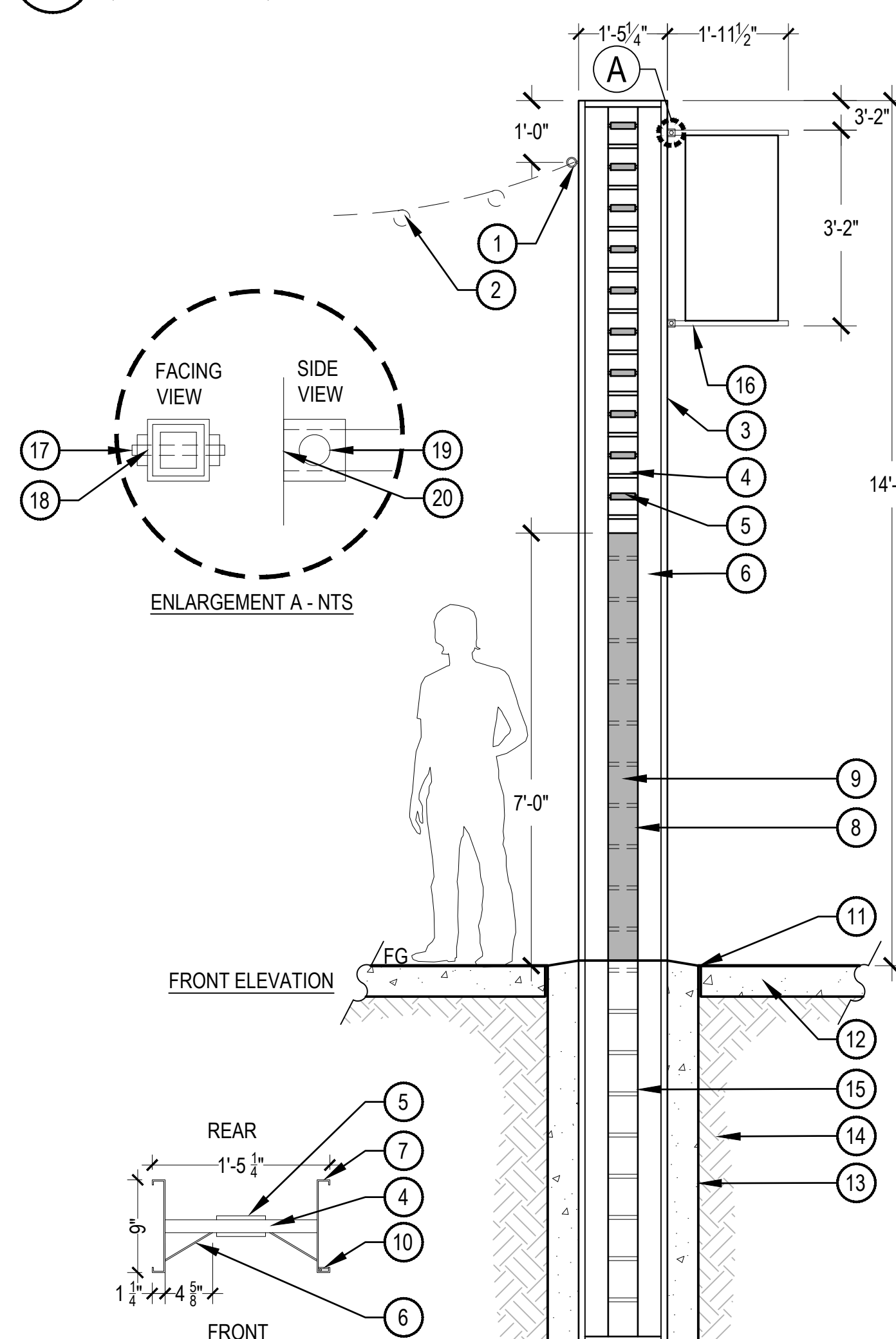
SCALE: 1/2" = 1'-0"



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



- ① INSTALL EYE BOLT FOR CONNECTION TO FESTOON LIGHTING, RE: ELECTRICAL
- ② FESTOON LIGHTING, RE: ELECTRICAL
- ③ SALVAGED STEEL CONVEYOR FEATURE, AVAILABLE FROM OWNER, SANDBLAST CLEAN TO REMOVE ALL REMAINING PAINT, DUST AND DEBRIS, CLEAR COAT RAW STEEL EXCEPT WHERE NOTED AS PAINTED BELOW
- ④ SQ. STEEL TUBE HORIZONTAL BEAM
- ⑤ STEEL ROLLER, WELD OR GLUE IN PLACE TO ELIMINATE ANY MOVEMENT OF ROLLER, TYP.
- ⑥ WELDED STEEL ANGLE SUPPORT
- ⑦ STEEL VERTICAL PLATE W/ WRAPPED END
- ⑧ REMOVE BOTTOM COURSES OF ROLLERS TO HEIGHT INDICATED
- ⑨ NEW 1/4" THICK STEEL PLATE W/ CUT-OUT OPENINGS AS SHOWN, BOTH SIDES, WELD TO SALVAGED CONVEYOR AND PAINT AS INDICATED
- ⑩ WELD NEW 1/8" STEEL STRIP OR TUBING TO SIDE OF VERTICAL SUPPORT AND PROVIDE INTERIOR PVC SLEEVE FOR LIGHTING CONDUIT
- ⑪ EXPANSION JOINT
- ⑫ ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
- ⑬ CAST IN PLACE CONC FOOTING BY OTHERS, SLOPE TOP OF FOOTING W/ HIGH POINT TO DRAIN AWAY FROM CONVEYOR
- ⑭ COMPACTED SUBGRADE
- ⑮ REMOVE ALL ROLLERS BELOW GRADE
- ⑯ COMMUNITY BANNER / ARTWORK, RE: TOWN OF MEAD
- ⑰ 1/2" O.D. MARINE GRADE THREADED ROD WITH STAINLESS STEEL METAL WASHER AND LOCKING NUT FOR COMPRESSION
- ⑱ SHOP FABRICATE 5/8" DIAMETER HOLE AT TWO ENDS
- ⑲ THREADED BOLT W/ ATTACHMENT
- ⑳ 1-1/2" SQ TUBE STEEL, BUTT WELD TO CONVEYOR, COLOR TBD

- NOTES:
1. FINAL PAINT COLORS TBD. COLOR PALETTE TO INCLUDE UP TO 3 COLORS.
 2. DIMENSIONS SHOWN ARE ESTIMATES. FIELD VERIFY ALL FEATURE DIMENSIONS PRIOR TO COMMENCING RENOVATION OF CONVEYOR AND NOTE ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
 3. CONTRACTOR TO PROVIDE STAMPED STRUCTURAL SHOP DRAWING OF ALL NEW CONSTRUCTION FEATURES, ATTACHMENT METHODS TO EXISTING CONVEYOR, AND FOOTERS. DRAWINGS SHALL MEET ALL APPLICABLE CODE.
 4. STRUCTURAL DETAIL WILL BE A DEFERRED SUBMITTAL UNTIL AFTER THE PROJECT IS AWARDED.

6 RE-PURPOSED CONVEYOR
(PHASE 1A)

SCALE: 1/2" = 1'-0"

ESSENZA ARCHITECTURE
 685 S. ARTHUR AVE., UNIT 12-B
 LOUISVILLE, CO 80027
 P: 303.952.5080
 www.essenza-arch.com
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NORRIS DESIGN
 PEOPLE + PLACEMAKING
 244 NORTH COLLEGE AVENUE
 #165
 FORT COLLINS, CO 80524
 P 970.409.5414
 NORRIS-DESIGN.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:
 LANDSCAPE SITE DETAILS

SHEET #: **LS-502**
 SITE PLAN SHEET # **13 of 32**



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, robert.harlow@forms-surfaces.com

MODEL: BALANCE BENCH, SBBAL-72BPC

FRAME: SOLID CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH

SEAT: STAINLESS STEEL WITH ARGENTO POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, robert.harlow@forms-surfaces.com

MODEL: BACKLESS BALANCE BENCH, SBBAL-72NPC

FRAME: SOLID CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH

SEAT: STAINLESS STEEL WITH ARGENTO POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, robert.harlow@forms-surfaces.com

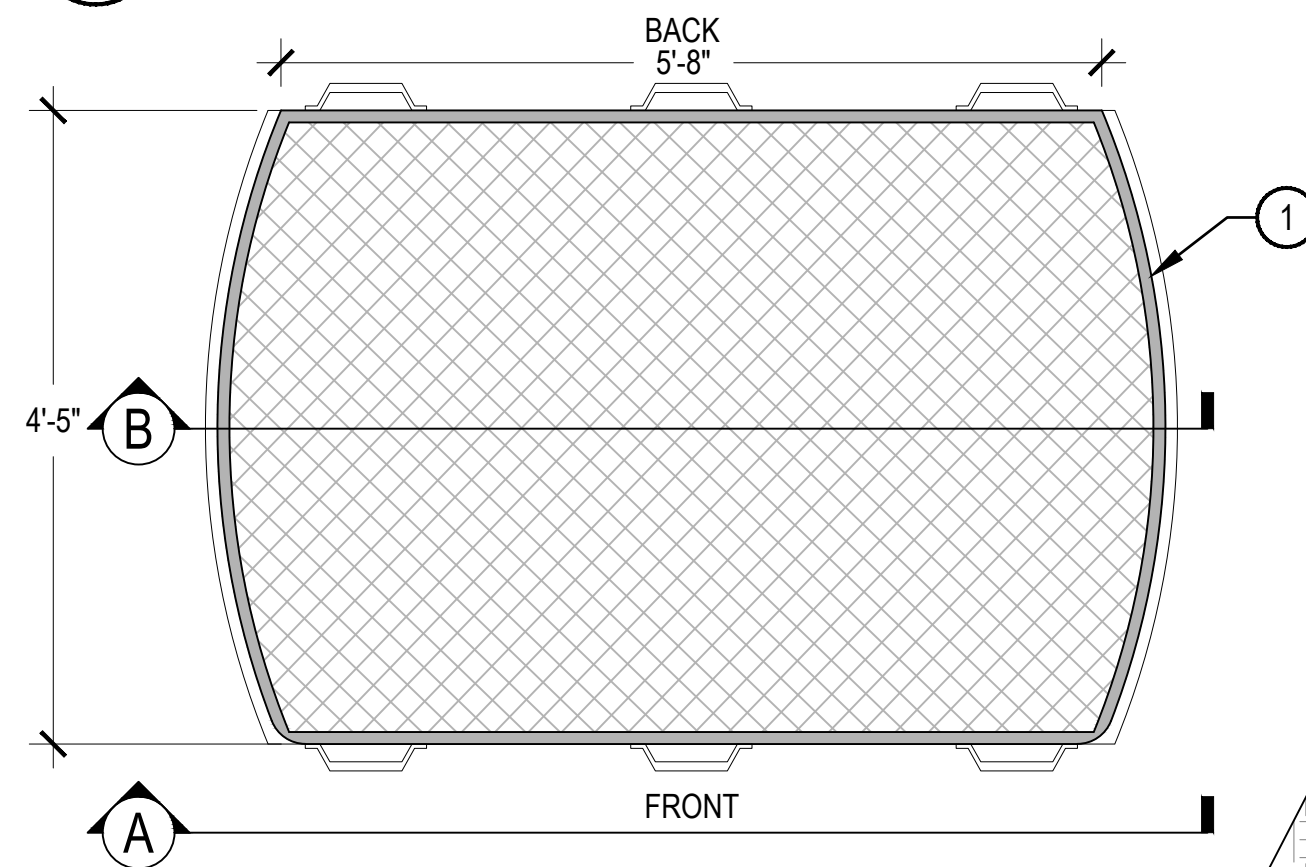
MODEL: VECTOR TABLE ENSEMBLE, (5) STVTR-72A AND (1) STVTR-72A-ADA

FRAME: ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH

SEAT AND TABLE TOP: EXTRUDED ALUMINUM SLATS WITH ARGENTO POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT

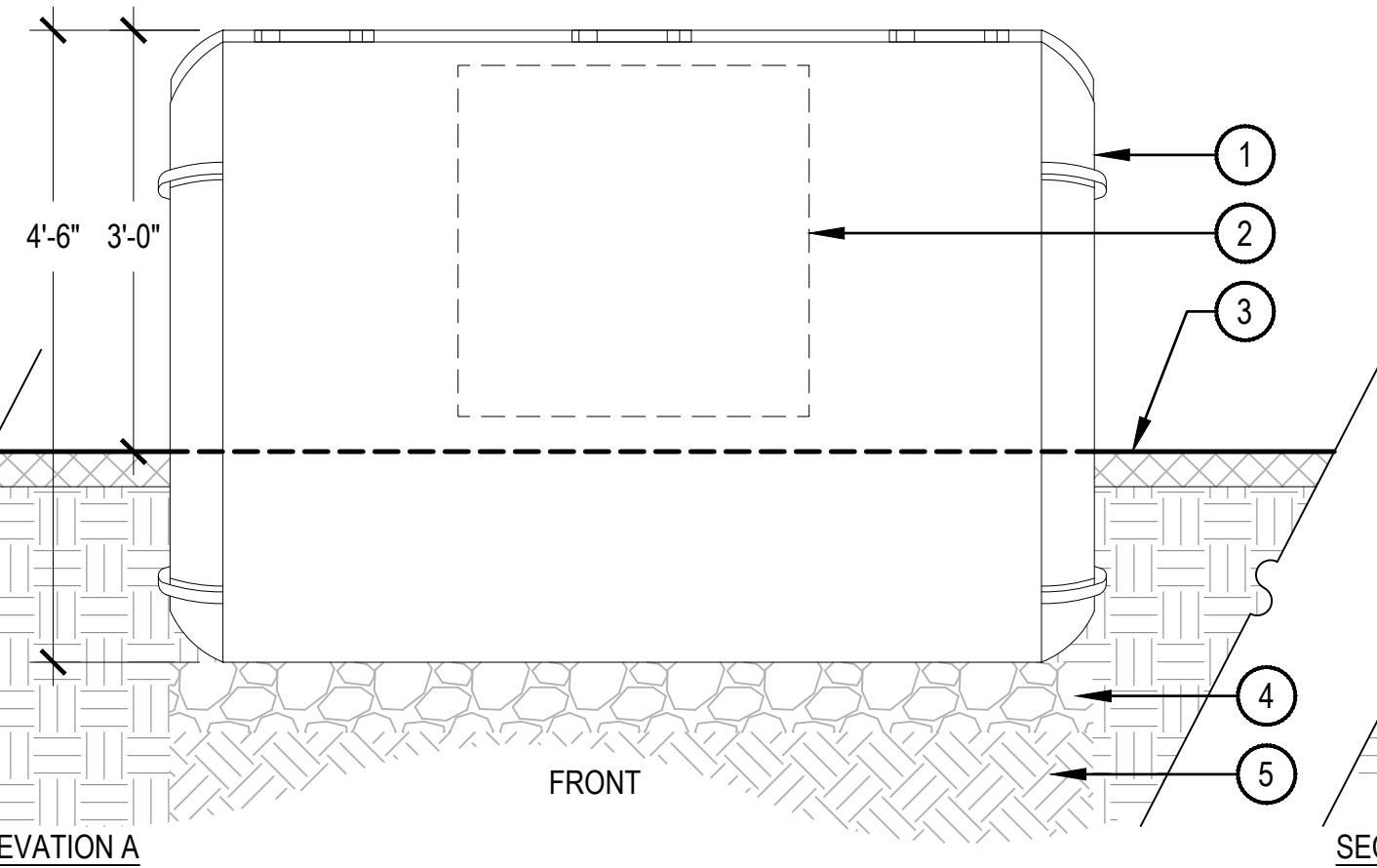
1 BENCH
(PHASE 1A)



PLAN NOTES:

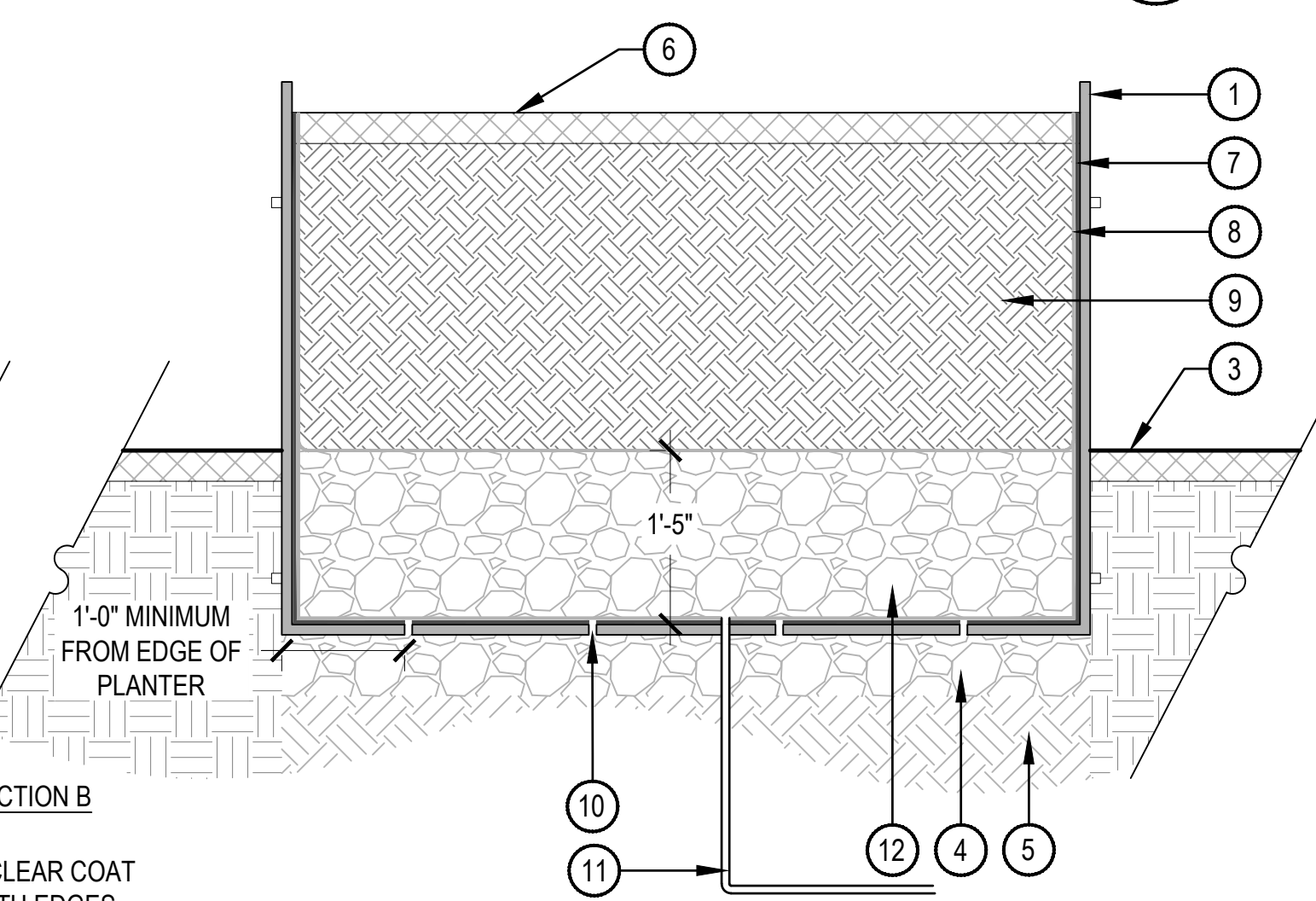
- DIMENSIONS SHOWN ARE ESTIMATES. FIELD VERIFY ALL FEATURE DIMENSIONS PRIOR TO COMMENCING RENOVATION AND NOTE ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
- PLANTER TO BE PRE-PROCESSED BY SANDBLASTING EXISTING PAINT AND RUST, PRESSURE CLEANED, AND PREPPED WITH A PERMANENT SEMI-GLOSS CLEAR COAT PRIOR TO INSTALLATION. CLEAR COAT TO BE APPLIED TO INTERIOR AND EXTERIOR OF PLANTER. CONTRACTOR TO PRE-DRILL DRAINAGE HOLES PRIOR TO SANDBLAST PROCESS. FILE EDGES OF DRAINAGE HOLES TO ENSURE SMOOTH EDGES.
- APPLY ARTWORK TO THE FRONT OF THE BEAN POT PLANTER. FRONT OF PLANTER SHALL FACE ADJACENT CONCRETE WALKS, REFER TO PLANS FOR LOCATIONS.
- PROVIDE WASHED PEA GRAVEL AND FILTER FABRIC WRAP AT DRAINS.
- CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE AND WATERPROOFING CONSULTANT FOR TESTING AND APPROVAL OF LINER SETTING PRIOR TO COVERING LINER.

2 BACKLESS BENCH
(PHASE 2 - ALT. #3)



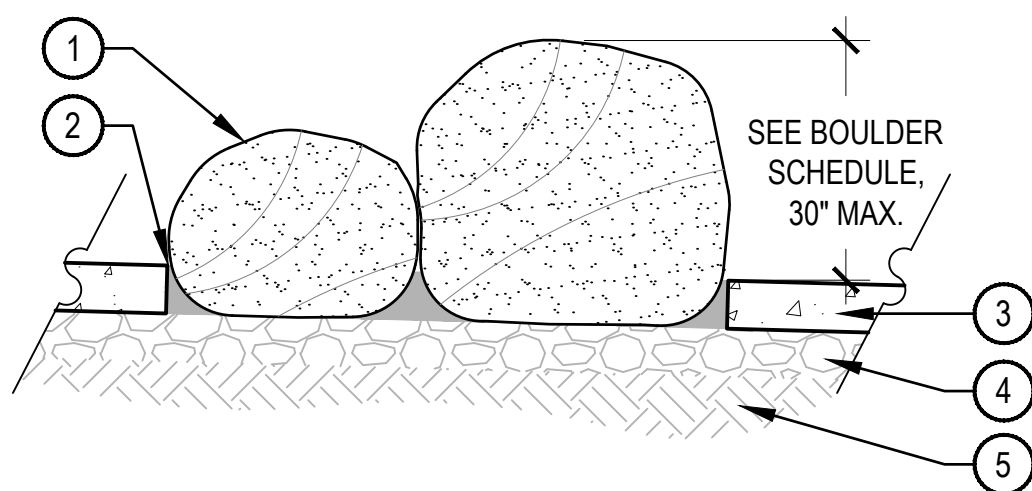
SECTION B

3 PICNIC TABLE - TYPE A
(PHASE 2 - ALT. #3)



- RE-PURPOSED BEAN POT PLANTER, SET PLANTER 18" BELOW FINISH GRADE
- BEAN POT PLANTER ARTWORK, REFER TO DETAIL 4, SHEET LS-502
- FINISH GRADE, REFER TO LANDSCAPE PLANS FOR SURFACE MATERIAL
- 6" ROADBASE, COMPACTED TO 95% STANDARD PROCTOR DENSITY
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- SPECIFIED LANDSCAPE MULCH
- GACOFLEX LM-60 POLYURETHANE ELASTOMERIC WATERPROOFING MEMBRANE, OR APPROVED EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- FILTER FABRIC
- AMENDED TOPSOIL
- 3/4" DIAMETER DRAINAGE HOLES, DRILL APPROXIMATELY 8 HOLES EVENLY SPACED ACROSS THE BOTTOM OF THE PLANTER
- PROVIDE SLEEVE FOR DRIP IRRIGATION, REFER TO IRRIGATION PLANS
- 3/4" CLEAN WASHED ANGULAR ROCK

4 RE-PURPOSED BEAN POT PLANTER
(PHASE 1A AND PHASE 2 - ALT. #3)



- WATER FEATURE BOULDER, LOCATE PER PLANS, REFER TO MATERIAL SCHEDULE, SHEET LS-001
- 1/2" GROUT AROUND BOULDERS, APPLY PREMIUM ELASTOMERIC SEALANT RATED FOR COMMERCIAL OUTDOOR POOLS ENTIRE DEPTH OF JOINT TO ENSURE SEAL
- SPLASHPAD CONCRETE PAVING, REFER TO DETAIL 2, SHEET LS-504
- GRAVEL BASE
- SUBGRADE COMPACTED TO 95% PROCTOR DENSITY

BOULDER SCHEDULE		
QTY.	ITEM	SIZE
5	A' SIZED BOULDER	24" WIDTH X 36" LENGTH X 24" HEIGHT
6	B' SIZED BOULDER	36" WIDTH X 48" LENGTH X 30" HEIGHT

NOTES:

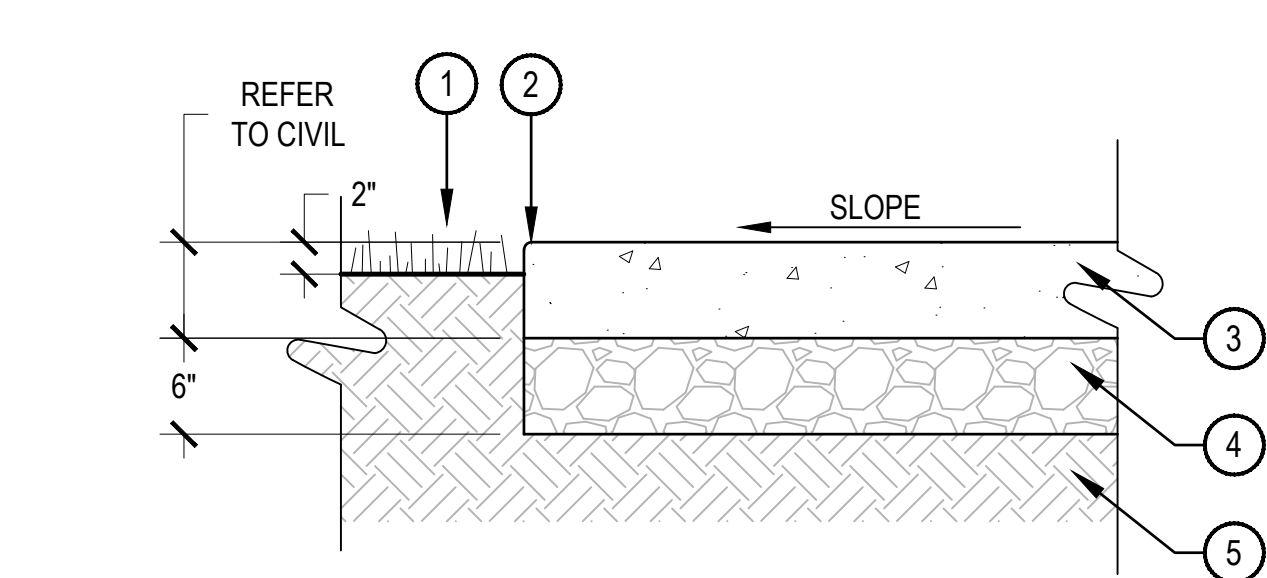
- FINAL BOULDER LOCATIONS TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- GROUPED BOULDERS AS SHOWN ON PLANS. GRIND AND CHISEL SIDE SURFACES TO PROVIDE INTEGRATED FIT BETWEEN BOULDERS. MAINTAIN MAX. 1/2" GAP OR GREATER THAN 4" BETWEEN BOULDERS.
- BOULDER SIZES MARKED WITH A, B, OR C ON LANDSCAPE PLAN SHEET LS-102 TO COINCIDE WITH BOULDER SCHEDULE.

5 WATER FEATURE BOULDER
(PHASE 2 - ALT. #3)

SCALE: 1/2" = 1'-0"

6 CONCRETE PAVING
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)

SCALE: 1" = 1'-0"



NOTES:

- NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSES ONLY; IT HAS NOT BEEN ENGINEERED.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.
- MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
- CONTROL JOINTS AS SHOWN ON PLANS.
- EXPANSION JOINTS AT 200' ON CENTER MAXIMUM OR WHERE NOTED.
- EXPANSION JOINTS AT ALL CONSTRUCTION JOINTS AND SLAB EDGES OF ALL STRUCTURES PROVIDE A 25 SQUARE FOOT MARK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
- SLOPE ALL FINISH GRADE TO DRAIN PER PLANS. MAX 2% CROSS SLOPE AND MAX 5% LONGITUDINAL SLOPE UNLESS OTHERWISE INDICATED.

7 WASTE RECEPTACLE
(PHASE 1A AND PHASE 2 - ALT. #3)



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, robert.harlow@forms-surfaces.com

MODEL: DISPATCH LITTER RECEPTACLE, SLDIS-145

MATERIALS: SOLID CAST ALUMINUM CONSTRUCTION WITH DARK CORTEN POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT, REFER TO DETAIL 2, SHEET LS-501 FOR MOUNTING IN LANDSCAPE BED, NATIVE SEED, OR CRUSHER FINES

SCALE: 3/4" = 1'-0"

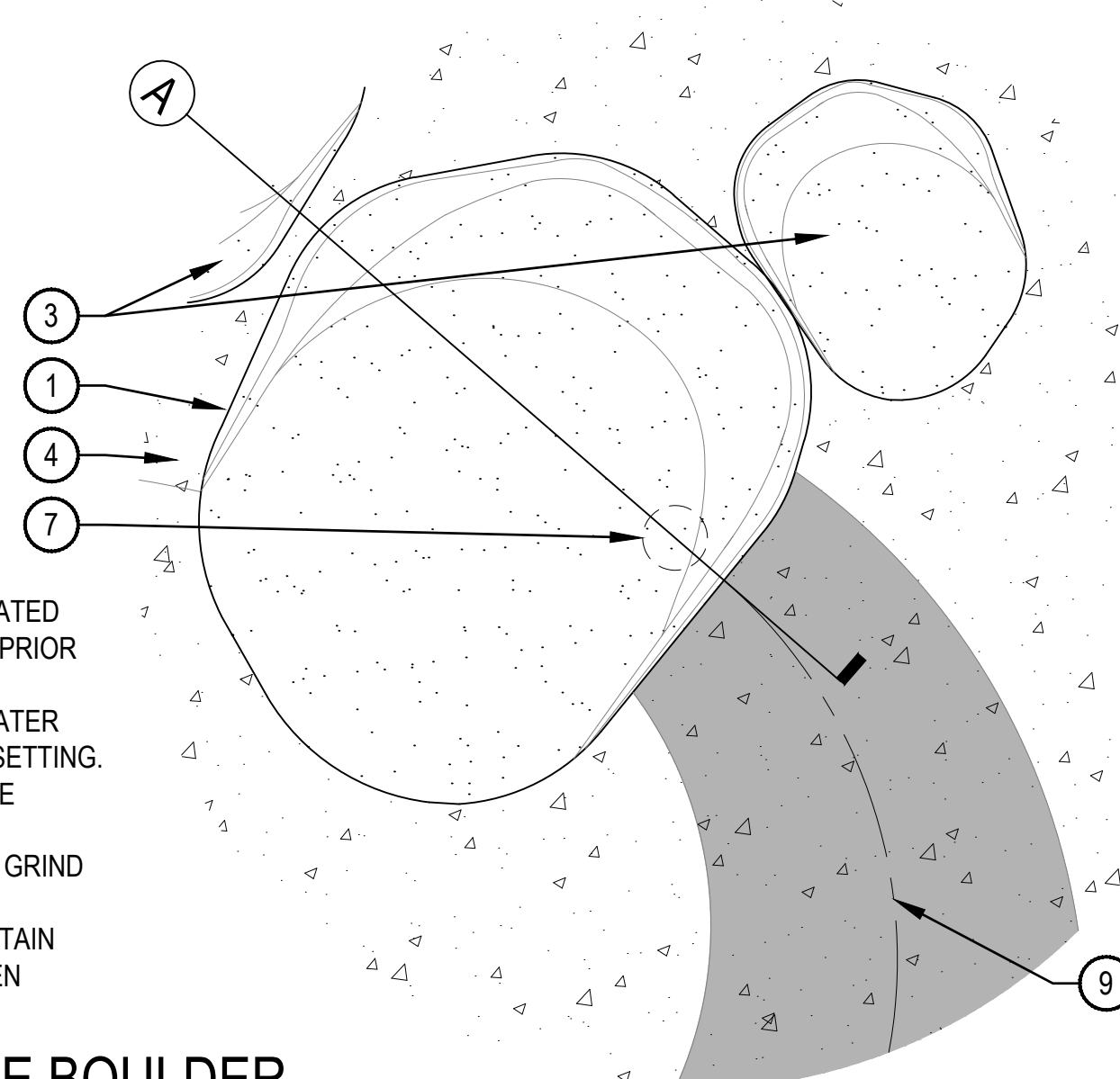
TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

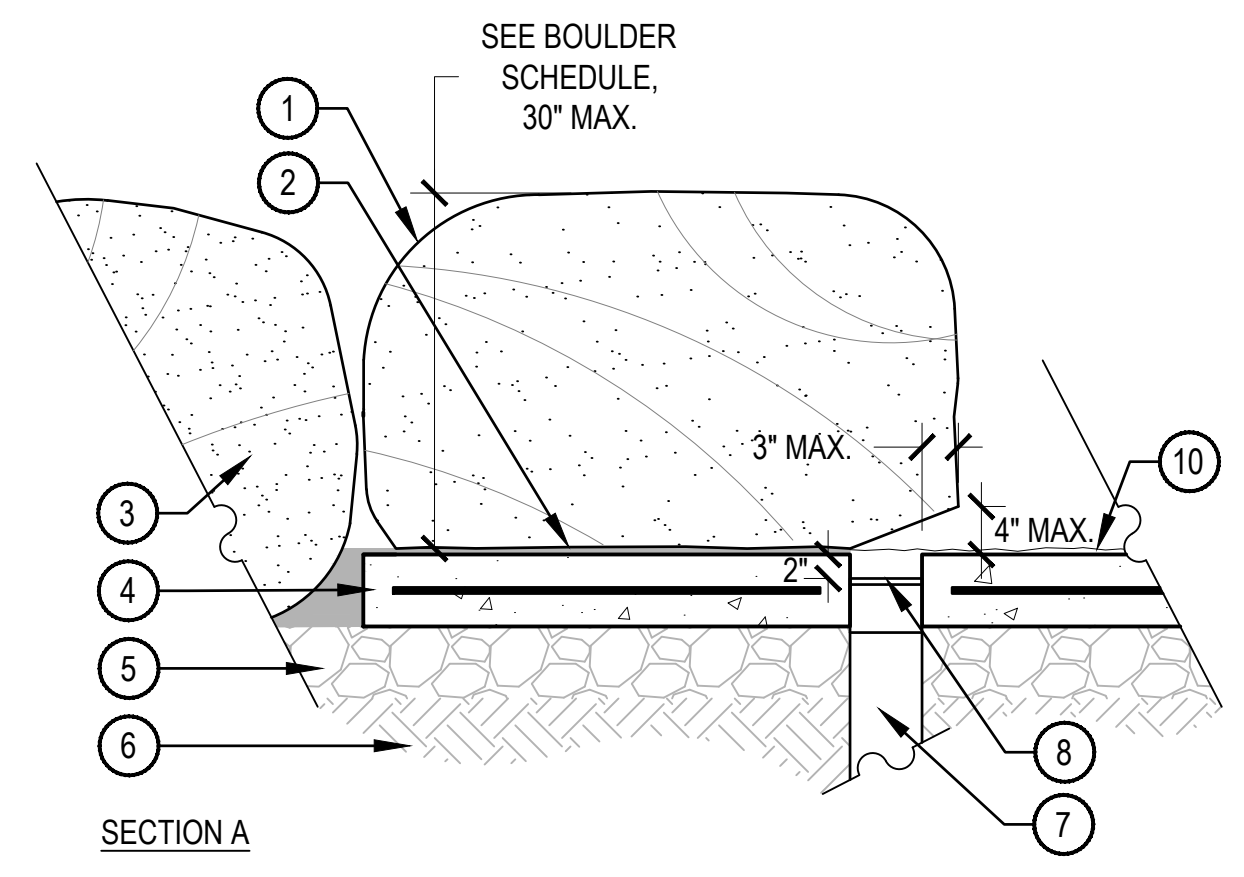
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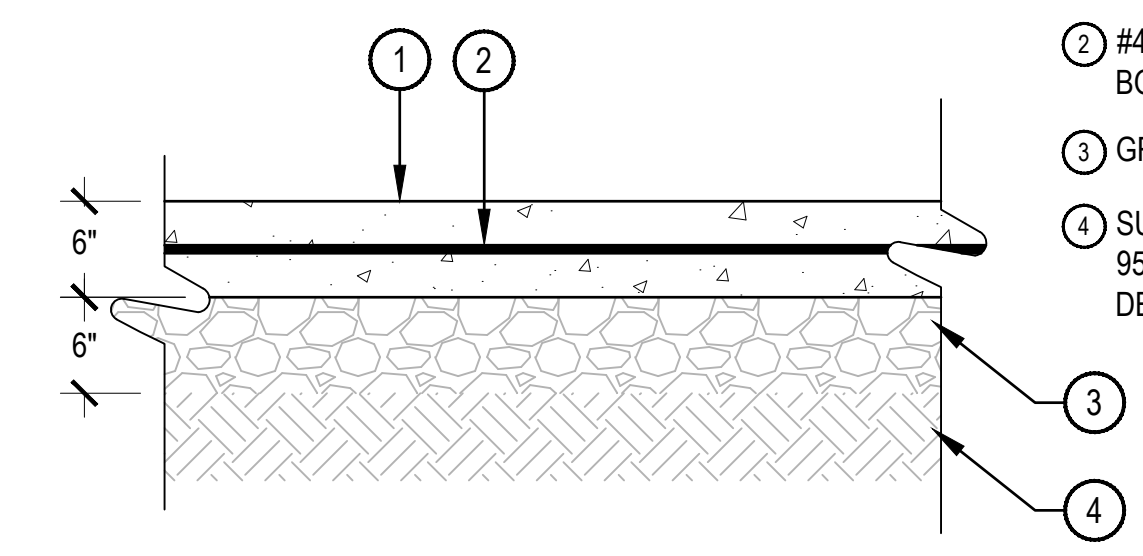


- NOTES:**
1. FINAL BOULDER LOCATION TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. GRIND AND CHISEL BOTTOM SURFACE OF WATER SOURCE BOULDER AS NEEDED FOR EPOXY SETTING.
 3. GRIND AND CHISEL WATER FEATURE SOURCE BOULDER SO THERE ARE NO SHARP EDGES.
 4. GROUPED BOULDERS AS SHOWN ON PLANS. GRIND AND CHISEL SIDE SURFACES TO PROVIDE INTEGRATED FIT BETWEEN BOULDERS. MAINTAIN MAX. 1/2" GAP OR GREATER THAN 4" BETWEEN BOULDERS.

1 WATER FEATURE SOURCE BOULDER
(PHASE 2 - ALT. #3)



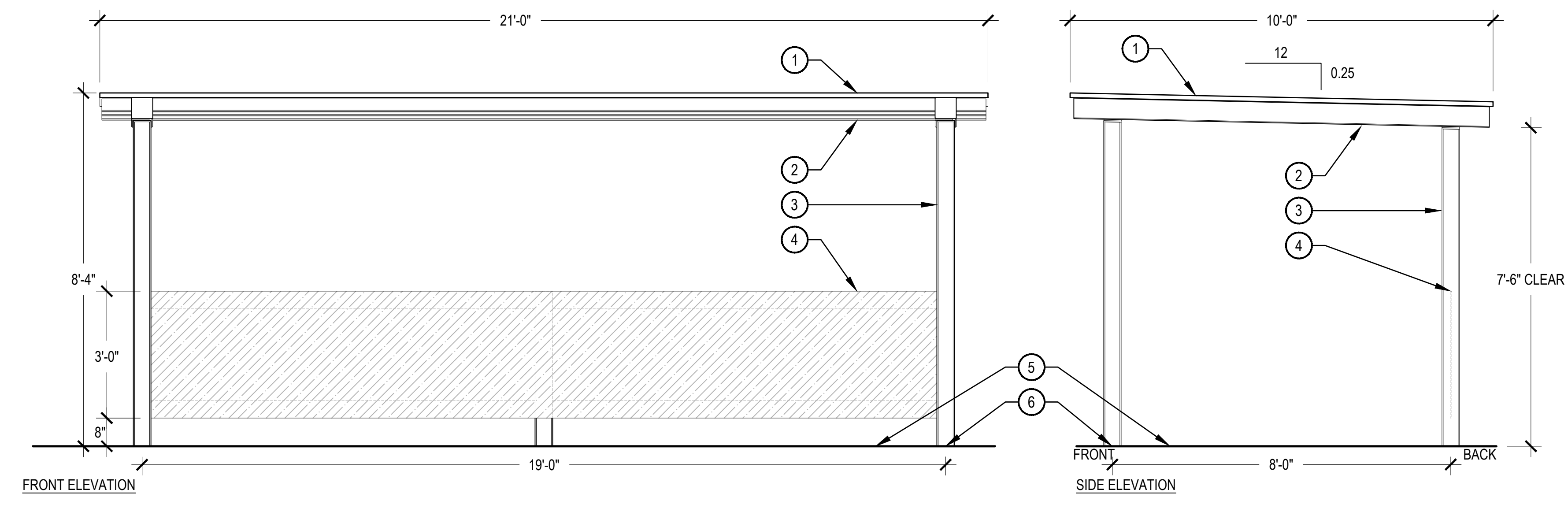
- 1 WATER FEATURE SOURCE BOULDER, REFER TO MATERIAL SCHEDULE, SHEET LS-001, CHISEL FRONT TO PROVIDE 4" X 9" ANGLED RECESS TO WEIR
- 2 PREMIUM CLEAR ELASTOMERIC SEALANT RATED FOR COMMERCIAL OUTDOOR POOLS
- 3 WATER FEATURE BOULDER, REFER TO DETAIL 5, SHEET LS-503
- 4 SPLASHPAD CONCRETE PAVING, REFER TO DETAIL 2, SHEET LS-504
- 5 GRAVEL BASE
- 6 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 7 WATER FEATURE SUPPLY PIPE, SEE WATER FEATURE MECHANICAL DRAWINGS
- 8 GRATE, SEE WATER FEATURE MECHANICAL DRAWINGS
- 9 CHANNEL CENTERLINE
- 10 WATER SURFACE



- NOTES:**
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSES ONLY; IT HAS NOT BEEN ENGINEERED.
 2. CONTRACTOR TO SUPPLY DETAILED SHOP DRAWINGS.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.
 4. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
 5. ALL ENHANCED CONCRETE WITHIN SPLASH PAD AREA IS DECORATIVE, 6" DEPTH, AND FORMED IN CONCENTRIC RINGS. ALL DECORATIVE CONCRETE WITHIN THE SPLASH PAD AREA TO BE REINFORCED WITH #4 REBAR SET 18" ON CENTER BOTH WAYS AND SHOULD BE TIED TOGETHER.
 6. REFER TO VORTEX AQUATIC DRAWINGS FOR NOZZLE, SPRAY HEAD PLACEMENT, AND DETAILS.

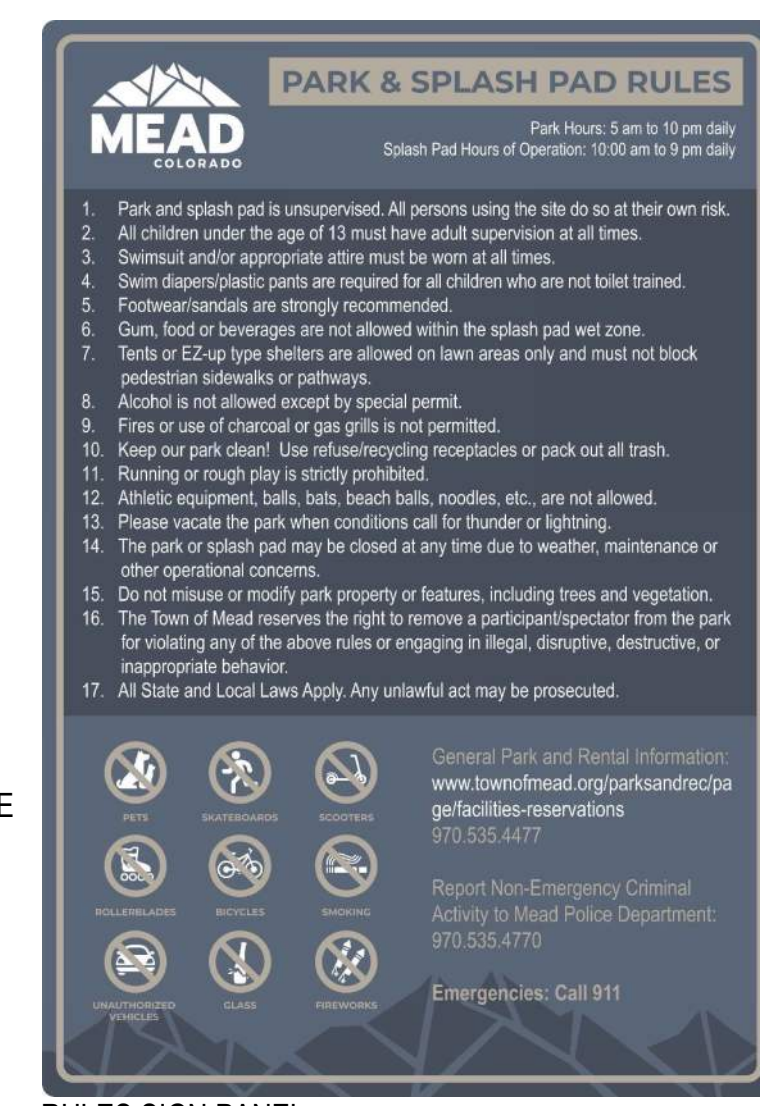
2 SPLASHPAD CONCRETE PAVING
(PHASE 2 - ALT. #3)

- NOTES:**
1. SHADE STRUCTURE TO BE MANUFACTURED BY POLYGON, MODEL MSE-10X21, WITH EXTENDED ROOF OVERHANG AND BEAMS.
 2. DECORATIVE PANEL TO BE SLOTTED METAL PERFORATED PANEL BY MCNICHOLS, TO MATCH ARCHITECTURE. ATTACH TO FRAMING PER MFG RECOMMENDATIONS. ALTERNATIVE: PARASOLEIL, LEMON DROP PATTERN.
 4. DECORATIVE PANELS TO BE INSTALLED BETWEEN BACK POSTS OF STRUCTURE. FRAMING TO BE PROVIDED BY MANUFACTURER.
 5. CONTACT HEATHER HEASLEY WITH CHURCHICH RECREATION, LLC. heather@churchichrecreation.net
 6. FRONT OF STRUCTURE TO FACE THE SPLASHPAD, AS SHOWN ON PLANS.
 7. CONTRACTOR SHALL FURNISH STAMPED STRUCTURAL DRAWINGS FOR FOOTING DESIGN. TO MEET ALL APPLICABLE CODES.



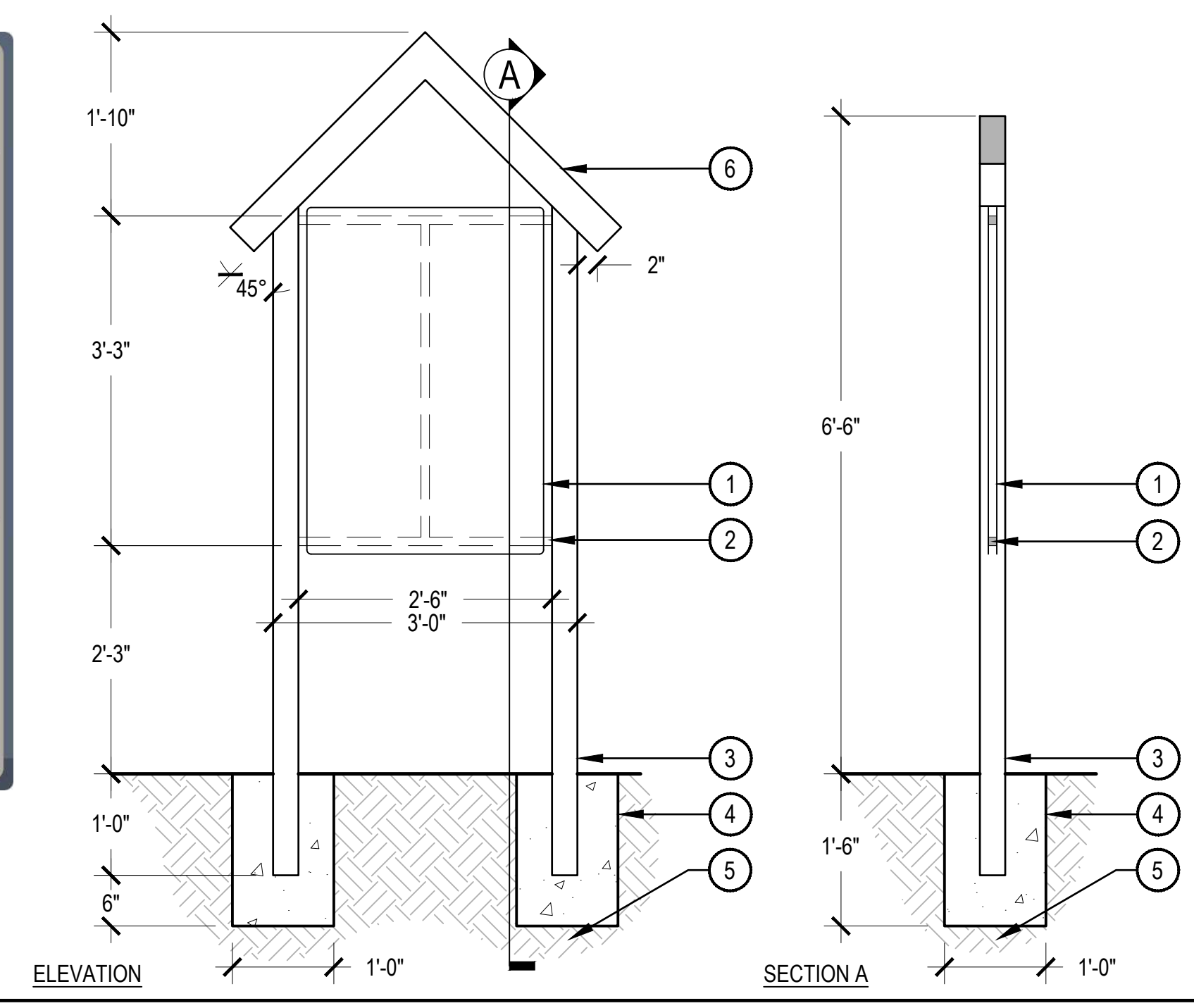
- 1 METAL STANDING SEAM ROOF, GALVALUME PLUS FINISH
- 2 FASCIA AND BEAMS, PT05 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 3 METAL POSTS, PT05 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 4 DECORATIVE PANEL, PT06 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 5 FINISH GRADE
- 6 EMBED MOUNT STRUCTURE PER MANUFACTURER

3 SHADE STRUCTURE
(PHASE 2 - ALT. #3)



- NOTES:**
1. FINAL FONT, FONT SIZE AND TEXT CONTENT TO BE APPROVED BY OWNER.
 2. RULES SIGN PANEL TO BE SHOWN ON BOTH SIDES OF SIGNAGE AS SHOWN.
 3. WELD JOINTS SHALL BE SEAMLESS, FLUSH CORNERS, GRIND SMOOTH AND DEBURR.
 4. CONTRACTOR SHALL PROVIDE SAMPLE(S) OF PAINT APPLICATION AND COLOR FOR APPROVAL PRIOR TO FABRICATION.
 5. THIS DETAIL REPRESENTS DESIGN INTENT, SIGN FABRICATOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL PRIOR TO CONSTRUCTION AND INSTALLATION.
 6. SIGN FABRICATOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR SIGN PANEL DIGITAL FILE.

RULES SIGN PANEL



- 1 ALUMINUM SIGN, 0.080 GA, ANCHOR TO STEEL FRAME WITH TAMPER-PROOF BOLTS. SIGN FACE TO HAVE A PROTECTIVE GRAFFITI RESISTANT COATING, LETTERING 1" TALL MIN.
- 2 1" X 1" STEEL FRAME (1/8" THICK), WELDED TO TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER
- 3 3" X 3" TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER
- 4 CONCRETE FOOTING
- 5 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 6 4" X 4" TUBE STEEL, WELDED TO TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER

4 REGULATORY SIGNAGE
(PHASE 2 - ALT. #3)

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513



ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE SITE DETAILS

SHEET #:
LS-504
SITE PLAN SHEET #
15 of 32

PLANT SCHEDULE - PHASE 1

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
DECIDUOUS CANOPY TREES								
GL SH	7	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL	LOW	40'-50'	30'-40'
QU MA	5	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	LOW	50'-80'	60'-80'
UL PR	2	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2" CAL	MOD	50'-80'	40'-60'
EVERGREEN TREES								
PI ED	3	PINUS EDULIS	PINUS PINE	B & B	6" HEIGHT	VERY LOW	25'-30'	15'-20'
PI HO	2	PICEA PUNGENS 'HOOPSII'	HOOPSII COLORADO SPRUCE	B & B	6" HEIGHT	MOD	20'-25'	10'-15'
PI SY	1	PINUS SYLVESTRIS	SCOTCH PINE	B & B	6" HEIGHT	LOW	40'-50'	25'-30'
ORNAMENTAL TREES								
CR AM	4	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	1.5" CAL	LOW	15'-25'	15'-20'
MA AD	4	MALUS X 'ADIRONDACK'	ADIRONDACK CRABAPPLE	B & B	1.5" CAL	MOD	15'-20'	10'-15'
DECIDUOUS SHRUBS								
CO BA	1	CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	#5	MOD	9'-12'	9'-10'
DA CM	6	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	CONT.	#5	MOD	4'-5'	4'-5'
EU AL	10	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	7'-8'	7'-8'
PR PB	9	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTERN SAND CHERRY	CONT.	#5	LOW	30" MAX.	5'-6'
EVERGREEN SHRUBS								
AR CH	9	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	CHIEFTAIN MANZANITA	CONT.	#5	LOW	3'-4'	5'-6'
AR CO	12	ARCTOSTAPHYLOS X COLORADOENSIS	MOCK BEARBERRY MANZANITA	CONT.	#5	LOW	2'-3'	5'-6'
AR PA	21	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT.	#5	LOW	1'-2'	4'-5'
EU FC	21	EUONYMUS FORTUNEI 'COLORATUS'	PURPLE-LEAF WINTERCREEPER	CONT.	#5	MOD	1'-2'	2'-3'
EU GR	12	EUONYMUS FORTUNEI 'GREEN LANE'	GREEN LANE WINTERCREEPER	CONT.	#5	MOD	1'-2'	2'-3'
JU ME	23	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	CONT.	#5	VERY LOW	15'-20'	4'-6'
JU SP	25	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	CONT.	#5	LOW	15'-20'	4'-6'
PI MO	4	PINUS MUGO 'MOPS'	MUGO PINE	CONT.	#5	LOW	2'-3'	2'-3'
ORNAMENTAL GRASSES								
BO BA	28	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1	VERY LOW	2'-3'	1'-2'
CA KF	28	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4'-5'	1'-2'
PE HA	36	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	#1	LOW	1'-2'	1'-2'
SP HE	48	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	LOW	30" MAX.	1'-2'
PERENNIALS								
CE TO	7	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	CONT.	#1	VERY LOW	<1'	2'-3'
LA PH	15	LAVANDULA X INTERMEDIA 'PHENOMENAL'	PHENOMENAL LAVENDER	CONT.	#1	LOW	30" MAX.	2'-3'
NE LI	38	NEPETA X 'PSFIKE'	LITTLE TRUDY® CATMINT	CONT.	#1	LOW	1'-2'	1'-2'
PH SU	8	PHLOX SUBULATA	CREEPING PHLOX	CONT.	#1	MOD	<1'	1'-2'
RU FU	13	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	1'-2'	1'-2'
ST SI	40	STACHYS BYZANTINA 'SILVER CARPET'	SILVER CARPET LAMB'S EARS	CONT.	#1	VERY LOW	<1'	1'-2'
VE LI	14	VERONICA LIWANENSIS	TURKISH VERONICA	CONT.	#1	LOW	<1'	1'-2'

IRRIGATED AND NON-IRRIGATED NATIVE SEED MIX

PRE-APPROVED DRYLAND MIX FROM TOWN OF MEAD DESIGN STANDARDS

COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS/ACRE
CANADIAN WILD RYE	ELYMUS CANADENSIS	20.2%	2.84
THICKSPIKE WHEATGRASS (CRITANA VARIETY)	ELYMUS LANCEOLATUS	5%	0.71
SLENDER WHEATGRASS (SAN LUIS OR PRYOR VARIETY)	ELYMUS TRACHYCAULUS	14.6%	2.05
WESTERN WHEATGRASS	PASCOPIRUM SMITHII	14.1%	1.98
LITTLE BLUESTEM (CIMARRON OR PASTURA VARIETY)	SCHIZACHYRIUM SCOPARIUM	6%	0.84
SWITCHGRASS (TRAILBLAZER, NEBRASKA 28, OR BLACKWELL VARIETY)	PANICUM VIRGATUM	2%	0.28
ALKALI SACATON (SALADO VARIETY)	SPOROBOLUS AIROIDES	0.4%	0.06
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	0.1%	0.02
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	8.1%	1.14
BLUE GRAMA (ALMA, BAD RIVER, OR HACHITA VARIETY)	BOUTELOUA GRACILIS	1.8%	0.26
BUFFALOGRASS	BOUTELOUA DACTYLOIDES	27.7%	3.89
TOTAL		100%	14.07 LBS.

IRRIGATED TURF MIX

VORTEX TEXAS BLUEGRASS FROM KORBYS SOD LLC

LANDSCAPE SUMMARY TABLE - PHASE 1

LANDSCAPE AREA (SF)	SITE TREES (DECIDUOUS, ORNAMENTAL, OR EVERGREEN)	SHRUBS	GRASSES
24,167	28	153	140

STREET TREE TABLE - PHASE 1

STREET	REQUIREMENT	QUANTITY (LF)	REQUIRED	PROVIDED
THIRD STREET	1 TREE (DECIDUOUS OR ORNAMENTAL) / 40 LF	250	6	6
NOTES:				
1). BECAUSE OF UTILITY CONFLICTS AND BUILDING PROXIMITY, STREET TREES COULD NOT BE PROVIDED ALONG THE FACE OF THE BUILDING. REQUIRED STREET TREES ARE PROVIDED WITHIN AVAILABLE LANDSCAPE AREA.				

LANDSCAPE SUMMARY TABLE - PHASE 2

LANDSCAPE AREA (SF)	SITE TREES (DECIDUOUS, ORNAMENTAL, OR EVERGREEN)	SHRUBS	GRASSES
2,635	8	19	48

PLANT SCHEDULE - PHASE 2

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
DECIDUOUS CANOPY TREES								
UL PR	1	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2" CAL	MOD	50'-80'	40'-60'
ORNAMENTAL TREES								
CR AM	2	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	1.5" CAL	LOW	15'-25'	15'-20'
MA AD	4	MALUS X 'ADIRONDACK'	ADIRONDACK CRABAPPLE	B & B	1.5" CAL	MOD	15'-20'	10'-15'
PR AM	1	PRUNUS AMERICANA	AMERICAN PLUM	B & B	1.5" CAL	LOW	15'-20'	10'-15'
DECIDUOUS SHRUBS								
CO AF	9	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	#5	MOD	3'-4'	3'-4'
EU AL	2	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	7'-8'	7'-8'
PR PB	1	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTERN SAND CHERRY	CONT.	#5	LOW	30" MAX.	5'-6'
EVERGREEN SHRUBS								
AR CO	4	ARCTOSTAPHYLOS X COLORADOENSIS	MOCK BEARBERRY MANZANITA	CONT.	#5	LOW	2'-3'	5'-6'
PI BI	3	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5	LOW	6'-7'	5'-6'
ORNAMENTAL GRASSES								
CA KF	18	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4'-5'	1'-2'
PE HA	19	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	#1	LOW	1'-2'	1'-2'
SP HE	11	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	LOW	30" MAX.	1'-2'
PERENNIALS								
CE TO	4	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	CONT.	#1	VERY LOW	<1'	2'-3'
LA PH	10	LAVANDULA X INTERMEDIA 'PHENOMENAL'	PHENOMENAL LAVENDER	CONT.	#1	LOW	30" MAX.	2'-3'
ST SI	11	STACHYS BYZANTINA 'SILVER CARPET'	SILVER CARPET LAMB'S EARS	CONT.	#1	VERY LOW	<1'	1'-2'
VE LI	11	VERONICA LIWANENSIS	TURKISH VERONICA	CONT.	#1	LOW	<1'	1'-2'

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENOED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 5 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 6" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 4" DEPTH, ROCK MULCH LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH GORILLA HAIR CEDAR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.



TOWN OF MEAD APPROVAL	
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:	
TOWN ENGINEER	DATE



NOT FOR CONSTRUCTION

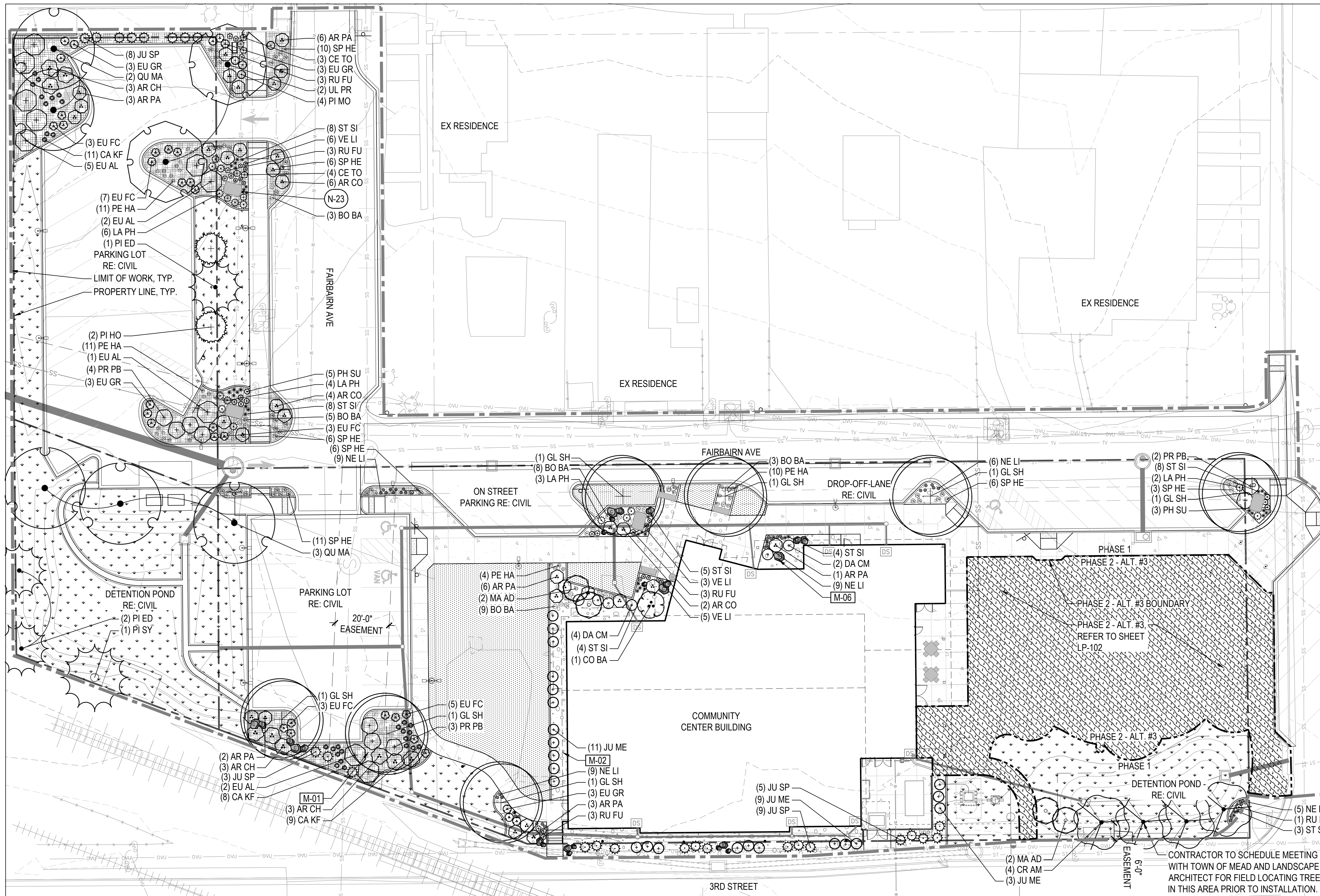
MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513



ISSUE:
SITE PLAN SUBMITTAL
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DRAWN BY:
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PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE NOTES

SHEET #:
LP-001
SITE PLAN SHEET #
16 of 32



LEGEND

	LIMIT OF WORK
	PHASE LINE
	PROPERTY LINE
	IRRIGATED NATIVE SEED
	NON-IRRIGATED NATIVE SEED
	IRRIGATED TURF
CODE	DESCRIPTION
M-01	WOOD MULCH
M-02	ROCK MULCH
SYMBOL	DESCRIPTION
	M-06 LANDSCAPE BOULDER

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-23	RE-PURPOSED BEAN POT PLANTER TYPICAL PLANTING	5 / LP-501

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
GL SH	SHADEMASTER LOCUST
QU MA	BURR OAK
UL PR	AMERICAN ELM
EVERGREEN TREES	
PI ED	PINON PINE
PI HO	HOOPSII COLORADO SPRUCE
PI SY	SCOTCH PINE
ORNAMENTAL TREES	
CR AM	RUSSIAN HAWTHORN
MA AD	ADIRONDACK CRABAPPLE
DECIDUOUS SHRUBS	
CO BA	BAYLEY'S RED TWIG DOGWOOD
DA CM	CAROL MACKIE DAPHNE
EU AL	COMPACT BURNING BUSH
PR PB	CREeping WESTERN SAND CHERRY
EVERGREEN SHRUBS	
AR CH	CHIEFTAIN MANZANITA
AR CO	MOCK BEARBERRY MANZANITA
AR PA	PANCHITO MANZANITA
EU FC	PURPLE-LEAF WINTERCREEPER
EU GR	GREEN LANE WINTERCREEPER
JU ME	MEDORA JUNIPER
JU SP	SPARTAN JUNIPER
PI MO	MUGO PINE
ORNAMENTAL GRASSES	
BO BA	BLOND AMBITION BLUE GRAMA GRASS
CA KF	KARL FOERSTER FEATHER REED GRASS
PE HA	HAMELN FOUNTAIN GRASS
SP HE	PRAIRIE DROPSEED
PERENNIALS	
CE TO	SNOW IN SUMMER
LA PH	PHENOMENAL LAVENDER
NE LI	LITTLE TRUDY® CATMINT
PH SU	CREeping PHLOX
RU FU	BLACK-EYED SUSAN
ST SI	SILVER CARPET LAMB'S EARS
VE LI	TURKISH VERONICA

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513



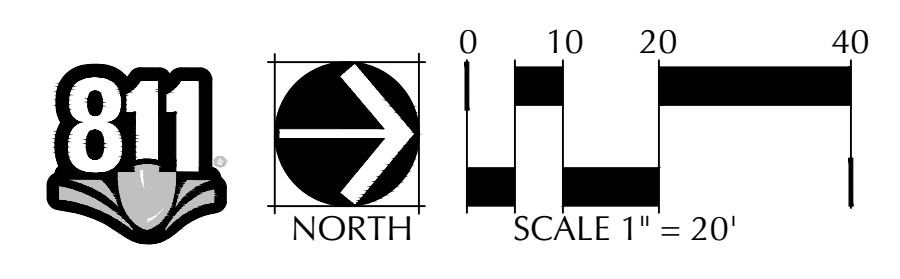
ISSUE:
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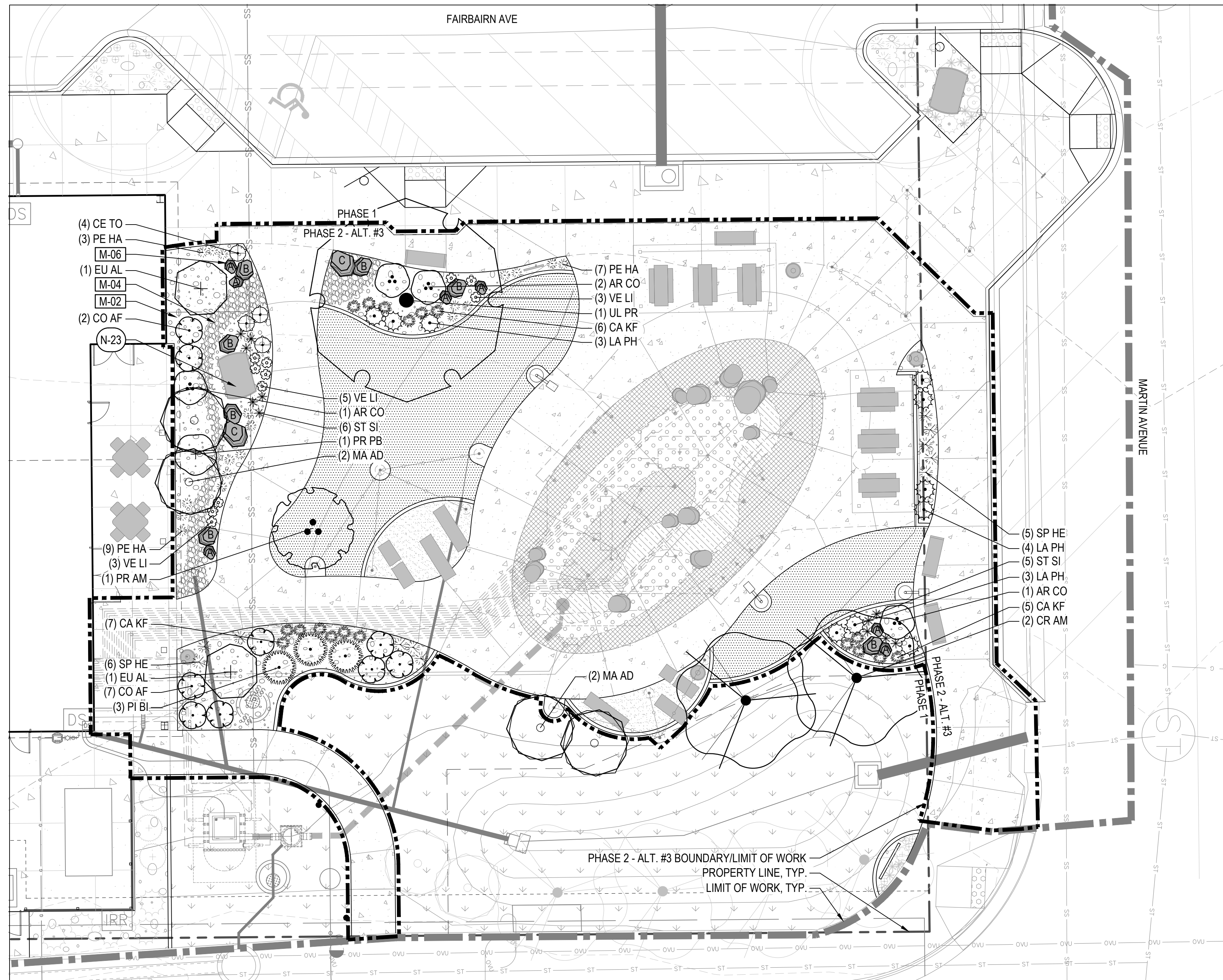
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KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
PHASE 1 LANDSCAPE PLAN

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____





LEGEND

- LIMIT OF WORK
- PHASE LINE
- PROPERTY LINE
- IRRIGATED NATIVE SEED
- IRRIGATED TURF
- CODE** **DESCRIPTION**
- M-02 ROCK MULCH
- M-04 COBBLE
- SYMBOL** **DESCRIPTION**
- M-06 LANDSCAPE BOULDER

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-23	RE-PURPOSED BEAN POT PLANTER TYPICAL PLANTING	5 / LP-501

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
UL PR	AMERICAN ELM
ORNAMENTAL TREES	
CR AM	RUSSIAN HAWTHORN
MA AD	ADIRONDACK CRABAPPLE
PR AM	AMERICAN PLUM
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
EU AL	COMPACT BURNING BUSH
PR PB	CREeping WESTERN SAND CHERRY
EVERGREEN SHRUBS	
AR CO	MOCK BEARBERRY MANZANITA
PI BI	BIG TUNA MUGO PINE
ORNAMENTAL GRASSES	
CA KF	KARL FOERSTER FEATHER REED GRASS
PE HA	HAMELN FOUNTAIN GRASS
SP HE	PRAIRIE DROPSEED
PERENNIALS	
CE TO	SNOW IN SUMMER
LA PH	PHENOMENAL LAVENDER
ST SI	SILVER CARPET LAMB'S EARS
VE LI	TURKISH VERONICA

NOT FOR
CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

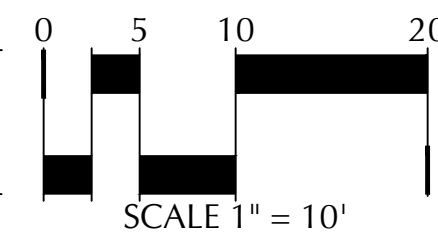
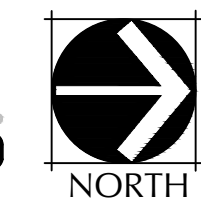
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
PHASE 2 LANDSCAPE PLAN

SHEET #: LP-102
SITE PLAN SHEET # 18 of 32



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



- NOTES:**
1. THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
 2. BOULDER TO HAVE IRREGULAR TOP/SURFACE AND A NATURAL APPEARANCE
 3. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 4. CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.
 5. BOULDER SIZES MARKED WITH A, B, OR C ON LANDSCAPE PLAN SHEET LP-101 AND LP-102 TO COINCIDE WITH BOULDER SCHEDULE.

PHASE 1A

QTY.	ITEM	SIZE
2	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
4	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
2	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

PHASE 1B

QTY.	ITEM	SIZE
6	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
7	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
3	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

PHASE 2 - ALT. #3

QTY.	ITEM	SIZE
7	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
7	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
2	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

- 1 LANDSCAPE BOULDER, REFER TO MATERIAL SCHEDULE, SHEET LS-001, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE
- 2 SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN
- 3 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY
- 4 UNDISTURBED GRADE

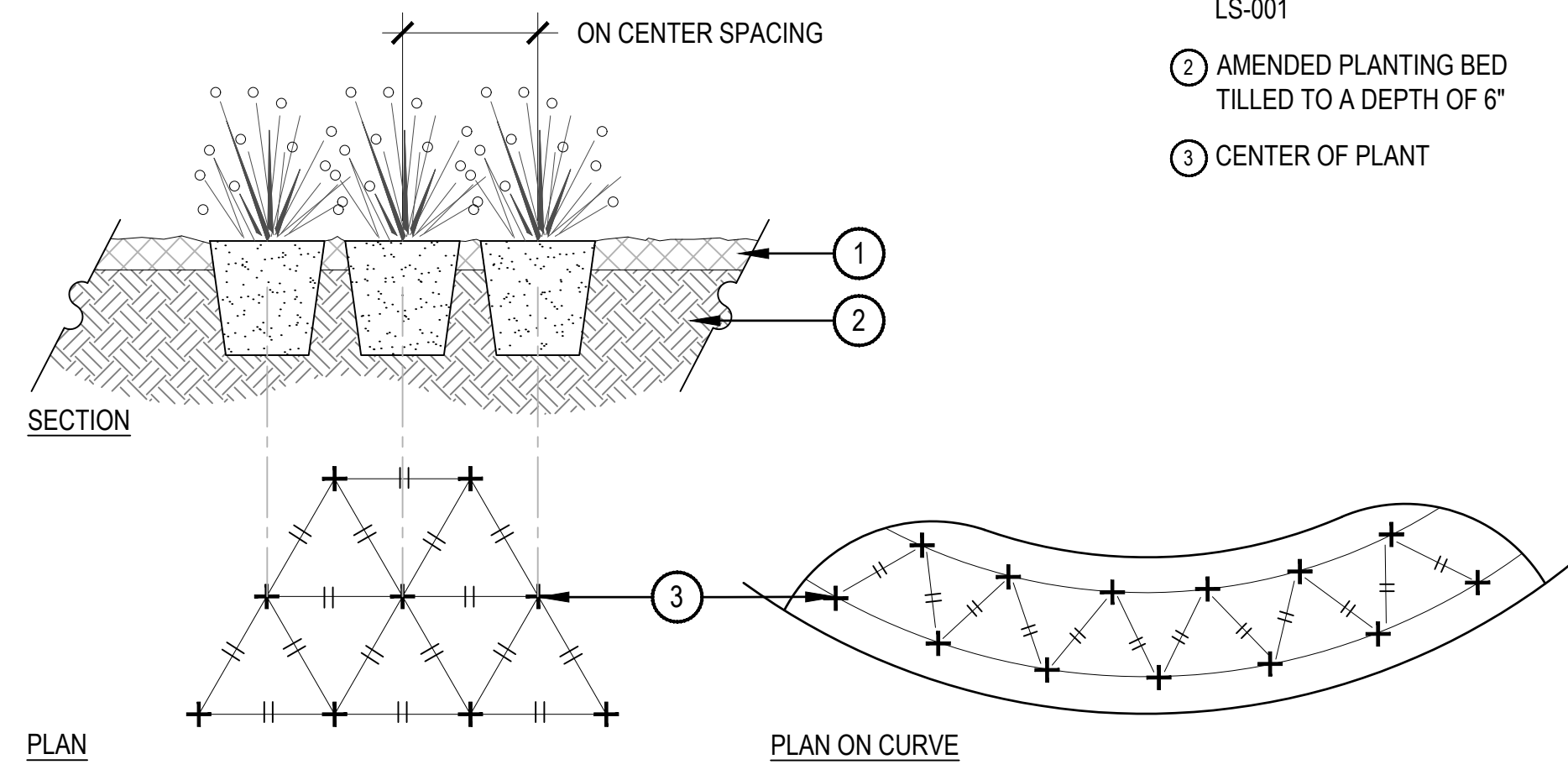


BOULDER SCHEDULES ARE BROKEN INTO PHASES 1A/1B FOR OWNER/CONTRACTOR BUDGETING PURPOSES. PHASES 1A/1B ARE ASSUMED INSTALLED IN A SINGLE PHASE.

1 LANDSCAPE BOULDER

(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)

SCALE: 3/4" = 1'-0"

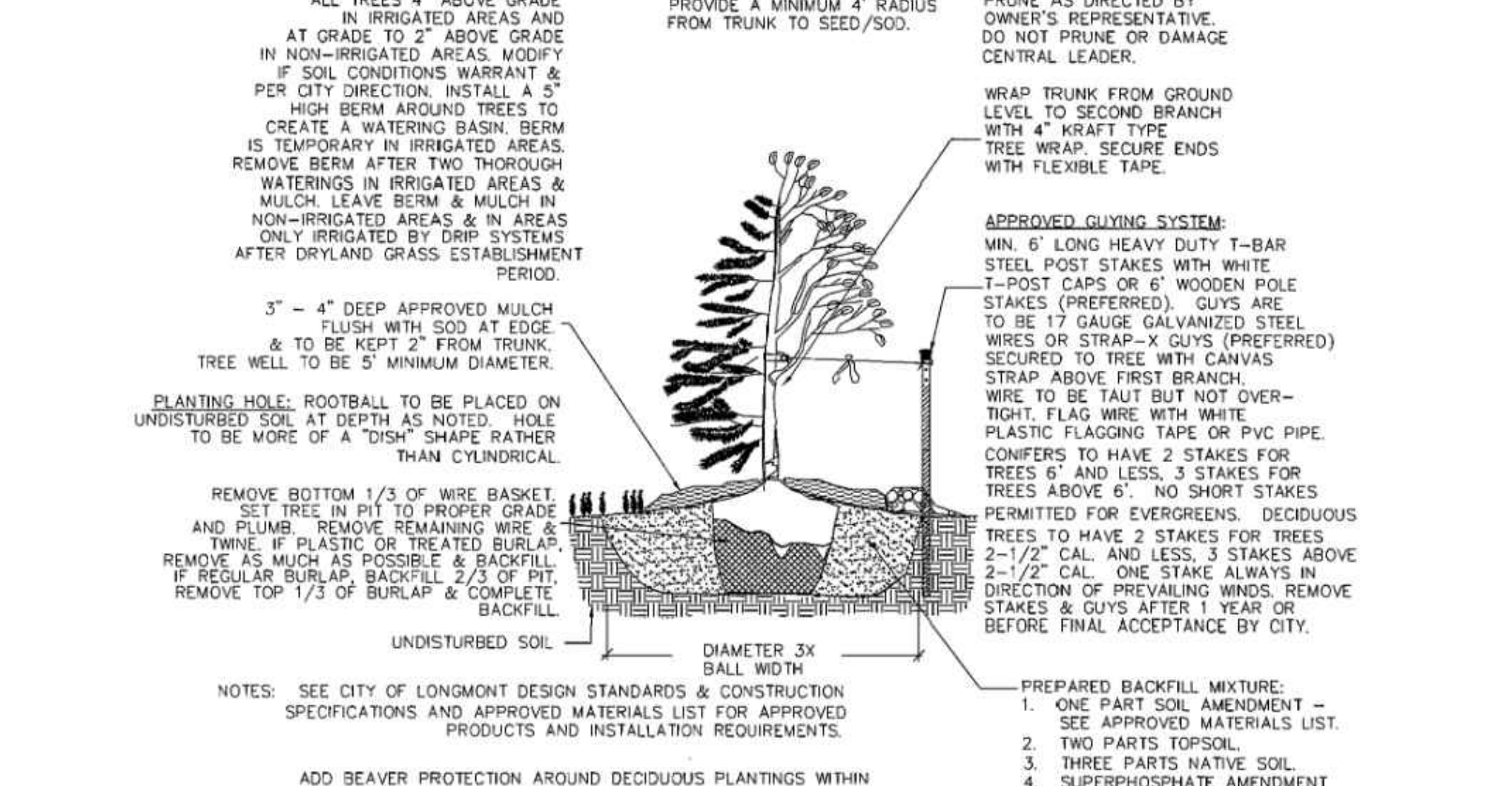
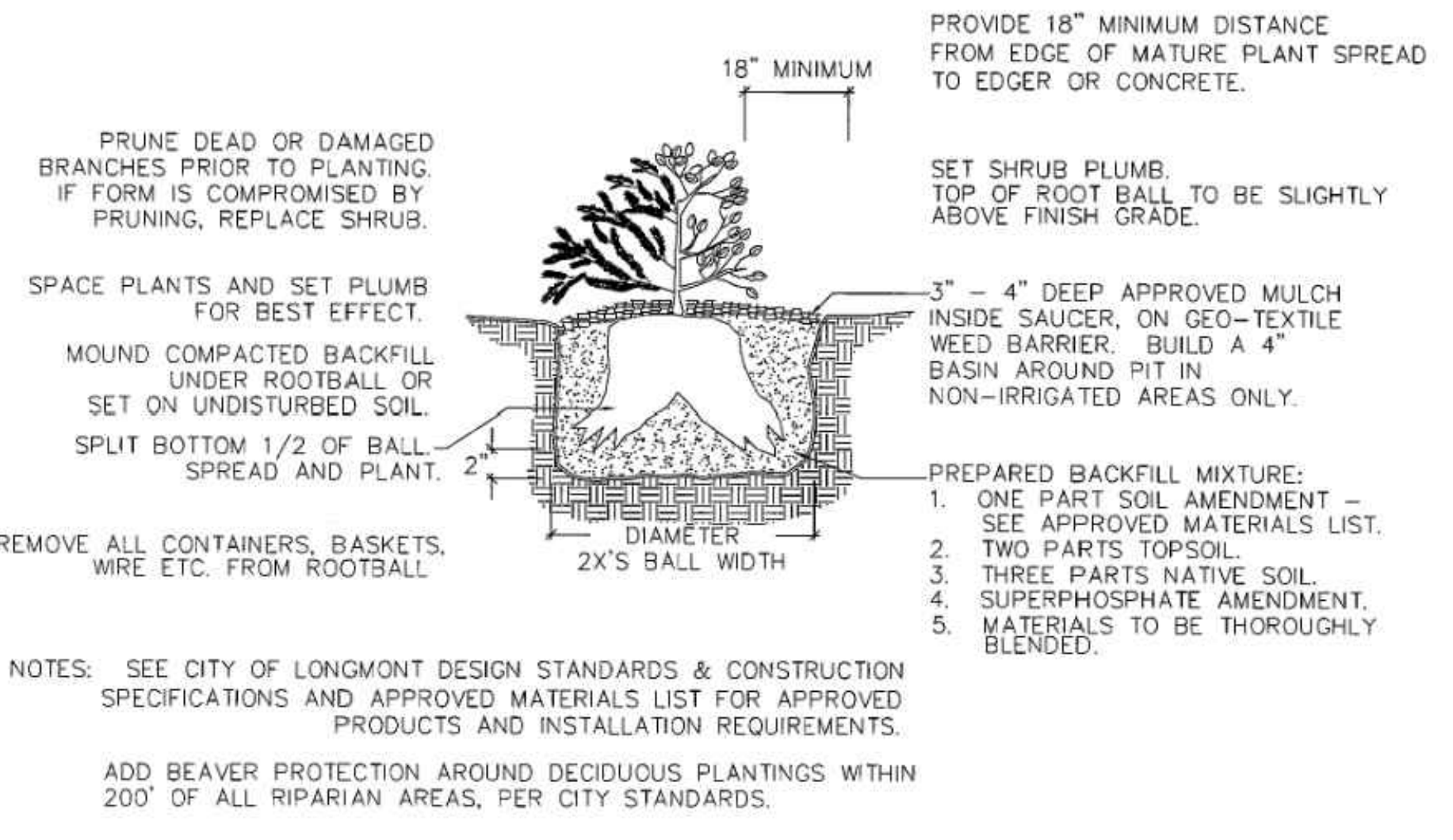


- NOTES:**
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSES.

2 PERENNIAL PLANT LAYOUT

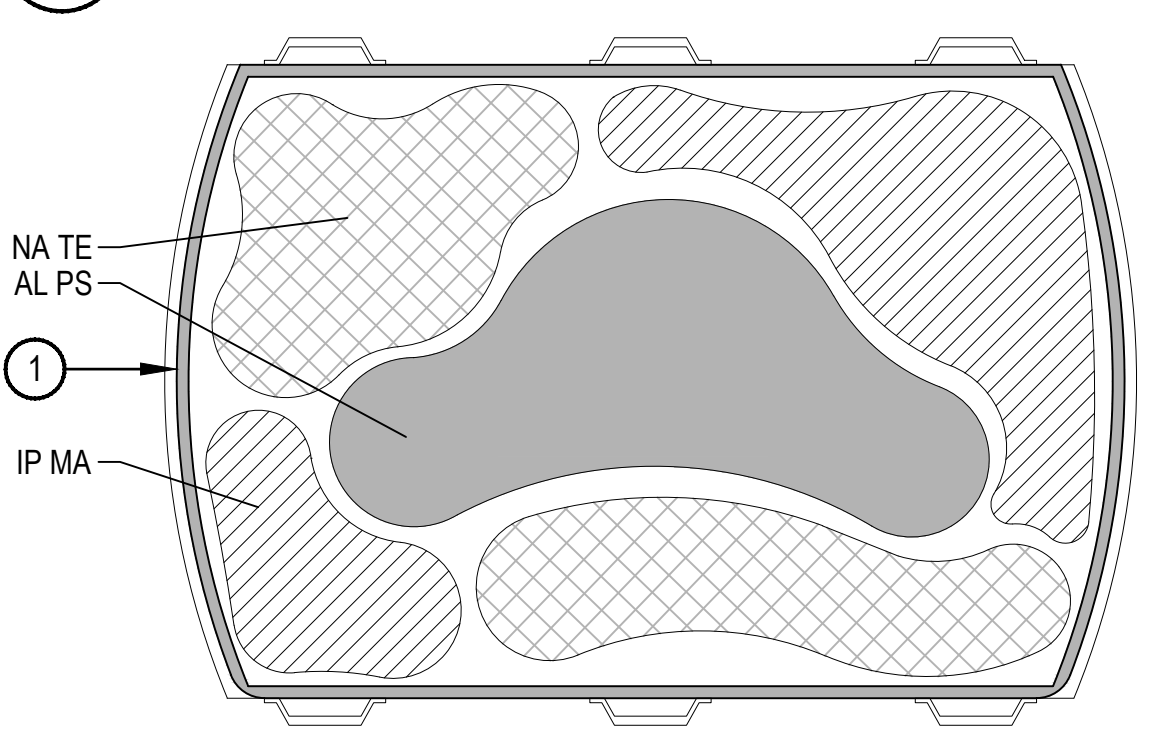
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)

SCALE: 1" = 1'-0"



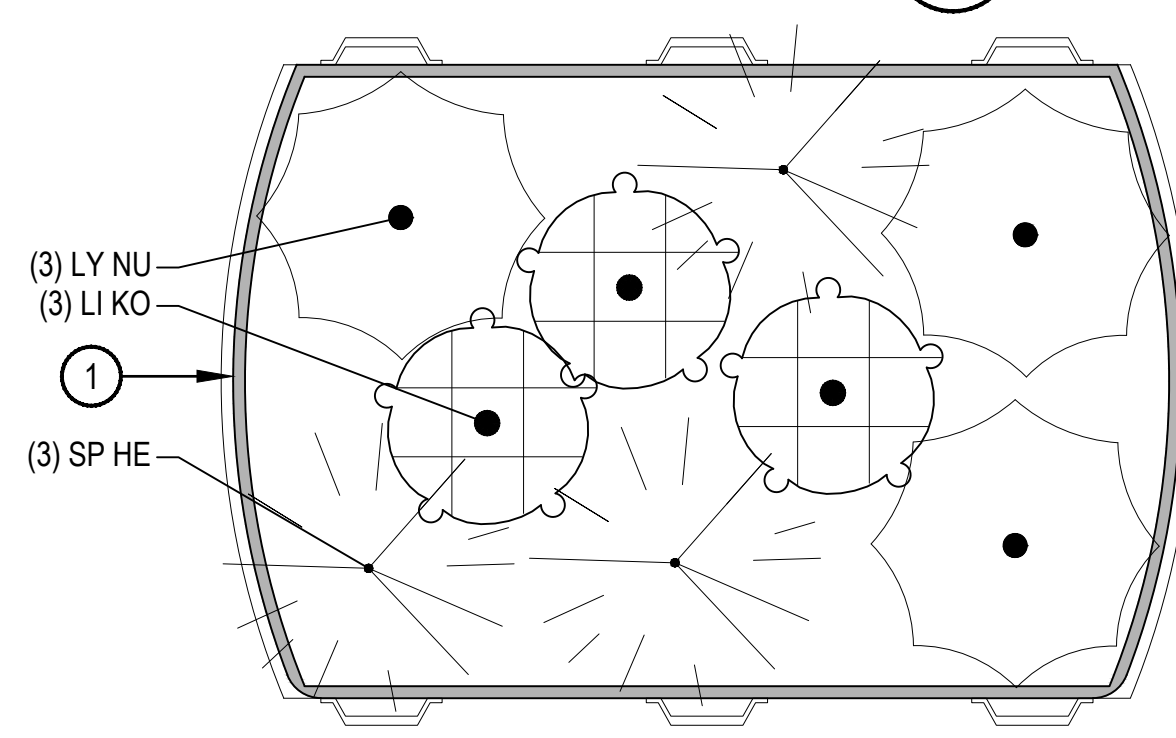
3 TOWN OF MEAD SHRUB PLANTING DETAIL

4 TOWN OF MEAD TREE PLANTING DETAIL



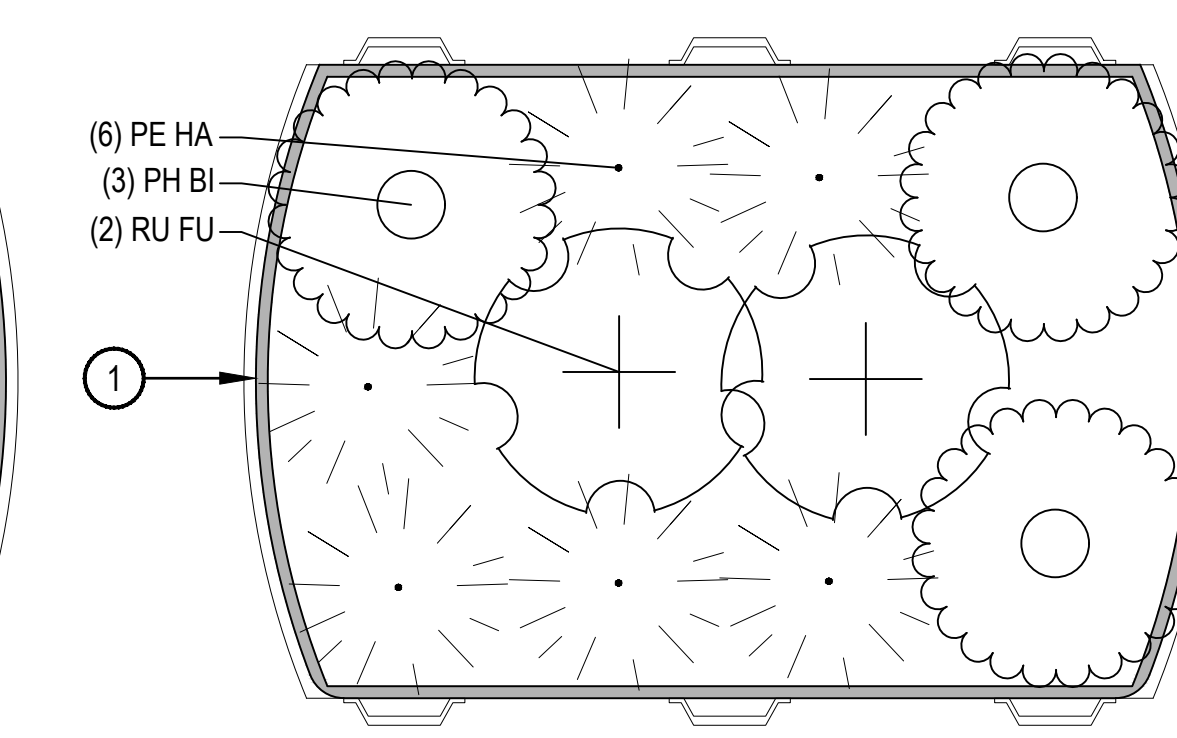
PLANTER OPTION A - ANNUAL PLANTING

ANNUALS	BOTANICAL NAME	COMMON NAME
AL PS	ALLIUM X 'PURPLE SENSATION'	PURPLE SENSATION ORNAMENTAL ONION
IP MA	IPOMOEA X 'MARGUERITE'	MARGUERITE SWEET POTATO VINE
NA TE	NARCISSUS X 'TETE-A-TETE'	TETE-A-TETE DAFFODIL



PLANTER OPTION B - PERENNIAL PLANTING

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME
LI KO	3	LIATRIS SPICATA 'KOBOLD'	KOBOLD BLAZING STAR
LY NU	3	LYSIMACHIA NUMMULARIA	CREeping JENNY



PLANTER OPTION C - PERENNIAL PLANTING

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME
PH BI	3	PHLOX BIFIDA	SNOWMASS PHLOX
RU FU	2	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN

- 1 REPURPOSED BEAN POT PLANTER, REFER TO DETAIL 4, SHEET LS-503

5 REPURPOSED BEAD POT PLANTER TYPICAL PLANTING

(PHASE 1A AND PHASE 2 - ALT. #3)

SCALE: 3/4" = 1'-0"

- NOTES:**
1. THIS DETAIL REPRESENTS SUGGESTED PLANTING OPTIONS. FINAL PLANT SPECIES TO BE VERIFIED WITH OWNER'S REPRESENTATIVE.

TOWN OF MEAD APPROVAL

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TOWN ENGINEER _____ DATE _____



NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

LOT 1 - MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE DETAILS

SHEET #: LP-501

SITE PLAN SHEET # 19 of 32

IRRIGATION GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL UTILITY PLAN, ARCHITECTURE PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS AND SPECIFICATIONS THAT AFFECT THIS WORK PRIOR TO START OF WORK. IF THE AND CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES, THE CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND PAYING FOR CERTIFICATION OF THE BACKFLOW PREVENTER BY A STATE CERTIFIED INSPECTOR. THE CONTRACTOR SHALL PROVIDE CERTIFICATES TO OWNER'S REPRESENTATIVE PRIOR TO PROJECT ACCEPTANCE.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN LANDSCAPE AREAS AND WITHIN THE PROJECT LIMITS. EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHIC CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO ENSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- ALL IRRIGATION DISTRIBUTION LINES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO, MAINLINE, LATERALS, SPRAY HEADS, DRIP EMITTERS SHALL BE KEPT A MINIMUM DISTANCE OF 6' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS, OR AS STIPULATED IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER. EQUIPMENT MAY BE SHOWN IN THIS AREA FOR GRAPHIC CLARITY. COORDINATE ALL REQUIRED SETBACKS WITH OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
- EACH VALVE SHALL BE INSTALLED IN A SEPARATE VALVE BOX AS DETAILED. ALL VALVE BOXES AND LIDS SHALL BE COMMERCIAL GRADE, PLASTIC WITH SELF LOCKING COVERS. LID COLOR TO BE GREEN. INSTALL FLUSH TO FINISH GRADE AND PER CONSTRUCTION DETAILS. DO NOT INSTALL IN PAVED AREAS OR IN BOTTOMS OF DRAINAGE SWALES/BASINS.
- CONTRACTOR SHALL INSTALL DETECTABLE MARKING TAPE OR #14g DIRECT BURY TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER ROUTING OF IRRIGATION PIPING. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL MARK THE LOCATION OF THE MAINLINE, CONTROL VALVES, GATE VALVES AND HEAD LAYOUT OF A REPRESENTATIVE SPRAY ZONE. SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL SCH. 40 BALL WITH OPERATIONAL INDICATOR AT ENDS OF ALL DRIP LATERALS AS DETAILED. FLUSH ALL LATERALS THOROUGHLY BEFORE INSTALLING EMITTERS AND BUBBLERS.
- CONTRACTOR SHALL FINE TUNE AND ADJUST NOZZLE DIRECTION AND RADIUS TO REDUCE OVERSPRAY ONTO PAVING OR HARD SURFACES.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER IN 10" VALVE BOX AT THE END OF ALL BRANCHES OF THE MAINLINE, OR AS SHOWN ON PLANS. FOR WINTERIZATION AND FLUSHING OF MAINLINE.
- THE CONTRACTOR SHALL PERFORM A PRESSURE TEST ON ALL MAINLINES. CONTRACTOR SHALL PRESSURIZE MAINLINES TO 120 PSI AND MAINTAIN PRESSURE AT 120 PSI FOR A MINIMUM CONTINUOUS PERIOD OF TWO (2) HOURS TO ACHIEVE FINAL ACCEPTANCE.
- THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE DURING A THREE(3) NIGHT PER WEEK, TWELVE(12) HOURS PER NIGHT WATERING WINDOW. DRIP IRRIGATION ZONES MAY BE ALLOWED TO RUN ON A SEPARATE SCHEDULE FROM THIS WATER WINDOW DEPENDING JURISDICTION. LANDSCAPE ESTABLISHMENT WILL REQUIRE INCREASED IRRIGATION WATER FOR DURATION OF THE ESTABLISHMENT PERIOD AND MAY REQUIRE TWICE THE AMOUNT OF WATER AS ESTABLISHED PLANT MATERIAL. THE CONTRACTOR SHALL COORDINATE WATERING SCHEDULES AND APPLICATION RATES WITH THE OWNER'S REPRESENTATIVE PRIOR TO FINAL ACCEPTANCE.
- THE DESIGN IS BASED ON THE FOLLOWING PROJECTED PEAK SEASON WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND VARIABLE WEATHER CONDITIONS.
 - FESCUE/BLUEGRASS BLEND TURF 1.75" PER WEEK PEAK SEASON
 - TREE, SHRUB, AND PERENNIAL PLANT MATERIAL 1.00" PER WEEK PEAK SEASON
 - NATIVE DROUGHT TOLERANT SEED MIX 0.75" PER WEEK PEAK SEASON
- THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 15TH AND END ON OCTOBER 15TH TO ENSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
 - CHECK HEADS FOR COVERAGE AND LEAKAGE.
 - CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
 - VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
 - CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.
 - PERIODICALLY VERIFY THE THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
 - WINTERIZATION AND SPRING START UP PROCEDURES.

IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION: THERE IS ONE (1) POINT OF CONNECTION ON THIS PROJECT.
 POC #1 : 1" DEDICATED IRRIGATION STUB OUT, LOCATED IN LANDSCAPE NORTH OF THE BUILDING MECHANICAL ROOM.
 - CONTRACTOR IS TO LOCATE AND CONNECT DOWNSTREAM OF THE DEDICATED POTABLE IRRIGATION STUB OUT (PROVIDED BY OTHERS) WITH TYPE K COPPER AT A DEPTH OF 24" OR PER LOCAL CODE, WHICHEVER IS GREATER. TRANSITION TO AND EXTEND CLASS 200 PVC MAINLINE TO THE 1" DRAIN VALVE, GATE VALVE, MASTER VALVE, FLOW SENSOR, QUICK COUPLER AND EXTEND MAINLINE TO VALVES AS SHOWN.
- CONTROLLER LOCATION: THERE IS ONE (1) CONTROLLER ON THIS PROJECT.
 CONTROLLER A : WALL MOUNTED CONTROLLER LOCATED ON THE EAST SIDE OF THE MECHANICAL YARD, AS SHOWN ON PLAN.
 - CONTROLLER SHALL BE PROGRAMMED TO RUN MULTIPLE VALVES AT ONE TIME WITH A MAXIMUM TOTAL OF 18 GPM.
 - CONTROLLER, TO BE MOUNTED PER DETAILS AND MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND ELECTRICAL PLANS FOR POWER SERVICE. ALL ELECTRICAL EQUIPMENT AND POWER CONNECTION INSTALLATION SHALL CONFORM TO ALL LOCAL CODES. INSTALL A LINE VOLTAGE SURGE DEVICE (INTERMATIC AG2401C3/ OR SQUARE D SDSA1175) FOR 120V IN A JUNCTION BOX PRIOR TO CONTROLLER.
 - RAIN/FREEZE SENSOR: MOUNT THE RAIN SENSOR ON BUILDING EAVE IN PROXIMITY TO THE CONTROLLER. THE SENSOR SHALL BE MOUNTED IN A LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 200' FROM WIRELESS RECEIVER. MOUNT WIRELESS RECEIVER ON OR ADJACENT TO THE IRRIGATION CONTROLLER.
- SYSTEM PRESSURE: THE SYSTEM HAS BEEN DESIGNED PER THE FOLLOWING SPECIFICATIONS: REQUIRED MINIMUM STATIC PRESSURE OF 75 PSI AND MAXIMUM SAFE VELOCITY OF 5 FPS IN ANY PVC PIPE AND 7.5 FPS IN ANY COPPER PIPE.
 - PER THOMPSON VALLEY WATER DISTRICT THE STATIC PRESSURE ON SITE IS APPROXIMATELY 90 PSI.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.
- FLOW SENSOR: SENSOR REQUIRES A MINIMUM FLOW FOR PROPER READINGS. MULTIPLE ZONES MAY BE REQUIRED TO RUN SIMULTANEOUSLY TO ACHIEVE THE MINIMUM FLOWS REQUIRED. CONTRACTOR TO SET 'K' VALUES PER MANUFACTURER.
 - FLOW SENSOR REQUIRES A MINIMUM FLOW OF 0.22 GPM.
- COMMUNICATION: IT IS RECOMMENDED THAT THE IRRIGATION CONTROLLER BE CONNECTED TO A WATER MANAGEMENT CONTROL SOFTWARE FOR OPTIMUM FUNCTION OF THE IRRIGATION SYSTEM. COORDINATE WITH OWNER'S REPRESENTATIVE AND CONTACT THE LOCAL CONTROLLER MANUFACTURER REPRESENTATIVE OR AUTHORIZED VENDOR PRIOR TO ORDERING CONTROLLER FOR COMMUNICATION AND CONNECTIVITY OPTIONS.

CONVENTIONAL WIRE NOTES

- GROUNDING FOR THE IRRIGATION CONTROLLER SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT THE MANUFACTURER.
- NEW CONTROLLER WIRE SHALL BE 14GA MIN. UL APPROVED WIRE. CONTRACTOR SHALL VERIFY EXISTING CONNECTIONS AND USE UL APPROVED WIRE STRIPPER AND 3M DBY WATERPROOF CONNECTIONS AT ALL NEW SPLICES AND CONNECTION POINTS. CONTRACTOR TO INSTALL RED ELECTRIC MARKING TAPE WITH CONTROLLER WIRE THAT IS NOT WITH MAINLINE. WIRES SHALL BE BUNDLED TOGETHER BY BLACK ELECTRICAL TAPE EVERY 10 L.F.
- CONTRACTOR SHALL HAVE 30" OF SPARE CONTROL WIRE PRESENT AT ALL VALVE BOXES AND SPLICE POINTS. SPARE WIRE SHALL BE COILED IN A NEAT AND ORDERLY FASHION AT EACH SLICE POINT.
- CONTRACTOR SHALL EXTEND TWO (2) SPARE CONTROL WIRES, AND ONE (1) SPARE COMMON WIRE AT THE END OF THE MAINLINE. CONTRACTOR SHALL INSTALL ONE (1) WIRE PULL BOX AT EACH END OF THE MAINLINE.

SLEEVING COORDINATION NOTES

- INSTALLATION OF IRRIGATION SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF CONSTRUCTION.
- SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 12" BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- EACH PIPE SHALL BE IN A SEPARATE SLEEVE. WIRES SHALL BE IN A SEPARATE PIPE UNDER ALL PAVED SURFACES. SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW.
- | PIPING | REQUIRED SLEEVE SIZE |
|-----------------|------------------------------------|
| MAINLINE PIPING | 3" CLASS 200 PVC |
| LATERAL PIPING | 2X NOMINAL DIAMETER OF LATERAL |
| CONTROL WIRES | 2" CLASS 200 PVC (2.5" 45 WIRES +) |

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MODEL NO. DESCRIPTION	DETAIL # AND SHEET	
			NA	NA
	IRRIGATION POINT OF CONNECTION	1" DEDICATED IRRIGATION STUB OUT (BY OTHERS) REFER TO CIVIL, UTILITY, AND WATER PLANS	NA	NA
	IRRIGATION CONTROLLER	WEATHERMATIC SL4824-SLW5 + SLWM-SS-4800 + SL-AIRCARDFLOW-ATT 120VAC POWER REQUIRED - SEE PLANS FOR LOCATION(S)	1	LI-503
	RAIN SENSOR	WEATHERMATIC RFSS REFER TO CONTROLLER NOTES	2	LI-503
	BACKFLOW PREVENTER	BY OTHERS REFER TO PLUMBING AND MECHANICAL PLANS	NA	NA
	MANUAL DRAIN VALVE	MATCO-NORCA 1/2" 201X REFER TO PLUMBING AND MECHANICAL PLANS	D8.09	LI-501
	ISOLATION GATE VALVE	MATCO-NORCA 514TX MATCH LINE SIZE, INSTALLED IN AEP 910L-1G2G VALVE BOX	D8.10 D8.03	LI-501
	QUICK COUPLER	RAIN BIRD 44LRC INSTALLED IN AEP 910L-1G2G VALVE BOX	D8.03 D8.05	LI-501
	FLOW SENSOR	FLOWMEC GS-200-10 WITH COMMUNICATION CABLE BACK TO SMARTLINK AIRCARD, INSTALLED IN AEP 1015-1G2G VALVE BOX	D8.12	LI-501
	MASTER VALVE	RAIN BIRD 100EFB-CP SERIES INSTALLED IN AEP 1015-1G2G VALVE BOX	D8.08	LI-501
	TURF VALVE ASSEMBLY	RAIN BIRD-PEB SERIES WITH SCH 40 BALL VALVE, INSTALLED IN AEP 1015-1G2G VALVE BOX, SIZED PER PLAN	D8.04	LI-501
	DRIP VALVE ASSEMBLY	RAIN BIRD XCZ-100-PRB WITH SCH 40 BALL VALVE, INSTALLED IN AEP 1320-1G2G VALVE BOX, SIZED PER PLAN	D8.13	LI-502
	TURF ROTARY	RAIN BIRD RD06-SAM-P45 WITH R-VAN SERIES NOZZLE NOZZLE PER PLAN	D8.06	LI-502
	TURF SPRAY (FIXED)	RAIN BIRD RD06-SAM-PRS30 WITH U-SERIES NOZZLE NOZZLE PER PLAN	D8.06	LI-502
	TURF SPRAY (ADJUSTABLE)	RAIN BIRD RD06-SAM-PRS30 WITH HE-VAN SERIES NOZZLE NOZZLE PER PLAN	D8.06	LI-502
	NATIVE SEED ROTARY	RAIN BIRD RD12-S-P45 WITH R-VAN SERIES NOZZLE NOZZLE PER PLAN	3	LI-503
	TREES IN NATIVE	(2) CONCENTRIC RINGS OF RAIN BIRD XFS-06-12-CV DRIPLINE	4	LI-503
	PLANTER POT ASSEMBLIES	TRANSITION TO RAIN BIRD XFVCV-09-12 SPACE DRIPPERLINE LATERALS AT 12" APART	5	LI-504
	SLEEVING	CLASS 200 PVC REFER TO SLEEVING NOTES	5	LI-503
	SERVICE LINE	TYPE K COPPER SIZE: MATCH POC UNLESS OTHERWISE NOTED	NA	NA
	PVC MAINLINE	SCHEDULE 40 PVC BE SIZE: 1-1/2" UNLESS OTHERWISE NOTED	6	LI-503
	PVC TURF LATERAL	CLASS 200 PVC BE SIZE: 1" MINIMUM UNLESS OTHERWISE NOTED	6	LI-503
	PVC TREE LATERAL	CLASS 200 PVC SIZE: 1" UNLESS OTHERWISE NOTED	6	LI-503
	DRIP LATERAL	UV RESISTANT POLYETHYLENE SIZE: 3/4" MINIMUM UNLESS OTHERWISE NOTED	D8.14 6	LI-502 LI-503
	FLUSH END CAP	SCHEDULE 40 BALL VALVE & OPERATIONAL INDICATOR INSTALLED IN AEP 910L-1G2G VALVE BOX	4	LI-504

VALVE CALLOUT	EMITTER SCHEDULE			
VALVE/STATION NUMBER	PLANT TYPE	EMITTER	QTY.	TOTAL GPH
	PERENNIAL / GRASSES	0.5 GPH	TWO EACH	1.0 GPH
	DECIDUOUS SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
	EVERGREEN SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
	DECIDUOUS TREE	1.0 GPH	EIGHT EACH	8.0 GPH
	EVERGREEN TREE	1.0 GPH	EIGHT EACH	8.0 GPH
	TREES IN NATIVE	TREE RING ASSEMBLY - SEE IRRIGATION SCHEDULE		

- EMITTER NOTES
- ALL PLANT MATERIAL SHALL BE IRRIGATED WITH RAIN BIRD XB SERIES PRESSURE COMPENSATING EMITTERS.
 - EMITTER SCHEDULE IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL ADJUST EMITTER AND NUMBER OF EMITTERS BASED ON THE NEEDS OF INDIVIDUAL PLANTS OR PLANT HYDROZONES.
 - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 - RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING EMISSION POINTS.
 - REFER TO DRIP IRRIGATION DETAILS 8.14 & 8.15 ON SHEET LI502 AND #1 - #4, SHEET LI-504



TOWN OF MEAD APPROVAL

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LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



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KS/RH
PROJECT #:
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IRRIGATION SCHEDULE
SHEET #:
LI-001
SITE PLAN
SHEET #
20 of 32

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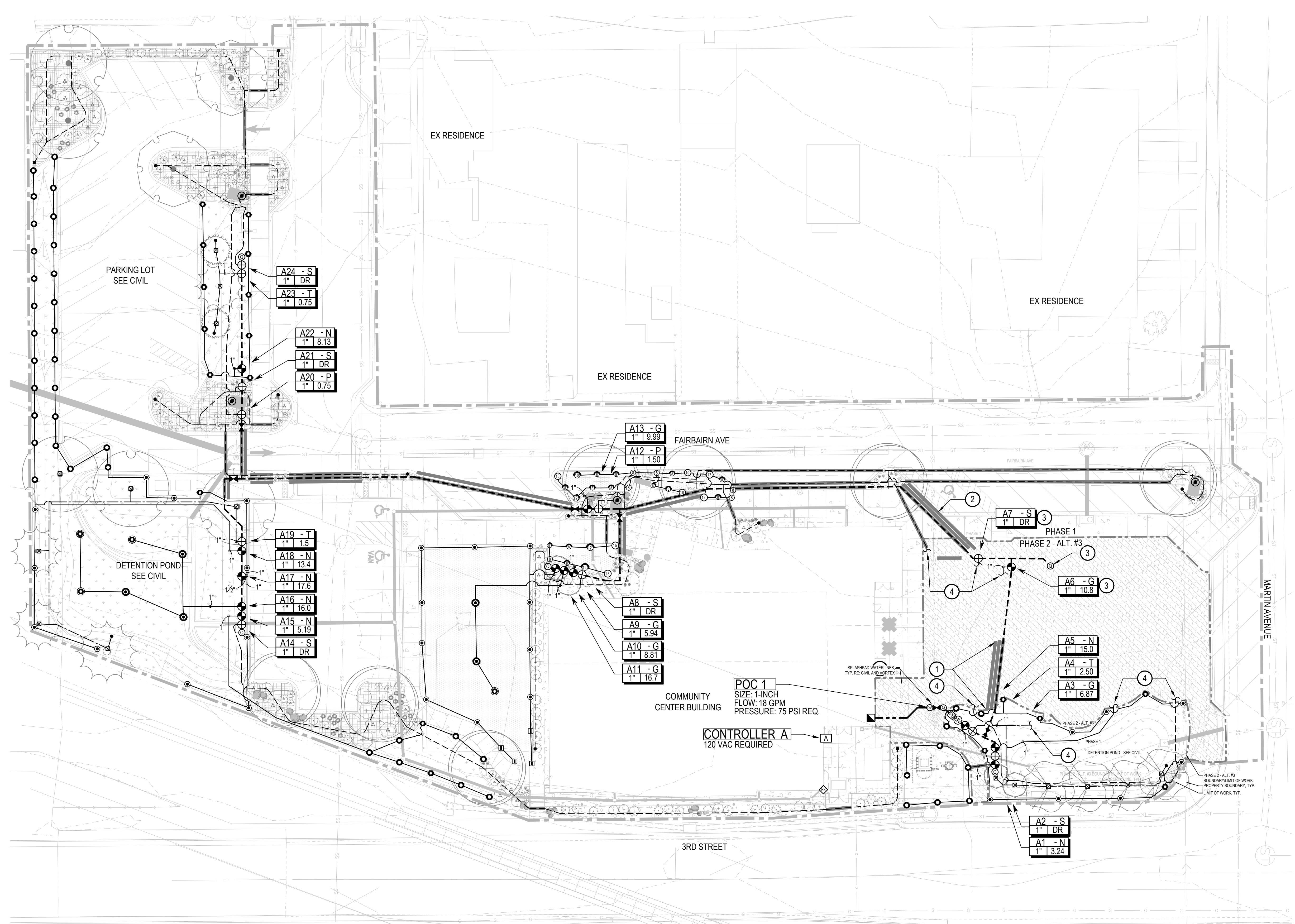


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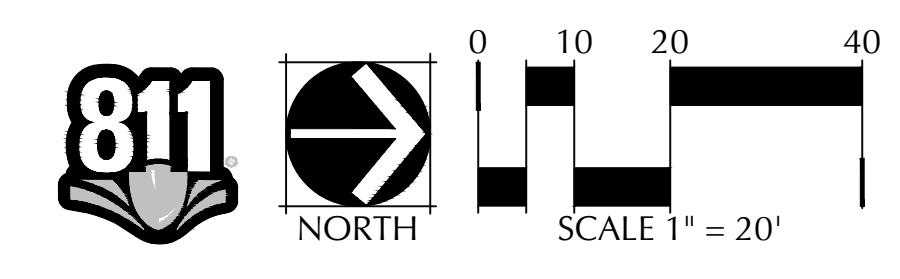
PHASE 1 IRRIGATION PLAN
SHEET #:
LI-101
SITE PLAN
SHEET #
21 of 32

IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
POC X	IRRIGATION POINT OF CONNECTION
C	IRRIGATION CONTROLLER
◆	RAIN SENSOR
▲	BACKFLOW PREVENTER
⊖	MANUAL DRAIN VALVE
⊗	ISOLATION GATE VALVE
⊙	QUICK COUPLER
FS	FLOW SENSOR
⊕	MASTER VALVE
⊕	TURF VALVE ASSEMBLY
⊕	DRIP VALVE ASSEMBLY
STRIP	TURF ROTARY
R-VAN14	TURF ROTARY
R-VAN18	TURF ROTARY
R-VAN24	TURF ROTARY
⊙	TURF SPRAY (FIXED)
⊙	TURF SPRAY (ADJUSTABLE)
R-VAN STRIP	NATIVE SEED ROTARY
R-VAN14	NATIVE SEED ROTARY
R-VAN18	NATIVE SEED ROTARY
R-VAN24	NATIVE SEED ROTARY
⊕	TREES IN NATIVE PLANTER POT ASSEMBLIES
—	SLEEVING
- - -	SERVICE LINE
- - -	PVC
- - -	MAINLINE
- - -	PVC TURF LATERAL
- - -	PVC TREE LATERAL
- - -	DRIP LATERAL
- - -	FLUSH END CAP

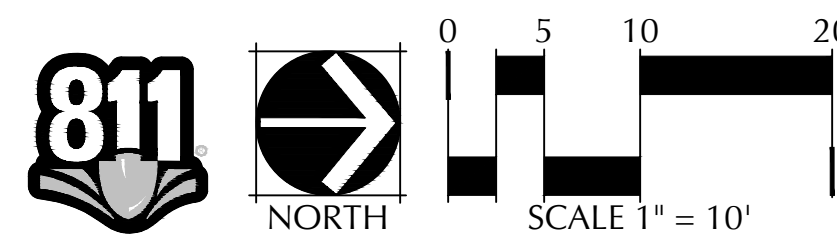
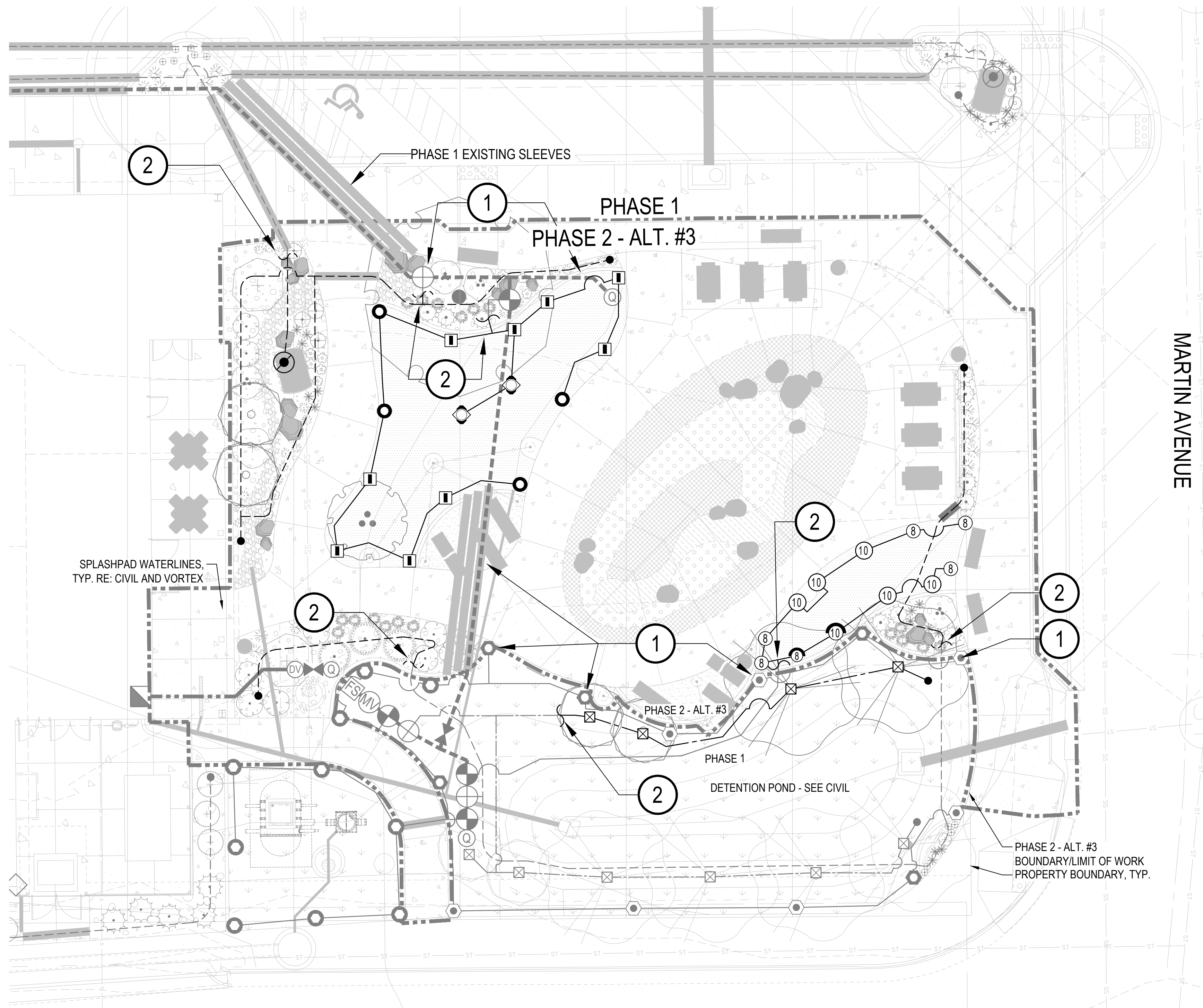


IRRIGATION KEY NOTES

- 1 THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE SPLASH PAD DESIGNER AND OWNER'S REPRESENTATIVE ON THE LOCATION(S) OF THE SPLASH PAD PIPING IN THIS APPROXIMATE LOCATION. IRRIGATION MAINLINE AND CONTROL WIRE SHALL BE ROUTED AND INSTALLED TO AVOID CONFLICT WITH THESE PIPES. INSTALL ONE (1) 4-INCH AND TWO (2) 2-INCH CLASS 200 SLEEVES FOR MAINLINE AND CONTROL WIRE PATHS AND EXTEND SLEEVES OVER ENTIRE AREA OF CONFLICT.
- 2 THE IRRIGATION CONTRACTOR SHALL INSTALL ONE (1) 4-INCH AND TWO (2) 2-INCH CLASS 200 PVC SLEEVES WITH PHASE 1 CONSTRUCTION FOR FUTURE WALKS. SLEEVES SHALL EXTEND A MINIMUM OF 6-INCHES PAST FUTURE SIDEWALK EDGES. CONFIRM FINAL LOCATIONS AND SLEEVE LENGTHS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- 3 ALL IRRIGATION MAINLINE, SLEEVES AND EQUIPMENT SHOWN SHALL BE INSTALLED IN PHASE 1 CONSTRUCTION AND PROTECTED-IN-PLACE FOR PHASE 2 - ALT. #3 CONSTRUCTION. IRRIGATION CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL LOCATIONS, PRIOR TO CONSTRUCTION OF BOTH PHASE 1 AND PHASE 2 - ALT. #3.
- 4 THE IRRIGATION CONTRACTOR SHALL ROUTE AND INSTALL SPRINKLER LATERAL TO THE APPROXIMATE LOCATION SHOWN AND CAP FOR FUTURE CONNECTION TO PHASE 2 - ALT. #3 IRRIGATION.



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IRRIGATION KEY NOTES

- ① DURING PHASE 2 - ALT. #3 CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE AND PROTECT-IN-PLACE THE EXISTING IRRIGATION EQUIPMENT AT THE APPROXIMATE LOCATION SHOWN. REFER TO PHASE 1 CONSTRUCTION DOCUMENTS PRIOR TO THE START PHASE 2 - ALT. #3 CONSTRUCTION.
- ② THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE AND CONNECT TO EXISTING SPRINKLER LATERAL AT THE APPROXIMATE LOCATION SHOWN. MATCH EXISTING LATERAL PIPE SIZE AND ROUTE NEW LATERALS AS SHOWN ON PLAN.

IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
	EXISTING IRRIGATION CONTROLLER
	RAIN SENSOR
	EXISTING BACKFLOW PREVENTER
	EXISTING MANUAL DRAIN VALVE
	EXISTING ISOLATION GATE VALVE
	EXISTING QUICK COUPLER
	EXISTING FLOW SENSOR
	EXISTING MASTER VALVE
	EXISTING TURF VALVE ASSEMBLY
	EXISTING DRIP VALVE ASSEMBLY
STRIP	TURF ROTARY
R-VAN14	
R-VAN18	
R-VAN24	
	TURF SPRAY (FIXED)
	TURF SPRAY (ADJUSTABLE)
R-VAN STRIP	EXISTING NATIVE SEED ROTARY
R-VAN14	
R-VAN18	
R-VAN24	
R-VAN STRIP	NATIVE SEED ROTARY
R-VAN14	
R-VAN18	
R-VAN24	
	EXISTING TREES BUBBLER
	TREES BUBBLER
	EXISTING PLANTER POT ASSEMBLIES
	PLANTER POT ASSEMBLIES
	EXISTING SLEEVING
	SLEEVING
	EXISTING SERVICE LINE
	EXISTING PVC MAINLINE
	EXISTING PVC TURF LATERAL
	PVC TURF LATERAL
	EXISTING PVC TREE LATERAL
	PVC TREE LATERAL
	EXISTING DRIP LATERAL
	DRIP LATERAL
	FLUSH END CAP

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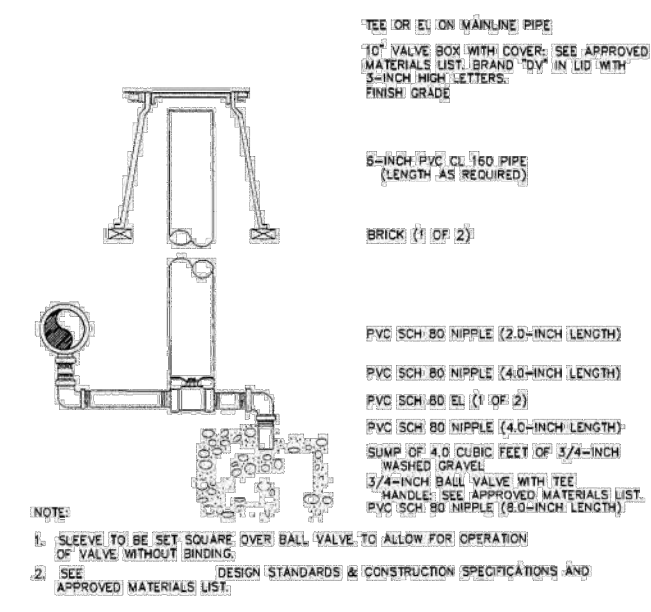


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PHASE 2 IRRIGATION PLAN
SHEET #:
LI-102
SITE PLAN SHEET #
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MANUAL DRAIN VALVE ASSEMBLY

PHASE 1

SCALE: NTS

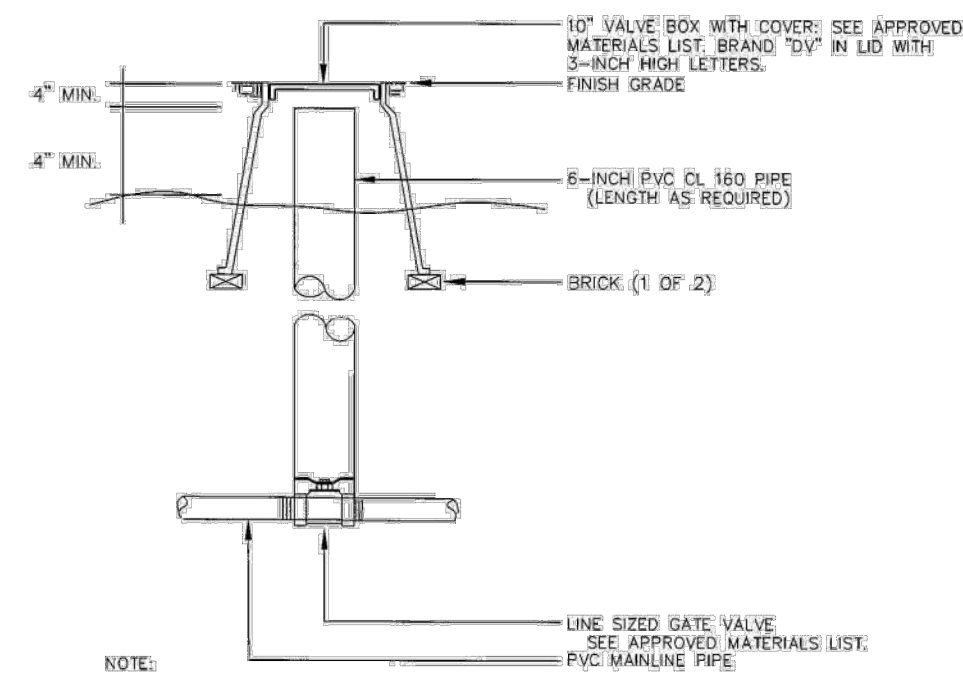


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.09

Valve Drain Assembly

DATE: 01/2018



GATE VALVE ASSEMBLY

PHASE 1

SCALE: NTS

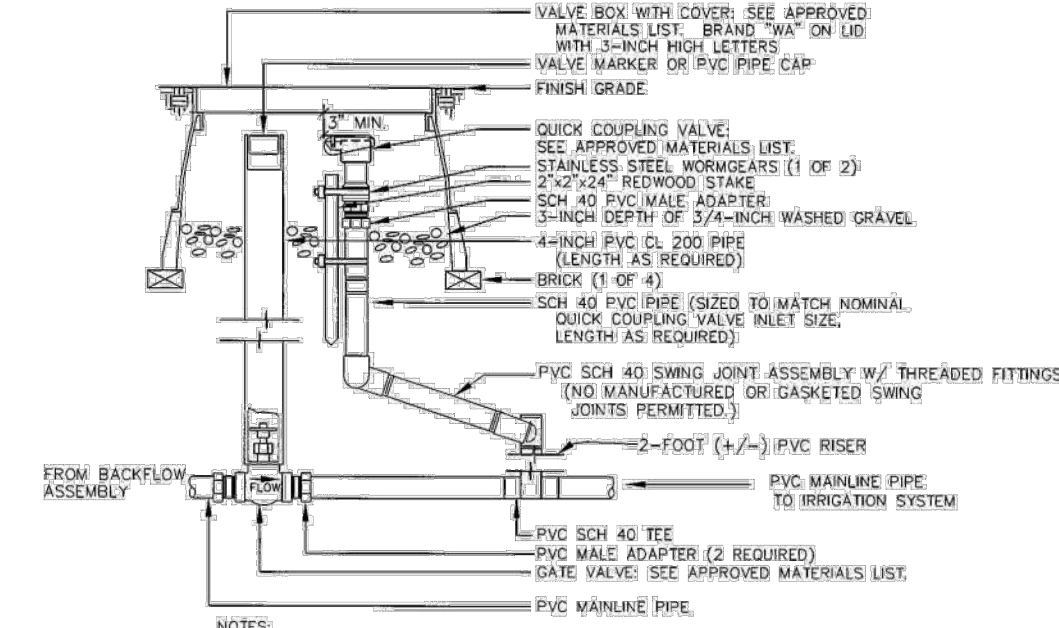


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.10

Gate Valve Assembly

DATE: 01/2018



WINTERIZATION ASSEMBLY

PHASE 1

SCALE: NTS

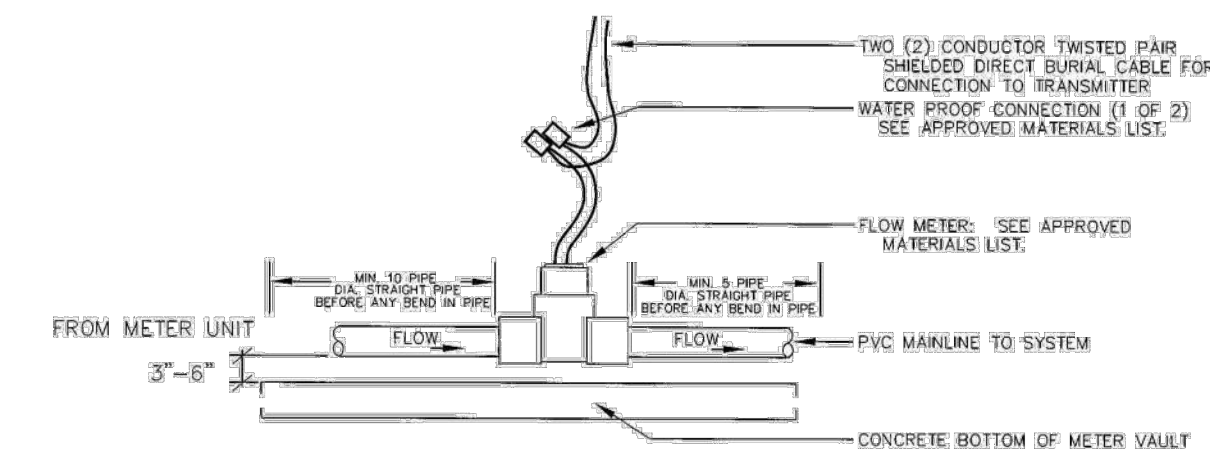


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.03

Winterization Assembly

DATE: 01/2018



FLOW METER ASSEMBLY

PHASE 1

SCALE: NTS

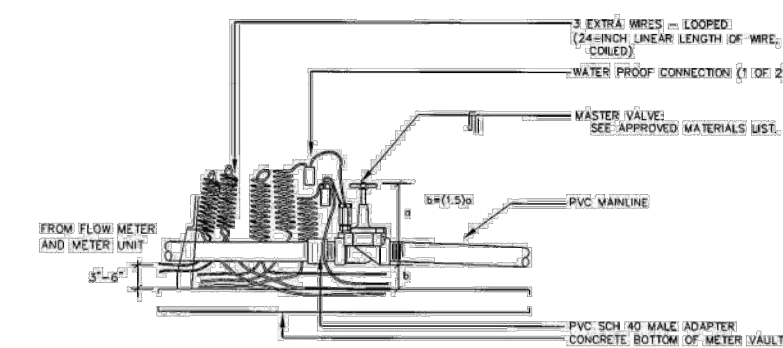


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.12

Flow Meter Assembly

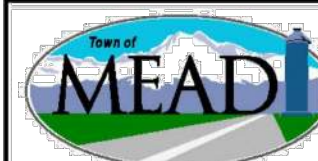
DATE: 01/2018



MASTER VALVE ASSEMBLY

PHASE 1

SCALE: NTS

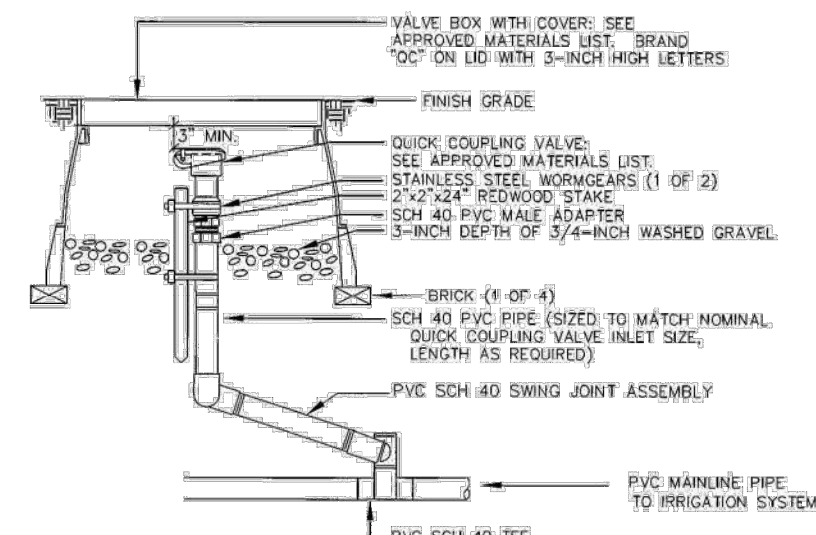


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.08

Master Valve Assembly

DATE: 01/2018



QUICK COUPLER ASSEMBLY

PHASE 1

SCALE: NTS

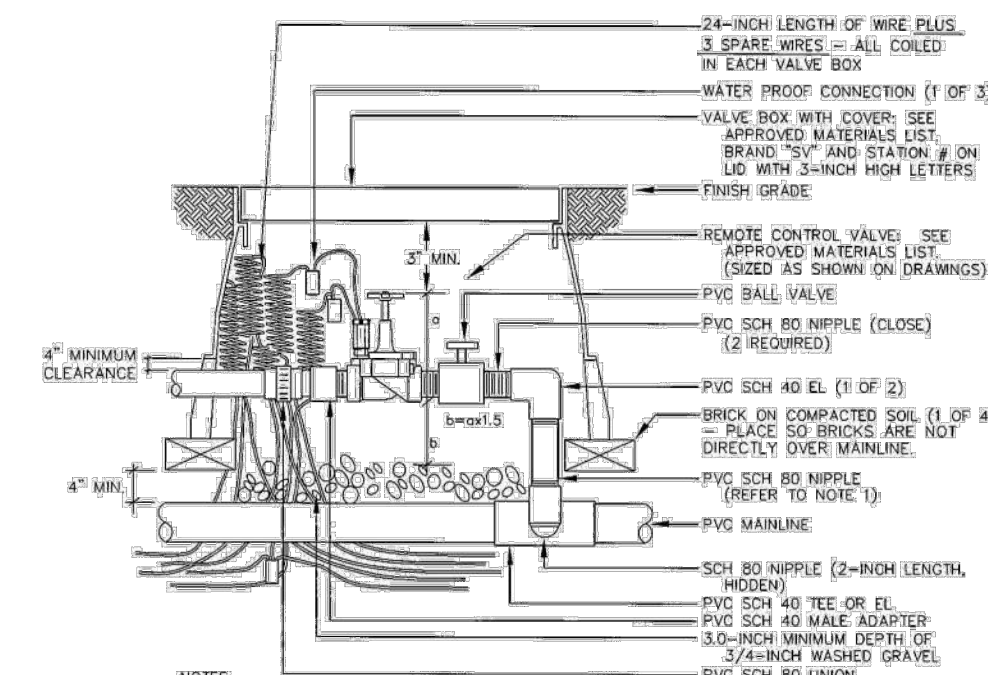


TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.05

Quick Coupler Assembly

DATE: 01/2018



REMOTE CONTROL VALVE ASSEMBLY

PHASE 1

SCALE: NTS



TOWN OF MEAD STANDARD DESIGN CRITERIA

D8.04

Remote Control Valve Assembly

DATE: 01/2018



TOWN OF MEAD APPROVAL

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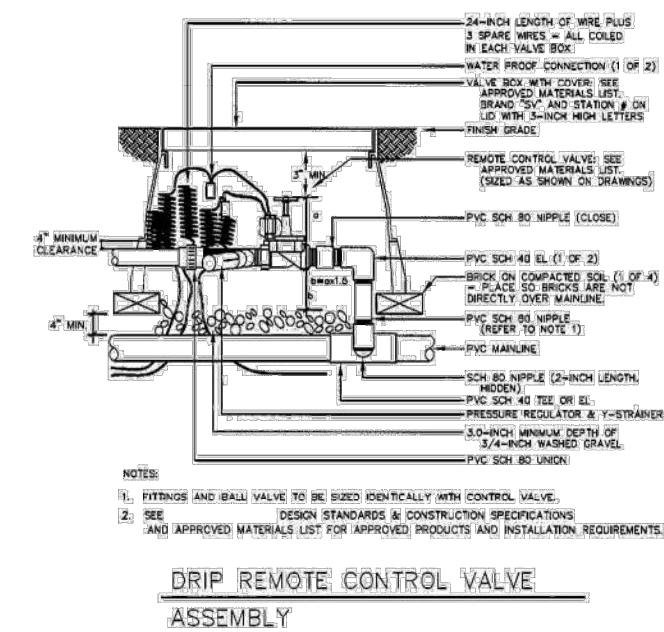
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IRRIGATION DETAILS
SHEET #:
LI-501
SITE PLAN SHEET #
23 of 32

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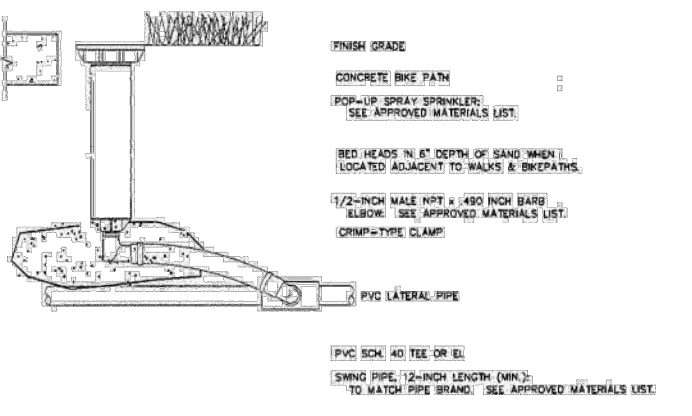
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Drip Remote Control Valve Assembly

PHASE 1

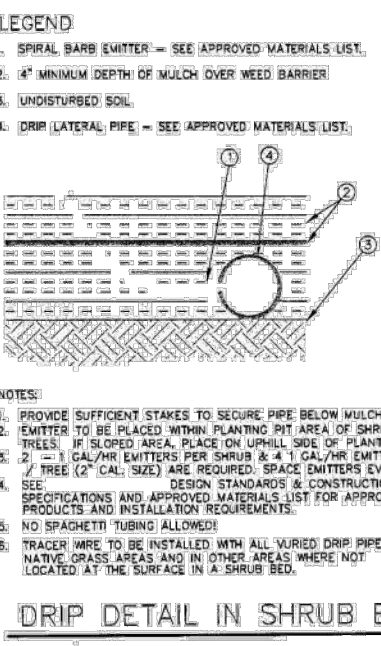
SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.13
	Drip Remote Control Valve Assembly	DATE: 01/2018



POP-UP SPRAY SPRINKLER ASSEMBLY

PHASE 1 & PHASE 2 ALT. #3

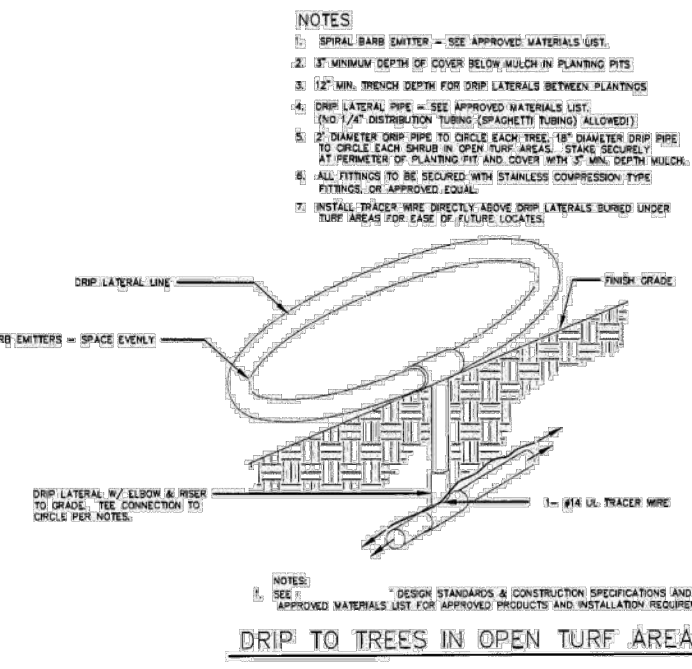
SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.06
	Pop Up Spray Sprinkler Assembly	DATE: 01/2018



DRIP DETAIL IN SHRUB BEDS

PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.14
	Shrub Bed Drip Detail	DATE: 01/2018



DRIP TO TREES IN OPEN TURF AREAS

PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.15
	Drip to Trees in Open Turf Areas	DATE: 01/2018



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IRRIGATION DETAILS
SHEET #:
LI-502
SITE PLAN SHEET #
24 of 32

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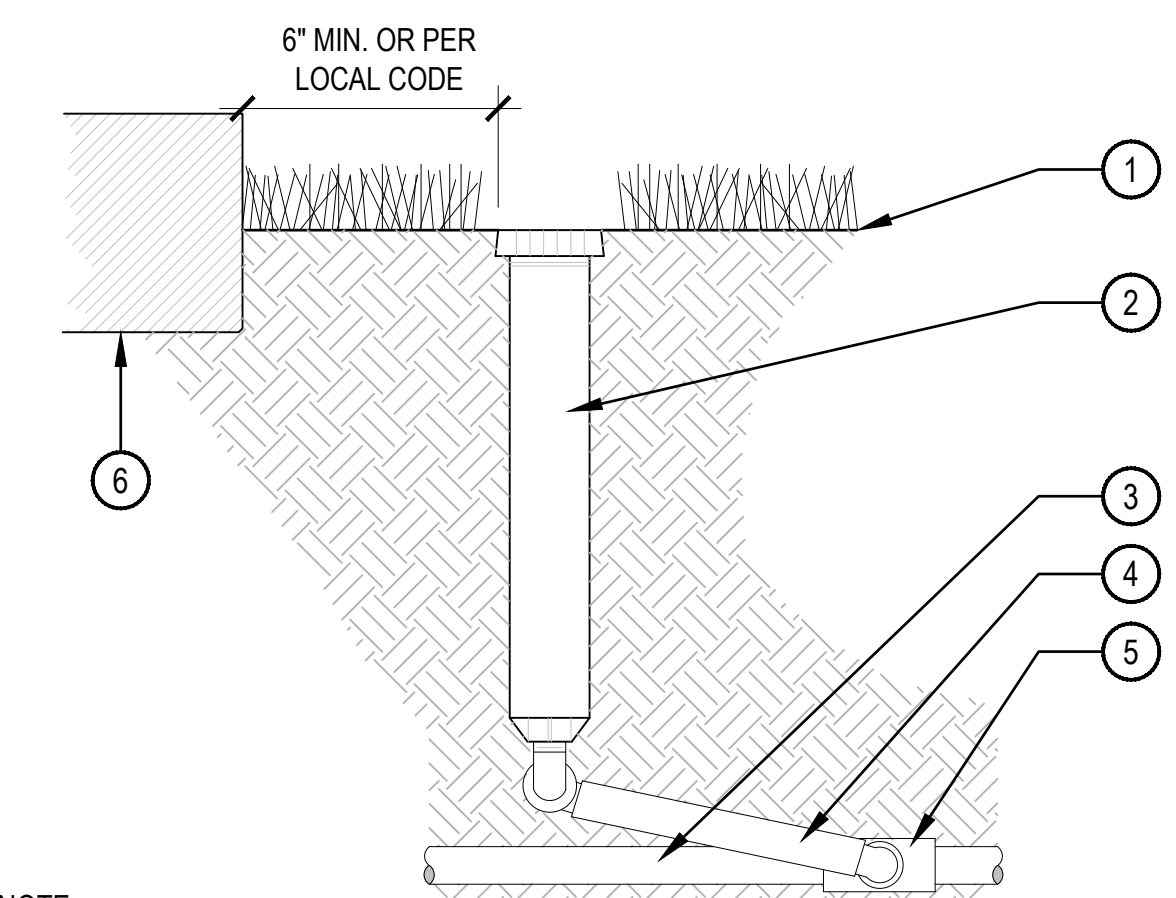
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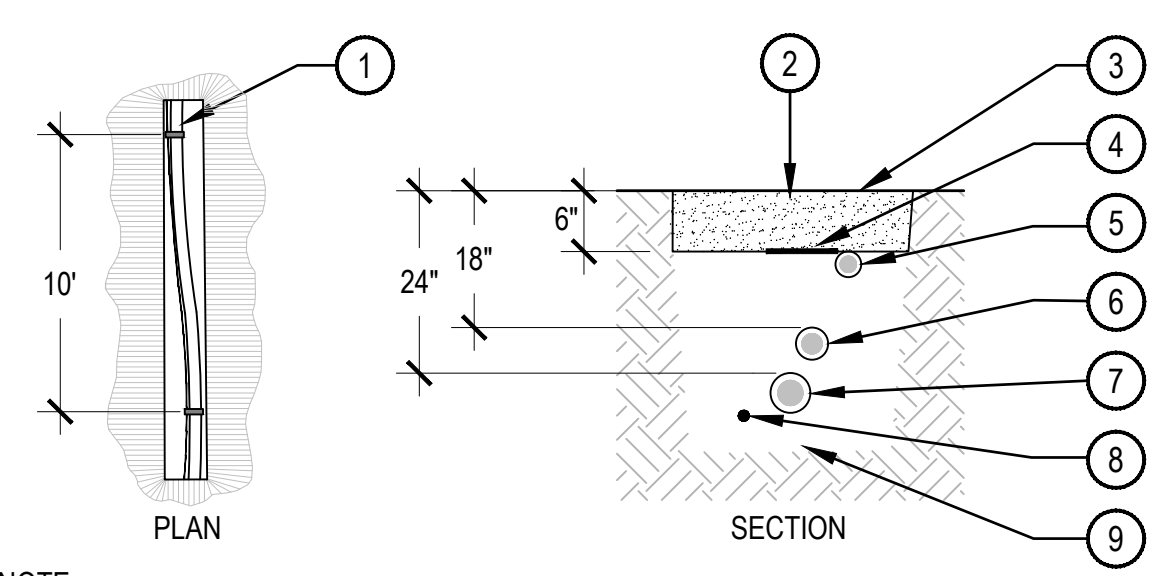
IRRIGATION DETAILS
SHEET #:
 LI-503
SITE PLAN SHEET #
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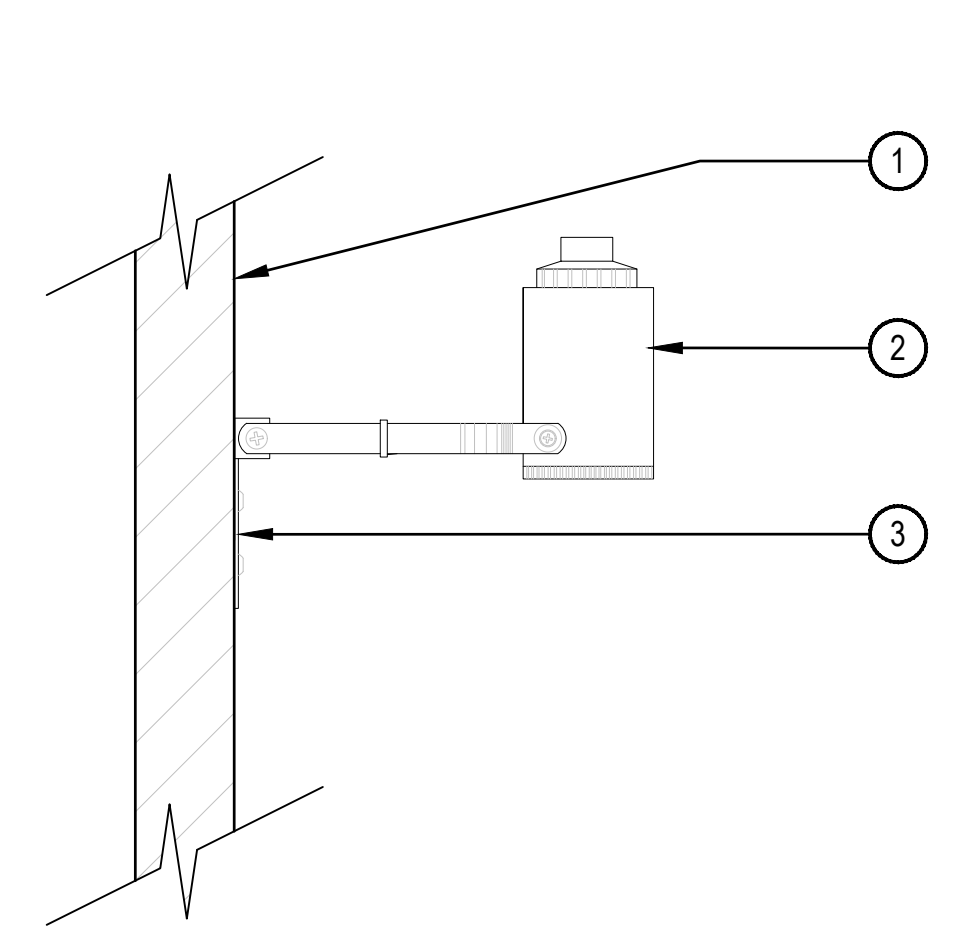
1. AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE.
2. SPRINKLERS HEAD SHALL BE LEVEL WITH SURROUNDING FINISHED GRADE.
3. ADJUST ALL SPRINKLERS HEADS SO THAT NO OVERSPRAY OCCURS ON ANY WALLS, WALKS, COURTS, ETC.
4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
5. COMPACT SOIL AROUND HEAD TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

3 12 INCH POP-UP SPRAY PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS



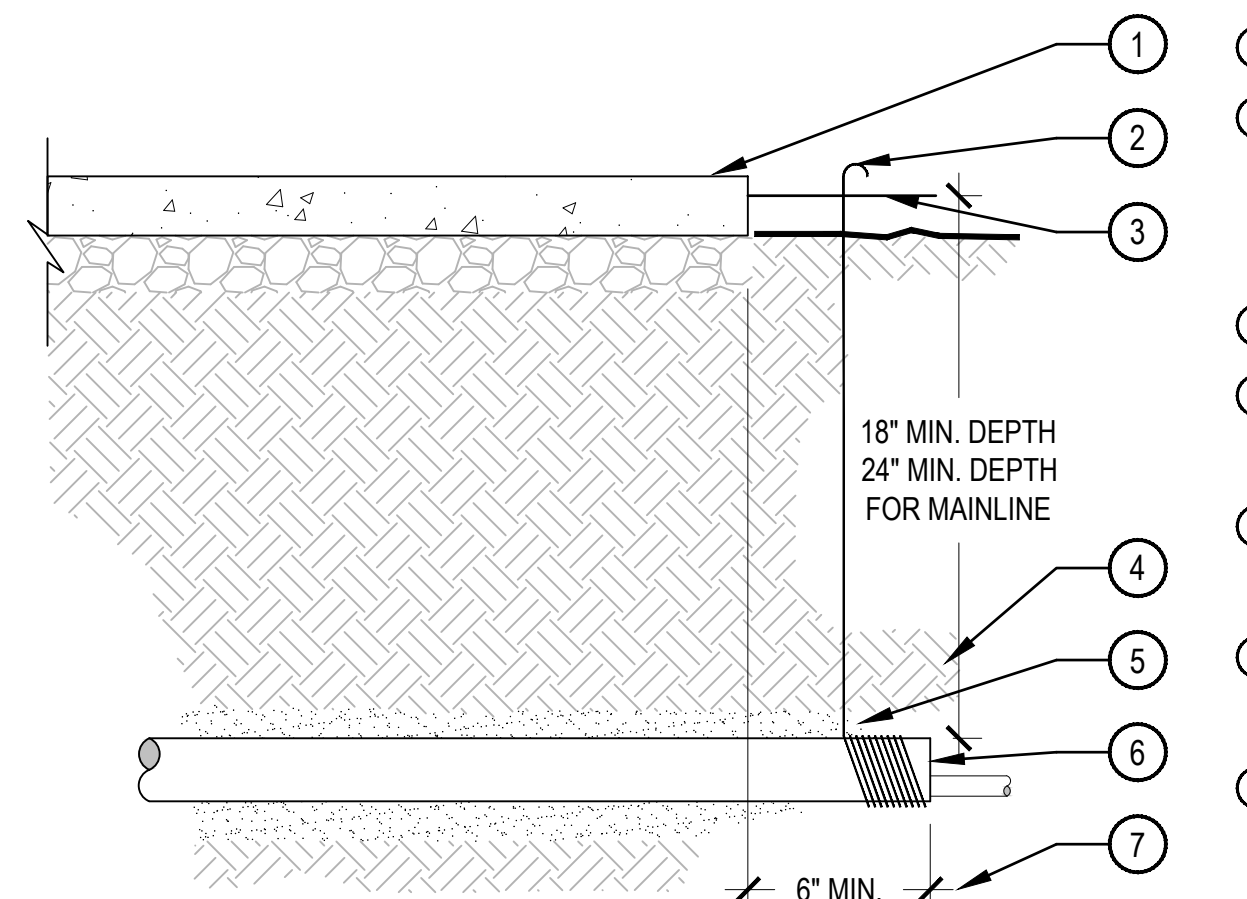
- NOTE:
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS.
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

6 PIPE TRENCH SCALE: NTS



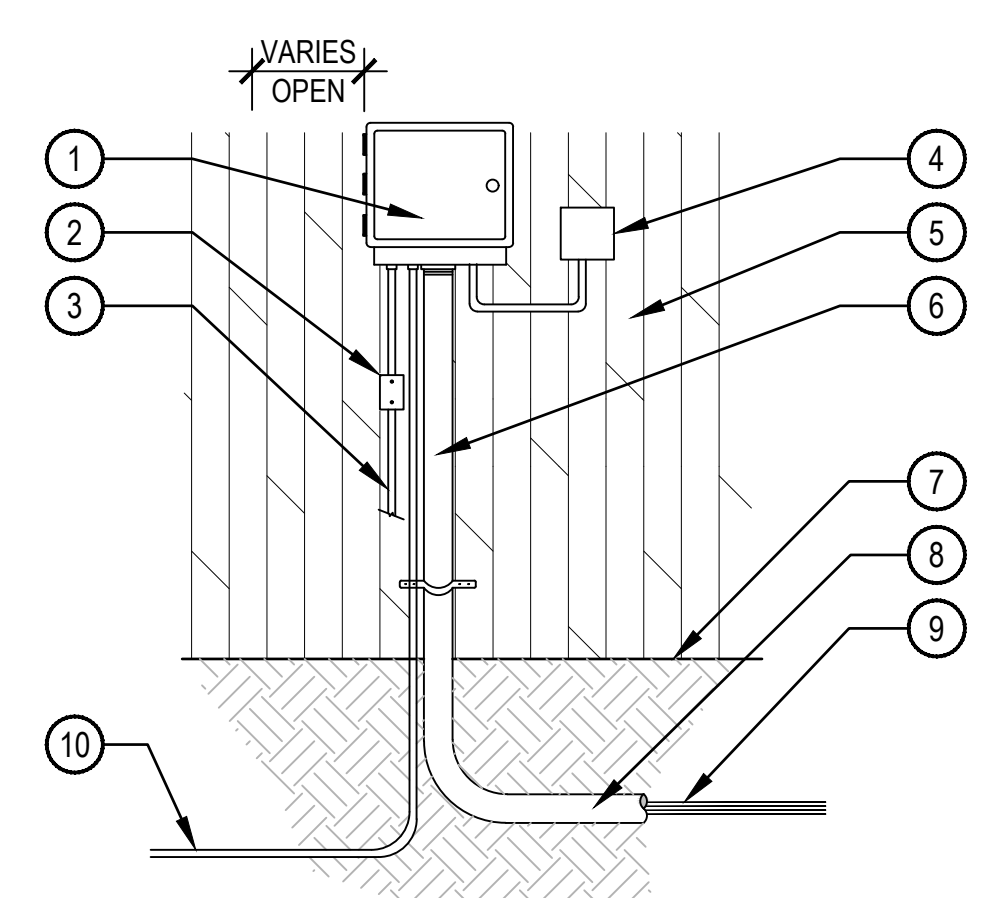
- NOTE:
1. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE DETERMINED BY OWNER.
 3. SENSOR SHOULD NOT BE MOUNTED UNDER TREES, IN AREAS AFFECTED BY SPRINKLER SYSTEM OR UNDER EAVE OF HOUSE.

2 RAIN SENSOR SURFACE MOUNT PHASE 1 NTS



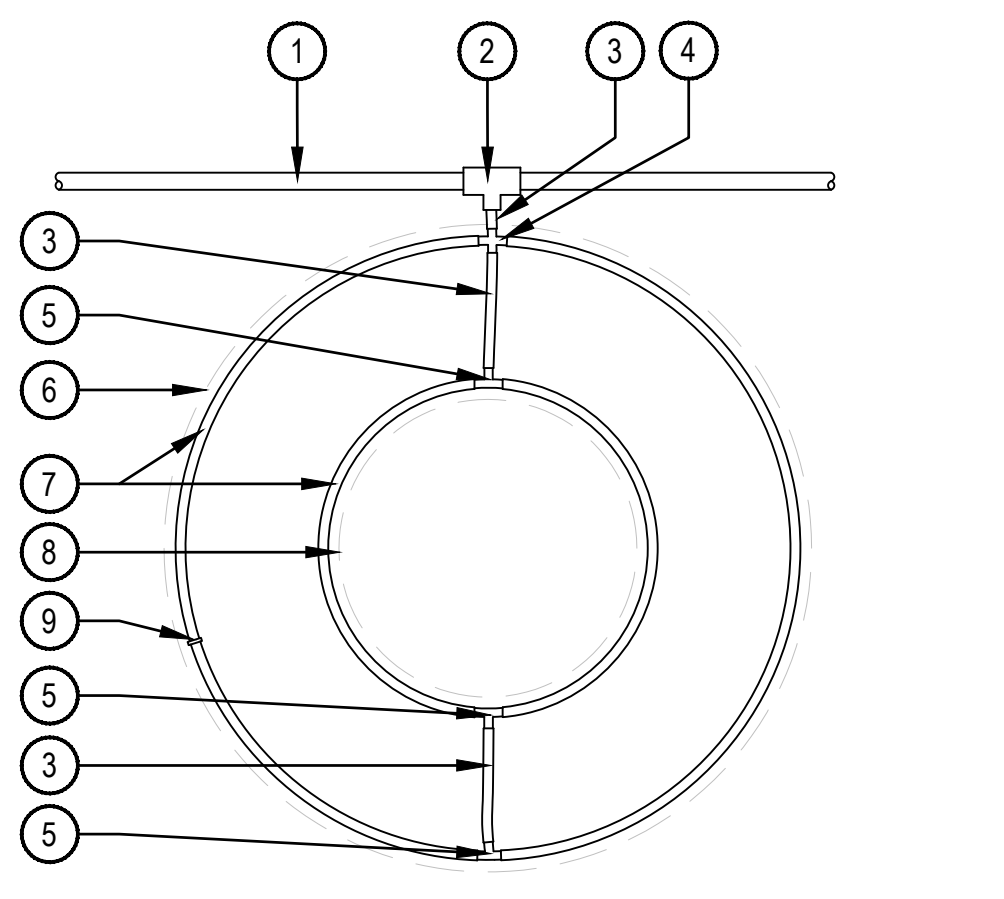
- NOTE:
1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

5 PIPE SLEEVE PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS



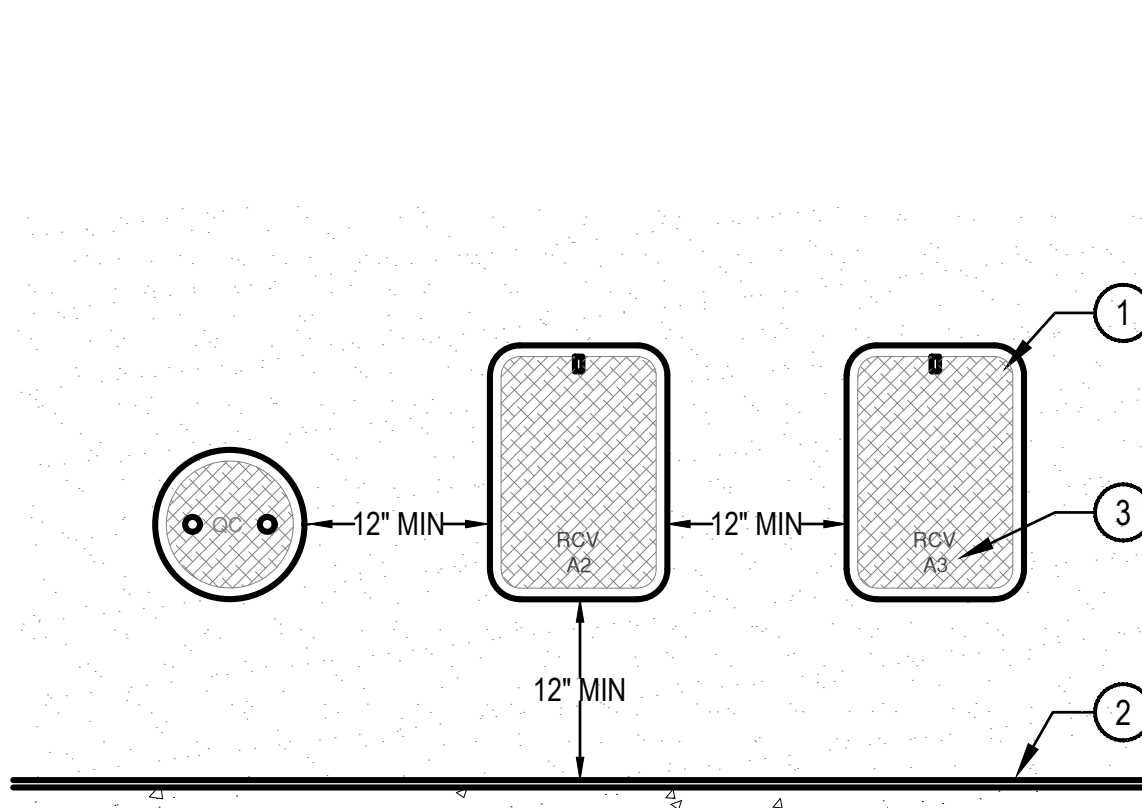
- NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 4. PROVIDE LOCK FOR ENCLOSURE.

1 CONTROLLER WALL MOUNT EXTERIOR PHASE 1 NTS



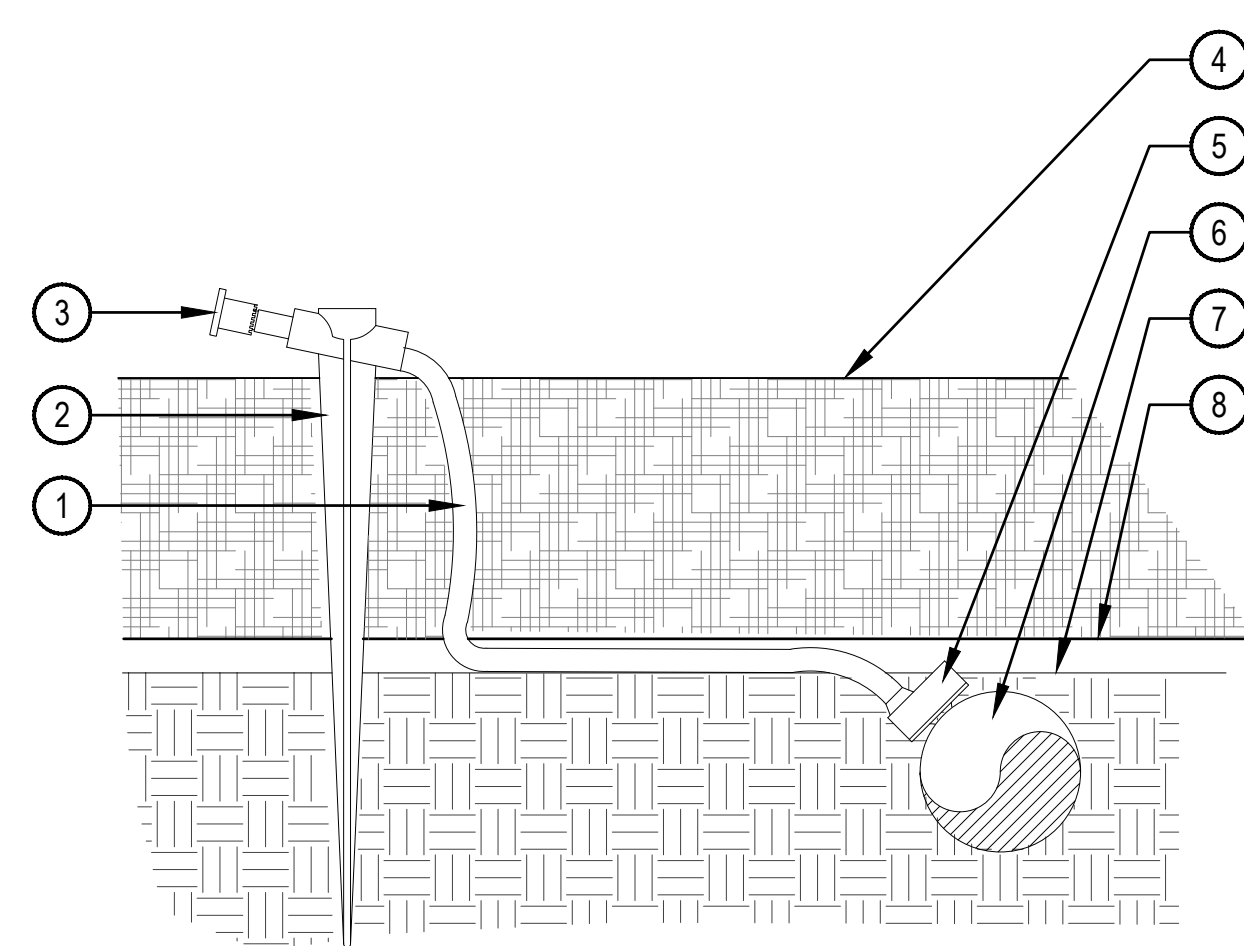
- NOTES:
1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE RAIN BIRD XF-SDI DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACING.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

4 DRIPLINE TREE RING PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS

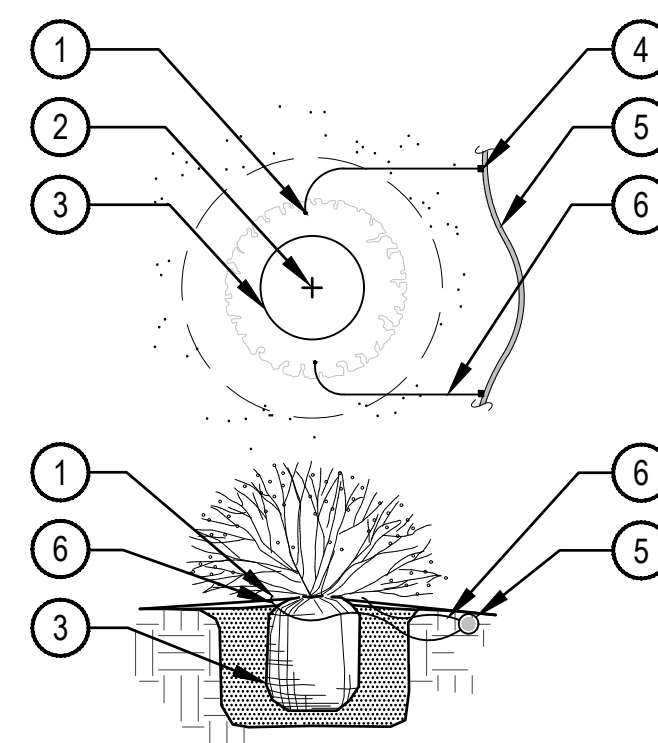


- NOTE:
1. INSTALL ONLY ONE RCV TO VALVE BOX. LOCATE AT LEAST 12-INCHES FROM AND ALIGN WITH NEARBY WALLS OR EDGES OF PAVED AREAS. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL.
 2. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL, BUT AVOID GROUPING MORE THAN THREE (3) STANDARD VALVE BOXES TOGETHER IN A SERIES.
 3. ARRANGE GROUPED VALVE BOXES IN RECTANGULAR PATTERNS.

7 VALVE BOX PLACEMENT SCALE: NTS

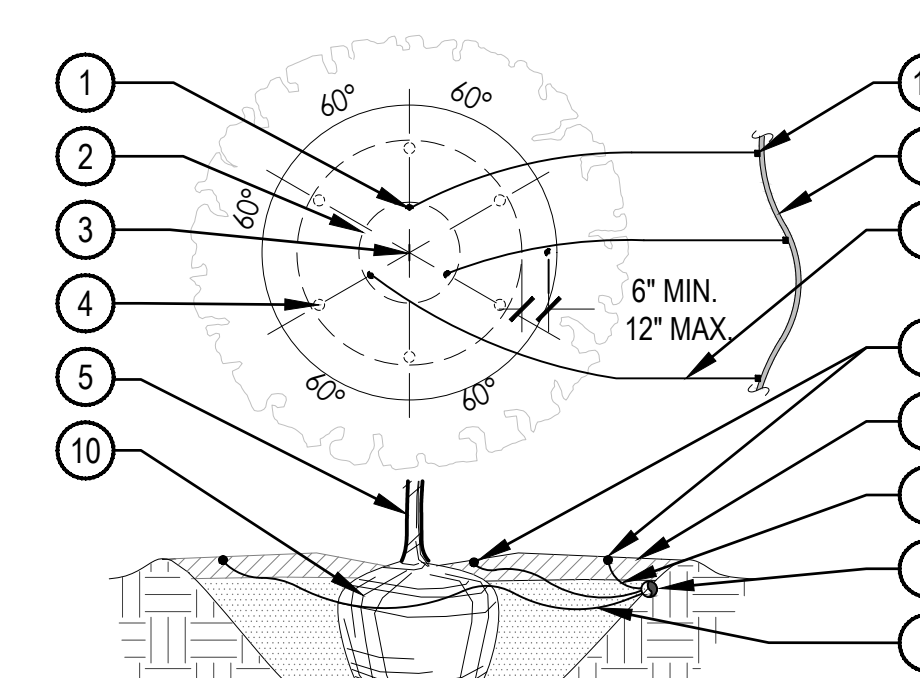


- 1 1/4" DISTRIBUTION TUBING. RUN TUBING UNDER WEED BARRIER FABRIC TO PLANT. LENGTH NOT TO EXCEED 8'
- 2 UNIVERSAL 1/4" STAKE
- 3 DIFFUSER CAP
- 4 TOP OF MULCH
- 5 PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE. INSTALL EMITTER AT 45° TO 60° ANGLE
- 6 3/4" POLYETHYLENE TUBING SET WITH TOP OF TUBING FLUSH WITH FINISH GRADE OF SOIL
- 7 FINISH GRADE OF SOIL
- 8 WEED BARRIER FABRIC



- 1 DIFFUSER CAP W/ DRIP STAKE
- 2 PLANT CENTER
- 3 PLANT ROOTBALL
- 4 SINGLE OUTLET EMITTER
- 5 3/4" POLYETHYLENE DRIP TUBING
- 6 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

NOTE:
 1. EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
 2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
 3. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
 4. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE.
 5. DRIP VALVE ZONES (HYDROZONES) ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS AND SUN EXPOSURE.
 6. CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.



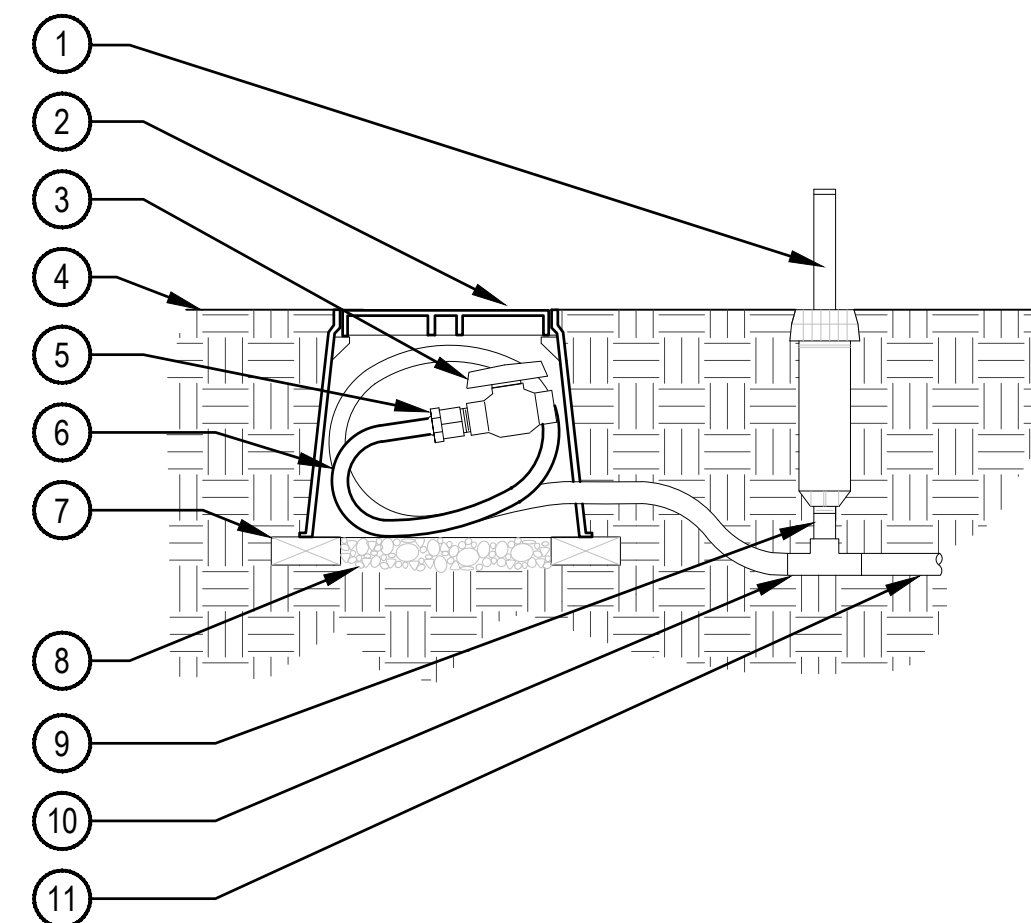
- 1 EMISSION POINT. DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT CENTER (TYP.)
- 4 SECOND EMISSION POINTS SEE NOTE 3 BELOW
- 5 TREE TRUNK
- 6 MULCH LAYER
- 7 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- 8 3/4" POLYETHYLENE DRIP TUBING
- 9 SINGLE OUTLET EMITTER
- 10 ROOTBALL

NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

1 SINGLE OUTLET EMITTER PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS

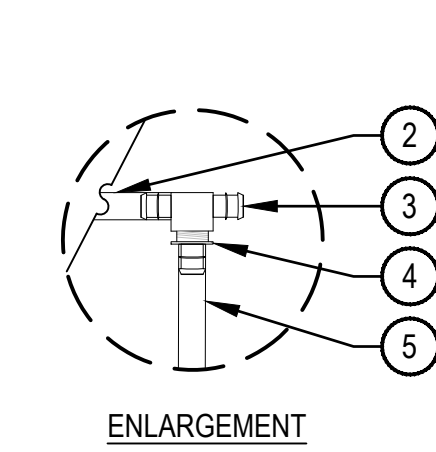
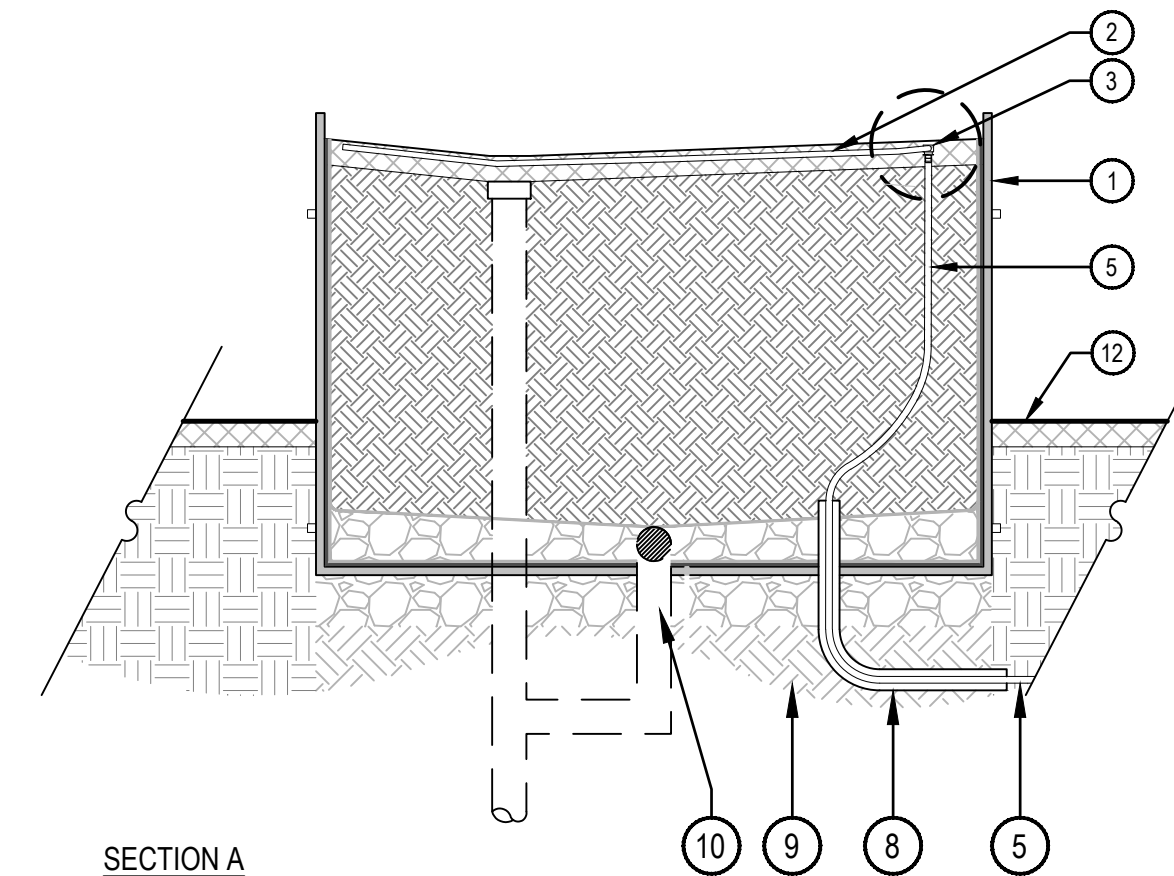
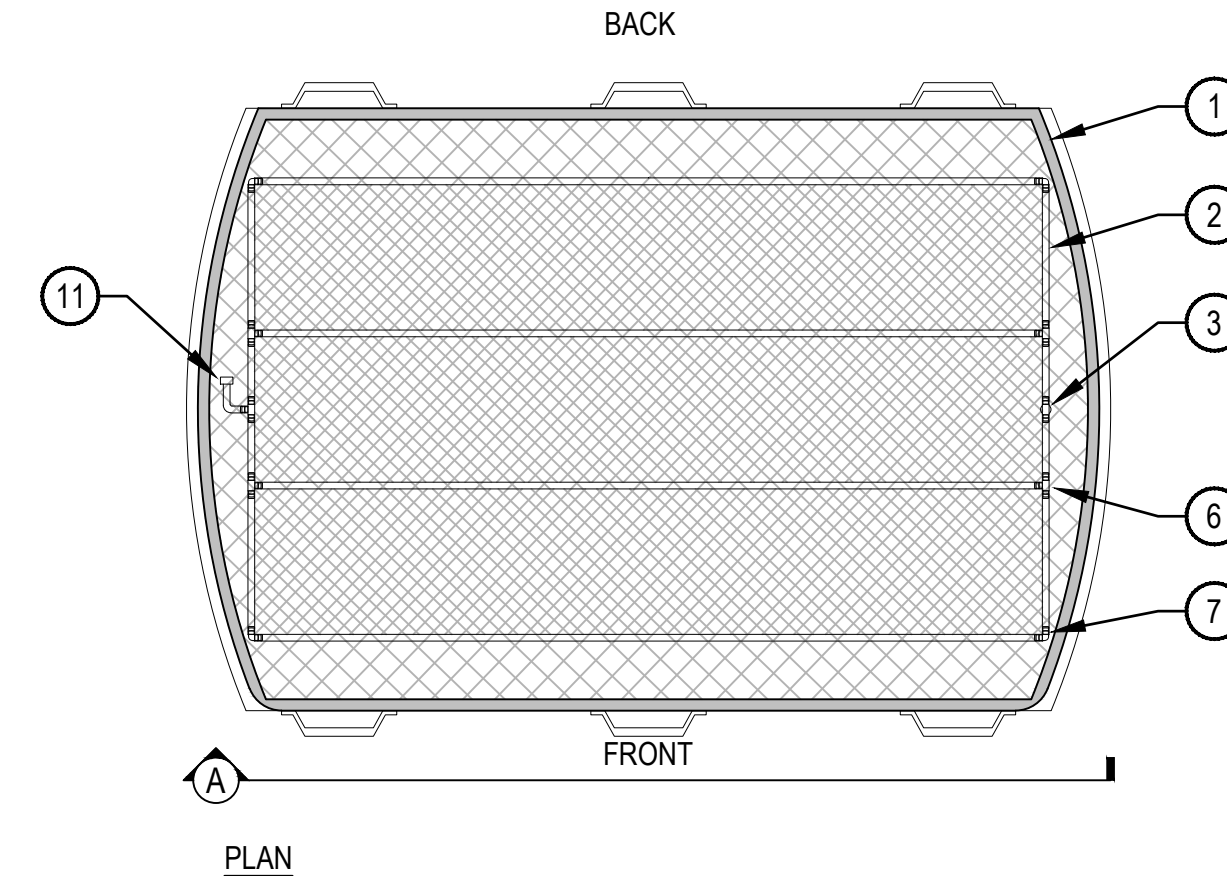
2 SINGLE OUTLET EMITTER PLACEMENT PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS

3 TREE EMITTER PLACEMENT PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS



- 1 12" MIN. POP-UP HEAD WITH ENCLOSED NOZZLE AND SWING PIPE. (ZONE OPERATIONAL INDICATOR)
- 2 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 3 3/4" SCH. 40 PVC BALL VALVE
- 4 FINISH GRADE
- 5 3/4" MxI MALE ADAPTER W/ CLAMPS
- 6 3/4" POLYETHYLENE DRIP TUBING - 24" COIL IN BOX FOR MAINTENANCE
- 7 BRICK (2 REQUIRED MIN.)
- 8 3/4" GRAVEL SUMP, 4" DEPTH
- 9 1/2" SCH. 80 NIPPLE (LENGTH AS NEEDED)
- 10 3/4"x3/4"x1/2" IxIxF INSERT TEE
- 11 POLY LATERAL

NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. INSTALL OPERATIONAL INDICATOR WITHIN 24" OF FLUSH VALVE.
 3. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.



- 1 REPURPOSED BEAN POT PLANTER, PER LANDSCAPE PLANS
- 2 1/2" RAIN BIRD XFCV-09-12 ON-SURFACE DRIPLINE. ROWS SPACED 12" MAXIMUM
- 3 RAIN BIRD XFF-TFA-050 BARB TEE FEMALE ADAPTER FITTING
- 4 1/2"x3/4" MALE ADAPTER (MxI) FITTING
- 5 3/4" BLANK TUBING
- 6 1/2" RAIN BIRD XFF-TEE DRIP FITTING
- 7 1/2" RAIN BIRD XFF-ELBOW DRIP FITTING
- 8 1-1/2" CONDUIT SLEEVING - CONTRACTOR TO SEAL POT OPENING AROUND SLEEVING
- 9 COMPACTED SUB GRADE
- 10 DRAINAGE PER LANDSCAPE PLANS
- 11 FLUSH CAP
- 12 FINISH GRADE

NOTES:
 1. CONTRACTOR SHALL ALLOCATE ADDITIONAL LENGTH IN BLANK TUBING WITHIN PLANTER FOR MAINTENANCE PURPOSES.
 2. CONDUIT SLEEVING TO EXTEND 2 FEET FROM PLANTER BOX.

4 DRIP FLUSH VALVE WITH OPERATIONAL INDICATOR PHASE 1 & PHASE 2 ALT. #3 SCALE: NTS

5 IN-LINE DRIP EMITTERS IN REPURPOSED BEAN POT PLANTERS PHASE 1 & PHASE 2 ALT. #3 NTS

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LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

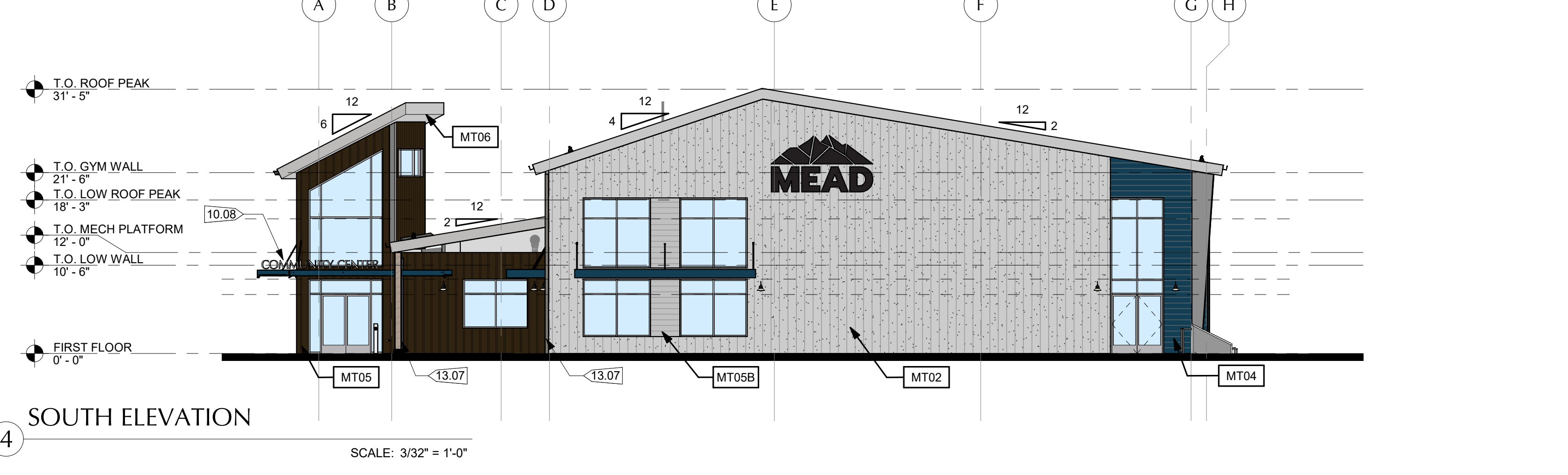
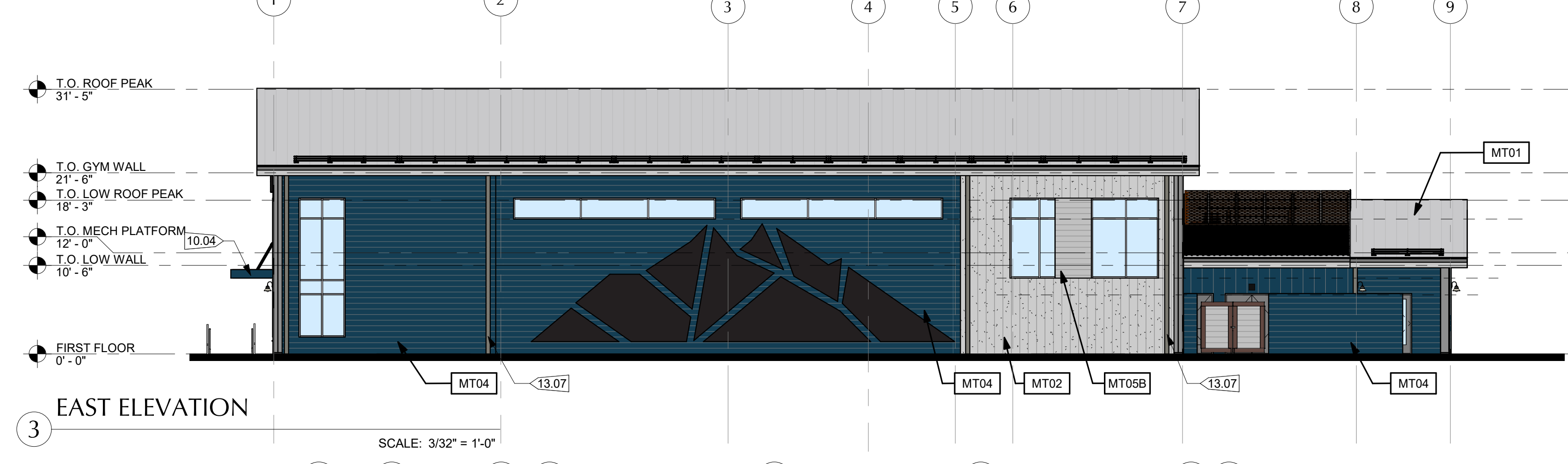
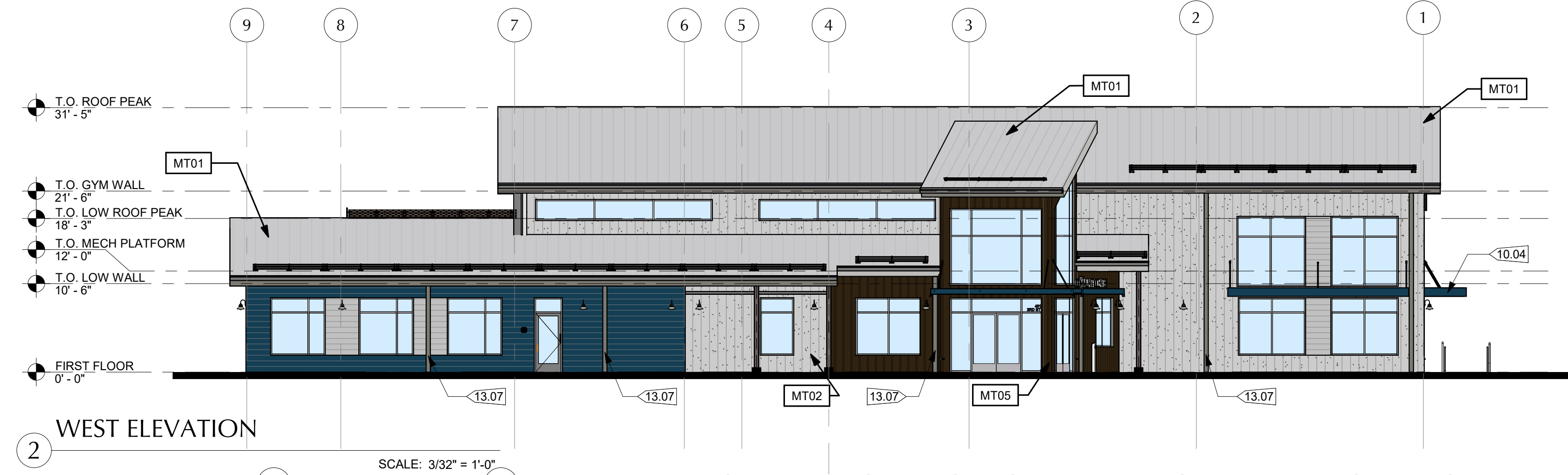
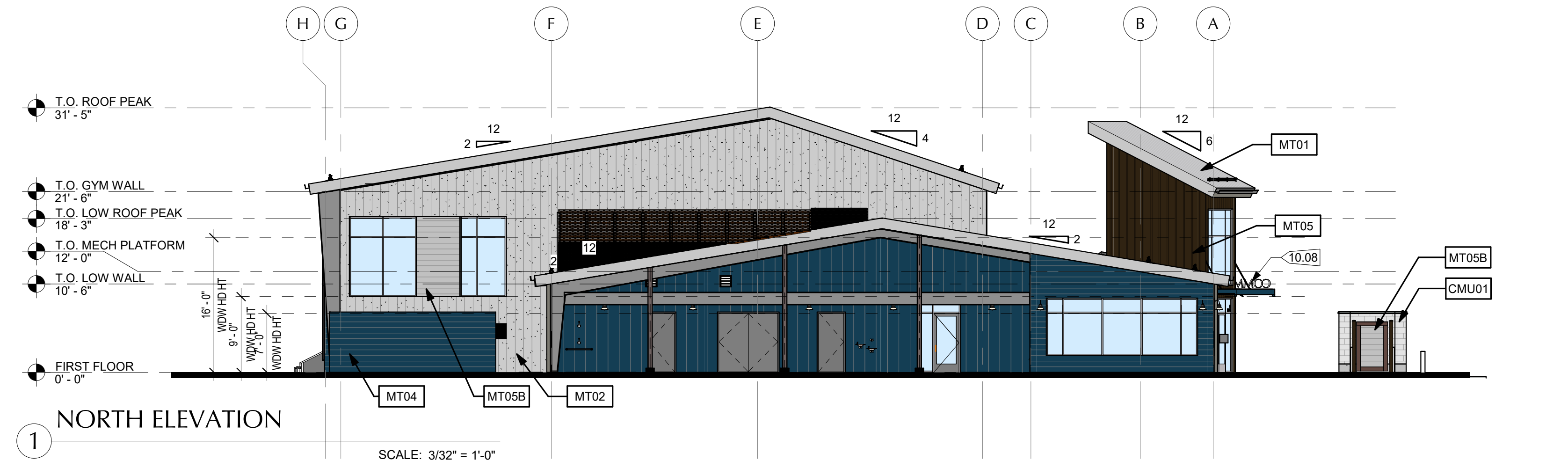
ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:



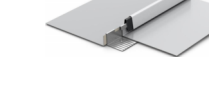




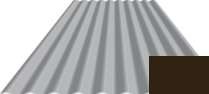

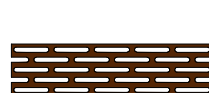
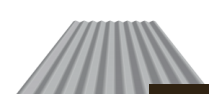



TOWN OF MEAD APPROVAL
 THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:
 TOWN ENGINEER DATE

IRRIGATION DETAILS
 SHEET #:
 LI-504
 SITE PLAN SHEET #
 26 of 32



EXTERIOR ELEVATION MATERIAL LEGEND

REFER TO MATERIALS LIST FOR MATERIALS NOT LISTED HERE. REFER TO PRE-ENGINEERED METAL BUILDINGS DRAWINGS AND SPECIFICATIONS FOR METAL SIDING AND ROOF MATERIALS.

-  MT01 STANDING SEAM METAL ROOF
• FINISH: GALVALUME
-  MT02 METAL PANEL AP, VERTICAL
• COLOR: ASH GRAY
-  MT03 METAL PANEL AP, VERTICAL
• COLOR: ROYALE BLUE
-  MT04 METAL PANEL CS, HORIZONTAL
• FINISH: ROYALE BLUE
-  MT05A METAL PANEL T1, VERTICAL
• COLOR: DARK BRONZE (#50)
-  MT05B METAL PANEL T1, HORIZONTAL
• COLOR: DARK BRONZE (#50)
-  MT06 METAL FSP PANEL
• COLOR: ASH GRAY (AG)
-  MT07 MCNICHOLS SLOTTED METAL PERF. PANEL
• COLOR: MATCH MT05 DARK BRONZE
-  MT08 METAL PANEL, HORIZONTAL
• COLOR: DARK BRONZE
-  CMU01 BASALITE GROUND FACE
• FINISH: 607WR
-  PT02 PPG1002-5 ANTIGUE SILVER (WARM GRAY)
EXPOSED METAL FRAME
-  PT06 PPG1002-5 ANTIGUE SILVER (WARM GRAY)
EXPOSED METAL FRAME

PROJECT KEYNOTES

#	DESCRIPTION
10.04	LOUVERED SHADE CANOPY WITH SUPPORT BRACES, RE: PEMB AND SPECS
10.08	FRONT LIT ALUMINUM CHANNEL LETTER SIGNAGE ON CANOPY, RE: SIGNAGE
13.07	PREFINISHED DOWNSPOUT BY PEMB MANUF.

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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542
ELEVATIONS
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
ELEVATIONS

SHEET #:
A027.
SITE PLAN
SHEET #
27 of 32

PRELIMINARY
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07/21/23



ESSENZA
ARCHITECTURE

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SOUTHWEST PERSPECTIVE



NORTHWEST PERSPECTIVE

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3D PERSPECTIVES

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
3D PERSPECTIVES

SHEET #: A028

SITE PLAN SHEET # 28 of 32

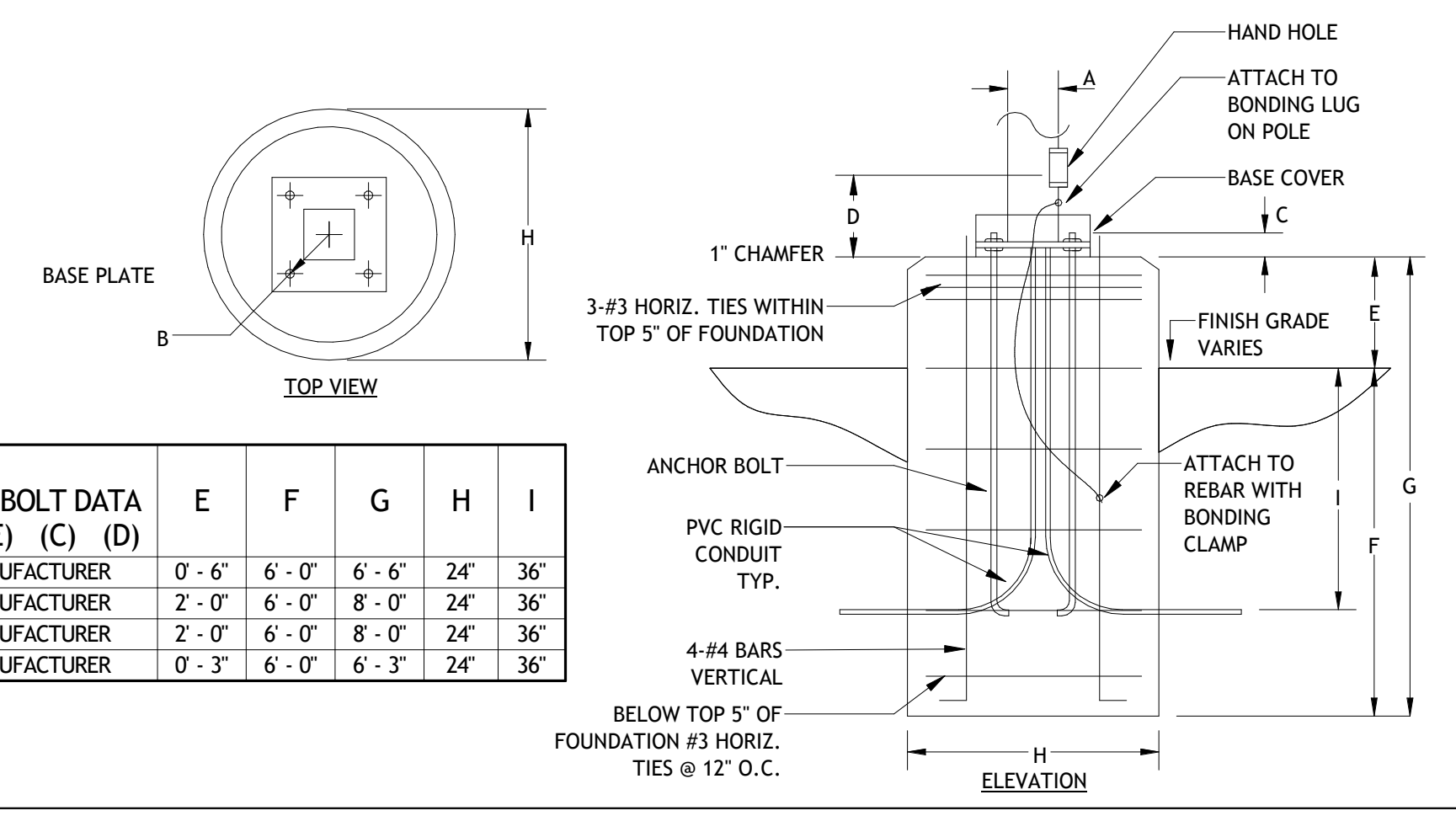
LIGHTING SEQUENCE OF OPERATION

CONTROL SEQUENCE	ON	OFF	SENSOR TYPE	TIME OUT	DIMMING	CONTROLLED RECEPTACLE	DAYLIGHT HARVESTING
ET1	TIMELock AUTOMATIC ON 30 MINUTES PRIOR TO SUNSET AND 1 HOUR PRIOR TO COMMENCE OF BUSINESS	TIMELock AUTOMATIC OFF 1 HOUR AFTER CLOSE OF BUSINESS AND 30 MINUTES AFTER SUNRISE	NONE	N/A	SWITCHING	NO	NO

Statistics

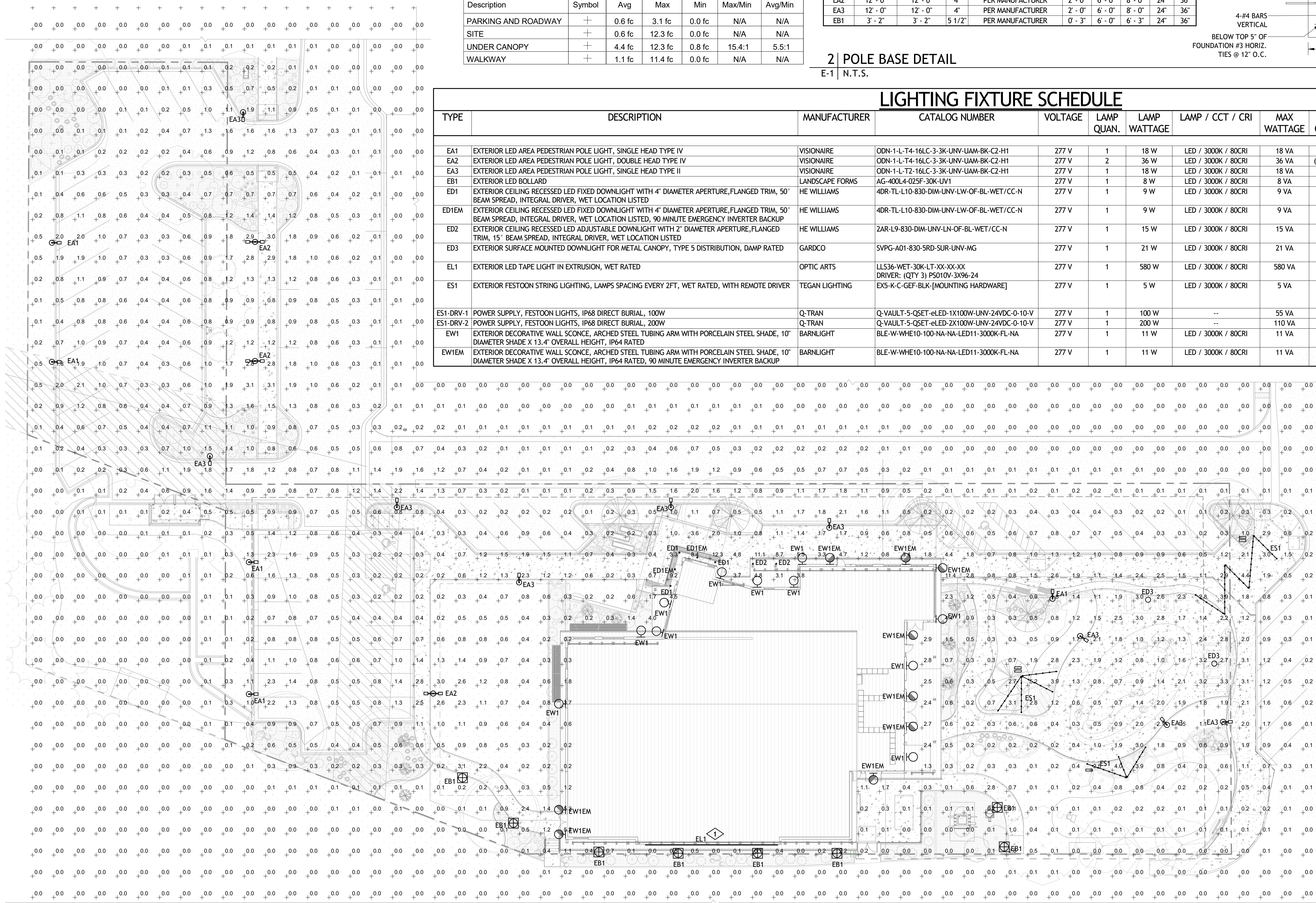
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AND ROADWAY	+	0.6 fc	3.1 fc	0.0 fc	N/A	N/A
SITE	+	0.6 fc	12.3 fc	0.0 fc	N/A	N/A
UNDER CANOPY	+	4.4 fc	12.3 fc	0.8 fc	15.4:1	5.5:1
WALKWAY	+	1.1 fc	11.4 fc	0.0 fc	N/A	N/A

POLE KEY	OVERALL HEIGHT	HEIGHT OF LUMINOUS SURFACE	A	ANCHOR BOLT DATA (B) (SIZE) (C) (D)	E	F	G	H	I
EA1	12' - 0"	12' - 0"	4"	PER MANUFACTURER	0' - 6"	6' - 0"	6' - 6"	24'	36'
EA2	12' - 0"	12' - 0"	4"	PER MANUFACTURER	2' - 0"	6' - 0"	8' - 0"	24'	36'
EA3	12' - 0"	12' - 0"	4"	PER MANUFACTURER	2' - 0"	6' - 0"	8' - 0"	24'	36'
EB1	3' - 2"	3' - 2"	5 1/2"	PER MANUFACTURER	0' - 3"	6' - 0"	6' - 3"	24'	36'



LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QUAN.	LAMP WATTAGE	LAMP / CCT / CRI	MAX WATTAGE	LUMEN OUTPUT	DIMMING / MIN LEVEL	FIXTURE FINISH	LOCATION	BOF/RFD/OFH
EA1	EXTERIOR LED AREA PEDESTRIAN POLE LIGHT, SINGLE HEAD TYPE IV	VISIONAIRE	ODN-1-L-T4-16LC-3-3K-UNV-UAM-BK-C2-H1	277 V	1	18 W	LED / 3000K / 80CRI	18 VA	2288 LM	SWITCHING	BLACK	GROUND SURFACE	12'-0" BOF
EA2	EXTERIOR LED AREA PEDESTRIAN POLE LIGHT, DOUBLE HEAD TYPE IV	VISIONAIRE	ODN-1-L-T4-16LC-3-3K-UNV-UAM-BK-C2-H1	277 V	2	36 W	LED / 3000K / 80CRI	36 VA	2288 LM	SWITCHING	BLACK	GROUND SURFACE	12'-0" BOF
EA3	EXTERIOR LED AREA PEDESTRIAN POLE LIGHT, SINGLE HEAD TYPE II	VISIONAIRE	ODN-1-L-T2-16LC-3-3K-UNV-UAM-BK-C2-H1	277 V	1	18 W	LED / 3000K / 80CRI	18 VA	2399 LM	SWITCHING	BLACK	GROUND SURFACE	12'-0" BOF
EB1	EXTERIOR LED BOLLARD	LANDSCAPE FORMS	AG-400L4-025F-30K-LV1	277 V	1	8 W	LED / 3000K / 80CRI	8 VA	345 LM	SWITCHING	STEEL	GROUND SURFACE	3'-2" OFH
ED1	EXTERIOR CEILING RECESSED LED FIXED DOWNLIGHT WITH 4" DIAMETER APERTURE, FLANGED TRIM, 50" BEAM SPREAD, INTEGRAL DRIVER, WET LOCATION LISTED	HE WILLIAMS	4DR-TL-L10-830-DIM-UNV-LN-WF-OF-BL-WET/CC-N	277 V	1	9 W	LED / 3000K / 80CRI	9 VA	674 LM	0-10V TO 10%	BLACK	CEILING RECESSED	0' - 5 3/4" RFD
ED1EM	EXTERIOR CEILING RECESSED LED FIXED DOWNLIGHT WITH 4" DIAMETER APERTURE, FLANGED TRIM, 50" BEAM SPREAD, INTEGRAL DRIVER, WET LOCATION LISTED, 90 MINUTE EMERGENCY INVERTER BACKUP	HE WILLIAMS	4DR-TL-L10-830-DIM-UNV-LN-WF-OF-BL-WET/CC-N	277 V	1	9 W	LED / 3000K / 80CRI	9 VA	674 LM	0-10V TO 10%	BLACK	CEILING RECESSED	0' - 5 3/4" RFD
ED2	EXTERIOR CEILING RECESSED LED ADJUSTABLE DOWNLIGHT WITH 2" DIAMETER APERTURE, FLANGED TRIM, 15" BEAM SPREAD, INTEGRAL DRIVER, WET LOCATION LISTED	HE WILLIAMS	2AR-L9-830-DIM-UNV-LN-WF-OF-BL-WET/CC-N	277 V	1	15 W	LED / 3000K / 80CRI	15 VA	716 LM	0-10V TO 10%	BLACK	CEILING RECESSED	0'-5 13/16" RFD
ED3	EXTERIOR SURFACE MOUNTED DOWNLIGHT FOR METAL CANOPY, TYPE 5 DISTRIBUTION, DAMP RATED	GARCO	SVGP-A01-830-5RD-SUR-UNV-MG	277 V	1	21 W	LED / 3000K / 80CRI	21 VA	2227 LM	SWITCHING	MEDIUM GRAY	CEILING SURFACE	0'-5" OFH
EL1	EXTERIOR LED TAPE LIGHT IN EXTRUSION, WET RATED	OPTIC ARTS	LLS36-WET-30K-LT-XX-XX-XX DRIVER: (QTY 3) PS010V-3X96-24	277 V	1	580 W	LED / 3000K / 80CRI	580 VA	142 LM/LF	0-10V TO 10%	WHITE	WALL SURFACE	RE: 1/E502
ES1	EXTERIOR FESTOON STRING LIGHTING, LAMPS SPACING EVERY 2FT, WET RATED, WITH REMOTE DRIVER	TEGAN LIGHTING	EXS-K-C-GEF-BLK-[MOUNTING HARDWARE]	277 V	1	5 W	LED / 3000K / 80CRI	5 VA	500 LM	SWITCHING	BLACK	POLE SUSPENDED	RE: LANDSCAPE DETAILS
ES1-DRV-1	POWER SUPPLY, FESTOON LIGHTS, IP68 DIRECT BURIAL, 100W	Q-TRAN	Q-VAULT-5-QSET-eLED-1X100W-UNV-24VDC-0-10-V	277 V	1	100 W	--	55 VA	--	SWITCHING	--	UNDERGROUND	--
ES1-DRV-2	POWER SUPPLY, FESTOON LIGHTS, IP68 DIRECT BURIAL, 200W	Q-TRAN	Q-VAULT-5-QSET-eLED-2X100W-UNV-24VDC-0-10-V	277 V	1	200 W	--	110 VA	--	SWITCHING	--	UNDERGROUND	--
EW1	EXTERIOR DECORATIVE WALL SCONCE, ARCHED STEEL TUBING ARM WITH PORCELAIN STEEL SHADE, 10" DIAMETER SHADE X 13.4" OVERALL HEIGHT, IP64 RATED	BARNLIGHT	BLE-W-WHE10-100-NA-NA-LED11-3000K-FL-NA	277 V	1	11 W	LED / 3000K / 80CRI	11 VA	850 LM	0-10V TO 10%	BLACK	WALL SURFACE	7'-0" BOF
EW1EM	EXTERIOR DECORATIVE WALL SCONCE, ARCHED STEEL TUBING ARM WITH PORCELAIN STEEL SHADE, 10" DIAMETER SHADE X 13.4" OVERALL HEIGHT, IP64 RATED, 90 MINUTE EMERGENCY INVERTER BACKUP	BARNLIGHT	BLE-W-WHE10-100-NA-NA-LED11-3000K-FL-NA	277 V	1	11 W	LED / 3000K / 80CRI	11 VA	850 LM	0-10V TO 10%	BLACK	WALL SURFACE	7'-0" BOF



SITE GENERAL NOTES

A. UNDERGROUND SITE LIGHTING BRANCH CIRCUITS INCLUDING THE EQUIPMENT GROUNDING CONDUCTOR SHALL BE UPSIZED TO ACCOMMODATE VOLTAGE DROP PER NEC 250.122(B). PROVIDE MINIMUM OF 2#10, 1#10G, IN 1" C, UON."

SITE SEQUENCE OF OPERATIONS

THE FOLLOWING CONTROL SEQUENCE OF OPERATIONS ARE UTILIZED IN THIS PLAN. REFER TO PLAN AND/OR ZONE/RELAY SCHEDULE FOR SPECIFIC ASSOCIATED SEQUENCE. (ET1)

SITE KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
1	LED ACCENT TAPE LIGHTING SHALL BE AIMED TOWARD WALL BEHIND OFFSET CUTOFF AND LIGHT SOURCE SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY. ILLUMINANCE CONTRIBUTION OF DECORATIVE LIGHTING FEATURE IS NOT INCLUDED IN PHOTOMETRIC CALCULATION.

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

1 | ELECTRICAL SITE PLAN PHOTOMETRIC
E-1 | 1" = 20'-0"

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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513
SITE PHOTOMETRIC
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD COLORADO

ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24
DRAWN BY:
EB, CG
REVIEWED BY:
KM, MS
PROJECT #:
2206
DRAWING TITLE:
SITE PHOTOMETRIC

SHEET #:
E-1
SITE PLAN SHEET #
29 of 32



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MEAD COMMUNITY CENTER
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LIGHTING FIXTURE CUTSHEET

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24
DRAWN BY:
EB, CG
REVIEWED BY:
KM, MS
PROJECT #:
2206
DRAWING TITLE:
LIGHTING FIXTURE
CUTSHEET

SHEET #:
E-2
SITE PLAN
SHEET #
30 of 32

ODEN LED Specifications



Control Number: ARCHITECTURAL-ODN-L-06_13_2022

Project Name: _____
Catalog Number: _____
Type: _____

With six interchangeable caps and spun shade styles, the **Oden - LED** offers architects, designers and engineers endless possibilities for a custom fixture to fit their unique application.

The **Oden - LED Array**'s high-quality, durable construction makes it an ideal fixture for any application.

Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	CAP/SHADE	OPTIONS	OPTIONS
ODN-1-L	T1 Type 1	16LC	3 350mA	3K 3000K	UNV 120-277V	YM Yoke Mount "Slits over 3"OD"	BZ Bronze	C1	PC-100 PC-208	DIM 0-10V Dimming Driver
	T2 Type 2	32LC	5 530mA	4K 4000K	8 347V	WB Weathered Brown	C2	PC-240 PC-277	Photo & Receptacle Controls Consult Factory	VWC Visionaire Wireless Controls Consult Factory
	T3 Type 3	48LC	7 700mA	5K 5000K	5 480V	BK Black	C3	WSC-8 WCS-8	8" Mounting Height	IR-R Illuminated Rings Red
ODN-2-L	T4 Type 4	48LC				UAM Arm Mount "Decorative armrod included"	C4	WSC-20 WCS-20	20" Mounting Height	IR-B Illuminated Rings Blue
	T5 Type 5	64LC				SWH Smooth White	C5	WSC-40 WCS-40	40" Mounting Height	IR-G Illuminated Rings Green
	T6 Type 6	80LC				WH White	C6	WCS-21 WCS-21	21" Mounting Height	CLS Cutoff Louver Shield
	T7 Type 7	96LC				GP Graphite	H1	IR-G Illuminated Rings Green		
ODN-3-L	TSW Type 8 Wide Round	128LC				See decorative arm section for arm mount options	H2	IR-G Illuminated Rings Green		
	TSW Type 9 Wide Round	128LC				ODN uses small arm. ODN-2 & ODN-3 uses large arm	H3	IR-G Illuminated Rings Green		
						White	H4	IR-G Illuminated Rings Green		
						Grey	H5	IR-G Illuminated Rings Green		
						Silver	H6	IR-G Illuminated Rings Green		
						Metallic		CLS Cutoff Louver Shield		
						Forest Green				
						Verdigris				
						Custom Color				

VISIONAIRE LIGHTING
VL-PA-ING-001-F37

REV. 0

CRCABR22-03

TYPE EA1,EA2,EA3

FGP Path Light

Product Data Sheet



The FGP path light has a pleasing flower-like organic form created by three stems that rise from the connection with the base. The soft, triangular head holds LEDs in triangular arrays that cast illumination between the verticals in a clean footprint.

High-design surface mounted LED path light uses aiming angles, color-rendering and glare reduction to shape and enhance lighting performance. Aluminum cartridge houses energy efficient LEDs and provides excellent thermal management. Fixture is made of durable cast aluminum with galvanized steel base plate. Mounting hardware and template included for ease of installation.

landscapeforms

Lighting Facts®

Landscape Forms is committed to the development of energy efficient lighting. We participate in the Department of Energy Lighting Facts® label program. This activity is voluntary but helps consumers evaluate the multitude of products on the market today. The Lighting Facts® label provides a quick but comprehensive summary of luminaire performance as measured by the IESNA LM-79 photometric test standard for solid state lighting.

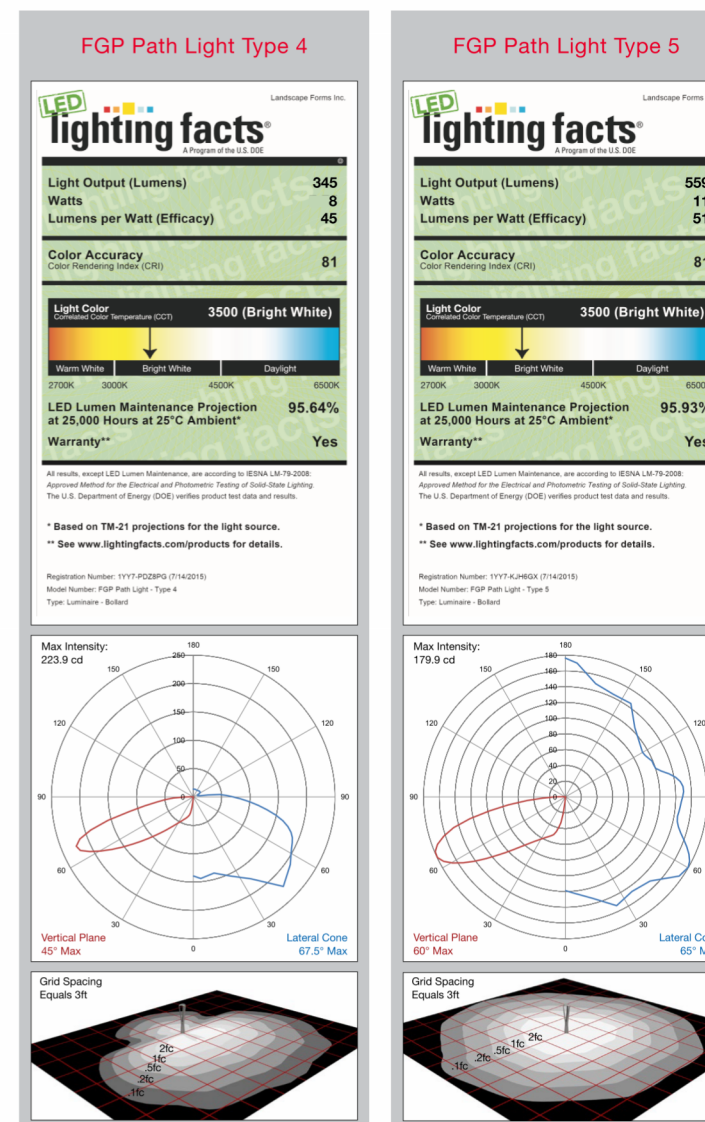
Electrical
Surge protected 100V-277V 50/60 Hz, Class 2 driver, LED cartridge with weatherproof quick disconnect provides ease of installation and serviceability. Internal wiring completed at the factory.

FGP Path Light Type 4

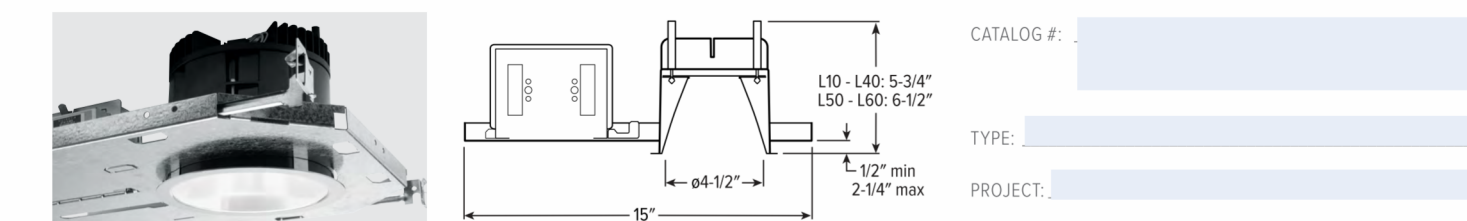
Type 4 Distribution
CCT: 2700K, 3000K, 3500K, 4000K
Drive Current: 250mA
Optic: 9 Khatod Collimators
Lens: Diffused Acrylic®
Power Supply: 100V-277V
LED Driver: 7W
BUG Rating: B0-U1-G1
IP Rating: IP66 for LED Cartridge
Weight: 3lbs

FGP Path Light Type 5

Type 5 Distribution
CCT: 2700K, 3000K, 3500K, 4000K
Drive Current: 250mA
Optic: 9 Khatod Collimators
Lens: Diffused Acrylic®
Power Supply: 100V-277V
LED Driver: 7W
BUG Rating: B0-U1-G1
IP Rating: IP66 for LED Cartridge
Weight: 3lbs



4DR LED 4.5" Downlight - Round



NEW CONSTRUCTION AND REMODEL

ORDERING EXAMPLE: 4DR - TL - L20/835 - OPTIONS - CONTROL/DIM - UNV - OW - OF - CS - TRIM OPTIONS - N - F1 MOUNT

HOUSING	OPTIONS	CONTROL	DRIVER	VOLTAGE
4DR - TL L10 1,000lm ⁽¹⁾ 8 80	27 2700K	SCA - None	DIM Dimming driver, 0-10V	UNV 120-277V
Trimlock L15 1,500lm 9 90 ⁽¹⁾	30 3000K	AVH-LVFA Avt-on wireless, future control ⁽¹⁾	DM1 1% Dimming driver, 0-10V	347 347V ⁽¹⁾⁽²⁾
L20 2,000lm	35 3500K	ATH	DA Driver with 12V auxiliary power ⁽¹⁾⁽³⁾	
L30 3,000lm	40 4000K	F		
L40 4,000lm	50 5000K	EM-7		
L50 5,000lm		EM-10W		
L60 6,000lm		EM-10W/RTS		

TRIM	DISTRIBUTION	FLANGE TYPE	REFLECTOR FINISH	TRIM OPTIONS
O Open reflector	W Wide	OF 1/2" standard flange	Open trim types	MWT Textured white trim flange ⁽¹⁾
L Flush lens	45° Open	SG Sali-glow anodize	CS Clear semi-specular anodize	IP IP65 rated trim ⁽²⁾
R Regressed lens	50° Flush	GD Gold anodize	WH White texture powder coat	AD AD Diffuse acrylic lens ⁽²⁾
A Angled lens ⁽¹⁾⁽⁴⁾	50° Regressed	CG Champagne gold anodize	BL Black texture powder coat	PD PD Diffuse polycarbonate lens media at top of open reflector ⁽¹⁾
S Non-conductive flush lens for shower applications ⁽¹⁾⁽⁵⁾	M Medium ⁽¹⁾⁽⁶⁾	PG Pewter anodize	MB Black texture epoxy with white flange ⁽²⁾	TO TO Diffuse polycarbonate lens media at top of open reflector ⁽¹⁾
	N Narrow ⁽¹⁾⁽⁷⁾	SPC Clear specular anodize	WH White texture powder coat	WETCC Wet location, covered ceiling rated ⁽¹⁾⁽⁸⁾
	20° Open	RG Rose gold anodize	BL Black texture powder coat	AM AM Anti-microbial ⁽²⁾
	25° Regressed	WH White texture powder coat		
	WW Wall wash ⁽¹⁾⁽⁹⁾	BL Black texture powder coat		

MOUNTING	MOUNTING HARDWARE
N Open pan for new construction	F1 Integral 2-position fixed pan bracket, universal bar hanger included ⁽¹⁾⁽⁴⁾
I IC-rated enclosure for new construction ⁽¹⁾⁽²⁾	BA1 Adjustable butterfly pan bracket, bar hanger not included ⁽¹⁾⁽⁴⁾
R Remodel kit ⁽¹⁾⁽³⁾	CA1 Adjustable caterpillar pan bracket, universal bar hanger included ⁽¹⁾⁽⁴⁾

NOTES

- Lumen output based on O trim type, W distribution and CS finish, 2000K (80-84). Actual lumens may vary +/- 5%, see page 2 for LIGHTING PERFORMANCE DATA.
- See page 6 for ADDITIONAL DRIVER OPTIONS.
- Not available with EM-10W emergency batteries.
- Extended lead times may apply. Consult factory for availability.
- 9° aperture, specify degrees of slope in 5° increments.
- 05°-30°: Not available with Mounting Type, ATH or WETCC options. Painted white. Other colors available, consult factory. See page 3 for SLOPED CEILING ADAPTOR DETAILS.
- N and I Mounting Types only. Not available with ATH or IP options.
- N and I Mounting Types only. Not available with ATH or IP options.
- For use with mud-in-plaster construction only, supplied with mud flange installation kit. See page 4 for FLANGE TYPE DETAILS. Not available with ATH or IP options.
- R Trim Type only. Not available with WET.
- For use with WH Reflector Finish, L or S Trim Types.
- Not available with O trim type, W and WW distributions only.
- Not available with O trim type, W and WW distributions only.
- O Trim Type only, WETCC standard unless ordered with EM-RTS, L50 lumen package max.
- Not available with EM batteries, DMX Driver, or Avt-on Controls.
- Trim ships separately.
- Beam angle based on CS or WH reflector finish.
- Available with RW distribution only.
- W Distribution, OF Flange Type, WH Reflector Finish only. Standard with 40-degree acrylic lens, IP and WETCC options.
- Not available with lumen stops L50 and higher when specified with flush or regressed trim types.
- O and A Trim Types only.
- For use with mud-in-plaster construction only, supplied with mud flange installation kit. See page 4 for FLANGE TYPE DETAILS. Not available with ATH or IP options.
- R Trim Type only. Not available with WET.
- Not available with WH Reflector Finish, L or S Trim Types.
- L and R Trim Types only.
- Not available with O trim type, W and WW distributions only.
- Not available with O trim type, W and WW distributions only.
- O Trim Type only, WETCC standard unless ordered with EM-RTS, L50 lumen package max.
- L50 lumen package max with O Trim Type. Not available with PD trim option.
- WH and BL Reflector Finishes only. Not available with S Trim Type.
- Mounting hardware required (N and I only), ordered separately, see MOUNTING HARDWARE ordering info. See page 4 for MOUNTING HARDWARE DETAILS.
- Additional mounting hardware options available. See page 5 for MOUNTING HARDWARE DETAILS.
- L20 lumen package max, L30 available, wide distribution only for remodeled.
- Also used in new construction sheetrock ceilings. Pan-less installation.
- N and I Mounting Types only, I Mounting requires external brackets.
- N Mounting Type only.
- N Mounting Type only.

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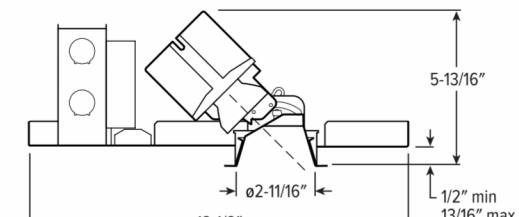
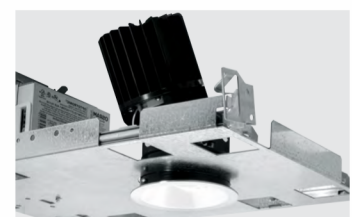
1 Revised April 17, 2023 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

TYPE EB1

TYPE ED1,ED1EM

TOWN OF MEAD APPROVAL
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:
TOWN ENGINEER DATE

2AR LED 2" Adjustable Downlight - Round



CATALOG # _____
 TYPE _____
 PROJECT # _____

NEW CONSTRUCTION AND REMODEL

ORDERING EXAMPLE: 2AR - L15/835 - OPTIONS - CONTROL/DIM - UNV - OW - OF - CS - TRIM OPTIONS - N - F1

HOUSING		SERIES		LUMENS ⁽¹⁾		CRI		CCT		OPTIONS		CONTROL		DRIVER		VOLTAGE	
2AR	L5	5000m	8	80	27	2700K											UNV 120-277V
	L7	7000m	9	90 ⁽¹⁾	30	3000K											347V ⁽¹⁾
	L9	9000m			35	3500K											
	L12	1,200lm			40	4000K											
	L15	1,500lm			50	5000K											

TRIM ⁽¹⁾⁽²⁾		DISTRIBUTION ⁽¹⁾⁽³⁾		FLANGE TYPE		REFLECTOR FINISH		TRIM OPTIONS	
O	Open reflector	W	5° Wide	OF	5° standard flange	CS	Clear semi-specular anodize	MW1	Featured white trim flange ⁽¹⁾⁽⁴⁾
L	Flush lens	M	20° Medium	ZF	Zero-flange mud-in ⁽¹⁾⁽⁵⁾	WH	White texture powder coat	AD	Diffuse acrylic lens ⁽¹⁾⁽⁴⁾
R	Regressed lens	N	15° Narrow			BL	Black texture powder coat	PD	Diffuse 118° polycarbonate lens ⁽¹⁾⁽⁴⁾
A	Angled lens							WETCC	Wet location, covered ceiling listed ⁽¹⁾⁽⁶⁾
								AM	Anti-microbial ⁽¹⁾⁽⁷⁾

MOUNTING		MOUNTING HARDWARE ⁽¹⁾⁽⁸⁾	
N	Open pan for new construction ⁽¹⁾⁽⁹⁾	F1	Integral 2-position fixed pan bracket, universal bar hanger included ⁽¹⁾⁽⁹⁾
I	IC-rated enclosure for new construction ⁽¹⁾⁽¹⁰⁾	BAT	Adjustable butterfly pan bracket, bar hanger not included ⁽¹⁾⁽⁹⁾
R	Remodel kit ⁽¹⁾⁽¹¹⁾	CAI	Adjustable caterpillar pan bracket, universal bar hanger included ⁽¹⁾⁽⁹⁾

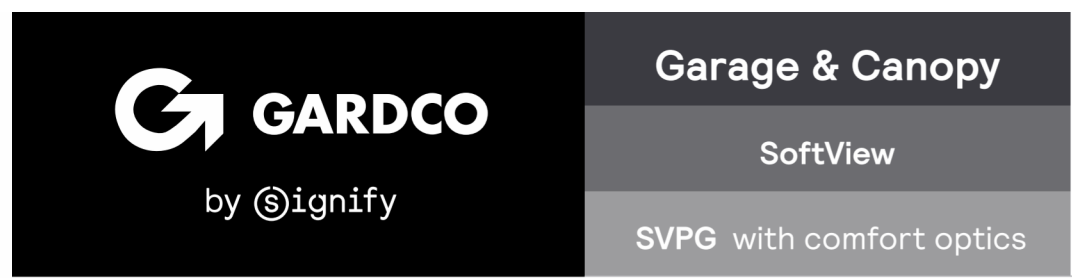
- NOTES**
- Lumen output based on O trim type, W distribution and CS finish, 3500K/BCRI. Actual lumens may vary +/-5%; see page 2 for FIXTURE PERFORMANCE DATA.
 - Not available with 5000K CCT. Extended lead times may apply. Consult factory for availability.
 - Mounting Type required. Not available with EM batteries.
 - Mounting Type required.
 - May be required for 347V, see product builder at www.comproduct-builder.com.
 - DA driver only. See page 6 for AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS.
 - 15 minimum lumen package required.
 - AVI-on Controls only. Not available with R Mounting Type.
 - Not available with EM batteries, DMX Driver, or AVI-on Controls.
 - Trim ships separately. O Trim Type and CS Reflector Finish. Trim Type affects beam angle. See page 2 for FIXTURE PERFORMANCE DATA.
 - Beam angle based on O Trim Type and CS Reflector Finish. Trim Type affects beam angle. See page 2 for FIXTURE PERFORMANCE DATA.
 - For use with multi-plate construction only, supplied with mud flange installation kit. See page 3 for TRIM TYPE DETAILS. Not available with O Trim Type, or ATH or WETCC options.
 - Not available with ZF Flange Type or WH Reflector Finish.
 - W distribution only. Not available with O Trim Type.
 - W distribution only. Not available with O Trim Type.
 - Not available with O Trim Type or ZF Flange Type. Not available with PD trim option.
 - WH and BL Reflector Finishes only.
 - Mounting hardware required (N and I only), ordered separately, see MOUNTING HARDWARE DETAILS.
 - Additional mounting hardware options available. See page 5 for MOUNTING HARDWARE DETAILS.
 - Top access required.
 - 15 lumen package max. Top access required. Not available with EM batteries.
 - Also used in new construction sheetrock ceilings. Pan-less installation. Additional plenum space required for R mounting when specified with EM battery. See page 4 for REMODEL MOUNTING DETAILS.
 - N and I Mounting Types only. I Mounting requires external brackets.
 - N Mounting Type only.
 - N Mounting Type only.

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TYPE ED2

TYPE ED3

TYPE EL1



Gardco SoftView LED parking garage luminaires feature edge lit technology, providing visual comfort with minimal glare to enhance the user experience. An added uplight feature reduces the cave effect for an increased sense of security. SoftView features multiple optical distributions, lumen packages and mounting options providing you with the ideal solution for your garage lighting and low bay needs. Optional emergency battery backup available for path of egress lighting and is integral to the luminaire.

Ordering guide example: SVPG-A06-840-SRD-SUR-UNV-BLBT-L3-SP2-MG

Luminaire	Configuration (from Luminaire)	Color Temp	Distribution	Mounting	Voltage	Dimming Controls ⁽¹⁾	Sensing ⁽²⁾	Electrical	Emergency ⁽³⁾	Finish
SVPG	A01 ⁽⁴⁾	830	T8	SUR	120	none	none	none	none	B2
SoftView Parking Garage	A02 ⁽⁴⁾	3000K	T8M	SUR	120V	none	none	none	EM1 ⁽⁵⁾	M2
	A03 ⁽⁴⁾	4000K	S0	SUR	208V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A04 ⁽⁴⁾	5000K	S0	SUR	240V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A05 ⁽⁴⁾	5000K	S0	SUR	277V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A06 ⁽⁴⁾	5000K	S0	SUR	347V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A07 ⁽⁴⁾	8300K	S0	SUR	120V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A08 ⁽⁴⁾	8300K	S0	SUR	208V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A09 ⁽⁴⁾	8300K	S0	SUR	240V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A10 ⁽⁴⁾	8300K	S0	SUR	277V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2
	A11 ⁽⁴⁾	8300K	S0	SUR	347V	0-10V dimming driver standard ⁽⁶⁾	none	none	EM1 ⁽⁵⁾	M2

- T3A not available with A06, A07, A08, A09, A10 or A11 configurations due to thermal and fit restrictions.
- TRN not available with combination of both DLEA and EM options due to fit restrictions. TRN is available with each individually (either DLEA or EM).
- Choose only 1 Dimming Controls option: either BL2D or BLBT or DLEA.
- 0-10V dimming driver standard.
- BL2D must be combined with MW Microsensor Sensor. BLBT must be combined with Sensing option L2, L3 or L7. Choose only 1: either BL2D-MW or BLBT-LW.
- DLEA luminaire has 0-10V dimming wires exiting the luminaire for dimming controls by others.
- MW available with 120V, 208V, 240V, 277V, UNV or 347V only.
- Available with 120V, 208V, 240V, 277V or UNV only.
- Must specify applicable specific input voltage, not available with UNV or HWV.
- Choose either Emergency option EM or EC code. EM only available with A01, A02, A03, A04 or A06 and EC code only available with A01, A02, A03, A04, A06 or A07 due to thermal restrictions. EC code not available with DLEA or BL2D-MW or BLBT-LW due to fit restrictions. EM is available with DLEA or BL2D-MW or BLBT-LW (does fit).
- Must contact factory prior to ordering - these items are ETO Specials.
- Extended lead times apply. Contact factory for details.
- A09, A10, A11 each have 2 drivers therefore due to fit restrictions not available with 347V, 480V, HWV, BL2D-MW, or BLBT.

Accessories ⁽⁷⁾ (ordered separately, field installed)	SVPG-G2-TM-(F)	Trunnion Mount kit (can ONLY use when TRN Trunnion Mount product is ordered)	BXC
ES External House Side Shield (designed for use with Type 3, reduces light output by approx. 15% on average)	SVPG-G2-WM-(F)	Wall Mount kit (can ONLY use when WAL Wall Mount product is ordered)	BXC Bird excluding coil (fits on all mounting options) (negligible uplift impact)

* Consult Signify to confirm whether specific accessories are BAA-compliant. (F) = specify finish

SoftView_Gen3_parking_garage_Luminaire 01/23 page 1 of 6

LineLED S36-WET Wet Location Linear LED strip - 24 VDC



Features
 LS36-WET projects light sideways instead of perpendicular to the surface. It's a great choice for bending around curved surfaces when upward or downward projection of light is desired.

To maintain IP65, IP67, and IP68 rating, LineLED Wet Tube is factory sealed and bonded. Order in exact lengths required for install, LineLED Wet Tube is not field cuttable. IP rating of strip is equal to the lowest IP rating of section start and end options.

Mounting
 LED strip is equipped with 3M™ adhesive transfer tape (9472IE).

Operating Voltage
 24 VDC
 Life (L70)
 50,000 hours
 Warranty
 3 years

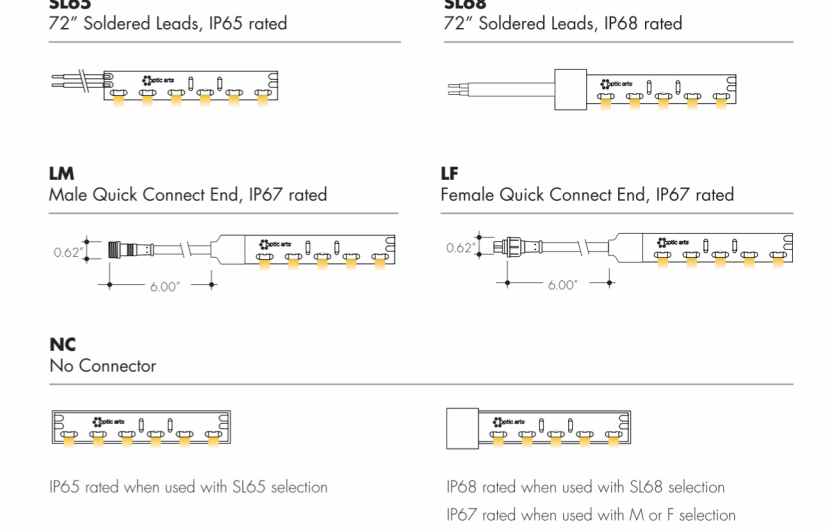
Approvals
 IP65, IP67, and IP68 rated



Technical information

TYPE	LLS36
Light output (3000K)	142 lm/W
Average power consumption	2.9 W/ft
Cutting increment	1.97"
Finish length	0.33"
Efficiency	49 lm/W
Maximum run length (in series)	16 ft
Dimensions	0.42" W x 0.16" H

Section Start/End Options



Positions



Ordering code

MODEL	CCT	LED POSITION	SECTION START ⁽¹⁾	SECTION END ⁽¹⁾	LENGTH
LS36-WET-LineLED LS36-Wet	27K-2700K 30K-3000K 40K-4000K	TL-LED top BL-LED bottom	SL65-IP65 Soldered lead wires (2") SL68-IP68 Soldered lead wires (2") SL-Soldered lead wires (2") LF-IP67 Female Quick Connect LM-IP67 Male Quick Connect NC-No Connector	SL65-IP65 Soldered lead wires (2") SL68-IP68 Soldered lead wires (2") SL-Soldered lead wires (2") LF-IP67 Female Quick Connect LM-IP67 Male Quick Connect NC-No Connector	Ordered in one foot increments. See chart above for max run length.

1-IP rating of strip is equal to the lowest IP rating of section start and end options.
 REV: 1.02272023 page 1 of 8 www.lumini.com tel: 224-333-6033



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MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513
 LIGHTING FIXTURE CUTSHEET
 LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 07/21/23
 REVISIONS:
 11/10/23
 03/18/24

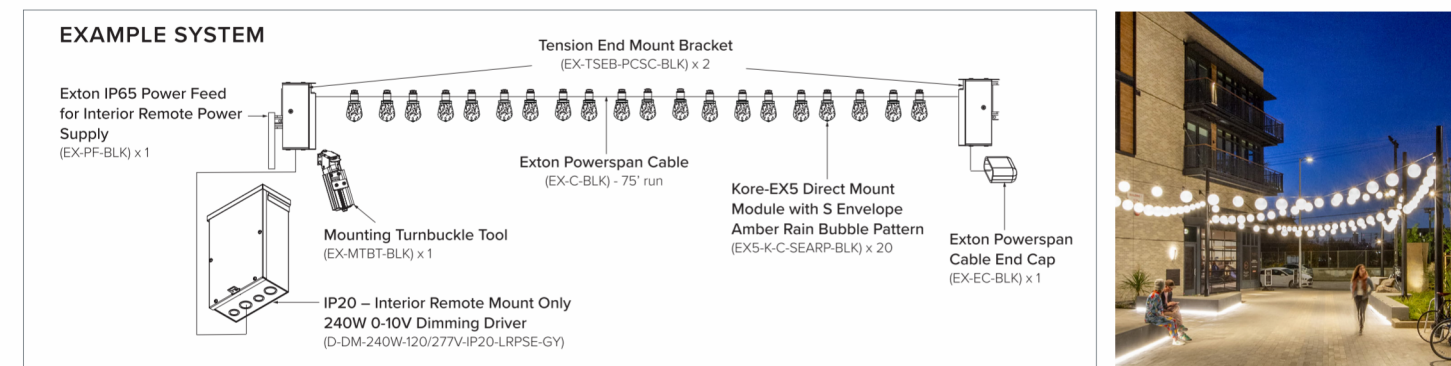
DRAWN BY:
 EB, CG
 REVIEWED BY:
 KM, MS
 PROJECT #:
 2206
 DRAWING TITLE:
 LIGHTING FIXTURE CUTSHEET

TOWN OF MEAD APPROVAL
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 TOWN ENGINEER DATE

SHEET #:
E-3
 SITE PLAN SHEET #
 31 of 32



EXTON POWERSPAN CABLE SYSTEM



If mounting to a tree, consult an Arborist and see below for more details.

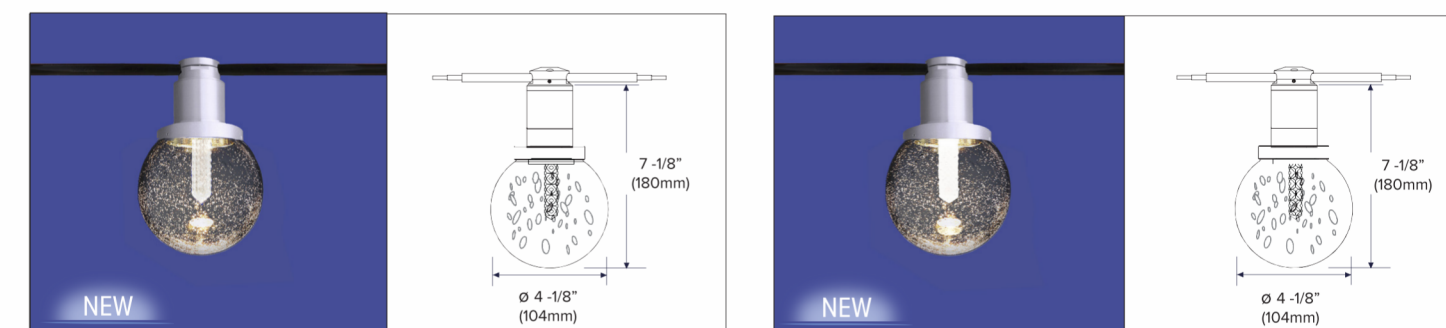
TENSION MOUNT – SYSTEM COMPONENTS TO MAKE A COMPLETE SYSTEM

COMPONENT	DESCRIPTION	CODE	FINISH
POWERSPAN CABLE			
	Exton - Powerspan Cable - Black (Specify in 1' increments + add 20% extra length)	EX-C-BLK	Black
	Exton End Cap - Black Finish (One per Run), includes a TIS Tool for top cap installation of EX5 LED Module.	EX-EC-BLK	Black
MOUNTING			
	Exton Tension End Mount Bracket and SSS Powerspan Cable Safety Clamp	EX-TSEB-PCSC-BLK	Black
	Exton Tension End Mount Bracket with Corner Mounting Plate and SSS Powerspan Cable Safety Clamp	EX-TSEB-CM-PCSC-BLK	Black
	Exton Tension End Mount Bracket with Shallow Angle Mounting Plate and SSS Powerspan Cable Safety Clamp	EX-TSEB-SA-PCSC-BLK	Black
	Exton Double Tension End Mount Brackets with Shallow Angle Mounting Plate and SSS Powerspan Cable Safety Clamps	EX-2TSEB-SA-PCSC-BLK	Black
	Exton Triple Tension End Mount Brackets with Mounting Plate and SSS Powerspan Cable Safety Clamps	EX-3TSEB-PCSC-BLK	Black
	Exton Mounting Turnbuckle Tool	EX-MTBT-BLK	Black
	Exton 2" Wrap Bracket, maximum angle of 36°	EX-WB2-BLK	Black
	Exton 3" Wrap Bracket, maximum angle of 60°	EX-WB3-BLK	Black
	Exton 4" Wrap Bracket, maximum angle of 81°	EX-WB4-BLK	Black
	Exton Horizontal Surface Mount Bracket	EX-HSMB-BLK	Black
	Set of Exton 6.5" Bottom/Top Cover Channels	EX-RDTC-BCCV-BLK	Black
POWER FEED			
	Exton IP65 Power Feed for Interior Mount Remote Power Supply	EX-PF-BLK	Black
	Exton Cable Gland + Lock Nut Power Feed	EX-CG-LN-PF-BLK	Black
EXTON LED MODULES (Ordered separately, see below for link)			
	Select an Exton LED EX5 Direct or Pendant Mount Module ("Typical" shown)	SELECT TYPE	Black or Aluminum

TYPE ES1

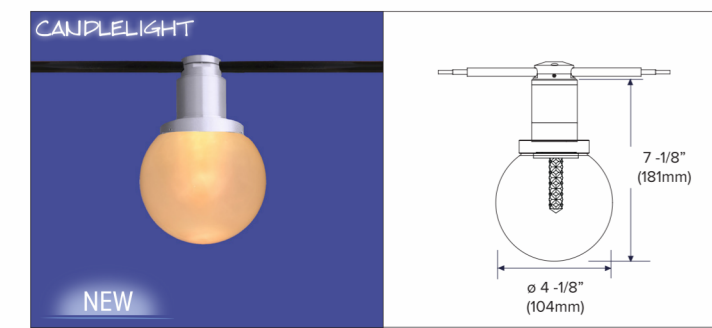
Exton Powerspan Cable System

Exton Cable Kore EX5 LED Direct Mount with "G" Envelope & Brilliant Gem - Combinations



Kore EX5 Cable Direct Mount with "G" Envelope Grey Rain Bubble Pattern, Brilliant Clear Gem, Aluminum or Black Finish.

Catalog Numbers
For use with Remote Power Supply(s) - See page 4 for links, ordered separately. EX5-K-C-GEGRP-BFG-AL or BLK



CANDLELIGHT Kore EX5 Cable Direct Mount with 2000K "G" Envelope Frosted, Straw Gem, Aluminum or Black Finish.

Catalog Numbers
For use with Remote Power Supply(s) - See page 4 for links, ordered separately. EX5-K-C-CANDLELIGHT-AL or BLK

NOTE: For Exton Powerspan Cable and Mounting (specified separately). Refer to Mounting by Application Specification Sheets: [Tension Mount](#), [Surface Mount](#), [Drape Mount](#)



Kore EX5 IP65 Direct Mount "G" Envelopes & Gems Remote Power, 0-10V DM

ESSO LED WALL SCNCE

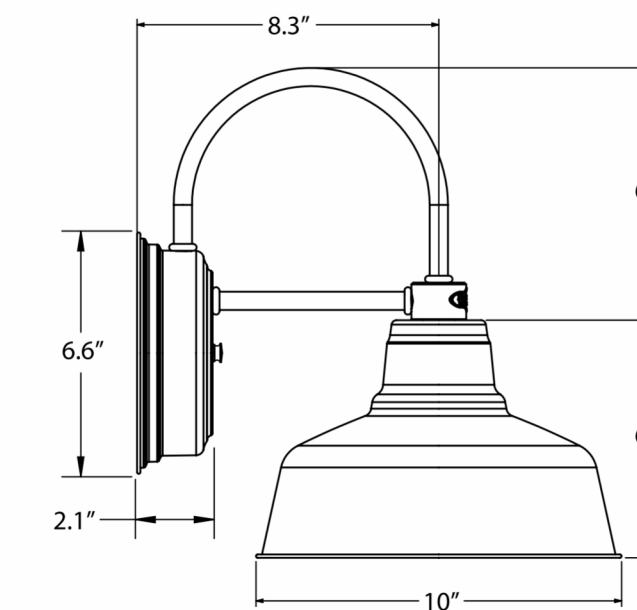
JOB NAME: _____ FIXTURE TYPE: _____

BLE - W - WHE10 - _____ - _____ - _____ - _____ - _____ - _____ - _____
Order Example: BLE - W - WHE10 - 750 - WC - 150 - LED16 - 3000K - DL - NA

A - SHADE FINISH	A - SHADE FINISH (CONTINUED)	C - SHADE ACCESSORY FINISH
PORCELAIN FINISHES¹:	490 Magenta	Please Note: See Section A for all wire cage finish options. If no wire cage is selected in Section B, please select NA. Wire Cage will be powder coat painted-to-match the Porcelain Finish selected.
150 Black	495 Sherbet Orange	NA Not Applicable
250 White	500 Buttery Yellow	
350 Vintage Green	570 Sunflower	
355 Jadeite	600 Bronze	
455 Cherry Red	601 Chocolate	
550 Yellow	605 Rust	
650 Bronze	615 Oil-Rubbed Bronze	D - LUMENS
750 Cobalt Blue	700 Royal Blue	LED11 850 Lumen, 11W LED
765 Delphite Blue	705 Navy	LED16 1250 Lumen, 16W LED
850 Graphite	710 Cobalt Blue	E - COLOR TEMPERATURE
950 Metallic Chrome	715 Delphite Blue	2700K Warm White
POWDER COAT FINISHES²:	790 Lavender	3000K Neutral White
100 Black	800 Industrial Grey	3500K Bright White
105 Textured Black	805 Charcoal Granite	4000K Cool White
106 Matte Black	810 Graphite	F - LED LENS
200 White	975 Galvanized	DL Domed Lens
206 Matte White		FL Flat Lens
300 Dark Green	B - SHADE ACCESSORIES	G - DUSK-TO-DAWN PHOTOCCELL
307 Emerald Green	NA None	NA None/Not Applicable
311 Jadeite	WC Wire Cage	DD Dusk-to-Dawn Photocell
370 Mint	ACR Acrylic Diffuser ³	
380 Chartreuse		
390 Teal		
400 Barn Red		
420 Orange		
470 Watermelon		
480 Blush Pink		

IMPORTANT: (1) All Porcelain Enamel finished shades feature a white interior and a black outer rim. (2) All Powder Coat finished shades, with the exception of 975-Galvanized, feature a white interior. (3) Selecting Acrylic Diffuser will reduce the amount of lumens and RPM delivered. (4) Fixture to be CSA Listed for damp location.

MOUNTING DIMENSIONS



TYPE EW1, EW1EM



Know what's below. Call before you dig.



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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

LIGHTING FIXTURE CUTSHEET

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAN, TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
EB,CG
REVIEWED BY:
KM,MS
PROJECT #:
2206
DRAWING TITLE:
LIGHTING FIXTURE CUTSHEET

SHEET #:
E-4
SITE PLAN SHEET #
32 of 32

TOWN OF MEAD APPROVAL	
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:	
TOWN ENGINEER	DATE