

DENTAL OFFICE DEVELOPMENT

SITE PLAN APPROVAL

PREPARED FOR
JONATHAN MILLER



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L1.0	LANDSCAPE PLAN

OWNER

JONATHAN MILLER
2425 E. 12 MILE RD, SUITE B
WARREN MI 48092

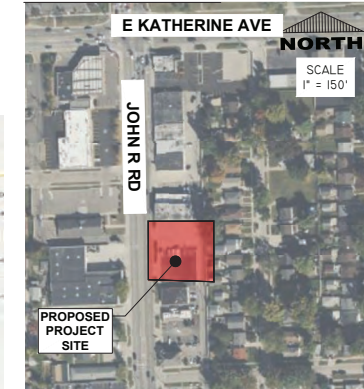
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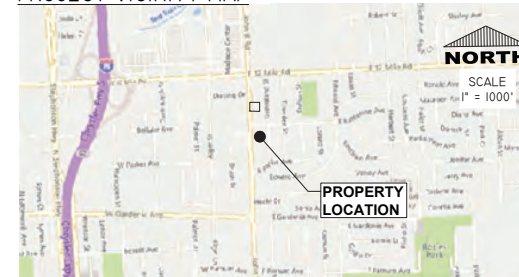
ARCHITECT

ROBERT CLIFF
MOISEV/ GORDON ASSOCIATES INC
4351 DELEMERE COURT
ROYAL OAK, MI 48073

PROJECT LOCATION



PROJECT VICINITY MAP



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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

SHEET TITLE:

TITLESHEET

SHEET NUMBER:

C0.0

PROJECT NUMBER: MDS-100
DRAWN BY: S. SALMAN
CHECKED BY: I. KALABAT

LEGEND

EXISTING		PROPOSED		DEMO/REMOVAL	
SUBJECT PROPERTY LINE					
ADJACENT PROPERTY LINE					
BOUNDARY LOT LINE					
BUILDING SETBACK LINE					
ROAD CENTERLINE					
EASEMENT LINE					
RIGHT OF WAY LINE					
FLOWLINE					
CURB & GUTTER					
WOOD FENCE LINE					
CHARLINK FENCE LINE					
DECORATIVE FENCE LINE					
WETLAND LINE					
NATURAL FEATURE SETBACK LINE					
MAJOR CONTOUR LINE					
MINOR CONTOUR LINE					
STORM PIPE					
SANITARY SEWER					
WATER LINE					
GAS LINE					
OVERHEAD LINE					
UG ELECTRIC LINE					
COMBINED SEWER					
UG TELE LINE					
UG FIBER OPTIC LINE					
DRAINAGE AREA BOUNDARY					
SILT FENCE					
WATER EDGE LINE					
BUILDING OVERHANG LINE					
RET. MASONRY SCREEN WALL					
BUILDING					
ASPHALT PAVEMENT					
CONCRETE PAVEMENT					
CONCRETE SIDEWALK					
DECORATIVE SIDEWALK					
PARKING STRIPING					
GRAVEL					
RIPRAP					
WETLAND					
LANDSCAPE					

PR FINISH GRADE ELEVATION	<u>FG XXX.XX</u>	MATCH EXISTING ELEVATION	<u>XXX.X ME</u>
PR TOP OF CURB ELEVATION	<u>T/C XXX.XX</u>	EXISTING ELEVATION	<u>EX XXX.X</u>
PR GUTTER ELEVATION	<u>G XXX.XX</u>	TOP OF BERM ELEVATION	<u>T/B XXX.X</u>
PR FLOW LINE ELEVATION	<u>FL XXX.XX</u>	TOP OF POND ELEVATION	<u>T/P XXX.X</u>
PR RIM ELEVATION	<u>RIM XXX.XX</u>	BOTTOM OF POND ELEVATION	<u>B/P XXX.X</u>
PR TOP OF SIDEWALK ELEVATION	<u>T/W XXX.XX</u>		
PR TOP OF WALL ELEVATION	<u>T/W XXX.XX</u>	X.X FOOT CANDLE ISOLINE	—
PR BOTTOM OF WALL ELEVATION	<u>B/W XXX.XX</u>	X.X FOOT CANDLE ISOLINE	—
		ILLUMINATION LESS THAN X.X FC	0-1
		ILLUMINATION GREATER THAN X.X FC	1-8

LEGEND

	EXISTING	PROPOSED	DEMO/REMOVAL
BOLLARD			
WHEEL STOP			
CATCH BASIN			
YARD DRAIN			
STORM MANHOLE			
SUMP			
FLARED END SECTION			
DOWNSPOUT			
SANITARY MANHOLE			
SANITARY CLEANOUT			
GAS MARKER			
GAS METER			
GATE VALVE IN WELL			
GATE VALVE IN BOX			
FIRE HYDRANT			
UTILITY POLE			
ELECTRIC METER			
TRANSFORMER			
TRAFFIC LIGHTS			
TELE RISER			
TELE MANHOLE			
GENERATOR			
CABLE TV RISER			
SATELLITE DISH			
ELECTRIC MANHOLE			
AIR CONDITIONER			
POLE MOUNTED AREA LIGHT			
WALL MOUNTED AREA LIGHT			
WALL PACK			
CANOPY LIGHT			
WALL MOUNT DECORATIVE SCENCE			
DECIDUOUS TREE			
EVERGREEN TREE			
ORNAMENTAL TREE			
SHRUB			
PERENNIAL			

ABBREVIATIONS

ABAN	AT	LT	LEFT
ABN	ABANDONED	MH	MANHOLE
APPROX	APPROXIMATE	MTR	METER
B/C, B'C	BACK OF CURB	NTS	NOT TO SCALE
BENCH	BENCHMARK	OH	OVERHEAD POWER LINE
BS	BACK OF RAMP	± PL	PROPERTY LINE
CABLE	CABLE TELEVISION	PROP	PROPOSED
± CL	CENTERLINE	R	RADIUS
CONC	CONCRETE	RCCO	RIGHT CORNER CUT-OFF
CR	CRANAGE AREA	RCP	REINFORCED CONCRETE PIPE
D	DETENTION BASIN	RET	RIGHT
DB	DITCH	R/L	RETAINING
DI	DUCTILE IRON PIPE	R/W, R.O.A.	RIGHT OF WAY
D.I. DWY	DRIVEWAY	ST	STEEL
DWG	DRAWING	SF	SQUARE FOOT
EA	EASEMENT	SAN	SANITARY SEWER
EASE	ELECTRIC	STA	STATION
ELEC	ELEVATION	STD	STANDARD
ELEV	EXISTING	S/W	SIDEWALK
FACE	FACE OF CURB	SY	SQUARE YARD
FG	FOUND	TEL	TELEPHONE
FLR	FLARED END SECTION	TC	TOP OF CURB
FG	FINISHED GRADE	TEMP	TEMPORARY CONSTRUCTION EASEMENT
PH, HYD	FIRE HYDRANT	TYP	TYPICAL
FO	FOOT, FEET	W	WATER LINE
FM	GAS METER	WC	WHEEL CHAIR
GA	GAL VALVE	WM	WATER METER
GW	GUY WIRE	WV	WATER VALVE
INT	HIGH DENSITY POLYETHYLENE	W/	WITH
INT	INTERSECTION		
INVT	INVERT		
	LENGTH		
LCCO	LEFT CORNER CUT-OFF		
	LINEAL FOOT, LINEAL FEET		

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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

**DENTAL OFFICE
DEVELOPMENT**
28220 JOHN R. RD
MADISON HGT., MI

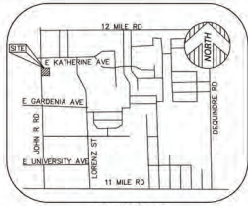
REPORT TOTAL:

GENERAL NOTES AND LEGEND

SHEET NUMBER:

C0.1

PROJECT NUMBER:	MD25-103
DRAWN BY:	S. SALMAN
CHECKED BY:	I. KALABAT



VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 3 STALLS
STANDARD PARKING = 57 STALLS

PARCEL AREA

PARCEL A:
12,824.1 SQUARE FEET = 0.294 ACRES

PARCEL B:
33,892.4 SQUARE FEET = 0.784 ACRES

TOTAL AREA:
46,716.5 SQUARE FEET = 1.078 ACRES

BENCHMARK

NOTE: PORTION OF LOT 1 IS NOT INCLUDED IN THIS TITLE SURVEY.

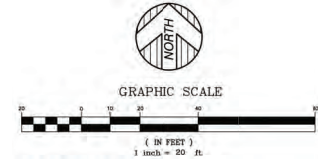
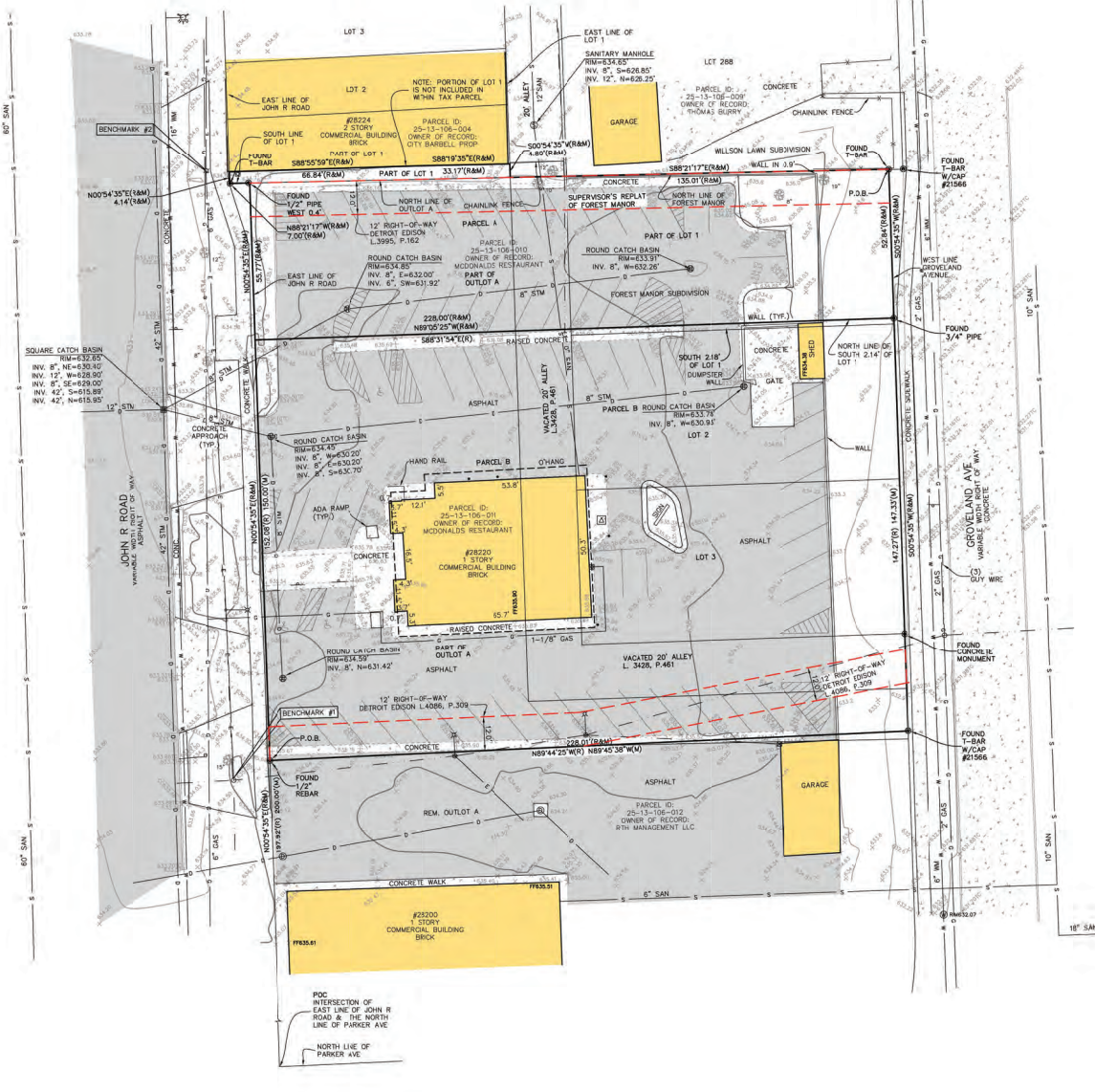
NOTE: PORTION OF LOT 1 IS NOT INCLUDED IN THIS TITLE SURVEY.

BASIS OF BEARING

NORTH 00°54'35" EAST, BEING THE EAST RIGHT-OF-WAY
LINE OF JOHN R RD, AS DESCRIBED.

LEGEND

- FOUND MONUMENT (AS NOTED)
- RECORD AND MEASURED DIMENSION
- RECORD DIMENSION
- MEASURED DIMENSION
- GROUND ELEVATION
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PANEL
- ELECTRIC RISER
- TRANSFORMER
- UTILITY POLE
- GIS LINE MARKER
- GIS METER
- LIGHT POLE WITH STREET LAMP
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- WATER GATE MANHOLE
- WATER VALVE
- BALL VALVE
- FLAGPOLE
- FENCE POST
- LIGHTPOST/LAMP POST
- SINGLE POST SIGN
- DOUBLE POST SIGN
- HANDICAP PARKING
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- EASEMENT (AS NOTED)
- BUILDING
- BUILDING OVERHANG
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- GIS LINE
- SANITARY LINE
- STORM LINE
- WATER LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF MADISON HEIGHTS, COUNTY OF OAKLAND, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A 1-IRON STAKE AT THE NORTHEAST CORNER OF LOT 1 OF 'FOREST MANOR SUBDIVISION', AS RECORDED IN LIBER 70-37 PLATS, PAGES 3 AND 4, BOTH INCLUSIVE, OAKLAND COUNTY RECORDS; THENCE ALONG THE WEST LINE OF GROVELAND AVENUE, 60.00 FEET WIDE, SOUTH 00 DEGREES 54 MINUTES 35 SECONDS WEST 52.84 FEET (RECORDED AS 52.88 FEET) TO A 3/4 INCH IRON PIPE ON THE NORTH LINE OF THE SOUTH 214 FEET OF LOT 1 OF SAID FOREST MANOR SUBDIVISION; THENCE ALONG THE NORTH LINE OF THE SOUTH 214 FEET OF LOT 1 OF SAID FOREST MANOR SUBDIVISION AND WESTERN EXTENSION THEREOF NORTH 89 DEGREES 05 MINUTES 25 SECONDS WEST 228.00 FEET TO A 1-IRON STAKE ON THE EAST LINE OF JOHN R. ROAD, SAID POINT BEING ON THE EAST LINE OF THE WEST 60.00 FEET OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 1 EAST; THENCE ALONG THE EAST LINE OF JOHN R. ROAD NORTH 00 DEGREES 54 MINUTES 35 SECONDS EAST 50.77 FEET (RECORDED AS 50.78 FEET) TO THE NORTH LINE OF SAID OUTLOT A, THENCE ALONG THE SOUTH LINE OF LOT 1 OF WILSON LAWN SUBDIVISION, AS RECORDED IN LIBER 35 OF PLATS, PAGES 24, OAKLAND COUNTY RECORDS, NORTH 88 DEGREES 21 MINUTES 17 SECONDS WEST 7.20 FEET TO A 1-IRON STAKE ON THE EAST LINE OF JOHN R. ROAD, SAID POINT BEING ON THE EAST LINE OF THE WEST 51 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 13, TOWNSHIP 1 NORTH, RANGE 1 EAST; THENCE ALONG THE EAST LINE OF JOHN R. ROAD NORTH 00 DEGREES 54 MINUTES 35 SECONDS EAST 414 FEET (RECORDED AS 3.88 FEET) TO A 1-IRON STAKE ON THE SOUTH LINE OF SAID BUILDING SOUTH 88 DEGREES 05 MINUTES 25 SECONDS EAST 66.84 FEET TO A 1-IRON STAKE, THENCE CONTINUING ALONG THE SOUTH LINE OF SAID BUILDING AND EASTERLY EXTENSION THEREOF SOUTH 88 DEGREES 05 MINUTES 25 SECONDS EAST 53.77 FEET TO A 1-IRON STAKE ON THE EAST LINE OF LOT 1 OF SAID WILSON LAWN SUBDIVISION, THENCE ALONG THE SOUTH LINE OF LOT 1 OF SAID WILSON LAWN SUBDIVISION SOUTH 00 DEGREES 54 MINUTES 35 SECONDS WEST 4.80 FEET (RECORDED AS 6.50 FEET) TO A 1-IRON STAKE, THENCE ALONG THE NORTH LINE OF SAID FOREST MANOR SUBDIVISION SOUTH 88 DEGREES 05 MINUTES 25 SECONDS EAST 135.01 FEET TO THE POINT OF BEGINNING, BEING PART OF LOT 1 AND ALL OF THAT PORTION OF THE 30.00 FEET WIDE NORTH-SOUTH VACATED ALLEY CONTIGUOUS TO THE FOREST MANOR SUBDIVISION, PART OF LOT 1 OF SAID FOREST MANOR SUBDIVISION, AND PART OF LOT 1 OF WILSON LAWN SUBDIVISION, ALL AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR OAKLAND COUNTY, MICHIGAN.

PART OF LOTS 2 & ALL OF LOT 3, PART OF OUTLOT 'A' OF SUPERVISOR'S REPLAT OF LOTS 47, 48, 65 AND OUTLOTS A AND B OF 'FOREST MANOR SUBDIVISION', AS RECORDED IN LIBER 3426, PAGE 461 AND VACATED ALLEY AS PLATTED IN 'FOREST MANOR SUBDIVISION' A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 1 EAST, CITY OF MADISON HEIGHTS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 70 OF PLATS ON PAGES 3 AND 4 (OAKLAND COUNTY RECORDS) BEING THE SOUTH LINE OF LOT 1 OF JOHN R. ROAD, SAID POINT BEING 10.50 FEET NORTH OF DEGREES 54 MINUTES 35 SECONDS EAST FROM THE INTERSECTION OF THE EAST LINE OF JOHN R. ROAD AND THE NORTH LINE OF PARKER AVE. (60 FEET WIDE), THENCE NORTH 00 DEGREES 54 MINUTES 35 SECONDS EAST 102.08 FEET ALONG THE CATERLY LINE OF JOHN R. ROAD, THENCE SOUTH 89 DEGREES 31 MINUTES 34 SECONDS EAST 228.00 FEET, THENCE SOUTH 00 DEGREES 54 MINUTES 35 SECONDS WEST 14.72 FEET TO THE WESTERN LINE OF GROVELAND AVE. (60 FEET WIDE), THENCE NORTH 89 DEGREES 44 MINUTES 25 SECONDS WEST 28.00 FEET TO THE POINT OF BEGINNING, SAID PROPERTY ALSO BEING PART OF OUTLOT 'A' OF SUPERVISOR'S REPLAT OF LOTS 47, 48, 65 AND OUTLOTS A AND B OF 'FOREST MANOR SUBDIVISION', AS RECORDED IN LIBER 3426, PAGE 461, OAKLAND COUNTY RECORDS.

TITLE REPORT NOTE

- ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE STEWART TITLE GUARANTEE COMPANY COMMITMENT NO. 240003010, DATED SEPTEMBER 24, 2024, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
13. TERMS AND CONDITIONS OF AN AGREEMENT, EASEMENT AND RESTRICTIONS WITH THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY RECORDED IN LIBER 3426, PAGE 162, (AS SHOWN).
 14. RIGHT OF WAY GRANTED TO THE DETROIT EDISON COMPANY OVER THE LAND AS SET FORTH IN LIBER 4086, PAGE 306, (AS SHOWN).
 15. BUILDING AND USE RESTRICTIONS RECORDED IN LIBER 3073, PAGE 502, LIBER 3074, PAGE 334, AND/OR BY LIBER 3101, PAGE 72 (SEE DOCUMENT FOR TERMS AND CONDITIONS).
 16. BUILDING AND USE RESTRICTIONS RECORDED IN LIBER 3426, PAGE 461 AND LIBER 3426, PAGE 170, (SEE DOCUMENT FOR TERMS AND CONDITIONS).
 17. ENCROACHMENT BY BRICK WALL INTO VARIOUS EASEMENTS AS SHOWN ON SURVEY 87-272 DATED JULY 21, 1987 BY LEHNER ASSOCIATES INC. (DOCUMENT NOT PROVIDED AT TIME OF SURVEY).
 18. ENCROACHMENT BY ASPHALT ONTO VARIOUS EASEMENTS AS SHOWN ON SURVEY 87-272 DATED JULY 21, 1987 BY LEHNER ASSOCIATES INC. (DOCUMENT NOT PROVIDED AT TIME OF SURVEY).

SURVEYORS NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

SURVEYORS CERTIFICATION

TO STEWART TITLE GUARANTEE COMPANY, 28220 JOHN R. LLC, A MICHIGAN LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA AND NSP/LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSP/LAND, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 10/28/24.

DATE OF PLAT OR MAP: 10/28/24

DRAFT

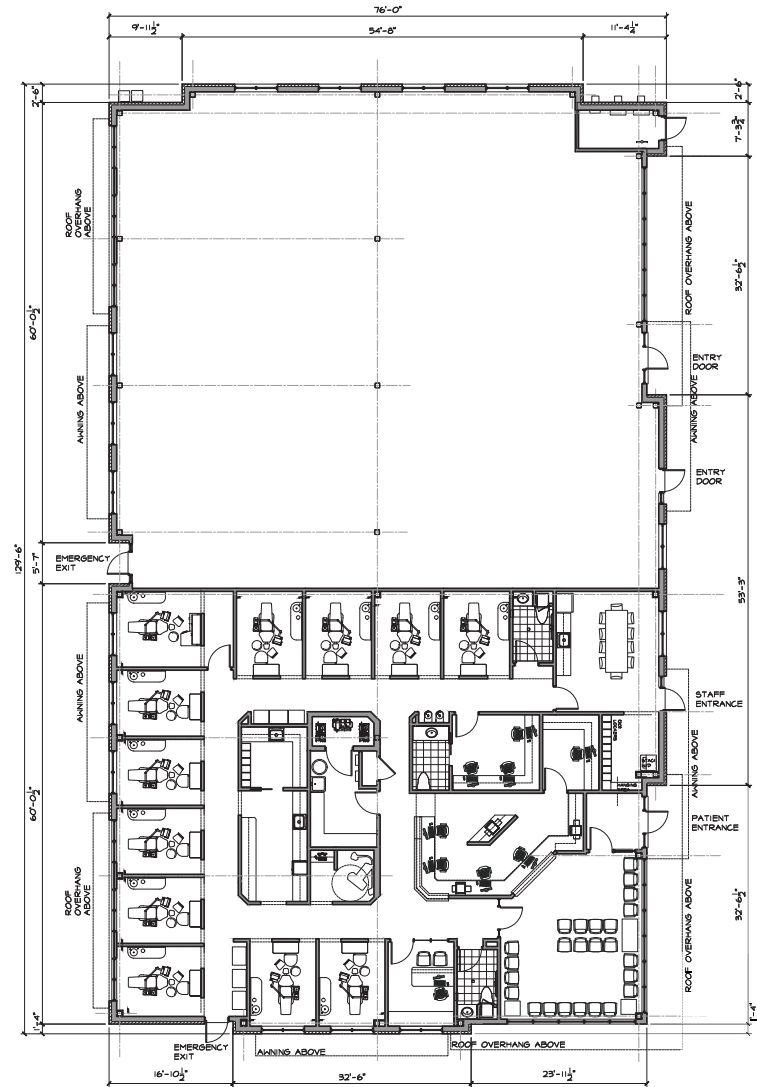
ANTHONY T. SYCO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47978
22558 GRATIOT AVE., EASTPOINTE, MI 48021
TSYCO@kentec-survey.com

PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
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ANTHONY T. SYCO, JR., P.S.
ANTHONY T. SYCO, JR., P.S.
ANTHONY T. SYCO, JR., P.S.

ALTA / NSP/LAND TITLE SURVEY
PREPARED FOR: JONATHAN MILLER
28220 JOHN R. LLC, MADISON HEIGHTS, MICHIGAN
TOWNSHIP 1 NORTH, RANGE 1 EAST

NO.	DATE	REVISION	DATE	BY
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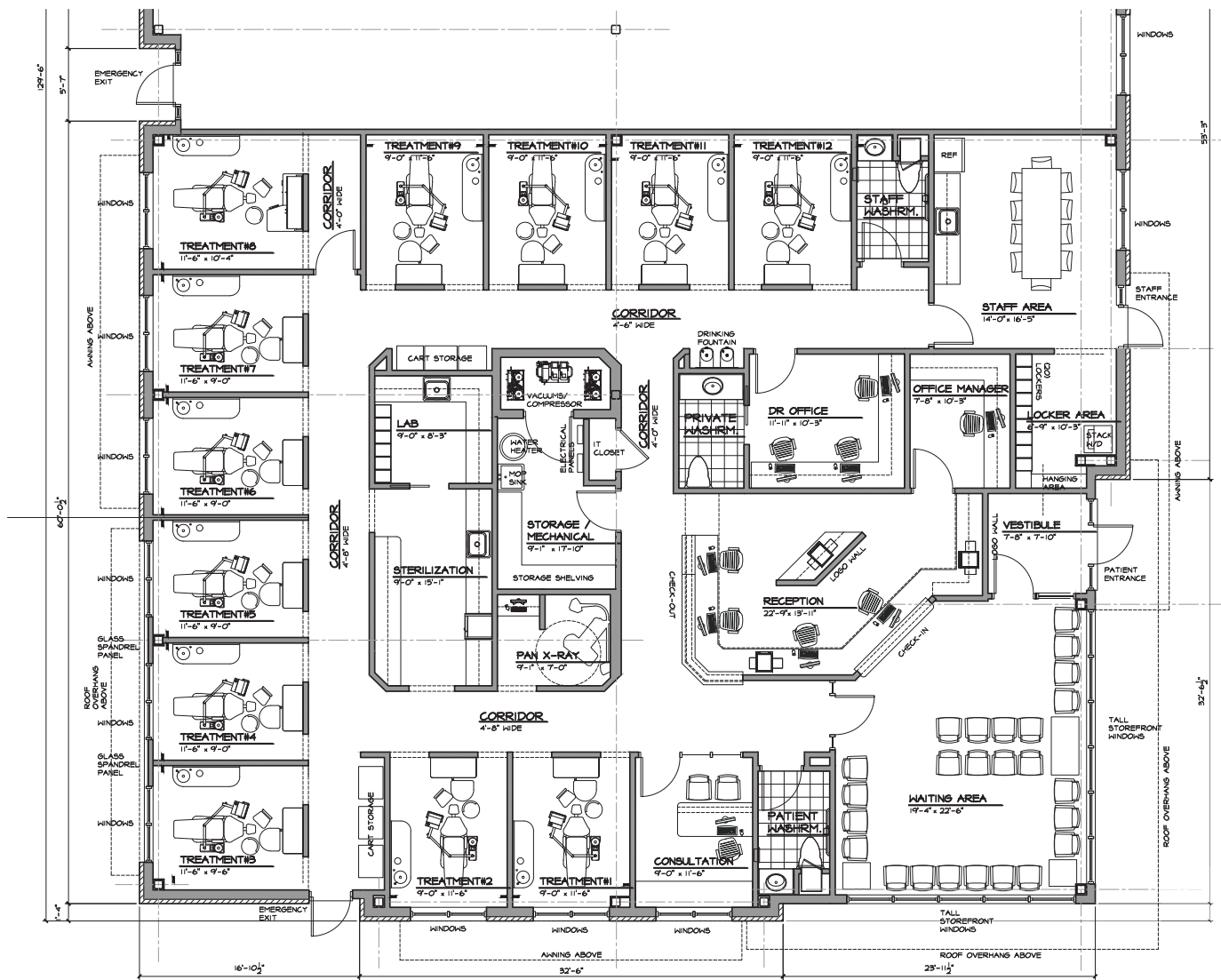
1 of 1 SHEETS



PROPOSED BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA = 4,457 SF
TOTAL BUILDING AREA =
4,536 SF



North
PROPOSED DENTAL OFFICE FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 AREA = 4,457 SF
 TOTAL BUILDING AREA = 9,556 SF



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Client:
Jonathan Miller
DDS
 13115 Elgin Ave.
 Huntington Woods, MI.

Project Title:
Dental Office
Development
 28820 John R.
 Madison Hgt., MI

Sheet Title:
Proposed Dental
Office Floor
Plan

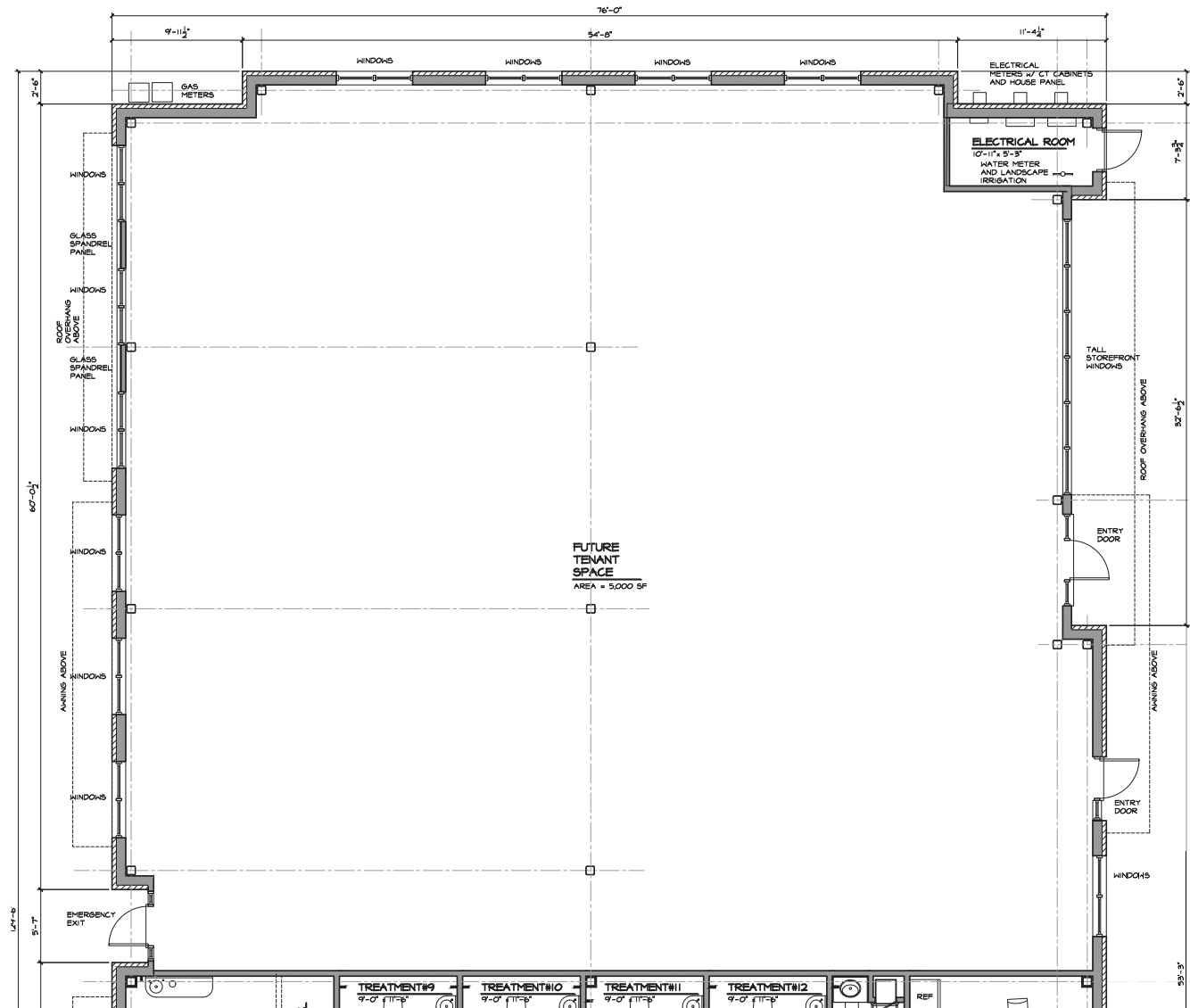
Project Number: 24626
 Drawn By: RW
 Checked By: RJC
 Approved By: AJM
 Date: 8-27-24

ISSUED:

Owner Review	Site Plan Review
0-30-24	06-30-25
Owner Review	
0-31-24	
Owner Review	
1-19-24	
Owner Review	
11-22-24	
Owner Review	
12-06-24	
Owner Review	
2-10-24	
Owner Review	
01-06-24	

Sheet Number:





North
PROPOSED TENANT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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Client:

**Jonathan Miller
 DDS**

13115 Elgin Ave.
 Huntington Woods, MI.

Project Title:

**Dental Office
 Development**

28220 John R.
 Madison Hgt., MI

Sheet Title:

**Proposed Tenant
 Floor Plan**

Project Number: 24626

Drawn By: RW

Checked By: RJC

Approved By: AJM

Date: 8-27-24

ISSUED:

Owner Review

0-30-24

Owner Review

0-31-24

Owner Review

1-19-24

Owner Review

1-22-24

Owner Review

2-06-24

Owner Review

2-10-24

Owner Review

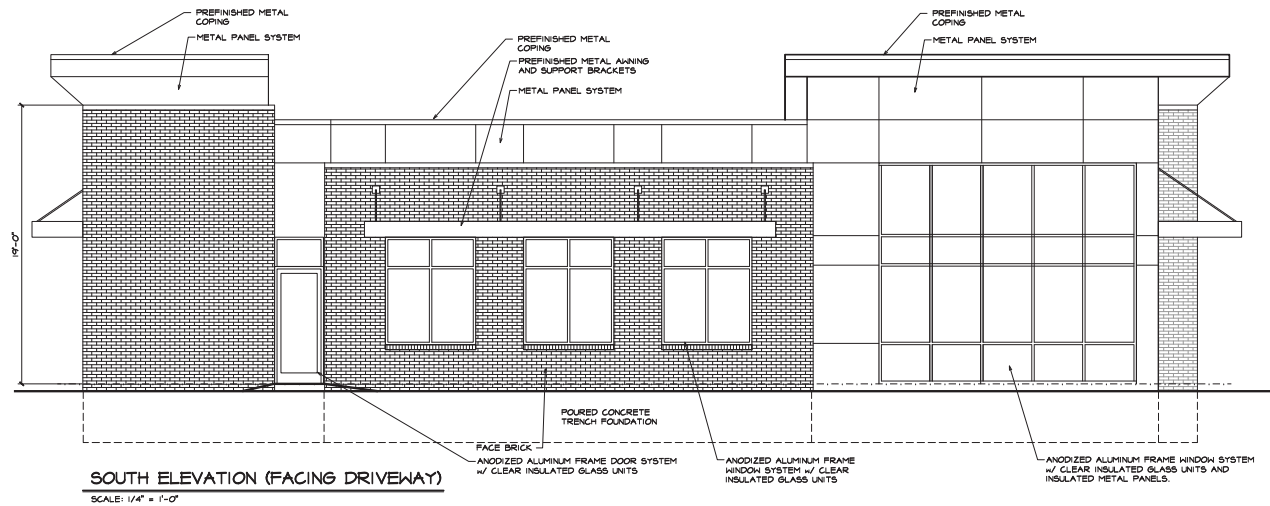
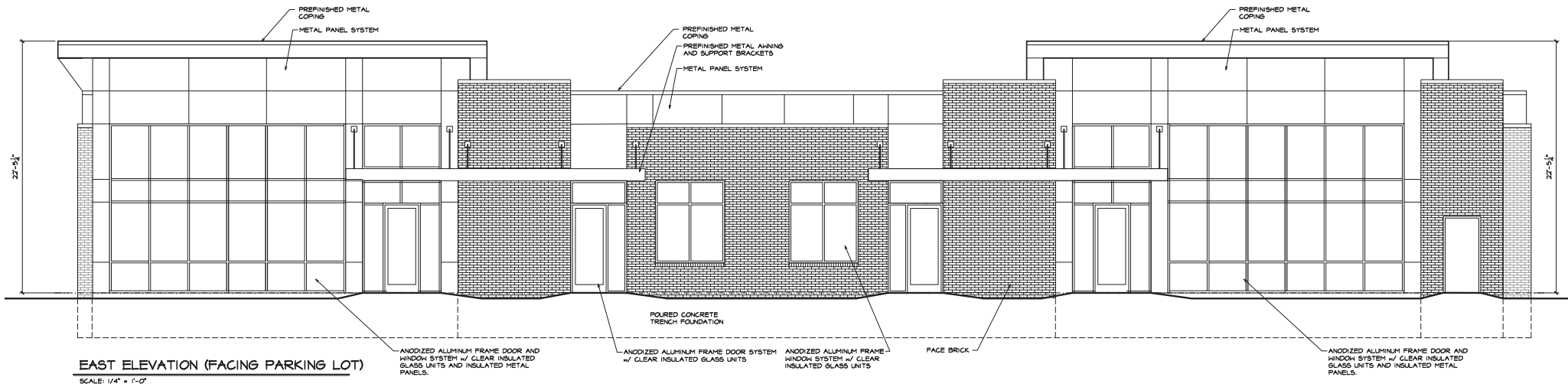
01-06-24

Site Plan Review
 06-30-25

Sheet Number:

A-3





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Client:
Jonathan Miller DDS

13115 Elgin Ave.
Huntington Woods, MI.

Project Title:
Dental Office Development

28220 John R.
Madison Heights, MI

Sheet Title:
**Proposed Exterior
Elevations**

Project Number: 24626
Drawn By: RW
Checked By: RJC
Approved By: AJM
Date: 8-27-24

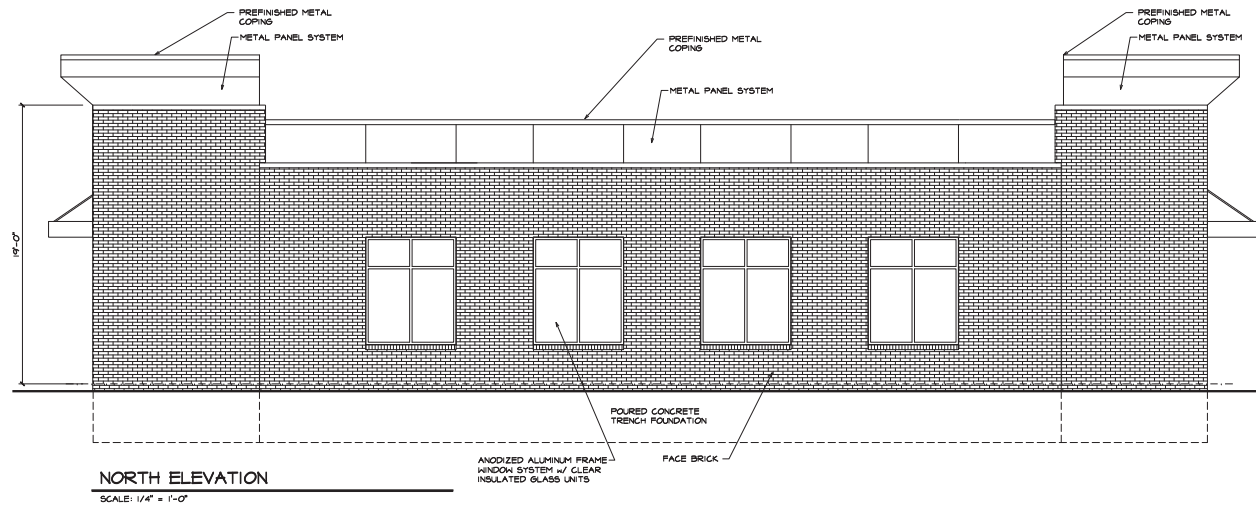
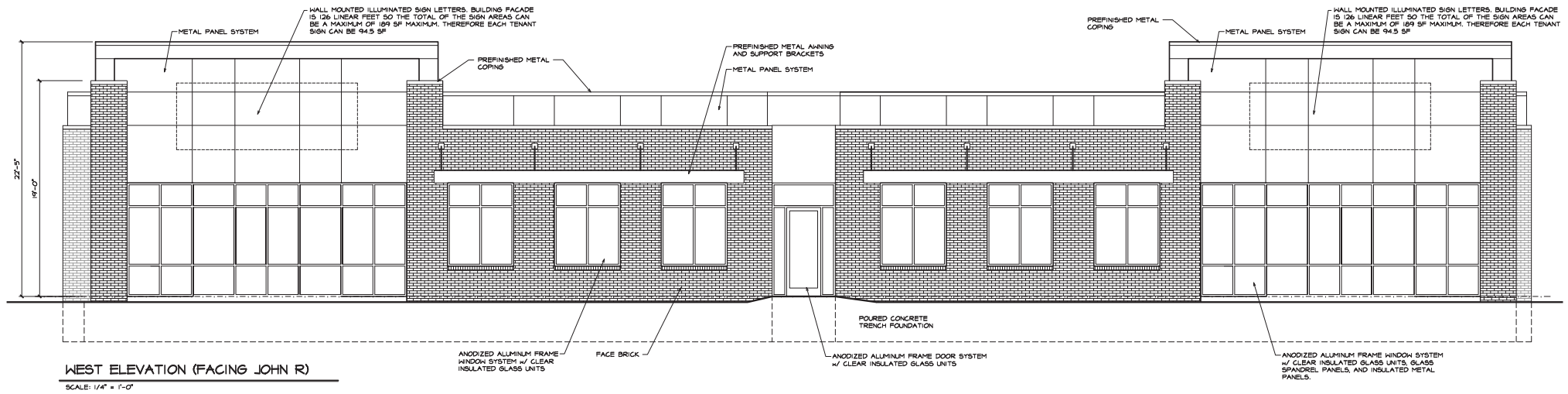
Issued:
Owner Review
10-30-24
Owner Review
10-31-24
Owner Review
11-19-24
Owner Review
11-22-24
Owner Review
12-06-24
Owner Review

Site Plan Review:
Submitted
05-30-25

Sheet Number:

A-4





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Client:
Jonathan Miller DDS
13115 Elgin Ave.
Huntington Woods, MI.

Project Title:
Dental Office Development
28220 John R.
Madison Heights, MI

Sheet Title:
Proposed Exterior
Elevations

Project Number: 24626
Drawn By: RW
Checked By: RJC
Approved By: AJM
Date: 8-27-24

Issued:
Owner Review
10-30-24
Owner Review
10-31-24
Owner Review
11-05-24
Owner Review
11-22-24
Owner Review
12-06-24
Owner Review

Site Plan Review
Submitted
05-30-25

Sheet Number:
A-5





Map Unit Legend			
Map Unit Symbol	Map Unit Name	Area in ACI	Percent of ACI
[Symbol]	Urbanized land	1.6	100.0%
[Symbol]	Urbanized land, mostly used for agriculture	1.6	100.0%
Totals for Area of Interest:		1.6	100.0%

Inlet Filter Specifications:			
Item #	Dimensions	Pieces per Carton	Pieces Per Pallet
IF1527AC00	1.5' x 27" x 30"	18 pads	120 pads
IF1527X27F1B	1.5' x 27" x 31"	1 pad	12 pads
IF1527X27F1B	1.5' x 27" x 35"	N/A	3 pads

Other pad and roll sizes are available upon request.
Cartons sized to ship by UPS.

Inlet Filter Installation Instructions:

- Remove sediment, debris, ice and snow from the inlet grate surface and surrounding area.
- Verify fit by placing filter over inlet grate to ensure that inlet filter extends at least one inch beyond the front and both curbs.
- Position the mat. Place inlet filter on grate with the red side down, flush to the back edge and extending beyond the grate opening on the front and both sides. The zip ties attach inlet filter to the inlet grate cover WITHOUT LIFTING THE GRATE COVER.
- Insert zip ties. Lift inlet filter slightly to enable you to see the first grate bar from the edge of the grate cover.

Push the zip tie down through the inlet filter and loop under the grate bar. Insert the pointed end of the zip tie about 2" away from the first zip tie penetration and push back up through the filter.

Point the pointed end of the zip tie into the remaining mat just enough to hold ends loosely. LEAVE ZIP TIES LOOSE UNTIL ALL TIES ARE LOOPED THROUGH THE MATS AROUND THE GRATES. Repeat Step 4 until all zip ties are installed loosely.

Inlet Filter Maintenance Instructions:

- Remove sediment from the sides of the filter by sweeping away from inlet filter.
- Remove sediment from the top of the filter by sweeping off of inlet filter.

Inlet filter is prepared for the next rain event.

CONSTRUCTION SEQUENCE

1. INSTALL ALL SOIL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. ALL SOIL EROSION MEASURES AREA TO BE INSTALLED PRIOR TO ANY GROUND-BREAKING OR EARTH MOVEMENT.
2. BEGIN CONSTRUCTION
3. FINISH CONSTRUCTION AND ESTABLISH FINISH GRADE
4. RIGHT-OF-WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION
5. 10' AROUND STORM SEWER STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION
6. AFTER PERMANENT EARTH STABILIZATION IS COMPLETED, REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. NO PERMANENT SOIL EROSION CONTROL MEASURES (ASIDE FROM FINAL VEGETATIVE STABILIZATION) APPLIES TO THIS PARCEL

KEY NOTES

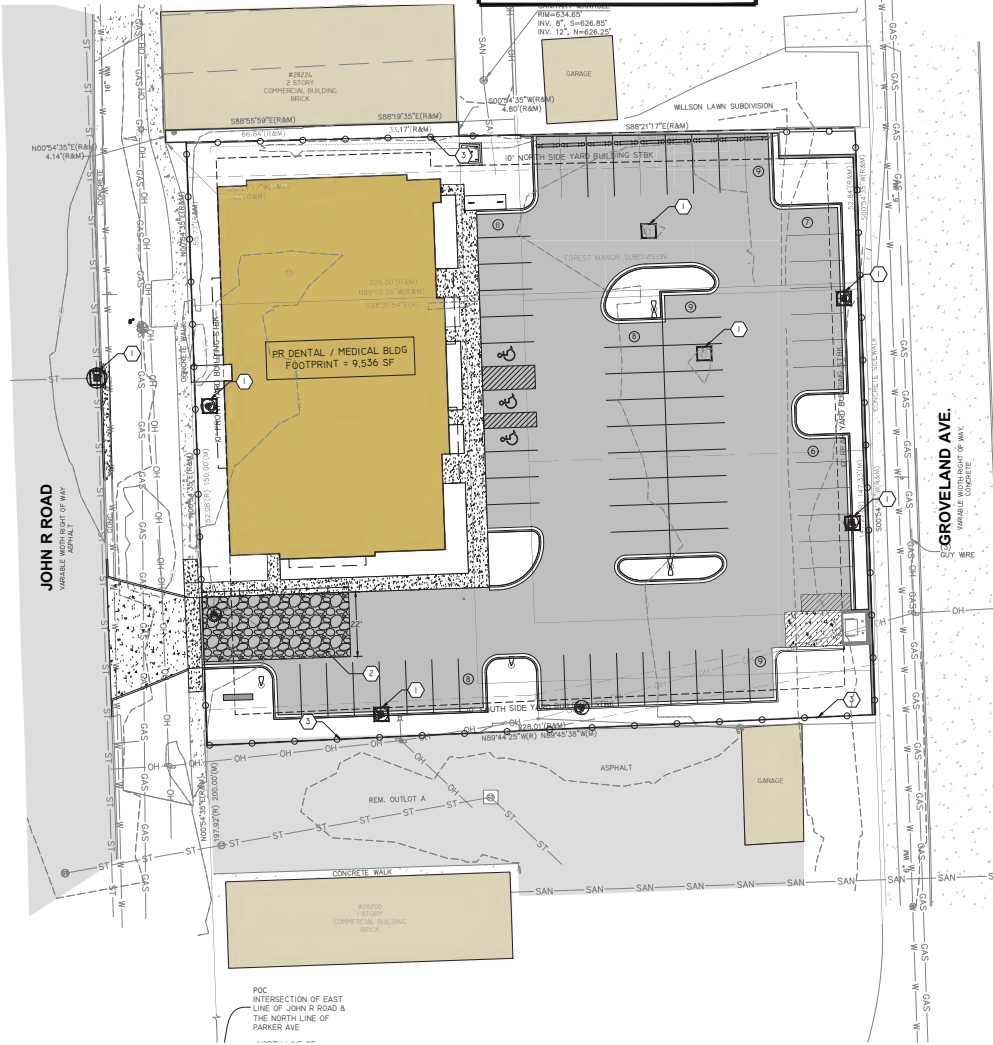
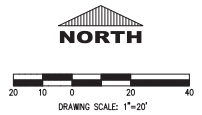
1. INSTALL INLET PROTECTION PER DETAIL ON SHEET C1.2
2. - OCWRC SESC DETAIL
3. CONSTRUCT CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C1.2 - OCWRC SESC DETAIL
4. INSTALL SILT FENCE PER DETAIL ON SHEET C1.2 - OCWRC SESC DETAIL

NOTES

1. AREA OF DISTURBANCE = 4.265 SF (1.06 ACRES)
2. THE SOIL EROSION CONTROLS MUST BE MAINTAINED WEEKLY AND AFTER EVERY STORM BY GENERAL CONTRACTOR
3. ALL LAWN AREAS TO RECEIVE PERMANENT STABILIZATION IN THE FORM OF SEED OR SOO

QUANTITIES

DESCRIPTION	QTY	UNITS
INSTALL SILT FENCE	747.55	LF
INSTALL INLET PROTECTION	7	EA
CONSTRUCT CONSTRUCTION ENTRANCE	1100	SF



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KALABAT ENGINEERING

KE

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CONSULTANTS:

SEAL:

NO. REVISION DATE

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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

SHEET TITLE:

SOIL EROSION AND SEDIMENT CONTROL PLAN

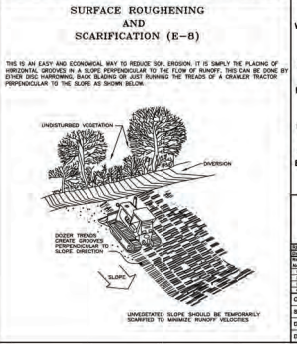
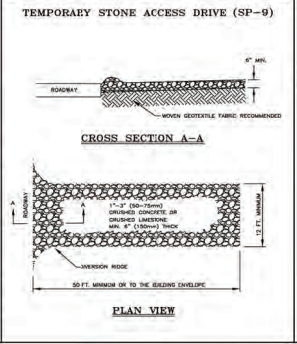
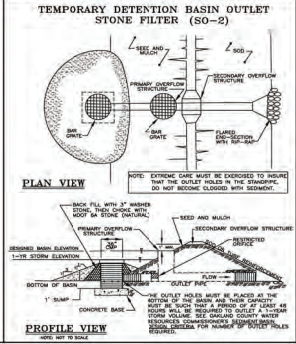
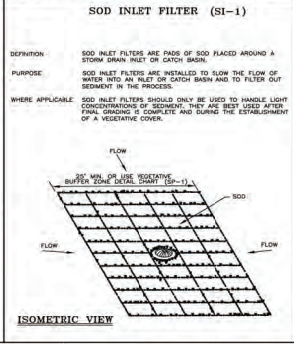
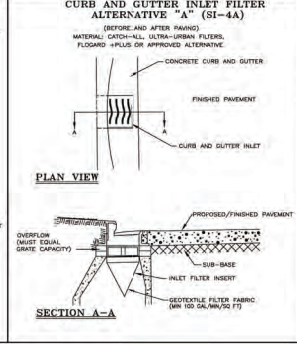
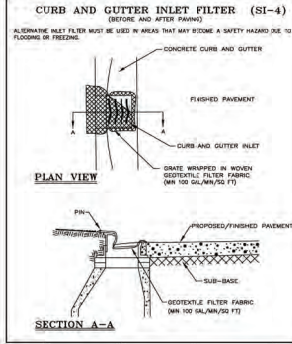
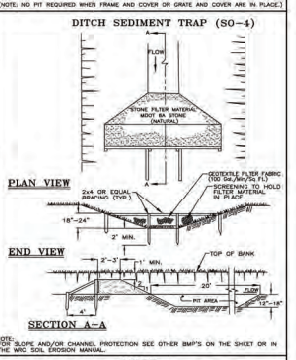
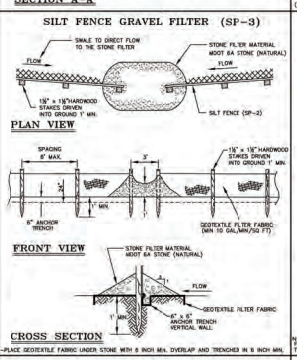
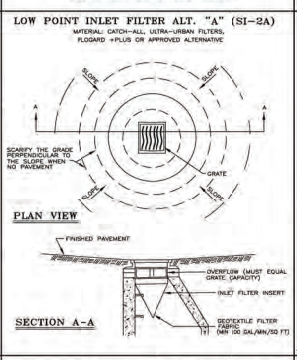
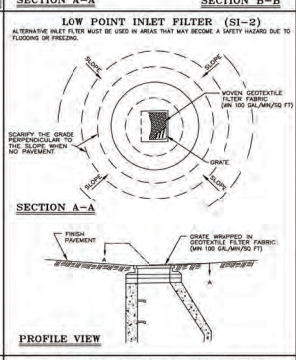
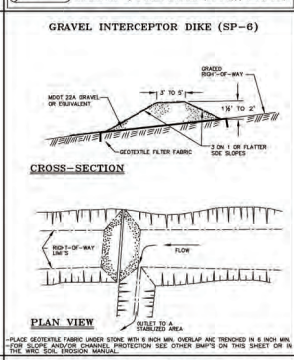
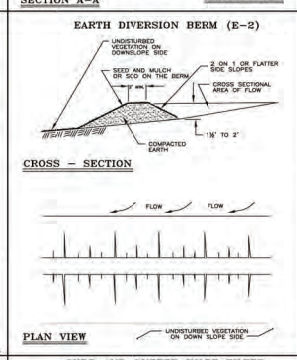
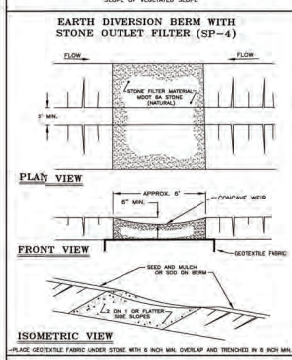
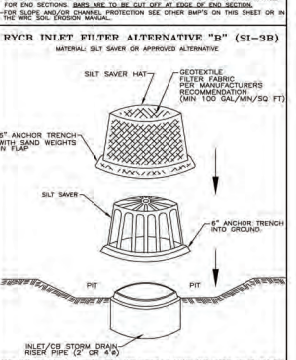
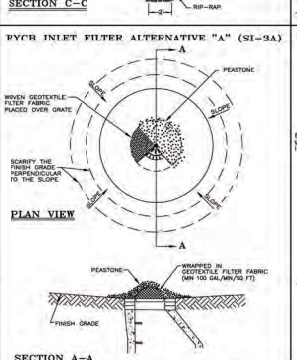
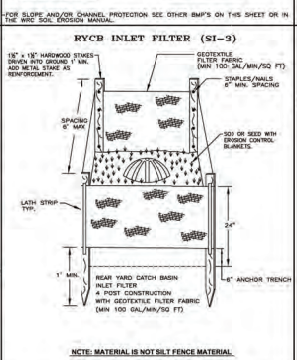
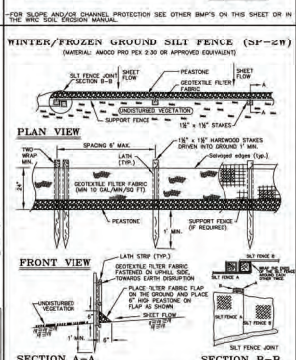
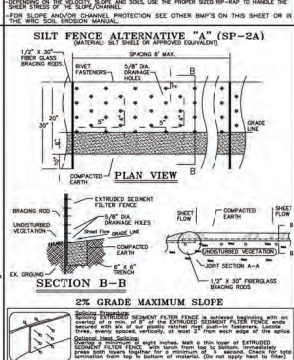
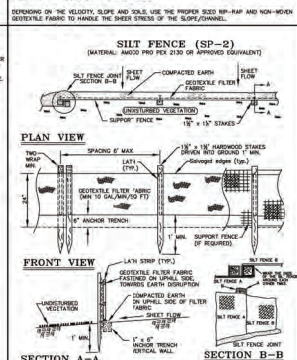
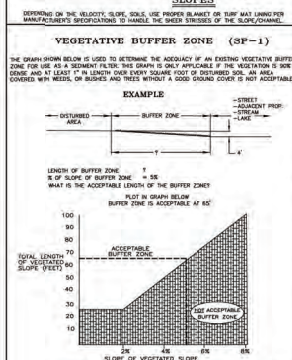
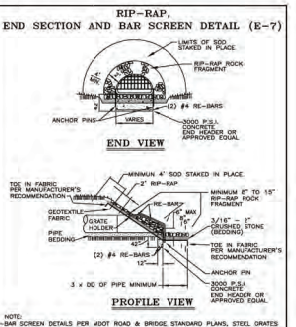
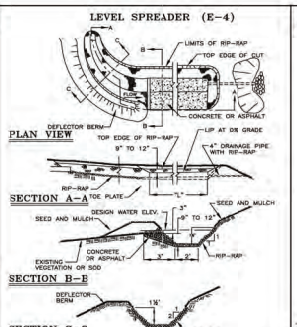
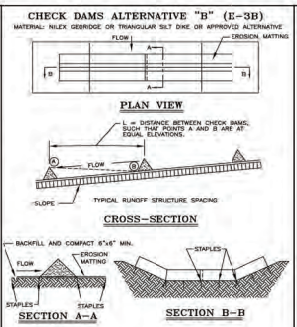
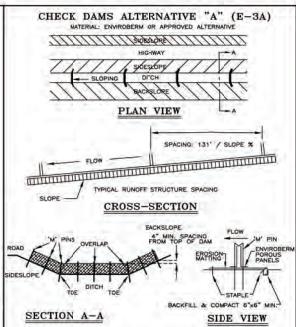
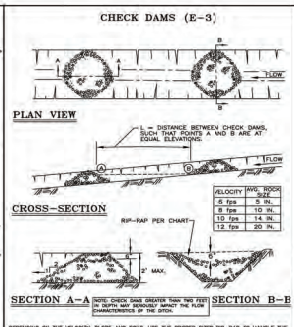
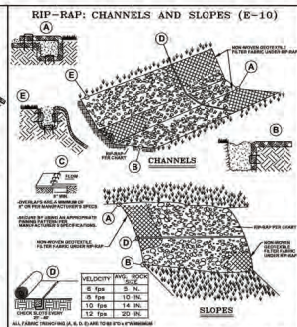
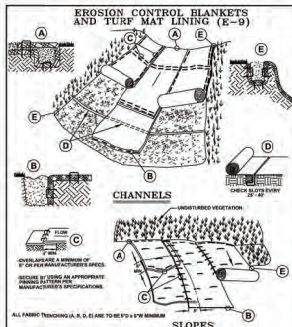
SHEET NUMBER:

C1.0

PROJECT NUMBER: MD25-03

DRAWN BY: S. SALMAN

CHECKED BY: I. KALABAT



NOTE:

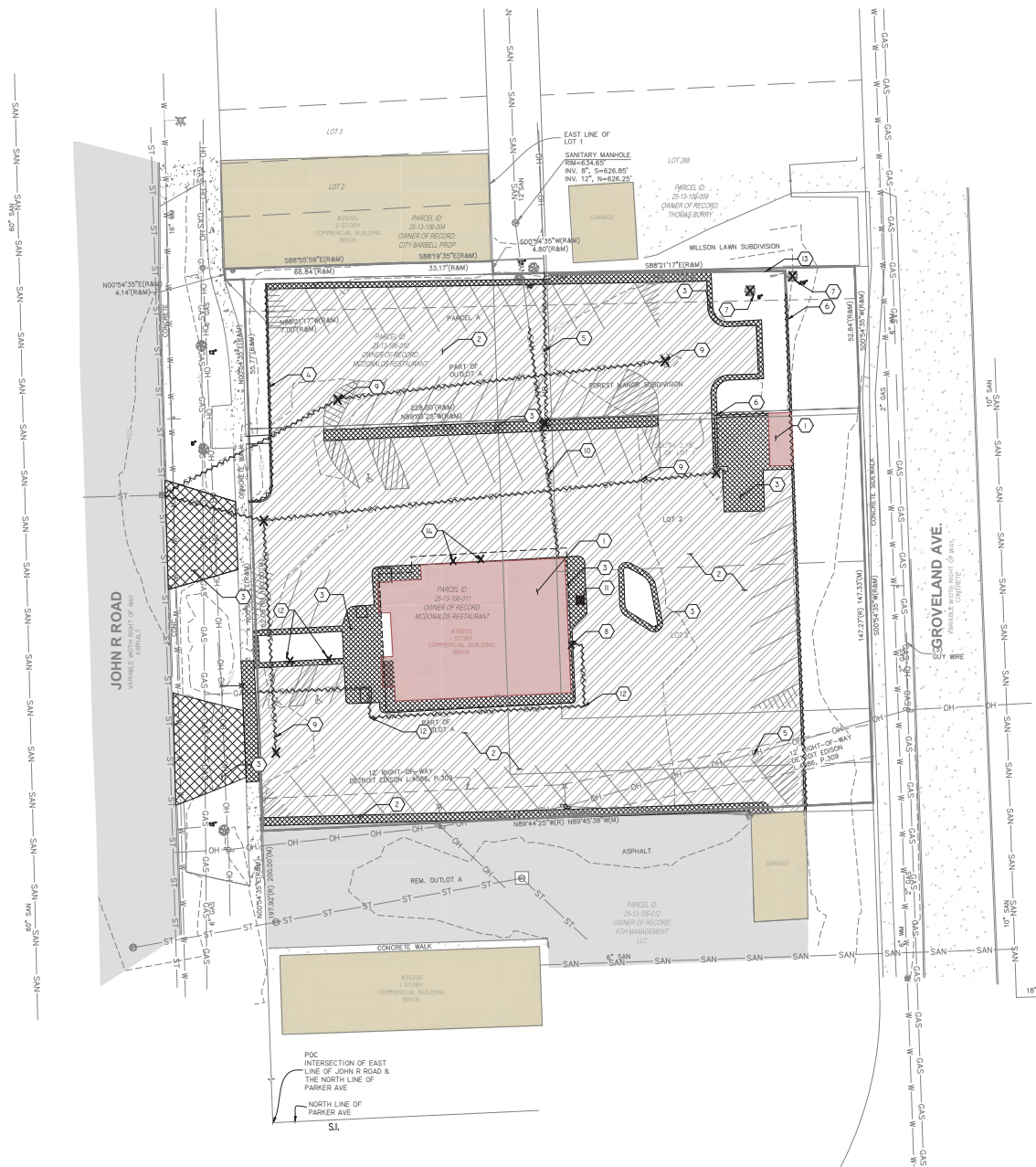
WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

DATE: 01/01/01
SCALE: AS SHOWN
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DRAWN BY: [Signature]

ONE PLAIN CONCRETE SLOPE BUILT WEST
ONE PLAIN CONCRETE SLOPE BUILT EAST
ONE PLAIN CONCRETE SLOPE BUILT NORTH
ONE PLAIN CONCRETE SLOPE BUILT SOUTH

SHEET NO: 1 of 1



NORTH

20 10 0 20 40
DRAWING SCALE: 1"=20'

KEY NOTES

- 1 DEMOLISH BUILDING COMPLETE INCLUDING FOUNDATION
- 2 REMOVE ASPHALT PAVEMENT & AGGREGATE BASE
- 3 REMOVE CONCRETE PAVEMENT & AGGREGATE BASE
- 4 REMOVE CURB AND GUTTER COMPLETE
- 5 COORDINATE WITH UTILITY COMPANIES TO REMOVE AND PROVIDE DISCONNECT & DEMO CLEARANCE LETTER
- 6 REMOVE RETAINING WALL
- 7 REMOVE TREES
- 8 REMOVE GAS METER
- 9 REMOVE STORMDRAIN PIPE
- 10 REMOVE SANITARY SEWER LEAD, PREP PIPE FOR NEW ALIGNMENT AND EXTENSION TO SERVER PROPOSED BUILDING
- 11 COORDINATE WITH UTILITY COMPANY TO REMOVE TRANSFORMER
- 12 REMOVE ADA SIGNS & BOLLARDS
- 13 EXISTING RETAINING WALL TO REMAIN

BENCHMARK

SITE BENCHMARK NO. 1 (SITE BM #1)
MAG. NAIL IN EAST FACE OF UTILITY POLE 420 FEET E OF EAST EDGE OF JOHN R RD, 155 FEET SOUTH OF SOUTH FACE OF BLDG #28220
ELEVATION = 1029.21 NAVD88

SITE BENCHMARK NO. 2 (SITE BM #2)
SOUTHEAST BOLT OF LIGHT POLE BASE, 47 FEET WEST OF SOUTHWEST CORNER OF BLDG #28220 "CITY BARBELL", 116.5 FEET EAST OF THE EAST EDGE OF JOHN R RD
ELEVATION = 1042.14 NAVD88

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KALABAT ENGINEERING
KE
Civil, Mechanical, Electrical, Sanitary Engineering

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COMMENTS:

SEAL:

STATE OF MICHIGAN
CIVIL ENGINEER
No. 00018804
DATE 06/10/2025

NO.	REVISION	DATE
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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

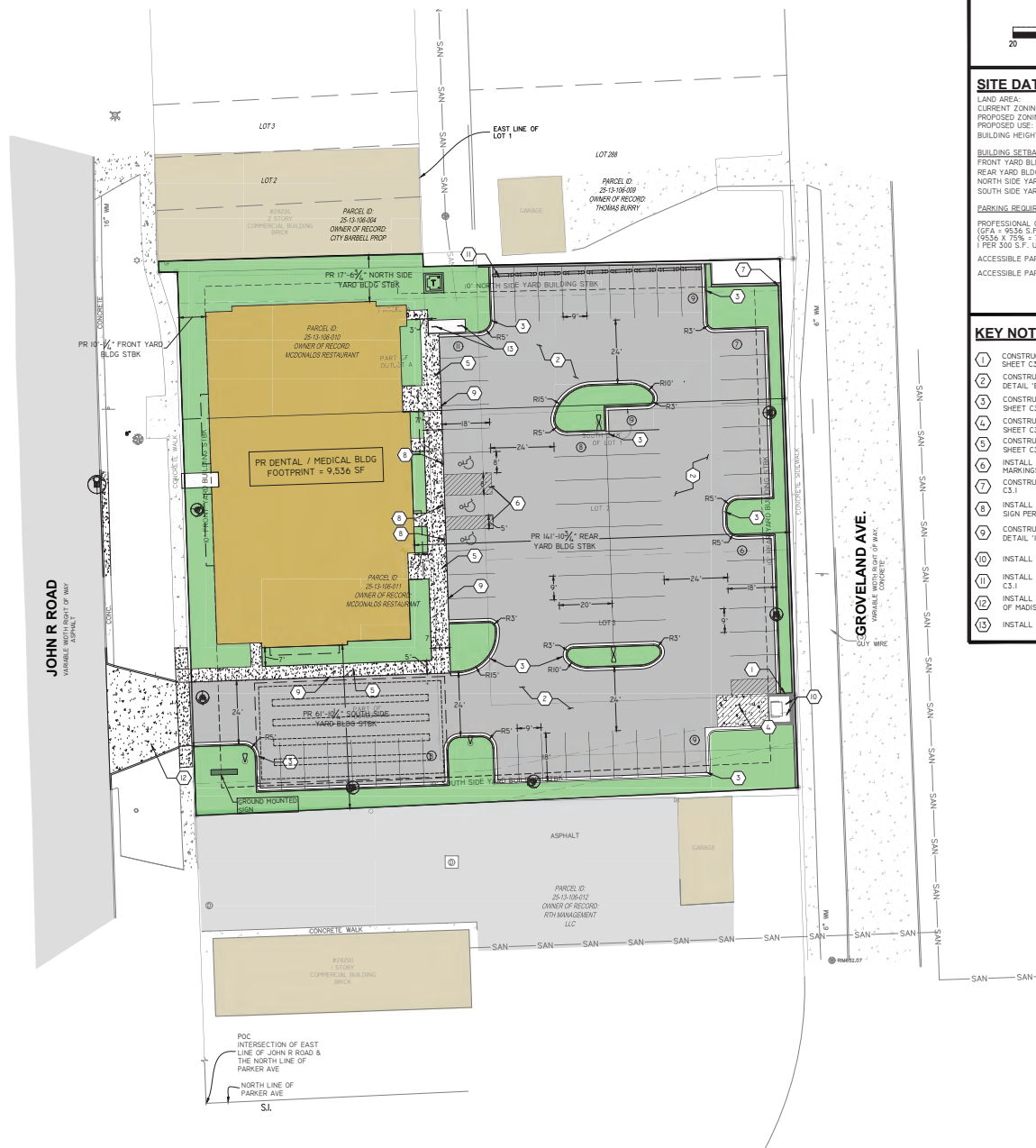
SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C2.0

PROJECT NUMBER: MD25-103
DRAWN BY: S. SALMAN
CHECKED BY: I. KALABAT



SITE DATA

LAND AREA:	1.07 ACRES (46,724.5 S.F.)	
CURRENT ZONING:	B-2	
PROPOSED ZONING:	B-2	
PROPOSED USE:	MEDICAL/DENTAL OFFICE	
BUILDING HEIGHT:	1 STORY, 22'-0"	
BUILDING SETBACKS:		
FRONT YARD BLDG STBK	REQUIRED	PROVIDED
REAR YARD BLDG STBK	10'	10'-0"
NORTH SIDE YARD STBK	10'	14'-10 1/2"
SOUTH SIDE YARD STBK	10'	6'-10"
PARKING REQUIREMENTS:		
PROFESSIONAL OFFICE (9536 x 75% = 7152 S.F.) 1 PER 500 S.F. UFA	REQUIRED	PROVIDED
	24	67
ACCESSIBLE PARKING - CAR	2	2
ACCESSIBLE PARKING - VAN	1	1

KEY NOTES

1. CONSTRUCT DUMPSTER ENCLOSURE PER DETAIL 'A' OF SHEET C3.1
2. CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT PER DETAIL 'B' OF SHEET C3.1
3. CONSTRUCT 18" CURB AND GUTTER PER DETAIL 'C' OF SHEET C3.1
4. CONSTRUCT 8" CONCRETE PAVEMENT PER DETAIL 'D' OF SHEET C3.1
5. CONSTRUCT CONCRETE SIDEWALK PER DETAIL 'E' OF SHEET C3.1, WIDTH PER PLAN
6. INSTALL ADA ACCESSIBLE PARKING PAVEMENT MARKINGS AND STRIPING PER DETAIL 'F' OF SHEET C3.1
7. CONSTRUCT SCREEN WALL PER DETAIL 'G' OF SHEET C3.1
8. INSTALL HANDICAP PARKING AND VAN ACCESSIBLE SIGN PER DETAIL 'H' OF SHEET C3.1
9. CONSTRUCT INTEGRAL CONCRETE CURB/WALK PER DETAIL 'I' OF SHEET C3.1
10. INSTALL 6" BOLLARD PER DETAIL 'J' OF SHEET C3.1
11. INSTALL WHEEL STOP (9 EA) PER DETAIL 'K' OF SHEET C3.1
12. INSTALL NEW 8" CONCRETE DRIVE APPROACH PER CITY OF MADISON HEIGHTS AND RCOC
13. INSTALL BIKE PARKING HOOP



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F 248.594.5919
iden@kalabat.com

CONTRACT NO.



NO.	REVISION	DATE
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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

**DENTAL OFFICE
DEVELOPMENT**
28220 JOHN R. RD
MADISON HGT., MI

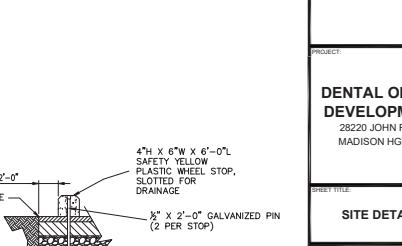
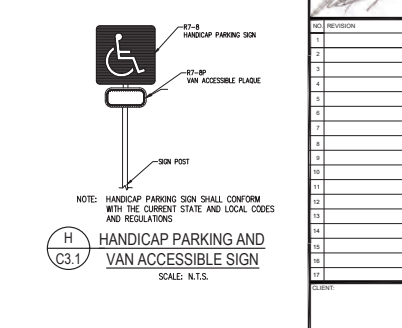
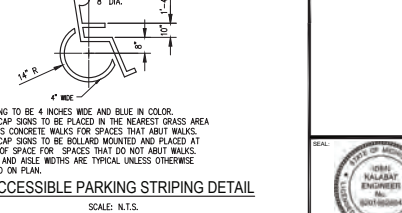
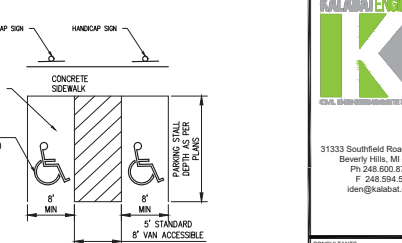
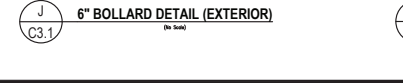
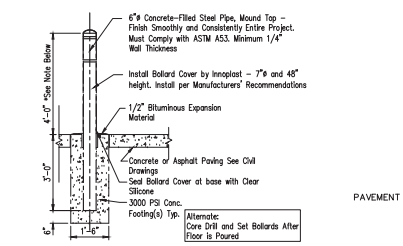
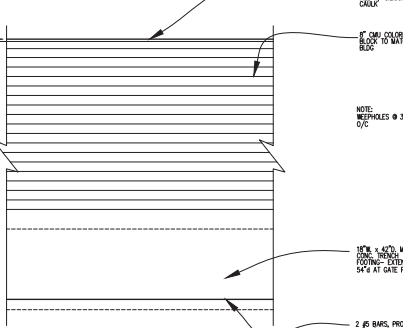
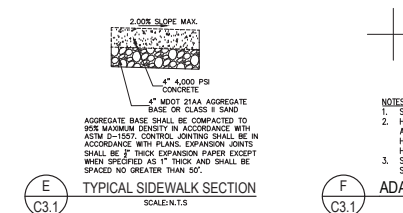
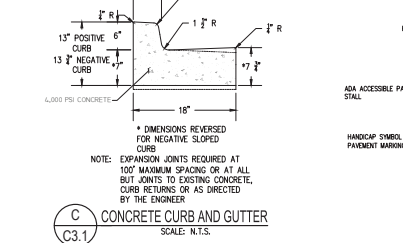
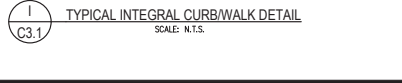
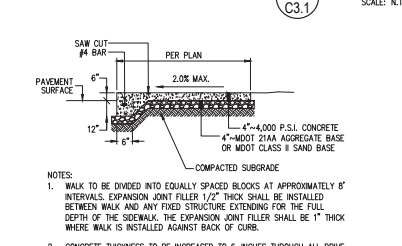
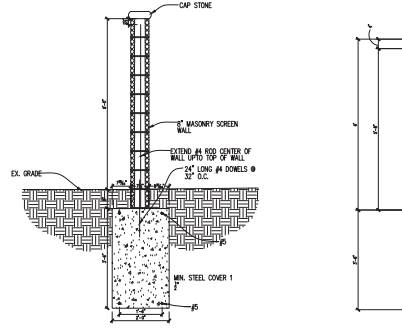
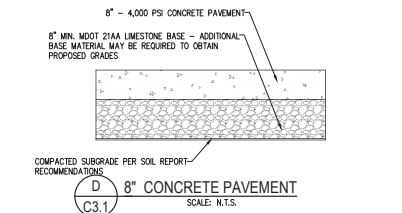
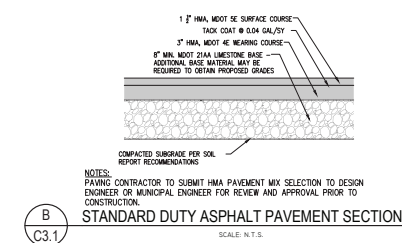
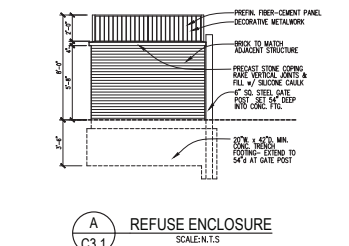
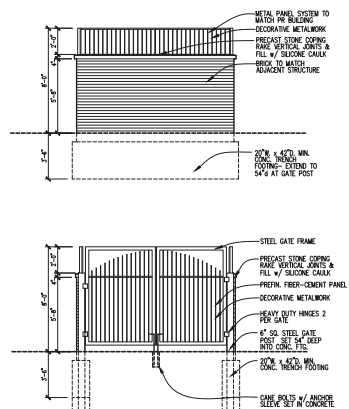
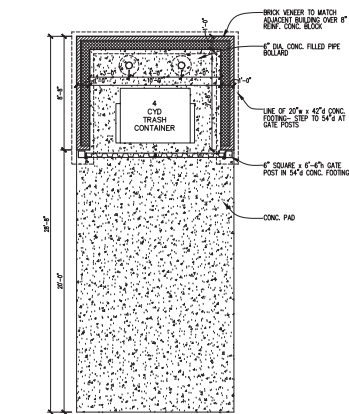
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C3.0

PROJECT NUMBER: MD25-103
DRAWN BY: S. SALMAN
CHECKED BY: I. KALABAT



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Ph 248.600.8707
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CONSULTANTS:

SEAL:

NO. REVISION DATE

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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

C3.1

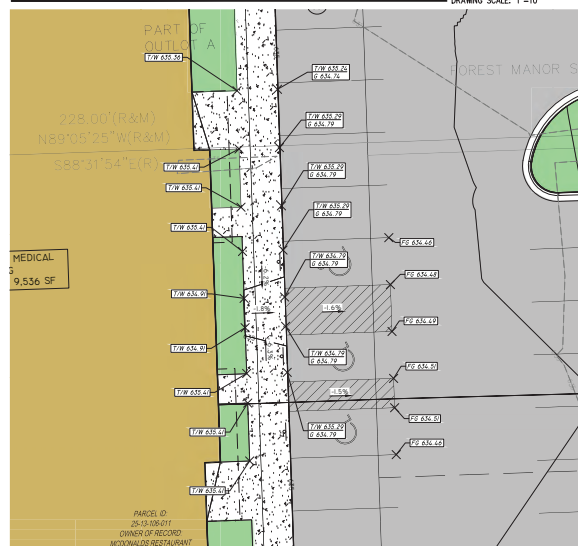
PROJECT NUMBER: MD25-103

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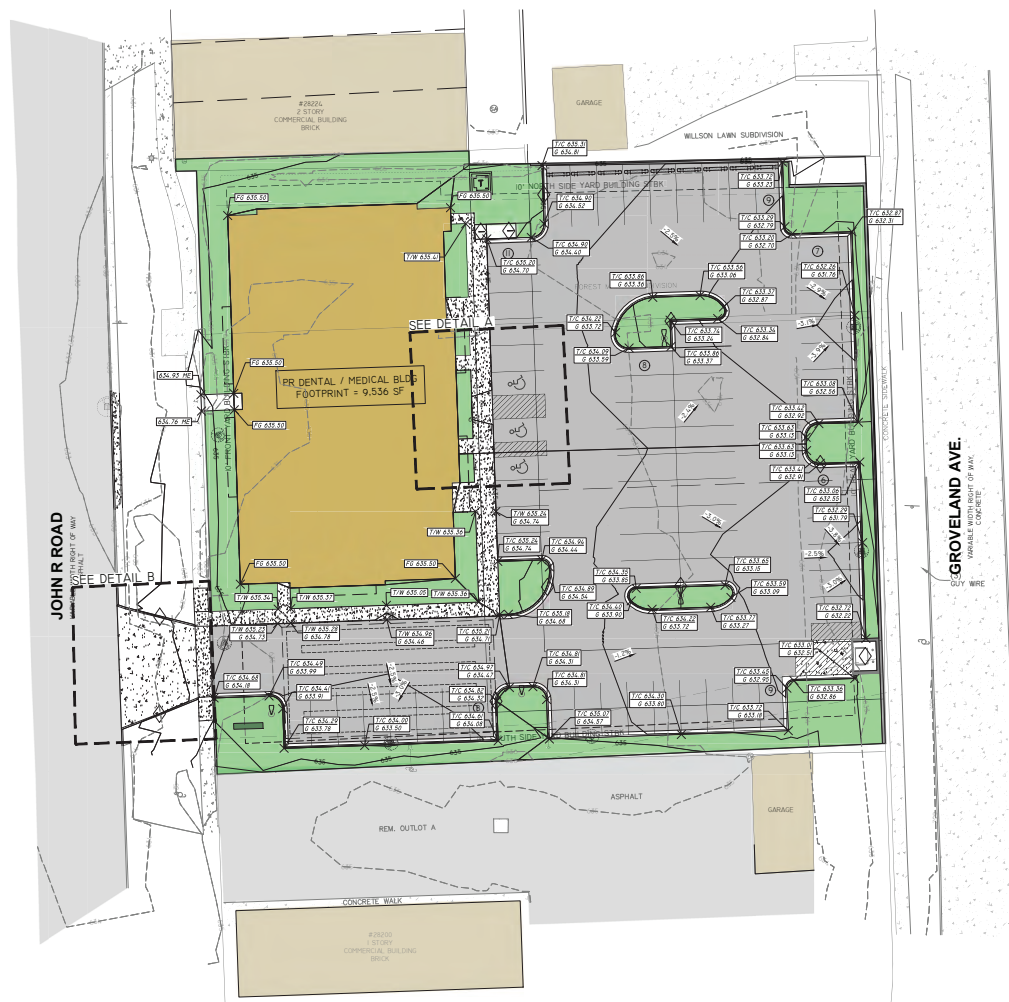
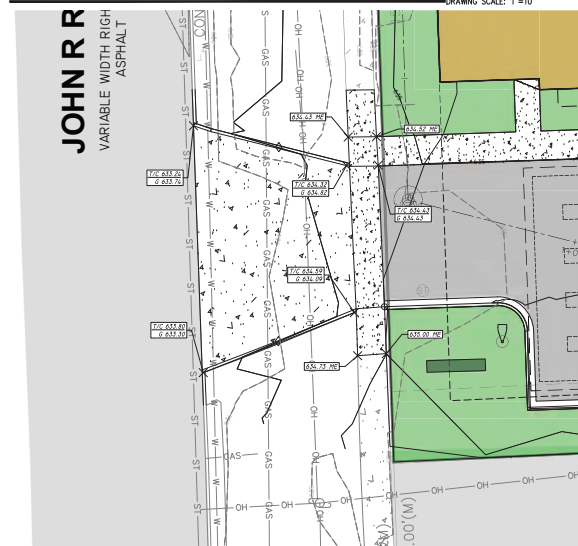
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GRADING DETAIL A



GRADING DETAIL B



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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

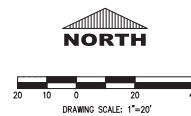
DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

DRAWN BY: S. SALMAN

CHECKED BY: I. KALABAT

C4.0

PROJECT NUMBER: MD25-103



KEY NOTE

TO BE DESIGNED DURING ENGINEERING PERMIT AS A
STORM WATER RAIN GARDEN

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CLIENT-	

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

SUBJECT

**DENTAL OFFICE
DEVELOPMENT**
28220 JOHN R. RD
MADISON HGT., MI

SPENDING TRENDS

UTILITY PLAN

SHEET NUMBER:

C5.0

PROJECT NUMBER: MD25-103

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DRAWN BY: E. SALMAN

CHECKED BY: I. KALABAT

[illegible][illegible]

STORM 1

ELEVATION

640
635
630
625
620
615

-50 0+00 1+00 2+00 3+00

STATION

PR CB01
48" DIA.
RIM 631.71
SUMP 627.53
OUT 12" S INV = 627.53

PR CB02
48" DIA.
RIM 631.71
SUMP 627.03
IN 12" N INV = 627.03
OUT 12" SW INV = 627.03

PR MH01 - PRETREATMENT
48" DIA.
RIM 635.40
SUMP 626.29
IN 12" NE INV = 626.45
IN 12" W INV = 628.87
OUT 12" W INV = 626.29

PR CB03
48" DIA.
RIM 633.44
SUMP 629.20
IN 12" E INV = 629.20
OUT 12" E INV = 629.20

CB01 - CB02 76'
OF 12" @ 0.50%

CB02 - MH01 12'
OF 12" @ 0.50%

CB03 - MH01 68'
OF 12" @ 0.50%

SS01 - 12" S INV = 627.53

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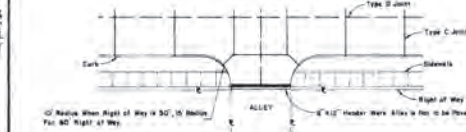
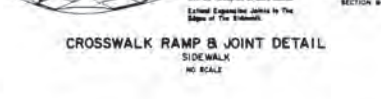
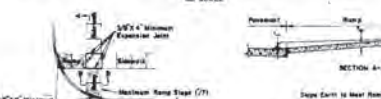
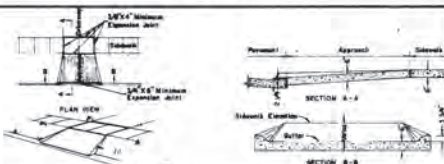
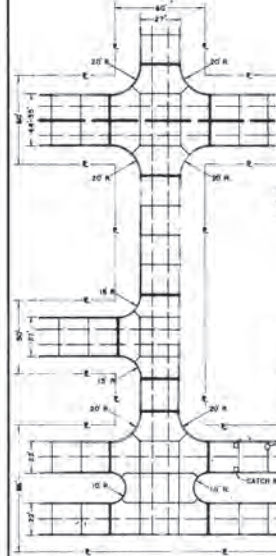
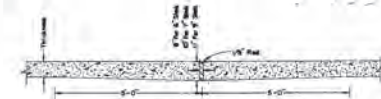
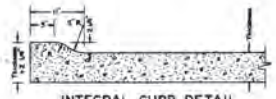
PROJECT:

SHEET TITLE:
**STORMWATER
PROFILES AND
DETAILS**

SHEET NUMBER:

C5.1

PROJECT NUMBER:	MD25-103
DRAWN BY:	S. SALMAN
CHECKED BY:	I. KALABAT



NOTE: CUE SANITARY MANHOLE AS* Reinforced Concrete A.S.T.M. C-475 Flow may be used at Contractor's Option for Description of Portion of Manhole Above a Foot 8" Above Top Top Highest Connecting Line. The Bottom Shall be Not Less Than 2" Flow may be the Thickness And Proportion It Provides Not Less Than of Flat Top 1/4" of Reinforced Concrete Manhole Ring and Cover. Flow joints Shall be 1/2" Cement Mortar. Pre-Cast Concrete Bells, Joints, Manhole Tees, Forms, Cows and Other Components Specifications for Standard Brick Manholes. Precast, Joints are Required on All Manholes.

NOTE: CUE BLOCK MANHOLE Same Concrete Walls may be used at Contractor's Option. *Block Shall be 3,000 P.S.I. General Construction Notes

Concrete with Better Class Bricks used for the Outside Surface.

Top of Manhole Structure Shall be Sufficiently Low to Permit Proper Adjustment of Flow From C to Grade with Meter Manhole as Directed by Engineer. Approved Structure Material Shall be Used And, for Structures, Flow of Maximum Kind Under Projected Manning Type in Present. All Flow Structures or Shale or be Sufficient With Minimum of 1/2" of Stone 1/2" Diameter or Less and Manning Backfill with Stone or Larger Material.

NOTE ON PUBLIC UTILITIES Public Utilities Locations are As Accurate as Possible. Contractor Shall be Fully Informed with Utility Companies for Information on their Facilities. Before Starting Work Whether Shown on Plans or Not, Must Extended Their Shells by Use of Contractor to Locate Existing Utilities which Create or are in Close Proximity to Excavation. Adequate Support Shall be Installed by Contractor Where Necessary Under Existing Utilities.

X

LEGEND

DESIGNATED BAD MIX WITH CLASH AND STRENGTH

3,000 P.S.I. BLOCK - CLASS "A"
3,000 P.S.I. BLOCK - CLASS "B"
2,850 P.S.I. BLOCK - CLASS "C"

STANDARD PROFILE CONVENTIONS

----- NORTH ON EAST E. & SIDEWALK
----- SOUTH ON WEST E. & SIDEWALK
----- CENTERLINE

STANDARD FLAG CONVENTIONS

SAUNTRY SEWER
STORM SEWER
WATER MAIN
S&E MAIN
UNDERGROUND CABLE
FIRE HYDRANT
S&E VALVE & WELL
MANHOLE
CATCH BASIN
INLET

X

**CITY OF MADISON HEIGHTS, MICHIGAN
ENGINEERING DEPARTMENT**

**SANITARY SEWER
MANHOLE & STANDARD
DETAILS**

NO.	REVISION	DATE	BY	CHKD
REVISIONS				
1	REVISION: SUBMITTAL FOR REVIEW PURPOSES, IN FULL	DATE: 04/11/20		
2	REVISION: REVISED PER COMMENTS	DATE: 04/11/20		
3	REVISION: PRELIMINARY WORK	DATE: 04/11/20		
4	REVISION: LAYOUT WORK	DATE: 04/11/20		
5	REVISION: REVISIONS BY	DATE: 04/11/20		
6	REVISION: REVISIONS BY	DATE: 04/11/20		
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AL1



Weight: 12 lbs.
EPA: 0.40



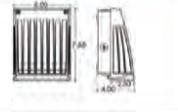
DRILL PATTERN



WP1



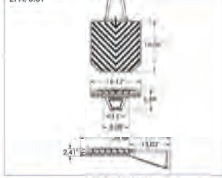
Weight: 4.4 lb



AL2



Weight: 21 lbs.
EPA: 0.61



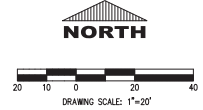
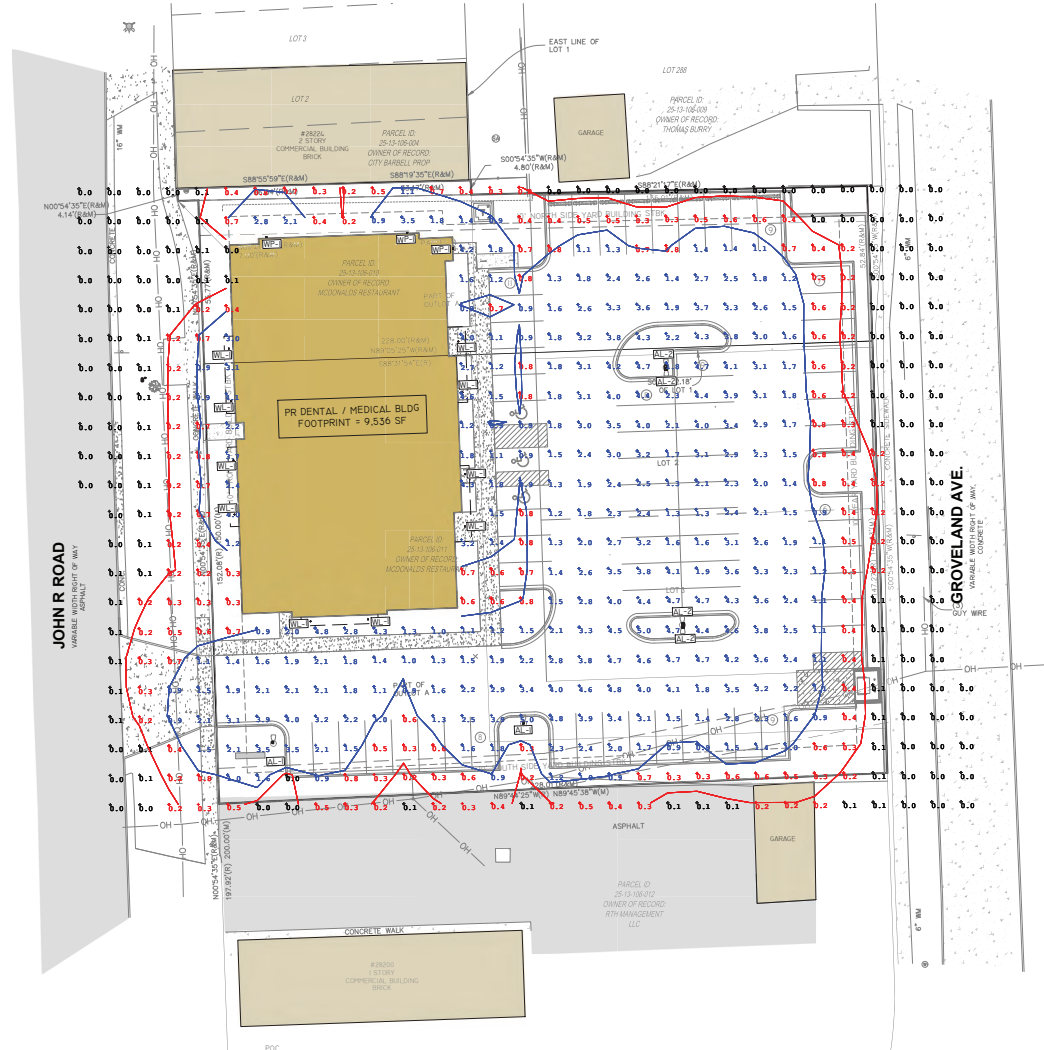
DRILL PATTERN	
100 mm DIA	



WL1



LABEL	QTY	MOUNT HEIGHT (FT)	MANUFACTURER	MODEL #	DESCRIPTION	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT
AL-1	2	19	ATLAS	SLF99LFTSK	POLE MOUNTED AREA LUMINAIRE	8541	62	SINGLE
AL-2	4	19	ATLAS	SLPH12L75K	POLE MOUNTED AREA LUMINAIRE	12311	75	SINGLE
WL-1	10	10	JUNO	WF4_4LD9 SW95 90CRI MVOLT 50K	4" WAFER LIGHT	1125	13.5	SINGLE
WL-1	3	12	ATLAS	WSPSH3L05K	WALL PACK	1366	12.5	SINGLE



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CLIENT: _____

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

**DENTAL OFFICE
DEVELOPMENT**
28220 JOHN R. RD
MADISON HGT., MI

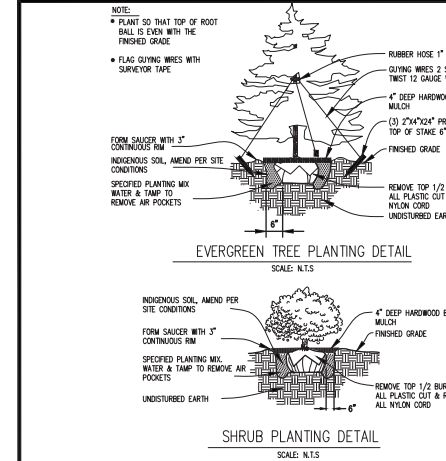
HEET TITLE:

PHOTOMETRIC PLAN

SHEET NUMBER:

C6.0

PROJECT NUMBER:	MD25-103
DRAWN BY:	S. SALMAN
CHECKED BY:	I. KALABAT



GENERAL LANDSCAPE PLANTING NOTES

- THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY LANDSCAPING, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DOES NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
- REFER TO THE LANDSCAPE SCHEMATIC PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO LATEST EDITION OF ODOT CONSTRUCTION SPECIFICATIONS.
- ALL PLANTING MATERIALS SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND FUNCTIONAL NEW GROWTH.
- PLANTING BEDS, ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF OR PERENNIAL AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBICIDIC MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTOTILLER.
- BACKFILL MIX, FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
 - ONE PART EXCAVATED SOIL
 - ONE PART EPA RATED CLASS IV COMPOST
 - A SLOW RELEASE COMMERCIAL FERTILIZER (20-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX
 - IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIXNOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
- MULCH, SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. USE SHREDDED HARDWOOD BARK Aged MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS. MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL) IN GRANULAR FORM TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
- PERIOD OF ESTABLISHMENT: BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW ESTABLISHED HOEDING PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER, ON OR ABOUT AUGUST 15. THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEFORE NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INSTANTLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
- RESTORATION OF DISTURBED AREAS:
 - DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS.
- LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
- TURF GROUNDCOVER (SEEDING, SEEDING AND SEED MULCHING):
 - ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:
 - TITAN TALL-TYPE TURF FESCUE 70%
 - SR 4105 PERENNIAL RYEGRASS 20%
 - MENT KENTUCKY BLUEGRASS 10%

LANDSCAPING REQUIREMENT			
DESCRIPTION	REQUIRED	PROVIDED	NOTES
INTERIOR LANDSCAPING			
INTERIOR LANDSCAPING AREA	MIN. 5% OF IMPERVIOUS AREA	1,830 S.F.	
TREE PLANTING	1 DECIDUOUS TREE (2.5" CALIPER) PER 400 S.F. PLUS 1 ADDITIONAL TREE FOR THE FIRST 400 S.F.	5 TREES	400 S.F. = 1 TREE 1430 S.F./400 S.F. = 3.575 ROUNDED TO 4 TREES
SHRUB PLANTING	4 SHRUBS (18" HIGH OR WIDE) PER 400 S.F.	26 SHRUBS	2+2 FOR EVERY 400 S.F. 1830 S.F. / 400 S.F. 4.575 ROUNDED TO 5 S.F. = 26 SETS
PARKING LOT LANDSCAPING			
LANDSCAPING AREA	5 S.F. PER PARKING SPACE	335 S.F. WITH 67 PARKING SPACES	
TREE REQUIREMENT	1 DECIDUOUS CANOPY TREE (2.5" CALIPER) PER 100 S.F. OF LANDSCAPE AREA	4 TREES	335 / 100 = 3.35 ROUND UP TO 4 TREES
CURBING	ALL LANDSCAPING AREAS MUST BE SURROUNDED WITH CONCRETE CURBING	CONCRETE CURB PROVIDED	PREVENT VEHICLE ENDOACHMENT
SCREEN WALL GREENBELT			
SCREEN WALL HEIGHT	MINIMUM 6 FT HIGH; MAY BE UP TO 8 FT IF REQUIRED BY SITE PLAN REVIEW COMMITTEE	6 FT HIGH PROVIDED	MUST MATCH ADJACENT WALL HEIGHT IF APPLICABLE
GREENBELT WIDTH	MINIMUM 5 FT WIDE GREENBELT ALONG ENTIRE WALL LENGTH	PROVIDED MORE THAN THE MINIMUM REQUIREMENT	GREENBELT PLANTING STANDARD USUALLY GRASS, SHRUBS OR CANOPY TREES, ETC.
GREENBELT			
TREES	1 DECIDUOUS TREE (2.5" CALIPER) OR 1 EVERGREEN TREE (5" HEIGHT) PER 30 LINEAR FEET	4 TREES TOTAL: 2 LITTLELEAF LINDEN, 2 RED MAPLE (ALL 2.5" CAL.)	MEETS REQUIREMENT FOR 120 LINEAR FEET OF GREENBELT
WIDTH	MINIMUM 5 FEET	MORE THAN THE REQUIREMENT	MEETS MINIMUM ORDINANCE REQUIREMENT
RIGHT-OF-WAY SCREEN WALL OPTION			
WALL MATERIAL / HEIGHT	30" HEIGHT, FACE/COMMON BRICK OR MASONRY COMPATIBLE WITH PRINCIPAL BUILDING AND LOCAL CONTEXT	MATERIAL MATCHES PRINCIPAL BUILDING	MATCHES ORDINANCE REQUIREMENT
PROTECTION	CONCRETE CURBING, WHEEL BLOCKS, OR GUARD POSTS AS NEEDED TO PROTECT WALL	WHEEL BLOCKS ARE PROVIDED	COMPLIES WITH VEHICULAR PROTECTION REQUIREMENT

PLANT MATERIAL LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES				
TCG	0	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2 1/2" CAL.
AR	4	ACER RUBRUM	RED MAPLE	2 1/2" CAL.
EVERGREENS				
PA	5	PICEA ABIES	NORWAY SPRUCE	5' HT.
TO	0	THUJA OCCIDENTALS 'TECHNY'	MISSION ARBORVITAE	6' HT.
SHRUBS				
HP	6	HYDRANGEA Q. 'PEE WEE'	'PEE WEE' HYDRANGEA	30" HT.
LV	8	LIGUSTRUM VICARYI	GOLDEN PRIVET	30" HT.
BM	12	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM BOXWOOD	30" HT.



NORTH

20 10 0 20 40

DRAWING SCALE: 1"=20'

NOTES

ALL WATER-SERVICE STOP BOXES, VALVE BOXES, METER PITS & MANHOLES SHALL BE ACCESSIBLE AT ALL TIMES AND SHALL BE ADJUSTED TO FINISHED GRADE AS PART OF THE PROJECT.

KEY NOTE

① TO BE DESIGNED DURING ENGINEERING PERMIT AS A STORM WATER RAIN GARDEN

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KALABAT ENGINEERING

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Ph 248.600.8707
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CONSULTANTS:

SEAL:

STATE OF MICHIGAN
CIVIL ENGINEER
EXPIRATION DATE 12/31/2024

NO. REVISION DATE

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CLIENT:

28220 JOHN R LLC
2425 E. 12 MILE RD SUITE B
WARREN, MI

PROJECT:

DENTAL OFFICE DEVELOPMENT
28220 JOHN R. RD
MADISON HGT., MI

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L1.0

PROJECT NUMBER: MD25-03

DRAWN BY: S. SULEMAN

CHECKED BY: I. KALABAT