



**CITY OF MADISON HEIGHTS
COMMUNITY DEVELOPMENT DEPARTMENT
PETITION FOR USE PERMITTED BY
SPECIAL APPROVAL**

FOR OFFICE USE ONLY	
Request <u>PSP 23-005</u>	No: _____
Date <u>6/9/23</u>	Filed: _____
Approved by _____	CDD: _____
Approved for Hearing: _____	

I (we) the under signed, do hereby apply and petition the City of Madison Heights for a Special Approval Use Permit and provide the following information.

(Application must be typed)

Building Address: 29022 Stephenson Hwy. Tax ID No.: 44-25-11-377-015, -016, 019

APPLICANT INFORMATION

Name: Todd Gesund - BMW Kar Wash, Inc. d/b/a Jax Kar Wash

Phone No.: 248-514-5565 Fax No.: N/A

Mailing Address: 28845 Telegraph Road City, State, Zip: Southfield, MI 48034
(Notices will be mailed to this address)

Driver's License No.: N/A Date of Birth: N/A

Interest in Property: Purchase Agreement

BUILDING & BUSINESS INFORMATION

Zoning District: B-3 Use Requested Pursuant to Section 10.326(8) of the Zoning Ordinance

Explain Requested Use in Detail: 6,200 sf drive-through autowash with 25 parking spaces, including 19 vacuum spaces, 5 employee spaces, 1 ADA space, 2 vacuum producers located within building, 25 stacking spaces with 3 pay stations.

The above referenced parcel is known as: (Lots(s) Acreage Parcel (s)) _____ of _____
Subdivision (if platted lot(s)) and is located on the N S(E)W (Circle One) side of Stephenson Hwy. Street/Road between
Twelve Mile Street/Road and Helen Ct. Street / Road.

Hours of Operation: 7am - 9pm

Property Frontage: +/-193' Width/Depth: +/-250' No. of Parking Spaces: 25 Private Lot X Shared Lot _____

No. of Floors: 1 Max. No. of Employees: 20 Male N/A Female N/A No. on Largest Single Shift: 8

No. of Seats for Restaurant or Assembly Uses: N/A Capacity of Waiting Area: N/A

Building: New X or Existing _____ Will Additions or Alterations to the Building be Required? N/A

Explain: _____

Describe Any Other Site Improvements to be Made: 19 vacuum parking spaces, 5 employee parking spaces, 1 ADA parking space, City entrance sign, other hardscape and landscape improvements.

Building Owner Name: Sokol & Angjelina Ndrejaj Phone No.: _____ Fax No.: _____

Mailing Address: 29022 Stephenson Hwy. City: Madison Heights Zip: 48071
(Notices will be mailed to this address)

Note: All blanks and boxes above must be completed. Use N/A where appropriate.
CONTINUED ON REVERSE SIDE



MADISON HEIGHTS FIRE DEPARTMENT
"RIGHT-TO-KNOW"
EMERGENCY CONTACT FORM

A. Address 29022 Stephenson Hwy Today's Date 6/1/23 Telephone Number 248.514.5565
B. Business Name JAX KAR WASH

C. EMERGENCY CONTACTS:

INCLUDE AREA CODE

FIRE ALARM <i>Company</i>		<i>*Telephone Number*</i>
GUARDIAN ALARM		248.423.1000
SECURITY ALARM <i>Company</i>		<i>*Telephone Number*</i>
GUARDIAN ALARM		248.423.1000
D. PRINT Personal AFTER-HOUR Contact Name & Email		<i>*Telephone Number*</i>
1.	Todd Gerund	248.514.5565
Email:	todd@jaxkarwash.net	
2.	Heath Stack	
Email:	Heath.stack@jaxkarwash.net	248.379.3869
3.	Jordan Wagner	
Email:	Jordan@jaxkarwash.net	734.945.6727
4.		
Email:		

Completed By:
(Please Print)

Todd Gerund

Update as of this date: 6/1/2023

June 7, 2023

Honorable Roslyn Grafstein & City Council
City of Madison Heights
300 W. 13 Mile Road
Madison Heights, MI 48071

**Re: Special Use Approval for Jax Kar Wash
29022 Stephenson Hwy, Madison Heights**

Dear Mayor Grafstein & City Council Members:

Jax Kar Wash is pleased to apply for approval to develop the property at 29022 Stephenson Hwy as a modern automatic car wash. It has filed a Petition for Use Permitted by Special Approval. In support of this Petition, please see the attached Addendum, which shows how Jax meets or exceeds the Review Standards and Criteria in Section 10.201.4 of the City's Zoning Ordinance.

Jax believes the subject site is an ideal location for a modern automatic car wash facility to service both Madison Heights residents and other auto travelers in this I-75/Twelve Mile/Stephenson Hwy. corridor of the City. The site is property zoned in the B-3 zoning district and is located within an area where other automotive uses are prevalent (i.e., auto repair across Twelve Mile; 2 gas stations across Stephenson).

The site has also been designed to provide for the safe, efficient and aesthetically pleasing redevelopment of the site. As the submitted site plan package and renderings illustrate, the site layout provides for safe entry and exit to and from the site, efficient vehicle circulation, sufficient stacking, architecturally pleasing building elevation and materials, environmentally friendly practices (partial water recycling and sand/oil separator), and landscaping in excess of ordinance requirements.

Jax is also voluntarily proposing significant conditions on the development that the City Council can adopt pursuant to Section 10.201.4.K, to help facilitate City improvement plans:

1. In support of the City's program to install entrance identification and beautification signs at the main entrances to the City, Jax will contribute \$60,000 toward such sign and ancillary improvements, and provide an easement to the City to install and operate such sign on the subject property, as shown on the site plan.
2. In support of the City's objective to improve the quality of life for residents near the subject property, Jax will contribute \$90,000 toward the City's matching component for a grant for playground equipment and improvements in the nearby Twelve-Sherry City Park.

Honorable Roslyn Grafstein & City Council
City of Madison Heights
June 7, 2023
Page 2

We look forward to presenting this Jax Kar Wash project to you at your July 10, 2023, where we will respectfully request your approval to the proposed project.

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



John D. Gaber

Encl.

cc: Todd Gesund, Jax Kar Wash
Jim Butler, PEA Group

**ADDENDUM IN SUPPORT OF
PETITION FOR USE PERMITTED BY SPECIAL APPROVAL
CITY OF MADISON HEIGHTS, MICHIGAN**

**Applicant: BMW Kar Wash Inc., d/b/a Jax Kar Wash
Parcel ID No.: 25-11-377-015, -016, -019
Date: June 12, 2023**

Jax Kar Wash proposes to construct a modern automatic car wash on the Property, which is a Use Permissible on Special Approval in the B-3 General Business district (§10-326(8)). Applicant submits this Addendum in Support of Petition for Use Permitted by Special Approval for approval to use the above subject property ("Property") for such purpose. Section 10.201(4) of the City's Zoning Ordinance sets forth the review standards and criteria for City Council to consider in reviewing Special Approval Petitions. The Applicant believes it meets these review standards and criteria as follows:

- A. Site plans submitted for special approval uses shall be prepared in conformance with and contain all information as outlined in Section 10.514. Site Plan Review.

Response – Applicant believes its site plan materials submitted meet the above requirements.

- B. All design standards or criteria imposed on specific special approval uses elsewhere in this Ordinance shall be met.

Response – Section 10.326(8) provides specific design standards for automatic car washes, most of which the Applicant meets, except for the following, for which the Applicant will seek variances from the City's Zoning Board of Appeals:

- i. Subsection (c) requires that the hours of operation be between 8:00 a.m. and 10:00 p.m. The Applicant seeks to open for business at 7:00 a.m., which should not cause any adverse impact to any neighboring properties, as all such property are commercial, not residential.
- ii. Subsection (d) requires that the building be at least 20 feet away from the right-of-way. The site plan shows that the building is only 10 feet from the south property line, however there is a large open space in this area of the MDOT right-of-way that is not being used for road purposes and provides buffering from Twelve Mile Road and I-75, which Applicant believes is sufficient to meet the intent of the set-back requirement.

- iii. Subsection (i) requires that a chain-link fence be constructed to enclose the entire property boundary. The Applicant proposes to install substantial landscaping on the site, including along the perimeter of the Property in the area where a chain-link fence would be required. The Applicant believes that the landscaping would provide a more attractive site in this visible area.
- iv. Subsection (q) requires that the vacuums and drying services be located inside the building area. The vacuums and Jax' hand towel drying services will be located outdoors, as is typical in most car wash facilities. While the vacuums will be outdoors, the main vacuum filter/separator and vacuum turbine motors will be located inside the building, so as to minimize external noise to the surrounding areas. The vacuums will be free for public use. These areas will also be shielded by substantial landscaping in excess of ordinance requirements.

C. The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:

- 1. Location of use(s) on site;
- 2. Height of all improvements and structures;
- 3. Adjacent conforming land uses;
- 4. Need for proposed use in specified areas of the city;
- 5. Conformance with future land use plans for the area as adopted by the planning commission; and
- 6. Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.

Response –

- 1. The configuration of the drives, building and vacuum areas lays out efficiently on this irregular-shaped Property.
- 2. The building height is not inconsistent with many of the commercial buildings along the Twelve Mile corridor.
- 3. The proposed use is consistent with the surrounding commercial uses, some of which conform to the B-3 zoning district, with others being located on industrial-zoned parcels which are likely to convert to commercially zoned parcels if the Master Plan is updated to reflect such future land uses.
- 4. There are no automatic car washes in this area of the City; they are almost all located on the John R corridor. This location, with vehicles entering/exiting I-75 next door, is ideally situated for those consumers who live or work in the area.
- 5. The Future Land Use Map reflects the Property being within the industrial land use area. However, City Council recognized the changing character

of this area along Twelve Mile Road toward commercial uses when it rezoned the Property to B-3 last year. The automatic car wash facility is a use permitted by special approval in the B-3 zoning district, and is therefore conforming with the direction in which the City is moving to transition this area to commercial uses, which is consistent with much of the current development and use of the Twelve Mile corridor.

6. The automatic car wash would be consistent with other uses in the B-3 district, and helps fulfill the commercial needs of the consumer in this area, which lacks a car wash, but includes other automotive facilities (ie, gas station, repair shop) across the adjacent streets.
- D. Ingress/Egress to the use shall be controlled to assure maximum vehicular and pedestrian safety, convenience and minimum traffic impact on adjacent roads, drives and uses including, but not limited to:
1. Reduction in the number of ingress/egress points through elimination, minimization and/or consolidation of drives and/or curb cuts;
 2. Proximity and relation to intersections, specifically with regard to distance from drive(s) to intersection(s);
 3. Reduction/elimination of pedestrian vehicular traffic conflicts;
 4. Adequacy of sight distances;
 5. Location and access of off-street parking;
 6. Location and/or potential use of service drives to access multiple parcels, reducing the number of access points necessary to serve the parcels.

Response –

1. The site will only have a single ingress/egress driveway to Stephenson Highway.
2. The driveway will be located almost as far a possible from the intersection of Twelve Mile Road and will be a considerable distance from the Water Resources Commission drive to the north to ensure the safest ingress and egress for vehicles entering and exiting the Property. Further, the divided highway begins in this area, increasing safety of turning movements.
3. There will only be a single driveway, and the predominantly one-way traffic flow around the perimeter of the site will help to minimize any conflicts between vehicles and pedestrians.
4. The site is very open, so visibility should be good, both entering and existing the site and within the site itself.
5. Off-street parking is located in the middle of the site, by the building, which will primarily be used to access the vacuums. Very little parking is required or needed for an automatic car wash, which by definition has customers remaining in their vehicles except for vacuum use. Employee parking will be at the northwest corner of the Property.

The site layout also provides for orderly circulation, with 25 stacking spaces located before the pay stations and between the pay stations

and the building, and ample distance from the building to the exit drive so as to facilitate efficient traffic circulation on site that will not cause any back-ups on the site or any traffic impediments on Stephenson Highway.

- E. Screening shall be provided along all property lines, where Council determines such screening is necessary to minimize impact of the use on adjacent properties or uses.

Response – In this commercial corridor, screening is not likely necessary, since the adjacent uses are primarily commercial, and the site is surrounded by roads on 3 sides. There is virtually no screening for the existing restaurant. The Landscape Plan submitted shows that Applicant is maximizing the landscape plantings on the site, providing additional trees, shrubs and perennials at the perimeter and within the site that exceed Ordinance requirements.

- F. The use shall be properly served by utilities.

Response – The Property is currently serviced by all required utilities.

- G. The use shall not have an adverse effect on the environment beyond the normal effects of permitted principal uses in the same zoning district and shall not result in an impairment, pollution, and/or destruction of the air, water, and natural resources.

Response – As discussed above, the Twelve Mile corridor has several commercial uses that would be permitted in the B-3 district, including some automotive uses. There is currently a restaurant operating on the Property, so the impact of the automatic car wash should not impair, pollute or destroy air or water quality. Further, there are no natural resources located on the Property to impair. The additional landscaping proposed will have a positive effect on the environment in the area.

- H. The use shall be specifically scrutinized for conformance with the performance standards outlined in Section 10.509 of this ordinance.

Response - Very few of the Section 10.509 standards regarding open storage, glare, radioactive materials, fire, explosive hazards apply to the proposed use. Jax uses eco-friendly soaps and waxes in its car wash. Some of the waste water is recycled and the waste water is filtered, by passing through filter/separator tanks before being discharged into the public sewer system. Noise is being reduced by locating the main vacuum filter/separator and vacuum turbines inside the car wash building.

- I. The proposed use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible nuisances which might be noxious to the occupants of any other nearby properties. The use shall not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors and adverse environmental impacts.

Response – The Applicant does not believe that the proposed use would create any possible nuisances to neighboring properties. There are primarily commercial uses in the area, and the property is surrounded by roads on the east, south and west sides, with the Water Resources Commission facility to the north. Additionally, the Applicant employs best management practices with its modern car wash facility to minimize any adverse impacts of the development. The landscaping in excess of ordinance requirements will help to minimize the view of the facility, and the vacuum motors located inside the building will help minimize noise. The car wash facility proposed will not generate smoke, fumes, glare, noise, vibration, odors or adverse environmental impacts.

- J. The proposed use does not impose an unreasonable burden upon public services and utilities in relation to the burden imposed by permitted principal uses in the same zoning district.

Response – All public utilities are available to service the Property, and are currently present to serve the restaurant now operating on the Property. Since the proposed use is a drive-through facility (except for vacuum use), it is not anticipated to have any impact on public transportation or emergency medical services. Traffic is also managed by a single driveway on Stephenson Highway as far away as possible from the intersection to maintain safe entry and exit movements onto Stephenson Highway.

- K. The city council may impose conditions in granting special approval that it deems necessary to fulfill the spirit and purpose of this Ordinance. The conditions may include those necessary . . . to promote the use of land in a socially and economically desirable manner. Conditions imposed shall:

1. Be designed to protect natural resources, the health, safety and welfare, as well as the social and economic well being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole. . . .

Response – The Applicant proposes the following voluntary conditions which protect the health, safety and welfare and the social and economic well being of the community:

The Applicant shall contribute to the City the amount of One Hundred Fifty Thousand and 00/100 (\$150,000) Dollars (“Contribution”) simultaneously upon the Applicant’s closing on the acquisition of the Property (which Contribution shall not be due if closing does not occur), to be used as follows:

- a. The Applicant understands that the City has engaged in a program to install entrance identification and beautification signs at the main entrances to the City, and is currently developing a prototype design for such signs. The intersection of Stephenson Highway and Twelve Mile Road is a significant entrance to the City, and as the Property is located at this intersection, the Property, and/or the City right-of-way adjacent to the Property would be an ideal location for such sign. The City has estimated the cost of the sign and the installation of the sign, landscaping and other ancillary improvements to be approximately Sixty Thousand and 00/100 (\$60,000) Dollars. Therefore, the Applicant agrees to contribute to the City the sum of Sixty Thousand and 00/100 (\$60,000) Dollars, and if the City erects such sign, to grant an easement to the City as may be necessary for the location, installation, operation and maintenance of the sign in the southwestern corner of the Property, southwest of the drive as shown on the Site Plan, provided that the location of the sign does not interfere with the use and operation of the Property as an auto wash in accordance with the Site Plan.**
- b. The Applicant understands that the City desires to install new playground equipment and make improvements in the Twelve-Sherry City Park, located approximately one block from the Property and is filing a grant application for the partial funding of such playground equipment and improvements. The Applicant further understands that if the grant is approved, the City will be required to invest a matching component of the funds for the playground equipment and improvements as a condition of receiving such grant. Therefore, the Applicant agrees to contribute to the City the sum of Ninety Thousand and 00/100 (\$90,000) Dollars for the purpose of funding all or a portion of the City’s matching component for such grant.**
- c. Notwithstanding anything to the contrary, the City may direct the application of the Contribution to fund City improvements and purposes other than as set forth in a. and b. above which the City determines, in its sole and absolute discretion, would be in the best interests of the City and its residents.**

- d. The Applicant would not assume any responsibility for any City decisions regarding its use of the Contribution, has no obligation to make further financial contributions, and is not required to maintain any City improvements funded by the Contribution.

PRELIMINARY SITE PLANS

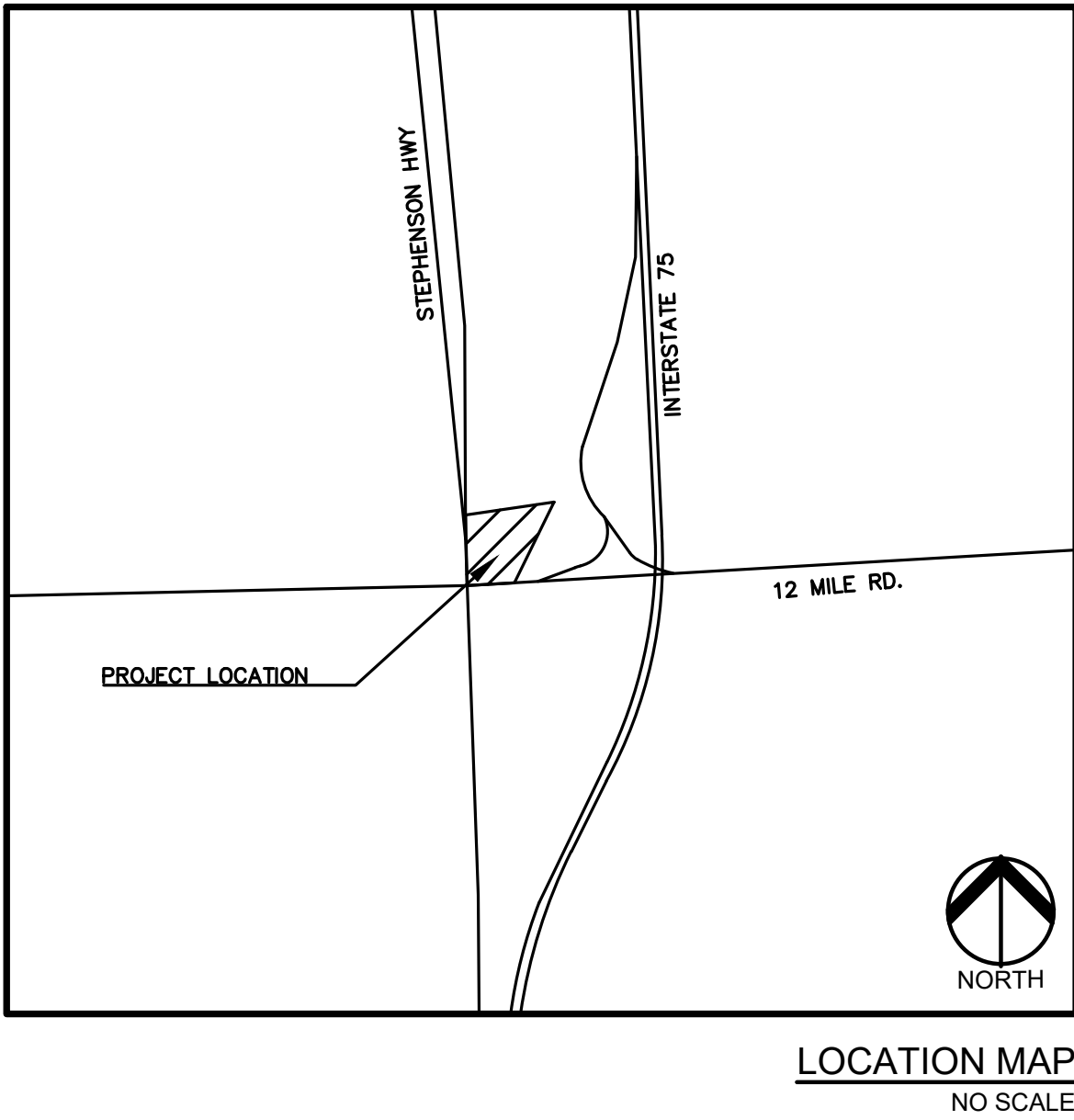
JAX CAR WASH - MADISON HEIGHTS

29022 STEPHENSON HWY

MADISON HEIGHTS, OAKLAND COUNTY, MI 48071



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	PRELIMINARY SITE PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-9.0	NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
PFP-4	PRELIMINARY OVERALL FLOOR PLAN
PE-3	PRELIMINARY ELEVATIONS

DESIGN TEAM

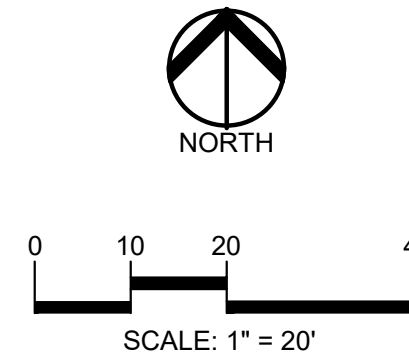
OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
CUNNINGHAM LIMP COMPANY 28790 CABOT DRIVE SUITE 100 NOVI, MI 48377 CONTACT: LINDON IVEZAJ, PE PHONE: 734.347.8200 EMAIL: LIVEZAJ@CLC.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
F.A. STUDIO 28281 EVERGREEN ROAD, SUITE 123 SOUTHFIELD, MI 48076 CONTACT: DAVID BRINKMEIER PHONE: 248.619.2354 EMAIL: DBRINKMEIER@FA.STUDIO	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: KIMBERLY DIETZEL, RLA PHONE: 844.813.2949 EMAIL: KDIEZTEL@PEAGROUP.COM



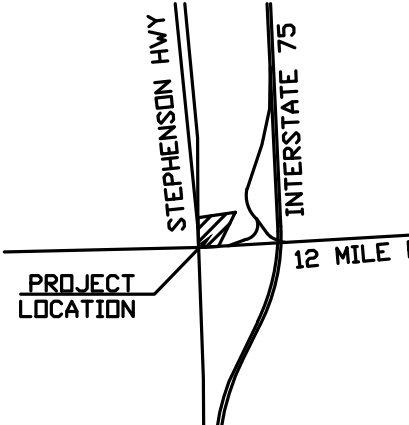
REVISIONS	
DESCRIPTION	DATE
SLU SUBMITTAL	6/8/2023



NOT FOR CONSTRUCTION



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
CUNNINGHAM LIMP COMPANY
28780 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS
OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 2023-0317
P.M. JPB
DN. JL
DES. KM
DRAWING NUMBER:

C-1.0

LEGEND:	
—OH-ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊖	EX. WATER VALVE BOX & SHUTOFF
—	EX. SANITARY SEWER
⊗	EX. SANITARY CLEANOUT & MANHOLE
⊕	EX. COMBINED SEWER MANHOLE
—	EX. STORM SEWER
⊗	EX. CLEANOUT & MANHOLE
⊠	EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
⊕	EX. YARD DRAIN & ROOF DRAIN
⊖	EX. UNIDENTIFIED STRUCTURE
⊗	EX. MAILBOX, SIGN & LIGHTPOLE
—	EX. FENCE
⊗	EX. GUARD RAIL
⊕	EX. DEC. TREE, CONIFEROUS TREE & SHRUB
⊖	EX. TREE TAG, & TREE LINE
⊕	EX. SPOT ELEVATION
⊖	EX. CONTOUR
⊕	EX. WETLAND
⊗	IRON FOUND / SET
⊕	NAIL FOUND / NAIL & CAP SET
⊖	BRASS PLUG SET
⊗	MONUMENT FOUND / SET
⊕	SECTION CORNER FOUND
⊖	RECORDED / MEASURED / CALCULATED

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY MONUMENT ENGINEERING GROUP ASSOCIATION, INC.

PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

LEGAL DESCRIPTION:

(Per First American Title Insurance Company Commitment #934770)

PARCEL ID 44-25-11-377-015 & -016
Land in the City of Madison Heights, OAKLAND County, Michigan, described as follows:

PARCEL 1:
PART OF THE East 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 11, Town 1 NORTH, RANGE 11 EAST, DESCRIBED AS: COMMENCING AT A POINT WHICH IS SOUTH 99 DEGREES 11 MINUTES 35 SECONDS WEST ALONG THE SOUTH SECTION LINE 544.34 FEET AND NORTH 01 DEGREE 48 MINUTES 25 SECONDS WEST ALONG THE EASTERLY RIGHT OF WAY OF STEPHENSON HIGHWAY, 75 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 11; THENCE NORTH 52 DEGREES 16 MINUTES 00 SECONDS EAST 265.16 FEET; THENCE NORTH 17 DEGREES 41 MINUTES 59 SECONDS EAST 106.98 FEET; THENCE SOUTH 87 DEGREES 15 MINUTES 35 SECONDS WEST 250.84 FEET TO THE EASTERLY RIGHT OF WAY LINE OF STEPHENSON HIGHWAY, THENCE SOUTH 01 DEGREE 48 MINUTES 25 SECONDS EAST ALONG SAID EASTERLY LINE 252.10 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
THE EASTERLY 40 FEET OF STEPHENSON HIGHWAY RIGHT OF WAY ADJACENT TO THAT PART OF THE SOUTHWEST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 11 EAST, DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 88 DEGREE 48 MINUTE 35 SECONDS WEST 544.34 FEET AND NORTH 01 DEGREE 48 MINUTES 25 SECONDS WEST 75.00 FEET FROM THE SOUTH 1/4 CORNER, THENCE NORTH 52 DEGREES 16 MINUTES 00 SECONDS EAST 265.16 FEET; THENCE NORTH 17 DEGREES 41 MINUTES 59 SECONDS EAST 106.98 FEET; THENCE SOUTH 08 DEGREES 02 MINUTES 22 SECONDS WEST 61.31 FEET; THENCE SOUTH 87 DEGREES 15 MINUTES 35 SECONDS WEST 180.99 FEET; THENCE SOUTH 01 DEGREES 48 MINUTES 25 SECONDS EAST 192.10 FEET TO THE BEGINNING

BENCHMARKS

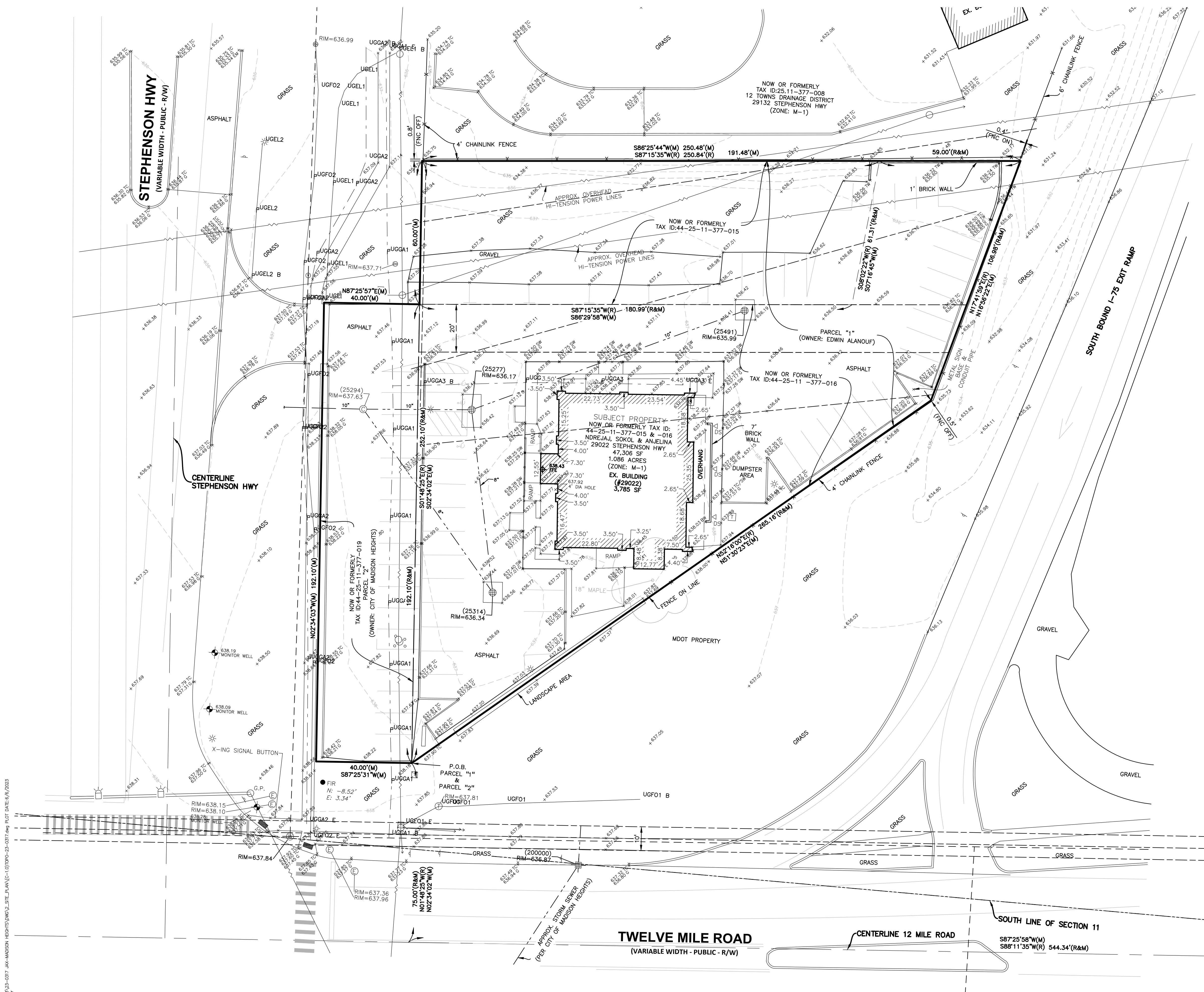
DATUM: NAVD88

BM A
TOP OF SOUTHEAST ANCHOR BOLT OF LIGHT POLE, 324+ NORTH OF CENTERLINE TWELVE MILE ROAD & 48+ EAST OF CENTERLINE STEPHENSON HWY.
ELEV. = 636.75

BM B
TOP OF NORTHEAST ANCHOR BOLT OF LIGHT POLE, 54+ NORTH OF CENTERLINE TWELVE MILE ROAD & 51+ EAST OF CENTERLINE STEPHENSON HWY.
ELEV. = 639.21

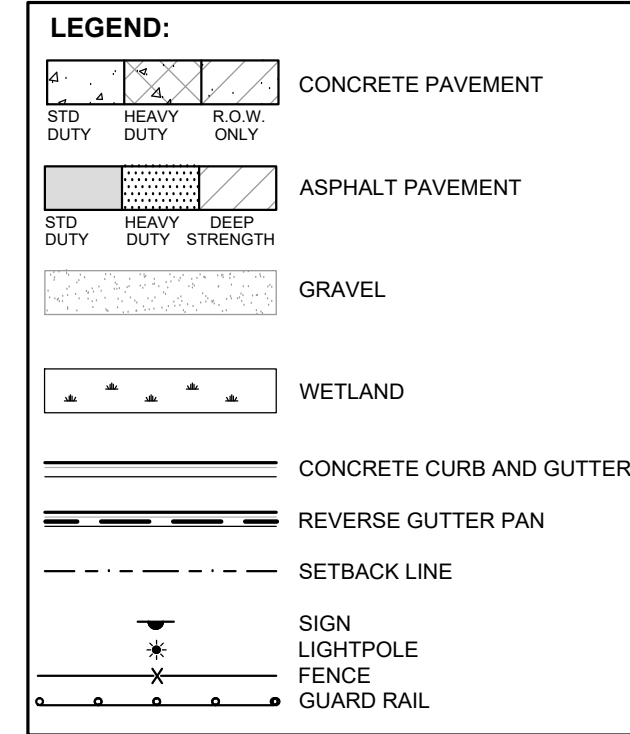
FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'; AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0563F DATED SEPTEMBER, 23, 2005.



S:\PROJECTS\2023\03-0317 JAX-CARWASH\DWG\2_SitePLAN(C-1.0)DWG-23-0317.dwg PLOT DATE: 6/1/2023
BY: JAX GROUP

NOT FOR CONSTRUCTION



GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

SITE DATA TABLE:

SITE AREA: 1.09 ACRES (47,299 SF.) NET AND GROSS

ZONING: B-3 "GENERAL BUSINESS" DISTRICT

PROPOSED USE: CAR WASH (6,200 SF)

BUILDING INFORMATION:

MAXIMUM ALLOWABLE BUILDING HEIGHT = 40 FT.(3 STORIES)

PROPOSED BUILDING HEIGHT = 1 STORY

BUILDING FOOTPRINT AREA = 6,200 SF.

BUILDING LOT COVERAGE = 13.1%

SETBACK REQUIREMENTS:

	REQUIRED	PROPOSED
FRONT (WEST)	5'	53.20'
SIDE (NORTH)	0'	92.26'
SIDE (EAST)	0'	58.49'
REAR (SOUTH)	20'	10"

*VARIANCE TO BE REQUESTED

PARKING CALCULATIONS:

RETAIL = 1 SPACE PER EACH EMPLOYEE PLUS TWO SPACES.

AUTO WASH = 3 EMPLOYEES * 1 SPACE PER EMPLOYEE+ 2 SPACES

TOTAL REQUIRED PARKING = 5 SPACES

TOTAL PROPOSED PARKING SPACES = 6 SPACES INC. 1 H/C SPACE

SITE SOILS INFORMATION:

ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:

UDORTENTS AND UDIPSAMMENTS, NEARLY LEVEL TO HILLY

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE P' (P)

CURB DROP (X)

REFER TO LATEST MDOT R-28

STANDARD RAMP AND DETECTABLE

WARNING DETAILS

SIGN LEGEND:

'STOP' SIGN (1)

'BARRIER FREE PARKING' SIGN (2)

'VAN ACCESSIBLE' SIGN (3)

'DO NOT ENTER' SIGN (4)

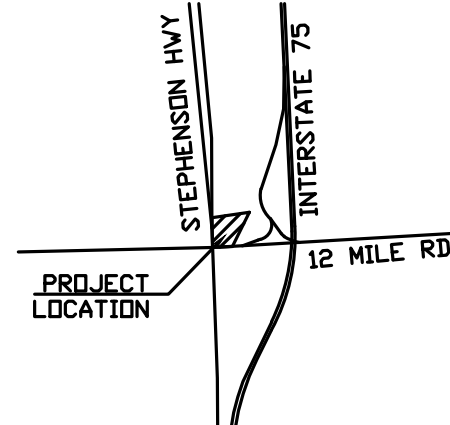
REFER TO DETAIL SHEET FOR SIGN DETAILS



0 10 20 40
SCALE: 1" = 20'



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

CUNNINGHAM LIMP COMPANY

28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE

JAX CAR WASH

29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS

OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:

DRAWING TITLE

**PRELIMINARY
SITE PLAN**

PEA JOB NO. 2023-0317

P.M. JPB

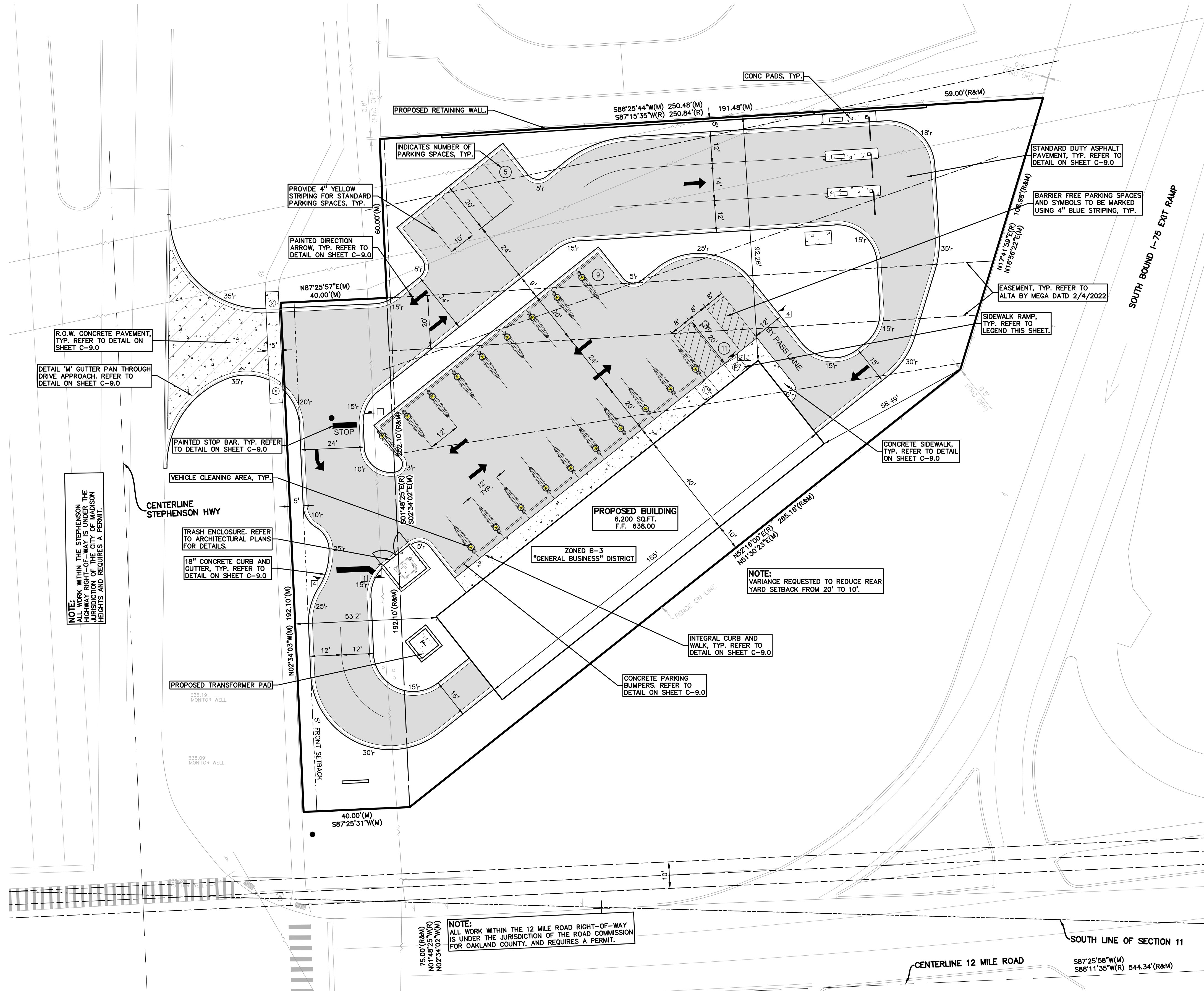
DN. JL

DES. KM

DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-3.0



SIDEWALK RAMP LEGEND:
SIDEWALK RAMP "TYPE P"
CURB DROP
REFER TO LATEST MDOT R-28
STANDARD RAMP AND DETECTABLE
WARNING DETAILS

GRADING LEGEND:
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION:
TYPICALLY TOP OF PAVEMENT
IN PAVED AREAS, GUTTER GRADE
IN CURB LINES.
EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED REVERSE GUTTER PAN
PROPOSED RIDGE LINE
PROPOSED SWALE/DITCH
ABBREVIATIONS
T/C = TOP OF CURB
T/P = TOP OF PAVEMENT
T/S = TOP OF SIDEWALK
T/W = TOP OF WALL
G = GUTTER GRADE
F.G. = FINISH GRADE
RIM = RIM ELEVATION
B/W = BOTTOM OF WALL
REFER TO GRADING NOTES ON SHEET C-9.0

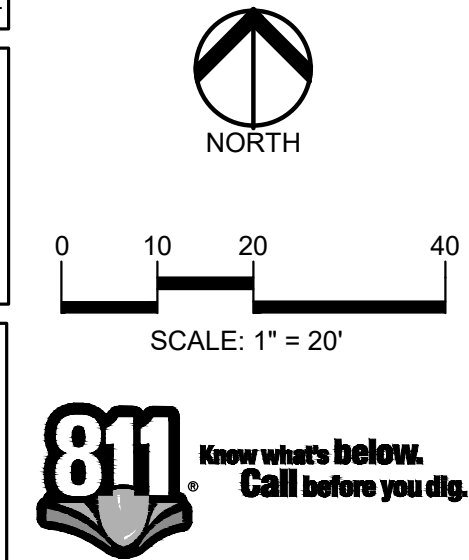
RETAINING WALL NOTE:
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE
THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING
WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

EARTHWORK BALANCING NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR
EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE
THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE
APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN
DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR
REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL
MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

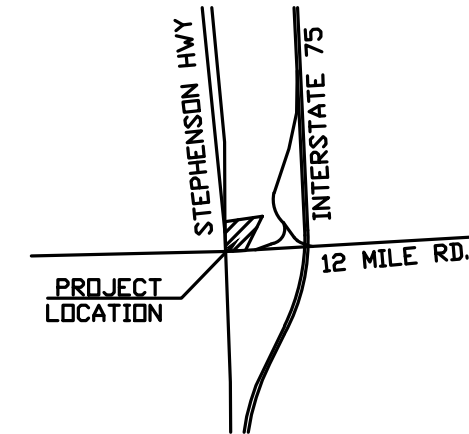
BENCHMARKS
(ENTER DATUM HERE)

BM A
TOP OF SOUTHEAST ANCHOR BOLT OF LIGHT POLE,
324'± NORTH OF CENTERLINE TWELVE MILE ROAD &
48'± EAST OF CENTERLINE STEPHENSON HWY.
ELEV. = 636.75

BM B
TOP OF NORTHEAST ANCHOR BOLT OF LIGHT POLE,
54'± NORTH OF CENTERLINE TWELVE MILE ROAD &
51'± EAST OF CENTERLINE STEPHENSON HWY.
ELEV. = 639.21



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND
UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY
APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS
PRIOR TO THE START OF CONSTRUCTION.



CLIENT
**CUNNINGHAM LIMP
COMPANY**
28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS
OWNER REVIEW 06/02/23

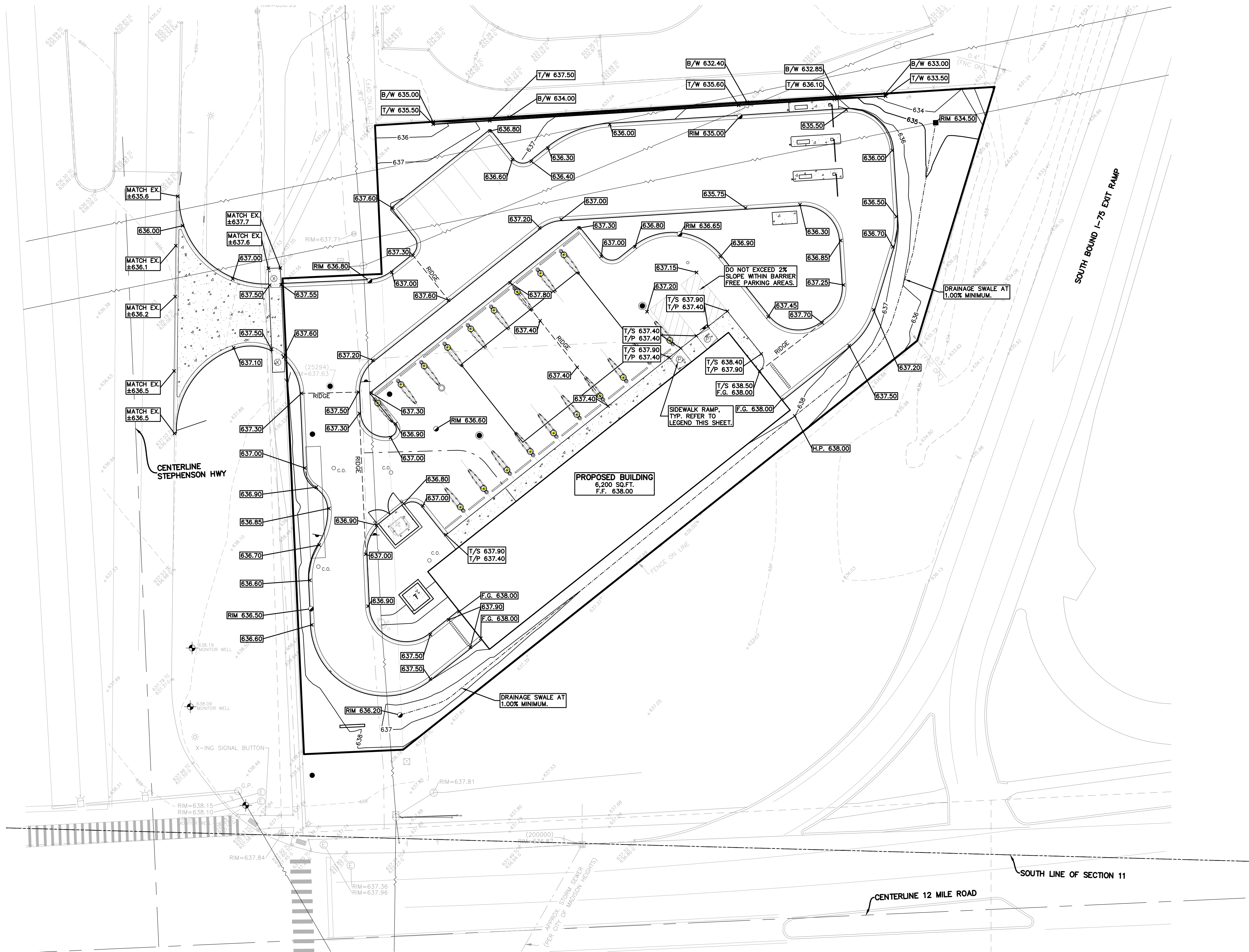
ORIGINAL ISSUE DATE:

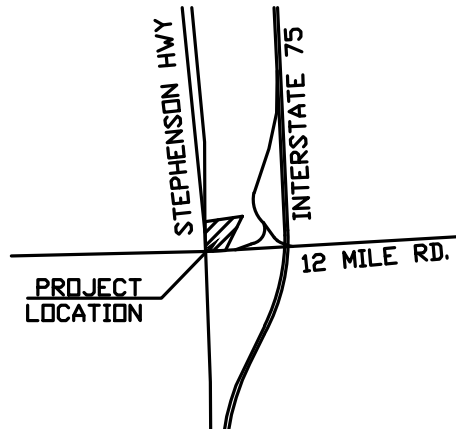
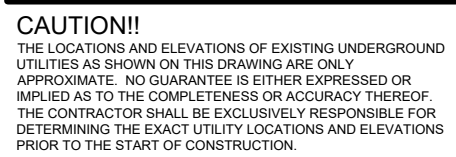
DRAWING TITLE
**PRELIMINARY
GRADING PLAN**

PEA JOB NO. 2023-0317
P.M. JPB
DN. JL
DES. KM
DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-4.0





CLIENT
**CUNNINGHAM LIMP
COMPANY**
28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



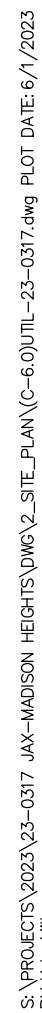
ORIGINAL ISSUE DATE:

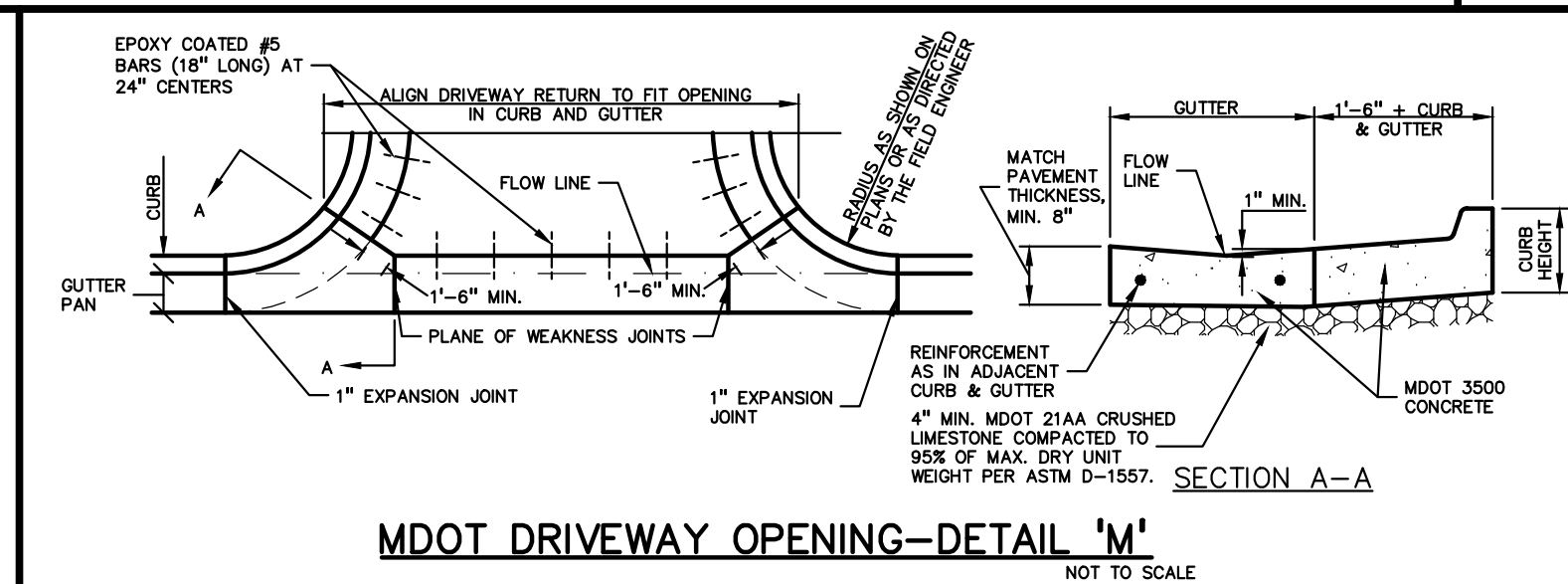
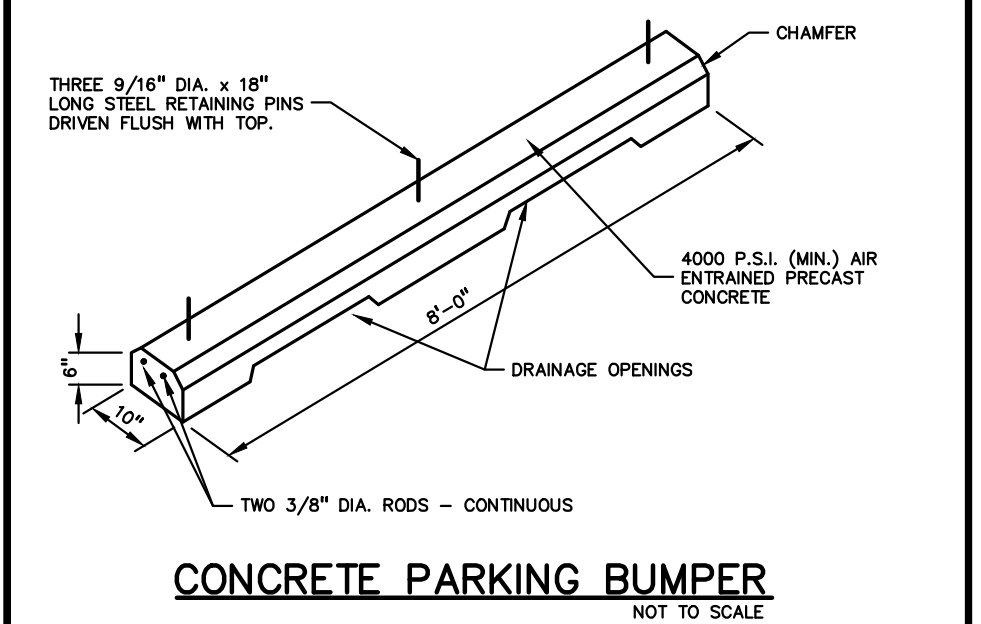
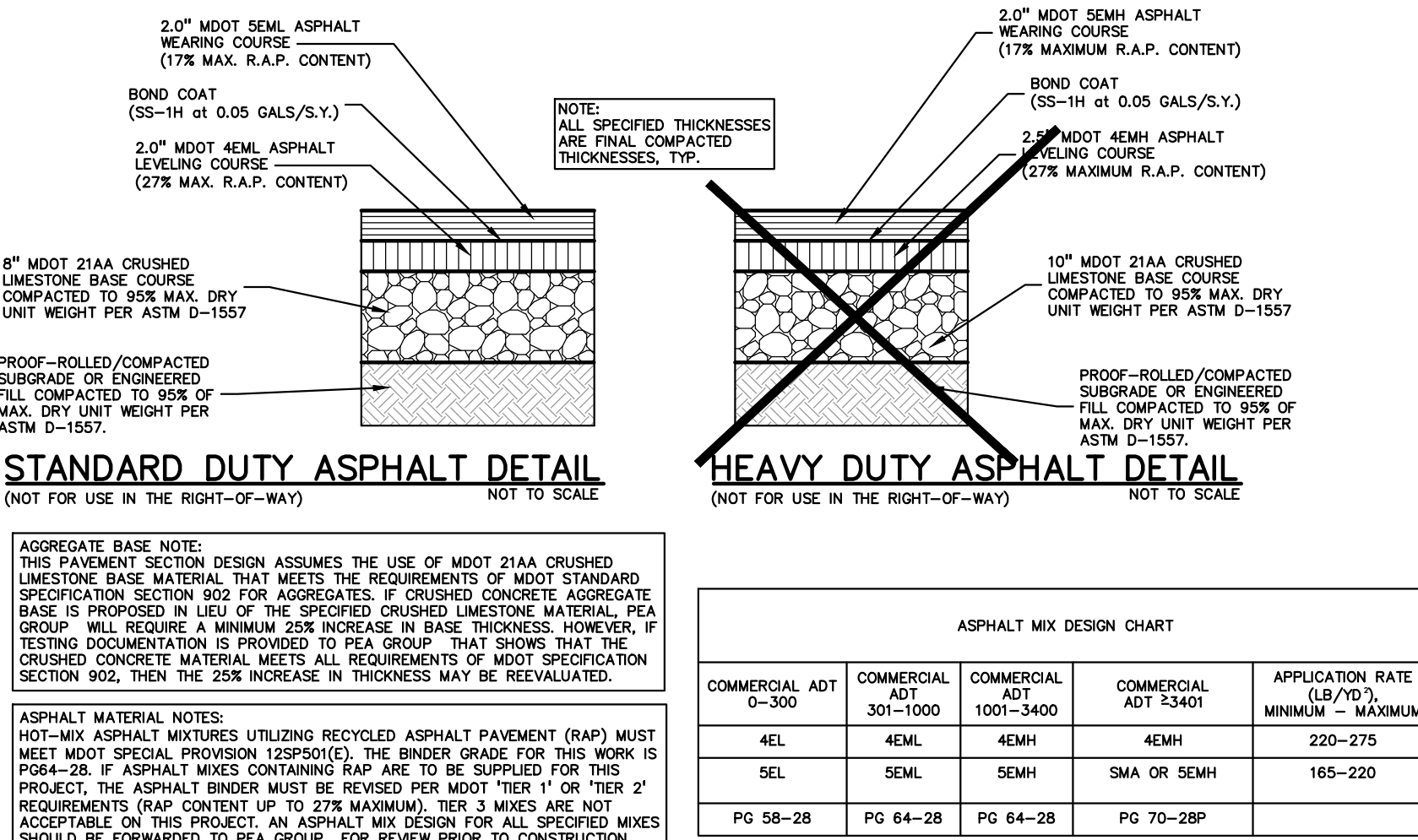
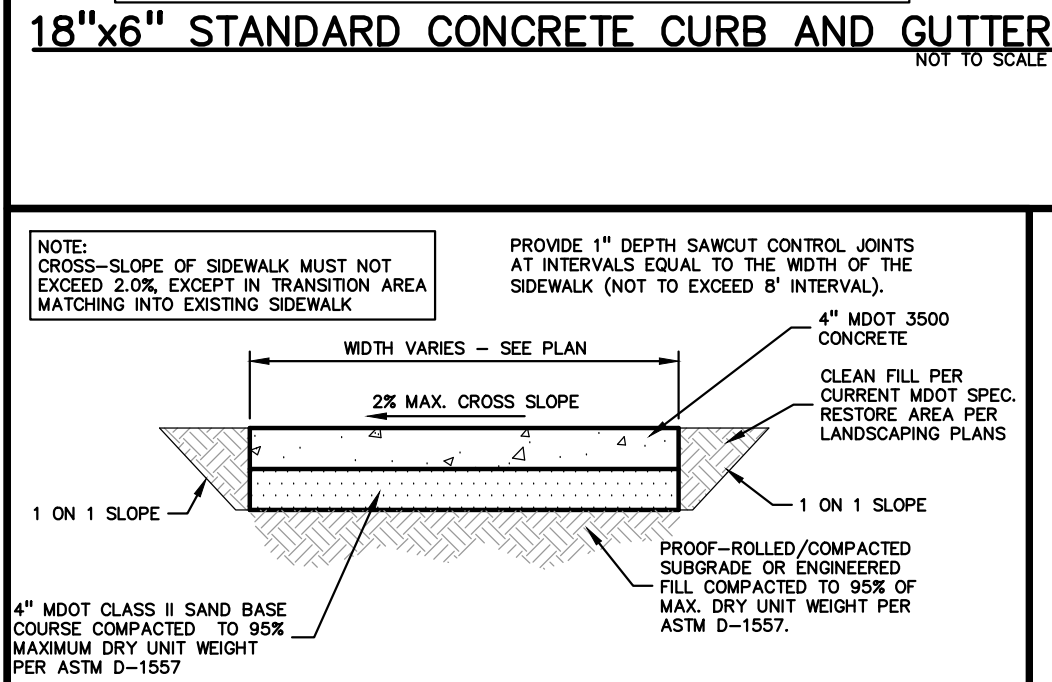
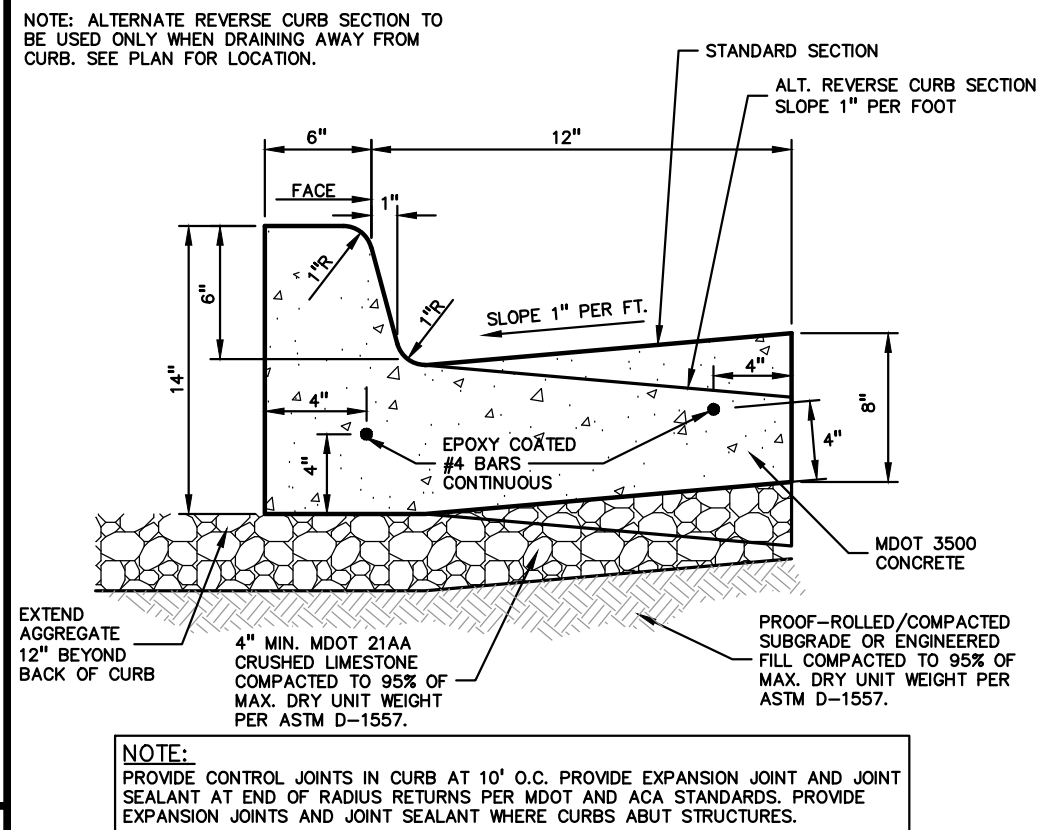
DRAWING TITLE

**PRELIMINARY
UTILITY PLAN**

PEA JOB NO.	2023-0317
P.M.	JPB
DN.	JL
DES.	KM
DRAWING NUMBER:	

C-6.0





OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE: _____

DRAWING TITLE

**NOTES AND
DETAILS**

EA JOB NO.	2023-0317
M.	JPB
N.	JL
ES.	KM
DRAWING NUMBER:	

NOT FOR CONSTRUCTION C-9.0

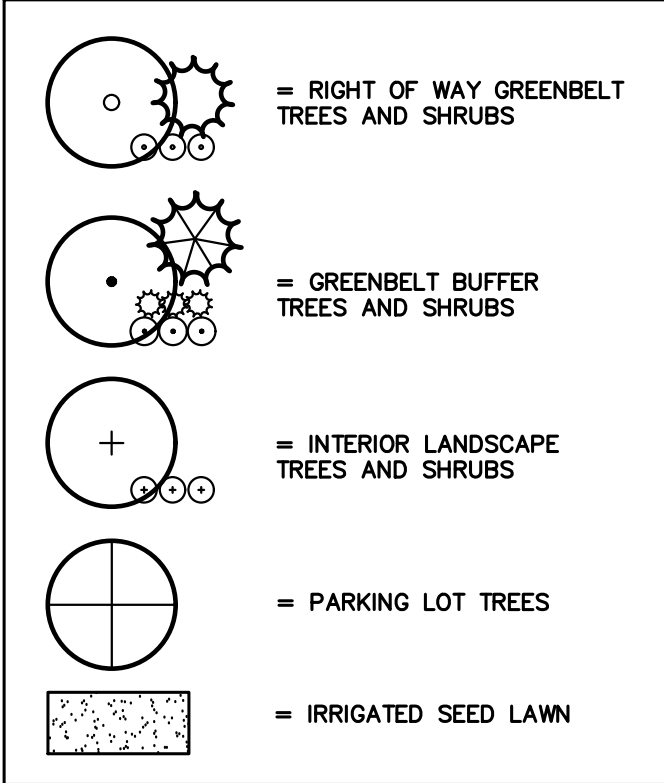
S:\PROJECTS\2023\03-2027 JAX-MADISON HEIGHTS\DWG\2_SITE_PLAN\J-10_LANDSCAPE PLAN-23-0317.dwg PLOT
DATE: 11/11/2025 10:59:59 AM
S:\PROJECTS\2023\03-2027 JAX-MADISON HEIGHTS\DWG\2_SITE_PLAN\J-10_LANDSCAPE PLAN-23-0317.dwg PLOT

Stephenson Highway

Twelve Mile Road

Interstate I-75

KEY



LANDSCAPE CALCULATIONS

PER CITY OF MADISON HEIGHTS ZONING ORDINANCE: ZONED B-3 GENERAL BUSINESS

RIGHT OF WAY GREENBELT LANDSCAPE

REQUIRED: 1 TREE AND 4 SHRUBS PER 30 LF

12 MILE RD: 177 LF / 30 LF = 5.9 TREES AND 23.6 SHRUBS
STEPHENSON HWY: 251.38 LF / 30 LF = 8.4 TREES AND 33.5 SHRUBS

PROVIDED:
12 MILE RD: 9 TREES AND 24 SHRUBS
STEPHENSON HWY: 9 TREES AND 34 SHRUBS
I-75 ADDITIONAL (NOT REQUIRED): 29 SHRUBS

GREENBELT BUFFER LANDSCAPE

REQUIRED: 1 TREE AND 4 SHRUBS PER 30 LF

NORTH PROPERTY LINE: 229.22 LF / 30 LF = 7.6 TREES AND 30.6 SHRUBS

PROVIDED:
NORTH PROPERTY LINE: 17 TREES AND 38 SHRUBS

INTERIOR LANDSCAPING

REQUIRED:
5% OF THE TOTAL IMPERVIOUS AREA (BUILDINGS AND PAVED AREAS).

ONE 2.5" DECIDUOUS TREE AND THEN ONE 2.5" DECIDUOUS TREE FOR EVERY ADDITIONAL 400 SF OF REQUIRED INTERIOR LANDSCAPE AREA
(2) 18" SHRUBS AND THEN (2) 18" SHRUBS FOR EVERY ADDITIONAL 400 SF OF REQUIRED INTERIOR LANDSCAPE AREA

IMPERVIOUS AREA: 32,570 SF
REQUIRED: 32,570 SF * 0.05 = 1,628.50 SF LANDSCAPE AREA
1 TREE + (1,628.5 SF / 400 SF INTERIOR LANDSCAPE AREA X 1 TREE) = 4.1 TREES
2 SHRUBS + (1,628.5 SF / 400 SF INTERIOR LANDSCAPE AREA X 2 SHRUBS) = 8.2 SHRUBS

PROVIDED:
14,672.77 SF LANDSCAPE AREA
7 TREES AND 9 SHRUBS

PARKING LOT LANDSCAPE

REQUIRED:
5 SF OF REQUIRED PARKING LOT LANDSCAPE PER PARKING SPACE AND ONE 2.5" DECIDUOUS TREE FOR EVERY 100 SF OF REQUIRED PARKING LOT LANDSCAPE. 25 PARKING SPACES x 5 SF = 125 SF OF REQUIRED PARKING LOT LANDSCAPE AND 125 / 100 = (1.25) 2 REQUIRED TREES.

PROVIDED:
125 SF LANDSCAPE AREA AND 3 TREE

TOTAL LANDSCAPE

REQUIRED:
30 TOTAL TREES
98 TOTAL SHRUBS

PROVIDED:
45 TOTAL TREES
173 TOTAL SHRUBS
128 TOTAL PERENNIALS

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AC8	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	8-10' Ht.	B&B
9	GB2.5	Fastigiate Ginkgo (columnar)	<i>Ginkgo biloba 'Fastigiata'</i>	2.5" Cal.	B&B
8	MC2	Coralburst Crab	<i>Malus 'Coralcole'</i>	2" Cal.	B&B
7	QG2.5	Skinny Genes Oak	<i>Quercus alba 'JFS-KW2QX' P.A.F.</i>	2.5" Cal.	B&B
4	TB2.5	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	2.5" Cal.	B&B
6	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
40		TOTAL DEC.			

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
2	PG8	White Spruce	<i>Picea glauca</i>	8' Ht.	B&B
5		TOTAL EVG.			

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
8	BR24	Royal Burgundy Barberry	<i>Berberis thunbergii 'Royal Burgundy'</i>	24" Ht.	Cont.
	BG24	Green Gem Boxwood	<i>Buxus x 'Green Gem'</i>	24" Ht.	Cont.
31	CA24	Hummingbird Summersweet	<i>Clethra alnifolia 'Hummingbird'</i>	24" Ht.	Cont.
17	CS36	Bergeson Compact Dogwood	<i>Cornus sericea 'Bergeson'</i>	36" Ht.	Cont.
19	PO30	Tiny Wine Ninebark	<i>Physocarpus opulifolius 'Tiny wine'</i>	30" Ht.	Cont.
34	RA24	Gro Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	24" Ht.	Cont.
18	SNF24	Neon Flash Spirea	<i>Spiraea japonica 'Neon Flash'</i>	24" Ht.	Cont.
25	TM24	Dense Yew	<i>Taxus x media 'Densiformis'</i>	24" Ht.	Cont.
9	TO6	Emerald Green Arborvitae	<i>Thuja occidentalis 'Smaragd'</i>	6'	B&B
161		TOTAL SHRUBS			

PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
30	CR	American Dream Coreopsis	<i>Coreopsis rosea 'American Dream'</i>	1 Gal.	Cont.
29	EP	Purple Cone Flower	<i>Echinacea purpurea 'Magnus'</i>	1 Gal.	Cont.
69	PV	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	1 Gal.	Cont.
128		TOTAL PER.			

PEA
GROUP

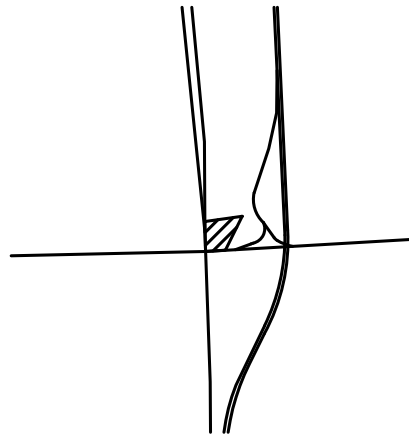
t: 844.813.2949
www.peagroup.com



0 10 20 40
SCALE: 1" = 20'



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

CUNNINGHAM LIMP COMPANY
28790 CABOT DRIVE SUITE 100
NOVI, MI 48077

PROJECT TITLE

JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS

OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:

DRAWING TITLE

LANDSCAPE PLAN

PEA JOB NO. 2023-0317

P.M. JPB

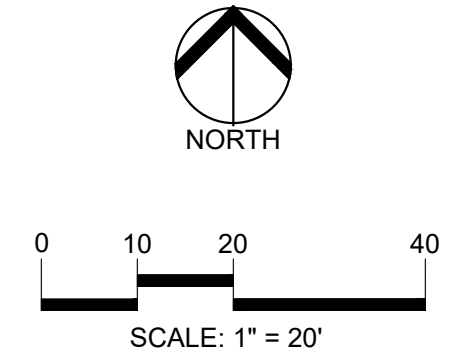
DN. BGG

DES. KAD

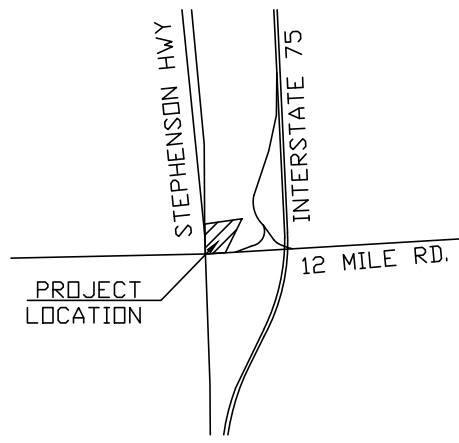
DRAWING NUMBER:

L-1.0

NOT FOR CONSTRUCTION



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
CUNNINGHAM LIMP COMPANY
28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



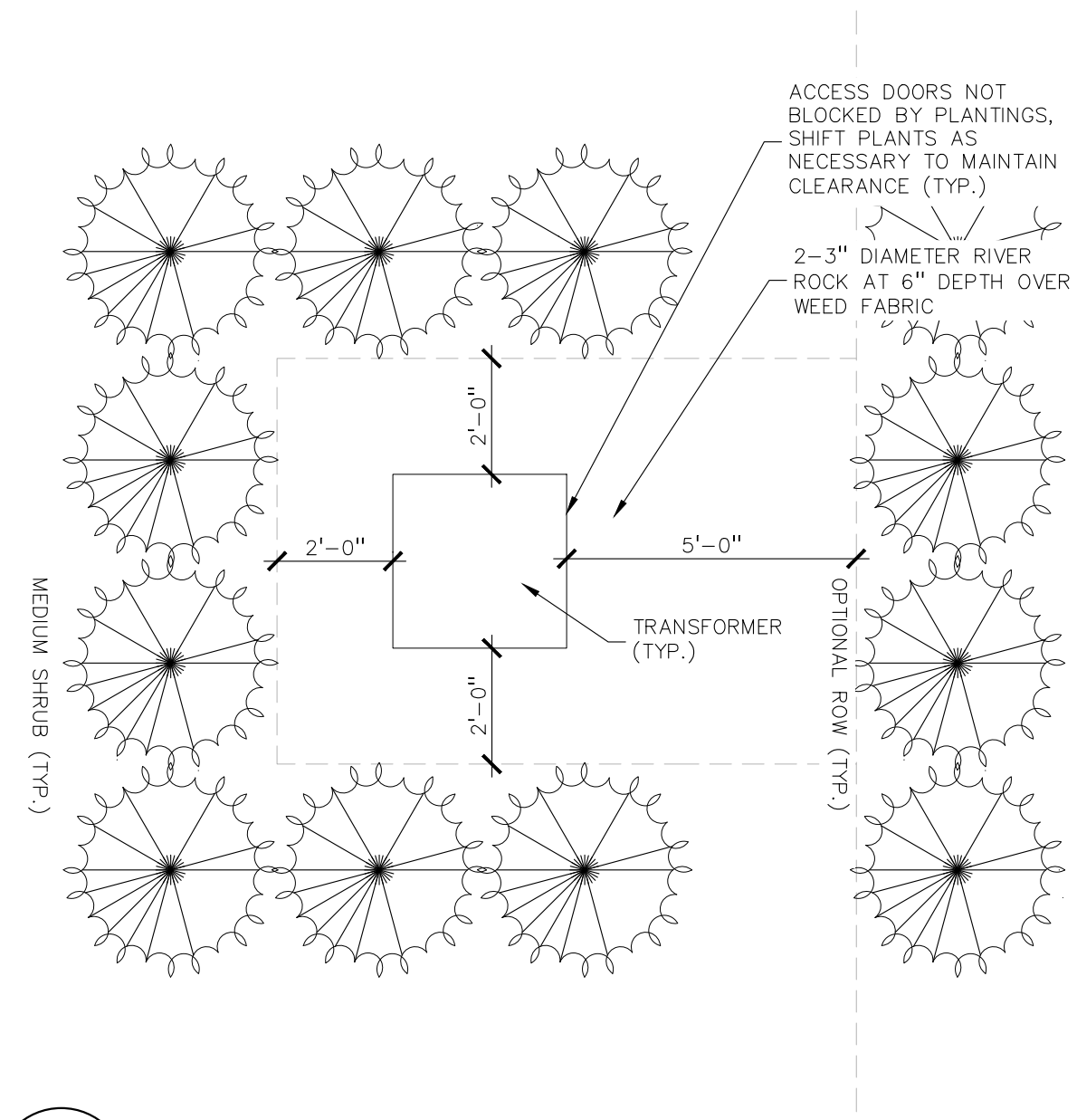
REVISIONS	
OWNER REVIEW	06/02/23

ORIGINAL ISSUE DATE:
-

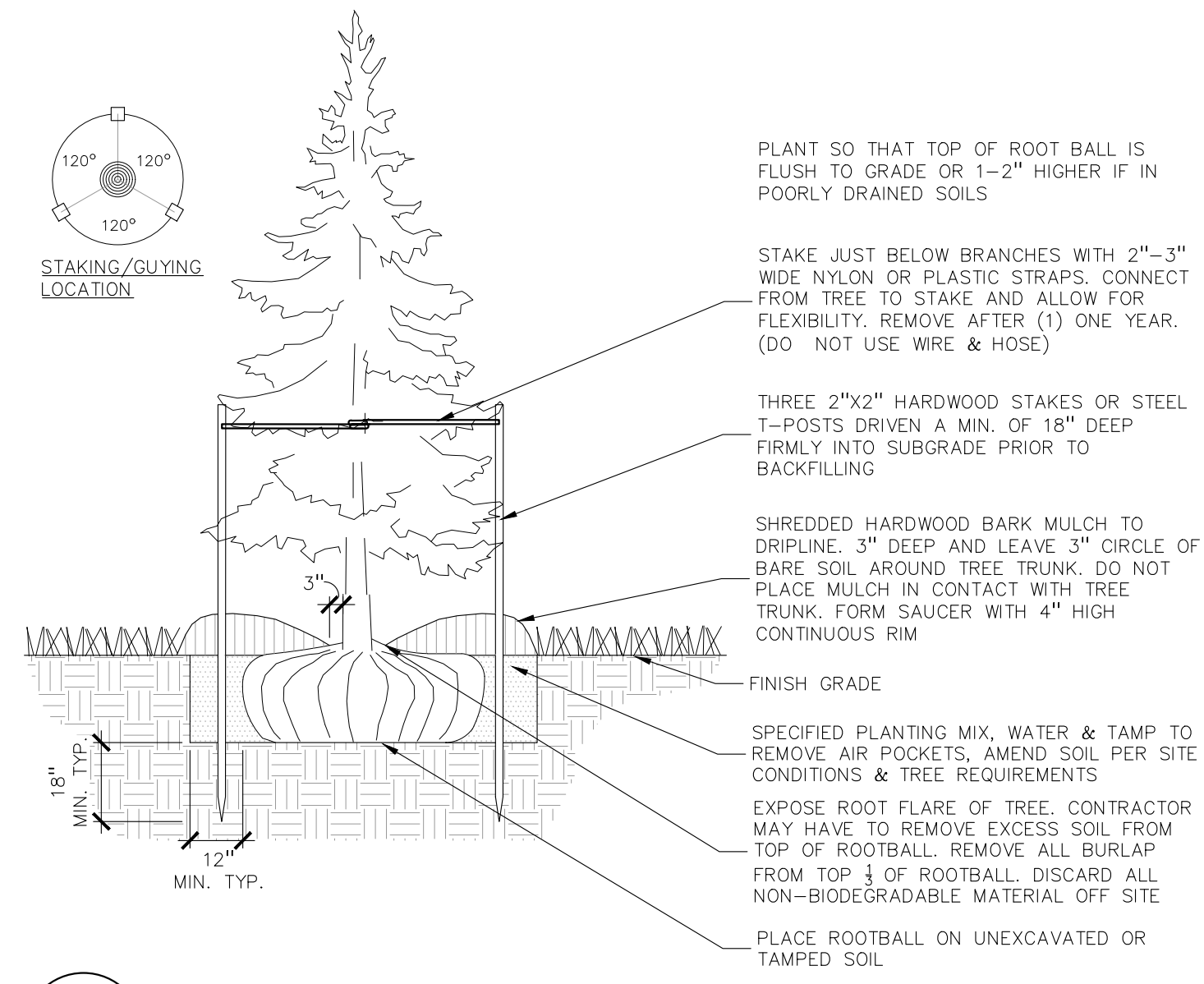
DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	2023-0317
P.M.	JPB
DN.	BGG
DES.	KAD
DRAWING NUMBER:	

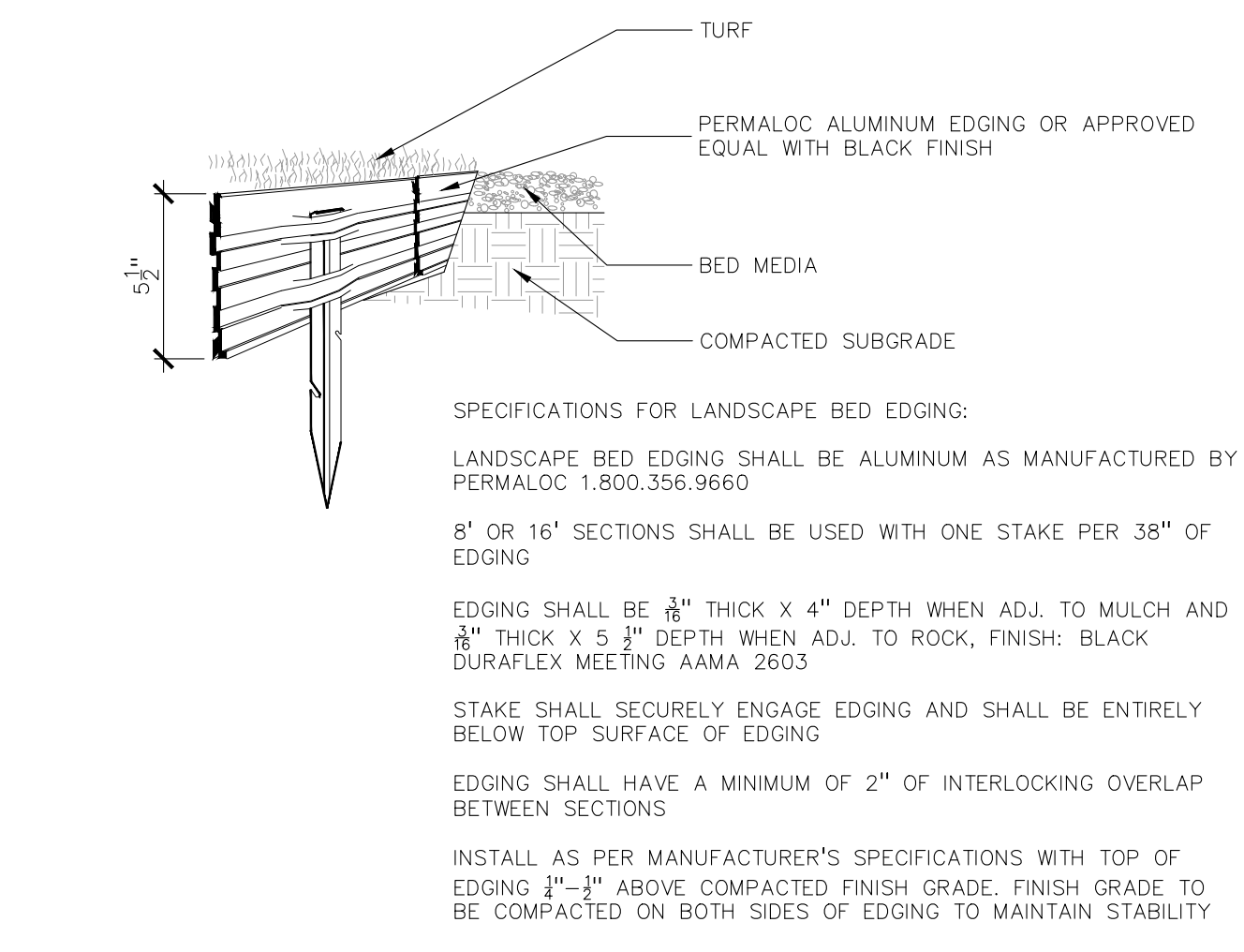
L-1.1



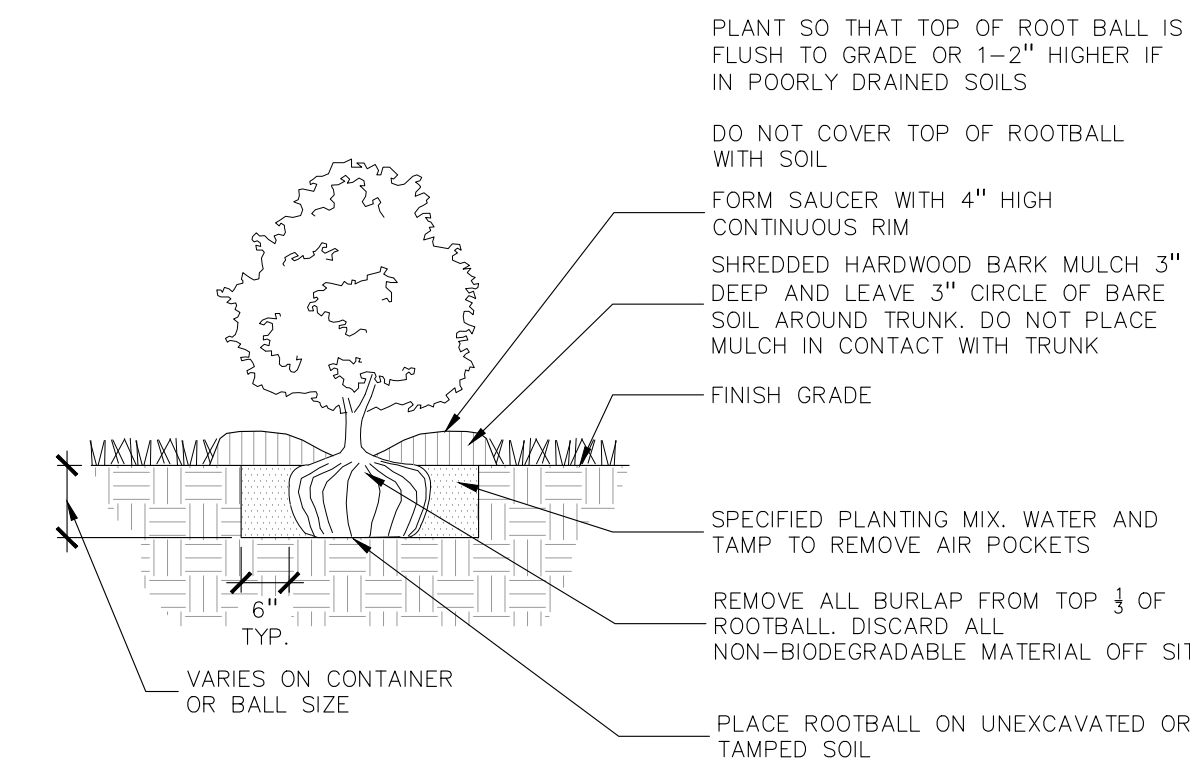
4 TRANSFORMER SCREENING DETAIL
SCALE: 1" = 3'-0"



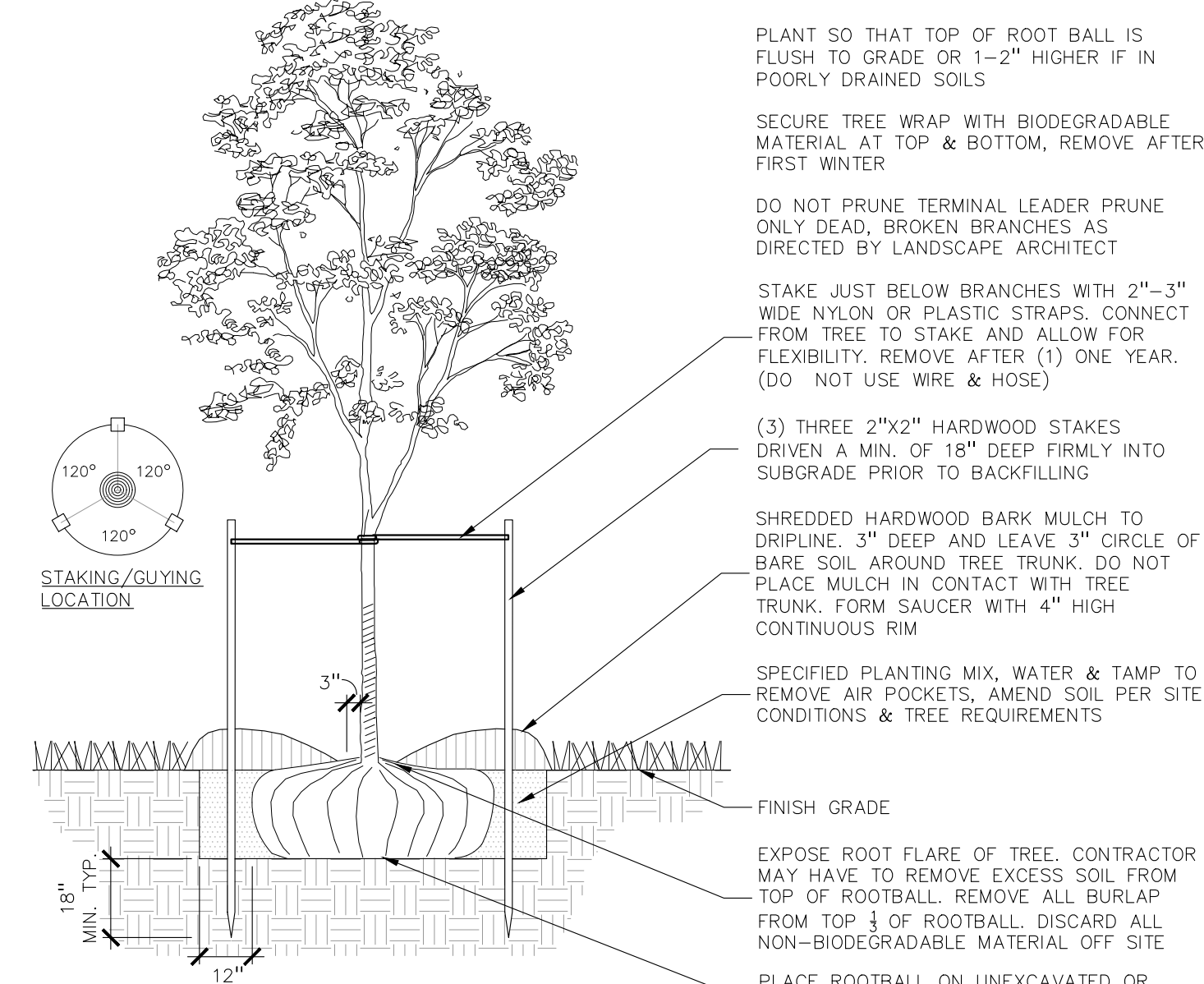
2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



5 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



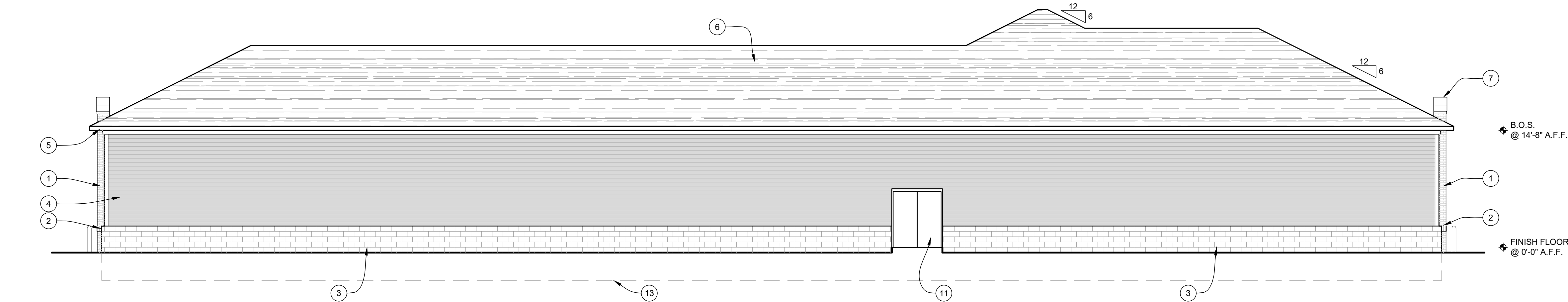
3 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

NOT FOR CONSTRUCTION

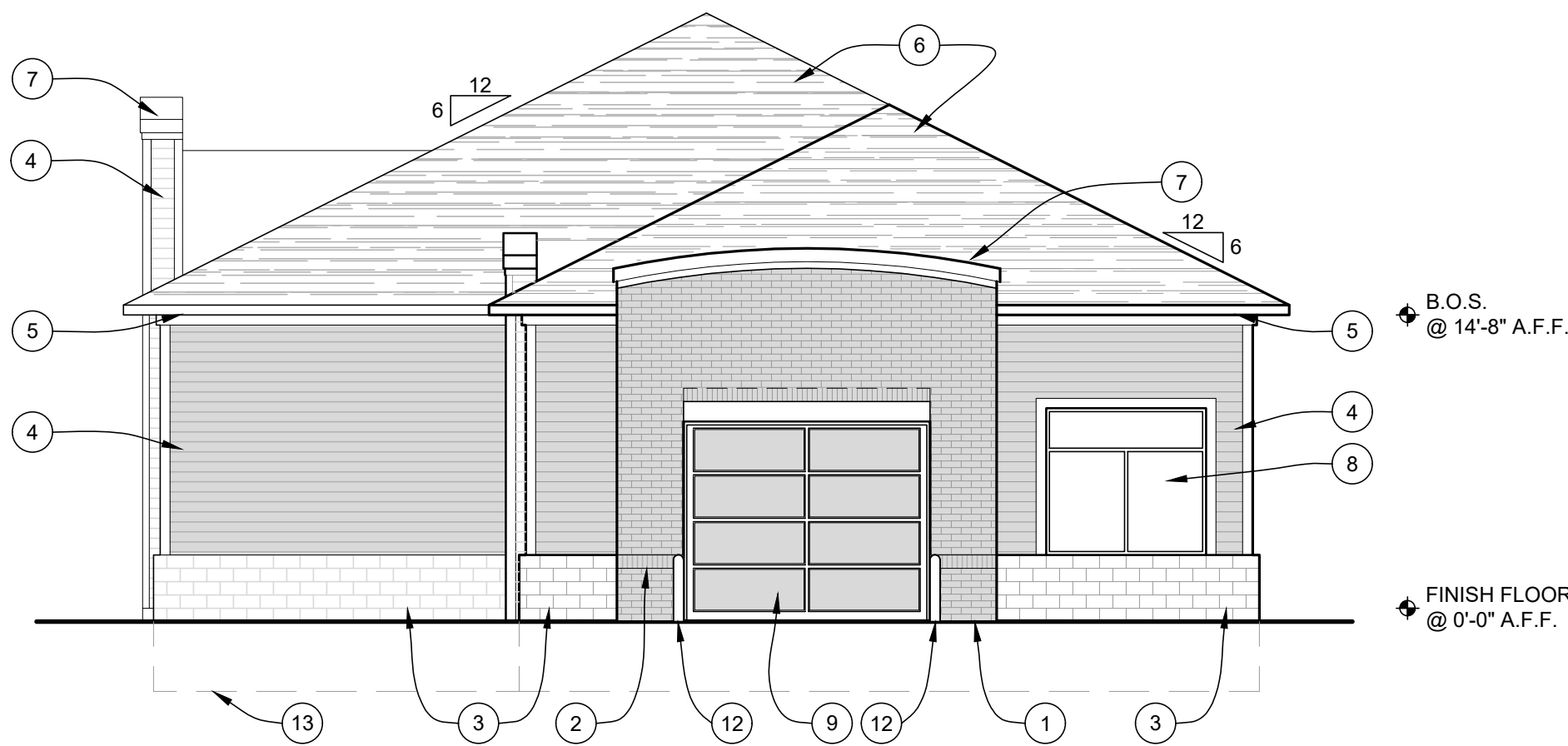
EXTERIOR MATERIAL SCHEDULE	
①	4" UTILITY BRICK
②	½" RECESSED BRICK SOLDIER COURSE
③	8" SPLIT-FACE CMU BLOCK
④	HORIZONTAL LAP SIDING W/ TRIM
⑤	1X6 FASCIA BOARD OVER 1X TRIM BOARD
⑥	ASPHALT SHINGLES
⑦	PRE-FINISHED METAL COPING
⑧	1" TINTED LOW 'E' INSUL. GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES.
⑨	12'W x 10'H GLASS SECTIONAL INSULATED OVERHEAD GRADE DOOR W/ MOTOR OPERATED OPENER & INSULATED
⑩	CLEAR ANOD. ALUM. ENTRY DOOR W/ TEMPERED GLASS
⑪	HOLLOW METAL DOOR & FRAME
⑫	6" DIA. CONC. FILLED STEEL GUARD POSTS
⑬	CONCRETE TRENCH FOOTING BELOW
⑭	DASHED LINE DENOTED PROPOSED SIGNAGE LOCATION
⑮	1" TINTED INSUL. SPANDREAL IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

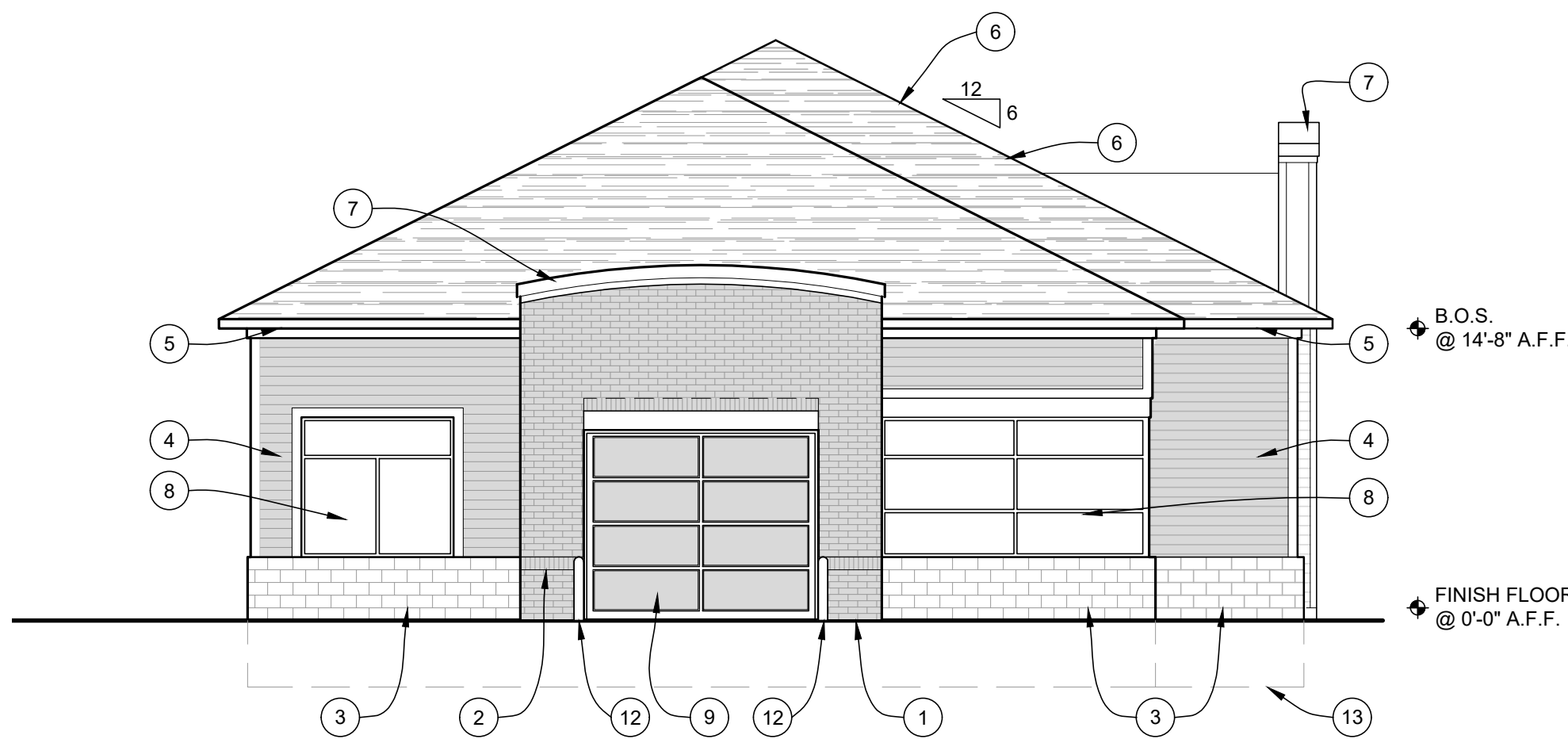
4



WEST ELEVATION

SCALE: 1/8" = 1'-0"

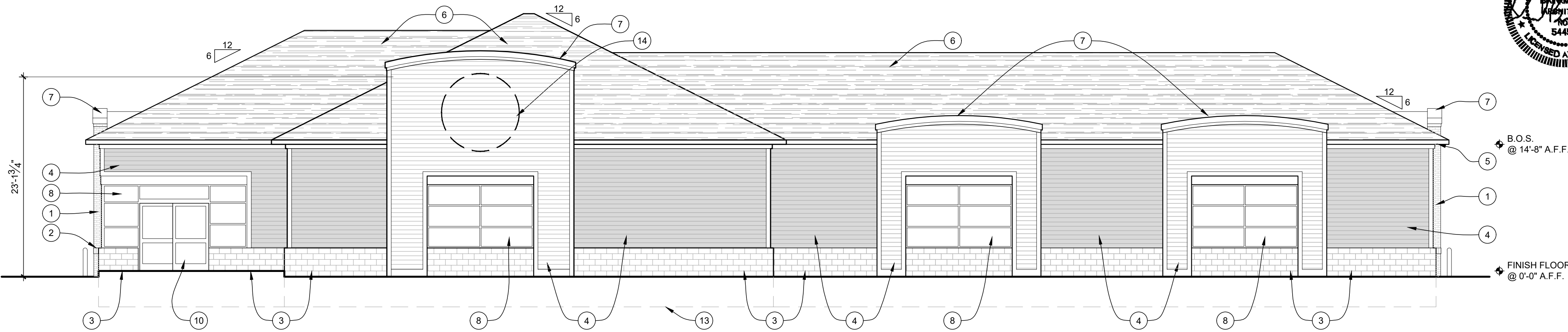
3



EAST ELEVATION

SCALE: 1/8" = 1'-0"

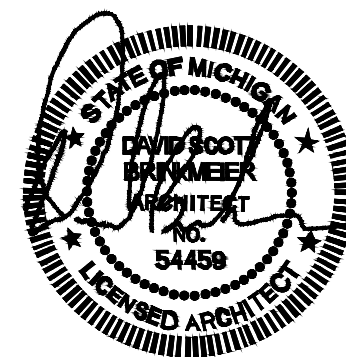
2



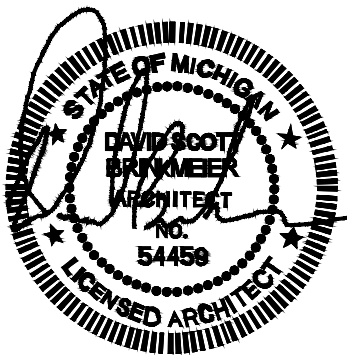
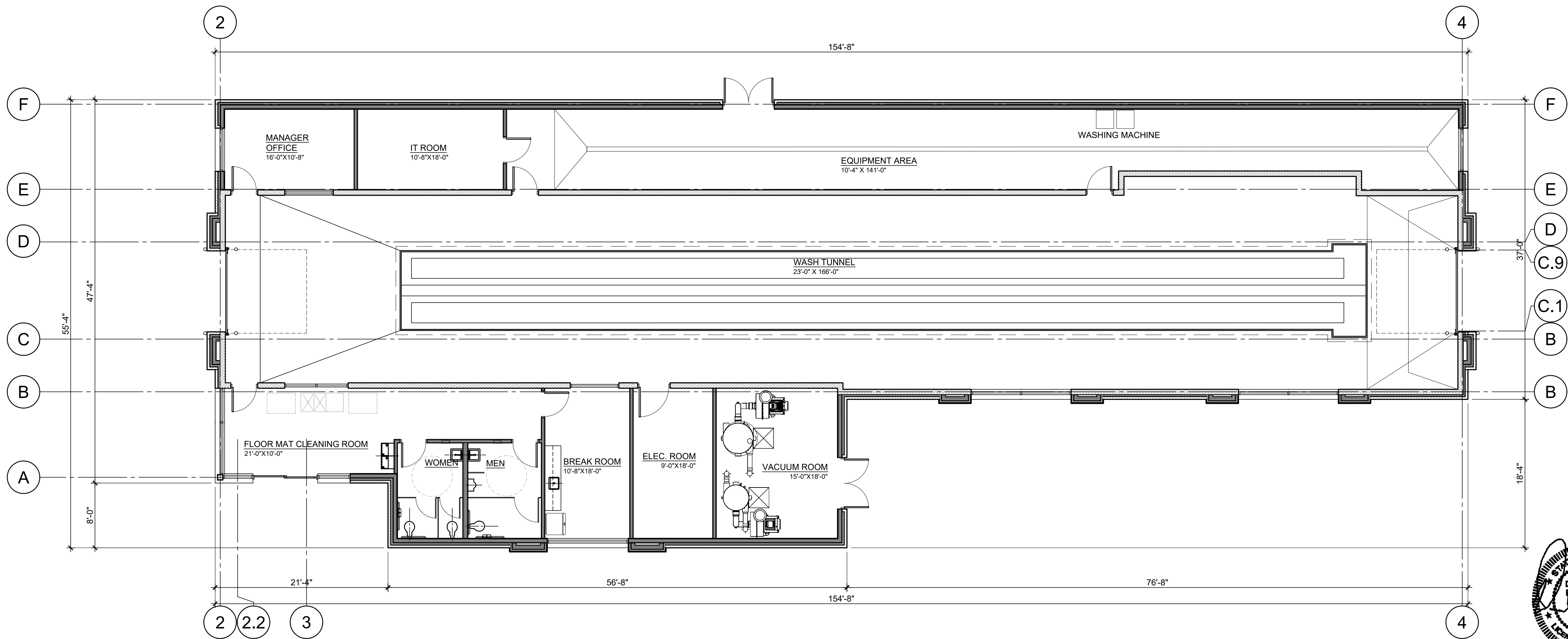
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

1



DATE:	ISSUED FOR:	PROJECT NUMBER:	SHEET NUMBER:
6-6-23	CITY SUBMITTAL	22109	PE-3



PRELIMINARY OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

ISSUED FOR:	
DATE:	6-9-23
CITY SUBMITTAL	
DRAWING DATE:	6-9-23
PROJECT NUMBER:	22109
SHEET NUMBER:	PFP-4



Proposed Exterior Renderings for:



Building Better Communities

F.A.studio
design to inspire

