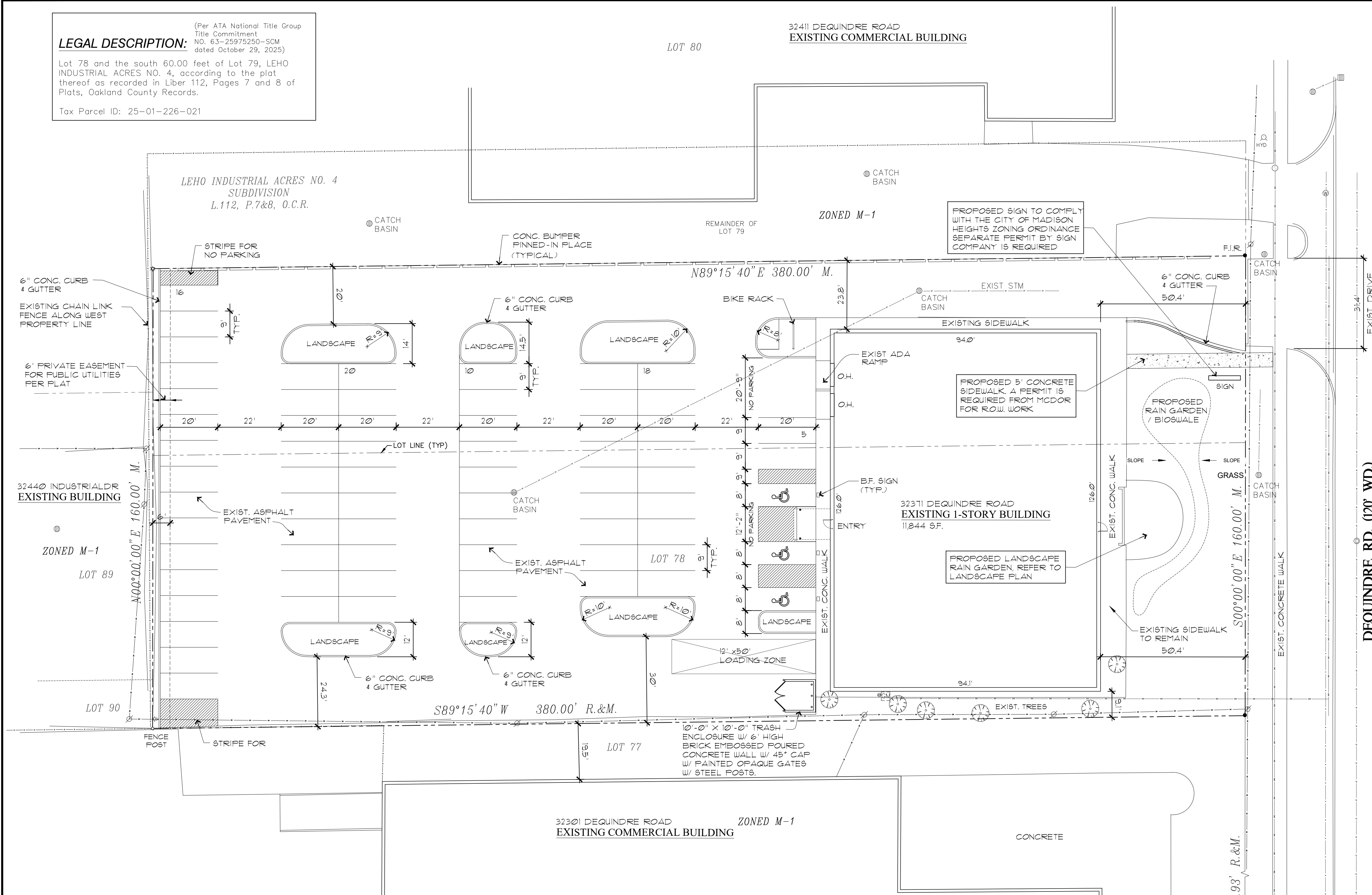


LEGAL DESCRIPTION:

Lot 78 and the south 60.00 feet of Lot 79, LEHO INDUSTRIAL ACRES NO. 4, according to the plat thereof as recorded in Liber 112, Pages 7 and 8 of Plats, Oakland County Records.

Tax Parcel ID: 25-01-226-021

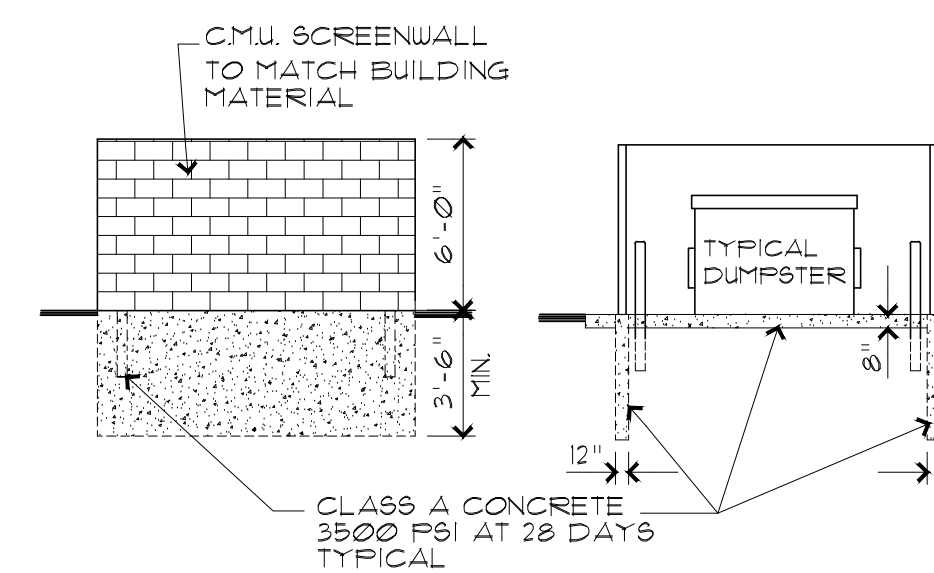
(Per ATA National Title Group
Title Commitment
NO. 63-25975250-SCM
dated October 29, 2025)



PROPOSED SITE PLAN

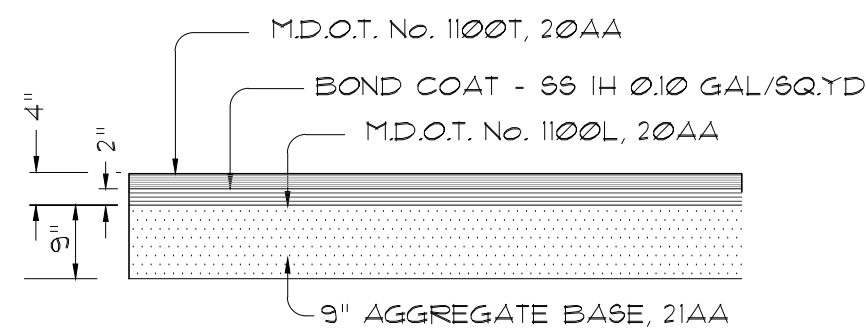
SCALE 1" = 20'

SITE PLAN REVIEW NOTES:
1- PROPERTY OWNER TO FIX/REPAIR EXISTING ASPHALT PAVEMENT WHERE REQUIRED.
2- NO NEW ACCESS AGREEMENT BETWEEN THE PROPERTY OWNER AND ADJACENT PROPERTY IS PROPOSED AT THIS TIME. ENTIRE PARKING LOT TO BE USED BY THE AUTO REPAIR BUSINESS



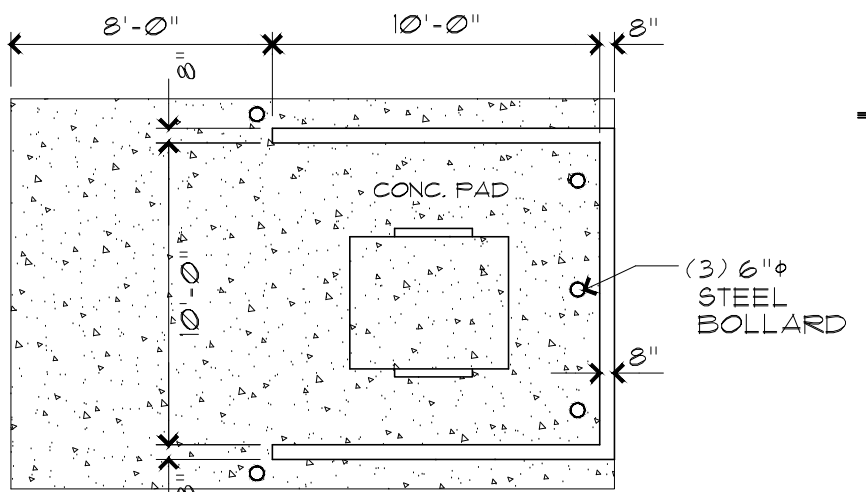
DUMPSTER ENCLOSURE DETAILS

SCALE: NONE



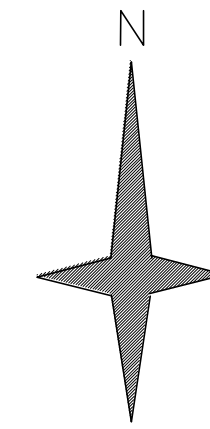
4" ASPHALT PAVING DETAIL

SCALE: NONE



BOLLARD DETAIL

NO SCALE



LOCATION MAP

SCALE: NONE

PROPOSED AUTO REPAIR

BUILDING CODE INFORMATION

GOVERNING CODE: (SECTION 105.1)
MICHIGAN BUILDING CODE 201521 & CITY OF MADISON HEIGHTS ZONING ORDINANCE
MICHIGAN BARRIER FREE - ICC/ANSI A117.1-2011
STATE OF MICHIGAN ELECTRICAL CODE NEC-2023
MICHIGAN MECHANICAL CODE (MMC-2021), MICHIGAN PLUMBING CODE (MPC-2021)
INTERNATIONAL FIRE CODE - 2024 (IFC-2024)

BUILDING USE & OCCUPANCY CLASSIFICATION (PER CHAPT. 03):
EXISTING USE: VACANT PROPERTY (OFFICE BUILDING), 'B' BUSINESS
PROPOSED USE: AUTO REPAIR SHOP, 'S-1' (STORAGE USE OCCUPANCY)
TENANT SPACE TO COMPLY WITH SECTIONS 302.1

EXISTING ZONING: M-1 (LIGHT INDUSTRIAL DISTRICT)

EXISTING BUILDING FLOOR AREA: 11,844 SF.

EXISTING BUILDING HEIGHT: 15'-4"

PROPOSED USE: AUTO REPAIR SERVICE SHOP W/ 6 SERVICE BAYS

SPECIAL LAND USE REQUIRED FROM CITY OF MADISON HEIGHTS PLANNING COMMISSION PER SECTION 306 OF THE ZONING ORDINANCE

SITE DATA :

EXISTING ZONING: M-1 (LIGHT INDUSTRIAL DISTRICT)

SITE AREA: 60,800 SF. = 1.4 ACRES

EXISTING USE: WAREHOUSE (OFFICE BUILDING)

PROPOSED USE: AUTO REPAIR SHOP

EXISTING BUILDING FLOOR AREA: 11,844 SF.

EXISTING BUILDING HEIGHT: VARIES (MAX. 24'-0")

LOT COVERAGE: 19.4%

BUILDING HEIGHT & SETBACKS: REQUIRED PROVIDED

FRONT SETBACK: (DEQUINDRE ROAD) 50' 50.5'

REAR SETBACK: 35' 235.5'

SIDE YARD SETBACK: 20' 23.8' & 9.1'

MAXIMUM HEIGHT: 40' 15'-4"

PARKING REQUIREMENTS:

1 PER 300 SQ. FT. OF USABLE FLOOR AREA PLUS 2 PER EACH SERVICE BAY

TOTAL BUILDING AREA = 11,844 SF.

USABLE FLOOR AREA = 5,600 SF.

TOTAL SERVICE BAYS = 6

REQUIRED PARKING SPACES: 5,600 / 300 + 2 x 6 = 31 SPACES

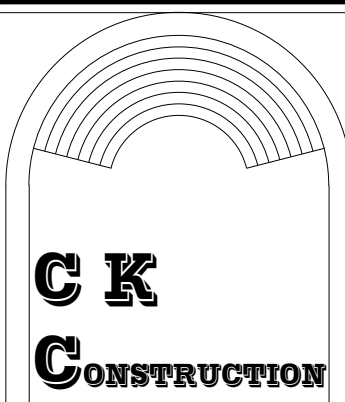
PARKING SPACES PROVIDED: 63 SPACES (INCLUDING (2) BARRIER FREE SPACES & (1) VAN ACCESSIBLE SPACE)

LOADING ZONE REQUIRED = 1

LOADING ZONE PROVIDED: 12'x50' SPACE

SITE PLAN GENERAL NOTES

1. MAINTAIN EXISTING DRIVE ON DEQUINDRE ROAD.
2. ALL EXISTING AND NEW LANDSCAPE MATERIALS TO BE MAINTAINED BY OWNER OF PROPERTY. ALL LANDSCAPED AREA SHALL BE IRRIGATED.
3. ALL LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED.
4. ALL SITE LIGHTING AND EXTERIOR BUILDING LIGHTING SHALL NOT SHINE ON THE RIGHT OF WAY & SHALL NOT ENCRUCH UPON ADJUTING PROPERTIES. THE LIGHT POLES SHALL BE NO HIGHER THAN 20 FT. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES.
5. ALL STORM SEWER & DRAIN SYSTEM ON SITE ARE EXISTING AND TO BE MAINTAINED BY OWNER. NO ADDITIONAL SITE DISCHARGE IS PROPOSED.
6. OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON SITE.
7. MAINTAIN EXISTING CONCRETE BUMPERS ON NORTH PROPERTY LINE. PROVIDE NEW CONCRETE BUMPERS FINNED-IN PLACE AS INDICATED TO CLOSE THE ACCESS BETWEEN THE EXISTING PROPERTY AND THE PROPERTY TO THE NORTH.
8. RE-STRIPE PARKING PER THE PROPOSED SITE PLAN.
9. SAWCUT ASPHALT PAVEMENT FOR NEW LANDSCAPE ISLANDS AS INDICATED, PATCH AND REPAIR ADJACENT AREA AS REQUIRED. GRADING TO MATCH EXISTING.
10. CONSTRUCT NEW 10'-0" X 10'-0" TRASH ENCLOSURE W/ 6" HIGH BRICK EMBOSSED POURED CONCRETE WALL W/ 45" CAP W/ PAINTED OPAQUE GATES W/ STEEL POSTS.
11. PROPOSED RAIN GARDEN / BIOSWALE PER THE CITY OF MADISON HEIGHTS ZONING ORDINANCE. REFER TO LANDSCAPE PLAN, SHEET LP-1.
12. PROVIDE BIKE RACK TO COMPLY W/ CITY OF MADISON HEIGHTS ZONING ORDINANCE.
13. EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY.



37525 HACKER DR
STERLING HEIGHTS, MI 48310
PH: (588) 707-0088
FAX: (248) 398-3822
E-mail: imadheriz@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	12/30/25
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED AUTO REPAIR
32371 DEQUINDRE ROAD
MADISON HEIGHTS, MI 48071

SEAL / SIGNATURE



DATE:

SITE PLAN

DRAWING TITLE:
FILE NAME: AUTO REPAIR

DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 11/29/2025

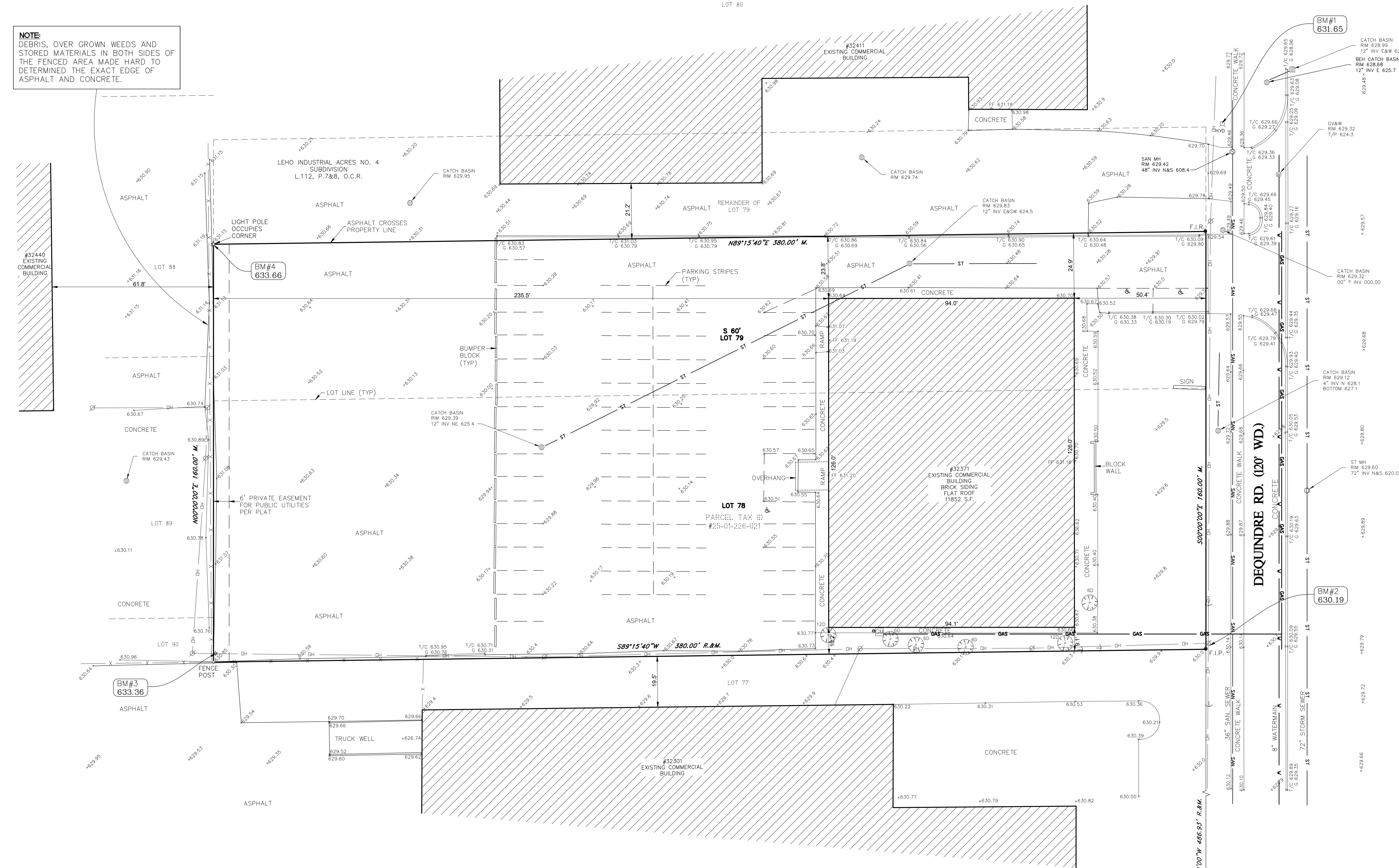
SHEET NO:

SP-1

BARRIER FREE PARKING SIGN

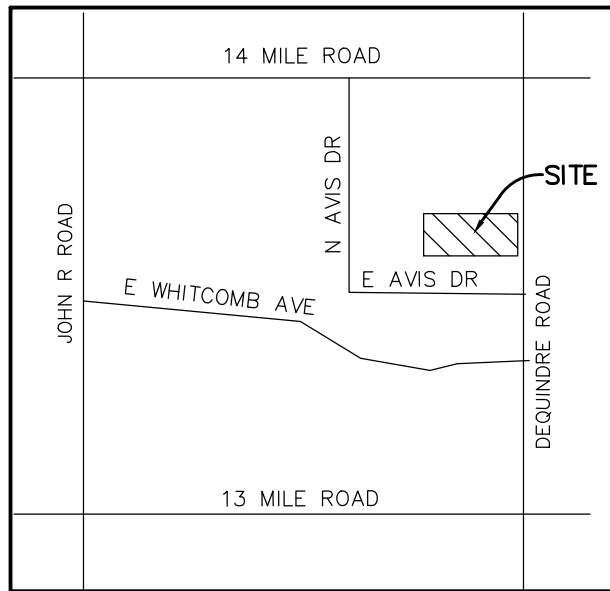
SCALE: NONE

NOTE:
DEBRIS, OVER GROWN WEEDS AND
STORED MATERIALS IN BOTH SIDES OF
THE FENCED AREA MADE HARD TO
DETERMINE THE EXACT EDGE OF
ASPHALT AND CONCRETE.



UTILITY NOTE:
ALL WATER MAIN, STORM SEWER, SANITARY
SEWER AND PUBLIC LIGHTING UTILITIES AS
SHOWN HEREON ARE TAKEN FROM THE BEST
AVAILABLE RECORDS AS DISCLOSED BY THE
VARIOUS UTILITY COMPANIES AND/OR
MUNICIPALITIES. NO GUARANTEE CAN BE GIVEN
BY US AS TO THE ACCURACY OR
COMPLETENESS THEREOF.

MISS DIG TICKET: 2025112000429-000



LOCATION MAP
NOT TO SCALE

LEGEND:

- R. — RECORD
- M. — MEASURED
- F.I.R. — FOUND IRON ROD
- F.I.P. — FOUND IRON PIPE
- 12D — 12" DECIDUOUS TREE
- 4C — 4" CONIFER TREE
- SAN. SEWER MANHOLE
- STORM SEWER MANHOLE
- CATCH BASIN
- CLEAN OUT
- UTILITY POLE
- GUY WIRE
- LIGHT POLE
- WATER VALVE
- FIRE HYDRANT
- GAS METER
- GATE VALVE & WELL
- FENCE LINE
- OVERHEAD UTILITY LINES
- ST — STORM SEWER LINE
- W — WATER LINE
- SAN — SANITARY SEWER LINE
- GAS — GAS LINE

SITE INFORMATION:

- ADDRESS: 32251 DEQUINDRE ROAD
- PARCEL ID NO.: 25-01-226-030
- ZONING: M-1 (LIGHT INDUSTRIAL)
- AREA OF PARCEL: 60797 S.F.
- MAXIMUM LOT COVERAGE: 30%
- MAXIMUM BUILDING HEIGHT: 40 FEET
- MINIMUM SETBACKS:
 - FRONT: 50.0 FEET
 - REAR: 25.0 FEET
 - SIDE: 20 FEET EACH SIDE

NOTE: ZONING INFORMATION ARE FROM CITY OF MADISON
HEIGHTS WEB SITE, PLEASE VERIFY INFORMATION WITH CITY
ZONING DEPARTMENT PRIOR TO DESIGN WORK.

BENCHMARK DATA, NAVD-88 DATUM:

BENCHMARK #1
ARROW ON HYDRANT WEST SIDE OF N. DEQUINDRE ROAD IN
FRONT OF BUILDING #32411.
ELEVATION 631.65

BENCHMARK #2
SET PK NAIL IN EAST FACE OF UTILITY POLE WEST SIDE OF
DEQUINDRE ROAD BY PROPERTY SOUTHEAST CORNER.
ELEVATION 630.19

BENCHMARK #3
NORTHEAST BOLT ON LIGHT POLE BY PROPERTY SOUTHWEST
CORNER.
ELEVATION 633.36

BENCHMARK #4
NORTHEAST BOLT ON LIGHT POLE BY PROPERTY NORTHWEST
CORNER.
ELEVATION 633.66

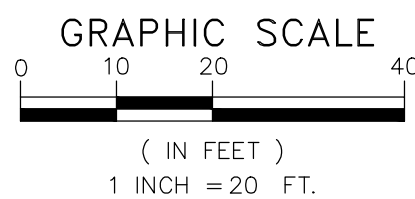
LEGAL DESCRIPTION:

Lot 78 and the south 60.00 feet of Lot 79, LEHO
INDUSTRIAL ACRES NO. 4, according to the plat
thereof as recorded in Liber 112, Pages 7 and 8 of
Plats, Oakland County Records.

Tax Parcel ID: 25-01-226-021

SURVEYOR'S CERTIFICATION

I HEREBY STATE THAT I HAVE SURVEYED THE LAND
HEREIN DESCRIBED AND THAT THIS MAP REPRESENT
THE RESULTS OF THE SURVEY.



STATE OF MICHIGAN
AYMAN A. TAMIMI
PROFESSIONAL SURVEYOR
NO. 4001055485
AYMAN TAMIMI, PS NO. 4001055485

SHT. NO.
ORDER NO. 25-083
FIELD BOOK 31/17
REF. #
DRAWING FILE NO.

REVISIONS

BY

DATE

A.T.

SURVEY BY

A.T.

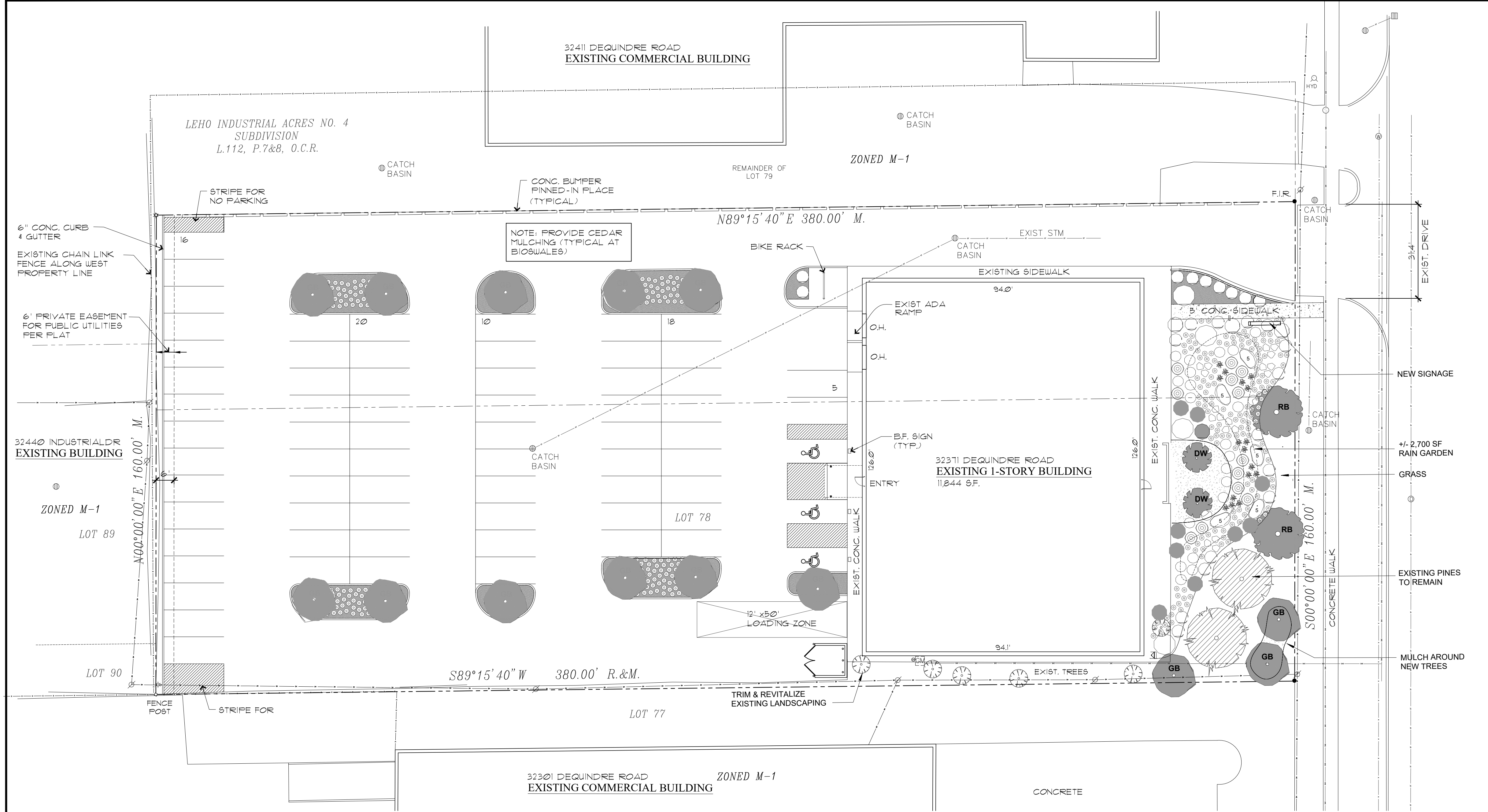
DRAWN BY

CHECKED BY

APPROVED BY

BOUNDARY AND TOPOGRAPHIC SURVEY
32371 DEQUINDRE ROAD, MADISON HEIGHTS, MI. 48071

LAND SPECIALISTS
LAND SURVEYORS
14064 LAKESIDE BLVD. N.
SUITE 100
MINNETONKA, MN 55345
www.landspc.com
DATE 11-23-2025
FOR STUVE SAKA



LANDSCAPE PLAN
SCALE 1" = 20'
NORTH

Remove Secondary Leaders. Do Not Prune Terminal Leader Or Branch Tips. Prune All Dead And Broken Branches.

Remove All Tags, Strings, Plastics, And Any Other Materials Which Are Unsightly Or Could Cause Grinding.

Stake Trees Just Below First Branch With 21-31 Wide Bell-Like Nylon Or Plastic Straps (Connect From Tree To Stake Opposite From Each Other, And Allow For Some "Flexing"). Do Not Use Wire Or Rope Through A Hole. Remove After One Year.

2"x2" Hardwood Stakes Or Equivalent Driven 6"-8" Outside Of Rootball. Remove After One Year.

Tree Wrap Secured With Biodegradable Material At Top And Bottom. Remove After First Winter.

Cover Planting With 4" Shredded Hardwood Bark Mulch. Leave 3" Circle Of Bare Soil Around Tree Trunk.

Remove All Non-Biodegradable Materials From The Rootball. Fold Down All Burlap From 1/3rd From The Top Of The Rootball. Amend Soil Per Site Conditions And Requirements Of The Tree.

Tree Planting Detail
SCALE: NONE

Stake All Evergreen Trees Under 12' Ht.

Guy All Evergreen Trees 12' Ht. And Over.

NYLON BANDING (Not Tight) Stakes Or Guys Shall Be Fastened 1/2 - 2/3 Up Trunk Of Tree.

Prune Only To Remove Broken Or Damaged Branches.

Plant So That Top Of Root Ball Is Even With The Finished Grade.

Remove Air Pockets.

Remove Top 1/3 Of Burlap From Tree Ball.

Hardwood Stakes 1-3 Stakes 2" x 2" Driven (Min. 18") Firmly Into Sub Grade Prior To Backfilling.

Evergreen Tree Planting Detail
SCALE: NONE

Note: Shrub Shall Bear Same Relation To Finish Grade As It did To Previously Existing Grade.

4" Mulch - As Specified.

Mounded Earth Saucer.

Remove Collar From Fiber Container And Puncture To Allow Root Growth - All Metal Containers.

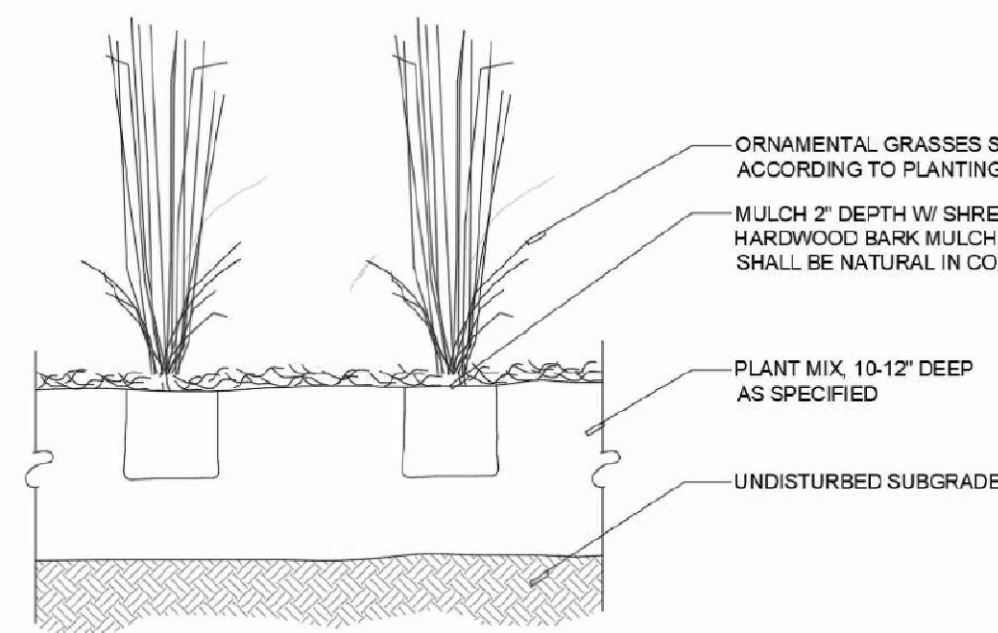
Removed Prior To Planting.

Planting Mixture.

Remove Burlap From Top 1/3 Of Burlap Ball (Balled & Burlap).

Scarify To 3' Depth.

Shrub Planting Detail
SCALE: NONE



Grass Planting Detail
SCALE: NONE

PLANT LEGEND

KEY	QTY.	BOTANICAL NAME	SIZE:	NOTES:
SHRUB	13	Forsythia 'Happy Centennial'	HEIGHT: 2' - 3' SPREAD: 3' - 3'	
	23	Betula x peltata 'Dwarf Birch - Cesky Gol'	HEIGHT: 2' - 4' SPREAD: 18" - 3'	
	12	Cornus sericea 'Farrow' 'Arctic Fire Red Dogwood'	HEIGHT: 3' - 4' SPREAD: 3' - 4'	
	5	Diervilla lonicera 'Bush Honeysuckle'	HEIGHT: 2' - 3' SPREAD: 2' - 4'	
NATIVE PERENNIALS	16	Asclepias incarnata 'Swamp Milkweed'	HEIGHT: 3' - 4' SPREAD: 2' - 3'	
	5	Iris versicolor 'Blue Flag Iris'	HEIGHT: 2' - 2.5' SPREAD: 2' - 2.5'	Clusters of 5 plants
	--	Carex vulpinoidea 'Fox Sedge'	HEIGHT: 1' - 3' SPREAD: 6' - 2'	Grid planting - Infill throughout low basin of bioswale
	--	Eragrostis spectabilis 'Purple Love Grass'	HEIGHT: 1' - 2' SPREAD: 1' - 2'	Grid planting - Infill along high banks of bioswale
TREES	16	Panicum virgatum 'Switchgrass'	HEIGHT: 3' - 3' SPREAD: 2' - 3'	
	18	Rudbeckia fulgida 'Black-Eyed Susan'	HEIGHT: 2' - 3' SPREAD: 2' - 2.5'	
	2	Betula nigra 'River Birch'	HEIGHT: 40' - 70' SPREAD: 40' - 60'	
	11	Ginkgo biloba	HEIGHT: 50' - 80' SPREAD: 30' - 40'	
	3	Cornus alternifolia 'Pagoda Dogwood'	HEIGHT: 15' - 25' SPREAD: 20' - 32'	Ornamental Tree

GENERAL LANDSCAPING NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTING AND RELATED WORK, CONTACT OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES: GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY MADISON HEIGHTS AND DESIGNER.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDWARK MULCH.
- DIG SHRUB PITS 1FT LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2FT LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4IN THICK BARK MULCH FOR TREES IN 4FT DIA. CIRCLE WITH 3IN PULLED AWAY FROM TRUNK. 4IN THICK BARK MULCH FOR SHRUBS AND 4IN THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
A. SHADE TREES.....5FT
B. ORNAMENTAL AND EVERGREEN TREES.....10FT
C. SHRUBS THAT ARE LESS THAN 1FT TALL.....2FT
D.
NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4IN OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.

PLANTING LANDSCAPE NOTES:

INTERIOR LANDSCAPING PLANTING REQUIREMENTS TO BE PROVIDE ALONG PARKING LOT

ASIDE FROM THE STORM WATER RETENTION VEGETATION, EXISTING NON-INVASIVE TREES TO BE SAVED TO BE HARMONIOUS WITH THE SITE.

PHYSICAL IMPROVEMENTS AND STREETSCAPE

LOCATED WITHIN RAIN GARDEN SHALL BE A SCULPTURE FOR SITE BEAUTIFICATION. THE SCULPTURE TO BE APPROVED BY THE CITY BEFORE INSTALLATION.

A BIKE RACK IS TO BE INSTALLED IN THE REAR OF THE BUILDING IN A DESIGNATED AREA.

ALL LANDSCAPING TO COMPLY WITH ZONING ORDINANCE AND WILL BE SPECIFIED IN FILL PERMIT DOCUMENTS

LAWN AREA:

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDROSEEDING WITH LOW-GROW LAWN SEE MIX, AT A RATE OF 5LB / 1,000 SF. IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED.

SEED AVAILABLE FROM: NATIVESCAPES, LLC

MIX IS COMPRISED OF:

- 22.8% PENNLAWN RED RESCUE
- 22.5% CREEPING RED FESCUE
- 21.7% CHEWINGS FESCUE
- 11.8% VICTORY II CHEWINGS FESCUE
- 9.8% SPARTAN HEAD FESCUE
- 9.9% AZAY SHEEPS FESCUE

LANDSCAPING CALCULATIONS:

PER CITY OF MADISON HEIGHTS ZONING ORDINANCE: ARTICLE 11

FRONTAGE LANDSCAPING:

PER SECTION 11.06

- DECIDUOUS OR EVERGREEN TREE = 1/40 LF OF ROAD FRONTAGE = 130 LF / 40 = 4 TREES

- ORNAMENTAL TREE (FLOWERING) = 1/100 LF OF ROAD FRONTAGE = 130 LF / 100 = 2 TREES

- SHRUBS = 1/5 LF OF ROAD FRONTAGE = 130 LF / 5 = 26 SHRUBS

PARKING LOT LANDSCAPING:

PER SECTION 11.06

REQUIRED LANDSCAPING = (77 SPACES) 5 SF = 385 SF = 2,132 SF

- DECIDUOUS CANOPY TREES = 1 / 100SF of required parking lot landscaping area = 3

INTERIOR LANDSCAPING:

MIN INTERIOR LANDSCAPING AREA = 5% of total impervious area

- BUILDING AREA = 12,050 SF

- PARKING + DRIVE = 37,845 SF

- SIDEWALKS = 2,369 SF

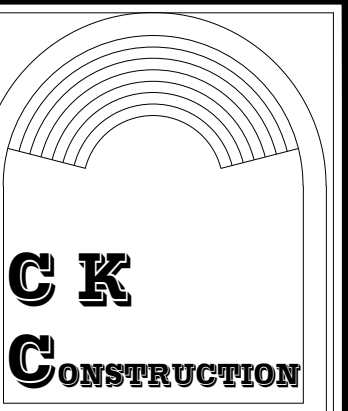
= 52,064 SF

= (52,064 SF) 0.05 = 2,603.20 SF

= 10,456.17 SF

- DECIDUOUS TREES = 1 + 1/400 SF of required interior landscaping area = 1 + 7 = 8 TREES

- SHRUBS = 2 + 2/400 SF of required interior landscaping area = 2 + 14 = 16 SHRUBS



37525 HACKER DR
STERLING HEIGHTS, MI 48310
PH: (586) 707-0880
FAX: (248) 398-3822
E-mail: imadheriz@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	12/30/25
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED AUTO REPAIR
32371 DEQUINDRE ROAD
MADISON HEIGHTS, MI 48071

SEAL / SIGNATURE



DATE

LANDSCAPE PLAN

DRAWING TITLE:
LANDSCAPE PLAN

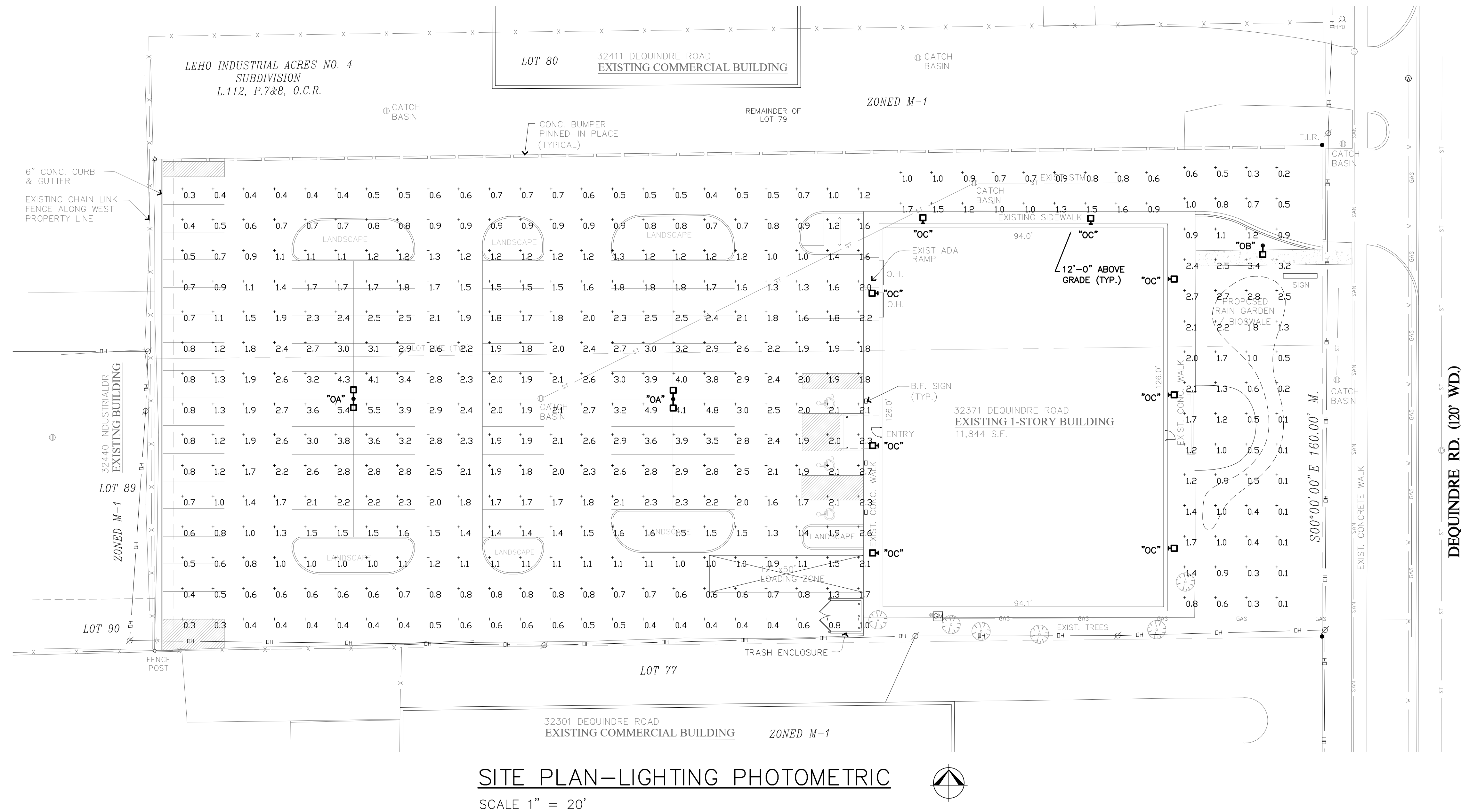
DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 11/28/2025

SHEET NO:

LP-1

PROJECT NO.: 025-11

FILE NAME: AUTO REPAIR



SITE PLAN-LIGHTING PHOTOMETRIC

SCALE 1" = 20'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BEHIND BUILDING	+	1.1 fc	3.4 fc	0.1 fc	34.0:1	11.0:1
NORTH SIDE OF BUILDING	+	1.1 fc	1.7 fc	0.6 fc	2.8:1	1.8:1
PARKING LOT & SITE	+	1.6 fc	5.5 fc	0.3 fc	18.3:1	5.3:1

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	"OA"	2	DSX0 LED P6 50K T5W-MVOLT	DSX0 LED P6 50K T5W MVOLT	LED	2	16675	0.89	268
	"OB"	1	DSX0 LED P1 50K T4M-MVOLT	DSX0 LED P1 50K T4M MVOLT	LED	1	4670	0.89	38
	"OC"	8	WDGE2 LED P2 50K 80CRI T3M	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 5000K, 80CRI, TYPE 3 MEDIUM OPTIC	LED	1	2038	0.89	18.9

ELECTRICAL SHEET INDEX	
SHEET NUMBER	DESCRIPTION
ES-1	SITE PLAN - LIGHTING PHOTOMETRICS
ES-2	LIGHTING CUT SHEETS



37525 HACKER DR
STERLING HEIGHTS, MI 48310
PH: (584) 707-0090
FAX: (248) 398-3822
E-mail: inadhermiz@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	01/11/26
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED AUTO REPAIR
32371 DEQUINDRE ROAD
MADISON HEIGHTS, MI 48071



DRAWING TITLE:
SITE PLAN-LIGHTING PHOTOMETRIC

PROJECT NO.: 025-11

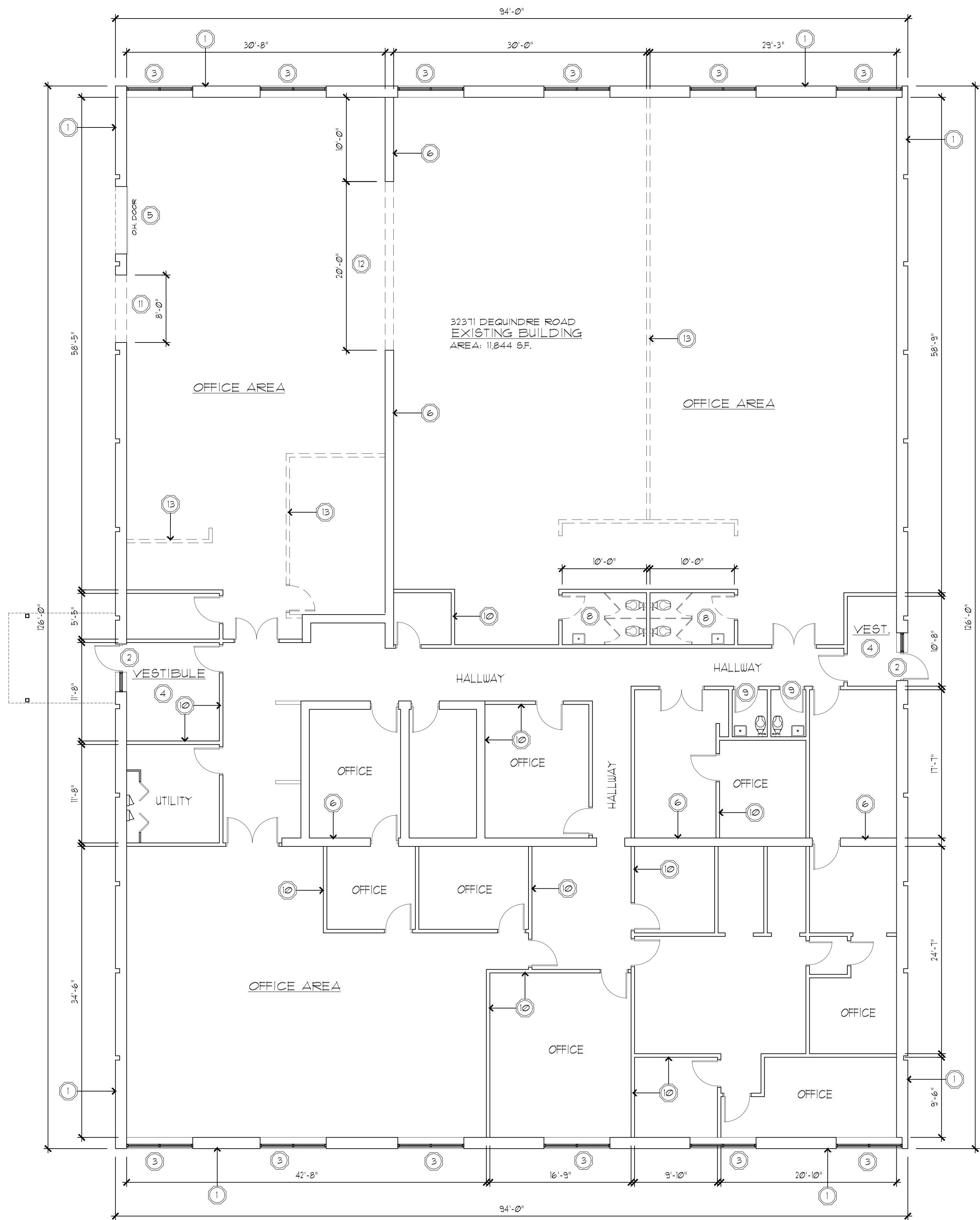
FILE NAME: AUTO REPAIR

DRAWN BY: S.D.
CHECKED BY: S.D.
DATE: 01/11/26

SHEET NO:
ES-1

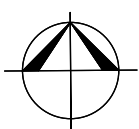
WDGE2 LED
Rev. 04/02/25

ES-2



EXISTING / DEMO FLOOR PLAN

SCALE: 1/8" = 1'

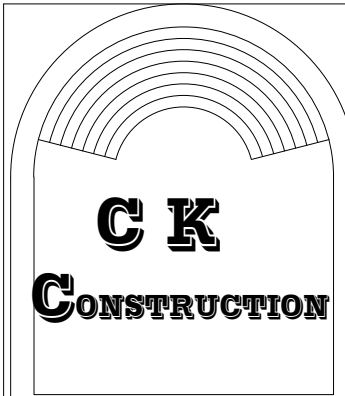


GENERAL CONSTRUCTION NOTES:

- THE SUB CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND ASSUME FULL / SUBCONTRACTOR RESPONSIBILITY FOR VISUAL OBSERVATION OF EXISTING CONDITIONS. DURING THE VISIT THE CONTRACTOR SHALL RELATE THE PROPOSED FLOOR PLANS TO THE EXISTING SPACE CONDITIONS AND BE FAMILIAR WITH THE AREAS WHERE WORK WILL BE PERFORMED. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IF ANY, PRIOR TO SUBMITTING THE BID AND START OF CONSTRUCTION.
- THE SUB CONTRACTOR SHALL ACCEPT THE SITE IN THE CONDITION IN WHICH IT EXISTS AT THE TIME OF THE CONTRACT AWARD. ALL EXCLUSIONS SHALL BE MADE ON THE BID PROPOSAL AND SUBMITTED TO THE OWNER FOR REVIEW.
- THE SUB CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE DRAWINGS AND HEREINAFTER SPECIFIED.
- LAYOUT OF THE WORK, LOCATION OF REFERENCES AND DIMENSIONS PER PLANS AND COORDINATE LOCATION OF ALL CHASES, OPENINGS, DUCTS, LINES, CONDUITS, FIXTURES AND EQUIPMENT.
- TEMPORARY PARTITIONS, DUST PROTECTORS, ENCLOSING OF OPENINGS, RAMPS AND CAT WALKS AS REQUIRED BY OSHA FOR SAFETY.
- PROVIDE AND INSTALL 2x7 WD DRAFT STOPPING AND FIRE STOPPING WHERE REQUIRED BY THE BUILDING INSPECTOR, NOT NECESSARILY INDICATED ON THE PLANS AND DETAILS. A 4" COMPRESSIBLE MINERAL WOOL OR GLASS FIBER PRODUCT MAY BE USED IN LIEU OF WOOD BLOCKING MATERIAL, FIRE CAULK AT ALL PENETRATIONS.
- NO ALLOWANCE SHALL BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OF FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS OF THE SPACE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, GUESTS, OR OTHER WORK BEING PERFORMED NEAR THE SITE.
- THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- MAINTAIN SAFE CONSTRUCTION ACCESS TO THE WORK AREA AT ALL TIMES AND POST WARNING SIGNS AT ALL PEDESTRIAN TRAVEL PATHS.
- ALL ASSOCIATED ELECTRICAL, PLUMBING, ETC. TO BE DEMOLISHED SHALL BE DISCONNECTED AND REMOVED TO THE SOURCE.
- EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY.

FLOOR PLAN REFERENCE NOTES:

- EXISTING EXTERIOR WALL CONSTRUCTION: FACE BRICK ON CMU. WALL TO REMAIN.
- EXISTING GLASS ALUMINUM DOOR AND SIDE WINDOW IN ANODIZED ALUMINUM FRAME TO REMAIN.
- EXISTING GLASS WINDOW IN ANODIZED ALUMINUM FRAME TO REMAIN.
- EXISTING VESTIBULE TO REMAIN.
- EXISTING OVERHEAD DOOR AND FRAME.
- EXISTING DEMISING WALL: 1 HOUR RATED CMU. WALL.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- EXISTING RESTROOMS AND FIXTURES TO BE MODIFIED. REMOVE EXISTING NON-COMPLIANT FIXTURES AND PARTITIONS. REMOVE EXISTING NON-COMPLIANT DOOR AND FRAME. FOR NEW RESTROOMS LAYOUT, REFER TO PROPOSED FLOOR PLAN.
- EXISTING PRIVATE RESTROOMS TO REMAIN.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- SAWCUT EXISTING MASONRY WALL FOR NEW OVERHANG DOOR OPENING. INSTALL NEW OVERHANG DOOR AND FRAME TO MATCH EXISTING. PATCH AND REPAIR ADJACENT AREA AS REQUIRED. REFER TO PROPOSED FLOOR PLAN, SHEET A02.
- SAWCUT EXISTING LOAD BEARING MASONRY WALL FOR NEW SERVICE AREA OPENING AS INDICATED. PATCH AND REPAIR ADJACENT WALL AREA AS REQUIRED. PROVIDE STEEL BEAM LINTEL. REFER TO PROPOSED FLOOR PLAN, SHEET A02.
- DEMOLISH AND REMOVE FROM JOBSITE EXISTING DRYWALL CONSTRUCTION (SHOWN DASHED). PATCH AND REPAIR ADJACENT AREA AS REQUIRED.
- FOR NEW AUTO REPAIR SHOP LAYOUT, REFER TO PROPOSED FLOOR PLAN, SHEET A02.



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DESIGNED BY:
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REVISIONS:

1-	SITE PLAN	12/30/25
2-		
3-		
4-		
5-		
6-		
7-		

PROPOSED AUTO REPAIR
32371 DEQUINDRE ROAD
MADISON HEIGHTS, MI 48071

SEAL / SIGNATURE

DATE

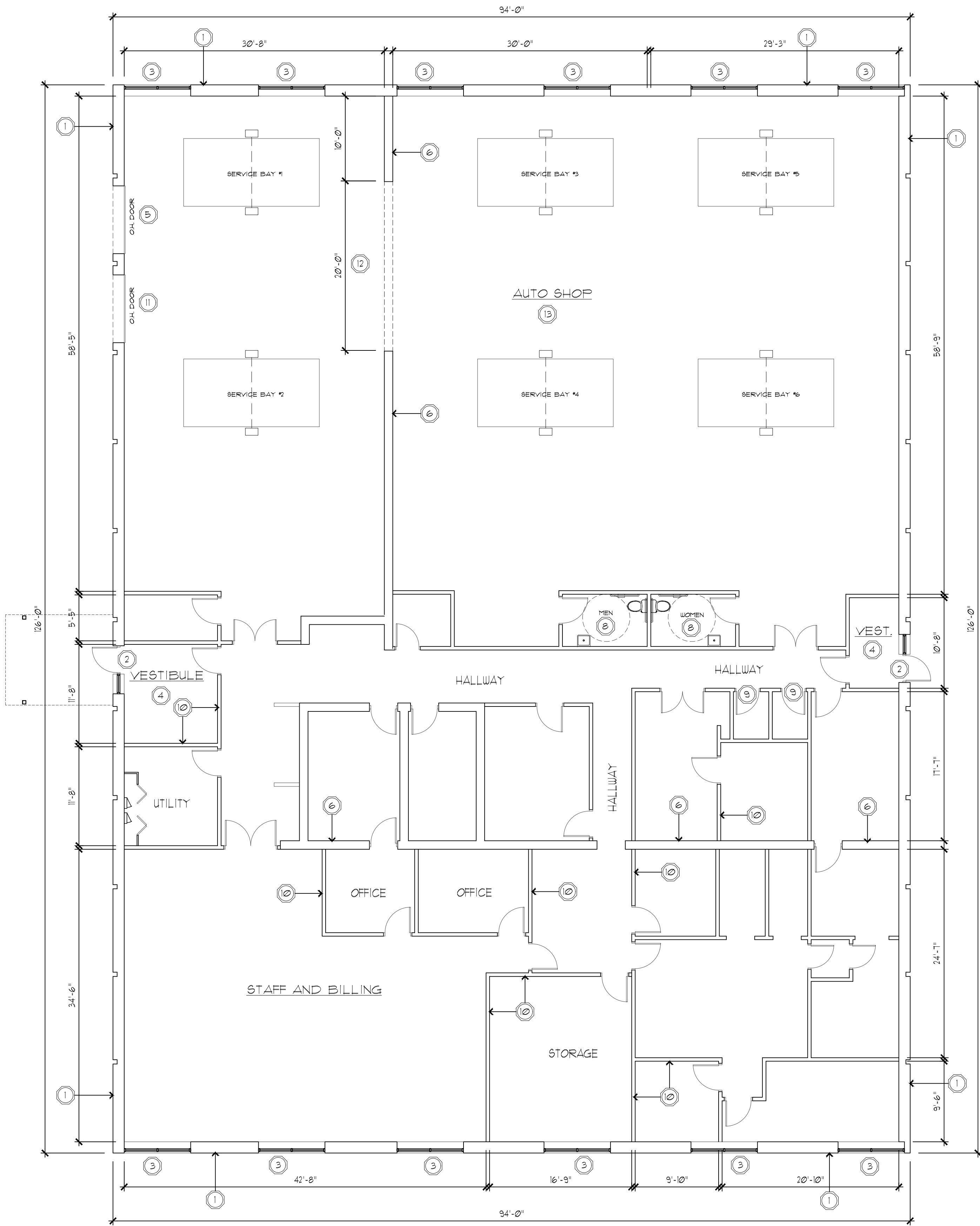
DRAWING TITLE:
EXISTING FLOOR PLAN

DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 12/30/2025

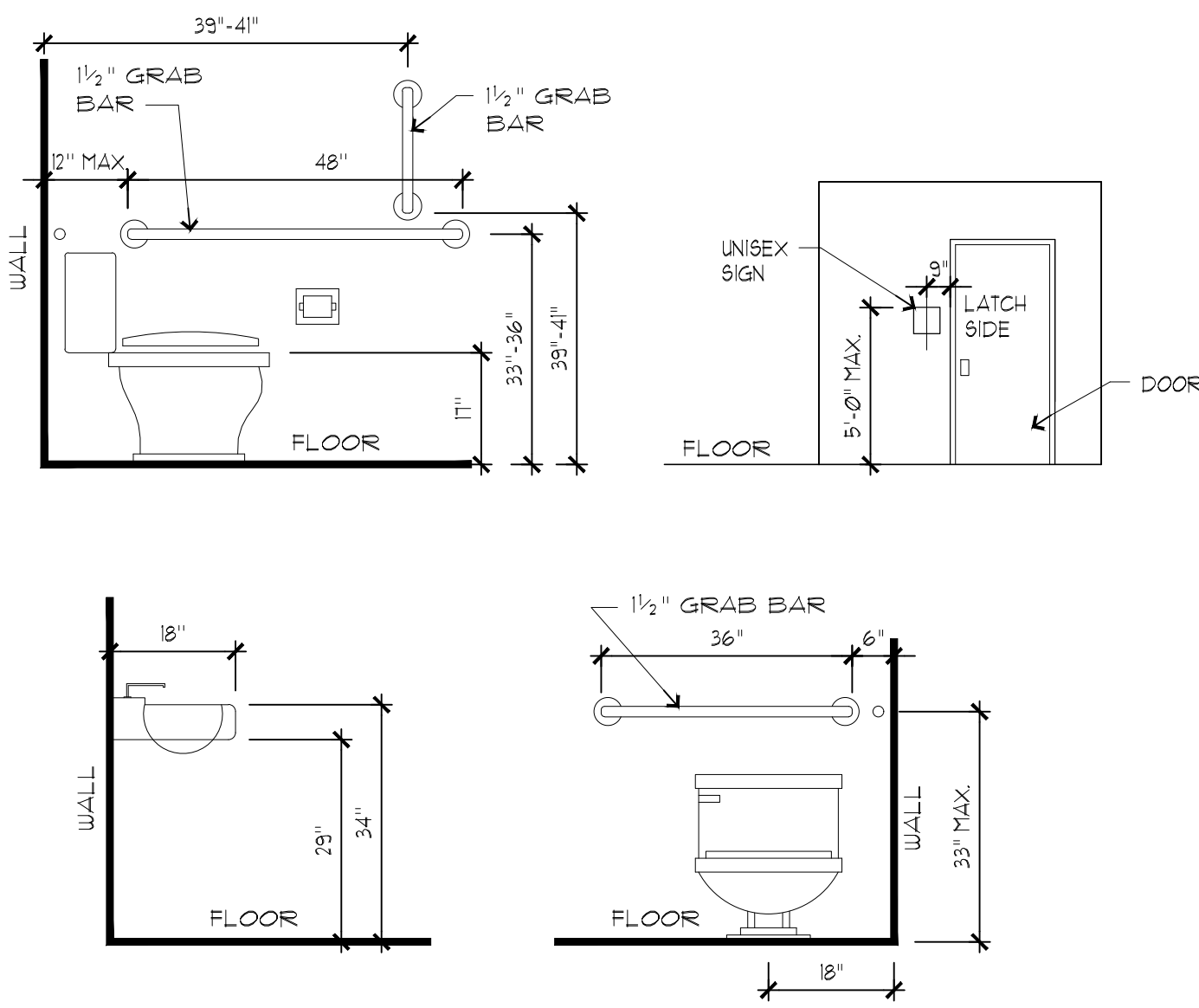
SHEET NO:

A01

PROJECT NO.: 025-12
FILE NAME: AUTO REPAIR



PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'



BARRIER FREE ELEVATIONS

0' 1' 2' 4' SCALE: 1/4"=1'-0"

GENERAL NOTES:

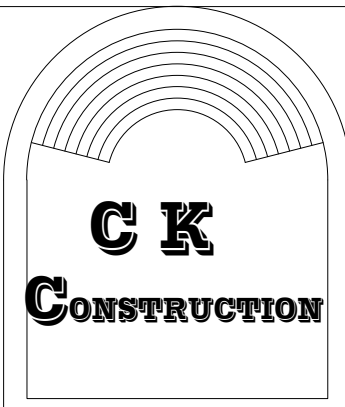
- ALL INTERIOR PARTITIONS, FINISHES AND FIXTURES IN THE STORE TO COMPLY WITH THE MICHIGAN CODE 2021.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS ARE NOT PERMITTED.
- ALL REQUIRED EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. DIRECTION EXIT SIGNS SHALL BE REQUIRED WHERE THE PATH OF EGRESS IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. (MBC 41FC CHAPTER 10, MEANS OF EGRESS)
- PROVIDE PORTABLE FIRE EXTINGUISHER PER IFC AND NFPA 10, TO BE COORDINATED WITH FIRE MARSHAL.
- EMERGENCY LIGHTING SHALL BE PROVIDED FOR THE MEANS EGRESS IN ACCORDANCE WITH THE MBC 41FC CHAPTER 10, MEANS OF EGRESS.
- ALL COMBUSTIBLE STORAGE AND ASSOCIATED FIRE PROTECTION SHALL BE IN ACCORDANCE WITH INTERNATIONAL FIRE CODE.
- ALL INTERIOR TO COMPLY WITH THE MICHIGAN BUILDING CODE CHAPTER 8, INTERIOR FINISHES AND THE INTERNATIONAL FIRE CODE, CHAPTER 8, INTERIOR DECORATIVE MATERIAL AND FURNISHINGS.
- PROVIDE SIGNS INDICATING PUBLIC RESTROOM AS REQUIRED PER MICHIGAN BUILDING CODE 2021 AND MICHIGAN PLUMBING CODE 2021. UNISEX ACCESSIBLE SIGN SHALL BE MOUNTED ALONG SIDE THE DOOR ON THE LATCH SIDE. SIGNAGE CHARACTER MUST BE 48" MIN. AND 60" MAX. AFF.
- PROVIDE A PERMANENT, CONSPICUOUS BUILDING ADDRESS IN ACCORDANCE W/ THE CITY CODE OF ORDINANCE AND THE IFC SECTION 503 PREMISES IDENTIFICATION. STREETS & ROADS SHALL BE IDENTIFIED W/ CLEAR SIGNS.
- RESTROOMS ARE OPEN TO PUBLIC & OPERATING DURING WORK HOURS AS INDICATED.
- DOOR SURFACES WITHIN 10" OF THE FLOOR GROUND MEASURED VERTICALLY SHALL BE SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF DOOR.
- AN 18"x48" CLEAR MANEUVERING SPACE IS REQRD ON THE FULL-SIDE, LATCH-SIDE OF ALL DOORS.

FIRE PREVENTION NOTES

- A KNOX BOX IS REQUIRED FOR EMERGENCY ACCESS TO THE BUILDING FOR FIRE AND MEDICAL EMERGENCIES. (IFC 508.1 KNOX BOX).
- THE KNOX KEY BOX SHALL BE LOCATED WITHIN TEN (10) FEET OF THE MAIN ENTRY DOOR OF THE BUILDING AND BETWEEN FIVE (5) AND SIX (6) FEET ABOVE THE FINISHED GRADE.
- THE KNOX DECAL SHALL BE INSTALLED AT THE MAIN FRONT ENTRANCE OR AS REQUIRED BY THE FIRE CODE OFFICIAL.
- ADDRESS NUMBERS: MUST HAVE APPROVED ADDRESS NUMBERS, PLACED IN POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUNDS AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. (IFC 509.1 ADDRESS NUMBER).
- BUILDING KEYS: THE BOX SHALL CONTAIN LABELED KEYS, INCLUDING BUT NOT LIMITED TO: KEYS FOR ACCESS INTO AND THROUGH THE PREMISES, KEYS TO ANY SECURED FIRE PROTECTION SYSTEM, AND ELEVATION KEYS.

FLOOR PLAN REFERENCE NOTES:

- EXISTING EXTERIOR WALL CONSTRUCTION: FACE BRICK ON CMU. WALL TO REMAIN.
- EXISTING GLASS ALUMINUM DOOR AND SIDE WINDOW IN ANODIZED ALUMINUM FRAME TO REMAIN.
- EXISTING GLASS WINDOW IN ANODIZED ALUMINUM FRAME TO REMAIN.
- EXISTING VESTIBULE TO REMAIN.
- EXISTING OVERHEAD DOOR AND FRAME.
- EXISTING DEMISING WALL: 1 HOUR RATED CMU. WALL.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- NEW ADA RESTROOMS AND FIXTURES. INSTALL NEW 3"x1" WOOD DOOR AND FRAME. FOR ADA REQUIREMENTS, REFER TO BARRIER FREE ELEVATIONS, THIS SHEET.
- EXISTING PRIVATE RESTROOMS TO REMAIN.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- INSTALL NEW 8' WIDE x 10' HIGH OVERHANG DOOR AND FRAME IN MASONRY WALL OPENING. PROVIDE STEEL BEAM LINTEL AS REQUIRED.
- SAWCUT EXISTING LOAD BEARING MASONRY WALL FOR NEW SERVICE AREA OPENING AS INDICATED. PATCH AND REPAIR ADJACENT WALL AREA AS REQUIRED. PROVIDE STEEL BEAM LINTEL.
- NEW AUTO REPAIR SERVICE BAYS AND HOSES PER OWNER.
- COORDINATE WITH OWNER FOR ALL FURNITURE, MILLWORK AND EQUIPMENT.



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Imad Potres

REVISIONS:

NO.	DESCRIPTION	DATE
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PROPOSED AUTO REPAIR
32371 DEQUINDRE ROAD
MADISON HEIGHTS, MI 48071

SEAL / SIGNATURE

DATE

DRAWING TITLE:
PROPOSED FLOOR PLAN

FILE NAME: AUTO REPAIR

PROJECT NO.: 025-12

DRAWN BY: IMAD
CHECKED BY: IMAD
DATE: 12/30/2025

SHEET NO:

A02