



MEMORANDUM

Date: February 15th, 2023
To: City of Madison Heights Planning Commission
From: Matt Lonnerstater, AICP – City Planner
Subject: Zoning Ordinance Rewrite Update – City Center and Mixed-Use Innovation Districts;
Missing Middle Housing

On Tuesday, February 7th, the City of Madison Heights held a Zoning Ordinance rewrite open house at Madison Heights Fire Station #1. As part of the open house, the City's planning consultants, McKenna Associates, posted illustrative boards relating to the new **City Center Form-Based** and **Mixed-Use Innovation** zoning districts. The workshop also featured boards presenting the existing and proposed draft zoning map and draft permitted uses matrix. Copies of each of these boards are attached to this memo.

At the February 21st Planning Commission meeting, staff would like to provide an overview of these boards and lead a discussion primarily relating to the City Center and Mixed-Use Innovation zoning districts. Additionally, staff would like to discuss the following elements of the draft Zoning Ordinance:

- Missing Middle Housing (Two-Family/Townhouse District)
- Accessory Dwelling Units
- Reclassification/Renaming of Business Districts
- Use Matrix

As the Zoning Ordinance is still in the drafting stages, Planning Commission comments will be forwarded onto the consultants for incorporation into the next draft.

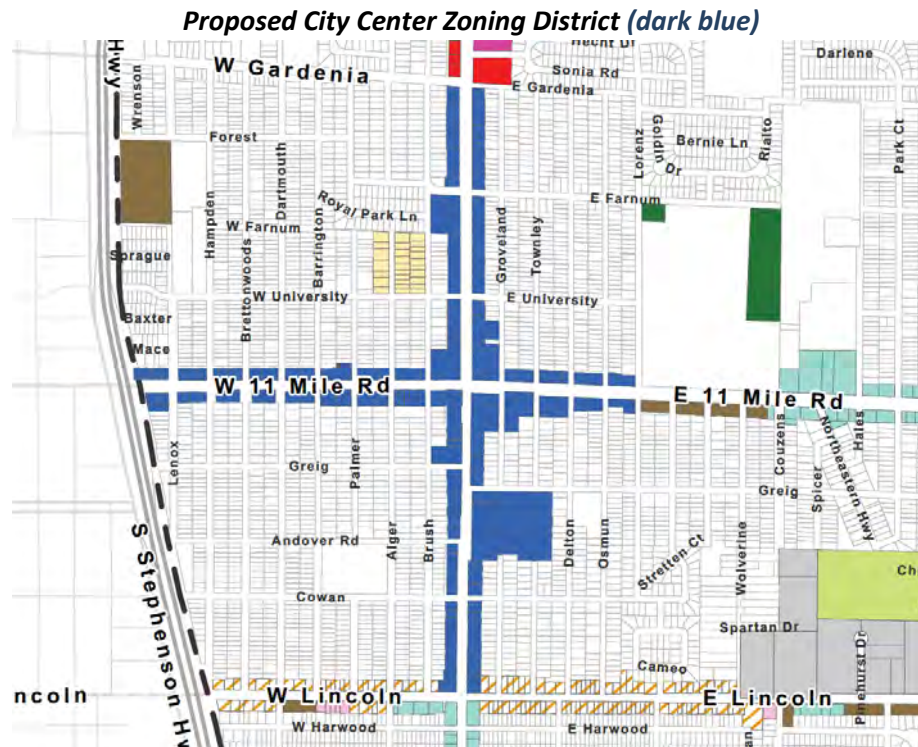


Planning Commissioner Graettinger diligently studying the proposed zoning map at the February 7th Zoning Ordinance open house

City Center Form Based District

The proposed City Center district is a new zoning district intended to primarily align with the geographic boundaries of the existing Downtown Development Authority and implement the vision of the *City Center* future land use category contained in the 2021 Master Plan. As outlined in the Master Plan, the goal of the City Center future land use category is to transform the downtown area into a, “*vibrant, compact, pedestrian-oriented*” district.

The boundaries of the proposed City Center zoning district are highlighted in dark blue on the map, below.



The City Center zoning district is considered a “form-based” district. Compared with conventional zoning districts that primarily focus on regulating uses, form-based districts place at the forefront standards relating to building form, massing, and the relationship between the building and the street. Conversely, land use takes a secondary focus. The overarching intent of a form-based district is to ensure that individual sites are developed in a manner that, when taken together, help create a downtown area with a distinct pedestrian-oriented identity.

The proposed City Center district allows for the construction of eight (8) unique building types:

- Mixed-Use
- Pedestrian-Oriented
- Makerspace
- Hotel
- Bank
- Landmark
- Theater
- Parking Garage

Within the Zoning Ordinance, each building type contains site placement standards (e.g. setbacks, parking location), massing standards (e.g. building height), and design standards (e.g. building materials, front door placement, window transparency). While a provided use table does break down permitted uses by building type and by ground floor/upper stories, most building types allow, and encourage, a mix of residential and commercial uses.

The City Center zoning district includes additional design considerations and standards relating to street furnishings such as outdoor dining and plazas, encroachments into the right-of-way, and building step-backs adjacent to residential properties.

Guiding Questions for Planning Commission

- 1. Are the proposed building types appropriate for the City Center? Are there any additional building types you would like to see incorporated into the district?*
- 2. Permitted uses are broken up by building type and by ground floor/upper stories. Is the range of permitted uses appropriate for the City Center district? Are there any noticeable missing uses?*
- 3. Do the illustrated design standards help to visualize the required design standards? Are any draft standards too detailed? Not detailed enough?*

Mixed-Use Innovation Districts

The proposed Mixed-Use Innovation zoning districts are intended to implement the Mixed-Use Innovation future land use designation as contained in the 2021 Master Plan. In this future land use category, the Master Plan encourages, “a mix of office, service, commercial and light-industrial uses.” The Master Plan encourages the reuse of existing structures to accommodate a mix of uses.

Two (2) Mixed-Use Innovation (MUI) zoning districts are proposed:

The **Mixed-Use Innovation 1 (MUI-1)** district is established to promote the reuse of older, “character-giving” industrial structures that may no longer be suitable for their original purposes. The proposed MUI-1 district opens up a range of commercial, office, light industrial, and multiple-family residential uses in areas that are currently restricted to light industrial zoning. MUI-1 is primarily clustered in the southern portion of the city, mostly along 10 Mile Road, Lincoln, and E. 11 Mile Road, as well as the northeast corner of John R. and 12 Mile Roads.

The **Mixed-Use Innovation 2 (MUI-2)** district is established to promote the redevelopment of moderate to large-scale commercial retail centers into walkable, compact developments featuring a mix of commercial, residential, and recreational land uses. As proposed, the MUI-2 district permits a range of commercial, office, artisan manufacturing, and multiple-family residential uses. MUI-2-zoned sites include the Home Depot/Lowes, Meijer, Madison Place, and the Active Adult Center and SOCCRA sites.

Both of the Mixed-Use Innovation districts include general building placement, design, and architectural standards in order to promote pedestrian activity and a compatible mix of uses on under-utilized sites. Staff envisions that the MUI-1 district will allow for the adaptive re-use of smaller industrial buildings on shallow lots, as well as new infill development on vacant parcels. The MUI-2 district is envisioned to encourage redevelopment projects of a greater scale on larger properties.

Guiding Questions for Planning Commission

1. *Given the intents, descriptions and permitted uses of the MUI-1 and MUI-2 districts, are their proposed locations on the zoning map appropriate? Are there any areas that should or should not be designated as MUI?*
2. *Are the permitted/special land uses appropriate for the MUI-1 and MUI-2 districts? Are there any additional uses that should be considered? Any uses that should be prohibited?*
3. *Are there any additional design standards that should be considered for the MUI districts? Any that should be removed?*

Missing Middle Housing: Two-Family/Townhouse District

“Missing Middle Housing” is a common buzz-term in today’s planning circles which refers to a range of lower density multi-family unit types that are no longer commonly built, or permitted, in American cities; these include duplexes, triplexes, and townhouses. The term “multi-family” has historically had a negative connotation, as people often think of large apartment buildings and complexes. As a result, many of the “missing middle” multi-family building types have been zoned-out of cities, even though they can be designed to seamlessly fit into existing single-family neighborhoods. In turn, the supply of diverse unit types in America’s housing stock, including more affordable housing, has not kept up with demand. Please refer to the attached article, “5 Practical Zoning Hacks for Missing Middle Housing,” and the following graphic:

The Range of “Missing Middle” Housing



Source: Opticos Design

In addition to the *R-M, Multiple-Family* district, Madison Heights’ existing Zoning Ordinance does contain a *R-T, Two-Family Residential* zoning district. While this existing district does allow for duplexes, there is currently only one small parcel in the entire City that has an R-T zoning designation (good luck finding it on the Zoning Map).

As a means of increasing the availability of “missing-middle” housing types in the City in accordance with the goals of the Master Plan, staff proposes to rename the existing district to ***R-T, Two-Family and Townhouse*** district, expand permitted housing types to include attached townhomes in addition to duplexes, and increase the amount of R-T-zoned properties. As proposed, the R-T district would be extended to include a majority of Lincoln Avenue and portions of E. 11 Mile Road.

Guiding Questions for Planning Commission

1. *As proposed, the R-T district use table would be expanded to include attached single-family and townhouse units in addition to duplexes. Should additional “Missing-Middle” housing types be considered (e.g. triplexes, fourplexes)?*
2. *Should the R-T district be extended to include additional properties/areas in Madison Heights?*
3. *Should design standards be incorporated into the Zoning Ordinance to ensure that duplexes/townhomes and any other “Missing Middle” housing types are architecturally-compatible with single-family detached homes?*

Accessory Dwelling Units

In addition to Missing-Middle Housing, accessory dwelling units (also known as “granny-flats” or “in-law suites”) have also disappeared from the American housing stock. Historically, accessory dwelling units, or ADUs, were constructed either as separate stand-alone structures, or added above an existing detached garage, and provided a separate living space for a family member. Today, in cities which permit them, ADUs have been shown to increase the housing stock; provide affordable housing alternatives for students, single-person households, or family members; and create mixed-income/density neighborhoods in a way that does not greatly impact the existing appearance of the streetscape. Please refer to the attached MSU article, “Accessory Dwelling Units – Coming to a Neighborhood Near You?”

Madison Heights’ current Zoning Ordinance does not permit ADUs in residential zoning districts. As part of the Zoning Ordinance rewrite, the City has an opportunity to permit ADUs on a large-scale or limited basis, if desired.

Guiding Questions for Planning Commission

1. *Should Madison Heights permit accessory dwelling units (ADUs) in residential zoning districts?*
2. *ADUs may be located within an existing home, as an attachment to a principal structure, or in a detached accessory structure. If allowed, should ADUs be restricted to one of these locations? Should all types be permitted?*
3. *If allowed, should ADUs only be permitted on owner-occupied properties?*

Accessory Dwelling Unit Types

Interior ADU



Attached ADU



Detached ADU



Source: St. Paul, MN Planning
& Economic Development

Business Districts

The current Zoning Ordinance contains three (3) separate business districts. In order to clarify the purpose of each district, and differentiate them from one another, staff proposes to rename each district as follows:

| Existing District Name | Proposed District Name |
|------------------------|----------------------------|
| B-1, Local Business | B-1, Neighborhood Business |
| B-2, Planned Business | B-2, Community Business |
| B-3, General Business | B-3, Regional Business |

Further, staff proposes to introduce a new preamble/intent for each district, as follows:

The B-1, Neighborhood Business District is intended to provide locations for businesses that meet the day-to-day shopping and service needs of residents in surrounding neighborhoods. Wherever possible, Neighborhood Business uses should promote pedestrian-oriented development at an intensity level that is compatible with surrounding residential areas. Uses are restricted in size and intensity to promote a local orientation and to limit adverse impacts on nearby residential areas.

The B-2, Community Business District is intended for commercial development that offers a broad range of goods and services to meet the convenience and comparison shopping needs of city residents. Special attention shall be focused on site layout, building design, vehicular and pedestrian circulation, and coordination of site features between adjoining uses. An effort should be made to achieve design compatibility between adjoining commercial uses.

The B-3, Regional Business District is intended to provide for more intensive or higher impact business activities, as well as general retail, commercial, personal and business services, and professional offices for both the general and traveling public in an interstate and regional context.

Under the current zoning map, a majority of the City's commercial properties are zoned B-3, General Business; this is the most intensive commercial district in the current Ordinance and permits a variety of automobile-oriented retail and service uses. Under the proposed zoning map, many existing B-3-zoned properties would be rezoned to B-2, Community Business. While the proposed Community Business district does still permit several auto-oriented uses, they would require Special Land Use review and would be subject to case-by-case review and approval. As proposed, B-3 Regional Business zoning is clustered in the northern portions of the city near 14 Mile Road and the 14 Mile/I-75 interchange.

Guiding Questions for Planning Commission

1. *Are the proposed business district names and their respective preambles/intents appropriate for the Madison Heights context?*
2. *Based on the proposed zoning map, are commercial properties appropriately zoned under these revised business districts (especially B-2 and B-3 properties)?*
3. *Based on the proposed use matrix and proposed intents of each business district, do the revised districts allow for the appropriate land uses, either by right or as a Special Land Use? Specifically, are automobile-oriented uses (e.g. car washes, motor vehicle repair, gas stations, car sales) permitted in the appropriate business districts?*

Use Matrix

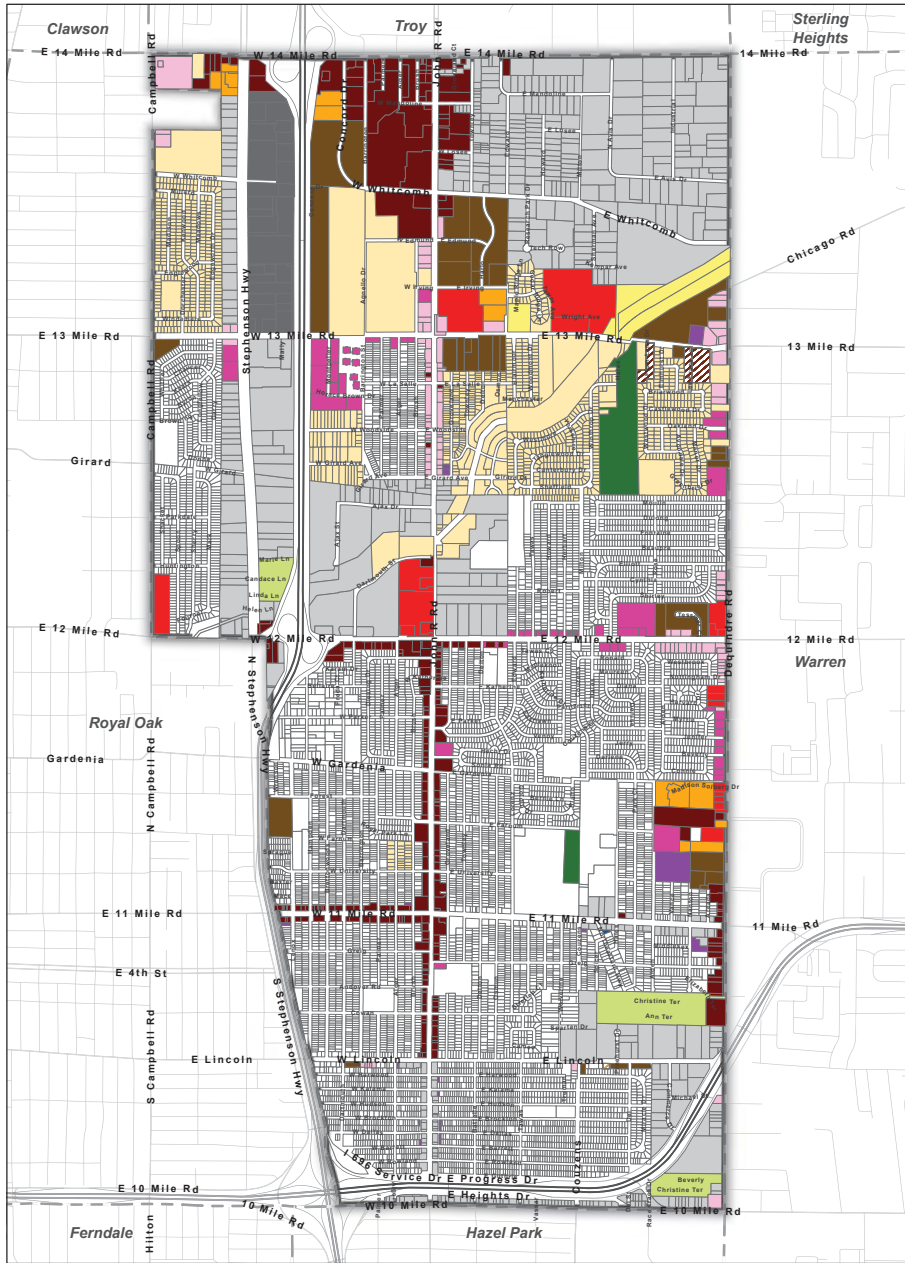
A draft use matrix is provided. The use matrix denotes the uses permitted by right, as a Special Land Use, or as an accessory use in each zoning district (with the exception of the City Center district which is regulated separately). Please note that the use matrix is still a work in progress, as it still awaiting full staff analysis and will likely need to be modified based on Planning Commission discussion.

Guiding Questions for Planning Commission

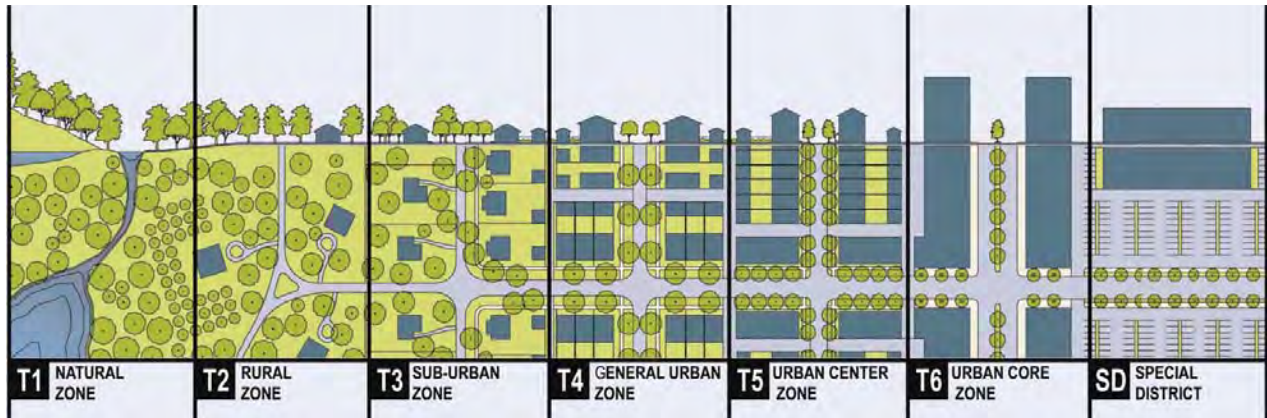
- 1. While the use matrix is still a work in progress, are there any uses that stick out as being permitted in inappropriate zoning districts? Are there any uses that are obviously missing from the matrix?*
- 2. Is the design of the use matrix attractive and easy to comprehend? Are there any additional design elements that should be incorporated into the table?*

Next Steps

Following the discussion at the meeting, staff will summarize and forward the Planning Commission's comments and recommendations onto the consultants for incorporation into the next Zoning Ordinance draft. Staff envisions that a complete clean draft will be ready for review by April or May, at which point the consultants will be invited to present to the Planning Commission. Until such time, staff will continue to provide updates and hold discussion sessions, as needed, at upcoming Planning Commission meetings to ensure that the new Zoning Ordinance is on the right track towards implementing the City's planning and development goals.



WHAT ARE FORM-BASED CODES?



A Form-Based Code (FBC) is a way to regulate development that controls building form first and building use second, with the purpose of achieving a particular type of “place”, or built environment, based on a community vision.

CONVENTIONAL ZONING VS. FORM-BASED CODES

Conventional zoning (sometimes called “Euclidean zoning”) has as its organizing factor the segregation of land-use types, permissible property uses, and the control of development intensity through simple numerical parameters (such as dwellings per acre, height limits, setbacks, and parking ratios).

Design guidelines may be used to supplement conventional zoning but are typically advisory. The quality of development, scale and uses allowed in a given area are dependent on a community’s planning objectives which are then translated through local land use regulations including zoning, subdivision, building, and public infrastructure standards. However, there is often a disconnect between the community’s vision and these land use regulations.

Form-Based Codes have as their organizing factor the relationship between public and private spaces such as the interaction between streets, blocks, and buildings in terms of form, scale and massing, and the use of frontage areas. FBC creates a predictable public realm by including specific standards for the design of streets and open spaces, and focusing primarily on the physical form of development, with a lesser focus on building use than conventional zoning regulations.

FBC’s typically provide for an appropriate mix of uses and encourage strong relationships between a building and its context, including public spaces and surrounding buildings. Often these standards are presented in both diagrams and words to clearly illustrate the design and development objectives for a given district.


TABLE 3.1: ALLOWABLE BUILDING TYPES BY DISTRICT


| DISTRICT | Building type (Article 4) | | | | | | | | | | | | | | | | | | |
|----------------------|---------------------------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S |
| Government Service | P | P | P | P | P | P | P | P | P | P | P | P | P | P | P | P | P | P | P |
| Downtown Residential | | | | | | | | | | | | | | | | | | | |
| Downtown Core | | | | | | | | | | | | | | | | | | | |
| Entertainment | | | | | | | | | | | | | | | | | | | |
| Tourism | | | | | | | | | | | | | | | | | | | |
| Medical Center | | | | | | | | | | | | | | | | | | | |
| Arts/Culture | | | | | | | | | | | | | | | | | | | |
| Neighborhood Service | | | | | | | | | | | | | | | | | | | |


TABLE 3.2: USES BY DISTRICT FOR EXISTING BUILDINGS


| DISTRICT | Building type (Article 4) | | | | | | | | | | | | | |
|----------------------|---------------------------|--------|------------------|---|------------|------------|-----------|------------------|------|--------------------|-----------------------------|---------------|---------|--|
| | RESIDENTIAL | OFFICE | RETAIL / SERVICE | WOOD SHOPS / TRADES / INDEPENDENT FABRICATORS | CRAFT SHOP | RESTAURANT | EDUCATION | ASSEMBLY / CIVIC | BANK | MEDICAL / RESEARCH | INDUSTRIAL / INDOOR STORAGE | MOTEL / HOTEL | THEATRE | |
| Government Service | P | P | P | C | C | | C | P | | | | P | | |
| Downtown Residential | P | | | | | | | | | | | | | |
| Downtown Core | UP | | P | | P | P | C | P | | | | | | |
| Entertainment | UP | | | | | | | | | | | | | |
| Tourism | UP | | P | | P | P | C | C | P | | | P | P | |
| Medical Center | P | P | | | | | | | | P | | C | | |
| Arts/Culture | UP | P | P | C | P | P | | P | | | C | | P | |
| Neighborhood Service | UP | P | P | C | P | P | P | P | | | C | P | | |

KEY

 Permitted

 Conditional Approval Required

 Permitted in Second Story or Higher

 Not Permitted



CITY CENTER DISTRICT

PURPOSE

The City Center designation covers a concentrated area for commercial and residential activities in the DDA district at 11 Mile and John R Roads. It is envisioned that this area there will contain a mix of residential, office, retail, restaurants, entertainment, gathering spaces, and recreation areas. Ground floor uses will be uniformly active, containing shopfront retail, restaurants, and cultural amenities; residential and office uses will be in the rear or on the second story or higher. It is also envisioned that 11 Mile and John R Roads will function in such a way as to facilitate a vibrant, compact, pedestrian oriented downtown area.

A standard of excellence in urban and architectural design will be required of new buildings, and a high standard of appearance and upkeep will be required for existing buildings, which will be enforced through future form based zoning.

This Zoning District will incorporate:

- Standards for high-quality, traditional mixed-use development at a variety of scales and intensities.
- High standards of appearance and upkeep for new and existing buildings.
- New parking maximum standards.
- Redevelopment of buildings that incorporate street furnishings such as benches, lighting and public art.

PERMITTED USES AND BUILDING TYPES.

Uses permitted in the CC District are regulated by building type in [Section 6.01\(3\)](#). The following building types are permitted in the CC City Center district ([See Section 6.01](#)):

Bank, Hotel, Landmark, Maker Space, Mixed Use, Parking Garage, Pedestrian Oriented, and Theater.

| Land Use | BUILDING TYPE | | | | | | | | | |
|---|---------------|---------------|--------------|---------------|----------|------------|--------------|---------------|----------------|---------------|
| | Bank | | Hotel | | Landmark | Makerspace | Mixed Use | | Parking Garage | |
| | Ground Floor | Upper Stories | Ground Floor | Upper Stories | | | Ground Floor | Upper Stories | Ground Floor | Upper Stories |
| RESIDENTIAL USES | | | | | | | | | | |
| Accessory Dwelling Unit | | P | | | | | | P | | |
| Multiple-Family Dwellings | | | | | | | P | | P | |
| Short-Term Lodging | | | P | P | | | P | | P | |
| Upper-Story Residential | | P | | | | | P | | P | |
| COMMERCIAL USES | | | | | | | | | | |
| Automotive Sales (New) | P | | | | | | | | | |
| Automotive Sales (Used) | S | | | | | | | | | |
| Bar/Lounge | S | | | | | | | | | |
| Business or Trade Schools | | S | | | | | P | | | P |
| Financial Institution | P | | | | | | | | | |
| General Retail | P | | P | | | P | P | | P | |
| Health Club | | | | | | | P | | | P |
| Incubator Kitchen | P | | | | | | | | | |
| Indoor Recreational Business | | P | | | P | | | | | |
| Medical Office | | P | P | P | | | | | | P |
| Microbreweries and Distilleries | P | | | | | P | P | S | P | P |
| Motor Vehicle Repair and Service Facilities | | | | | | S | | | | |
| Personal Service Establishment | P | P | | | | | P | | | P |
| Parking Garage | | | | | | | | | P | P |
| Professional Office | P | P | | | | | P | P | P | P |
| Restaurant | P | | | | | P | P | | P | P |
| Theaters, Assembly Halls, Concert Halls, or similar places | P | P | P | P | P | | P | P | | P |
| INDUSTRIAL USES | | | | | | | | | | |
| Artisan Manufacturing | | S | | | | P | | | | |
| Incubator Workspaces | P | P | | | | | | | | |
| Industrial Tool and Equipment Sales, Service, Storage, and Distribution | | | | | | | | | | P |
| Manufacturing | | S | | | | P | | | | |
| Warehousing | | S | | | | | | | | |
| PUBLIC & QUASI-PUBLIC USES | | | | | | | | | | |
| Community Recreation Centers and Private Noncommercial Recreational Areas | | | | | P | | | | P | P |
| Libraries | | | | | P | | | P | P | P |
| Municipal Office Buildings | | | | | P | | | | P | P |
| Municipal Service Buildings | | | | | P | | | | P | P |
| Private Clubs or Lodges | P | P | | | P | | | P | P | P |
| Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit | P | P | | | P | | | P | P | P |
| Religious Institutions | | | | | P | | | | P | |

- Design Standards.** The following standards shall apply to all new construction, expansion of existing sites, and redevelopment in the CC District that require site plan approval.
 - Stepbacks.** For new infill buildings or upper story additions taller than three stories, or 35 feet, the upper stories may be stepped back a minimum of 10 feet from the edge of the building façade to minimize views of the additional building height from the street.
 - Encroachments.** The following building elements may encroach into a public right-of-way or setback area.
 - Balconies.** Balconies on upper stories may encroach up to three (3) feet into any required yard, provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Stoops.** Unenclosed and uncovered front stoops may encroach up to five (5) feet into a front yard setback area, provided that the stoop maintains a minimum setback of five feet from any right-of-way line.
 - Bay Windows.** Bay windows on the ground floor may encroach up to three (3) feet into any setback area but may not encroach into a right-of-way area. Bay windows on upper floors may encroach up to three feet into any setback or right-of-way area provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Eaves.** Roof eaves may encroach up to three (3) feet into any setback provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Awnings.** Awnings may be added to buildings over windows or doors on the ground floor or over upper story windows. Awnings shall comply with the following standards.
 - Awnings shall be straight sheds that are horizontal in proportion, with an awning width to height ratio of at least 2:1.
 - Awnings shall be proportional in height and depth to the overall building façade.
 - Awnings shall be constructed out of fabric.
 - Awnings shall be of an opaque material. Translucent or internally lit awnings are prohibited.
 - Awnings shall have a minimum of eight (8) feet of clear space between the sidewalk and the bottom of the awning or any support structure and shall not exceed a height of 12 feet to the highest point of the awning.
 - If the awning encroachment of six (6) feet would interfere with the placement of street lighting or street trees, the awning projection shall be reduced to resolve the conflict.
- Public Realm.**
 - Sidewalks.** Sidewalks shall be required along all public street frontages, and to connect the street frontage to all front building entrances, parking areas and drives, usable open spaces, and any other destination that generates pedestrian traffic. Sidewalks shall connect to existing sidewalks on abutting tracts and other nearby pedestrian destinations.
 - Sidewalks along a public street shall have a minimum unimpeded width of five (5) feet, where separated from the street with a planting strip.
 - Sidewalks immediately adjacent to a street or parking area shall have a minimum unimpeded width of seven (7) feet. Where the adjacent properties exceed the minimum width required by this ordinance, the sidewalk shall match the width of the adjacent properties but need not exceed 10 feet in width.
 - All other pedestrian paths on a site shall have a minimum unimpeded width of five (5) feet.
 - Sidewalks shall be constructed of concrete or other decorative techniques approved by the City. In general, sidewalk treatments shall be consistent with the material character of adjacent properties and the overall district.
 - Pedestrian crossings on drive aisles or in parking areas shall be clearly identified using material differences or markings (e.g., inlaid thermal plastic, paint) that make them easy to view and distinguish them from the surrounding road surface. Curb ramps shall be provided at crossing locations.
 - Street Furnishings.** Public plazas, amenity zones, pedestrian pathways, and other public open spaces may include amenities such as water features, public art, gazebos, shade trees, shade structures, drinking fountains, trash receptacles, benches, lights, trellises, or other similar features.
 - Pedestrian Protection.** Bollards, street trees, planters, and/or street furniture may be used as a barrier to protect pedestrians and buildings where needed.

Key:

- P Principal Uses Permitted
- S Uses Permitted on Special Approval
- Not Permitted

BANK BUILDING TYPE




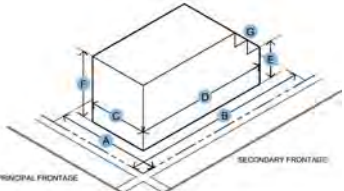
The Bank Building Type is intended to accommodate the unique needs of financial institution uses on the ground floor, with office uses above. The purpose of this Building Type is to allow an exception to shopfronts within walkable commercial districts and to allow for a dedicated use within. Financial institution uses may also be located within other Building Types and some other uses are allowable within the Bank Building Type. It is employed within walkable commercial districts and is intended as a supplemental component in the creation of such districts.

ILLUSTRATED DESIGN STANDARDS

- 1 Opaque façades through which window and door openings appear to have been "punched" (as through paper in a ring binder).
- 2 Main entrance articulation.
- 3 Traditional building façade treatments (including masonry reliefs and/or motifs).
- 4 Building cornice (at top of building) of substantial height and decoration (Exception for Art Deco style buildings).
- 5 Minimum one horizontal molding or accent material projection dividing the façades into layers.
- 6 Pattern of solids and voids generated by horizontal alignment of windows and doors in repeating sizes.
- 7 Window groupings encouraged, with groups of up to 3 allowable. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 8 Prominent sills and/or heads required for windows located along façades (discouraged along other exterior walls).
- 9 Main entrances at grade for accessibility, working in conjunction with interior lobby and elevator(s).
- 10 No building entrances from side parking lots allowable.
- 11 Main entrance located along street of building address or at building corner.
- 12 Façades located along principal frontage and secondary frontage at street intersections, where applicable.
- 13 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|---|--------------------------------|---|
|  | A Front Setback | 0'-0" to 10'-0" |
| | B Side Yard Setback (Lot Line) | Minimum 0'-0" |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| | D Side Yard Setback (Row) | Maximum 0'-0" |

| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
|---|--|--------------------------------|
|  | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Façade (Secondary Frontage) | Minimum 27'-8" |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 4 Stories / 48'-0" |
| | G Building Stepback | Each level stepped back 10'-0" |

HOTEL

BUILDING TYPE



The purpose of the Hotel Building Type is to provide for short-term lodging within a walkable, mixed-use environment, and to allow for an exception to plate-glass storefronts within such districts. It may be employed within walkable commercial districts and is intended as a supplemental component in the creation of such districts. The Hotel Building Type shall provide a lobby on the Principal Frontage connecting the corresponding sidewalk to an interior elevator, lift or ramp.



ILLUSTRATED DESIGN STANDARDS

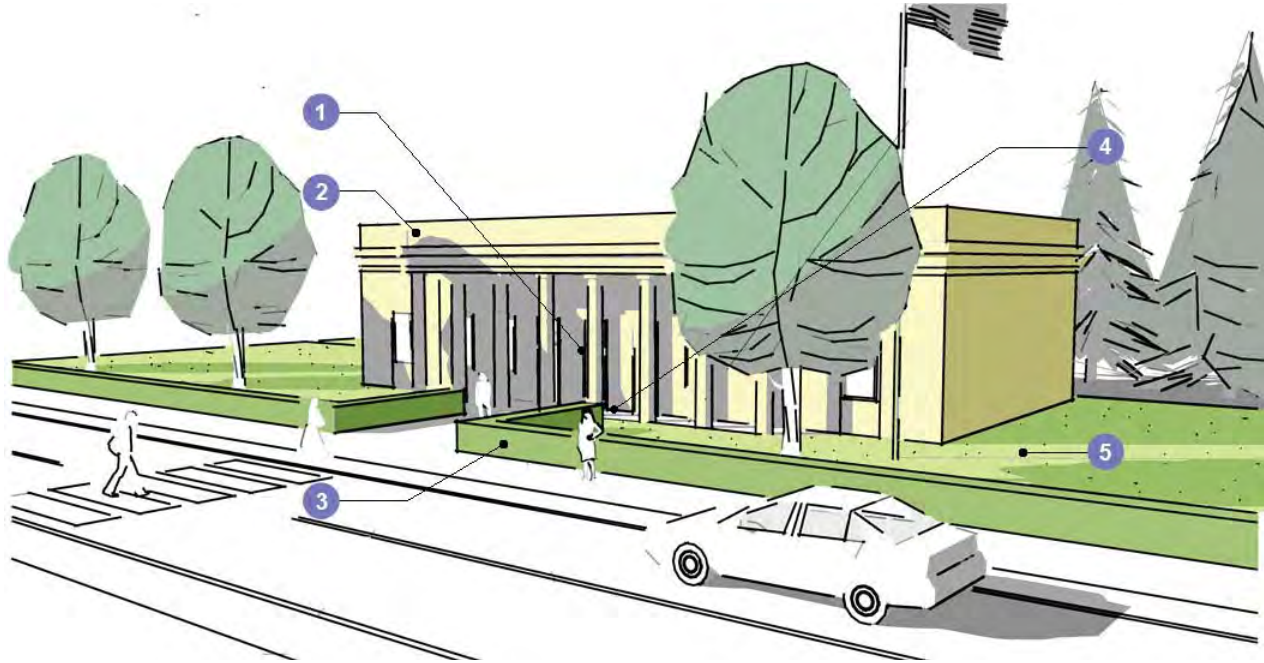
- 1 Traditional building façade treatments (including masonry reliefs and/or motifs) and main entrances located along street of building address.
- 2 Opaque façade through which window and door openings appear to have been "punched" as through paper in a ring binder.
- 3 Building cornice (at top of building) of substantial height and decoration. (Feature excepted on Art Deco style buildings).
- 4 Minimum one horizontal molding or accent material projection dividing the façade into layers.
- 5 Pattern of solids and voids generated by the vertical and horizontal alignment of windows and doors in repeating sizes.
- 6 Window groupings encouraged, with groups of up to 3 allowable. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 7 The main entrance shall be along the principal frontage or at a corner of two frontages. Main entrances at grade for accessibility, working in conjunction with interior lobby and elevator.
- 8 Ground Floor Units (finished floor) minimum 30" above average grade along frontages.
- 9 Main entrance articulation.
- 10 Prominent sills and/or heads required for windows located along Principal Frontages (discouraged along other exterior walls).
- 11 Building façade treatments optional along intersecting streets.
- 12 No building entrances from side parking lots allowable. Otherwise, sides and backs of buildings not regulated by this code, except at corners (as shown here).
- 13 Towers, sculptures, and other characteristic forms and/or focal points encouraged (not illustrated).
- 14 The first story shall be a minimum 11'-9" and maximum 16'-9" in height, floor to floor.
- 15 Facades to extend along Min. 80% of principal lot frontage.
- 16 Lawn, patio, or terrace allowable within front setback area. Other landscaping shall be behind required 30" height manicured hedge or 28" to 30" height decorative iron fence continuous along right-of-way line at Principal Frontage.
- 17 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.

| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|----------------------|--------------------------------|---|
| | A Front Setback | 0'-0" to 10'-0" |
| | B Side Yard Setback (Lot Line) | Minimum 0'-0" |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| | D Side Yard Setback (Row) | Maximum 0'-0" |

| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
|------------------------|--|--------------------------------|
| | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Façade (Secondary Frontage) | Minimum 27'-8" |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 5 Stories / 60'-0" |
| | G Building Stepback | Each level stepped back 10'-0" |

LANDMARK

BUILDING TYPE



The Landmark Building Type is intended for non-commercial uses. Landmark Buildings are required to have a lobby located along their principal frontage and to provide visibility and access to the main entrance from the corresponding street. Building Style is unregulated.

ILLUSTRATED DESIGN STANDARDS

- 1 Prominent, main entrance along Principal Frontage or at a corner of two frontages and, if the building is setback from the right-of-way, the entrance shall be connected to a public sidewalk with a paved path minimum 5'-0" in width.
- 2 Architectural style unregulated.
- 3 Low hedge, fence or wall located at right-of-way lines, Max 30" in ht.
- 4 Main entrance at grade for accessibility.
- 5 Setbacks landscaped. Dimensional extents of setbacks unregulated.
- 6 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.
- 7 Bell towers, clock towers, and other vertical building elements may exceed the maximum allowable building height by up to 35%, provided they do not occupy in excess of 1,600 square feet of site area.
- 8 If the building is setback from any right-of-way, the setback area must be landscaped and include a decorative wall or fence or a manicured hedge, 28" to 34" in height, at the right-way line.



| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|----------------------|--------------------------------|--|
| | A Front Setback | — |
| | B Side Yard Setback (Lot Line) | — |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| | D Side Yard Setback (Row) | — |

| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
|------------------------|--|--------------------------------|
| | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Façade (Secondary Frontage) | — |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 5 Stories / 66'-0" |
| | G Building Stepback | Each level stepped back 10'-0" |

MAKER SPACE

BUILDING TYPE




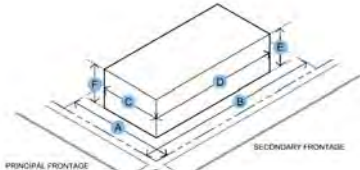
The Maker Space Building Type combines craft-scale production operations with retail sales in a walkable, urban context. Therefore, the frontage may be divided between a plate-glass storefront and an industrial façade, which may or may not include a garage door. The illustrations below show the Maker Space Building Type with access to the craft production area, via a garage door, directly from the Principal Frontage. However, where alley access is available, any garage doors must be located along, and accessed from, the alley.

ILLUSTRATED DESIGN STANDARDS

- 1 Brick facades located along rights-of-way (Maximum 10'-0" setback allowable along Principal Frontage, in conjunction with restaurant use, for outdoor dining).
- 2 Storefronts (minimum 70% glass between 2'-0" and 10'-0" above average grade) constituting minimum 50% of Principal Frontage and extending minimum 10'-0" along a Secondary Frontage.
- 3 Main entrance recessed minimum 3'-0" along Principal Frontage. Main entrance must be along principal frontage or at the corner of two frontages.
- 4 Craft production space contiguous with retail space.
- 5 Brick relief required as part of façade design along Principal Frontage.
- 6 Articulated parapet located along Principal Frontage.
- 7 Garage door allowable along frontages if no alley access is available.
- 8 Optional utility or man door located along frontage, maximum 3'-0" x 7'-0", not required to be recessed.
- 9 Main level accessible at grade.
- 10 All windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 11 Shopfronts required on minimum 50% of principal frontages.
- 12 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|---|--------------------------------|---|
|  | A Front Setback | 0'-0" to 10'-0" |
| | B Side Yard Setback (Lot Line) | Minimum 0'-0" |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| | D Side Yard Setback (Row) | Maximum 0'-0" |

| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
|---|--|--------------------------|
|  | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Façade (Secondary Frontage) | Minimum 27'-8" |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 1 Story / 24'-0" |

MIXED USE

BUILDING TYPE

The Mixed-Use Building Type is a multi-story building with plate-glass storefronts extending along the entire length of the Principal Frontage. It is employed within walkable commercial districts and integral in the creation of such districts.



ILLUSTRATED DESIGN STANDARDS

- 1 Traditional building façade treatments (including masonry reliefs and/or motifs) with main business entrance to be located along Principal Frontage and at right-of-way line along Secondary Frontages. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 2 Main entrance doors must remain unlocked during business hours.
- 3 Main level accessible at grade.
- 4 Open, plate-glass shopfronts, located at ground-floor level along street of building address, with façade supported above by columns and beams and extending for a distance of minimum 10'-0" around building corners at intersecting streets. Plate glass material beginning 15" to 18" above finish grade and extending almost to underside of beam, with alternate leaded or stained-glass transoms minimum 8'-0" above finish grade. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 5 Sign band and/or secondary cornice integral with shopfronts and above plate glass and/or transoms. Such sign band or cornice may be used to satisfy the one horizontal molding or accent material band projection requirement.
- 6 Recessed doorways located within shopfronts.
- 7 Opaque exterior walls above ground floor, through which window openings appear to have been "punched" (such as through paper in a ring binder), with such windows recessed into the façade min 4", reinforcing this effect.
- 8 Minimum one additional horizontal molding or accent material band projection, casting a secondary horizontal shadow line, dividing the façade into layers. This feature is excepted on Art Deco-style buildings.
- 9 Pattern of solids and voids above ground floor, coordinated within structural bays, generated by the vertical and horizontal alignment of rectangular windows and doors in various repeating sizes. Segmented arches allowable atop rectangular windows in these locations.
- 10 Radii of arches on segmented-arch windows must equal widths of corresponding masonry openings.
- 11 Arched building tops prohibited.
- 12 Open-ended, canvas, sloped awnings above shopfront windows. Rigid, horizontal suspended awnings optional.
- 13 Decorative sills and/or headers required on upper-floor windows located on facades.
- 14 Sides and backs of buildings not regulated by this code, except at corners (as illustrated here).
- 15 Building façade treatments optional along intersecting streets.
- 16 Towers, sculptures, and other characteristic forms and/or focal points encouraged (not illustrated).
- 17 Ground floor to 2nd floor to floor distance limited to 15'. Other floor-to-floor heights limited to maximum 10'.
- 18 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



BUILDING DISPOSITION

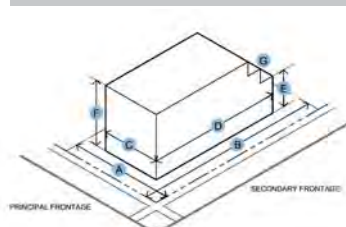


APPLICABLE REGULATION

STANDARD

| | | |
|---|------------------------------|---|
| A | Front Setback | 0'-0" to 10'-0" |
| B | Side Yard Setback (Lot Line) | Minimum 0'-0" |
| C | Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| D | Side Yard Setback (Row) | Maximum 0'-0" |

BUILDING CONFIGURATION



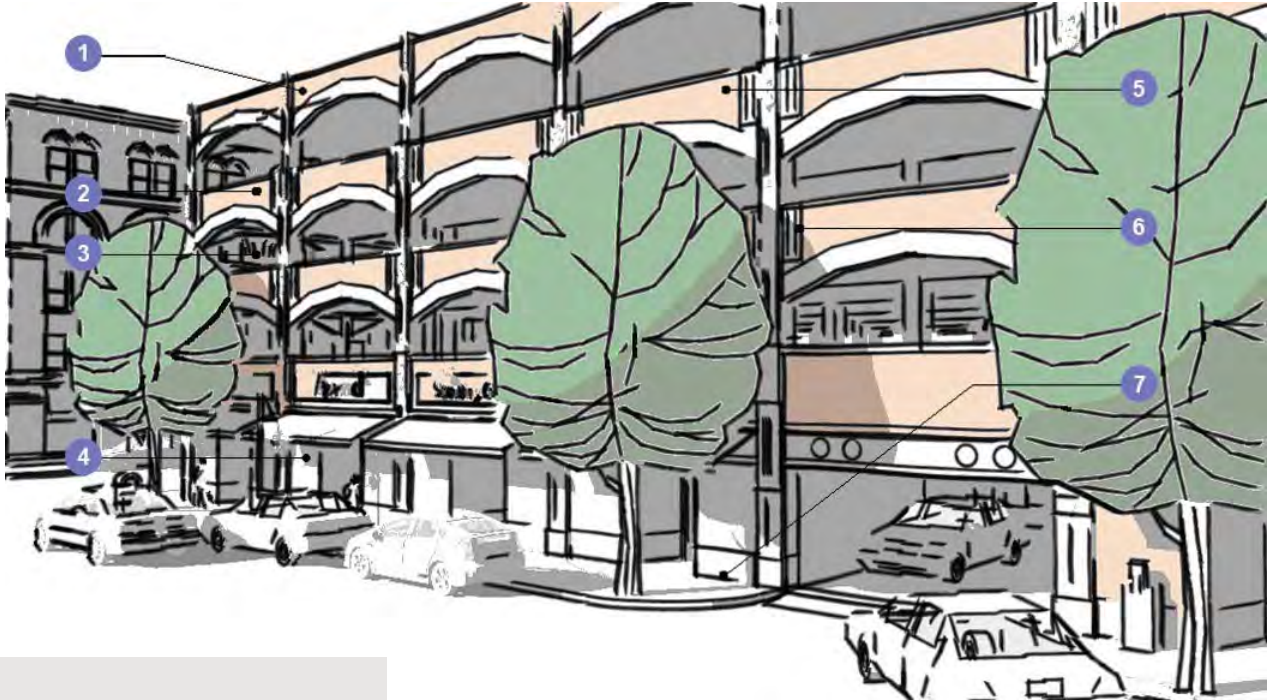
APPLICABLE REGULATION

STANDARD

| | | |
|---|--------------------------------------|--------------------------------|
| A | Width of Lot | — |
| B | Depth of Lot | — |
| C | Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| D | Width of Façade (Secondary Frontage) | Minimum 27'-8" |
| E | Maximum Height at Rear Setback Line | Maximum 24'-0" |
| F | Maximum Building Height | 4 Stories / 48'-0" |
| G | Building Stepback | Each level stepped back 10'-0" |

PARKING GARAGE

BUILDING TYPE



The Parking Garage Building Type has structured parking located behind and above retail and restaurant uses. The purpose of this Building Type is to accommodate a customer base large enough to render retail, restaurant, office and entertainment uses viable within walkable, mixed-use environments, as well as to provide long-term parking for residents.



ILLUSTRATED DESIGN STANDARDS

- 1 Recess successive stories 4" to 8".
- 2 Functional building form with level floors (to accommodate alternate future uses) and dedicated up and down lanes on sloped ramps.
- 3 Masonry openings able to accommodate windows at some point in the future.
- 4 Ground floor shopfronts along all street frontages. The ground floor shall be made-up of storefronts with minimum 70% glass between 2'-0" and 10'-0" above average grade and shop entrances recessed from the façade min. 3'-0".
- 5 Brick upper facades along street frontages.
- 6 Decorative articulation and relief along street frontages.
- 7 Building constructed to right-of-way lines. 10'-0" setback allowable for outdoor dining (in conjunction with restaurant uses).
- 8 Maximum four stories.
- 9 Main level accessible at grade.
- 10 Arched building tops prohibited.
- 11 Ground floor to second floor distance 11'-0" to 15'-0". Ceiling heights min. 8'-0" clear of beams and other obstructions.
- 12 Vehicular entrances and exits shall be from secondary frontages or alleys and pedestrian crossings shall be designed to ensure safety.
- 13 All windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT). Portions of the window covered by permitted window signage shall be exempt from these requirements.
- 14 Parking surfaces shall be level to accommodate adaptive reuse of individual floors (with dedicated ramps or elevators provided for vertical movement of vehicles).
- 15 A parking structure in a building with non-parking uses above the first story shall be subject to the requirements of the building type that most closely matches the proposed design, rather than these requirements.
- 16 Exterior materials shall be minimum 50% red brick with the remainder natural concrete. Shopfront frames, sashes and doors shall be of a regular, dark finish.
- 17 Any masonry arches shall be segmented and their radii shall equal the width of their spans.
- 18 Façades with decorative reliefs are required along all frontages and should recess slightly at each subsequent level.

BUILDING DISPOSITION

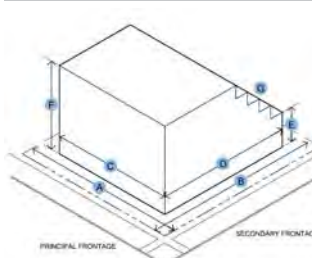


APPLICABLE REGULATION

STANDARD

| | | |
|---|------------------------------|---|
| A | Front Setback | 0'-0" to 10'-0" |
| B | Side Yard Setback (Lot Line) | Minimum 0'-0" |
| C | Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| D | Side Yard Setback (Row) | Maximum 0'-0" |

BUILDING CONFIGURATION



APPLICABLE REGULATION

STANDARD

| | | |
|---|--------------------------------------|--------------------------------|
| A | Width of Lot | — |
| B | Depth of Lot | — |
| C | Width of Façade (Principal Frontage) | Minimum 95% of lot width |
| D | Width of Façade (Secondary Frontage) | Minimum 60'-0" |
| E | Maximum Height at Rear Setback Line | Maximum 24'-0" |
| F | Maximum Building Height | 6 Stories / 68'-0" |
| G | Building Stepback | Each level stepped back 10'-0" |

PEDESTRIAN ORIENTED

BUILDING TYPE



The Pedestrian-Oriented Building Type is a single or multi-story building designed for retail or office uses, which means it has a storefront built up to (or near to) an urban sidewalk along the entirety of its Principal Frontage and extending minimum 10'-0" along a Secondary Frontage. The building itself must be built to the right-of way along all frontages, but may be set back up to 10'-0" along the Principal Frontage for outdoor dining, if in conjunction with a food service establishment. Common entrances and other spaces may be shared between uses.

ILLUSTRATED DESIGN STANDARDS

- 1 Main entrance must be recessed minimum 3'-0" behind façade and located along the Principal Frontage.
- 2 Building cornice (at top of building). (Min. 3" conc. cap on masonry wall).
- 3 Traditional building façade treatments (including masonry reliefs and/or motifs).
- 4 Sign band and/or secondary cornice integral with shopfronts and above plate glass and/or transom windows.
- 5 Main level accessible at grade.
- 6 Open, plate-glass shopfronts, located at ground-floor level along street of building address, with façade supported above by columns and beams and extending for a distance minimum 10'-0" around building corners at intersecting streets. Plate glass material must begin 15" to 18" above finish grade (top of sidewalk) and extend almost to underside of beam, with alternate leaded or stained glass transoms minimum 8'-0" above finish grade.
- 7 Radii of arches on segmented-arch windows must equal widths of corresponding windows or masonry openings.
- 8 Arched building tops prohibited.
- 9 Open-ended, canvas, sloped awnings or rigid suspended awnings above shopfront windows.
- 10 Main business entrances to be located along streets of corresponding building address. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 11 Building façade treatments optional along intersecting streets (not illustrated).



| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|------------------------|--|---|
| | A Front Setback | 0'-0" to 10'-0" |
| | B Side Yard Setback (Lot Line) | Minimum 0'-0" |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential lot |
| | D Side Yard Setback (Row) | Maximum 0'-0" |
| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
| | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Façade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Façade (Secondary Frontage) | Minimum 27'-8" |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 1 Story / 24'-0" |

THEATER

BUILDING TYPE



The Theater Building Type is a Building Type intended to provide an exception to the storefronts and otherwise well fenestrated buildings prevalent within walkable mixed-use environments. Accordingly, the side and rear walls of this Building Type may appear blank and without windows. This Building Type shall provide, however, a lobby along the Principal Frontage with partially transparent exit doors.

The purpose of this building type to contribute to a walkable mixed-use environment, in keeping with precedents established by historic downtowns. The Theater Building Type is intended to accommodate lobby, retail, and restaurant uses along its principal frontage with auditorium or arena uses behind and office uses above.

ILLUSTRATED DESIGN STANDARDS

- 1 Traditional building façade treatments (including masonry reliefs and/or motifs), as well as main business entrance, to be located along Principal Frontage and built to right-of-way line along Secondary Frontages. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 2 Arched building tops prohibited.
- 3 Blank walls at sides of venue (emergency exits excepted).
- 4 Exterior ticket booth / will call allowable along frontages.
- 5 Marquee, with illuminated vertical sign, displaying venue name and changeable horizontal rows of black letters on a back-lit white background above main entrance and 8'-0" clear above sidewalk.
- 6 Opaque facade above ground floor along Principal Frontage with window openings appearing as "punched" as through paper in a ring binder.
- 7 Radii of arches on segmented-arch windows must equal widths of corresponding windows.
- 8 Parking or alley at rear.
- 9 Main level accessible at grade.
- 10 Floor to floor heights 10' to 14'.
- 11 All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 12 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



| BUILDING DISPOSITION | APPLICABLE REGULATION | STANDARD |
|----------------------|--------------------------------|---|
| | A Front Setback | 0'-0" to 10'-0" |
| | B Side Yard Setback (Lot Line) | Minimum 0'-0" |
| | C Rear Yard Setback | Minimum 0' from alley, 10' from residential Lot |
| | D Side Yard Setback (Row) | Maximum 0'-0" |

| BUILDING CONFIGURATION | APPLICABLE REGULATION | STANDARD |
|------------------------|--|--------------------------------|
| | A Width of Lot | — |
| | B Depth of Lot | — |
| | C Width of Facade (Principal Frontage) | Minimum 80% of lot width |
| | D Width of Facade (Secondary Frontage) | Minimum 27'-8" |
| | E Maximum Height at Rear Setback Line | Maximum 24'-0" |
| | F Maximum Building Height | 3 Stories / 38'-0" |
| | G Building Stepback | Each level stepped back 10'-0" |

MUI-1 MIXED USE INNOVATION DISTRICT

PREAMBLE

The Mixed-Use Innovation-1 (MUI-1) District is established to promote the reuse of older, character giving structures that may no longer be suitable for their original purposes. The MUI-1 district is intended to provide for an eclectic mix of uses reflective of long-established development patterns at a pedestrian scale, including the adaptive reuse of existing, smaller industrial spaces into new commercial, residential, artisan industrial, and mixed-use projects. The MUI-1 district supports a variety of residential, commercial, and light industrial uses that are compatible with surrounding neighborhoods, and accounts for the appropriate mitigation of other potential adverse impacts on adjacent residential uses.

PERMITTED USES

- » Adult-Use Marihuana Safety Compliance Facility
- » Artisan Manufacturing
- » Bar/Lounge
- » Business or Trade Schools
- » Community Recreation Centers and Private Noncommercial Recreational Areas
- » Day Care Home (six children or fewer)
- » Financial Institution
- » General Retail
- » Health Club
- » Incubator Kitchen
- » Incubator Workspaces
- » Indoor Recreational Business
- » Industrial Tool and Equipment Sales, Service, Storage, and Distribution
- » Live/Work
- » Manufacturing
- » Medical Marihuana Caregiver
- » Medical Marihuana Safety Compliance Facility
- » Medical Office
- » Medical Supply Store
- » Mixed-Use Developments
- » Municipal Office Buildings
- » Municipal Service Buildings
- » Painting, Varnishing, and Undercoating Shops
- » Personal Service Establishment
- » Pharmacy
- » Private Clubs or Lodges
- » Production, Processing, Cleaning, Servicing, Testing, Repair or Storage of Materials, Goods, or Products
- » Professional Office
- » Publicly Owned and Operated Parks, Parkways, and Recreational Facilities
- » Restaurant
- » Upper-Story Residential

SPECIAL LAND USES

- » Automotive Sales (New)
- » Automotive Sales (Used)
- » EV Charging Facility or Vehicle Fueling
- » Hotels and Motels
- » Microbreweries and Distilleries
- » Mobile Food Court (principal use)
- » Motor Vehicle Repair and Service Facilities
- » One-Family Attached/ Townhome
- » Open Air Business
- » Outdoor Recreational Business
- » Outdoor Theater
- » Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit
- » Religious Institutions
- » Self-Storage Facilities
- » Theaters, Assembly Halls, Concert Halls, or similar places
- » Veterinarian Clinic
- » Warehousing
- » Wholesale Establishments

ACCESSORY USES

- » Accessory Buildings, Structures, and Uses
- » Home Offices and Home Occupations
- » Mobile Food Site (accessory use)

The above list is a summary of Principal Permitted Uses or uses permitted on Special Approval in the District. Uses provided with a section reference indicates uses that have specific use standards. Refer to [Article 2](#) for definitions of uses.

DIMENSION REGULATIONS

LOT STANDARDS

| | |
|--------------------------------|--------------------------|
| Min. Lot Area | — |
| Min. Lot Width | — |
| Max. Lot Coverage | — |
| Maximum Density | — |
| Max. Building Height (ft.) | 40 ft. ^[1] |
| Max. Building Height (stories) | 3 Stories ^[1] |

MINIMUM SETBACKS

| | |
|----------------------|--|
| Front Yard | Minimum: 0 ft. Maximum: 10 ft. |
| Side Yard (interior) | 0 ft (where sharing party wall); 5 ft. otherwise |
| Side Yard (street) | 5 ft. |
| Rear Yard | 5 ft. (alley-loaded); 15 ft. otherwise ^{[1][2]} |

[1] Any portion of a building within 40 feet of a property zoned R-1, R-2 or R-3 shall not exceed 30 feet and two stories in height.

[2] The alley-loaded rear yard setback standard shall also apply to those properties that abut E. Heights Street/1-696 Service Drive.

1. **Design Standards.** The following design standards apply to buildings and sites within the MUI-1 districts.

A. Façade Design.

- 1) Large expanses of highly reflective wall surface material, and of mirrored glass on exterior walls are prohibited.
- 2) Buildings with façades over 150 feet in length must incorporate wall projections or recesses, or changes in wall plane a minimum of 4 inches in depth a maximum of every 25 linear feet.
- 3) The ground floor of the front façade must maintain a minimum transparency of 30%, measured between 2 and 10 feet in height from grade.
- 4) Portions of the front façade at second floor or higher must maintain a minimum transparency of 15% of the wall area on each story.
- 5) The following exterior wall building materials are allowable:
 - a) Rock face block, natural finish.
 - b) Red, blond or brown brick, unit dimensions limited to 2.666" x 8 8".
 - c) Portland Cement Stucco, natural finish.
 - d) Finished Concrete (up to 20% of wall area).
 - e) Steel or painted wood windows and storefronts.
 - f) Cedar lap siding and shingles, painted or stained. (Limited to Cottage Retail Building Type).
 - g) Painted wood trim.
 - h) Limestone and terra cotta for decorative elements and trim
- 6) The following pitched roof material are allowable:
 - a) Corrugated Metal
 - b) Dimensional asphalt shingles
 - c) Raised seam roofing, natural metal finish.
 - d) Clay tile roofing
 - e) Slate

B. Roof Design (flat roofs).

- 1) Green roof, blue roof, and white roof designs are encouraged.
- 2) Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.

C. Entrance Design.

- 3) Public entrances and primary building elevations must be oriented toward public streets or private streets. Main entrances to the building must be well defined.
- 4) Entries to office or guest facilities must address the street, with direct access to office or guest facilities from street frontages and parking areas.

D. Site Design.

2. Front setbacks of buildings must be measured to an existing or new street right-of-way line (or to a line established 10' from existing service drive pavement edge).

MUI-2 MIXED USE INNOVATION DISTRICT

PREAMBLE

The Mixed-Use Innovation-2 (MUI-2) District is established to promote the redevelopment of moderate to larger-scale regional commercial centers into walkable, compact developments featuring a cohesive mix of commercial, residential, and recreational land uses. MUI-2 development standards are intended to allow for the creation of integrated mixed-use, walkable districts, that prioritize pedestrian connectivity over vehicle circulation and parking. The MUI-2 district is also intended as an alternative format for larger-scale commercial uses than that of the Business (B) zoning districts.

PERMITTED USES

- » Bar/Lounge
- » Business or Trade Schools
- » Community Recreation Centers and Private Noncommercial Recreational Areas
- » Day Care Center
- » Day Care Home (six children or fewer)
- » Financial Institution
- » General Retail
- » Health Club
- » Hotels and Motels
- » Incubator Kitchen
- » Incubator Workspaces
- » Independent Senior Housing
- » Indoor Recreational Business
- » Live/Work
- » Medical Office
- » Medical Supply Store
- » Mixed-Use Developments
- » Municipal Office Buildings
- » Multiple-Family Dwellings
- » Municipal Service Buildings
- » One-Family Attached/ Townhome
- » Personal Service Establishment
- » Pharmacy
- » Private Clubs or Lodges
- » Professional Office
- » Publicly Owned and Operated Parks, Parkways, and Recreational Facilities
- » Restaurant
- » Upper-Story Residential
- » Veterinarian Clinic

SPECIAL LAND USES

- Artisan Manufacturing
- EV Charging Facility or Vehicle Fueling
- Microbreweries and Distilleries
- Mobile Food Court (principal use)
- Nursing or Convalescent Home
- Open Air Business
- Outdoor Recreational Business
- Outdoor Theater
- Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit
- Religious Institutions
- Theaters, Assembly Halls, Concert Halls, or similar places

ACCESSORY USES

- Home Offices and Home Occupations
- Mobile Food Site (accessory use)

The above list is a summary of Principal Permitted Uses or uses permitted on Special Approval in the Districts. Uses provided with a section reference indicates uses that have specific use standards. Refer to [Article 2](#) for definitions of uses.

DIMENSION REGULATIONS

LOT STANDARDS

| | |
|--------------------------------|------------|
| Min. Lot Area | — |
| Min. Lot Width | — |
| Max. Lot Coverage | — |
| Maximum Density | 35 du/acre |
| Max. Building Height (ft.) | 50 ft. |
| Max. Building Height (stories) | 4 |

MINIMUM SETBACKS

| | |
|----------------------|--|
| Front Yard | Minimum: 10 ft. Maximum (arterial/collector streets only): 25 ft. |
| Side Yard (interior) | 0 ft (where sharing party wall); 5 ft. otherwise |
| Side Yard (street) | 5 ft. |
| Rear Yard | 15 ft. |

1. **Design Standards.** The following design standards apply to buildings and sites within the MUI-2 districts.

A. Façade Design.

- 1) Large expanses of highly reflective wall surface material, and of mirrored glass on exterior walls are prohibited.
- 2) Buildings with façades over 150 feet in length must incorporate wall projections or recesses, or changes in wall plane a minimum of 4 inches in depth a maximum of every 25 linear feet.
- 3) The ground floor of the front façade must maintain a minimum transparency of 30%, measured between 2 and 10 feet in height from grade.
- 4) Portions of the front façade at second floor or higher must maintain a minimum transparency of 15% of the wall area on each story.
- 5) The following exterior wall building materials are allowable:
 - a) Rock face block, natural finish.
 - b) Red, blond or brown brick, unit dimensions limited to 2.666" x 8 8".
 - c) Portland Cement Stucco, natural finish.
 - d) Finished Concrete (up to 20% of wall area).
 - e) Steel or painted wood windows and storefronts.
 - f) Cedar lap siding and shingles, painted or stained. (Limited to Cottage Retail Building Type).
 - g) Painted wood trim.
 - h) Limestone and terra cotta for decorative elements and trim
- 6) The following pitched roof material are allowable:
 - a) Corrugated Metal
 - b) Dimensional asphalt shingles
 - c) Raised seam roofing, natural metal finish.
 - d) Clay tile roofing
 - e) Slate

B. Roof Design (flat roofs).

- 1) Green roof, blue roof, and white roof designs are encouraged.
- 2) Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.

C. Entrance Design.

- 1) Public entrances and primary building elevations must be oriented toward public streets or private streets. Main entrances to the building must be well defined.
- 2) Entries to office or guest facilities must address the street, with direct access to office or guest facilities from street frontages and parking areas.

D. Site Design.

- Parking shall be located within the rear yard or interior side yard.
2. Front setbacks of buildings must be measured to an existing or new street right-of-way line (or to a line established 10' from existing service drive pavement edge).
 3. New Street Standards, for multiple streets on development site:
 - A. Street spacing max 500' o.c.
 - B. Allowable Right-Of-Way widths 66' to 100'.
 - C. Allowable pavement widths 17' to 46'.
 - D. On-street parallel parking required. (For pavement less than 25' in width, one side parking shall be deemed sufficient).
 - E. Street trees planted 40' to 66' o.c. at regular intervals.
 - F. Multiple streets must be laid-out form an interconnected network of streets and blocks, block sizes max. 500' in any direction (measured to and from street centerlines).
 - G. Sidewalks and curbs required on both sides of new streets.
 - H. New Culs-de-sac prohibited.
 - I. New streets must terminate at other streets, or extend to a lot line or development limit to accommodate off-site connections.

OVERALL PERMITTED USES

The following Table details Principal Permitted Uses, Uses Permitted on Special Approval, and Accessory Uses by zoning district. This allows readers the ability to understand what's permitted where all in one location instead of sifting through every zoning district. Please note that this table still has yet to be finalized and is still considered a draft at this time.

- R-1** One-Family Residential District
- R-2** One-Family Residential District
- R-3** One-Family Residential District
- R-T** Two-Family Townhouse Residential District
- R-M** Multiple-Family Residential District
- O-1** Office Building District
- B-1** Neighborhood Business District
- B-2** Community Business District
- B-3** Regional Business District
- MUI-1** Mixed Use Innovation District
- MUI-2** Mixed Use Innovation District
- M-1** Light Industrial District
- M-2** Heavy Industrial District
- H-M** Mobile Homes District
- H-R** High Rise District
- N-P** Natural Preservation District

Key:
P Principal Uses Permitted
S Uses Permitted on Special Approval
A Uses Permitted on Special Approval
 Not Permitted

| LAND USE | R-1 | R-2 | R-3 | R-T | R-M | O-1 | B-1 | B-2 | B-3 | MUI-1 | MUI-2 | M-1 | M-2 | H-M | H-R | N-P |
|---|-----|-----|-----|-----|-----|-----|-----|-----|-----|-------|-------|-----|-----|-----|-----|-----|
| RESIDENTIAL USES | | | | | | | | | | | | | | | | |
| Accessory Dwelling Unit | | | | | | S | | | A | | | | | | | |
| Day Care Home (six children or fewer) | P | P | P | P | | | | | | P | P | | | | | |
| Independent Senior Housing | | | | | | | | | | P | P | | | | S | |
| Upper-Story Residential | | | | | | | | | | P | P | P | P | | | |
| Live/Work | | | | | | | | | | P | P | | | | | |
| Mobile Homes or Trailer Coaches | | | | | | | | | | | | | | | P | |
| Multiple-Family Dwellings | | | | | P | | | | | | P | | | | | |
| Mixed-Use Developments | | | | | | | | | P | P | | P | P | | | |
| Nursing or Convalescent Home | | | | | S | | | | | | S | | | | | |
| One-Family Attached/ Townhome | | | | P | P | | | | | S | P | | | | | |
| One-Family Detached Dwellings | P | P | P | P | P | | | | | | | | | | | P |
| Two-Family Dwellings | | | | P | P | | | | | | | | | | | |
| COMMERCIAL USES | | | | | | | | | | | | | | | | |
| Auto Wash | | | | | | | | | S | | | | | | | |
| Automotive Sales (New) | | | | | | | | | P | S | | | S | S | | |
| Automotive Sales (Used) | | | | | | | | | S | S | | P | P | P | | |
| Bar/Lounge | | | | | | | S | S | S | P | P | S | S | | S | |
| Business or Trade Schools | | | | P | | | | | P | P | P | P | P | | P | |
| Commercial Kennels | | | | | | | | | | | | S | | | | |
| Day Care Center | | | | P | P | P | | | | P | | | | | | |
| Financial Institution | | | | P | | | | | | P | P | P | P | | | |
| Funeral Homes | | | | S | | | | | S | | | | | | | |
| Gasoline Service Station | | | | | | S | S | S | | | | | | | | |
| General Retail | | | | | | P | P | P | P | P | P | | | | P | |
| Health Club | | | | | | | | | | P | P | P | P | | | |
| Hospital | | | | S | P | | | | | | | | | | | |
| Hotels and Motels | | | | | | | | | S | S | P | | | | P | |
| Incubator Kitchen | | | | | | P | | | | P | P | | | | | |
| Indoor Gun Range | | | | | | | | | S | | | S | S | | | |
| Indoor Recreational Business | | | | | | S | P | P | P | P | P | P | P | | P | |
| Medical Office | | | | | | P | P | | | P | P | P | P | | | |
| Medical Supply Store | | | | | | S | | | | P | P | | | | | |
| Microbreweries and Distilleries | | | | | | | | | | S | S | P | P | | | |
| Mixed-Use Developments | | | | | | | | | P | P | P | P | P | | | |
| Mobile Food Court (principal use) | | | | | | S | S | S | S | S | S | S | S | | | |
| Mobile Food Site (accessory use) | | | | | | A | A | A | A | A | A | A | A | A | | |
| Motor Vehicle Repair and Service Facilities | | | | | | S | S | S | | | | S | | | | |
| Open Air Business | | | | | | | | P | S | S | S | | | | | |
| Outdoor Recreational Business | | | | | | | | | P | S | S | | | | | |
| Outdoor Theater | | | | | | | | | S | S | S | S | | | | |
| Personal Service Establishment | | | | | | S | P | S | P | P | P | | | | P | |
| Pharmacy | | | | | | S | | | | P | P | | | | P | |
| Professional Office | | | | | | P | P | | | P | P | P | P | | P | |
| Race tracks | | | | | | | | | | | | S | | | | |
| Restaurant | | | | | | S | P | P | P | P | P | P | P | | P | |
| Self-Storage Facilities | | | | | | | | | | S | | S | | | | |
| Theaters, Assembly Halls, Concert Halls, or similar places | | | | | | | P | | | S | S | | | | | |
| Veterinarian Clinic | | | | | | S | | | S | S | P | P | P | | | |
| INDUSTRIAL USES | | | | | | | | | | | | | | | | |
| Artisan Manufacturing | | | | | | | | | | P | S | | P | | | |
| Assembly Plant | | | | | | | | | | | | S | S | | | |
| Building Material Outlets | | | | | | | | | | | | S | S | | | |
| Incubator Workspaces | | | | | | | | | | P | P | P | P | | | |
| Industrial Tool and Equipment Sales, Service, Storage, and Distribution | | | | | | | | | | | | S | | | | |
| Lumber Yards | | | | | | | | | | | | S | S | | | |
| Manufacturing | | | | | | | | | | P | | P | P | | | |
| Metal Plating, Buffing and Polishing | | | | | | | | | | | | S | S | | | |
| Painting, Varnishing, and Undercoating Shops | | | | | | | | | | P | | S | S | | | |
| Production, Processing, Cleaning, Servicing, Testing, Repair or Storage of Materials, Goods, or Products | | | | | | | | | | P | | | P | | | |
| Trucking Facilities | | | | | | | | | | | | P | P | | | |
| Warehousing | | | | | | | | | | S | | P | P | | | |
| Wholesale Establishments | | | | | | | | | | S | | P | P | | | |
| PUBLIC & QUASI-PUBLIC USES | | | | | | | | | | | | | | | | |
| Community Recreation Centers and Private Noncommercial Recreational Areas | S | S | S | P | | | | | | P | P | S | | | | |
| Libraries | S | S | S | P | | | | | | P | | | | | | |
| Municipal Office Buildings | S | S | S | P | | | | | | P | P | P | | | | |
| Municipal Service Buildings | S | S | S | P | | | | | | P | P | P | | | | |
| Private Clubs or Lodges | | | | | | | | | | P | P | P | | | P | |
| Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit | S | S | S | P | | | | | | S | S | | | | | |
| Public Utility | S | S | S | P | | P | S | | P | | | | | | | P |
| Publicly Owned and Operated Parks, Parkways, and Recreational Facilities | P | P | P | P | | | | | | P | P | | | | P | |
| Recycling Drop-Off Center | | | | | | | | S | S | | | | | | | |
| Recycling Transfer and Processing Facilities | | | | | | | | | | | | S | S | | | |
| Religious Institutions | S | S | S | P | | P | | P | | P | S | | | | | |
| Television and Radio Towers | | | | | | | | | | | | S | | | | |
| Yard Waste Transfer and Composting Facilities | | | | | | | | | | | | S | S | | | |
| OTHER USES | | | | | | | | | | | | | | | | |
| Accessory Buildings, Structures, and Uses | A | A | A | A | A | A | A | A | A | A | A | | A | A | A | A |
| Adult-Use Marihuana Safety Compliance Facility | | | | | P | | | | | | | | | | | |
| Adult-Use Marihuana Facility | | | | | | | | | | | | P | P | | | |
| Conservation of soil, vegetation, water, fish, and wildlife in their natural state. | | | | | | | | | | | | | | | | P |
| EV Charging Facility or Vehicle Fueling | | | | | | | | | | S | | | | | | |
| Home Offices and Home Occupations | A | A | A | A | A | | | | | A | A | | | | | |
| Medical Marihuana Safety Compliance Facility | | | | | P | | | | | | | | | | | |
| Medical Marihuana Caregiver | | | | | | | | | | P | | | | | | |
| Medical Marihuana Facility | | | | | | | | | | | | P | P | | | |
| Mixed-Use Developments | | | | | | | | | | P | P | | P | P | | |
| Natural Areas | | | | | | | | | | | | | | | | P |
| Temporary buildings and uses for construction purposes for a period not to exceed one year | S | S | S | P | | | | | | | | | | | | |



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PLANNING MAGAZINE

5 Practical Zoning Hacks for Missing Middle Housing

These thoughtful tweaks can help promote housing diversity and density in communities of all sizes.

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[INNOVATIONS \(/PLANNING/SECTION/INNOVATIONS/\)](#) ZONING



Images of different housing types can help minimize resistance to increased density. The site Missing Middle Housing offers images and videos to help educate your community on what to expect. Courtesy of Opticos Design, Inc.

March 21, 2022

By KATI WOOCK

One-third of American households are made up of a single individual. Up to 85 percent of households will not include children by 2025. By 2030, one in five Americans will be over the age of 65.

These statistics add up to a simple fact: Demand is high for smaller homes, lower living costs, walkable neighborhoods, and places for people to age in place. Yet zoning across the U.S. largely discourages these features.

That's because codes tend to be based on residential density, which is measured in dwelling units per acre, and most prioritize single-family housing. In 2019, *The New York Times* found that "it is illegal on 75 percent of the residential land (<https://www.nytimes.com/interactive/2019/06/18/upshot/cities-across-america-question-single-family-zoning.html?mtrref=en.wikipedia.org&assetType=PAYWALL&mtrref=www.nytimes.com&assetType=PAYWALL>) in many American cities to build anything other than a detached single-family home." Not only are large multifamily buildings banned from many neighborhoods, but so are smaller housing types that cost less than a single-family home: side-by-side and stacked duplexes, triplexes, townhouses. These constitute "missing middle housing," or "house-scale buildings that just happen to have multiple units in them," says [Daniel Parolek](https://opticosdesign.com/about/staff/daniel-parolek/) (<https://opticosdesign.com/about/staff/daniel-parolek/>), principal and CEO of Opticos Design, [who coined the term in 2010](https://missingmiddlehousing.com/about) (<https://missingmiddlehousing.com/about>).

In the past few years, [Oregon](https://www.sightline.org/2021/08/13/eight-ingredients-for-a-state-level-zoning-reform/) (<https://www.sightline.org/2021/08/13/eight-ingredients-for-a-state-level-zoning-reform/>), [Minneapolis](https://www.pbs.org/newshour/show/how-minneapolis-became-the-first-to-end-single-family-zoning) (<https://www.pbs.org/newshour/show/how-minneapolis-became-the-first-to-end-single-family-zoning>), [California](https://nlihc.org/resource/california-legislature-passes-bills-limit-exclusionary-zoning-and-increase-density) (<https://nlihc.org/resource/california-legislature-passes-bills-limit-exclusionary-zoning-and-increase-density>), and other states and cities have launched [zoning reform efforts](https://planning.org/2021/winter/3-zoning-changes-that-make-residential-neighborhoods-more-affordable/) (<https://planning.org/2021/winter/3-zoning-changes-that-make-residential-neighborhoods-more-affordable/>) to better promote housing affordability, diversity, and density. But if your community lacks the political will to make these kinds of sweeping changes, a few thoughtful tweaks can still make a big impact. Try these five zoning hacks — and a bonus tip — recommended by Parolek, then watch his [APA Learn course](https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) (https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) for more ways to increase local density.

1. REDUCE MINIMUM LOT SIZE.

Does your code require two lots to build a duplex or a fourplex? If a builder must aggregate multiple lots to build a small multiunit building, your minimum lot sizes are too big. Instead, replace minimum lot sizes with minimum lot widths and tie types of buildings to the lot's width, not its square footage.

2. ALLOW FOR MORE HOUSING TYPES AND REVISIT STRUCTURE SIZES.

As Joe Zehnder, chief planner for Portland, Oregon's Bureau of Planning and Sustainability, says, "if the house size is the same, why do you care how many units are in there?" In Portland, zoning changes now allow someone building on a 5,000-square-foot lot to construct up to four units divided between a main building and detached accessory dwelling units. Five or six units are allowed if half of them are affordable to low-income residents.

3. LEVEL THE PLAYING FIELD FOR SMALLER UNITS.

More density doesn't always mean bigger buildings. In Santa Barbara, California, an average unit size ordinance provides for increased density as the average unit size decreases. This enables missing middle housing by allowing for greater density, even in smaller structures.

4. REDUCE OR ELIMINATE PARKING MINIMUMS.

[Parking expert Professor Donald Shoup](https://publications.document/9194519/) ([https://publications/document/9194519/](https://publications.document/9194519/)), FAICP, of UCLA estimates that the U.S. has set aside two billion parking spaces for just 250 million cars and light trucks, resulting in far more land dedicated to cars than housing.

"If you want missing middle [housing], you need to fix your [parking standards](https://planning.org/2018/oct/peopleoverparking/) (<https://planning.org/2018/oct/peopleoverparking/>)," says Parolek. "We've done a better job delivering houses for cars than we have delivering houses for people." If you require more than one off-street parking space per unit, it's not economically viable or physically possible to create missing middle housing on infill lots. Instead, opt for one parking space — or even none — per unit and no guest parking.

In suburban or rural areas, like Beaufort County, South Carolina, driving might be a fact of life. Try being creative about how you design parking so it can become an extra unit in the future, if factors like demand or public transit change.

5. ALLOW MISSING MIDDLE HOUSING EVERYWHERE (IF POSSIBLE).

Is more than 20 percent of your land area zoned exclusively for single-family housing? Then you need to change the boundaries limiting missing middle housing to deliver it effectively and equitably. In Portland, Oregon, planners proposed allowing middle housing types in all districts across the city unless there is a physical limitation, like flooding or landslide hazards.

In response to displacement concerns, Zehnder says, "the more places where we allow this to happen, the less it's going to overwhelm any individual place." And development won't happen all at once: Portland planners estimate an add of 4,000 new units over the next 15 years. But if a single house in a wealthy neighborhood is replaced with three units, that alone can help take the pressure off demolitions in an area with lower incomes, Zehnder says.

BONUS TIP

Frame the conversation. When you're presenting your ideas to the community, especially those resistant to change, it can be helpful to avoid terms that might have negative connotations to some, like "density," "multifamily," or "upzoning." Present zoning changes as a way to offer new housing choices or options. Focus on form and scale, not density metrics. Imagery can help community members understand how missing middle types could look in their neighborhoods, too — check out missingmiddlehousing.com (<https://missingmiddlehousing.com>) for resources.

Kati Woock is a freelance editor and writer based in Michigan. This was adapted from a 2019 National Planning Conference session and [APA Learn course](https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) (https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) by [Daniel Parolek](https://opticosdesign.com/about/staff/daniel-parolek/) (<https://opticosdesign.com/about/staff/daniel-parolek/>), principal and CEO of Opticos Design.

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May 1, 2021



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What's Blocking an ADU Boom? (</planning/2021/summer/whats-blocking-an-adu-boom/>)

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Accessory dwelling units – Coming to a neighborhood near you?

Brad Neumann, [Michigan State University Extension](#) - September 09, 2022

With interest in urban living on the rise, more communities are considering amending local regulations to allow accessory dwelling units in traditional neighborhoods.



Nationwide, cities and small towns are experiencing housing affordability and attainability challenges. According to the Joint Center for Housing Studies of Harvard University's The State Of the Nation's Housing 2022 these challenges are driven by many factors such as rising costs and limited housing stock alongside increasing demand from homebuyers report. More communities are addressing the increased demand for housing in traditional neighborhoods by amending regulations to allow accessory dwelling units.

Accessory dwelling units (ADUs) are also known as granny flats, mother-in-law apartments or carriage houses. Regardless of the name, this definition from the Village of Beulah, Michigan zoning ordinance gets at the key concept – “An incidental and subordinate dwelling unit which provides living quarters for one (1) individual or a family that is on the same lot, but is separate from the primary dwelling unit....” Some communities include standard for accessory dwellings that requires one of the two dwelling units – either the principal dwelling or the accessory dwelling – to be occupied by the property owner in order to avoid an absentee landlord situation in which structures may sometimes fall into disrepair. Accessory dwelling units might be in an accessory building, such as a converted garage or new construction, or the accessory dwelling might be attached or part of the principal dwelling, such as a converted living space, attached garage, or an addition. The later may be called something else, like in the Village of Beulah ordinance that refers to them as accessory apartments.

Accessory dwelling units have been touted as an affordable housing strategy in communities where a brisk real estate market is driving families and talented workers out of the community. The relatively smaller size of such units makes them more affordable. What's more, such dwellings also provide additional income for property owners, making the principal residence also more affordable. Although, it is important to note that accessory dwellings will not solve the affordable housing problem alone.

In addition to making housing more affordable, communities have looked to ADUs as a way to increase density in neighborhoods as a counter measure to changing household and family structures. In order to improve business for local establishments in and around traditional neighborhoods, ADUs not only subtly increase population density; they increase the customer base near a community business district.

Any community that has considered changes to zoning to allow accessory dwelling units knows the topic is not without objection. Resistance to accessory dwelling units often relate to concerns about overcrowding, declining structural conditions, and increasing traffic. In practice, communities can offset these concerns with reasonable regulations and a robust planning process that includes public participation.

For instance, accessory dwellings may not be appropriate on every residential parcel. Sometimes local regulations include a minimum parcel size to be permitted (although, if this minimum size is too big it may defeat the purpose of increasing density in a traditional neighborhood). Also, regulations may require provision of one additional off-street parking space accessible from the existing driveway or alley. To help preserve neighborhood character, entry doors may be required to be screened from the street or off the side of a structure. So, depending on the size of the parcel, the size and orientation of the existing, principal dwelling, the driveway or alley configuration, and other special circumstances, accessory dwellings may not be appropriate on every single-family residential lot in a community.

There are numerous resources on ADUs for communities considering this housing option, some of those include:

- [ABCs of ADUs: A Guide to Accessory Dwelling Units and How They Expand Housing Options for People of All Ages](#) by AARP
- [Accessory Dwelling Units: A Step by Step Guide to Design and Development](#) by AARP
- [Accessory Dwelling Units: Model State Act and Local Ordinance](#) by the AARP
- [Accessory Dwelling Unit \(ADUs\) Case Study](#) by the U.S. Department of Housing and Urban Development
- [Accessory Dwelling Units – Knowledgebase Collection](#) by the American Planning Association
- [Accessory Dwelling Units – Quick Notes](#) by the American Planning Association
- [A Guide to Building a Backyard Cottage](#) by the City of Seattle
- [AccessoryDwellings.Org](#)

Additionally, example zoning regulations from Michigan communities that allow ADUs include:

- Clark Township (Mackinac County) allows as a permitted use in [any zoning district that permits single family dwellings](#)

- Hamburg Township (Livingston County) allows as a permitted use across several districts (see Sec. 36.239)
- Village of Beulah (Benzie County) allows as a permitted use with special conditions across residential and some commercial
- City of Traverse City requires registration and allows up to 15 new per year in its Single-Family Dwelling Districts
- City of Niles allows as a special land use in its Low-Density and Medium-Density Residential districts
- City of Manistee allows as a special use in its Medium-Density and High-Density Residential districts and by right in the Central Business District
- City of Grand Rapids allows as a special land use in all residential districts

If interested in learning more about accessory dwelling units, contact a Michigan State University Extension land use educator.

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