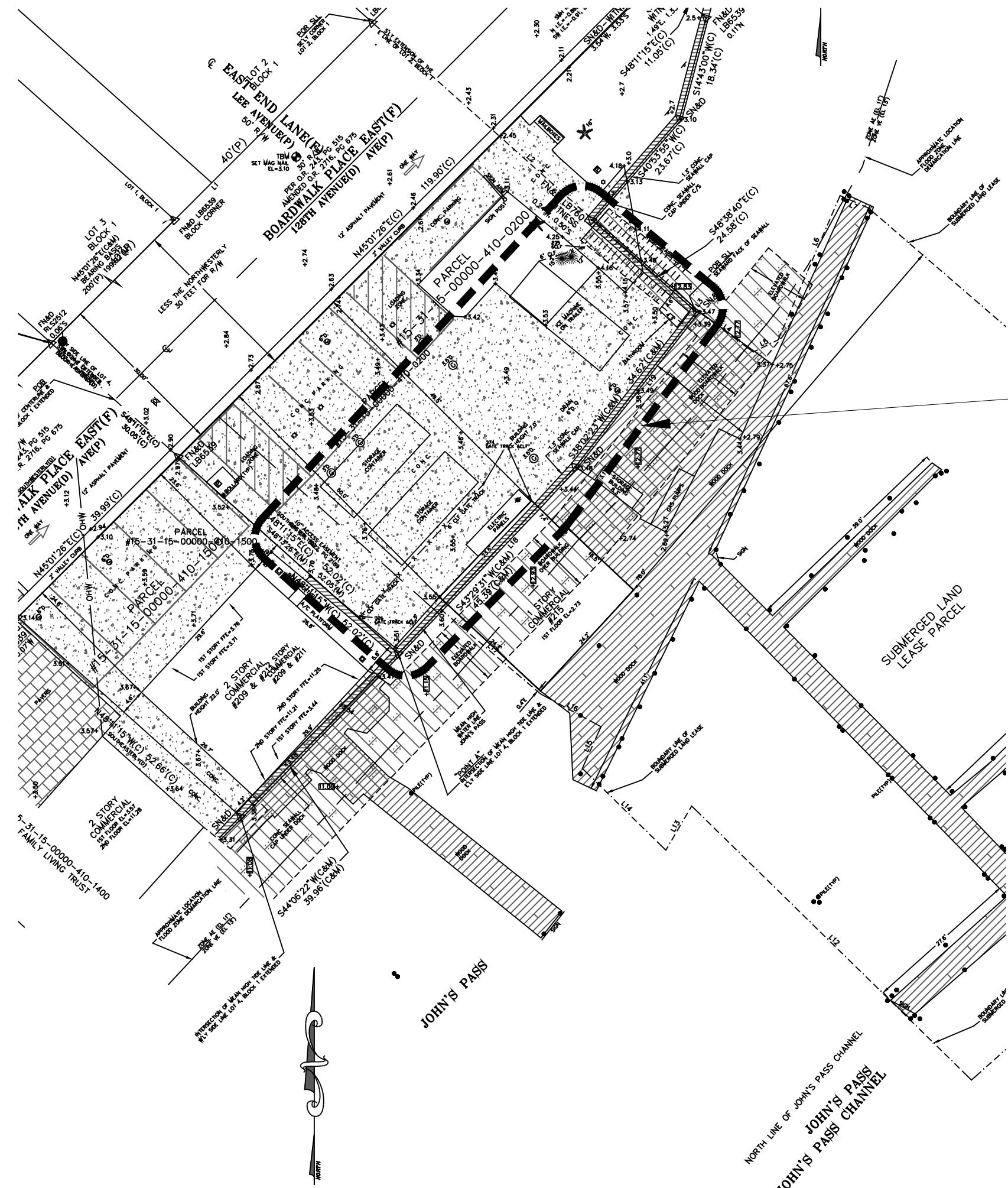


PROPOSED PROJECT FOR:

DON'S DOCK RESTAURANT

NEW FREESTANDING BUILDING

215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708



AREA OF WORK
NEW 5,572 G.F.A. FREESTANDING, OPEN-AIR, TYPE 2B CONCRETE & STEEL STRUCTURE
OCCUPANCY USE CLASSIFICATIONS
ZONING: RESTAURANT
BUILDING: A-2 - RESTAURANT
FIRE: ASSEMBLY - RESTAURANT



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MECHANICAL & PLUMBING	
MP	STEPANEK-LEWIS & ASSOCIATES 2257 TWELVE OAKS WAY, SUITE 103 WESLEY CHAPEL, FL 33543 813-991-1248 JOHN STEPANEK JOHN@STEPANEKLEWIS.COM
ELEVATOR	
OTIS	OTIS ELEVATOR 8403 BENJAMIN ROAD, SUITE E TAMPA, FL 33634 TAMPA, FL 33634 813-991-75394 RICHARD DOLSON RICHARD.DOLSON@OTIS.COM
FOOD SERVICE	
TRIMARK	TRIMARK FOOD SERVICE EQUIPMENT 5843 BARRY ROAD TAMPA, FL 33634 813-895-4720 MIKE HAYES MIKE.HAYES@TRIMARKUSA.COM
ELECTRICAL	
OTIS	OTIS ELEVATOR 8403 BENJAMIN ROAD, SUITE E TAMPA, FL 33634 TAMPA, FL 33634 813-991-75394 RICHARD DOLSON RICHARD.DOLSON@OTIS.COM
FIRE SPRINKLER & FIRE ALARM	
SAFETY SYSTEMS	SAFETY SYSTEMS P.O. BOX 40696 ST PETERSBURG, FL 33743 727-524-11294 SCOTT MARTINEZ, P.E. SCASHEN@GULFCOASTCONSULTINGINC.COM
MECHANICAL & PLUMBING	
STEPANEK-LEWIS & ASSOCIATES	STEPANEK-LEWIS & ASSOCIATES 2257 TWELVE OAKS WAY, SUITE 103 WESLEY CHAPEL, FL 33543 813-991-1248 JOHN STEPANEK JOHN@STEPANEKLEWIS.COM
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SCOPE OF WORK:

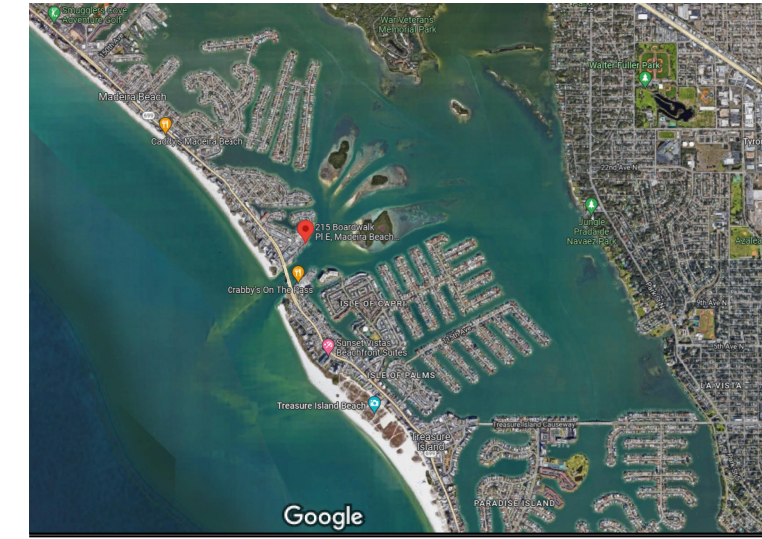
THESE DOCUMENTS ARE FOR CONSTRUCTION OF A NEW 5,572 G.F.A. FREESTANDING, OPEN-AIR STRUCTURE. THE PROPOSED USE-TYPE IS AN "A-2" ASSEMBLY - RESTAURANT. THE BUILDING AS PROPOSED IS AN ELEVATED 2-STORY, TYPE 2B, CONCRETE & STEEL WITH WOOD FLOOR & WOOD ROOF TRUSSES. MECHANICAL, ELECTRICAL AND PLUMBING TO BE INSTALLED IN ACCORDANCE WITH PLANS & COMPLY WITH: FBC 2020 FBC-PLUMBING 2020 FBC-MECHANICAL 2020 NEC 2017 & FBC-ELECTRICAL 2020 THE BUILDING IS PROPOSED TO BE SPRINKLED, AND WILL MEET ALL ASPECTS APPLICABLE OF THE FOLLOWING: 2020 FLORIDA BUILDING CODE, 7TH EDITION 2020 FLORIDA FIRE PREVENTION CODE, 7TH EDITION ALL ROOFING IS TO BE IN COMPLIANCE WITH FBC 2020 CHAPTER 15 (ROOFING). THE CONSTRUCTION OF ALL ASPECTS OF THE BUILDING WILL CONFORM TO ALL COUNTY, STATE, AND FEDERAL REGULATIONS AS REQUIRED.

PARKING CALCULATIONS:

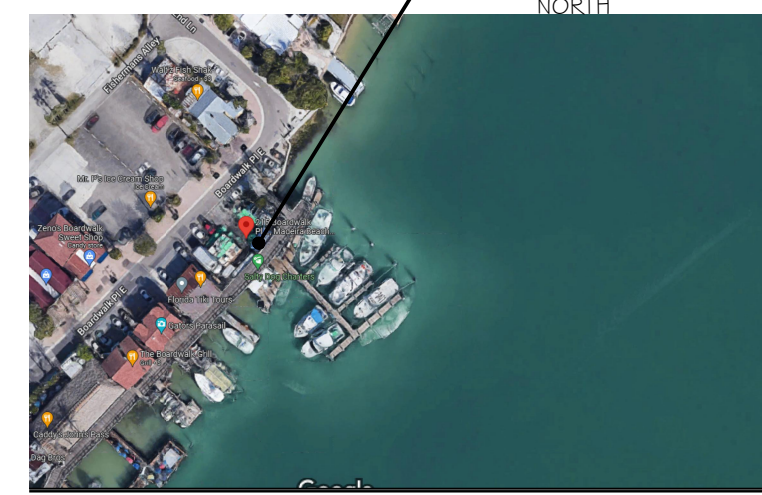
PER SECTION 110-945 - SPECIAL PARKING AREAS: (2) JOHN'S PASS VILLAGE PARKING AREA SHALL INCLUDE ALL PROPERTY BOUNDED BY JOHN'S PASS CHANNEL, GULF BOULEVARD, 13151 AVENUE, PELICAN LANE AND EAST END LANE; AND ZONED PD, C-1 AND C-2 (B) THE MINIMUM NUMBER OF PARKING SPACES PROVIDED BY A PRINCIPAL USE IN A DESIGNATED SPECIAL PARKING AREA SHALL BE EQUAL TO 50 PERCENT OF THE MINIMUM OFF-STREET VEHICLE PARKING SPACES REQUIRED IN SECTION 110-971. PER SECTION 110-971(a) - NUMBER OF SPACES: SIT DOWN RESTAURANT, BAR, LOUNGE, NIGHT-CLUB = 1 PER 4 SEATS + 1 SPACE FOR EACH 2 EMPLOYEES PER SECTION 110-971(b): (1) BICYCLE, THERE SHALL BE A CREDIT OF ONE PARKING SPACE FOR EVERY BICYCLE STALL PROVIDED, UP TO A TOTAL OF THREE CREDITS. (2) BOATING, THERE SHALL BE A CREDIT OF ONE PARKING SPACE FOR EVERY ON-SITE CUSTOMER BOAT SLIP PROVIDED.

REQUIRED PARKING SPACES:			
TOTAL OCCUPANCY:	251		
TOTAL SEATS:	247 x 50% =	124 / 4 =	31 SPACES REQUIRED
TOTAL EMPLOYEES:	4 / 2 =		2 SPACES REQUIRED
			33 SPACES REQUIRED
PROVIDED PARKING SPACES:			
4 EXISTING PARKING SPACES =			4 SPACES PROVIDED
12 EXISTING BOAT SLIPS =			12 SPACES PROVIDED
3 NEW BICYCLE PARKING SPACES =			3 SPACES PROVIDED
14 NEW PARKING SPACES IN ADJACENT LOT =			14 SPACES PROVIDED
TOTAL =			33 SPACES PROVIDED

VICINITY MAP:



AERIAL:



BUILDING CODE SUMMARY:

BUILDING DATA:			
BUILDING OCCUPANCY:	<input checked="" type="checkbox"/> ASSEMBLY (A-2) <input type="checkbox"/> BUSINESS <input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> MERCANTILE <input type="checkbox"/> HAZARDOUS		
	<input type="checkbox"/> STORAGE <input type="checkbox"/> INSTITUTIONAL <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> UTILITY/MISCELLANEOUS		
MIXED OCCUPANCY:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEPARATED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEPARATION: _____		
CONSTRUCTION TYPE:	<input type="checkbox"/> I (A) <input type="checkbox"/> I (B) <input type="checkbox"/> II (A) <input checked="" type="checkbox"/> II (B) <input type="checkbox"/> III (A) <input type="checkbox"/> III (B) <input type="checkbox"/> IV (1), (2) <input type="checkbox"/> V (A) <input type="checkbox"/> V (B)		
MIXED CONSTRUCTION:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO TYPE: _____		
SPRINKLED:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (1) 1.3R (1.3D) : _____ (1.3)		
FIRE DISTRICT:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
BUILDING HEIGHT:	32'-10" T.O. ROOF DECK 2 ABOVE GRADE NUMBER OF STORES: _____		
MEZZANINE:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
HIGH RISE:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
BUILDING AREA			
GROUND FLOOR STAIRS	76 S.F.		
GROUND FLOOR ELEVATOR	61 S.F.		
1ST FLOOR STAIRS & PATIO	2,202 S.F.		
1ST FLOOR BATHS & ELEVATOR	362 S.F.		
2ND FLOOR STAIRS & PATIO	2,450 S.F.		
2ND FLOOR BATHS & ELEVATOR	233 S.F.		
ROOFING STORAGE ELEVATOR	155 S.F.		
TOTAL G.F.A.	4,730 S.F.		
TOTAL F.A.S.	17,772 S.F.		
FIRE RESISTANCE RATINGS			
PARTY / FIRE WALLS:	N/A		
EXTERIOR BEARING WALLS:	N/A		
NORTH:	N/A		
EAST:	N/A		
WEST:	N/A		
SOUTH:	N/A		
EXTERIOR NON-BEARING WALLS:	N/A		
NORTH:	N/A		
EAST:	N/A		
WEST:	N/A		
SOUTH:	N/A		
INTERIOR WALLS:	N/A		
NON-BEARING (MTL. STUD) CORRIDOR WALLS:	N/A		
NON-BEARING (MTL. STUD) WALLS OF ROOMS INCIDENTAL TO MAIN OCCUPANCY:	N/A		
NON-BEARING:	N/A		
TENANT SEPARATION:	N/A		
FLOOR ASSEMBLIES:	N/A		
CEILING ASSEMBLIES:	N/A		
FLOOR/CEILING ASSEMBLIES:	N/A		
PIPE PENETRATIONS:	N/A		
BEAMS / ANGLES, ETC.:	N/A		
COLUMNS, GIRDERS, ETC.:	N/A		
CEILING-MEMBRANE-ROOF ASSEMBLY:	N/A		
VERTICAL SHAFTS:	N/A		
CHIMNEYS, E.I.M.:	N/A		
DUCT PENETRATIONS & FIRE DAMPERS:	N/A		
UNIT SEPARATION:	N/A		
FOOTNOTES:			
1	Referred to wall to property line or assumed line is less than 30 feet.		
2	Reinforcement of U.I. or M. assembly shall be incorporated on drawings.		
3	All fire rated walls shall be checked on plans by flashing, staining, etc., show legend.		
4	Identify color section when using any special exceptions, etc.		
5	Stairs, elevators and/or atrium.		
6	All non-structural members including angles must be fireproofed to the same fire rating as beams.		
APPLICABLE CODES:			
2020 FLORIDA BUILDING CODE (F.B.C.) 7TH EDITION	2020 FLORIDA FIRE PREVENTION CODE, 7TH EDITION		
DESIGNED IN ACCORDANCE WITH 2020 F.B.C. SECTION 1606 FOR DESIGN PRESSURES GENERATED BY A WIND DESIGN VELOCITY OF 150 MPH.			
CONTRACTOR SHALL SECURE FROM BLOCK MANUFACTURER OCCUPANCY OF EQUIVALENT THICKNESS AND TYPE OF MATERIAL OR PROOF OF TESTED HOURLY RATING FOR BLOCK DELIVERED TO THE JOB SITE AS PER THE 2020 F.B.C., 7TH EDITION, CHAPTER 21.			
LIFE SAFETY SYSTEM:			
EMERGENCY LIGHTING AND EXIT SIGNAGE:	<input type="checkbox"/> YES <input type="checkbox"/> NO		
FIRE ALARM:	<input type="checkbox"/> YES <input type="checkbox"/> NO		
SMOKE DETECTION SYSTEMS:	<input type="checkbox"/> YES <input type="checkbox"/> NO		
PANIC HARDWARE:	<input type="checkbox"/> YES <input type="checkbox"/> NO		
WINDS:			
WINDS APPLIED PER ASCE 7-16, BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD			
ULTIMATE DESIGN WIND SPEED (RISK CATEGORY 2):	150 MPH		
WIND IMPORTANCE FACTOR (CATEGORY 2):	1.0		
WIND EXPOSURE:	C		
APPLICABLE INTERNAL PRESSURE COEFFICIENT:	+/- .18 (ENCLOSED)		
COMPONENTS AND CLADDING SEE STRUCTURAL SHEET FOR ALL DESIGN PRESSURES			
NOTE: FOLLOW MANUFACTURERS INSTRUCTIONS FOR NUMBER OF JAMB CLIPS, SPACING AND ANCHOR SIZE.			
ABBREVIATIONS:			
A.F.C.	ABOVE FINISH CEILING	H.M.	HOLLOW METAL
A.F.F.	ABOVE FINISH FLOOR	IMAG.	IMAGE
A.C.T.	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ALUM.	ALUMINUM	JOINT.	JOINT
B.K.	BLOCK	K.O.	KNOCK OUT
BOTT.	BOTTOM	L.K.	LOCK
BTM.	BOTTOM	MANUF.	MANUFACTURER
BLDG.	BUILDING	M.C.	MEDICAL CLOSET
CLG.	CEILING	M.C.J.	MASONRY CONTROL JOINT
C.	CARPET	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MAX.	MAXIMUM
C.B.	CHALK BOARD	MECH.	MECHANICAL
COL.	COLUMN	MTL.	METAL
CONC.	CONCRETE	M.L.	METAL LATH
C.J.	CONTROL JOINT	MINI.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	MIRR.	MIRROR
DN.	DOWN	N.	NORTH
D.S.	DOWN SPOUT	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE
ELEV.	ELEVATION	NO.	NUMBER
EQU.	EQUAL	O.C.	ON CENTER
EXP.	EXPANSION	PT.	PAINT
E.J.	EXPANSION JOINT	P.T.	PLASTER
EXTG.	EXTERIOR INSULATION & FINISH SYSTEM	P.T.	PRESSURE TREATED
E.I.F.S.	EXISTING	Q.T.	QUARRY TILE
FIN.	FINISH	REIN.	REINFORCING
F.E.	FIRE EXTINGUISHER	REQU.	REQUIRED
F.A.	FIRE ALARM	R.D.	ROOF DRAIN
PLAS.	PLASTER	R.F.G.	ROOFING
FLR.	FLOOR	RM.	ROOM
F.L.R.	FLOOR	R.T.	RUBBER TILE
FTG.	FOOTING	SPECS.	SPECIFICATIONS
FT	FOOT OR FEET	STL.	STEEL
FDN.	FOUNDATION	T.B.	TACK BOARD
GALV.	GALVANIZED	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
G.W.B.	GYP-SUM WALL BOARD	VERT.	VERTICAL
HDW.	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HGT.	HEIGHT	WGT.	WEIGHT
		W.C.	WATER CLOSET
		WDW.	WINDOW
		WTH	WITH
		WD.	WOOD

CONSULTANTS:

ARCHITECT: LANG + FERFOGLIA, LLC
2000 34TH AVENUE N
ST PETERSBURG, FL 33713
727-656-5677
DENNIS LANG, ARCHITECT, AIA
INFO@LANG-FERFOGLIA.COM

CIVIL: GULF COAST CONSULTING, INC.
ICOT CENTER
13825 ICOT BOULEVARD, SUITE 605
CLEARWATER, FL 33760
727-524-11818
SEAN CASHEN
SCASHEN@GULFCOASTCONSULTINGINC.COM

STRUCTURAL: STM
P.O. BOX 1265
PALM HARBOR, FL 34602
813-991-1248
SCOTT MARTINEZ, P.E.
STMENGINEERING.SCOTT@GMAIL.COM

MECHANICAL & PLUMBING: STEPANEK-LEWIS & ASSOCIATES
2257 TWELVE OAKS WAY, SUITE 103
WESLEY CHAPEL, FL 33543
813-991-1248
JOHN STEPANEK
JOHN@STEPANEKLEWIS.COM

LANDSCAPE: LA1 LANDSCAPE PLAN
LA2 LANDSCAPE NOTES & DETAILS
IR1 IRRIGATION PLAN
IR2 IRRIGATION NOTES & DETAILS

ELECTRICAL: KBA ENGINEERING, INC.
201 FLAGSHIP DRIVE, SUITE 106
LUTZ, FL 33549
813-909-1845
KEVIN CARLSON
LEVIN@KBAENGINEERING.COM

FIRE SPRINKLER & FIRE ALARM: SAFETY SYSTEMS
P.O. BOX 40696
ST PETERSBURG, FL 33743
727-524-11294
SCOTT MARTINEZ, P.E.
SCASHEN@GULFCOASTCONSULTINGINC.COM

FOOD SERVICE: TRIMARK FOOD SERVICE EQUIPMENT
5843 BARRY ROAD
TAMPA, FL 33634
813-895-4720
MIKE HAYES
MIKE.HAYES@TRIMARKUSA.COM

ELEVATOR: OTIS ELEVATOR
8403 BENJAMIN ROAD, SUITE E
TAMPA, FL 33634
TAMPA, FL 33634
813-991-75394
RICHARD DOLSON
RICHARD.DOLSON@OTIS.COM

PROFESSIONAL STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS AS REQUIRED BY THE JURISDICTION OF THE PROJECT.

WILLIAM KARNIS ENTERPRISES, INC.
BILL KARNIS, PRESIDENT
140 BENTLEY LANE, SUITE H
CLEARWATER, FL 34616
727-367-3000
WKARNIS@KARNISENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
PIN #: 15-31-15-00000-410-0200

DATE TITLE: _____
COVER SHEET

DENNIS LANG ARCHITECT, AIA
LICENSE #A0002584
2000 34TH AVENUE N, ST PETERSBURG, FL 33713
TEL: (727) 656-5677

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT

FLORIDA REGISTRATION # 39011970
2000 34TH AVENUE N, ST PETERSBURG, FL 33713
TEL: (727) 656-5677

DRAWN BY: DL / SFF
DATE: 10-12-23
PROJECT #: 2216
SHEET: CO

GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

SYMBOL REFERENCES

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- DOOR NUMBERS
- △ REVISIONS MADE TO THIS SHEET
- ◇ WINDOW TYPES
- ⊗ BUILDING SECTIONS OR ELEVATIONS

WALL LEGEND

- 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
- 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
- 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

NOTE:
 1. ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

OCCUPANCY CALCULATIONS:

OCCUPANCY TYPE A-2*

1ST FLOOR

GENERAL SEATING =	1,236 S.F./ 15 =	82 O.L.
BAR SEATING =	146 S.F./ 7 =	21 O.L.
BATHROOMS & STORAGE =	321 S.F./ 300 =	1 O.L.
BAR =	340 S.F./ 200 =	2 O.L.
TOTAL 1ST FLOOR OCCUPANCY =		106 O.L.

2ND FLOOR

GENERAL SEATING =	1,586 S.F./ 15 =	106 O.L.
BAR SEATING =	254 S.F./ 7 =	36 O.L.
BATHROOMS & STORAGE =	171 S.F./ 300 =	1 O.L.
BAR =	283 S.F./ 200 =	2 O.L.
TOTAL 2ND FLOOR OCCUPANCY =		145 O.L.

EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD =	251 O.L.
------------------------	----------

REQUIRED & PROVIDED EGRESS INCHES

DOORS - .2 x 251 O.L. = 50.2" REQUIRED/ 108" PROVIDED - 2 EXITS

STAIRS - .3 x 251 O.L. = 75.3" REQUIRED/ 146" PROVIDED - 2 EXITS

PLUMBING FIXTURE CALCULATIONS:

TOTAL OCCUPANCY LOAD =	251 O.L.
OCCUPANCY TYPE USED FOR PLUMBING CALCULATIONS: "A-2"	

REQUIRED	WOMEN	MEN
TOILETS (1 PER 75)	2	2
SINKS (1 PER 200)	1	1
* 1 SERVICE SINK REQUIRED		

PROVIDED	WOMEN	MEN
TOILETS	2	2
SINKS	2	2

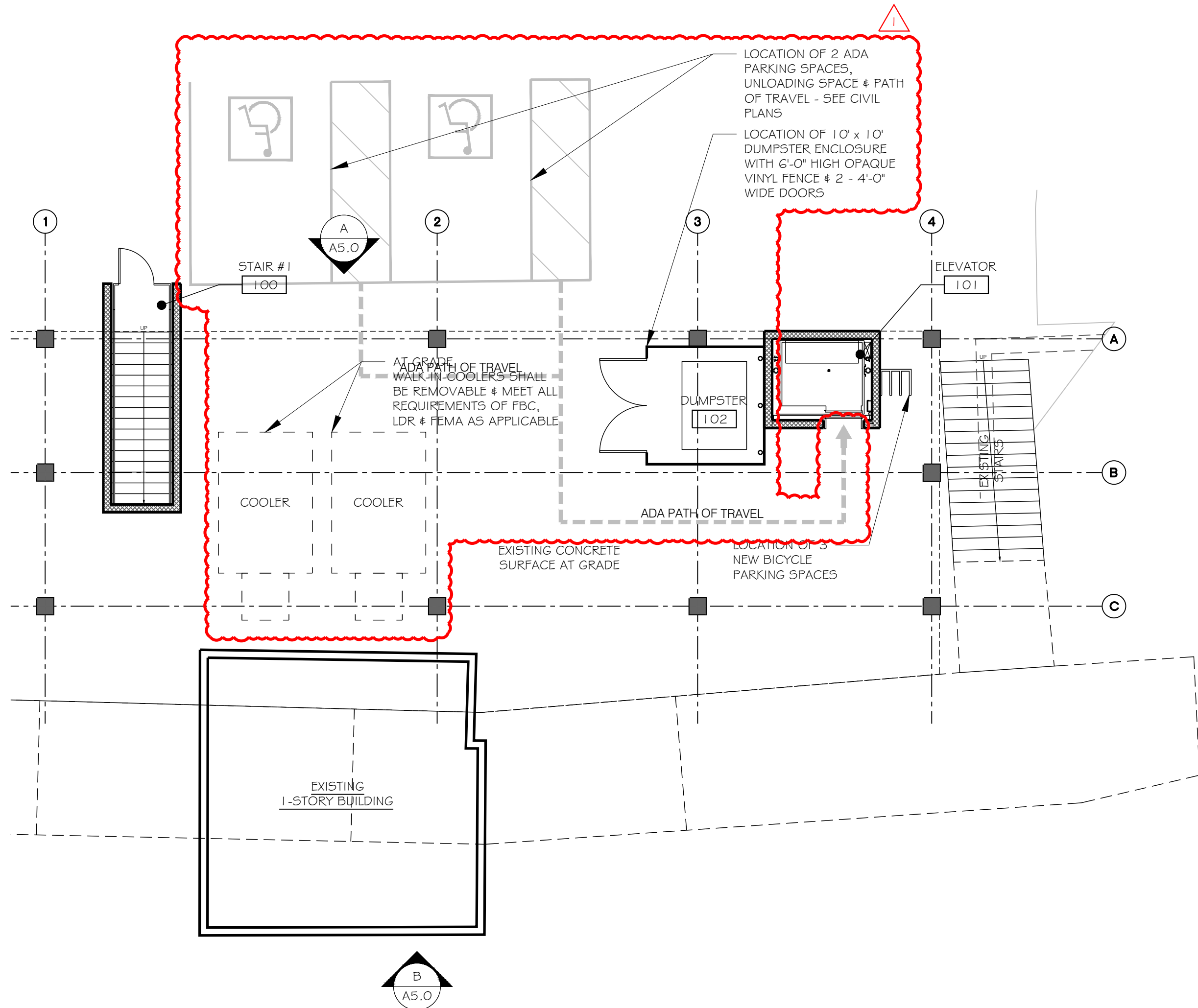
* 1 SERVICE SINK PROVIDED

*FPC 410.4 - SUBSTITUTION: WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.

LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)

NOTE:
 THERE IS NO SIGNAGE PROPOSED UNDER THIS SCOPE OF WORK AT THIS TIME. ANY FUTURE SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE OF ORDINANCES AS REQUIRED, UNDER A SEPARATE PERMIT.



PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS SET FORTH IN THE CODE OF ORDINANCES.

REVISIONS

NO.	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #37 2024-01

WILLIAM KARNIS ENTERPRISES, INC.
 BILL KARNIS, PRESIDENT
 1405 BERRY BLVD., SUITE H
 MADEIRA BEACH, FL 32149
 727-367-3000
 WKARNIS@KARNISENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
 PIN #: 15-31-15-00000-410-0200

DRINKING WATER

DEMOLITION & NEW GROUND FLOOR & LIFE SAFETY PLAN

LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT
 FL LICENSE # AR100258 AA REGISTRATION # 39011970
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713
 TEL: (727) 698-5877

DRAWN BY: SFF
 DATE: 10-12-23
 PROJECT #: 2216
 SHEET: A1.0

GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

SYMBOL REFERENCES

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- DOOR NUMBERS
- WINDOW TYPES
- △ REVISIONS MADE TO THIS SHEET
- ⊗ BUILDING SECTIONS OR ELEVATIONS

WALL LEGEND

- 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
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NOTE:
 1. ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

OCCUPANCY CALCULATIONS:

OCCUPANCY TYPE A-2*		
1ST FLOOR		
GENERAL SEATING =	1,236 S.F./ 15 =	82 O.L.
BAR SEATING =	146 S.F./ 7 =	21 O.L.
BATHROOMS & STORAGE =	321 S.F./ 300 =	1 O.L.
BAR =	340 S.F./ 200 =	2 O.L.
TOTAL 1ST FLOOR OCCUPANCY =		106 O.L.
2ND FLOOR		
GENERAL SEATING =	1,586 S.F./ 15 =	106 O.L.
BAR SEATING =	254 S.F./ 7 =	36 O.L.
BATHROOMS & STORAGE =	171 S.F./ 300 =	1 O.L.
BAR =	283 S.F./ 200 =	2 O.L.
TOTAL 2ND FLOOR OCCUPANCY =		145 O.L.

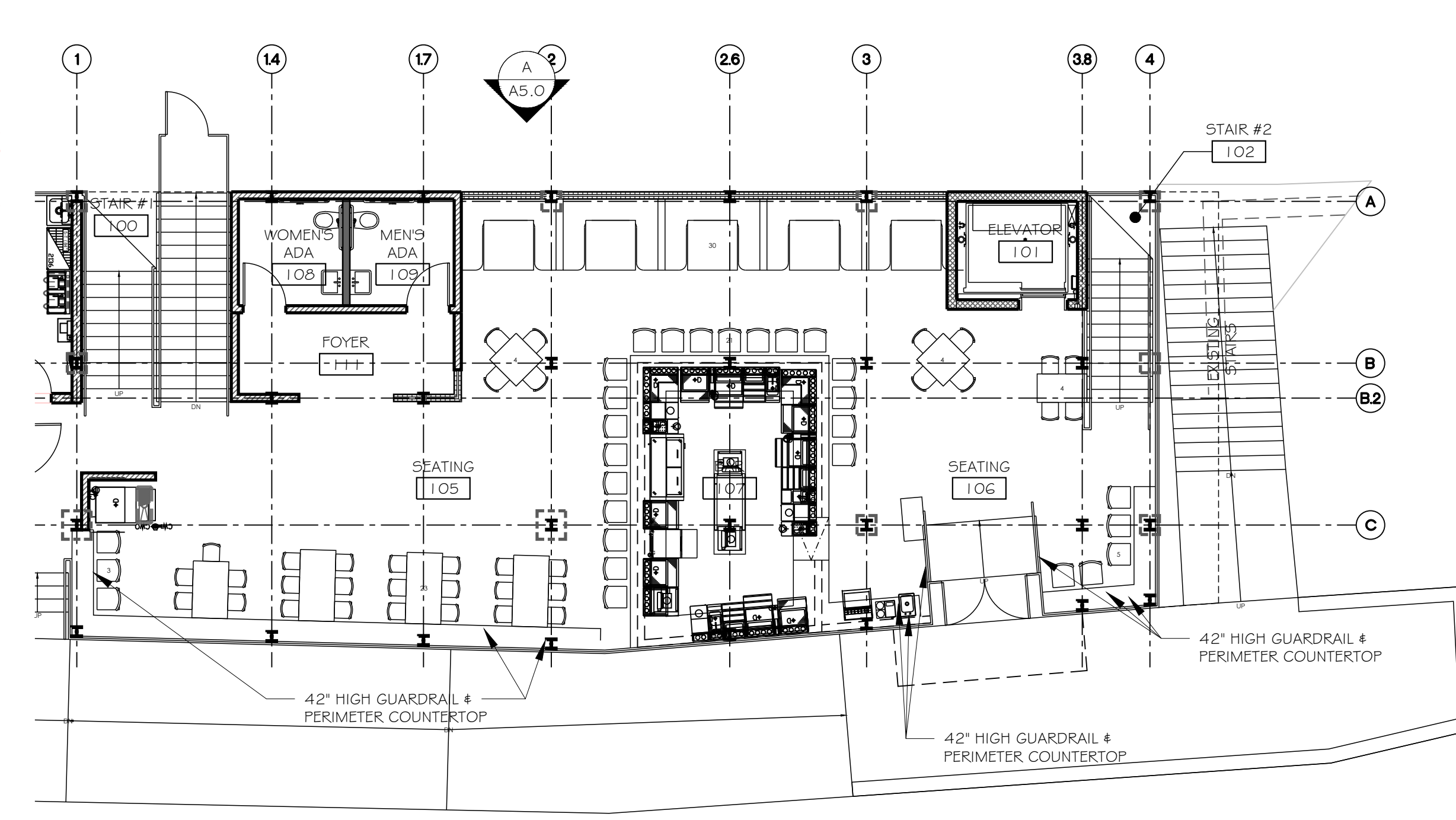
EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD =	251 O.L.
REQUIRED & PROVIDED EGRESS INCHES	
DOORS - .2 x 251 O.L. = 50.2' REQUIRED/ 108" PROVIDED - 2 EXITS	
STAIRS - .3 x 251 O.L. = 75.3' REQUIRED/ 146" PROVIDED - 2 EXITS	

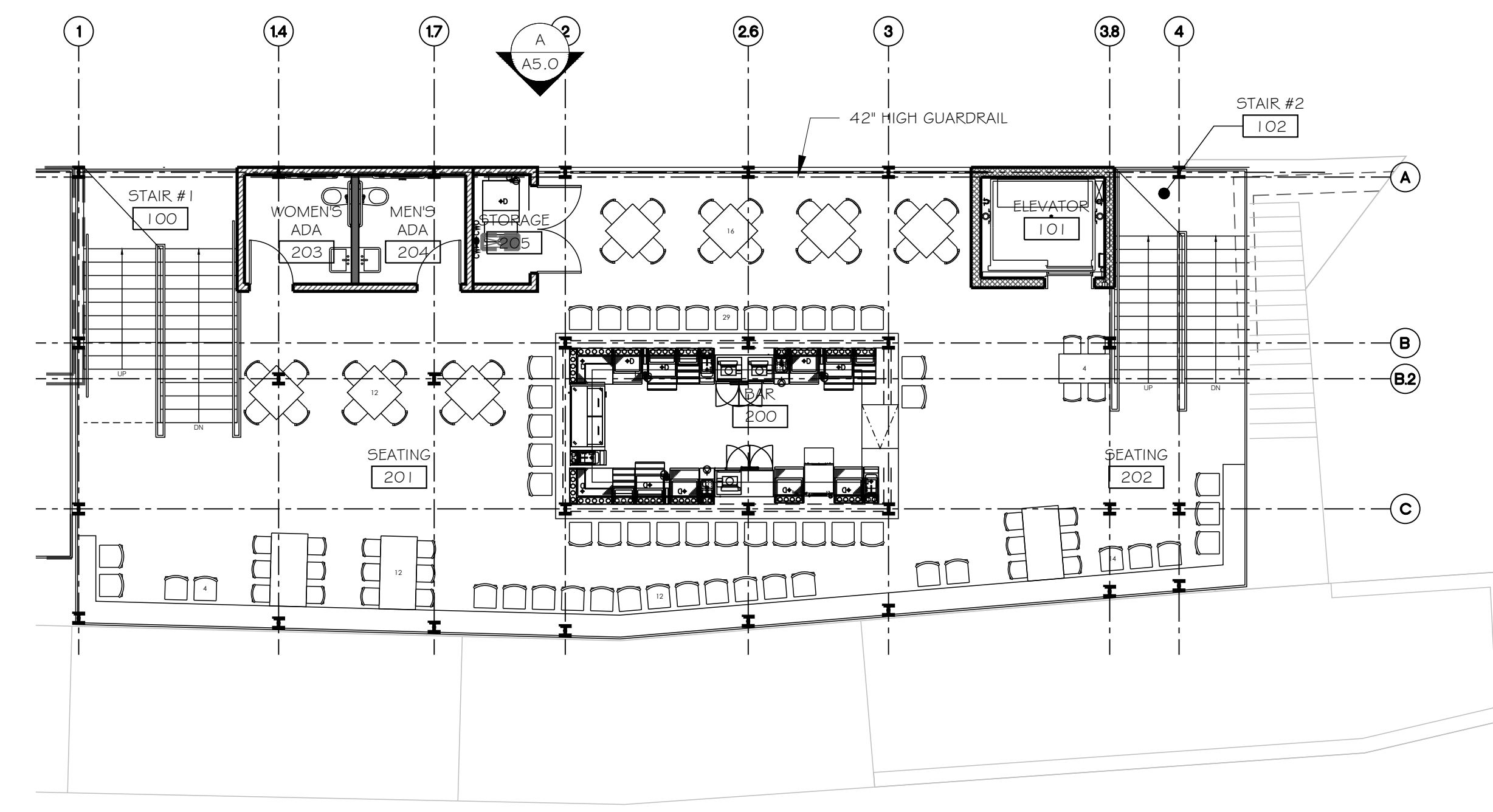
LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)

NOTE:
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1 NEW 1ST FLOOR & LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



2 NEW 2ND FLOOR & LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE REGULATORY AGENCIES' REQUIREMENTS AS FAR AS THE ARCHITECT IS AWARE.

REVISIONS

NO.	DATE	DESCRIPTION
Δ	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #37-2024-01

WILLIAM KARNS ENTERPRISES, INC.
 BILL KARNS, PRESIDENT
 14065 BAYVIEW BLVD, SUITE H
 BOCA RATON, FL 33498
 727-367-3000
 WKARNS@KARNSENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
 PIN #: 15-31-15-00000-410-0200

DRAWN BY: SFF
 DATE: 10-12-23
 PROJECT #: 2216
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LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT
 FL LICENSE # AR100258 AA REGISTRATION # 39011970
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713
 TEL: (727) 698-5877

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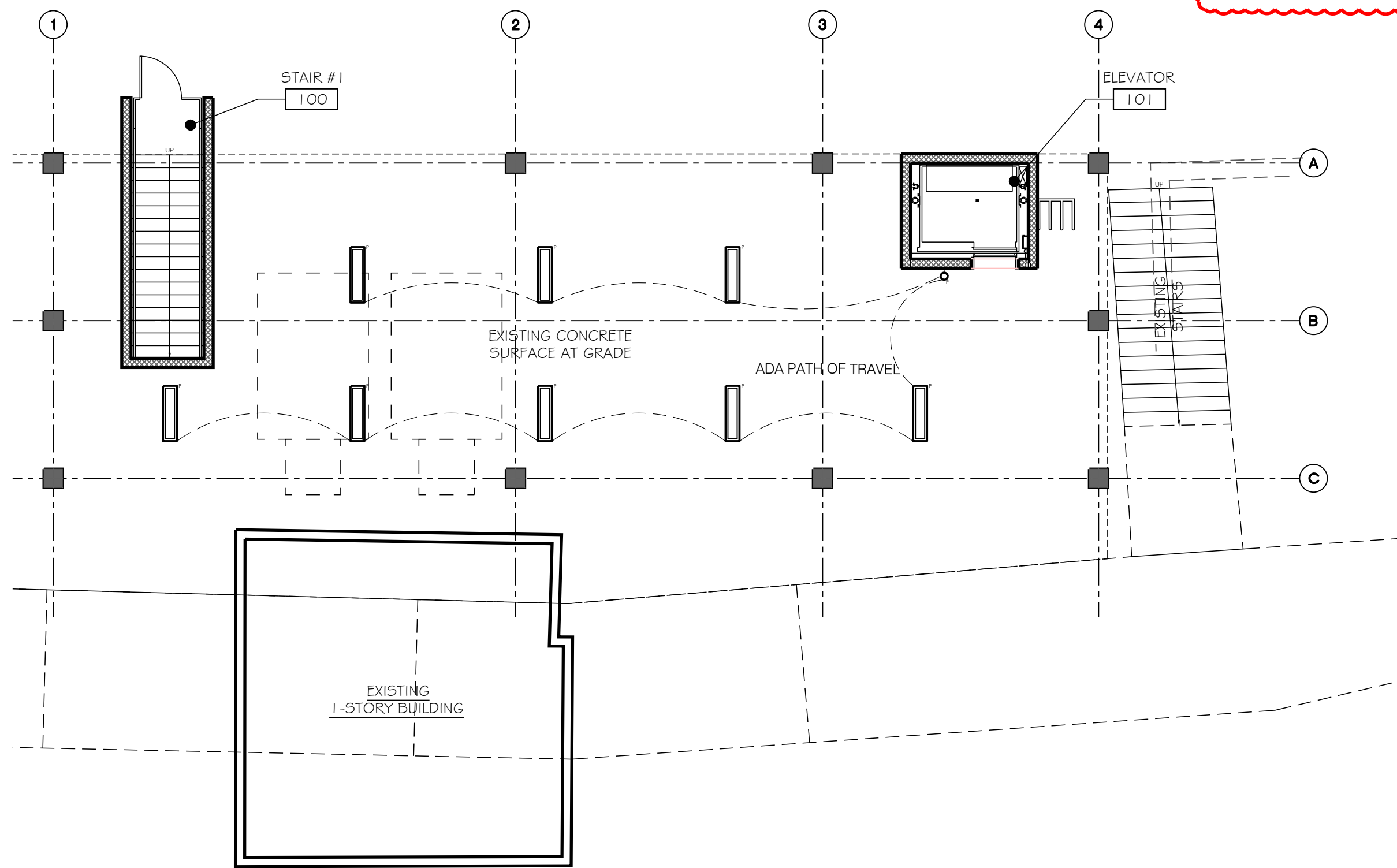
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PER ARTICLE VI, DIVISION 5: GLARE & LIGHTING
INDOOR & OUTDOOR LIGHTING INCLUDING DECORATIVE & ACCENT LIGHTING WILL MEET THE REQUIREMENTS OF SECTION 110-503:
SEC. 110-503. - RESTRICTION ON OUTDOOR LIGHTING. NO PERSON OR BUSINESS MAY CONSTRUCT, ERECT OR MAINTAIN ANY OUTDOOR LIGHTING OR OUTDOOR LIGHTING FIXTURES WHICH CASTS GLARE UPON OFFSITE PROPERTY OR BEACHES. FOR THE PURPOSE OF THIS SECTION, OUTDOOR LIGHTING AND OUTDOOR LIGHTING FIXTURES SHALL BE CONSIDERED TO CAST GLARE ON THE PROPERTY OF ANOTHER IF ANY PART OF THE LIGHT BULB OR LIGHT EMITTING APPARATUS, WHETHER INCANDESCENT OR FLUORESCENT, IS VISIBLE FROM THE PROPERTY OF ANOTHER.

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(2) ALL PROPERTIES ADJACENT TO GULF BOULEVARD AND GULF LANE; AND
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PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY PROVISIONS AS SET FORTH IN THE CITY OF MADEIRA BEACH.

REVISIONS

NO	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM- SITE PLAN APPLICATION #37 2024-01

WILLIAM KARNIS ENTERPRISES, INC.
BILL KARNIS, PRESIDENT
140 GIBSON BEACH, SUITE H
MADEIRA BEACH, FL 32149
727-367-3000
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DENNIS LANG ARCHITECT, AIA
LICENSE #A0000818

DRAWN BY: SFF
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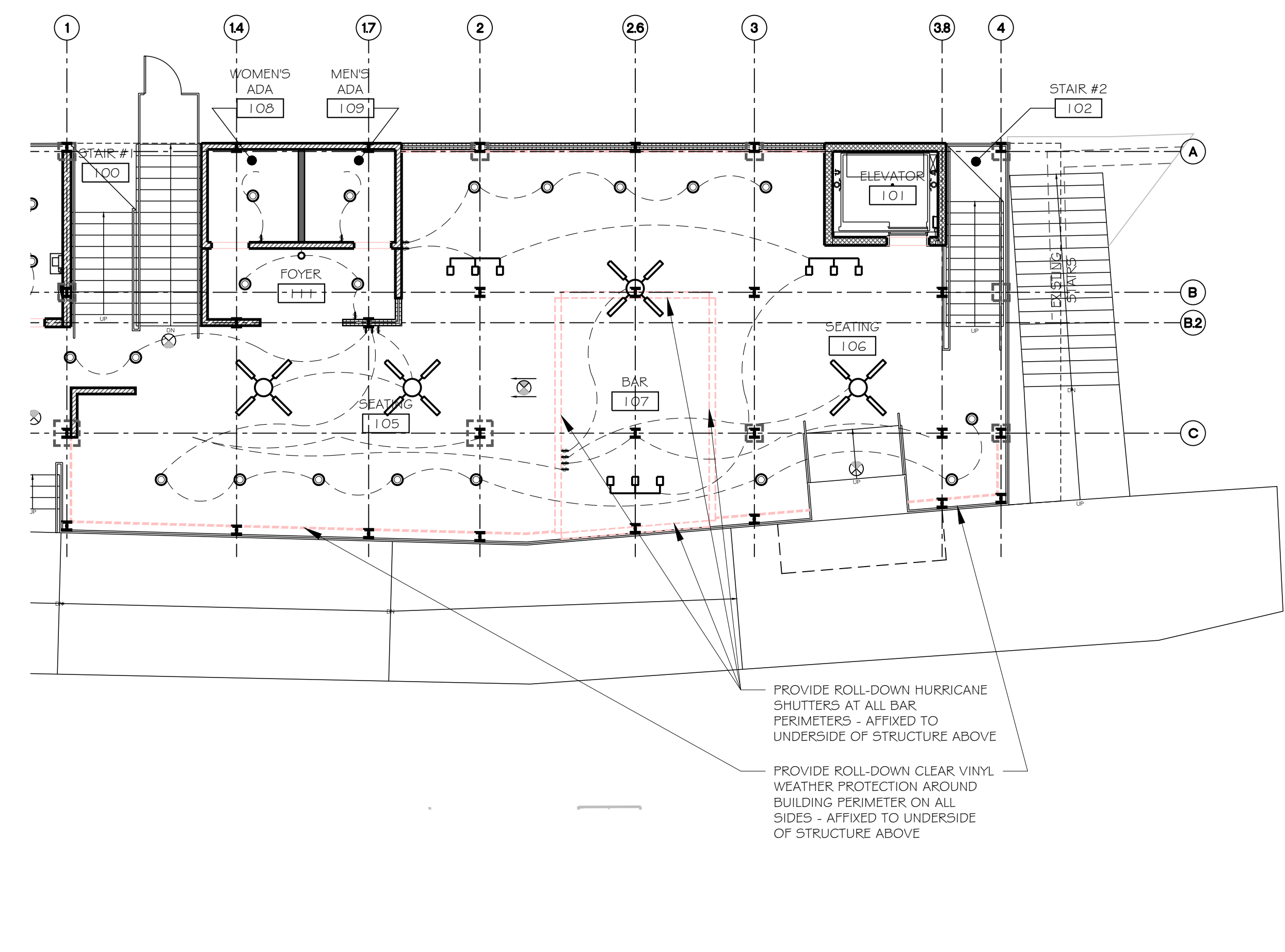
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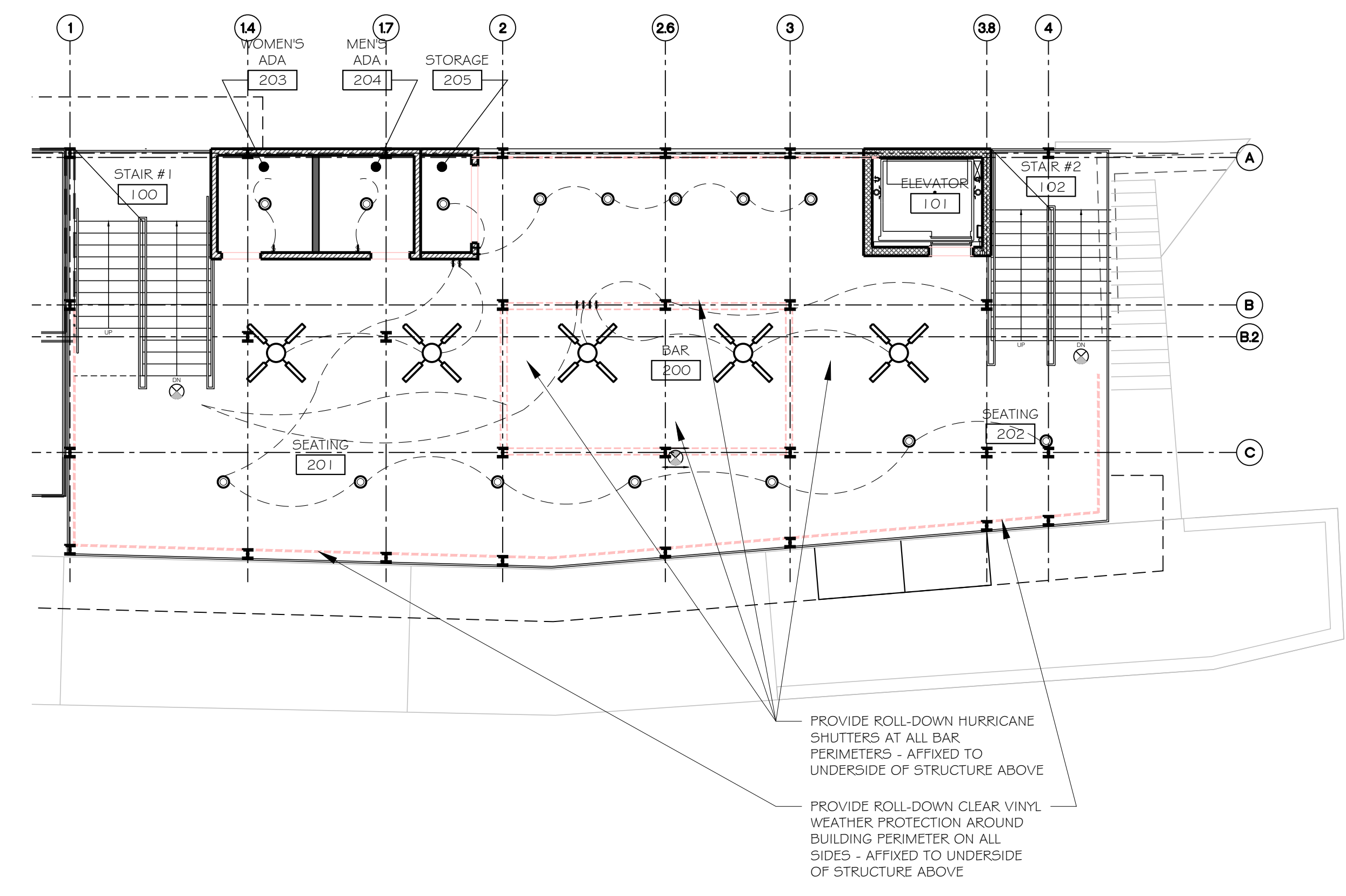
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BILL KARNS, PRESIDENT
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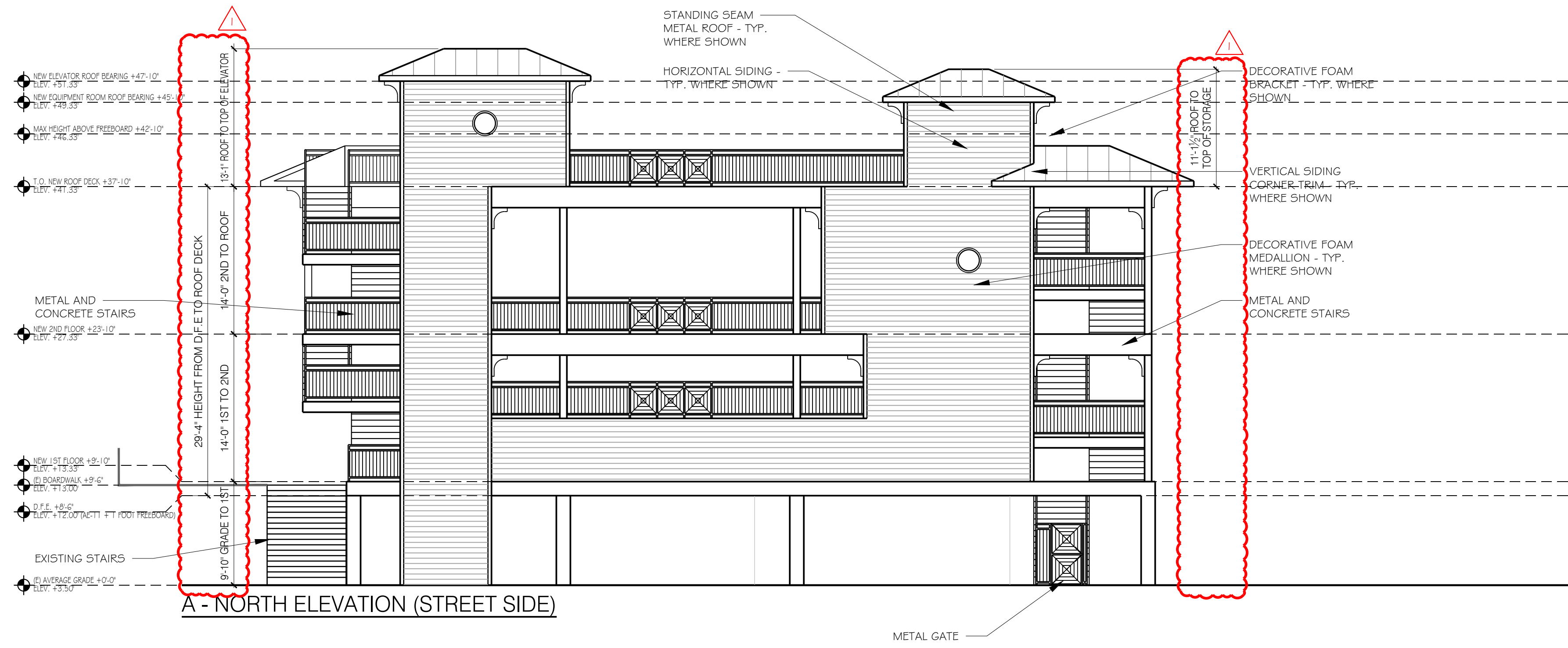
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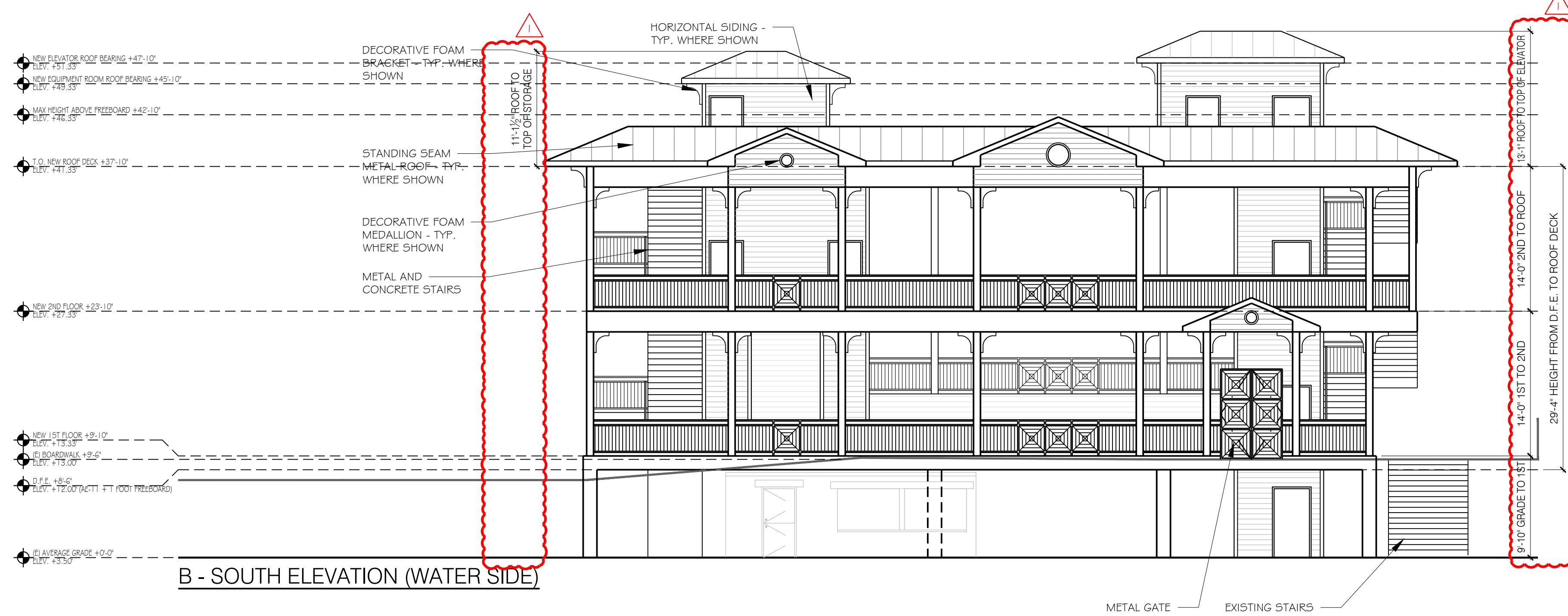
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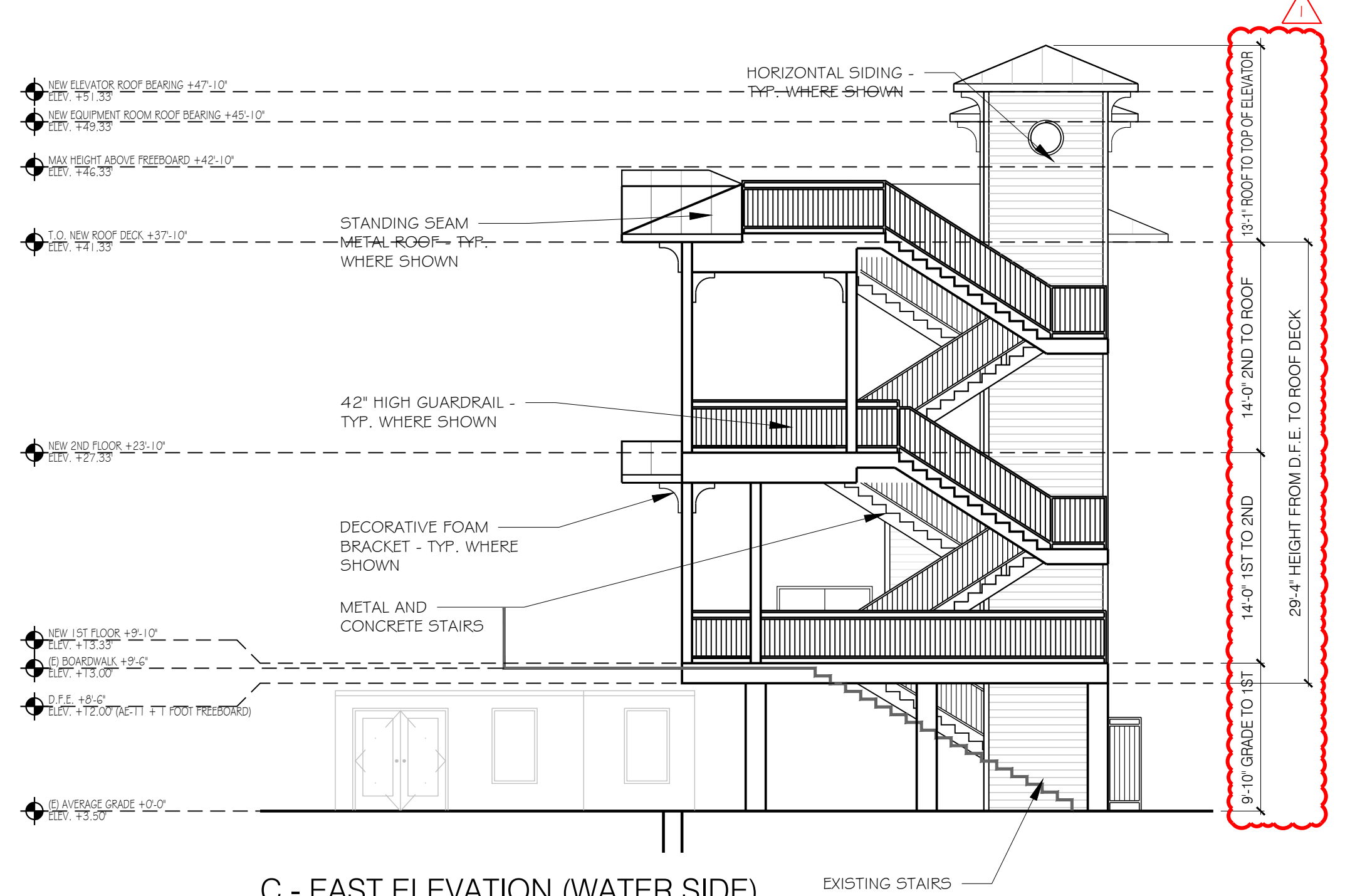
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A - NORTH ELEVATION (STREET SIDE)



B - SOUTH ELEVATION (WATER SIDE)



C - EAST ELEVATION (WATER SIDE)

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS SET FORTH IN ACCORDANCE WITH THE CITY OF TAMPA, FLORIDA, AND THE STATE OF FLORIDA. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE, WARRANT, OR REPRESENT THE CONFORMANCE OF ANY MATERIALS, MANUFACTURERS, OR TRADES WITH THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS.

NO.	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #37-2024-01

WILLIAM KARNS ENTERPRISES, INC.
BILL KARNS, PRESIDENT
14055 W. BOULEVARD, SUITE H
LARGO, FLORIDA 34649
727-367-3000
WKARNS@KARNSENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
PIN #: 15-31-15-00000-410-0200

DATE TITLE

EXTERIOR ELEVATIONS

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT
FLORIDA LICENSE # AR100258-AIA REGISTRATION # 39011970
2000 34TH AVENUE N, ST PETERSBURG, FL 33713
TEL: (727) 698-9877

DRAWN BY: SFF
DATE: 10-12-23
PROJECT #: 2216
SHEET: A5.0