

10-31-15-19998-000-0090

Compact Property Record Card

[Tax Estimator](#)

Updated February 15, 2023

[Email Print](#)

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[FEMA/WLM](#)



Ownership/Mailing Address Change Mailing Address	Site Address
AUTON, MICHAEL J 544 JOHNS PASS AVE MADEIRA BEACH FL 33708-2366	544 JOHNS PASS AVE MADEIRA BEACH

[Property Use:](#) 0110 (Single Family Home) Current Tax District: MADEIRA BEACH ([MB](#)) Total Living: SF: 2,577 Total Gross SF: 3,125 Total Living Units: 1

[click here to hide] **Legal Description**
CRYSTAL ISLAND 2ND ADD LOT 9

Tax Estimator File for Homestead Exemption	2023 Parcel Use																			
<table border="1"> <tr> <th>Exemption</th> <th>2023</th> <th>2024</th> </tr> <tr> <td>Homestead:</td> <td>Yes</td> <td>Yes</td> </tr> <tr> <td>Government:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Institutional:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Historic:</td> <td>No</td> <td>No</td> </tr> </table>	Exemption	2023	2024	Homestead:	Yes	Yes	Government:	No	No	Institutional:	No	No	Historic:	No	No	<table border="1"> <tr> <td>*Assuming no ownership changes before Jan. 1</td> </tr> <tr> <td>Homestead Use Percentage: 100.00%</td> </tr> <tr> <td>Non-Homestead Use Percentage: 0.00%</td> </tr> <tr> <td>Classified Agricultural: No</td> </tr> </table>	*Assuming no ownership changes before Jan. 1	Homestead Use Percentage: 100.00%	Non-Homestead Use Percentage: 0.00%	Classified Agricultural: No
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Homestead:	Yes	Yes																		
Government:	No	No																		
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Historic:	No	No																		
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Classified Agricultural: No																				

Parcel Information [Latest Notice of Proposed Property Taxes \(TRIM Notice\)](#)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone (NOT the same as a FEMA Flood Zone)	Flood Zone (NOT the same as your evacuation zone)	Plat Book/Page
18084/0519	\$1,361,300 Sales Query	121030278022	A	Current FEMA Maps	57/64

2022 Interim Value Information

Year	Just/Market Value	Assessed Value / SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2022	\$1,134,814	\$524,624	\$474,624	\$499,624	\$474,624

[click here to hide] Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2021	Yes	\$829,690	\$509,344	\$459,344	\$484,344	\$459,344
2020	Yes	\$649,311	\$502,312	\$452,312	\$477,312	\$452,312
2019	Yes	\$619,578	\$491,019	\$441,019	\$466,019	\$441,019
2018	Yes	\$601,531	\$481,864	\$431,864	\$456,864	\$431,864
2017	Yes	\$561,859	\$471,953	\$421,953	\$446,953	\$421,953
2016	Yes	\$532,402	\$462,687	\$412,687	\$437,687	\$412,687
2015	Yes	\$500,562	\$459,471	\$409,471	\$434,471	\$409,471
2014	Yes	\$455,824	\$455,824	\$405,824	\$430,824	\$405,824
2013	Yes	\$445,635	\$321,901	\$271,401	\$296,401	\$271,401
2012	Yes	\$412,495	\$316,520	\$266,020	\$291,020	\$266,020
2011	Yes	\$403,364	\$307,301	\$256,801	\$281,801	\$256,801
2010	Yes	\$426,302	\$302,760	\$252,260	\$277,260	\$252,260
2009	Yes	\$520,628	\$294,800	\$244,800	\$269,800	\$244,800
2008	Yes	\$559,900	\$294,505	\$244,505	\$269,505	\$244,505
2007	Yes	\$625,700	\$285,927	\$260,927	N/A	\$260,927
2006	Yes	\$660,000	\$278,953	\$253,953	N/A	\$253,953
2005	Yes	\$512,600	\$265,100	\$240,100	N/A	\$240,100
2004	Yes	\$425,600	\$217,400	\$192,400	N/A	\$192,400
2003	Yes	\$352,700	\$213,400	\$188,400	N/A	\$188,400
2002	Yes	\$302,900	\$208,400	\$183,400	N/A	\$183,400
2001	Yes	\$263,700	\$205,200	\$180,200	N/A	\$180,200
2000	Yes	\$227,500	\$192,000	\$167,000	N/A	\$167,000
1999	Yes	\$200,000	\$187,000	\$162,000	N/A	\$162,000
1998	Yes	\$197,600	\$184,100	\$159,100	N/A	\$159,100
1997	Yes	\$185,700	\$175,900	\$150,900	N/A	\$150,900
1996	Yes	\$164,600	\$164,500	\$139,500	N/A	\$139,500

2022 Tax Information

2022 Tax Bill	Tax District: MB
2022 Final Millage Rate	16.2571

Ranked Sales [\(What are Ranked Sales?\)](#) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	V/I
12 Jul 2013	18084 / 0519	\$605,000	Q	I

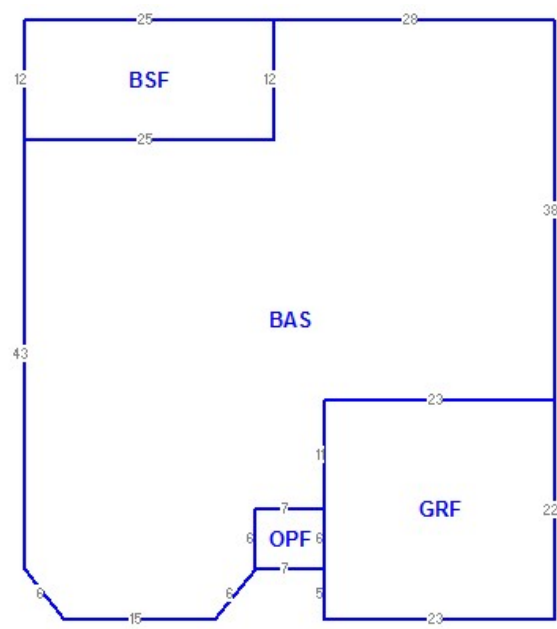
Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new [Tax Estimator](#) to estimate taxes under new ownership.

28 Apr 1989	06988 / 2214	\$143,000	Q	I
1972	03793 / 0336	\$13,500	Q	
1971	03641 / 0150	\$10,000	Q	

2022 Land Information						
Seawall: Yes	Frontage: Canal/River			View: None		
Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Single Family (01)	70x110	11000.00	70.0000	1.0400	\$800,800	FF

[click here to hide] **2023 Building 1 Structural Elements** [Back to Top](#)
 Site Address: 544 JOHNS PASS AVE

Building Type: **Single Family**
 Quality: **Above Average**
 Foundation: **Continuous Footing Poured**
 Floor System: **Slab Above Grade Low**
 Exterior Wall: **Cb Stucco/Cb Reclad**
 Roof Frame: **Gable Or Hip**
 Roof Cover: **Concrete Tile/Metal**
 Stories: **1**
 Living units: **1**
 Floor Finish: **Carpet/Hardtile/Hardwood**
 Interior Finish: **Upgrade**
 Fixtures: **9**
 Year Built: **1975**
 Effective Age: **30**
 Heating: **Central Duct**
 Cooling: **Cooling (Central)**



[Compact Property Record Card](#)

[Open plot in New Window](#)

Building 1 Sub Area Information		
Description	Living Area SF	Gross Area SF
Base (BAS)	2,277	2,277
Open Porch (OPF)	0	42
Garage (GRF)	0	506
Base Semi-finished (BSF)	300	300
Total Living SF: 2,577		Total Gross SF: 3,125

[click here to hide] 2023 Extra Features					
Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
BT LFT/DAV	\$12,000.00	1.00	\$12,000.00	\$6,480.00	2005
DOCK	\$56.00	533.00	\$29,848.00	\$11,939.00	1988
BT LFT/DAV	\$12,000.00	1.00	\$12,000.00	\$4,800.00	1997
POOL	\$40,000.00	1.00	\$40,000.00	\$40,000.00	2022
PATIO/DECK	\$22.00	930.00	\$20,460.00	\$20,460.00	2022

[click here to hide] **Permit Data**

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
R20220550	ROOF	22 Jun 2022	\$32,500
S20210882	SEA WALL	06 Oct 2021	\$24,500
290210330	POOL	13 Apr 2021	\$57,600
755	BOAT LIFT/DAVIT	21 Jul 2016	\$2,000
P45885-16	BOAT LIFT/DAVIT	16 Jun 2016	\$0
PER-H-CB317148	MISCELLANEOUS	21 Apr 2005	\$3,127
P3546005	DOCK	07 Mar 2005	\$0
P3365203	DOCK	30 Oct 2003	\$0
PER-H-CB278864	ADDITION/REMODEL/RENOVATION	15 Jul 2003	\$64,000
PER-H-CB240880	ROOF	21 Aug 2001	\$5,234

P2836800	DOCK	12 May 2000	\$0
PER-H-CB213504	ADDITION/REMODEL/RENOVATION	05 Apr 2000	\$1,900
PER-H-CB206864	ADDITION/REMODEL/RENOVATION	22 Nov 1999	\$5,039
97303	BOAT LIFT/DAVIT	23 Jul 1997	\$1,600
P2460897	DOCK	02 Jun 1997	\$0



If you are experiencing [issues with this map loading](#), you may need to clear your web browsing history, then close and restart your web browser.

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- [Contact Us](#)



[Search](#) > Account Summary

Real Estate Account #R115328

Owner:

AUTON, MICHAEL J

Situs:

544 JOHNS PASS AVE
MADEIRA BEACH

[Parcel details](#)

[Property Appraiser](#)

Installments

Homestead Exemption



[Get bills by email](#)


Amount Due

Your account is **paid to date**. Your next bill will be available for payment by 03/01/2023.

Your last payment was made on **01/04/2023** for **\$1,927.41**. [Print paid bill \(PDF\)](#)

Account History

BILL	AMOUNT DUE	STATUS	ACTION
2022 ⓘ			
2022 Installment Bill #4 ⓘ		Upcoming	
2022 Installment Bill #3 ⓘ	\$0.00	Paid \$1,927.41 01/04/2023	Print (PDF)
2022 Installment Bill #2 ⓘ	\$0.00	Paid \$1,914.91 09/26/2022	Print (PDF)
2022 Installment Bill #1 ⓘ	\$0.00	Paid \$1,884.83 06/01/2022	Print (PDF)
		Paid \$5,727.15	
2021 Annual Bill ⓘ	\$0.00	Paid \$7,699.73 11/02/2021	Print (PDF)
2020 Annual Bill ⓘ	\$0.00	Paid \$7,942.43 02/05/2021	Print (PDF)
2019 ⓘ			
2019 Installment Bill #4 ⓘ	\$0.00	Paid \$2,057.90 04/03/2020	Print (PDF)
2019 Installment Bill #3 ⓘ	\$0.00	Paid \$1,996.16 12/26/2019	Print (PDF)
2019 Installment Bill #2 ⓘ	\$0.00	Paid \$1,809.52 09/20/2019	Print (PDF)
2019 Installment Bill #1 ⓘ	\$0.00	Paid \$1,781.10 06/26/2019	Print (PDF)
		Paid \$7,644.68	
2018 Annual Bill ⓘ	\$0.00	Paid \$7,503.35 02/11/2019	Print (PDF)
2017 ⓘ			
2017 Annual Bill	\$0.00	Paid \$8,599.70 09/27/2018	Print (PDF)
Certificate #4115		Redeemed 09/27/2018	Face \$8,184.24, Rate 0.25%
		Paid \$8,599.70	
2016 ⓘ			
2016 Annual Bill	\$0.00	Paid \$8,563.06 08/31/2017	Print (PDF)
Certificate #4374		Redeemed 08/31/2017	Face \$8,149.34, Rate 0.25%
		Paid \$8,563.06	
2015 Annual Bill ⓘ	\$0.00	Paid \$7,347.40 11/30/2015	Print (PDF)
2014 Annual Bill ⓘ	\$0.00	Paid \$7,237.78 11/28/2014	Print (PDF)
2013 Annual Bill ⓘ	\$0.00	Paid \$4,917.10 11/29/2013	Print (PDF)
2012 Annual Bill ⓘ	\$0.00	Paid \$4,825.30 11/15/2012	Print (PDF)
2011 Annual Bill ⓘ	\$0.00	Paid \$4,607.56 11/08/2011	Print (PDF)
2010 Annual Bill ⓘ	\$0.00	Paid \$4,460.57 11/19/2010	Print (PDF)
Total Amount Due	\$0.00		

BILL	AMOUNT DUE	STATUS	ACTION
2009 Annual Bill ⓘ	\$0.00	Paid \$4,352.50 11/13/2009	Receipt #755-09-035634  Print (PDF)
2008 Annual Bill ⓘ	\$0.00	Paid \$4,284.21 11/10/2008	Receipt #755-08-028914  Print (PDF)
2007 Annual Bill ⓘ	\$0.00	Paid \$4,272.06 11/20/2007	Receipt #055-07-00067650  Print (PDF)
2006 Annual Bill ⓘ	\$0.00	Paid \$4,499.28 11/30/2006	Receipt #015-06-00006996  Print (PDF)
2005 Annual Bill ⓘ	\$0.00	Paid \$4,518.69 11/21/2005	Receipt #055-05-00077634  Print (PDF)
2004 Annual Bill ⓘ	\$0.00	Paid \$3,586.29 11/03/2004	Receipt #055-04-00015147  Print (PDF)
2003 Annual Bill ⓘ	\$0.00	Paid \$3,532.66 11/26/2003	Receipt #055-03-00091882  Print (PDF)
2002 Annual Bill ⓘ	\$0.00	Paid \$3,475.17 11/15/2002	Receipt #055-02-00030497  Print (PDF)
2001 Annual Bill ⓘ	\$0.00	Paid \$3,424.25 11/29/2001	Receipt #004-01-00016066  Print (PDF)
2000 Annual Bill ⓘ	\$0.00	Paid \$3,156.75 11/28/2000	Receipt #075-00-00031874  Print (PDF)
1999 Annual Bill ⓘ	\$0.00	Paid \$3,059.75 11/30/1999	Receipt #063-99-00000796  Print (PDF)
Total Amount Due	\$0.00		

City of Madeira Beach
Building Department
300 Municipal Drive
Madeira Beach, FL 33708
PH: 727-391-9951 ext. 284 FAX:727-399-1131



CODE COMPLAINT FORM

FOR OFFICE USE:

DATE: <u>10/14/22</u>	RECEIVED BY: <u>Lisa Scheuerman</u>
TIME: <u>8:49 AM</u>	

Thank you for your concern and contacting Madeira Beach Code Enforcement. Please fill out the following form and email it to madeirabeachcode@madeirabeachfl.gov

Complainant Name: Michelle Helms
Complainant Address: 546 Johns Pass Avenue
Nature of Complaint: Eye SORE • VIEW ISSUES

- Junk/litter Building Zoning Environmental Landscape Rental

Property Address: 544-Johns Pass Avenue
Parcel (if no address): _____
Property Owner (if known): _____
Please describe the issue: _____

OBSTRUCTION of VIEW
BUILDING TEAKY HUT

* ALSO Due to HIEGHT of DECK Rainwater FLOODS
OUR side YARD - DRAINAGE ?

Pursuant to Subsection (4) of section 125.69, Florida Statutes, (b) A person designated as a code inspector may not initiate an investigation of a potential violation of a duly enacted code or ordinance by way of an **anonymous complaint**. A person who reports a potential violation of a code or an ordinance **must** provide his or her name and address to the governing body of the respective board of county commissioners before an investigation occurs. This paragraph does not apply if the person designated as a code inspector has reason to believe that the violation presents an imminent threat to public health, safety, or welfare or imminent destruction of habitat or sensitive resources.



Denied app 7685

7685



FEB 21 2022 10:00 AM

BUILDING DEPT

CITY OF MADEIRA BEACH

BUILDING & PERMITTING DEPARTMENT
300 Municipal Drive, Madeira Beach, Florida 33708
(727)391-9951 ext. 284 FAX: (727) 399-1131
Email to: Buildingdept@madeirabeachfl.gov

PERMIT APPLICATION

2020 Florida Building Codes – 7th Edition
<https://codes.iccsafe.org/public/collections/FL>

Date of application: 2/21/2022 Permit Application Base Fee: _____

Value of job: \$5,000 Sq. ft. 144 Parcel ID #: 16-31-15-19998-000-0090
(Materials and Labor Total)

Project/Job Site Address: 544 Johns Pass Ave
Madeira Beach, FL 33708

Homeowner Name: Michael Auton Phone Number: 727.871.5422

Homeowner Address: 544 Johns Pass Ave

Homeowner Email: mike.auton@mayfieldsearch.com

Contractor Company Name: Florida Tiki Huts

Company Address: 83 Andover D, West Palm Beach, FL 33417

Contact Person: Bill Blass

State License: _____ PCCLB License: _____

Telephone: 352-584-4387 Email: floridatikihuts@yahoo.com

CITY OF MADEIRA BEACH PLANNING AND ZONING SITE PLAN REVIEW

APPROVED PROJECT NO. _____
 APPROVED AS NOTED BY: AK
 REVISE AND RESUBMIT DATE: 3/12/22
 NOT ACCEPTABLE

CITY of MADEIRA BEACH
BUILDING DEPARTMENT
CODE REVIEW FOR CODE COMPLIANCE
B M E P G F
ALTERATION LEVEL 1 - 2 - 3
APPROVED FOR ISSUANCE _____
"SUBJECT TO FIELD INSPECTION APPROVAL"

DEVIEW

ROOF MECH GAS/LP PILINGS/LIFTS SEAWALLS ELEC/SOLAR
 BUILDING REMODEL RIP RAP DOCKS SHED FENCE SIGNS
 DEMO/SITE PLUMB POOL/SPA/SAUNA PAVERS DRIVEWAY FIRE
 WINDOWS/SHUTTERS/DOORS GARAGE DOOR

Description of work:

12 x 12 leg set. (14 x14 roof set) Native Tiki Structure

Property Holder Name
(If other than homeowner):

Same

Property Owner Address:

Same

Fee Simple Title Holder:

(If other than homeowner)

Fee Simple Title Holder Address:

Telephone: _____

Email: _____

Architect/Engineer Company Name: Morrison Engineering, inc

AOR/EOR Address: 1662 N State Road 29, LaBelle, FL 33935

Contact Person Name: Scott Morrison

License # 58711

Telephone: 239.218.8895

Email: scot@morrisonengineer.com

Contact Address: same as above

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public records requests.

WARNINGS AND AFFIDAVIT

Warning to Owner: Your failure to record a Notice of Commencement shall result in your paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Application is hereby made to obtain to do the work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand tht a separate permit must be secured for all work not provided in this application.

Owners Affidavit: I certify that ll foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating zoning and construction:

105.1 Permit Application of the Florida Building Code.

105.1 When required, any owner, authorized agent, or contractor who desires to construct, enlarge, alter, repair, move, demolish, or change the occupancy or occupant content of a building or structure, or any outside area being used as part of the building’s designated occupancy (single or mixed) or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the installation of which is regulated by the technical codes, or to cause any such work to be done, shall first make application to the Building Official and obtain a permit for the work.

108.2 Permit fees, on all buildings, structure, electrical plumbing, mechanical, and gas systems or alterations requiring a permit, a fee for each permit shall be paid as required at the time of filing an application, in accordance with the schedule as established by the applicable governing body.

105.8 Notice of Commencement, as per S.713.135 Florida Statutes

Warning to Owner: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owners Printed Name: MIME AUTON

Signature:  Date: 2/22/2022

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Subcontractor Name: Florida Tiki Huts

Phone: _____ Email: _____

Address: _____

Trade: _____

State License # _____ PCCLB License # _____

Subcontractor Name: _____

Phone: _____ Email: _____

Address: _____

Trade: _____

State License # _____ PCCLB License # _____

Subcontractor Name: _____

Phone: _____ Email: _____

Address: _____

Trade: _____

State License # _____ PCCLB License # _____

Subcontractor Name: _____

Phone: _____ Email: _____

Address: _____

Trade: _____

State License # _____ PCCLB License # _____

Subcontractor Name: _____

Phone: _____ Email: _____

Address: _____

Trade: _____

State License # _____ PCCLB License # _____

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NOTIFICATION

- A "Post FIRM" permit allocation will require a non-conversion agreement form signed & notarized by the property owner to be compliant with FEMA. This form must accompany the permit to be processed.

- A current survey is required for all fences, driveways, additions, and pools.


- An original or certified copy of Notice of Commencement is required for all projects of \$2,500 or greater in value except for mechanical permits at \$7,500 or greater and must be provided before the first inspection.

- For Demolition/Asbestos removal, Pinellas County Air Quality Form call: 727.464.4422.
- In addition to the requirements of this permit, there may be additional restriction applicable to this property that may be found in Public Records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

- F.S 553.79(10), F.S. 553.79(11) requires notification to you and your responsibility,
- when applicable to comply with F.S. 469.003 to notify the Department of Environmental Protection of your intentions to remove asbestos, in conjunction with the demolition or renovation of your existing building, in accordance with State and Federal law.

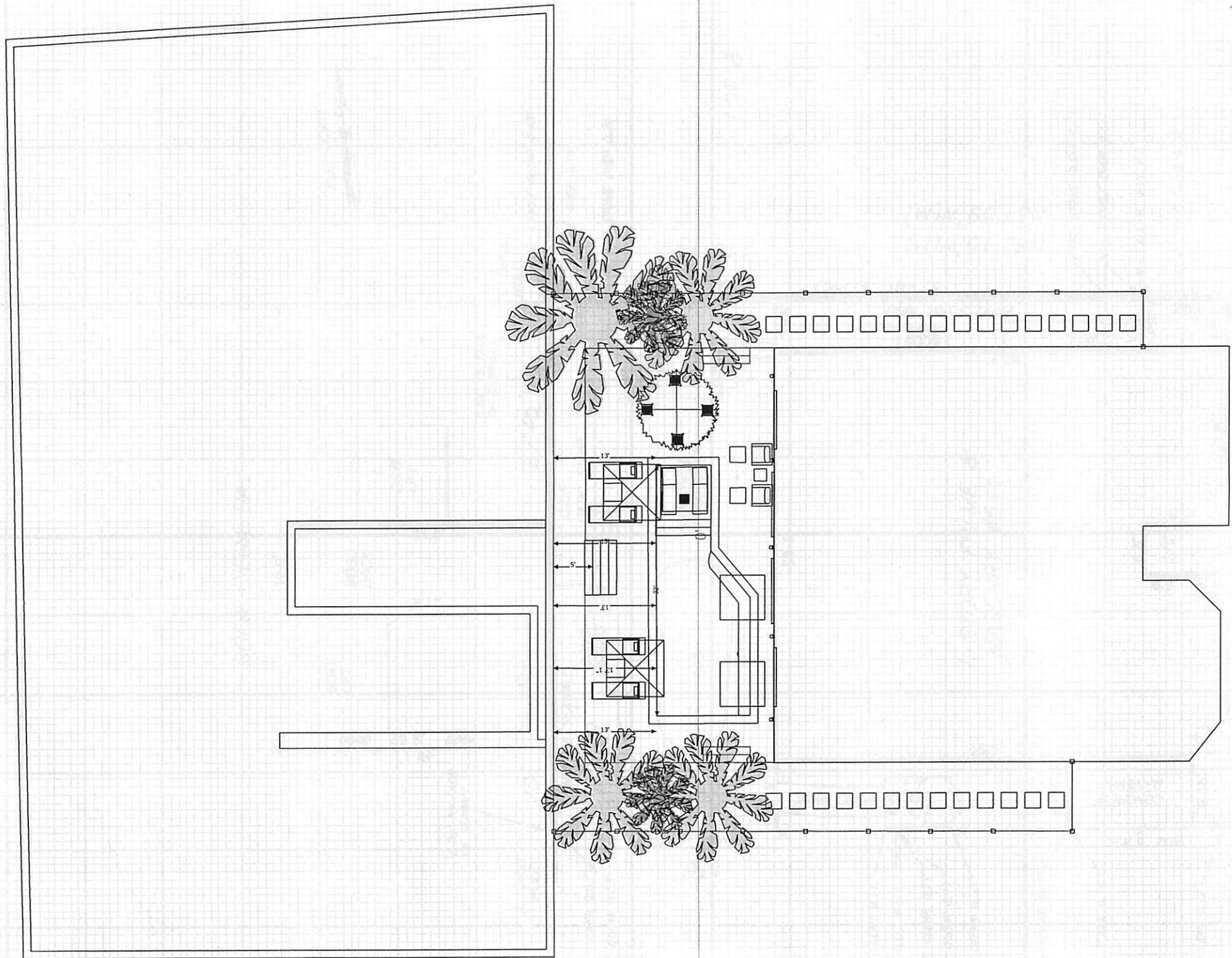
I have read the notification and agree to comply as stated and promise, in good faith, to deliver this statement to the person whose property if subject to the attachment. I hereby certify that all statements made in this application are true and correct and that no construction has begun, except as other has been disclosed, before the permit for this work has been issued.

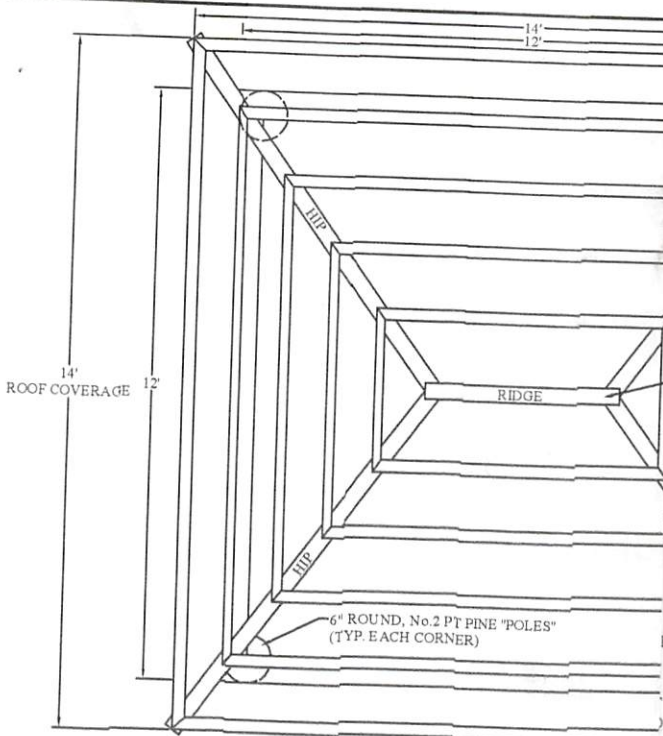
I have read, understand, and do hereby certify that the above-listed subcontractors are to be utilized on this project. Should there be any changes, I will notify the City of Madeira Beach Building Department, in writing, immediately. Failure to do so shall be cause for revocation of this building permit.

Signature of Owner _____  _____ Date: 2/22/2022

Signature of Contractor: _____ Date: _____

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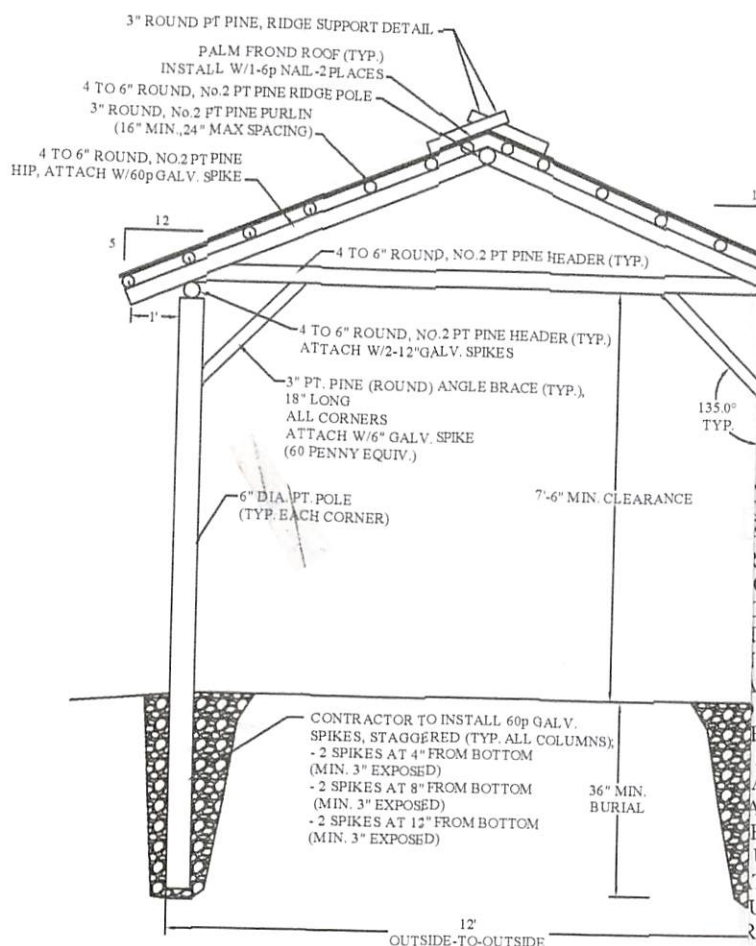




TYPICAL ROOF FRAMING LAYOUT PLAN

SCALE: 1/4"=1'

17, ASCE 7-10, NATIONAL DESIGN SPECIFICATIONS FOR WOOD
 L-SOUTHERN PINE MAXIMUM SPANS
 COUNCIL-RAISED FLOOR SYSTEMS, 2004 EDITION,
 BEAMS, 2005 EDITION.
 (RISK CATEGORY I).
 $(K_d) \cdot (V^2)$
 0.85 (ASCE 7-10, SECTION 26.6),
 1 BUILDINGS & F.B.C.-17-FIG. 1609.3(3))
 UCTURE, SECTION 27)
 AD CASE A, 22.5° ROOF ANGLE)
 D CASE A, 22.5° ROOF ANGLE)
 7-OPEN STRUCTURE)
 D CASE A)
 ASE A)
 6" ROUND, NO.2 PT PINE "POLES"
 (TYP. EACH CORNER)
 FC. IS 200 psf/ft EMBEDMENT.
 AT GROUND SURFACE. LATERAL
 2 TIMES TABULAR VALUES."
 $(ft^2) + (5.4 psf) \cdot (62 ft^2)$
 -force (HORIZ. COMP. = 596 lb-force, VERTICAL COMP. = 1,431 lb-force)
 mbdment depth) * ((200 psf/ft * (2)) * (1sq.ft./144 sq.in.)) = 1,800 lb-force (4 COLUMNS = 7,200 lb-force)



TYPICAL ELEVATION-FRONT

SCALE: 1/4"=1'

OLE)
 ce) * (13 FT. TO MID-POINT OF ROOF) = 7,748 ft-lb-force
 * (4 POLES) * (1.5 FT CENTROID) = 10,800 lb-FORCE RESISTANCE

APPLICATION OF FLAMESTOP I-DS, IS PER LOCAL FIRE MARSHALL AUTHORITY.
 PPLICABLE DOCUMENTATION/TESTING RESULTS.

PROJECT/JOB NAME & ADDRESS:
 544 JOHN'S PASS AVENUE
 MADIERA BEACH, FL 33708

Signature
 2/17/2022

NOTES:
 ANS AND SPECIFICATIONS HAVE BEEN PREPARED
 DANCE WITH, AND MEET OR EXCEED, THE SEVENTH
 OF THE FLORIDA BUILDING CODE.
 BN NOTES/SPECIFICATIONS SHALL BE FOLLOWED
 T ACCORDANCE WITH THIS PLANSET, WHERE ADVERSE
 IDITIONS AND/OR SITE CONSTRAINTS REQUIRE
 ATION OF THESE PLANS, THE ENGINEER SHALL BE
 IMMEDIATELY PRIOR TO MODIFICATION.
 FICATIONS ARE ALLOWED WITHOUT
 AUTHORIZATION BY THE DESIGN ENGINEER.
 ANS HAVE BEEN DESIGNED FOR THE SOLE USE
 ALTUN, AS CLIENT, AND/OR HIS ASSIGNS. WRITTEN RELEASE
 ELow ENGINEER OF RECORD AND MR. ALTUN IS REQUIRED
 USE OF THESE PLANS BY ANY OTHER ENTITY.
 TTACHMENTS ARE NOT SPECIFIED. CONNECTIONS SHALL BE
 UFACTURERS SPECIFICATIONS AND/OR LATEST EDITION OF
 RIDA BUILDING CODE. ANY QUESTIONS, CONTACT ENGINEER OF RECORD
 TRACTOR HAS THE OPTION TO SUBSTITUTE FASTENERS OF EQUIVALENT,
 TER, HOLD, PULL-OUT, PULL-OVER, AND SHEAR STRENGTH.

REVISIONS:	DATE	DESCRIPTION
6		
5		
4		
3		
2		
1		

12'x 12' TIKI HUT ELEVATIONS, SECTIONS, AND CALCULATIONS	
DATE: 2/2022	PROJECT NAME: ALTUN RESIDENCE -TIKI HUT 12'x12' DESIGN
26856	SCALE: 1/4" = 1'
SHEET 1 OF 1	





City of Madeira Beach
BUILDING DEPARTMENT
300 Municipal Drive
Madeira Beach, FL 33708
PH: 727-391-9951 ext. 284 FAX:727-399-1131

REVISION / RESUBMITTAL COVER SHEET

(Check one)

Re-submittal to Correct Plan Review Comments

Voluntary Design Revision to Plans

DATE: 4/28/2022

Permit #: 7685

Project Address: 544 Johns Pass Ave, Madeira Beach, Fl

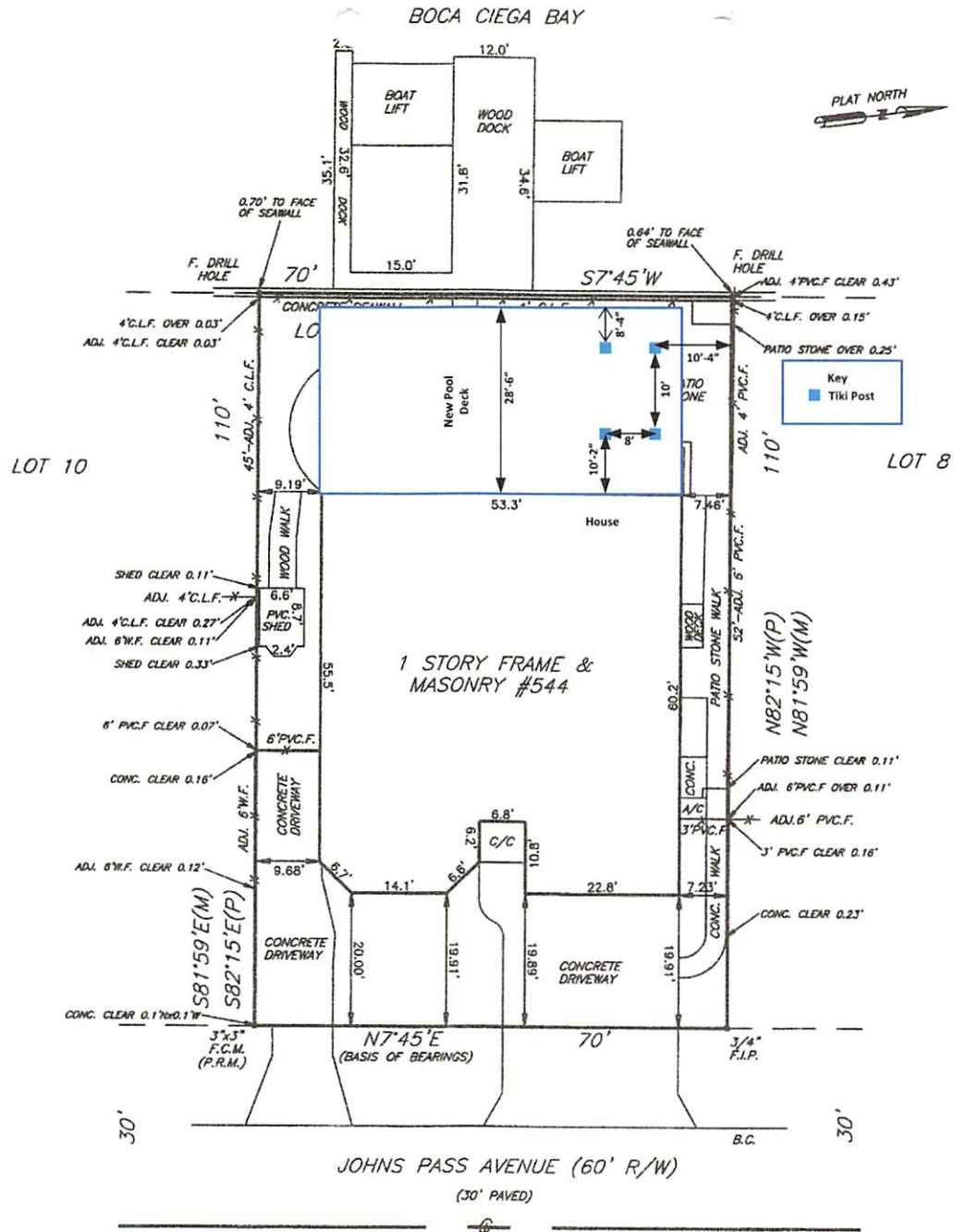
Contractor/Company Name: Florida Tiki Huts

Contact Person: Christina/Mike Auton Homeowners Phone #: 813-765-1016

Bill Blass - Florida Tiki Huts 727-234-3582

If this is a Plan Revision, briefly but fully identify the revisions made:

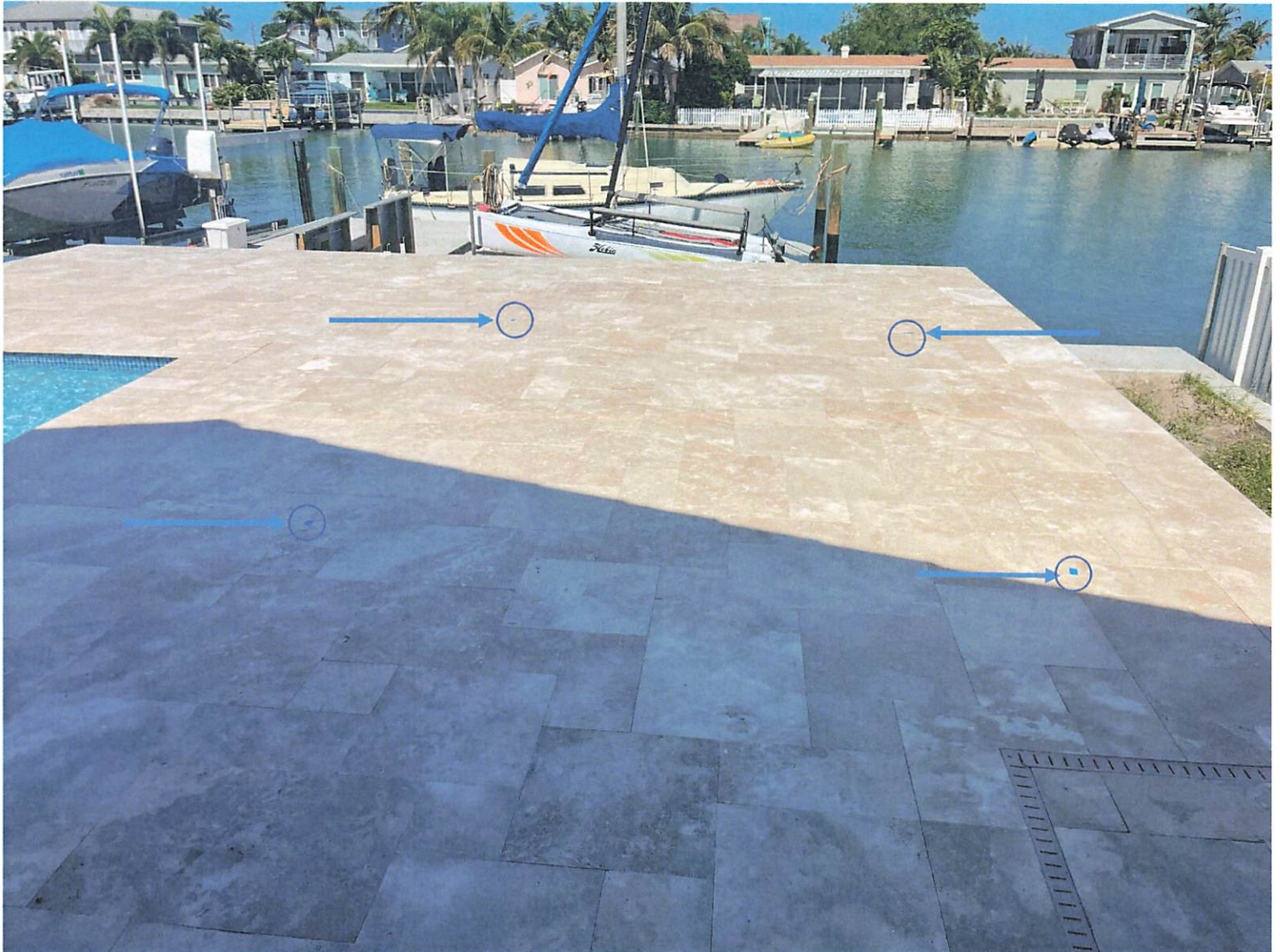
This is a request for revising the original 8' x14' footprint of the native tiki structure down to an 8' x 10'
footprint to keep in compliance.



A BOUNDARY SURVEY OF LOT 9, CRYSTAL ISLAND SECOND ADDITION, AS RECORDED IN PLAT BOOK 57, PAGE 64, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

<p>JOB NUMBER: MMXIII184 TELEPHONE: (727) 360-0636 DATE OF FIELD SURVEY: 7/01/13 SCALE: 1 INCH = 20 FEET DRAWN BY: DCH</p>	<p>DAVID C. HARNER PROFESSIONAL LAND SURVEYOR 9925 GULF BOULEVARD TREASURE ISLAND, FL. 33706</p>	<p>FLOOD ZONE: "AE" FLOOD MAP DATE: 8/18/09 COMMUNITY NUMBER: 125127 PANEL NUMBER: 0192 G CHECKED BY: DCH</p>
<p>CERTIFIED TO:</p> <p style="text-align: center;">MICHAEL AUTON HERITAGE TITLE INSURANCE CORPORATION FIRST AMERICAN TITLE INSURANCE COMPANY BRANCH BANKING AND TRUST</p>		
<p>I HEREBY CERTIFY TO THE HEREON NAMED PARTY OR PARTIES, AND ONLY TO THOSE NAMED HEREON, THAT THE BOUNDARY SURVEY REPRESENTED HEREON MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FLORIDA STATUTE 472.027.</p> <p>NOTES: UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN. OTHER EASEMENTS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. ONLY THOSE EASEMENTS KNOWN TO ME OR SUPPLIED TO ME BY THE HEREON NAMED PARTY OR PARTIES ARE DEPICTED HEREON.</p> <p style="text-align: right;">DCH 7/02/13 DAVID C. HARNER P.L.S. REGISTRATION NUMBER 2650</p> <p>LEGEND: A=ARC LENGTH ADJ.=ADJACENT B.C.=BACK OF CURB C=CHORD LENGTH C.L.F.=CHAINLINK FENCE CONC.=CONCRETE M.H.=MANHOLE C/C=COVERED CONC. CL=CENTERLINE C.B.=CHORD BEARING P/S=PAVERSTONE EL.=ELEVATION FT.=FINISHED FLOOR F.I.P.=FOUND IRON PIPE S.I.R.=SET IRON ROD WITH CAP #2650 F.I.R.=FOUND IRON ROD F.C.M.=FOUND CONCRETE MONUMENT M.=MEASURED M.S.=METAL SHED P.O.L.=POINT ON LINE D.=DEED R.=RADIUS W/W=WING WALL W.F.=WOOD FENCE DR.=DRAINAGE UT.=UTILITY EASE.=EASEMENT B.M.=BENCHMARK P.I.=POINT OF INTERSECTION P.R.M.=PERMANENT REFERENCE MONUMENT P.=PLAT E.P.=EDGE OF PAVEMENT</p> <p style="text-align: center;">*NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER*</p>		

**Photo of Pool Deck with Blue tape indicating location for Tiki Posts as shown on the drawing.
544 Johns Pass Ave, Madeira Beach, Fl**





APR 5 '22 3:52 PM
BUILDING DEPT

City of Madeira Beach
BUILDING DEPARTMENT
300 Municipal Drive
Madeira Beach, FL 33708
PH: 727-391-9951 ext. 284 FAX: 727-399-1131

REVISION / RESUBMITTAL COVER SHEET

(Check one)

Re-submittal to Correct Plan Review Comments

Voluntary Design Revision to Plans

Was not reviewed by
Planning. Barb was
holding permit until
survey received.

DATE: 4/5/2022

Permit #: 7685

Project Address: 544, JOHNS PASS AVE, MAD BEACH, 33708

Contractor/Company Name: FLORIDA TIKI HUTS

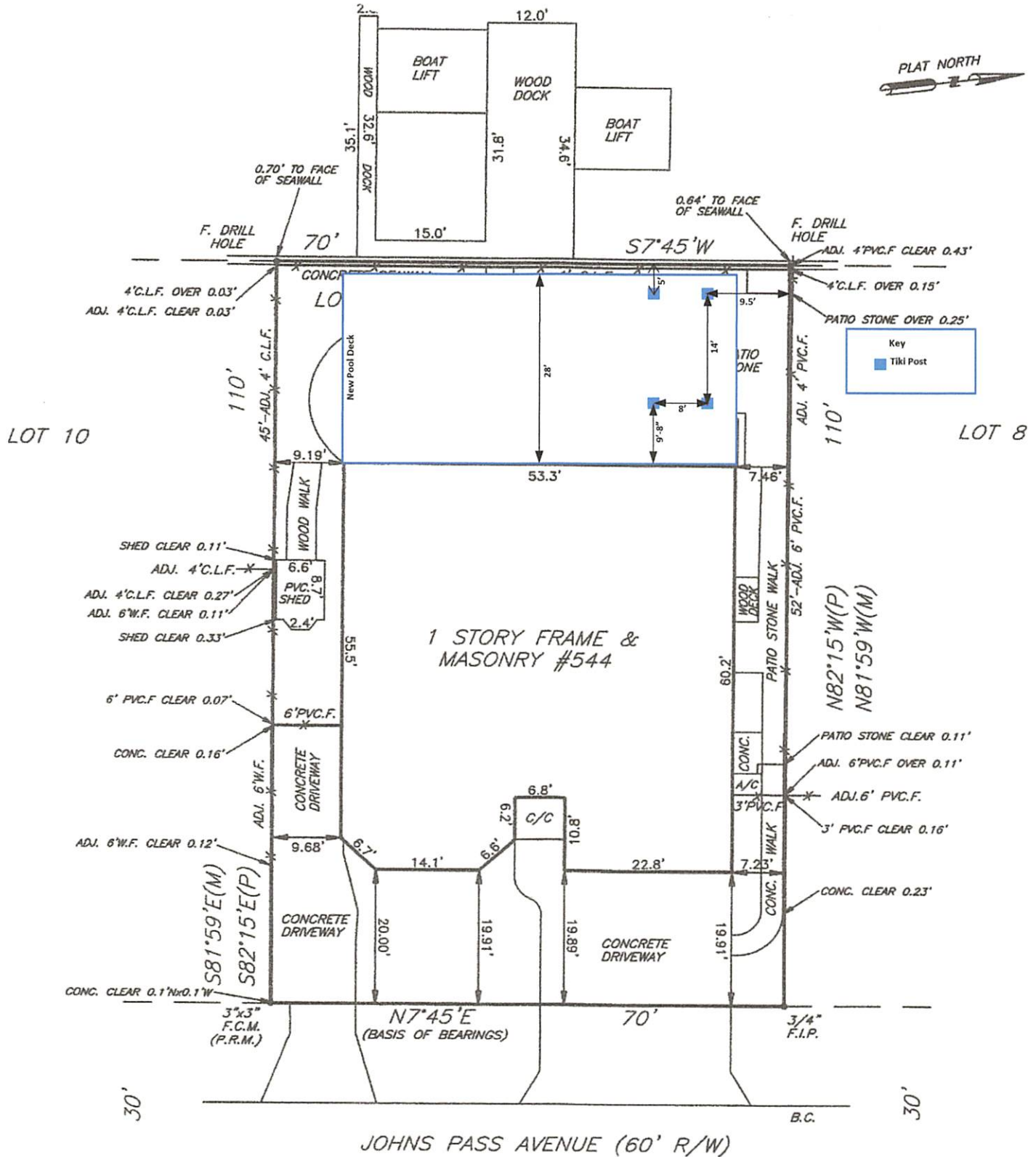
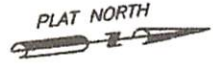
Contact Person: BILL BLASS Phone #: 727 234 3582

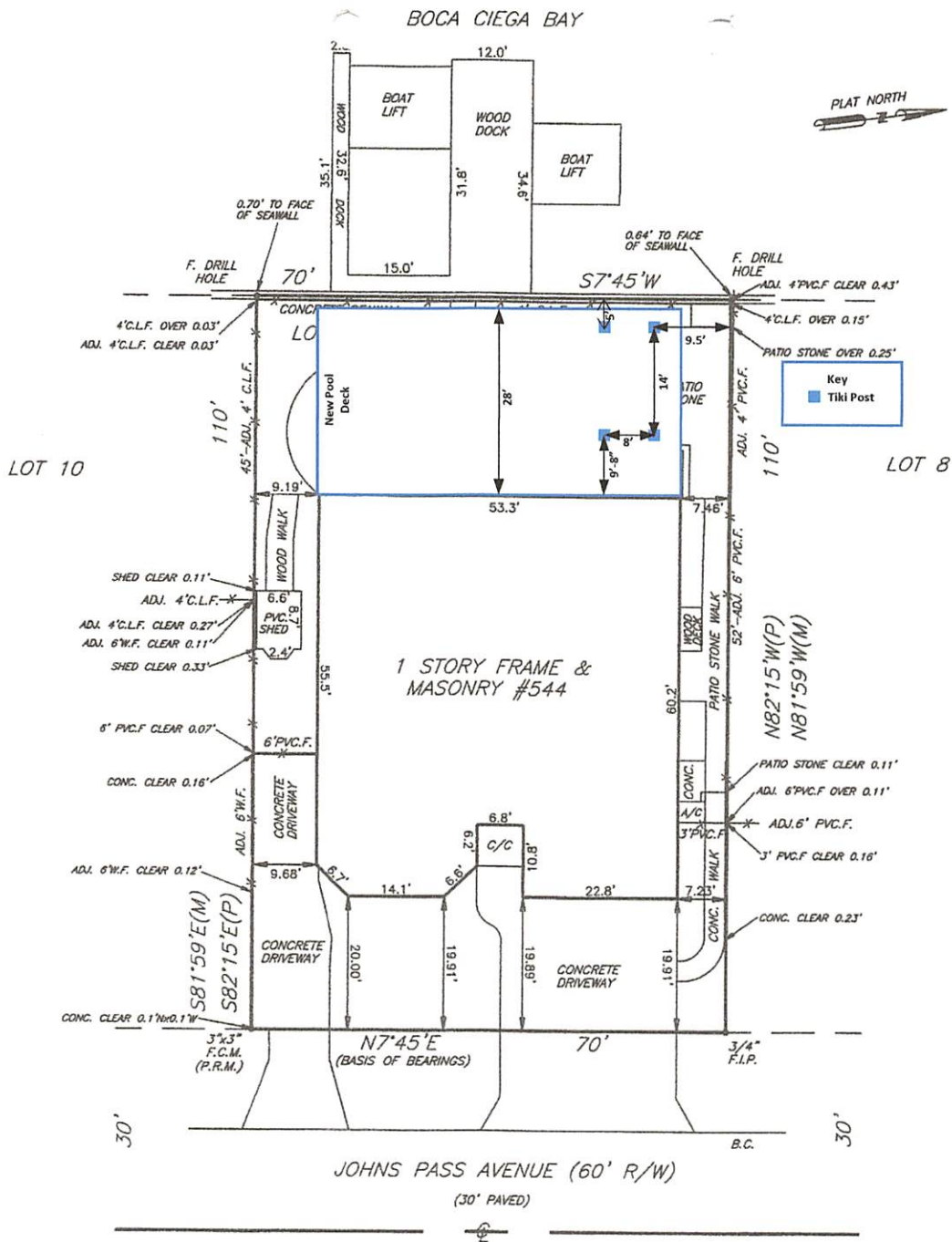
Email address: MIKE@MAYFIELDCURZON.COM

If this is a Plan Revision, briefly but fully identify the revisions made:

Show precise location and reduced Tiki
size

BOCA CIEGA BAY





A BOUNDARY SURVEY OF LOT 9, CRYSTAL ISLAND SECOND ADDITION, AS RECORDED IN PLAT BOOK 57, PAGE 64, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

JOB NUMBER: MMXIII184 TELEPHONE: (727) 360-0636 DATE OF FIELD SURVEY: 7/01/13 SCALE: 1 INCH = 20 FEET DRAWN BY: DCH	DAVID C. HARNER PROFESSIONAL LAND SURVEYOR 9925 GULF BOULEVARD TREASURE ISLAND, FL 33706 SECTION 10 TOWNSHIP 31 SOUTH RANGE 15 EAST	FLOOD ZONE: "AE" FLOOD MAP DATE: 8/18/09 COMMUNITY NUMBER: 125127 PANEL NUMBER: 0192 G CHECKED BY: DCH
CERTIFIED TO: MICHAEL AUTON HERITAGE TITLE INSURANCE CORPORATION FIRST AMERICAN TITLE INSURANCE COMPANY BRANCH BANKING AND TRUST		
I HEREBY CERTIFY TO THE HEREON NAMED PARTY OR PARTIES, AND ONLY TO THOSE NAMED HEREON, THAT THE BOUNDARY SURVEY REPRESENTED HEREON MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FLORIDA STATUTE 472.027. NOTES: UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN. OTHER EASEMENTS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. ONLY THOSE EASEMENTS KNOWN TO ME OR SUPPLIED TO ME BY THE HEREON NAMED PARTY OR PARTIES ARE DEPICTED HEREON.		
LEGEND: A=ARC LENGTH ADJ=ADJACENT B.C.=BACK OF CURB C=CHORD LENGTH C.L.F.=CHAINLINK FENCE CONC=CONCRETE M.H.=MANHOLE C/C=COVERED CONC CL=CENTERLINE C.B.=CHORD BEARING P/S=PAVERSTONE EL=ELEVATION FF=FINISHED FLOOR F.I.P.=FOUND IRON PIPE S.I.R.=SET IRON ROD WITH CAP #2650 F.I.R.=FOUND IRON ROD F.C.M.=FOUND CONCRETE MONUMENT M=MEASURED M.S.=METAL SHED P.O.L.=POINT ON LINE D=DEED R=RADIUS W/W=WING WALL W.F.=WOOD FENCE DR.=DRAINAGE UT.=UTILITY EASE.=EASEMENT B.M.=BENCHMARK P.I.=POINT OF INTERSECTION P.R.M.=PERMANENT REFERENCE MONUMENT P=PLAT E.P.=EDGE OF PAVEMENT		
"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER"		

NOTIFICATION

- A "Post FIRM" permit allocation will require a non-conversion agreement form signed & notarized by the property owner to be compliant with FEMA. This form must accompany the permit to be processed.
- A current survey is required for all fences, driveways, additions, and pools.
- An original or certified copy of Notice of Commencement is required for all projects of \$2,500 or greater in value except for mechanical permits at \$7,500 or greater and must be provided before the first inspection.
- For Demolition/Asbestos removal, Pinellas County Air Quality Form call: 727.464.4422.
- In addition to the requirements of this permit, there may be additional restriction applicable to this property that may be found in Public Records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.
- F.S 553.79(10), F.S. 553.79(11) requires notification to you and your responsibility,
- when applicable to comply with F.S. 469.003 to notify the Department of Environmental Protection of your intentions to remove asbestos, in conjunction with the demolition or renovation of your existing building, in accordance with State and Federal law.

I have read the notification and agree to comply as stated and promise, in good faith, to deliver this statement to the person whose property if subject to the attachment. I hereby certify that all statements made in this application are true and correct and that no construction has begun, except as other has been disclosed, before the permit for this work has been issued.

I have read, understand, and do hereby certify that the above-listed subcontractors are to be utilized on this project. Should there be any changes, I will notify the City of Madeira Beach Building Department, in writing, immediately. Failure to do so shall be cause for revocation of this building permit.

Signature of Owner MA Date: 2/26/22

Signature of Contractor: Michael A. Ben Date: 2/24/22

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public records requests.

APPLICATION TEXT

[2022-02-22 10:20:54 1046Barb]:REQUEST BOUNDARY SURVEY. APP ON BS DESK.

[2022-04-05 15:50:07 1046Lisa]:Revised survey rec'd, given to SP

[2022-04-26 16:32:31 1046spor]: Sent Brian's review comments to email addresses on app and resubmit form, as follows:

1. Site Plan shows tiki structure dimensions of eight feet wide by fourteen feet long. Other documentation depicts tiki structure size at twelve feet by twelve feet. Please clarify.
2. Per City Code of Ordinances Chapter 110, Section 110-480, For single-family structures, the maximum size for an accessory structure will be eight feet wide by ten feet long by eight feet high.

App in plans review file drawer.

[2022-05-16 11:04:50 1046spor]: AC denied permit on 5/12/22 (comments in Plan Review tab). Gave to BS on 5/16/22 for filing.

Christina, thank you for submitting revised documentation in response to City comments dated April 26, 2022. Unfortunately, I failed to recognize during the first review that the property is located on the water. Per our phone conversation this afternoon, the permit will be denied pursuant the following codes:

Per City Code of Ordinances Chapter 110, Section 110-472(2), For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2½-foot side setback must be provided. If the accessory structure is located in the rear yard, the same rear setback as required for principal structures must be provided.

Per City Code of Ordinances Chapter 110, Section 110-181(2), The minimum rear yard setback for waterfront lots is 30 feet.

BD emailed cgiovenco@tasiflow.com 5/10/22

As discussed, codes pertaining to tiki huts do not exist. Reviewers are directed to apply what best fits the category, thus in this situation accessory structure rules apply.

If you have any questions, please contact Jenny Rowan, Senior Planner, at (727) 804-0178.



COURTESY NOTICE OF CODE VIOLATION

OCTOBER 20, 2022

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708-2366

Case Number: 2022.3537

Parcel #: 10-31-15-19998-000-0090

Legal Description: CRYSTAL ISLAND 2ND ADD LOT 9

Property Address: 544 Johns Pass Ave.

During a recent inspection, it was noted that your property is in violation of the following code(s)/ordinance(s):

Ordinance:

Sec. 86-52. - When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovered flat slabs of no greater than 50 square feet, for work of a strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to five hundred dollars (\$500) per day. The City may also take the required action itself and lien the above property for all costs associated therewith, including an administrative fee of one hundred dollars (\$100).



Sec. 110-472. - R-1, single-family residential zones.

*2) Lots on water. For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2½-foot side setback must be provided. *If the accessory structure is located in the rear yard, the same rear setback as required for principal structures must be provided.*

Violation Detail:

An accessory structure has been built at the property without the required building permit. Either the property owner and/or licensed contractor will need to apply for and obtain an “after-the-fact” building permit to comply. If a permit cannot be obtained, the structure must be removed.

Please reply with a plan of corrections before the follow-up day listed below:

Follow-up date: **NOVEMBER 3, 2022**

Frank DeSantis, CBO

City of Madeira Beach – Building Department

fdesantis@madeirabeachfl.gov

727.391.9951 ext. 282

Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to five hundred dollars (\$500) per day. The City may also take the required action itself and lien the above property for all costs associated therewith, including an administrative fee of one hundred dollars (\$100).



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NOTICE OF CODE VIOLATION

NOVEMBER 21, 2022

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708-2366

Case Number: 2022.3537

Parcel #: 10-31-15-19998-000-0090

Legal Description: CRYSTAL ISLAND 2ND ADD LOT 9

Property Address: 544 Johns Pass Ave.

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Sec. 110-472. - R-1, single-family residential zones.

*2) Lots on water. For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2½-foot side setback must be provided. *If the accessory structure is located in the rear yard, the same rear setback as required for principal structures must be provided.*

Violation Detail:

An accessory structure has been built at the property without the required building permit. Either the property owner and/or licensed contractor will need to apply for and obtain an “after-the-fact” building permit to comply. If a permit cannot be obtained, the structure must be removed.

Please reply with a plan of corrections before the follow-up day listed below:

Follow-up date: **DECEMBER 5, 2022**

Frank DeSantis, CBO

City of Madeira Beach – Building Department

fdesantis@madeirabeachfl.gov

727.391.9951 ext. 282

Certified Mail #7021 2720 0002 6580 6631

Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to five hundred dollars (\$500) per day. The City may also take the required action itself and lien the above property for all costs associated therewith, including an administrative fee of one hundred dollars (\$100).



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SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

VESTGARDEN, TOV
 590 NORMANDY RD.
 MADEIRA BEACH, FL 33708



9500 9402 69 18 1028 7502 08

2. Article Number (Transfer from service label)

16ET 4T55 0000 0262 6T02

FS Form 3826, July 2020 ©2020 USPS® N5M

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt



quodient
 FIRST-CLASS MAIL
 IM1
\$008.10 9
 02/07/2023 ZIP 33708
 049M31233717

US POSTAGE



7019 2970 0000 5514 1391



Municipal Drive
 Madeira Beach, Florida 33708

FEBRUARY 08, 2023

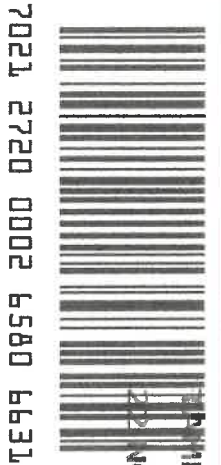
VESTGARDEN, TOV I

590 NORMANDY RD

MADEIRA BEACH FL 33708-2343



300 Municipal Drive
Madeira Beach, Florida 33708



PHIPA FL 335
NOV 2022 PM 4 L



quadrant
FIRST-CLASS MAIL
IM1
\$007.82
11/21/2022 ZIP 33708
043M31233717

US POSTAGE

NOVEMBER 21, 2022

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708-2366

33708-2366
33708-1916

BC: 33708191600 *2101-02533-22-48
NIXIE 339 DE 1 0012/20/22
RETURN TO SENDER
UNCLAIMED
UNABLE TO FORWARD

1-28

Domestic Return Receipt

3. Service Type
- Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

C. Date of Delivery

B. Received by (Printed Name)

A. Signature Agent Addressee

COMPLETE THIS SECTION ON DELIVERY

TE99 0859 2000 0220 2202
PS Form 3811, July 2020 PSN 000-000-9053



9590 9402 7386 2028 3791 24

2. Article Number (Transfer from service label)

1. Article Addressed to:
AUTON, MICHAEL J
544 JOHNS PASS AVE.
MADEIRA BEACH, FL 33708

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, EQUAL AT NOTCHED LINE

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

February 16, 2024
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3537

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708-2366

Respondents.

RE Property: 544 Johns Pass Ave **Parcel #10-31-15-19998-000-0090**

Legal Description: CRYSTAL ISLAND 2ND ADD LOT 9

NOTICE OF HEARING

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **02:00 pm** on **MONDAY** the **26th** day of February, **2024** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Sec. 110-472. – R-1, single family residential zones.

*2) Lots on water. For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2 1/2 – foot side setback must be provided. *If the accessory structure is located in the rear yard, the same rear setback as required for principal structures must be provided.*

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

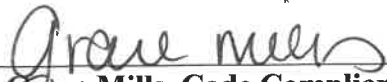
Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that

a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of February, 2024.



Grace Mills, Code Compliance Officer
City of Madeira Beach

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

February 16, 2024
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3537

AUTON, MICHAEL
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708

Respondents.

RE Property: 544 Johns Pass Ave.

Parcel # 10-31-15-19998-000-0090

Legal Description: CRYSTAL ISLAND 2ND ADD LOT 9

STATEMENT OF VIOLATION/ REQUEST FOR HEARING

To whom it may concern:

During a recent review of properties on your street, it was noted that your property is in violation of the following code section(s):

Sec. 86-52. – When required.


A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Sec. 110-472. – R-1, single family residential zones.

*2) Lots on water. For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2 1/2 – foot side setback must be provided. If the accessory structure is located in the rear yard, the same rear setback as required for principal structures must be provided.

Please bring the property into compliance by applying for and obtaining an “after-the-fact” building permit or removing unpermitted work within seven (7) days of the date of this letter. Should you fail to bring the property into compliance within seven (7) days the City will bring this case to the Special Magistrate. Please note that the Special Magistrate can levy fines up to \$250.00 per day for each day the property remains in non-compliance.

I DO HEREBY SWEAR THAT THE ABOVE FACTS ARE TRUE TO THE BEST OF MY KNOWLEDGE. I REQUEST A HEARING ON THE ABOVE VIOLATION(S) BY THE SPECIAL MAGISTRATE OF THE CITY OF MADEIRA BEACH.



Grace Mills, Code Compliance Officer
City of Madeira Beach

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

February 16, 2024
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3537

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708

Respondents.

RE Property: 544 Johns Pass Ave. **Parcel # 10-31-15-19998-000-0090**

Legal Description: CRYSTAL ISLAND 2ND ADD LOT 9

AFFIDAVIT OF SERVICE

I, Grace Mills, Building Code Compliance Officer II of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16th day of February , 2024, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16th day of February, 2024, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16th day of February , 2024, I posted a copy of the attached NOTICE OF HEARING on the property located at 544 Johns Pass Ave, Parcel # 10-31-15-19998-000-0090 the City of Madeira Beach.

On the 16th day of February, 2024, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.

Grace Mills
Grace Mills, Code Compliance Officer
City of Madeira Beach

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of Feb., 2024, by Grace Mills, who is personally known to me, or produced as identification. My Commission Expires: 03/15/27

Notary Public- State of Florida

Samantha Arison

Print or type Name.

Samantha Arison





Drive
rda 33708

OF THE RETURN ADDRESS, FOLD AT DOTTED LINE
CERTIFIED MAIL



7021 2720 0003 1476 8590

AUTON, MICHAEL J
544 JOHNS PASS AVE
MADEIRA BEACH FL 33708-2366

Respondents.

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Auton, Michael J
 544 Johns Pk^o Ave
 33708
 Madeira Beach FL



9590 9402 7951 2305 9233 14

2. Article Number (Transfer from service label)

7021 2720 0003 1476 8590

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

Adult Signature

Adult Signature Restricted Delivery

Certified Mail®

Certified Mail Restricted Delivery

Collect on Delivery

Collect on Delivery Restricted Delivery

Insured Mail

Insured Mail Restricted Delivery (over \$500)

Priority Mail Express®

Registered Mail™

Registered Mail Restricted Delivery

Signature Confirmation™

Signature Confirmation Restricted Delivery

Domestic Return Receipt



Feb 16, 2024 10:26:35 AM
546 Johns Pass Avenue
Madeira Beach
Pinellas County
Florida

Feb 2, 2024 at 1:56:08 PM

