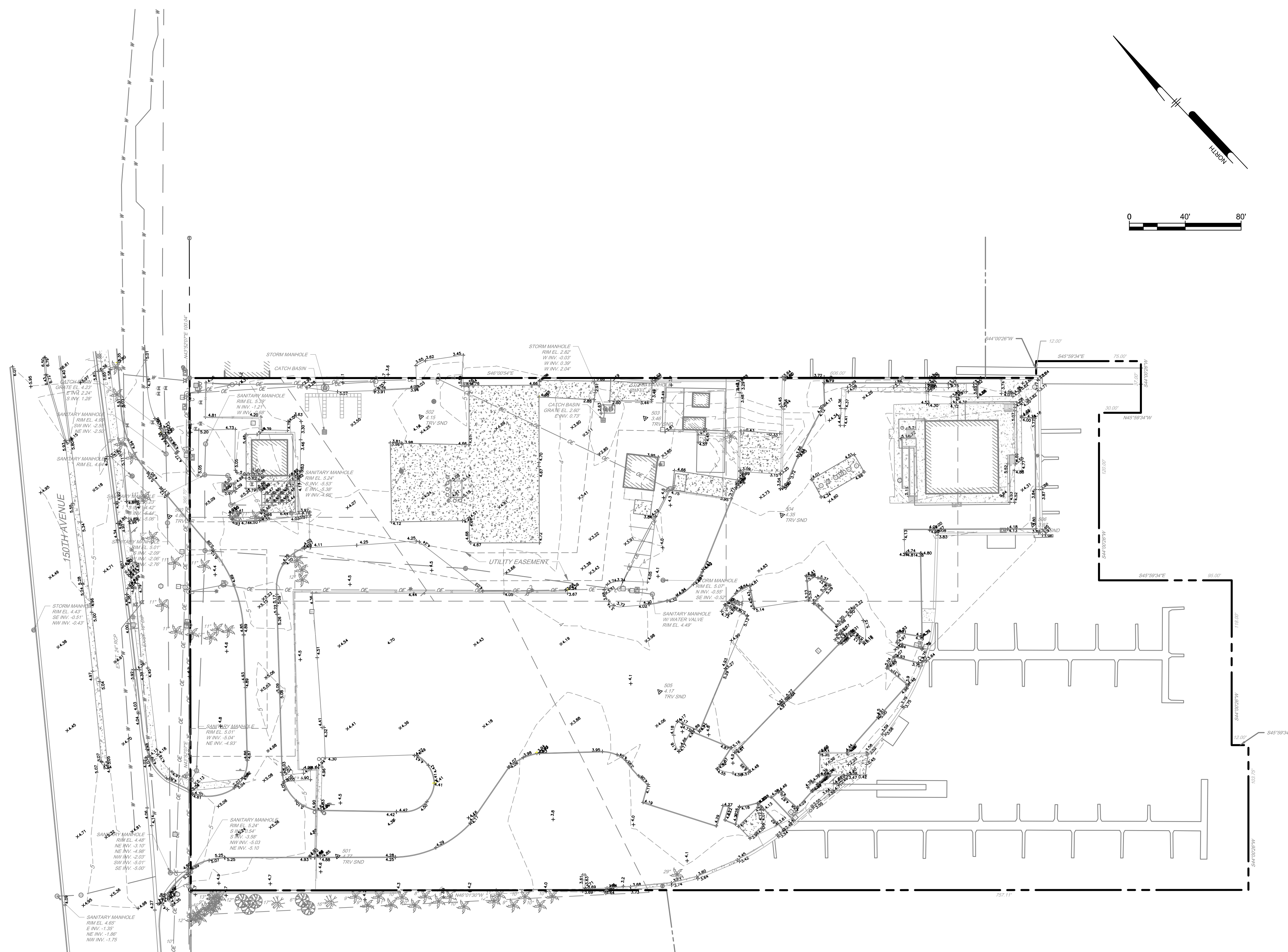




U:\Projects\MDBCH25001 - Madeira Beach Public Works\BEGESSON\_SHEETS\CS0201.dwg PLOTTED: 1/25/2026 1:00 PM BY: Ryan Humber PLOTTED: Penion KCS-85



**EXISTING LEGEND**

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- FLOOD PLAIN
- SECTION
- PROPERTY MARKER
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CURB DEPRESSION
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING FENCE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING COMMUNICATION, UNDERGROUND
- EXISTING NATURAL GAS, UNDERGROUND
- EXISTING POWER, UNDERGROUND
- EXISTING SANITARY SEWER, UNDERGROUND
- EXISTING STORM SEWER, UNDERGROUND
- EXISTING OVERHEAD UTILITY

**EXISTING MANHOLES**

- (C) (E) (S)
- (ST) (D) (W) (U)

**EXISTING VALVES**

- EXISTING JUNCTION BOX
- EXISTING POWER, TRANSFORMER
- EXISTING SANITARY SEWER, CLEAN-OUT
- EXISTING STORM SEWER, ROOF DRAIN
- EXISTING STORM SEWER, INLET
- EXISTING WATER STRUCTURES
- EXISTING TREE LINE
- EXISTING TREES
- EXISTING PALM TREES
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING GUY POLE
- BORING LOCATION
- EXISTING FLAG POLE
- EXISTING LIGHT
- EXISTING LIGHT POLE SINGLE ARM

**EXISTING ASPHALT PAVEMENT**

**EXISTING SIDEWALK / CONCRETE**

- GENERAL NOTES:**
- BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM FIELD SURVEY PERFORMED BY BULLSEYE SURVEYING INC.
  - LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
  - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
  - IN ACCORDANCE WITH "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" FLORIDA STATUTES, CHAPTER 556, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE SUNSHINE ONE CALL SYSTEM, INC. (800-432-4770) A MINIMUM OF 2 WORKING DAYS BEFORE THE START OF EXCAVATION.
  - THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- SURVEY NOTES:**
- BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT OF WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E. (STATE PLAN COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
  - WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
  - ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, "MADEIRA BEACH". (NORTH AMERICAN VERTICAL DATUM 1988).

**Pennonni**  
FLORIDA COA 7819

**PENNONNI ASSOCIATES INC.**  
5755 Rd Vista Drive  
Clearwater, FL 33760  
T 727.536.8772 F 727.538.9125

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

MICHAEL JASON SHROUD  
No. 88424  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**MADEIRA BEACH PUBLIC WORKS BUILDING**  
503 150TH AVE  
ST. PETERSBURG, FL 33708

**EXISTING CONDITIONS PLAN**

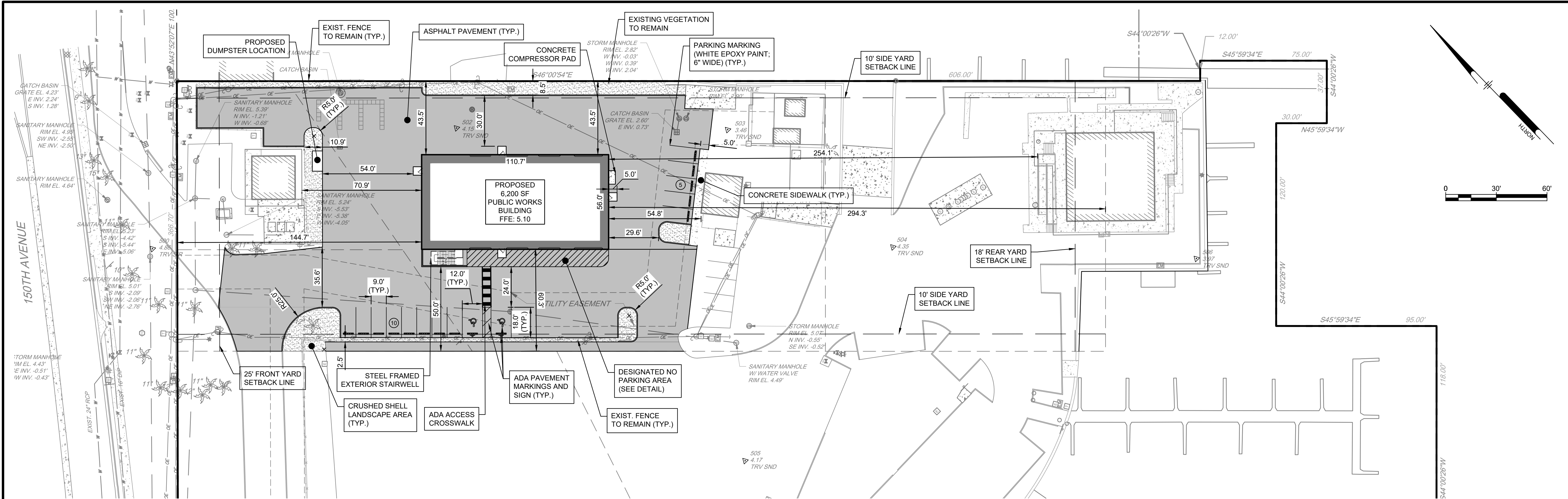
CITY OF MADEIRA BEACH  
505 150TH AVENUE  
MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONNI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONNI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONNI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONNI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **MDBCH25001**  
DATE: **FEBRUARY 2026**  
DRAWING SCALE: **1"=40'**  
DRAWN BY: **RJM**  
APPROVED BY: **JS**

**CS0201**  
SHEET **2** OF **14**



- GENERAL NOTES:**
- 1: CITY TO PROVIDE CODE COMPLIANT LANDSCAPING PRIOR TO CERTIFICATE OF OCCUPANCY (CO). IF REQUIRED, A CODE COMPLIANT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED BY THE CITY AS WELL.
  - 2: LIGHTING WILL BE REVIEWED AT TIME OF PERMITTING.
  - 3: ENCLOSED YARD IS GREATER THAN 200' FROM RESIDENTIAL USE.
  - 4: ALL SIGNAGE TO COMPLY WITH LDR REQUIREMENTS AND WILL BE PERMITTED SEPARATELY BY A SIGN CONTRACTOR.

**SITE DATA TABLE**

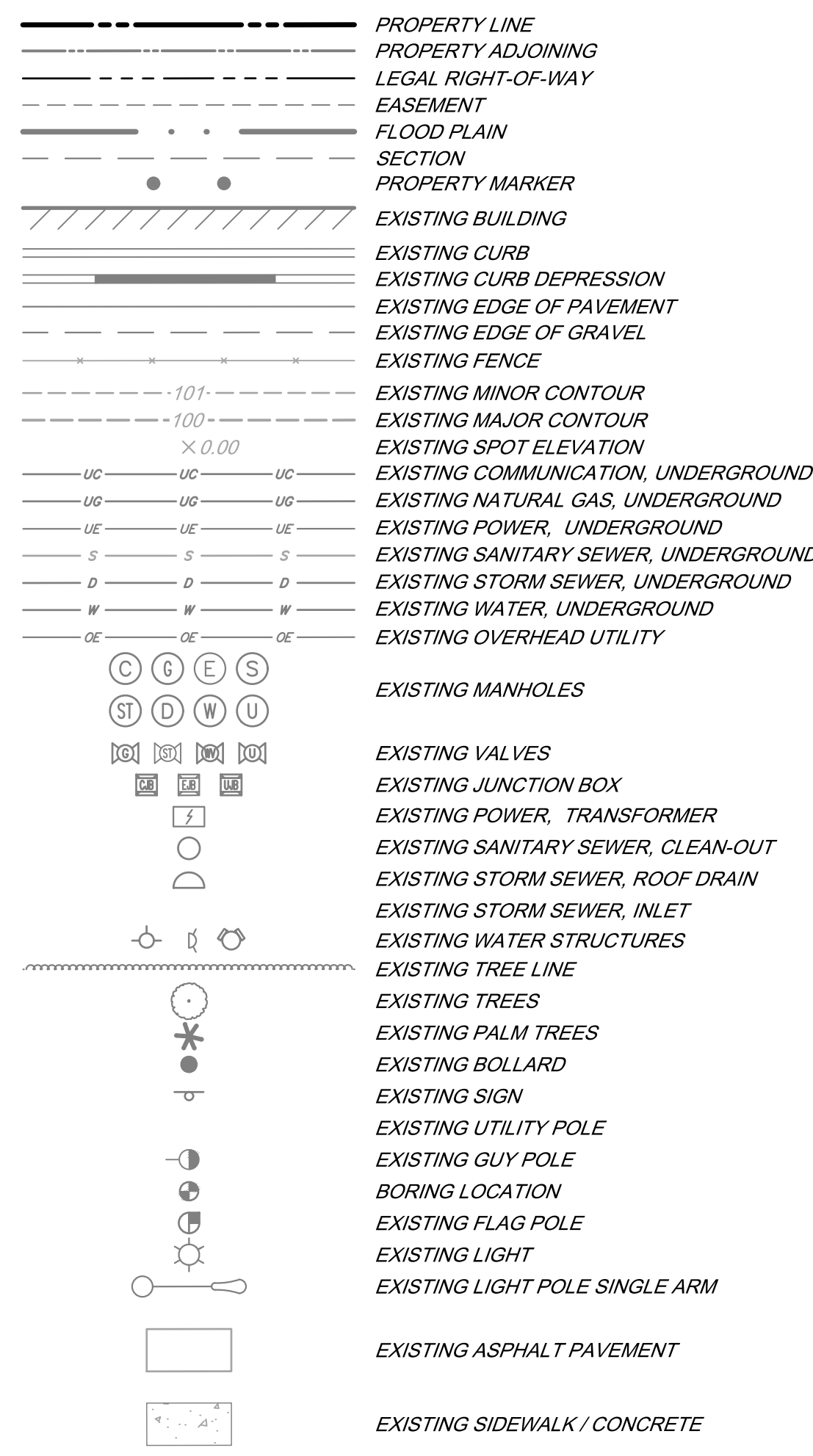
ADDRESS: 503 150TH AVE, ST. PETERSBURG, FL 33708

PARCEL #: 09-31-15-00000-140-0300					
ZONING: MARINE COMMERCIAL (C-4)					
FLOOD ZONE(S): VE AND COASTAL A					
TOTAL PARCEL AREA - 87,187 SQ FT. (2.00 ACRES)					
FUTURE LAND USE CLASSIFICATION: PLANNED REDEVELOPMENT MIXED USE (PR-MU)					
SECTION	DEVELOPMENT AREA	REQUIRED/ALLOWABLE	EXISTING	PROPOSED	
110	USE REGULATIONS		PUBLIC SERVICE FACILITY	PUBLIC SERVICE FACILITY	
110-351	DIMENSIONAL STANDARDS	MINIMUM FRONT YARD (NW)	25 FT	41 FT	144 FT
		MINIMUM REAR YARD (SE)	18 FT	N/A	294 FT
		MINIMUM SIDE YARD (NE)	10 FT	17 FT	43 FT
		MINIMUM SIDE YARD (SW)	10 FT	68 FT	60 FT
		MAXIMUM BUILDING HEIGHT	3 STORIES ABOVE BFE	N/A	17.75 FT
		MAXIMUM IMPERVIOUS COVERAGE (SF)	61,031 SF	82,141 SF	82,141 SF
		MAXIMUM IMPERVIOUS COVERAGE (%)	0.70	0.94	0.94
F.A.R.	0.55	0.04	0.11		
SQUARE FEET OF PAVING	N/A	47,068 SF	47,068 SF		

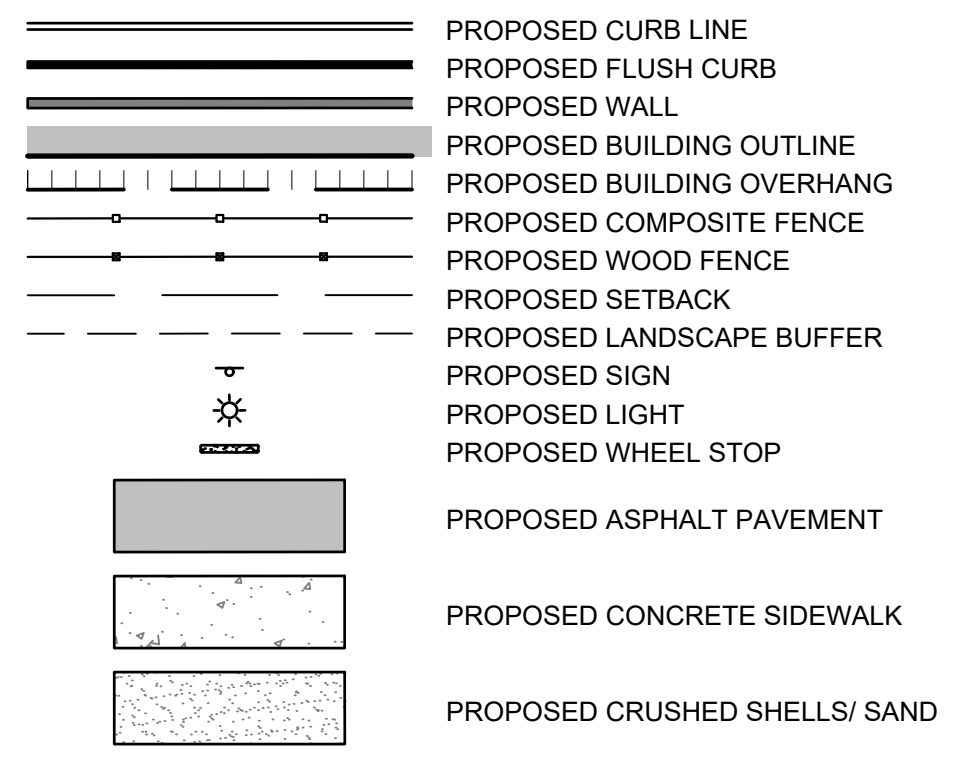
**PARKING DATA TABLE**

PARKING REQUIREMENTS			
	REQUIRED ALLOWABLE	REQUIRED	PROPOSED
REQUIRED SPACES	1 SPACE PER 1,000 SQUARE FEET GFA	13,086/1,000 = 14 SPACES	15 SPACES
REQUIRED ADA SPACES	1 ADA SPACE PER 25 PARKING SPACES	1 ADA SPACE	2 ADA SPACES (VAN ACCESSIBLE)
REQUIRED LOADING	PROPOSED BUILDING OF < 8,000 SF = 1 LOADING BERTH	1 LOADING BERTH	1 LOADING BERTH

**EXISTING LEGEND**



**PROPOSED LEGEND**



**Pennoni**  
 FLORIDA COA 7819  
**PENNONI ASSOCIATES INC.**  
 5755 Rd Vista Drive  
 Clearwater, FL 33760  
 T 727.536.8772 F 727.538.9125

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**MADEIRA BEACH PUBLIC WORKS BUILDING**  
 503 150TH AVE  
 ST. PETERSBURG, FL 33708

**ZONING PLAN**

**CITY OF MADEIRA BEACH**  
 505 150TH AVENUE  
 MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

PROJECT: **MDBCH25001**

DATE: **FEBRUARY 2026**

DRAWING SCALE: **1"=20'**

DRAWN BY: **RJM**

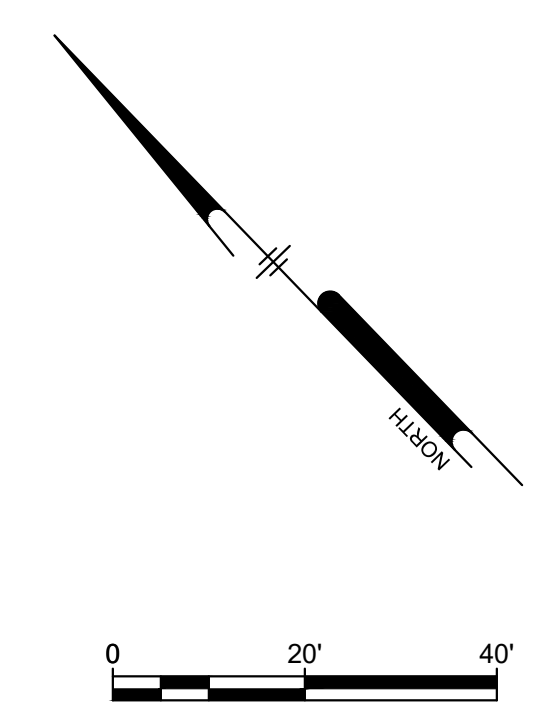
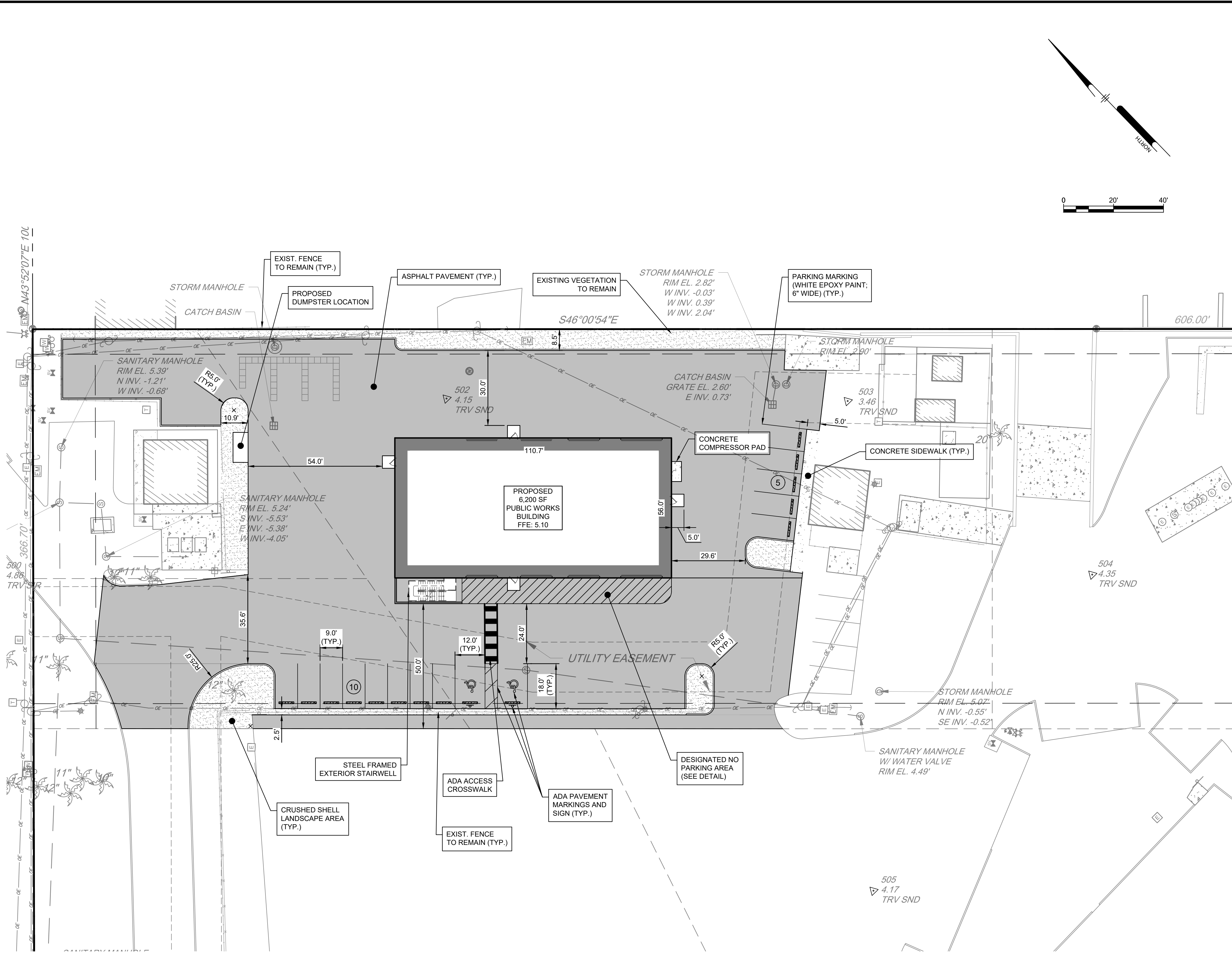
APPROVED BY: **JS**

**CS1000**

SHEET **5** OF **14**

PLOTTED: 4/22/26 11:43 AM BY: Ryan Hunter PLOTTED: Pennoni Associates Inc.

U:\Projects\MDBCH25001 - Madeira Beach Public Works Regrasson\_S&E\CS1001.dwg PLOTTED: 1/23/2026 1:22 PM, BY: Ryan Malmgren PLOTTED: Penmon KCS-88



- EXISTING LEGEND**
- PROPERTY LINE
  - PROPERTY ADJOINING
  - LEGAL RIGHT-OF-WAY
  - EASEMENT
  - FLOOD PLAIN
  - SECTION
  - PROPERTY MARKER
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  - EXISTING CURB DEPRESSION
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  - EXISTING SANITARY SEWER, CLEAN-OUT
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  - EXISTING LIGHT
  - EXISTING LIGHT POLE SINGLE ARM
  - EXISTING ASPHALT PAVEMENT
  - EXISTING SIDEWALK / CONCRETE
- PROPOSED LEGEND**
- PROPOSED CURB LINE
  - PROPOSED FLUSH CURB
  - PROPOSED WALL
  - PROPOSED BUILDING OUTLINE
  - PROPOSED BUILDING OVERHANG
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  - PROPOSED WOOD FENCE
  - PROPOSED SETBACK
  - PROPOSED LANDSCAPE BUFFER
  - PROPOSED SIGN
  - PROPOSED LIGHT
  - PROPOSED WHEEL STOP
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CRUSHED SHELLS / SAND

**Pennoni**  
 FLORIDA COA 7819  
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MICHAEL JASON SHERIDAN  
 LICENSE  
 No. 88424  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

**MADEIRA BEACH PUBLIC WORKS BUILDING**  
 503 150TH AVE  
 ST. PETERSBURG, FL 33708

**SITE PLAN**

**CITY OF MADEIRA BEACH**  
 505 150TH AVENUE  
 MADEIRA BEACH, FL 33708

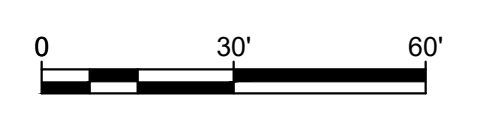
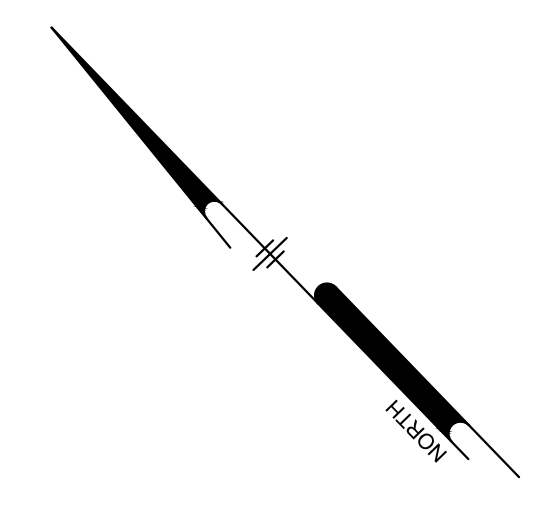
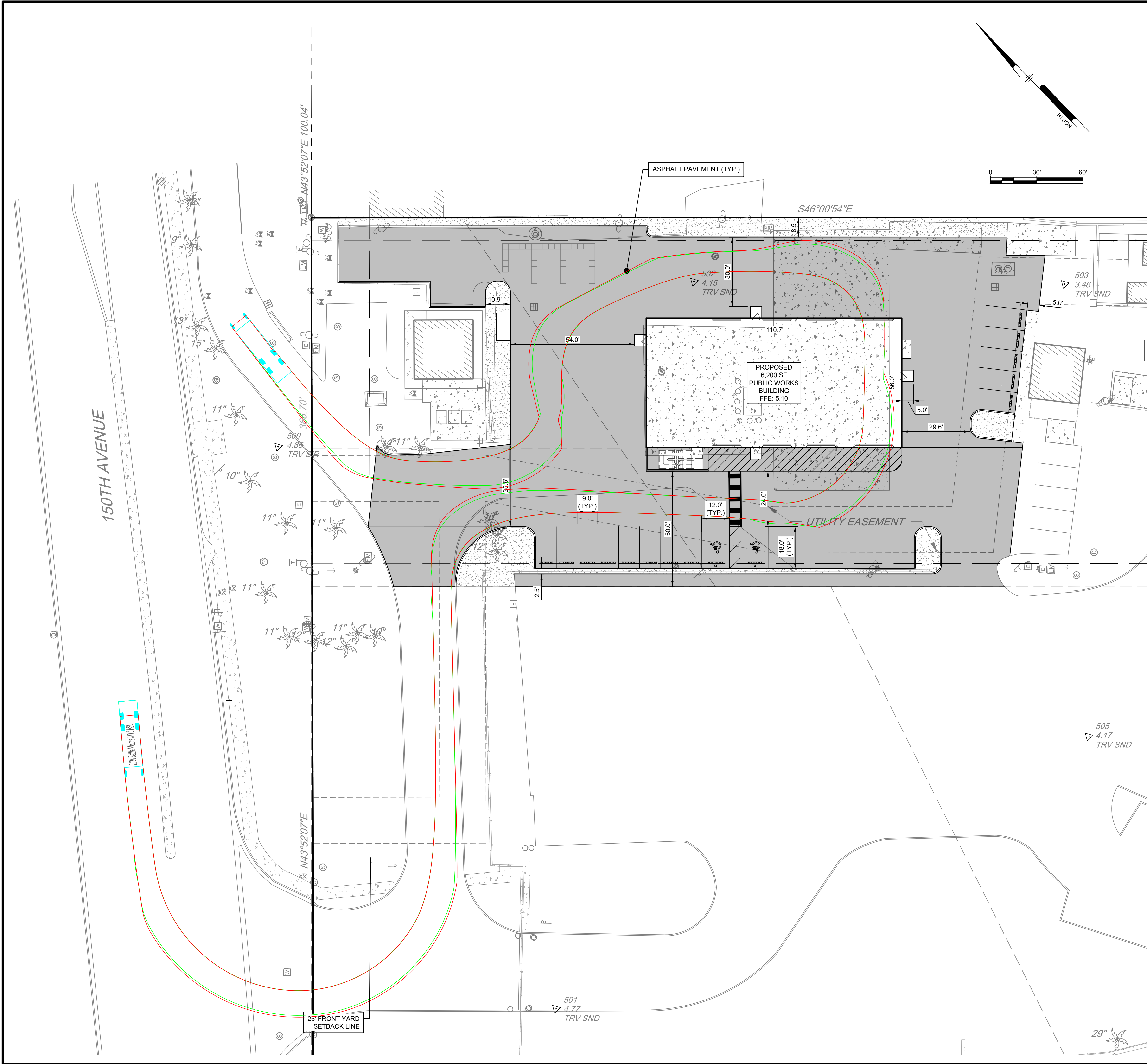
NO.	DATE	REVISIONS	BY

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PROJECT: **MDBCH25001**  
 DATE: **FEBRUARY 2026**  
 DRAWING SCALE: **1"=20'**  
 DRAWN BY: **RJM**  
 APPROVED BY: **JS**

**CS1001**  
 SHEET 6 OF 14

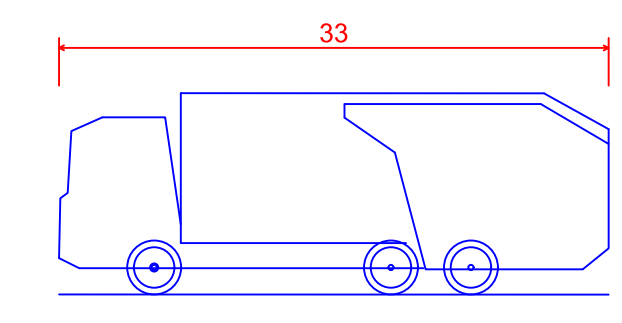
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- EXISTING LEGEND**
- PROPERTY LINE
  - PROPERTY ADJOINING
  - LEGAL RIGHT-OF-WAY
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  - PROPOSED WATER MAIN
  - PROPOSED SANITARY SEWER
  - PROPOSED UNDERGROUND ELECTRIC
  - PROPOSED UNDERGROUND GAS
  - PROPOSED UNDERGROUND TELCOM
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED STORM SEWER
  - PROPOSED AREA DRAIN
  - PROPOSED DRAINAGE INLET
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED SANITARY MANHOLE

**AUTOTURN VEHICLE TRACKING:**



2024 Battle Motors 31Yd ASL  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Curb to Curb Turning Radius

**PENNONI ASSOCIATES INC.**  
 FLORIDA COA 7819  
 5755 Rio Vista Drive  
 Clearwater, FL 33760  
 T 727.536.8772 F 727.538.9125

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**MADEIRA BEACH PUBLIC WORKS BUILDING**  
 503 150TH AVE  
 ST. PETERSBURG, FL 33708

**CIRCULATION PLAN**

CITY OF MADEIRA BEACH  
 505 150TH AVENUE  
 MADEIRA BEACH, FL 33708

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NO.	DATE	REVISIONS	BY

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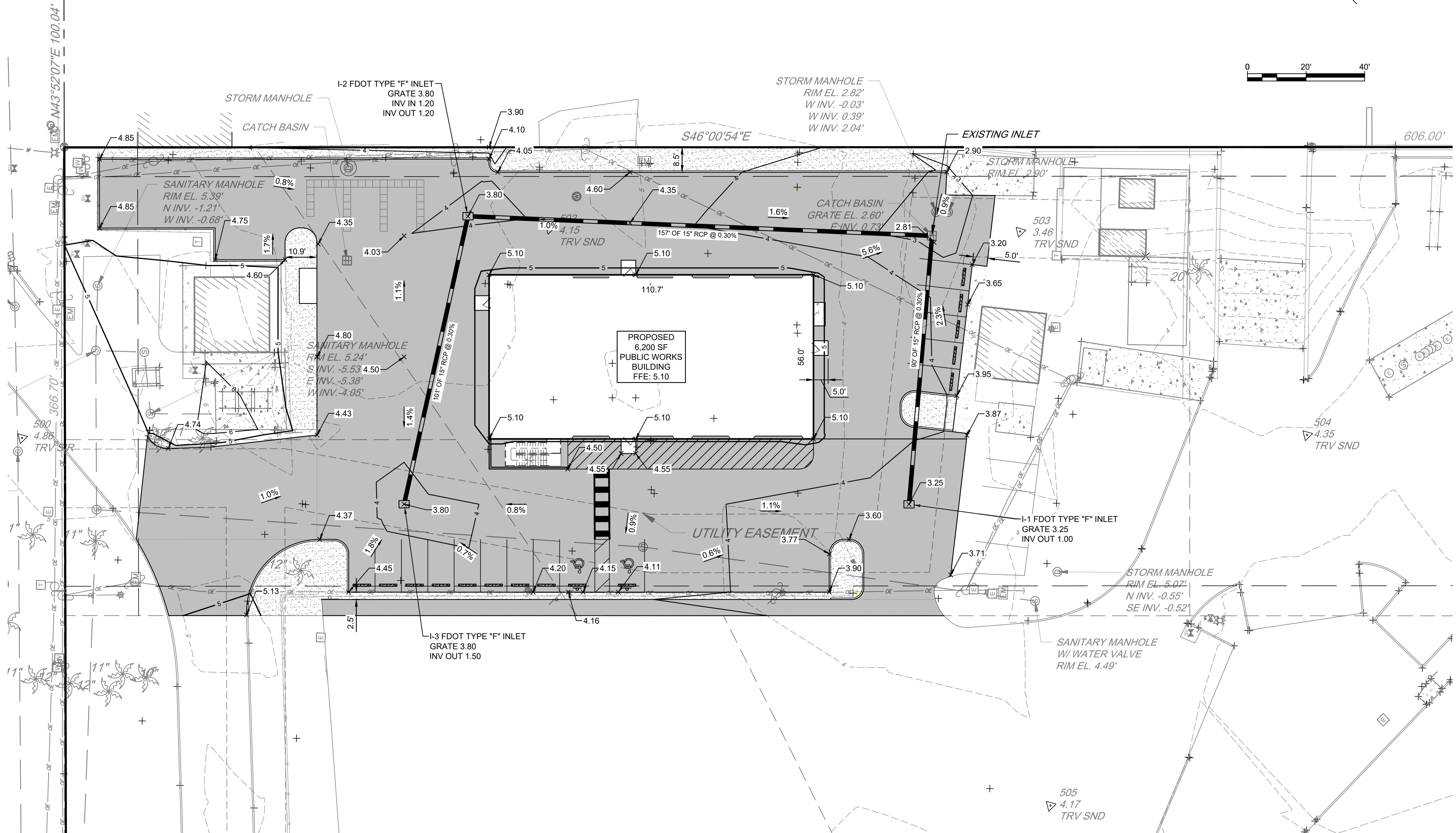
PROJECT: **MDBCH25001**  
 DATE: **FEBRUARY 2026**  
 DRAWING SCALE: **1"=20'**  
 DRAWN BY: **JS**  
 APPROVED BY: **JS**

CS1201

SHEET 7 OF 14

U:\Projects\142208\142208.dwg - Madeira Beach Public Works Regrading - 04/25/2025 10:04 AM

MA3 52 07'E 100.04'

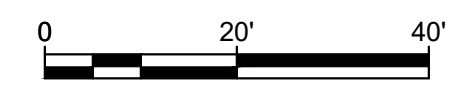
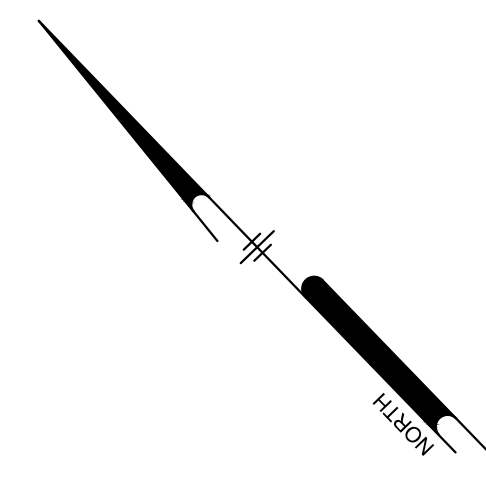


GRADING ABBREVIATIONS:

- BC = BOTTOM OF CURB
BS = BOTTOM OF STAIR
BW = BOTTOM OF WALL
FC = FLUSH CURB
GB = GRADE BREAK
HP = HIGH POINT
LP = LOW POINT
TC = TOP OF CURB
TS = TOP OF STAIR
TW = TOP OF WALL

GRADING NOTES:

- 1. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. ALL EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED OR RELOCATED. THE PREPARED SUBGRADE SHALL BE PROOF ROLLED WITH A SMOOTH-DRUM VIBRATING ROLLER TO DELINEATE SOFT/UNSTABLE AREAS AND COMPACT SOILS DISTURBED DURING EXCAVATION OPERATIONS. AREAS WHICH EXHIBIT INSTABILITY SHALL BE UNDERCUT AND REPLACED WITH LOAD-BEARING FILL.
2. MINIMUM PAVEMENT GRADE SHALL BE 1.0% SLOPE UNLESS NOTED OTHERWISE.
3. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
4. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
6. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
9. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, XXXXXX 'MADEIRA BEACH', HAVING AN ELEVATION OF XXXXX FEET, (NORTH AMERICAN VERTICAL DATUM 1988).



EXISTING LEGEND

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PROPERTY ADJOINING
LEGAL RIGHT-OF-WAY
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PROPOSED LEGEND

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PROPOSED SANITARY SEWER
PROPOSED UNDERGROUND ELECTRIC
PROPOSED UNDERGROUND GAS
PROPOSED UNDERGROUND TELCOM
PROPOSED MAJOR CONTOUR
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PROPOSED STORM SEWER
PROPOSED AREA DRAIN
PROPOSED DRAINAGE INLET
PROPOSED DRAINAGE MANHOLE
PROPOSED SANITARY MANHOLE

Pennoni logo and address: PENNONI ASSOCIATES INC., 5755 Rio Vista Drive, Clearwater, FL 33760, T 727.536.8772 F 727.538.9125

Professional Engineer seal for MICHAEL JASON SHERIDAN, No. 88424, State of Florida.

MADEIRA BEACH PUBLIC WORKS BUILDING GRADING AND DRAINAGE PLAN

Table with columns for REVISIONS, NO., and DATE.

Project information: PROJECT MDBC25001, DATE FEBRUARY 2026, DRAWING SCALE 1"=20', DRAWN BY RJM, APPROVED BY JS, SHEET 8 OF 14.

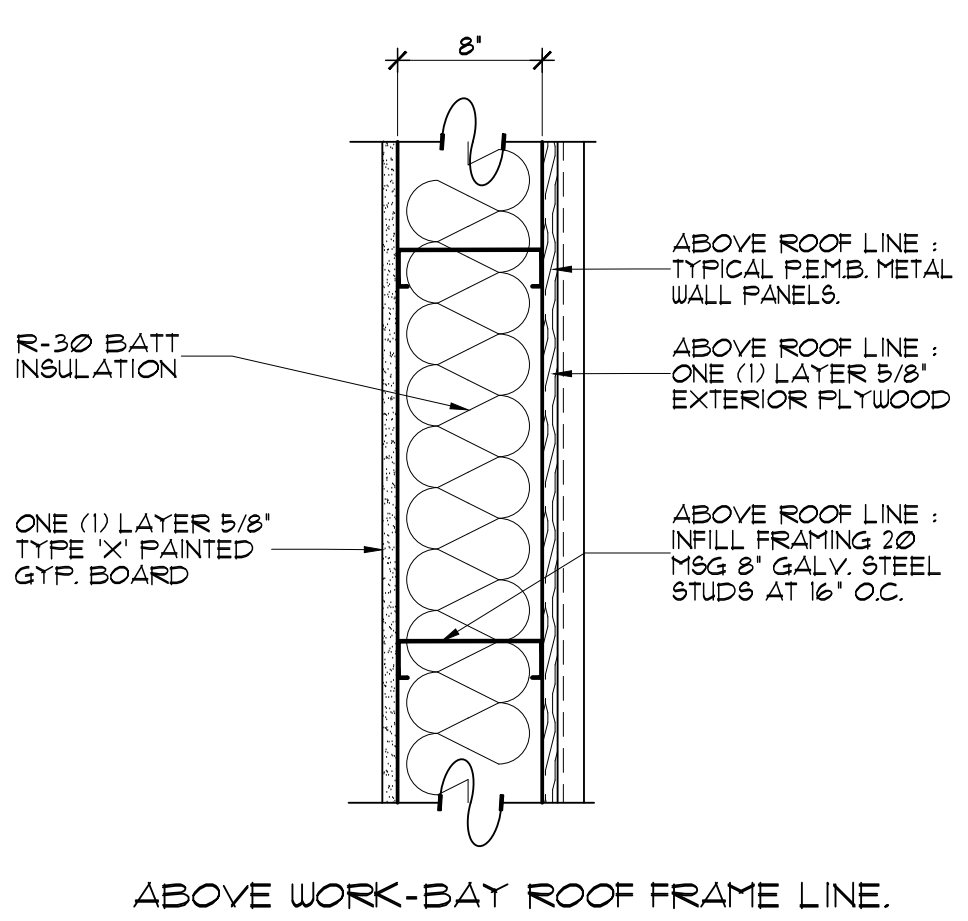
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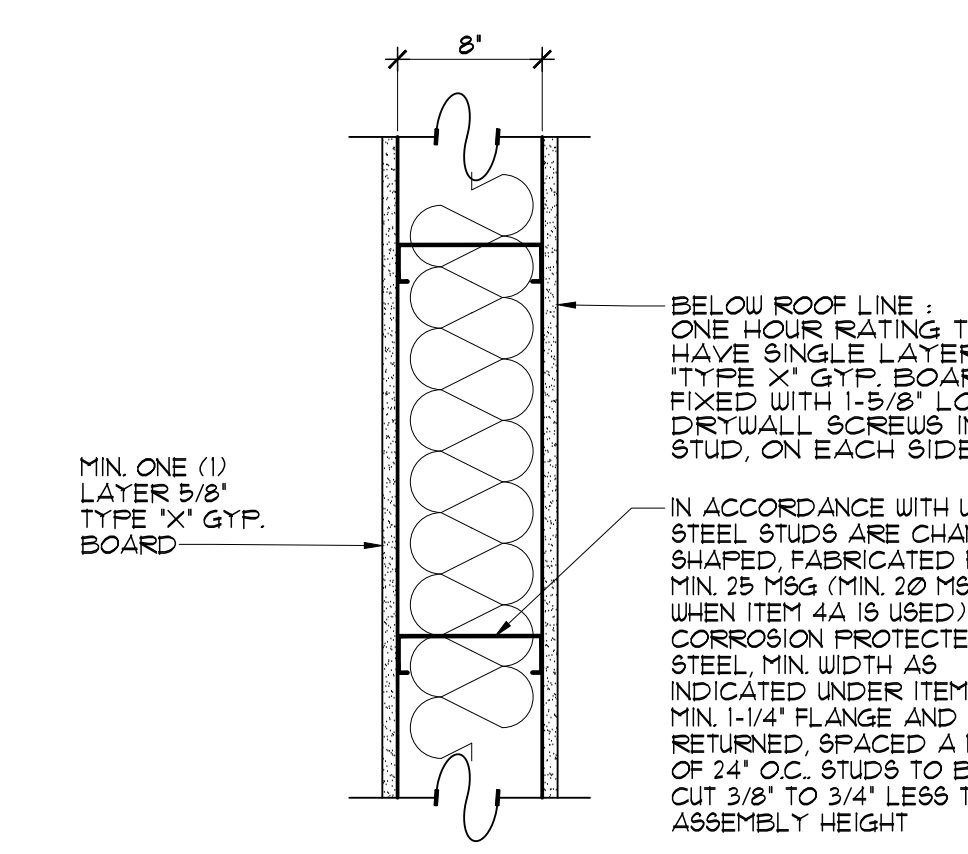
### GENERAL NOTES

- REFER TO SHEET A-5 FOR DIMENSIONS.
- ALL G.W.B. TO RECEIVE SLICK LEVEL FIVE (5) FINISH UNDER PAINT AND LEVEL FOUR (4) FINISH UNDER WALL COVERING.
- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:  
TOILETS:  
5/8" DUROCK CEMENT BOARD  
ALCOVES AND SALES AREA:  
5/8" GYPSUM BOARD
- EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT.
- G.C. TO MAKE ALL MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT AS INDICATED ON EQUIPMENT PLAN. COORDINATE WITH EQUIPMENT.
- G.C. TO VERIFY CLEARANCES FOR INSTALLING EQUIPMENT.
- REFER A-xy FOR DOOR MANEUVERING CLEARANCES DETAILS.
- REFER TO SHEET A-xy AND A-xy FOR DOOR AND WINDOW SCHEDULES.
- G.C. SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT. IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED. IN SERVICE AREA FOR TV, WALL SHELVES, ETC.
- BRACE STUDS ABOVE CEILING AS REQUIRED TO PROVIDE RIGID WALLS THROUGHOUT. SEE STRUCTURAL DRAWINGS.
- USE APPROVED CAULKING BETWEEN COUNTERTOPS AND WALLS AND WHERE REQUIRED PER LOCAL AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE EQUIPMENT AND DRYWALL INSTALLERS TO ENSURE THAT ALL ELECTRICAL WIRING, WATER LINES AND REFRIGERATION LINES HAVE BEEN INSTALLED PROPERLY ON ALL EQUIPMENT PRIOR TO THE HANGING OF ANY DRYWALL. REFER TO THE FAMOUS DATE PROJECT MANAGER FOR ANY EQUIPMENT LOCATION CLARIFICATIONS.
- PROVIDE 5/8" MOISTURE-RESISTANT GYPSUM WALLBOARD THROUGHOUT RESTROOMS, LOUNGE AND WHERE REQUIRED.
- ALL MILLWORK / CASEWORK ARE BY OWNER / VENDOR. UNO.
- GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL PLUMBING AND ELECTRICAL ROUGH-INS REQUIREMENTS AND LOCATIONS WITH EQUIPMENT SUPPLIER.
- G.C. TO NOTIFY ARCHITECT IN WRITING WITH ANY DISCREPANCIES UPON DISCOVERY PRIOR TO COMMENCING WITH ANY WORK.
- REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ALL INTERIOR DOORS ARE TO HAVE A MIN. 2-1/2" JAMB AT HINGE SIDE OF DOOR, UNO.
- THIS PLAN IS FOR FIXTURE PLACEMENT PURPOSES ONLY.
- CMU WALL CONSTRUCTION SHALL BE RUNNING-BOND CONSTRUCTION AND VERTICALLY REINFORCED ACCORDING TO THE SCHEDULE.
- NO. 6 REINFORCEMENT BARS SHALL BE PLACED IN GROUT-FILLED CELLS. SPACING OF VERTICAL REINFORCEMENT BARS SHALL NOT EXCEED 24" O.C. - REFER TO STRUCTURAL SHEETS.
- HORIZONTAL CMU WALL REINFORCEMENT SHALL BE 3 GA. SPACED AT 16" O.C.
- VERTICAL REINFORCEMENT BELOW AND ABOVE OPENINGS SHALL MATCH ADJACENT WALLS VERTICAL REINFORCEMENT.
- CMU WALL REINFORCEMENT SHALL BE DOUBLED INTO FOOTING AND TIE BEAMS / LINTELS.
- ALL CMU WALL BELOW GRADE SHALL BE FULLY GROUTED, TYPICAL.
- ALL FINISH MATERIALS, PAINT COLORS AND FINISH COLORS, ETC. THROUGHOUT THIS SET OF DOCUMENTS ARE SUBJECT TO CHANGES. REFER TO A FAMOUS DATE REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.

**NOTE:**  
OWNER SELECTED MILLWORK.  
SUBMIT SHOP DRAWINGS.

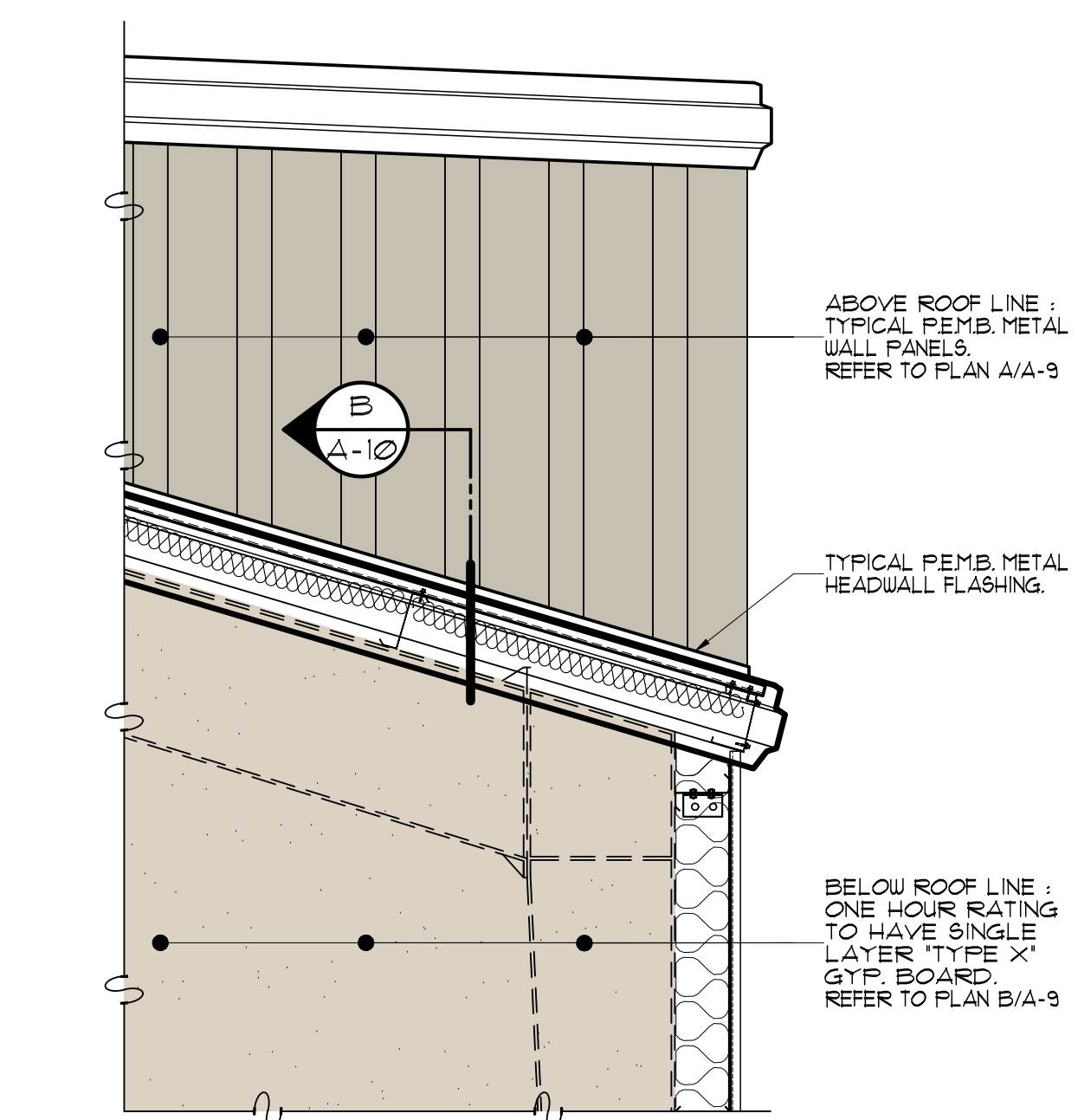


**PLAN DETAIL**  
SCALE: 1-1/2" = 1'-0"

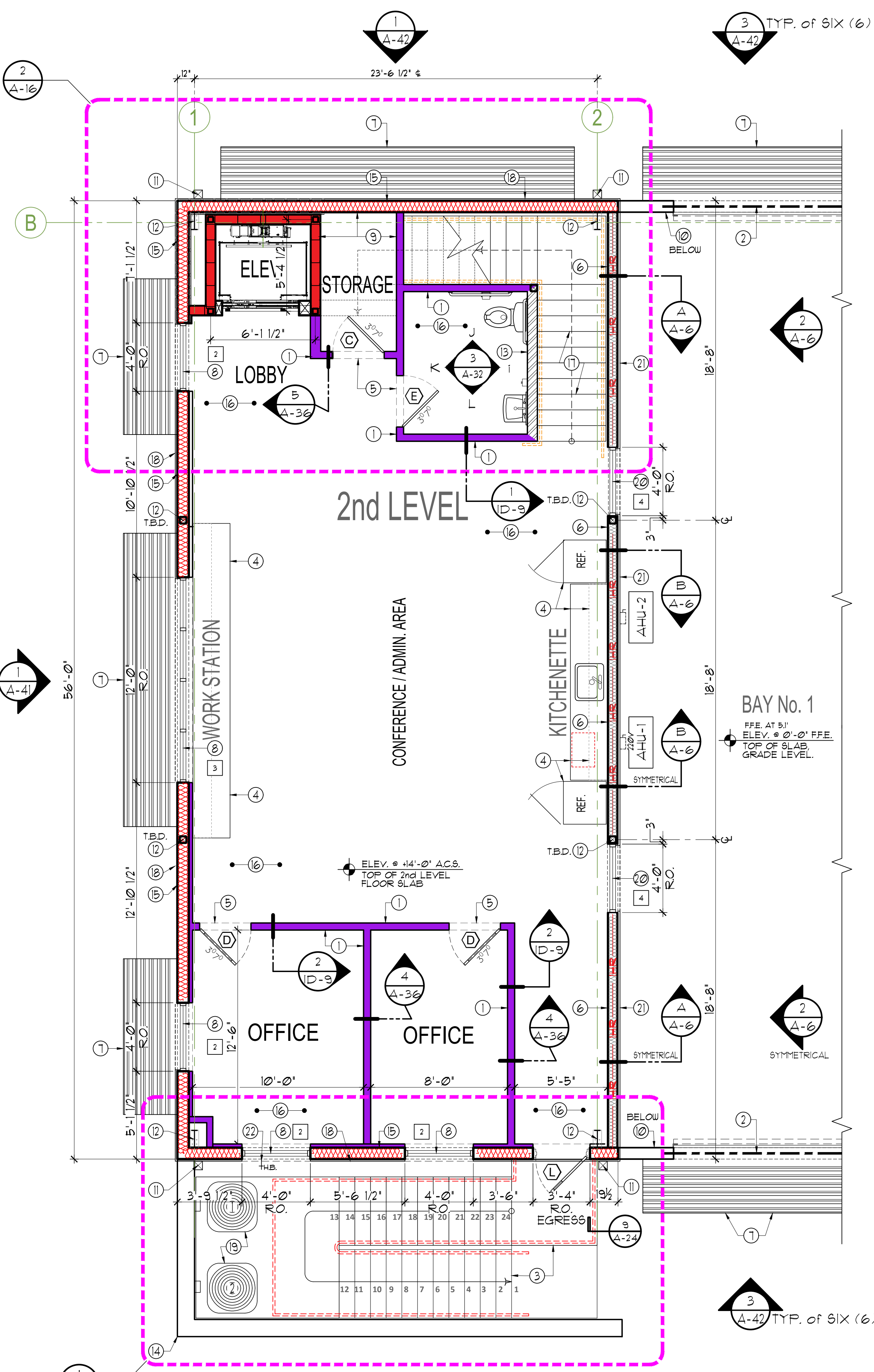


BELOW WORK-BAY ROOF FRAME LINE:  
ONE (1) HR. RATED WALL - U.L. DESIGN  
No. U419 - REFER TO SHEET A-3B

**PLAN DETAIL**  
SCALE: 1-1/2" = 1'-0"



**PARTIAL ELEVATION**  
SCALE: 1-1/2" = 1'-0"



**2nd LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

### SPECIAL NOTES

- ANY PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE PROTECTED AS PER NFPA 101, SECTION 8.3.5.
- G.C. SHALL INSTALL MIN. 12" HIGH ADDRESS/UNIT NUMBERS AT FRONT ENTRY AND MIN. 6" HIGH ADDRESS/UNIT NUMBERS ON BACK DOOR.
- G.C. SHALL LABEL ANY SPECIAL ROOMS (I.E., ELECTRICAL ROOM, MECHANICAL ROOM, FACP) WITH MIN. 6" HIGH LETTERS.

### NOTE

- ⊗ INDICATES DOOR KEY NOTE. REFER TO SHEET A-39
- ⊗ INDICATES WINDOW KEY NOTE. REFER TO SHEET A-31
- ⊗ INDICATES KEY NOTE(S). REFER TO SHEET A-xyz

### WALL LEGEND

	REINFORCED EXTERIOR 8" MASONRY WALLS W/ NO. 6 VERT. @ 24" O.C. REFER TO DETAIL 18-202
	STOREFRONT WINDOW IN CMU WALL WITH REINFORCING ON EACH SIDE. REFER TO DETAIL 215-202
	INTERIOR CON. 3-5/8" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" GYP. BD. ON EACH SIDE.
	MIN. 6" MTL. STUD - MIN. ONE (1) HR. FIRE RATED WALL WITH 5/8" TYPE 'X' DRYWALL. REFER TO SHEET A-35 L18-3
	INTERIOR CON. 6" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" MOISTURE RESISTANT GYP. BD.
	INTERIOR DOOR SYSTEM. REFER TO SCHEDULES
	EXTERIOR MASONRY WALL WITH DOOR SYSTEM. REF. SCHEDULES.
	EXTERIOR MASONRY WALL WITH ROLL-UP DOOR SYSTEM. REFER TO SCHEDULES.
	8" PEMB. EXTERIOR METAL FRAME WALL WITH METAL WALL PANELS

### FL. PLN. KEY NOTES

- INDICATES NON-BEARING INTERIOR STUD WALL CONSISTING OF 5/8" GYPSUM WALL BOARD ON GALV. METAL STUD WITH RIGID INSULATION IN CAVITIES - EXTEND INSULATION AND GYPSUM WALL BOARD A MIN. OF 6" ABOVE CEILING.
- OVER MASONRY OPENING USE PRE-CAST CONC. U-LINTEL WITH MIN. (1) #5 RE-BAR ON BOTTOM WITH K.O. BLOCK ABOVE. ALL FILLED WITH CEMENT GROUT. REFER TO STRUCTURAL SHEETS FOR VERTICAL RE-BAR PLACEMENT IN FILLED CELLS.
- STEEL FRAMED STAIRS WITH CONC. IN PAN 1" W. TREADS, (1" RISERS). REFER TO DETAIL SHEETS.
- MILLWORK, SHELVING, APPLIANCES ETC. REFER TO INTERIOR DESIGN (I.D.) DRAWINGS.
- NON LOAD BEARING HEADER
- INDICATES MIN. ONE (1) HOUR FIRE RATED INTERIOR WALL TO UNDERSIDE OF DECK.
- STOREFRONT WINDOW SYSTEM - REFER TO PLANS AND SCHEDULES.
- 5/8" PLYWOOD IN LIEU OF SHEET ROCK
- INDICATES TYPICAL 8"x8"x16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS FINISH TO BE DETERMINED. REFER TO ELEVATIONS, SECTIONS AND STRUCTURAL SHEETS.
- INDICATES A MIN. OF GALV. SM. 6" x 6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. SM. STRAPS AT 6" O.C. (MIN. OF 3 PER DS.)
- PEMB. STRUCTURAL STEEL FRAME, TYPICAL.
- 6" GALV. MTL. STUD WALL FOR PLUMBING STACKS.
- AT TOP OF (T.O.) SCREENING WALL, PROVIDE ONE CONT. COURSE KNOCK-OUT BLOCK TIE BEAM WITH HORIZ. #5 REBAR FILLED WITH MIN. 3000 P.S.I. PUMP MIX. TYP. - REFER TO STRUCTURAL SHEETS.
- UNO - 8" DEEP 1/2 GAGE TWO SPAN MAX LAP "ZEE" WIND GIRT @ 4'-0" O.C. (MAX.). THIS SIDE SHALL HAVE END TO END FRAMING INTO ADJACENT COLUMN STRUCTURAL ON SHEETS.
- PROVIDE A MIN. OF 3" CONC. ON 9/16" METAL DECK WITH 6" x 6" 10/10 WWF. \*2nd LEVEL SLAB and FRAMING BY P.E.M.B..
- INTERIOR STAIRS. REFER TO DETAIL SHEETS.
- TYPICAL PEMB. METAL WALL PANELS.
- LOCATION OF MECH. UNIT ON STAIR LANDING.
- MIN. ONE HOUR RATED, TEMPERED, 1/2"PK. CLEAR WINDOW - REFER TO PLANS AND SCHEDULES.
- BELOW ROOF LINE - ONE HOUR RATING TO HAVE SINGLE LAYER TYPE 'X' GYP. BOARD - REFER TO B/A-9 - ABOVE ROOF LINE: TYPICAL PEMB. METAL WALL PANELS ON ONE (1) LAYER 5/8" EXTERIOR PLYWOOD ON INFILL FRAMING 20 MSG 8" GALV. STEEL STUDS AT 16" O.C. - REFER TO A/A-9
- PROVIDE HOSE BIB AT STAIR LANDING FOR CLEANING MECHANICAL UNITS, AT -8'-4" A.C.S.

ISSUED FOR:  
PROGRESS SET

**MADERA BEACH PUBLIC WORKS**  
**NEW CONSTRUCTION**  
503 150th Av. Madeira Bch, FL 33708

**30 YEARS**  
1985-2015

**SOFARELLI & ASSOCIATES ARCHITECTURE**  
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Revisions:


Content:  
PROPOSED FLOOR PLAN SECOND LEVEL

Filename:  
MAD\_BCH\_CENTER  
Date:  
04-09-2026  
Proj. no.  
26018  
Sheet:  
A-6





**BOUNDARY / TOPOGRAPHIC SURVEY**  
**THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.**

**SURVEYOR'S REPORT**

**LEGAL DESCRIPTION:**

**SURVEYOR'S REPORT**

**LEGAL DESCRIPTION FOR PARENT TRACT: (DEED BOOK 1454 PAGE 387)**

**PARCEL 1**  
 COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 6718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST, 50 FEET FOR A P.O.B.; RUN THENCE SOUTH 43 DEGREES 51 MINUTES 28 SECONDS WEST PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 60 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE NORTHWESTWARD ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION THEREUNTO APPERTAINING.

**PARCEL 2**  
 COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1658 FEET ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 1718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST 50 FEET FOR A P.O.B.; THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST 100 FEET PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE FOLLOWING SAID SHORELINE OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION, FIVE FEET EACH SIDE AND ABUTTING THE SOUTH-WESTERLY BOUNDARY LINE IS RESTRICTED AGAINST BUILDINGS OF ALL KINDS.

**PARCEL 3**  
 BEGINNING THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1838 FEET ALONG THE CENTERLINE OF STATE HIGHWAY NO. 233; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 225 FEET TO MEAN HIGH WATER FOR A POINT OF BEGINNING; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 375 FEET; THENCE NORTH 43 DEGREES 51 MINUTES EAST 160 FEET; THENCE NORTH 46 DEGREES 09 MINUTES WEST, 485 FEET TO THE HIGH WATER MARK; THENCE SOUTH ALONG THE HIGH WATER MARK TO THE P.O.B., CONTAINING IN ALL, 1.58 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**PARCEL 4**  
 FROM A POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, WHICH NORTH LINE OF GOVERNMENT LOT 2 HAS BEEN ESTABLISHED BY AGREEMENT (SEE PINELLAS COUNTY DEED BOOK 882, PAGE 41), AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43 DEGREES 51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, 1449.42 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CENTERLINE OF STATE ROAD NO. 233, NORTH 43 DEGREES 51'28" EAST 288.38 FEET; THENCE SOUTH 46 DEGREES 08'32" EAST TO THE WATERS OF BOCA CIEGA BAY; THENCE SOUTH-WESTERLY ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 40 DEGREES 09'32" EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 08'32" WEST TO P.O.B., LESS RIGHT-OF-WAY OF STATE ROAD NO. 233.

**11. LEASE PARCEL DESCRIPTION:**  
**30' X 30' BELLSOUTH MOBILITY LEASE AREA (AS PROVIDED)**  
 A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG THE SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1449.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.0207 ACRES, MORE OR LESS.

**20' X 30' PROPOSED NEXTEL LEASE AREA (AS PROVIDED)**  
 A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG THE SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1449.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 384.09 FEET; THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 40.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.014 ACRES, MORE OR LESS.

**PROPOSED CROWN CASTLE LEASE AREA**  
 A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG THE SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1449.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.04 SQUARE FEET, MORE OR LESS.

**EASEMENT DESCRIPTION (AS PROVIDED):**  
 EASEMENT FOR INGRESS/EGRESS & UTILITIES' A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG THE SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1449.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

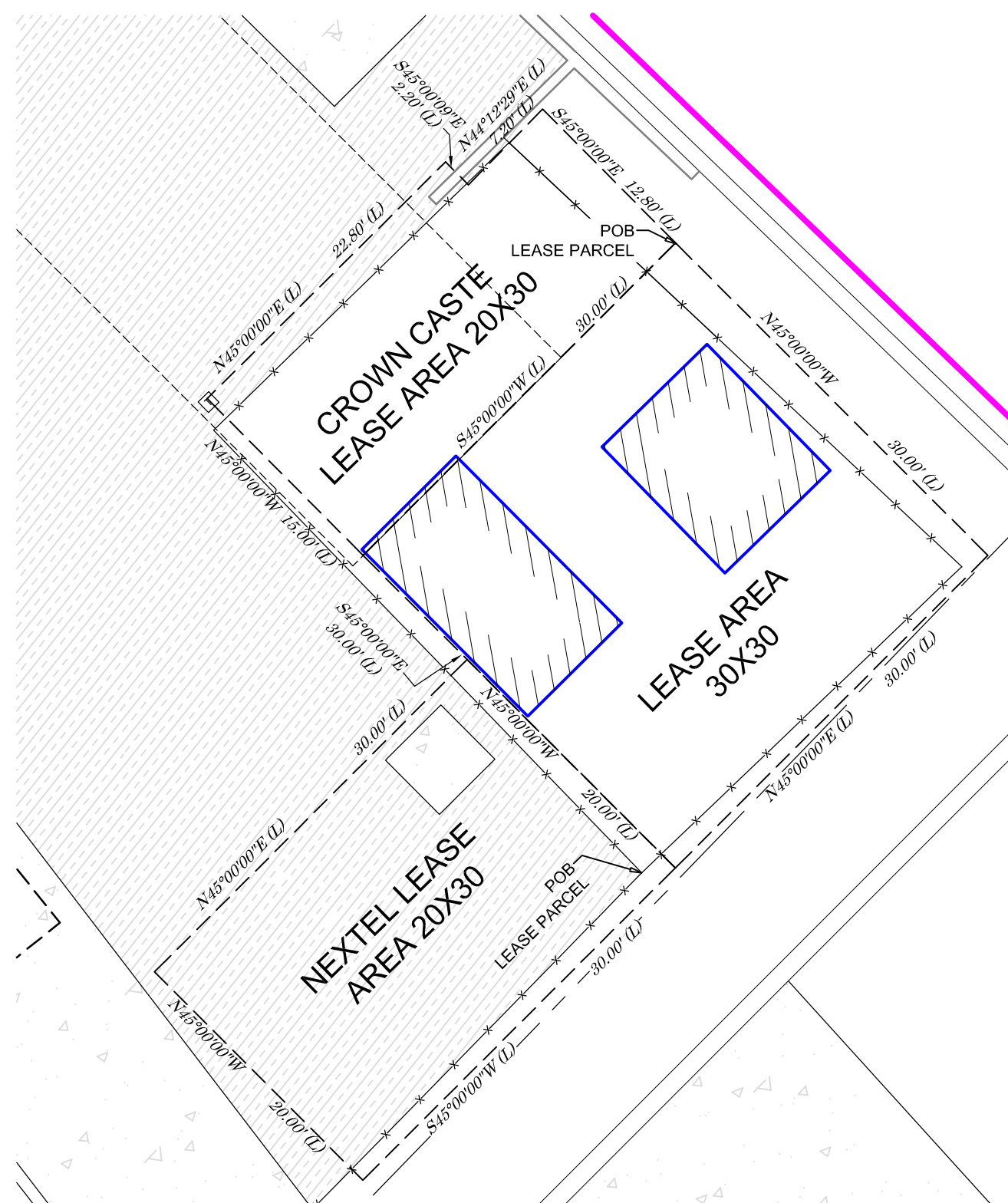
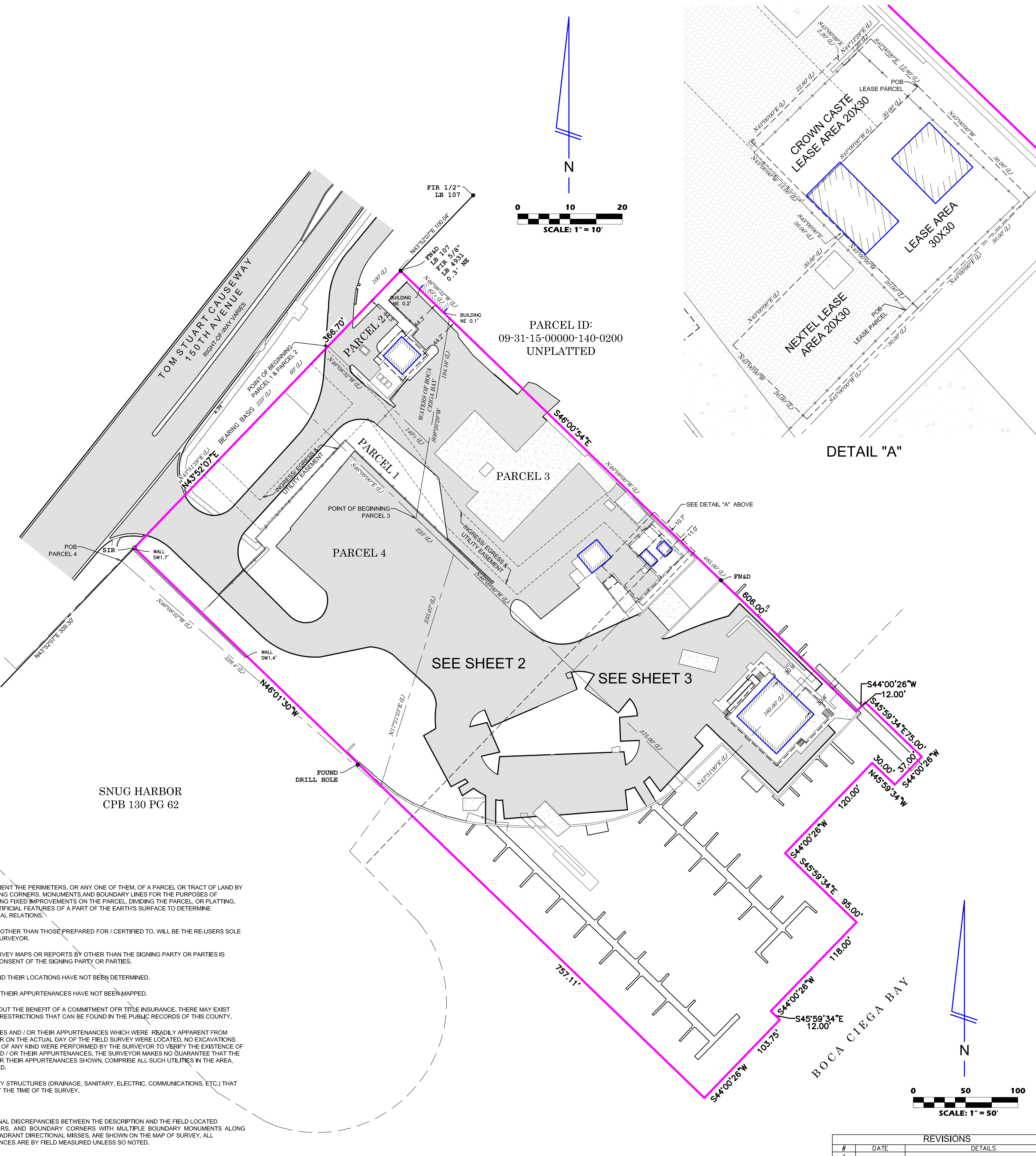
- ACCURACY:**
- ALL MEASUREMENTS, DISTANCES, ELEVATIONS (IF SHOWN) AND FEATURES WERE PERFORMED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE (5J-17FAC).
  - METHODS FOR ALL CONTROL MEASUREMENTS WERE MADE WITH A TRANSIT AND STEEL TAPE, OR DEVICES WITH EQUIVALENT OR HIGHER DEGREES OF ACCURACY.
  - THE ACCURACY STANDARD USED FOR THIS SURVEY, AS CLASSIFIED IN THE MINIMUM STANDARDS OF PRACTICE (5J-17 FAC), IS "COMMERCIAL/HIGH RISK". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE MET THIS REQUIREMENT.

- DATA SOURCES:**
- BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT-OF-WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E, (STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
  - WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
  - ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, xxxxxx "MADEIRA BEACH", HAVING AN ELEVATION OF xxxxx FEET, (NORTH AMERICAN VERTICAL DATUM 1988).

FLOOD ZONE MAP (NOT TO SCALE) SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY

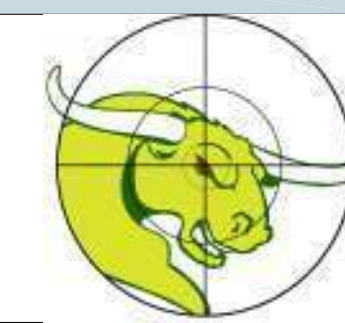
- LIMITATIONS:**
- PURPOSE OF SURVEY: TO DOCUMENT THE PERIMETERS, OR ANY ONE OF THEM, OF A PARCEL OR TRACT OF LAND BY ESTABLISHING OR RE-ESTABLISHING CORNERS, MONUMENTS AND BOUNDARY LINES FOR THE PURPOSES OF DESCRIBING THE PARCEL, LOCATING FIXED IMPROVEMENTS ON THE PARCEL, DIVIDING THE PARCEL, OR PLATTING, AND SELECTED NATURAL AND ARTIFICIAL FEATURES OF A PART OF THE EARTH'S SURFACE TO DETERMINE HORIZONTAL AND VERTICAL SPATIAL RELATIONS.
  - USE OF THIS SURVEY BY ANYONE OTHER THAN THOSE PREPARED FOR / CERTIFIED TO, WILL BE THE RE-USERS SOLE RISK WITHOUT LIABILITY TO THE SURVEYOR.
  - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  - UNDERGROUND FOUNDATIONS AND THEIR LOCATIONS HAVE NOT BEEN DETERMINED.
  - IRRIGATION EQUIPMENT AND / OR THEIR APPURTENANCES HAVE NOT BEEN MAPPED.
  - THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A COMMITMENT OF TITLE INSURANCE. THERE MAY EXIST ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT CAN BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
  - ONLY THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES WHICH WERE READILY APPARENT FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY THE SURVEYOR TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
  - THERE MAY BE ADDITIONAL UTILITY STRUCTURES (DRAINAGE, SANITARY, ELECTRIC, COMMUNICATIONS, ETC.) THAT WERE NOT READILY APPARENT AT THE TIME OF THE SURVEY.

- BOUNDARY INCONSISTENCIES:**
- ANY ANGULAR AND/OR DIMENSIONAL DISCREPANCIES BETWEEN THE DESCRIPTION AND THE FIELD LOCATED OCCUPATION BOUNDARY CORNERS, AND BOUNDARY CORNERS WITH MULTIPLE BOUNDARY MONUMENTS ALONG WITH THEIR CORRESPONDING QUADRANT DIRECTIONAL MISSES, ARE SHOWN ON THE MAP OF SURVEY. ALL PERIMETER BEARINGS AND DISTANCES ARE BY FIELD MEASURED UNLESS SO NOTED.



**BULLSEYE SURVEYING, INC.**

LB 7818  
 2198 NE COACHMAN ROAD, UNIT F  
 CLEARWATER, FL 33762  
 PHONE: 727-475-8088



**PARCEL INFORMATION:**  
 SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST  
 PINELLAS COUNTY, FLORIDA

**ADDRESS:**  
 503 150TH AVENUE, MADEIRA BEACH, FL 33708

- FOLIO:** 09-31-15-00000-140-0300
- SYMBOL LEGEND**
- NOTES**
- BAR CONDITIONING EQUIPMENT
  - BACKFLOW PREVENTER
  - BOLLARD OR POST
  - CANALOUT
  - DRAINAGE MANHOLE
  - ELECTRIC EQUIPMENT
  - ELECTRIC METER
  - ELECTRIC MANHOLE
  - FIRE HYDRANT
  - FIBRE OPTIC WARNING SIGN
  - GAS VALVE
  - GRATE INLET
  - GUY ANCHOR
  - LIGHT POLE (CONCRETE)
  - LIGHT POLE (WOOD)
  - MONITORING WELL
  - SANITARY MANHOLE
  - SANITARY SEWER VALVE
  - SIGN
  - TELEPHONE EQUIPMENT
  - TREE (PALM)
  - TREE (OAK)
  - TREE (OTHER)
  - UTILITY POLE (WOOD)
  - WATER VALVE
  - WATER METER

- ABBREVIATIONS**
- NOTES**
- (L)=INFORMATION FROM PLAT
  - CPB=CONDOMINIUM PLAT BOOK
  - FIR=FOUND REBAR SIZE AS NOTED
  - FN&D=FOUND NAIL AND DISK
  - FXC=FOUND "X" CUT
  - LB=LICENSED BUSINESS
  - LS=LICENSED SURVEYOR
  - PB=PLAT BOOK
  - PG=PAGE
  - POB=POINT OF BEGINNING
  - PSM=PROFESSIONAL SURVEYOR AND MAPPER
  - PVC=POLYVINYL CHLORIDE PIPE
  - SIRC=SET 1/2" REBAR & CAP LB 7818
  - SND=SET NAIL AND DISK LB 7818

THIS SURVEY AND THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, THE SURVEY OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO SURVEY REPORTS OR MAPS BY ANYONE OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED

CERTIFIED TO:  
 • CITY OF MADEIRA BEACH

GEORGE R. MARTIN  
 PROFESSIONAL SURVEYOR & MAPPER  
 LICENSE NUMBER LS 6019  
 STATE OF FLORIDA

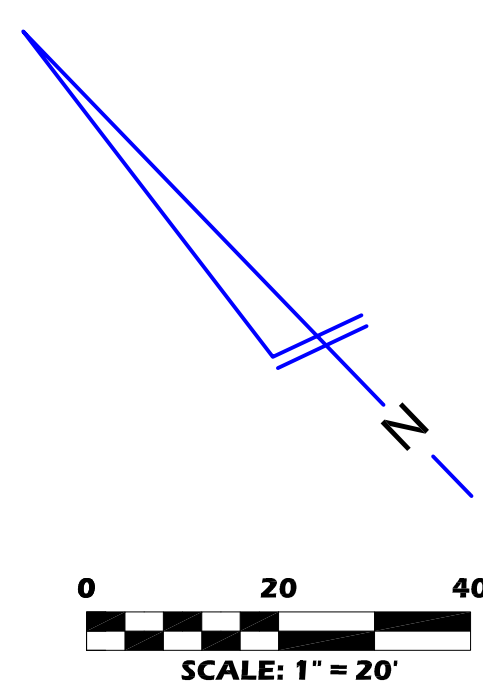
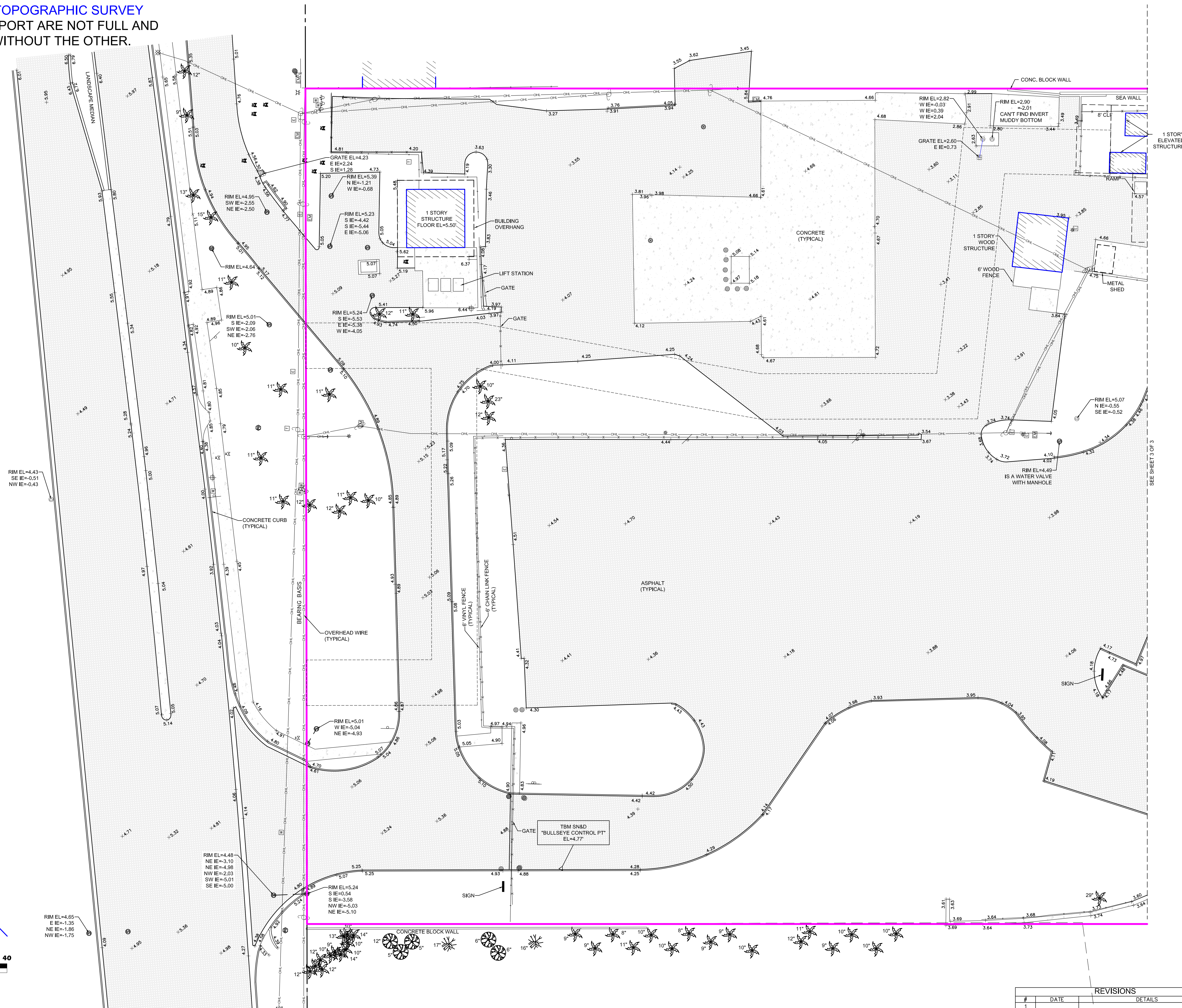
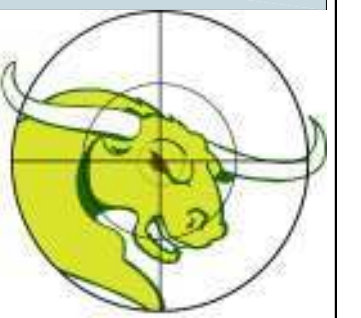
FIELD BOOK / PAGE	SCALE	SHEET NUMBER
3040-45	VARIES	1 of 3
DRAFTED BY	SURVEY FIELD DATE	
GSST	01/16/2023	
PROJECT NUMBER	FILE NAME	
22-064	22-064-2.dwg	

REVISIONS		
#	DATE	DETAILS
1		

**BOUNDARY / TOPOGRAPHIC SURVEY**  
 THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

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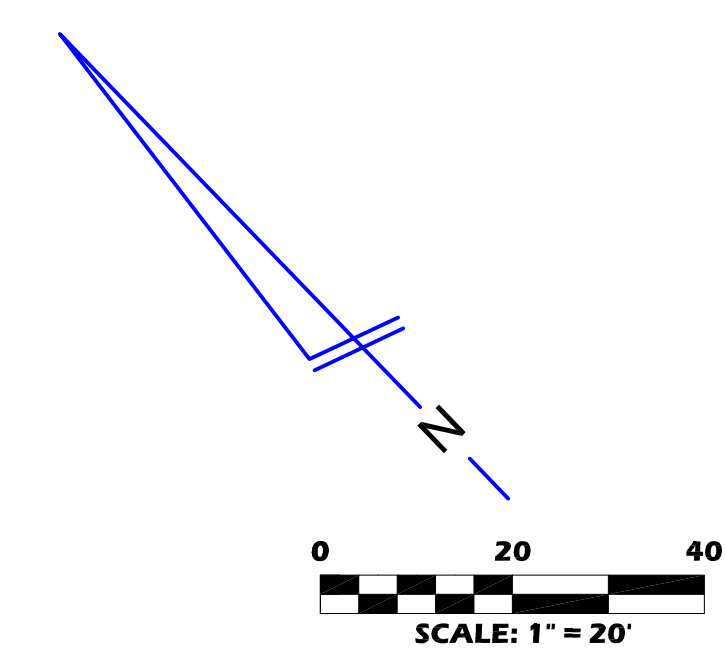
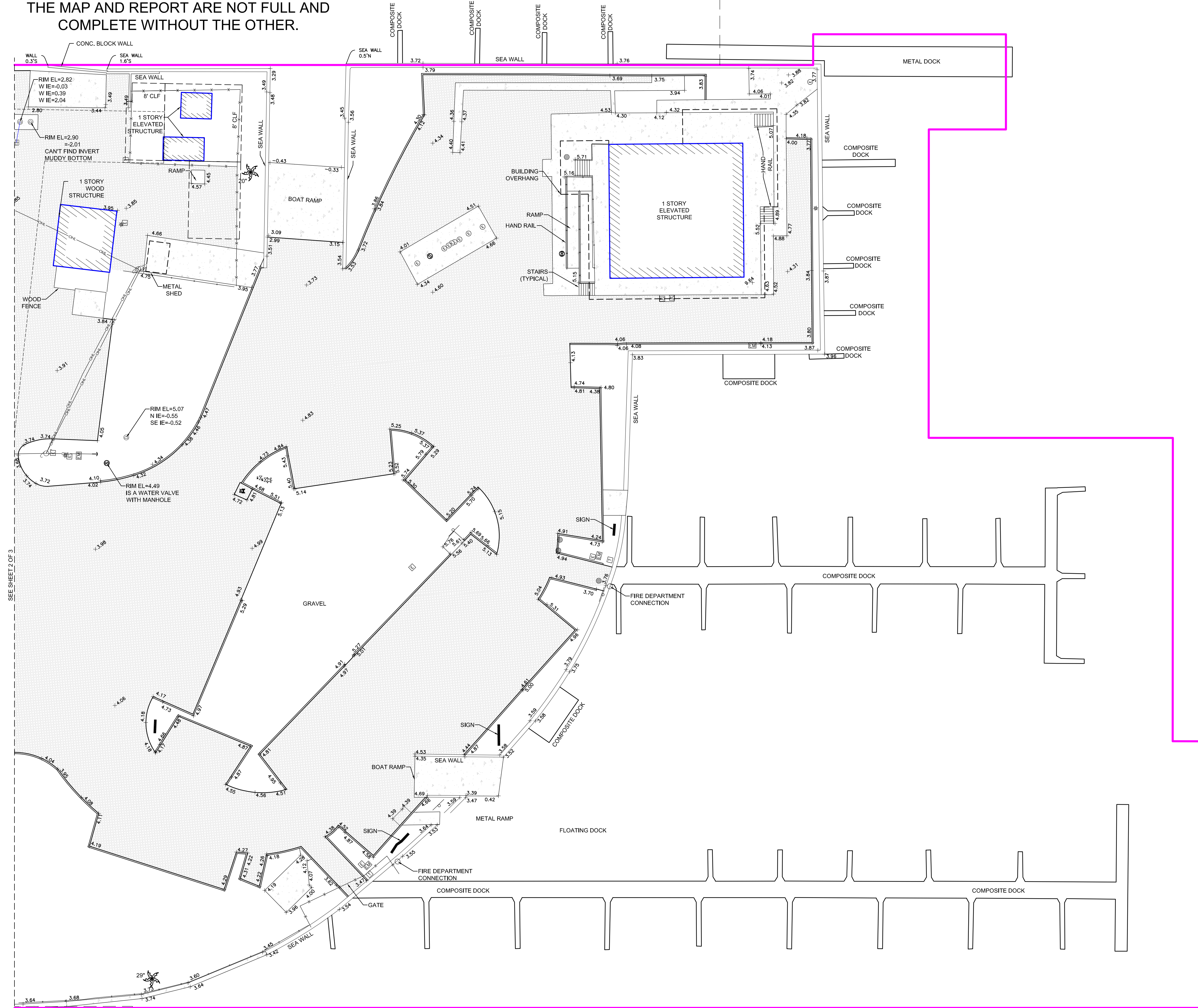
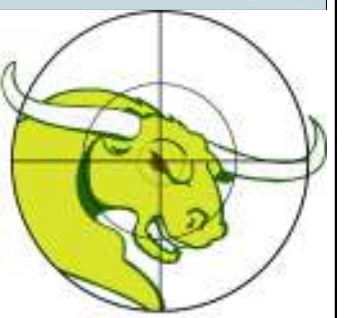
REVISIONS	
#	DATE
1	

FIELD BOOK / PAGE	SCALE	SHEET NUMBER
30/40-45	1" = 20'	2 of 3
DRAFTED BY	SURVEY FIELD DATE	
GST	01/16/2023	
PROJECT NUMBER	FILE NAME	
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**BOUNDARY / TOPOGRAPHIC SURVEY**  
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