

June 12, 2025

Val Nelson
City of Mauston
Zoning Administrator
303 Mansion St
Mauston, WI 53948

RE: Site Plan Approval and Conditional Use Permit
Sawyer Ridge Apartments
City of Mauston, Juneau County, Wisconsin

Val,

On behalf of Pelton Builders, Vierbicher is submitting a Site Plan Approval and Conditional Use Permit Application, enclosed, for parcel 292511682.04. The parcel is located east of the intersection of Trembl Drive and Herriot Drive. See enclosed Location Map.

In its existing condition, the site is undeveloped and being used for row-crop agriculture. In general, runoff drains to the southeast.

The parcel is currently zoned both General Industrial (GI) and Planned Business (PB). See enclosed Zoning Map. The proposed multi-family housing is on the southern area of the parcel that is zoned PB. The parcel will be subdivided via a Certified Survey Map (CSM), enclosed.

Per Article II of Chapter 114-46(b), Non-residential district – Principal Land Uses Table, a 5-16 unit apartment is a Conditional Use of the PB Zoning District. Article IV of Chapter 114-121(g) describes the proposed use. An apartment is a dwelling unit type that consists of several attached family dwelling units which provide access to the dwelling units from a shared entrance or hallway. The proposed use is consistent with this definition.

The proposed development shall comply with all requirements of Article 5 and will not create nuisances.

The exterior building materials are shown on the enclosed Exterior Elevations & Dumpster Enclosure.

The City of Mauston Comprehensive Plan identifies this parcel as Commercial in the Future Land Use Map. The Comprehensive Plan also states in the Housing Goals, Initiatives and Actions section that one action is to provide for a wider variety of dwelling unit types through the conditional use process. The proposed use meets the intent of the Comprehensive Plan.

Proposed improvements of the conditional use include two (2) 16-unit apartment buildings, with associated utilities, parking areas, drives, dumpster enclosure and stormwater management. See the enclosed Site Plan, Sheet 5 of the Construction Plans. These two apartment buildings are projected to increase the number of residents by 48.

Potential future expansion would be proposed to the north with additional apartment buildings, utilities, parking areas drives, etc.

vision to reality

June 12, 2025

Page 2 of 2

Listed below please find the areas that are required to be listed per Checklist 7:

- Total Lot Area = 143,854 SF (3.30 acres)
- Total Dwelling Units = 32 dwelling units
- Maximum Gross Density (MGD): 10 units / 1 acre
- MGD Allowed for the site: 33 units / 3.30 acres
- Actual Site Density: 32 units / 3.30 acres
- Floor Area = 30,644 SF
- Floor Area Ratio = 0.21
- Impervious Surface Area = 66,507 SF
- Impervious Surface Area Ratio = 0.46
- Landscape Surface Area = 14,299 SF
- Landscape Surface Area Ratio = 0.10

Per Chapter 114-45(e)(x), 24 parking stalls are required of each 16-unit building. 48 total parking stalls are required. Per Chapter 114-161(b) and (f)(4), garage parking stalls may be considered parking spaces. The proposed Site Plan provides 64 stalls and 4 handicap stalls, for a total of 68 stalls.

The City of Mauston Fire Department has reviewed the fire truck exhibit and fire hose exhibit (enclosed). The Fire Department provided their approval on May 29, 2025. See the approval email enclosed.

A stormwater management facility has been designed to treat this development. The Stormwater Management Report is enclosed with this letter.

Should you have any questions or need additional information, please contact me at mger@vierbicher.com or 608-402-6368.

Sincerely,



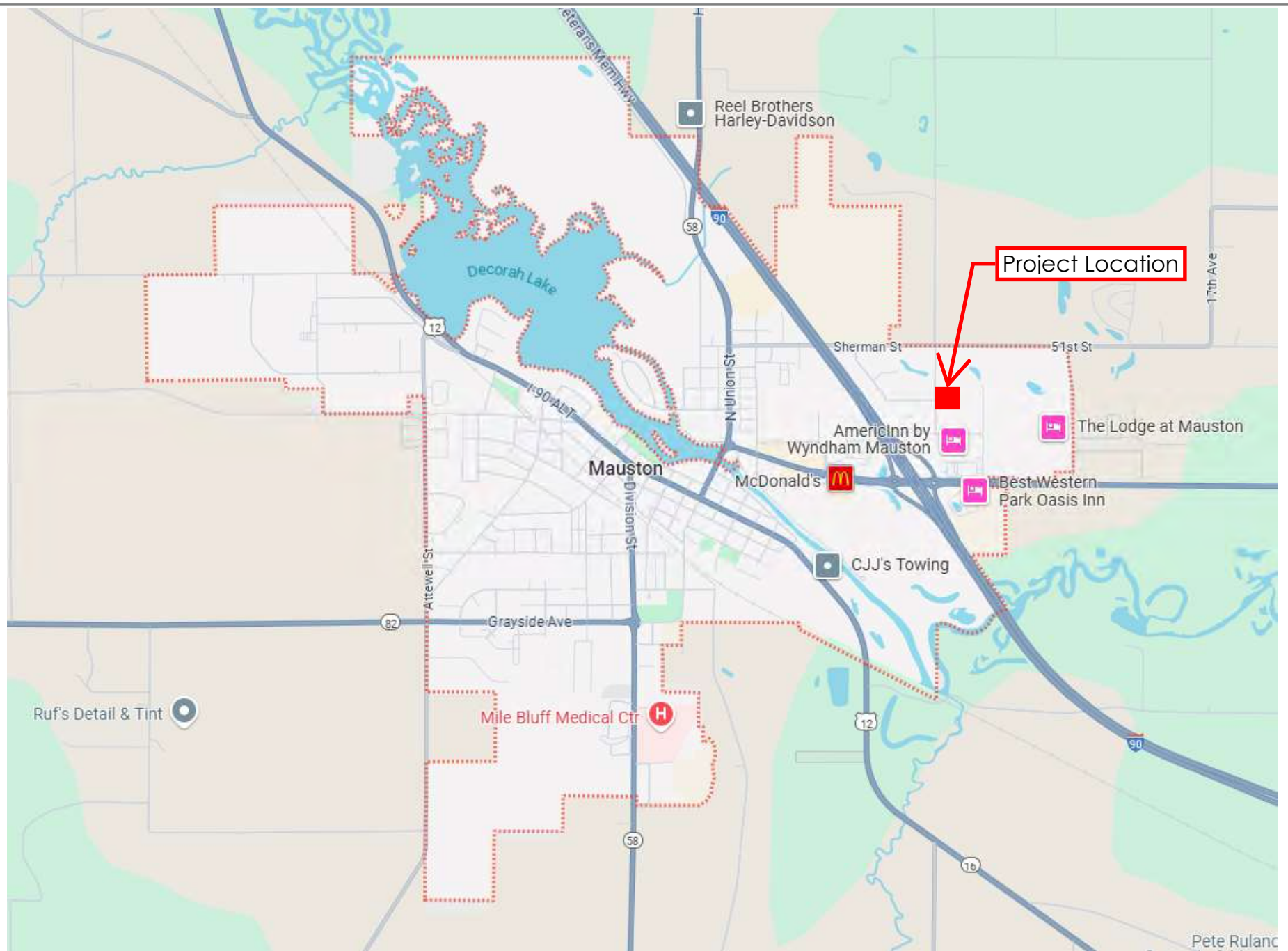
Michala Gerads

Enclosures:

- (1) Chapter 114 Zoning Application Form
- (2) Checklist 4 – Zoning Permit for Conditional Uses
- (3) Checklist 7 – Site Plan Review and Approval
- (4) Location Map
- (5) Zoning Map
- (6) Exterior Elevations & Dumpster Enclosure
- (7) Certified Survey Map
- (8) Sawyer Ridge Apartments – Civil Plans
- (9) Fire Department Exhibits
- (10) Fire Department Approval
- (11) Stormwater Management Report

CC:

Luke Pelton, Pelton Builders
Devin Coyle, Pelton Builders
Neil Pfaff, Vierbicher

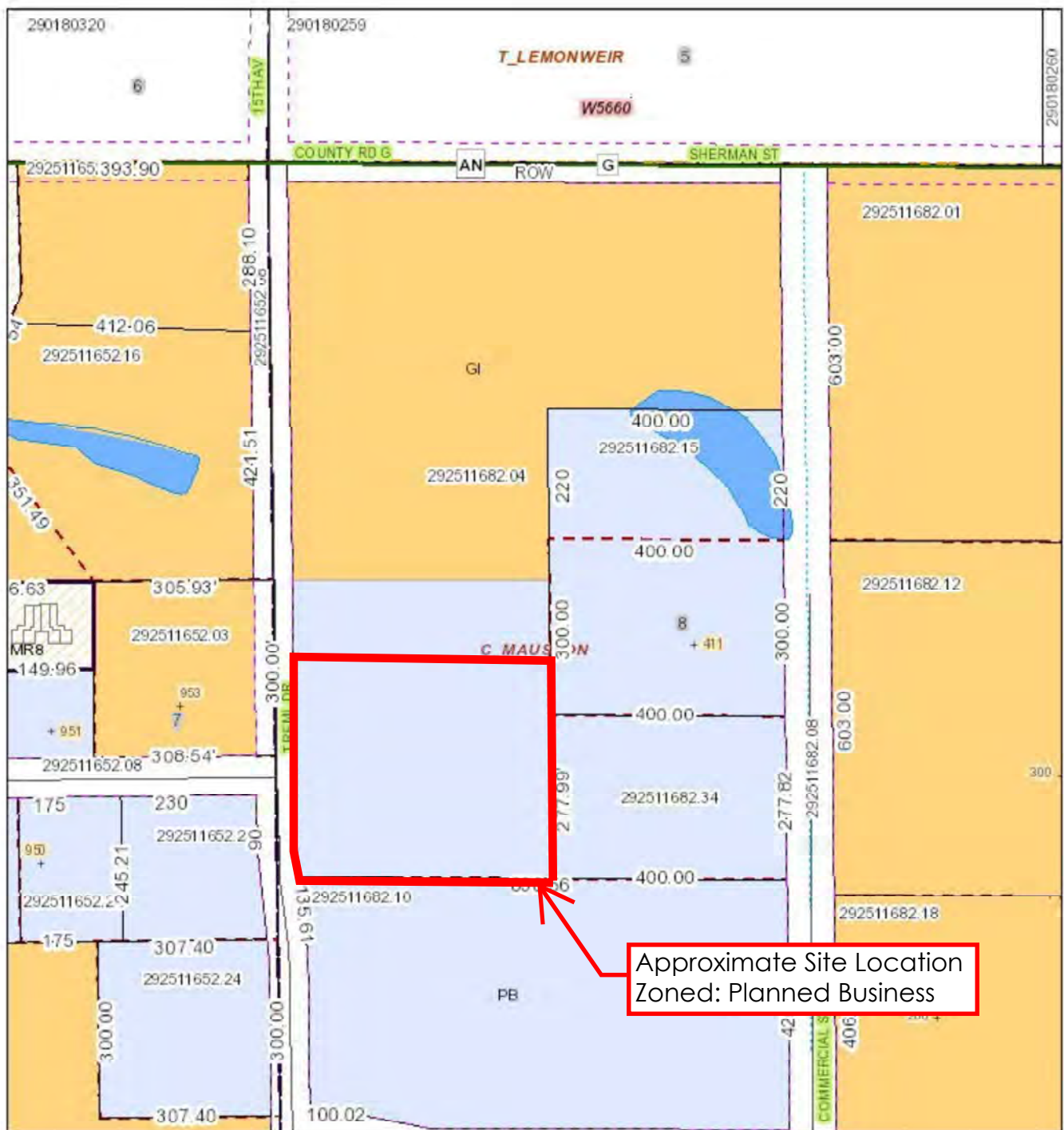


Location Map

Sawyer Ridge Apartments
City of Mauston, Juneau County, Wisconsin

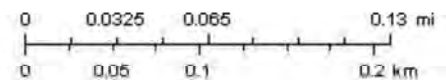
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planners | engineers | advisors





5/14/2025, 11:02:48 AM

1:3,975



DISCLAIMER: The maps, locations, bearings, and measurements depicted on this map are provided as a service to assist property owners and users. However, the information is not guaranteed to be accurate and shall not be used in lieu of a properly conducted survey of the property. Juneau County assumes no liability for the accuracy of the map and information. You are on notice that you should report any errors noted to Juneau County immediately. CONTACT THE JUNEAU COUNTY LAND INFORMATION OFFICE WITH ANY QUESTIONS OR PROBLEMS. (608) 847-9446/(608) 847-9457. Juneau Co. WI Juneau County, WI

Zoning Map
Sawyer Ridge Apartments
City of Mauston, Juneau County, Wisconsin

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On building lighting fixture example – Trembl Dr Apts



Building Signage – Treml Dr Apts

Size proposed: 12" x 24" or 16" x 36"



Unit Numbering example – Treml Dr Apts











23 May 2025 - 7:43a R:\Pellon\250261 - Mauston Tremil Apartments\CADD\Tremil Dr Apts - Site Plan.dwg by: kfen

PLANNED BUSINESS ZONING (PB)

NOTE: A 5 - 16 UNIT APARTMENT IS A CONDITIONAL USE OF PB ZONING DISTRICT.

SETBACK REQUIREMENTS (SECTION 114-46(e))
MIN. STREET FRONTAGE: 50 FEET
MAX. BUILDING HEIGHT: 45 FEET
FRONT SETBACK TO PRINCIPAL BUILDING: 25 FEET
SIDE SETBACK TO PRINCIPAL BUILDING: 10 FEET
REAR SETBACK TO PRINCIPAL BUILDING: 30 FEET

PARKING REQUIREMENTS (SECTION 114-45(e)(X))
2.5 SPACES PER 3 BEDROOM
2 SPACES PER 2 BEDROOM
1 SPACE PER 1 BEDROOM

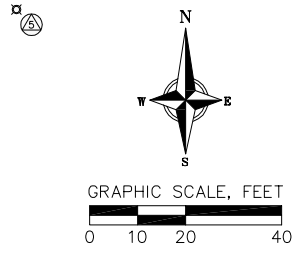
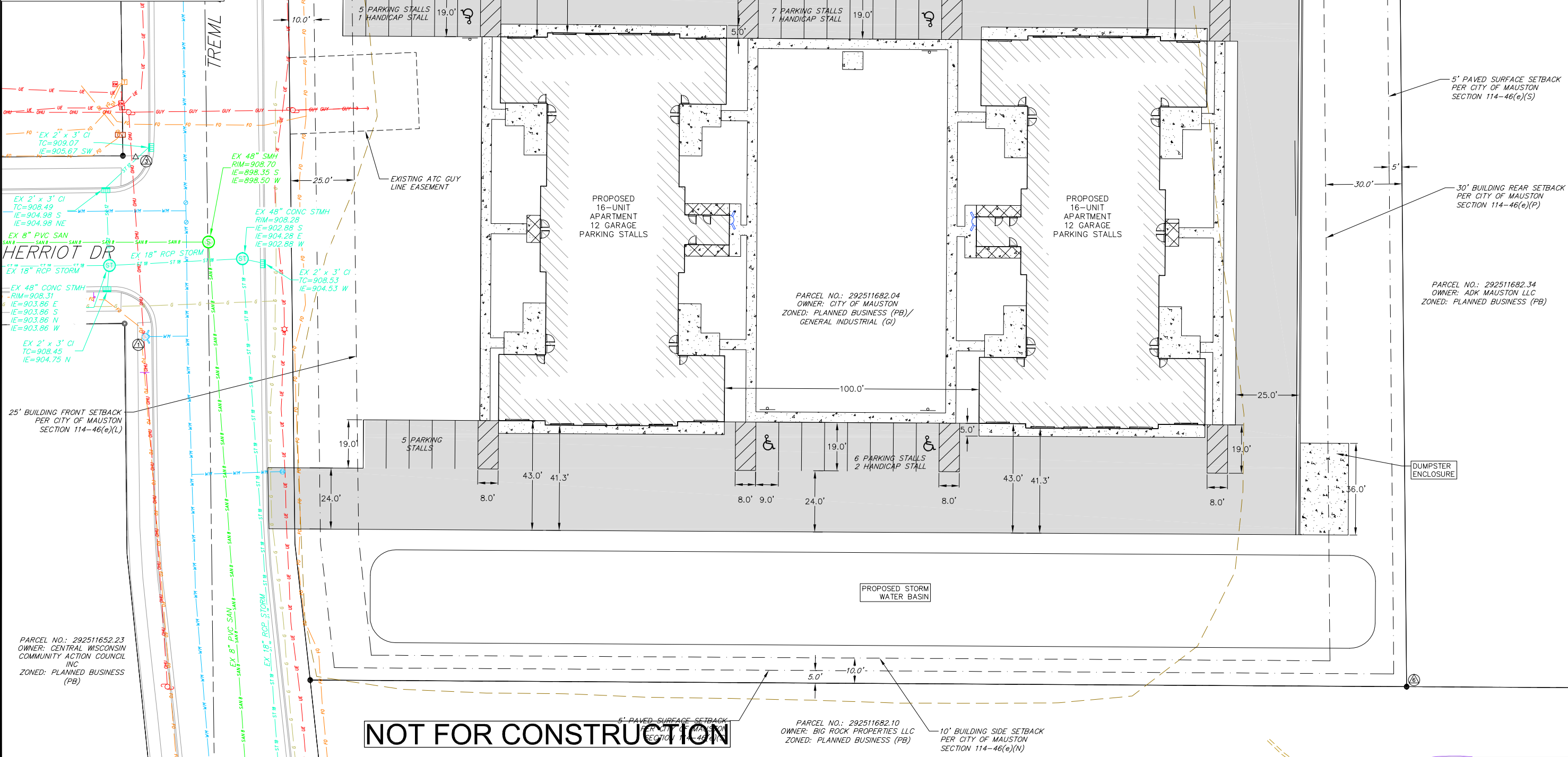
ONE 16-UNIT APARTMENT BUILDING:
8 - 2 BEDROOM UNITS
4 - 1 BEDROOM UNITS
4 - STUDIO UNITS

24 PARKING STALLS ARE REQUIRED FOR EACH 16-UNIT BUILDING.

PER SECTION 114-161(b) AND (f)(4) GARAGE STALLS MAY BE CONSIDERED PARKING SPACES.

12 UNDER GROUND GARAGE STALLS ARE PROVIDED FOR EACH 16-UNIT BUILDING.

64 STALLS PROVIDED
4 HANDICAP STALLS PROVIDED
68 TOTAL STALLS PROVIDED





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SITE PLAN

MAUSTON TREML APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
2025-05-22

DRAFTER
KFEN

CHECKED
NPFA

PROJECT NO.
250261

SHEET
5 OF X

KENNETH F. LEE, PE
3818 TIMBER CREEK COURT
EAU CLAIRE, WI 54701
PHONE (808) 416-9081
EMAIL KENNETH.F.LEE.PE@GMAIL.COM

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REVISIONS		
DATE	INIT	DESCRIPTION

STATUS:
PROGRESS SET
(NOT FOR CONSTRUCTION)

ISSUED DATE:	4-4-25
DRAWN BY:	KFL
CHECKED BY:	- - -

PROJECT: SAWYER RIDGE TREML DRIVE MAUSTON, WI 53948	DESCRIPTION: BLDG. 1&2: 16 UNIT APARTMENT COMPLEX WITH PARKING GARAGE
--	---

PROJECT NO.:
03-25-0102
SHEET:
A107



A107 WEST AND EAST ELEVATION
SCALE 3/16\"/>



B107 SOUTH ELEVATION
SCALE 3/16\"/>




C107 PORCH ELEVATION
SCALE 3/16\"/>



D107 MECH. ROOM ELEVATION
SCALE 3/16\"/>



 NORTH ELEVATION
SCALE 3/16" = 1'-0"



 WEST AND EAST ELEVATION
SCALE 3/16" = 1'-0"

KENNETH F. LEE, PE
3818 TIMBER CREEK COURT
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REVISIONS

DATE	REV	DESCRIPTION

STATUS:

PROGRESS SET
(NOT FOR CONSTRUCTION)

ISSUED DATE:	4-4-25
DRAWN BY:	KFL
CHECKED BY:	---

PROJECT:
SAWYER RIDGE
TREML DRIVE
MAUSTON, WI 53948

DESCRIPTION:
BLDG. 1&2: 16 UNIT APARTMENT COMPLEX
WITH PARKING GARAGE

PROJECT NO.:
03-25-0102

SHEET:
A108

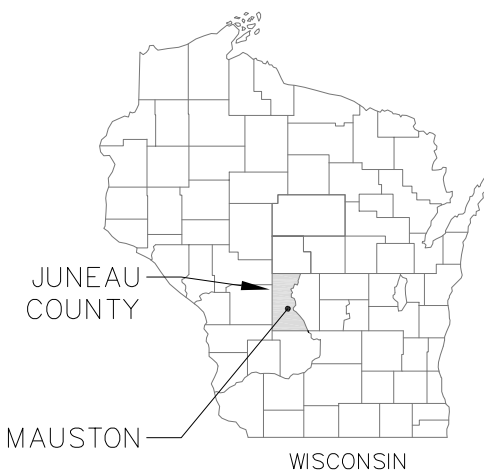


Exterior Dumpster Enclosure



Interior Dumpster Enclosure

vierbicher



PROJECT LOCATION

SHEET NO.	DESCRIPTION	REVISIONS		DATE	PROJECT NO.
		NO.	DATE		
1	TITLE SHEET				
2	GENERAL NOTES				
3	EXISTING CONDITIONS				
4	DEMOLITION PLAN				
5	SITE PLAN				
6	UTILITY PLAN				
7	GRADING & EROSION CONTROL				
8	EROSION CONTROL DETAILS				
9	SITE DETAILS				
10-11	SITE & WATER DETAILS				
12	SANITARY DETAILS				
13	STORM DETAILS				
14	STORMWATER BASIN DETAILS				
15	LANDSCAPE PLAN				
16	LANDSCAPE NOTES				
17	LIGHTING PLAN				

ISSUED DATE: 06/12/2025

1 OF 17

SITE BENCHMARKS AND CONTROL



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

Diagram 1 shows a circle with an inscribed equilateral triangle. The triangle's vertices are on the circle's circumference, and its base is horizontal. The number '1' is written inside the triangle.

TOP NUT HYDRANT
NORTHING: 158174.6080
ESTING: 468431.4260
ELEV = 910.680



ROD
NORTHING: 158421.7660
EASTING: 468427.1070
ELEV = 905.823

PK NAIL
NORTHING: 158000.3380
EASTING: 468436.3970
ELEV = 904.314



ROD
NORTHING: 158421.3710
EASTING: 468860.7620
ELEV = 906.005



PK NAIL
NORTHING: 158245.1890
EASTING: 468427.6790
ELEV = 908.869

ROD
NORTHING: 158037.2360
EASTING: 468926.6830
ELEV = 896.208

NOT FOR CONSTRUCTION

TOPOGRAPHIC SYMBOL LEGEND	
	EXISTING BOLLARD
	EXISTING FLAG POLE
	EXISTING MAILBOX
	EXISTING MONITORING WELL
	EXISTING POST
	EXISTING SIGN (TYPE NOTED)
	EXISTING PARKING METER
	EXISTING CURB INLET
	EXISTING ENDWALL
	EXISTING FIELD INLET RECTANGULAR
	EXISTING FIELD INLET
	EXISTING ROOF DRAIN CLEANOUT
	EXISTING ROOF DRAIN
	EXISTING STORM MANHOLE
	EXISTING STORM MANHOLE RECTANGULAR
	EXISTING STORM TRACER WIRE BOX
	EXISTING SANITARY CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING SEPTIC VENT
	EXISTING SANITARY TRACER WIRE BOX
	EXISTING FIRE HYDRANT
	EXISTING FIRE DEPARTMENT CONNECTION
	EXISTING WATER MAIN VALVE
	EXISTING CURB STOP
	EXISTING WELL
	EXISTING WATER MANHOLE
	EXISTING WATER TRACER WIRE BOX
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING AIR CONDITIONING PEDESTAL
	EXISTING DOWN GUY
	EXISTING ELECTRIC MANHOLE
	EXISTING ELECTRIC RECTANGULAR MANHOLE
	EXISTING ELECTRIC PEDESTAL
	EXISTING TRANSFORMER
	EXISTING ELECTRIC METER
	EXISTING GUY POLE
	EXISTING LIGHT POLE
	EXISTING GENERIC LIGHT
	EXISTING UTILITY POLE
	EXISTING TV MANHOLE
	EXISTING TV RECTANGULAR MANHOLE
	EXISTING TV PEDESTAL
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING UNIDENTIFIED MANHOLE
	EXISTING UNIDENTIFIED UTILITY VAULT
	EXISTING HANDICAP PARKING
	EXISTING TRAFFIC SIGNAL
	EXISTING SHRUB
	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE
	EXISTING TREE STUMP
	EXISTING BORING
	EXISTING ADA DETECTABLE WARNING FIELD

SURVEY LEGEND	
	BENCHMARK
	FOUND CHISELED "X"
	PUBLIC LAND CORNER AS NOTED
	FOUND NAIL
	FOUND 1" Ø IRON PIPE
	FOUND 2" Ø IRON PIPE
	FOUND ____" Ø IRON PIPE
	FOUND P.K. NAIL
	FOUND 1-1/4" Ø IRON ROD
	FOUND 3/4" Ø IRON ROD
	FOUND ____" Ø IRON ROD
	FOUND RAILROAD SPIKE
	SET CHISELED "X"
	SET NAIL
	SET P.K. NAIL
	SET 1-1/4" X 18" SOLID IRON RE-ROD, MIN. WT. 4.30 LBS./FT.
	SET 3/4" X 18" SOLID IRON RE-ROD, MIN. WT. 1.50 LBS./FT.
	SET RAILROAD SPIKE
	SET 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT
	SET 2.38" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 3.65 LBS/LIN FT
	GENERAL CONTROL POINT

TOPOGRAPHIC LINEWORK LEGEND	
	EXISTING UNDERGROUND CABLE TV
	EXISTING OVERHEAD CABLE TV
	EXISTING FIBER OPTIC LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING RETAINING WALL
	EXISTING CHAIN LINK FENCE
	EXISTING GENERAL FENCE
	EXISTING WIRE FENCE
	EXISTING WOOD FENCE
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING GUY LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING OVERHEAD GENERAL UTILITIES
	EXISTING SANITARY FORCE MAIN (SIZE NOTED)
	EXISTING SANITARY SEWER LINE (SIZE NOTED)
	EXISTING STORM SEWER LINE (SIZE NOTED)
	EXISTING EDGE OF TREES
	EXISTING WATER MAIN (SIZE NOTED)
	EXISTING WETLAND DELINEATION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL

	EXISTING WETLANDS
	EXISTING GRAVEL SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING ASPHALT SURFACE

DEMOLITION PLAN LEGEND	
	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL

SITE PLAN LEGEND	
	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CHAIN LINK FENCE
	PROPOSED WOOD FENCE
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	PROPOSED HEAVY-DUTY ASPHALT
	PROPOSED BUILDING
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED ADA DETECTABLE WARNING FIELD
	PROPOSED HANDICAP PARKING

ABBREVIATIONS	
TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

PROPOSED UTILITY LEGEND	
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER ENDWALL
	STORM SEWER CURB INLET
	STORM SEWER CURB INLET W/MANHOLE
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	SANITARY SEWER PIPE (GRAVITY)
	SANITARY SEWER PIPE (FORCE MAIN)
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER MAIN
	WATER SERVICE LATERAL PIPE
	FIRE HYDRANT
	WATER VALVE
	CURB STOP
	WATER VALVE MANHOLE

	PROPOSED PIPE INSULATION
	GAS MAIN
	ELECTRIC SERVICE
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	DITCH CENTERLINE
	SILT FENCE
	DISTURBED LIMITS
	BERM
	DRAINAGE DIRECTION
	PROPOSED SLOPE ARROWS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS

GRADING LEGEND	
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	DITCH CENTERLINE
	SILT FENCE
	DISTURBED LIMITS
	BERM
	DRAINAGE DIRECTION
	PROPOSED SLOPE ARROWS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	STONE WEEPER
	VELOCITY CHECK
	INLET PROTECTION
	EROSION MAT CLASS I, TYPE A
	EROSION MAT CLASS II, TYPE B
	EROSION MAT CLASS III, TYPE C
	EROSION MAT CLASS II, TYPE A
	TRACKING PAD
	RIP RAP

ABBREVIATIONS	
STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

GENERAL NOTES:
INSTALL A 50'L x 20'W x 1.5'D ANTI TRACKING PAD AT THE ENTRANCE TO THE PROJECT. ANTI TRACKING PAD SHALL BE REPLACED AS NECESSARY TO ACCOMMODATE UTILITY CONSTRUCTION. NO CONSTRUCTION TRAFFIC ON EXISTING PARKING LOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING LOT RESULTING FROM CONSTRUCTION TRAFFIC.

ELEVATIONS ON PLAN ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB AND GUTTER AND BASE COURSE HAVE BEEN INSTALLED.

THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. REPORTS SHALL BE SUBMITTED TO ENGINEER WEEKLY.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING ORDER OF ANY SUCH ITEM

R.O.W. AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.

EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED.

COST OF COORDINATION SHALL BE INCIDENTAL TO CONSTRUCTION, INCLUDING ANY SCHEDULING CONFLICTS CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF MAUSTON, WDNR, WIDOT AND LOCAL AUTHORITIES. COST OF COOPERATION AND COORDINATION SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION FOR TIME EXTENSION AND NO EXTRA COST TO THE OWNER.

WHEN THE CONTRACT USES LUMP SUM PAYMENT FOR EXCAVATION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE QUANTITY TO THEIR SATISFACTION PRIOR TO BIDDING. NO ADDITIONAL PAYMENT WILL BE MADE FOR COMMON EXCAVATION BID AS A LUMP SUM

CONTRACTOR SHALL FURNISH A MEANS OF FLUSHING AND TESTING WATER LATERAL, INCIDENTAL TO WATERMAIN PRICING.

LANDOWNER:

NAME: CITY OF MAUSTON
ADDRESS: 303 MANSION ST
MAUSTON, WI 53948
PHONE: 608-847-4070
FAX: 608-847-5023
EMAIL: VALNELSON@MAUSTON.COM

DEVELOPER:

NAME: DEVIN COYLE (PELTON BUILDERS)
ADDRESS: S1930 GLEN VALLEY DRIVE
REEDSBURG, WI 53959
PHONE: 608-445-6715
EMAIL: DEVIN@PELTONBUILDERS.COM

ENGINEER:

NAME: NEIL PFAFF, PE (VIERBICHER)
ADDRESS: 201 E MAIN ST., SUITE 100
REEDSBURG, WI 53959
PHONE: 608-524-6468
EMAIL: NPFA@VIERBICHER.COM

AGENCIES:

EMERGENCY – FIRE, RESCUE, AMBULANCE, POLICE
DIAL 911

CITY OF MAUSTON FIRE DEPARTMENT
432 HICKORY ST
MAUSTON, WI 53948
(608) 847-5475 (NON-EMERGENCY)

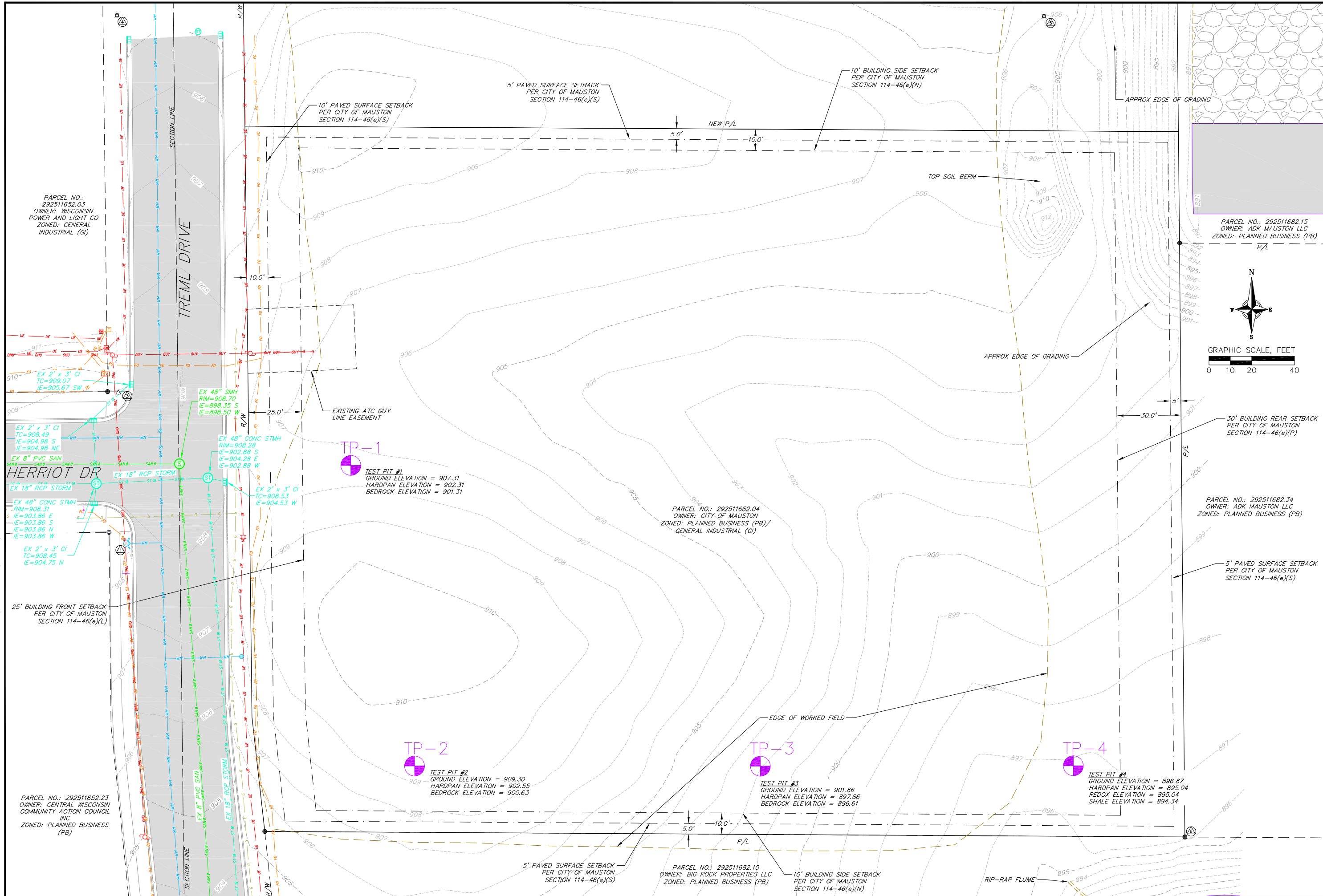
CITY OF MAUSTON POLICE DEPARTMENT
303 MANSION ST
MAUSTON, WI 53948
(608) 847-6368 (NON-EMERGENCY)

UTILITIES:

CITY OF MAUSTON PUBLIC WORKS
1260 NORTH RD
MAUSTON, WI 53948
(608) 847-4070

CITY OF MAUSTON WATER UTILITIES
303 MANSION ST
MAUSTON, WI 53948
(608) 847-4070

				v ierbicher planners engineers advisors			
GENERAL NOTES							
SAWYER RIDGE APARTMENTS CITY OF MAUSTON JUNEAU COUNTY, WISCONSIN							
REVISIONS		REVISIONS		REMARKS		REMARKS	
		NO.	DATE				
DATE		2025-06-12					
DRAFTER		KFEN					
CHECKED		NPFA					
PROJECT NO.		250261					
SHEET							
2		OF 17					



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EXISTING CONDITIONS

SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

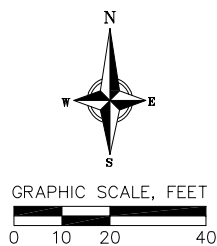
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2025-06-12

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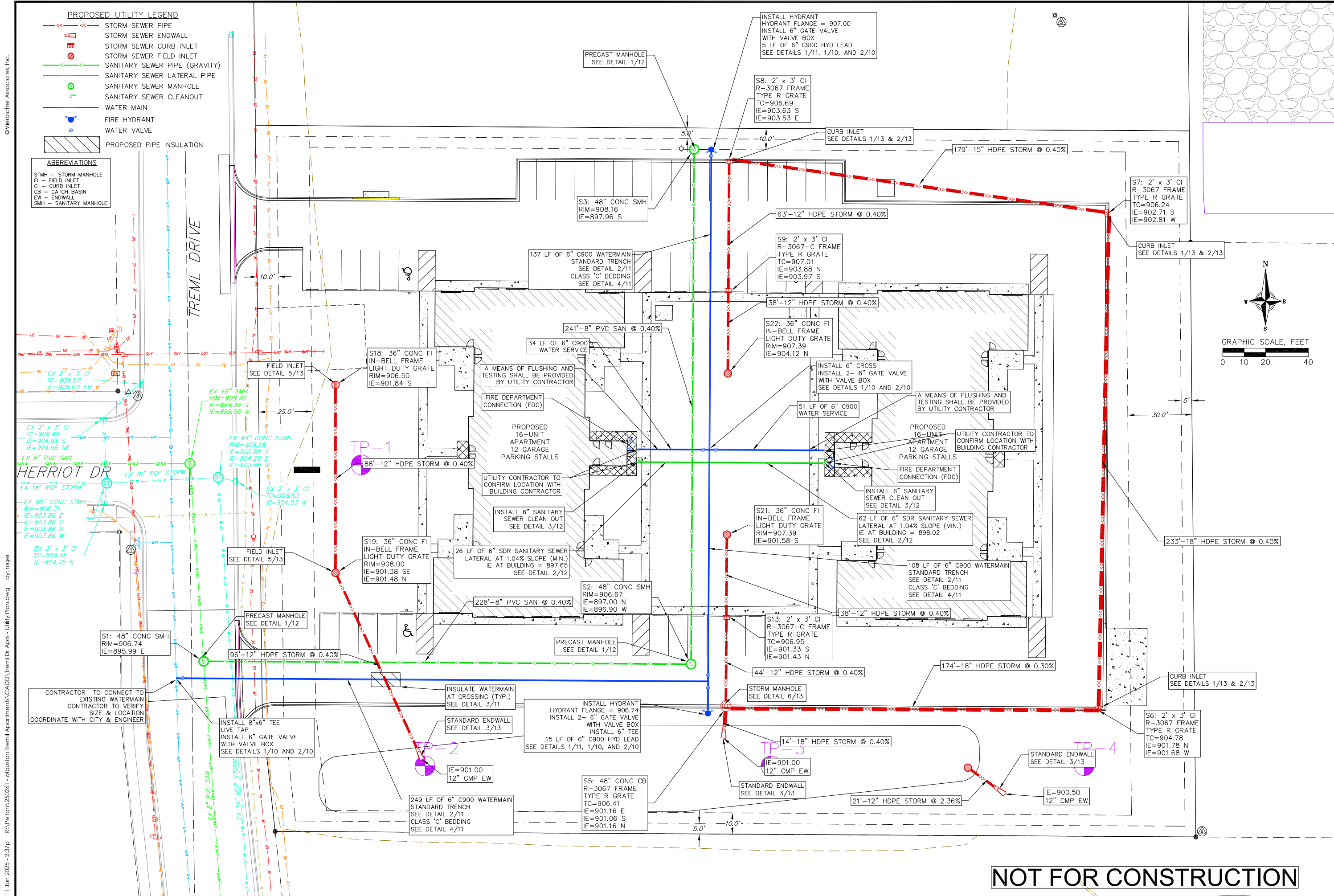
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PROJECT NO.
250261

SHEET
3 OF 17



11 Jun 2025 - 2:37p R:\Pelton\250261 - Mauston Tremi Apartments\CADD\Tremi Dr Apts - Utility Plan.dwg by: mger





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REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

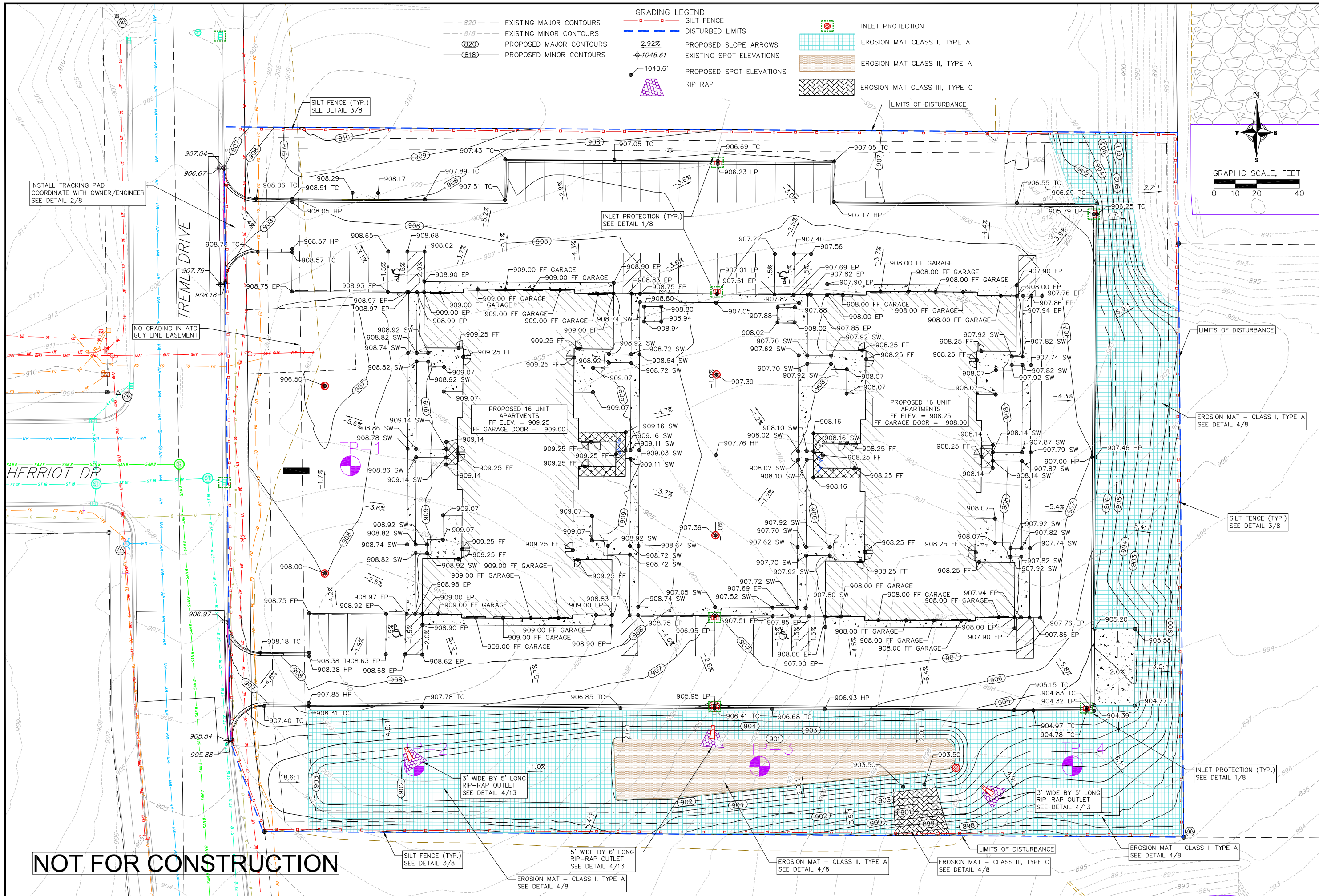
DATE: 2025-06-12

DRAFTER: KFEN

CHECKED: NPFA

PROJECT NO.: 250261

SHEET: 6 OF 17



11 Jun 2025 - 2:37p R:\Pelton\250261 - Mauston Tremi Apartments\CADD\Tremi Dr Apts - Title Sheet & Details.dwg By: mgr

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EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MAUSTON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS
- ROUGH GRADE STREETS & LOTS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK).
- RESTORE TERRACES & SEED LOTS
- AFTER DISTURBED AREAS ARE ESTABLISHED, FINISH BASIN PER DETAILS

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

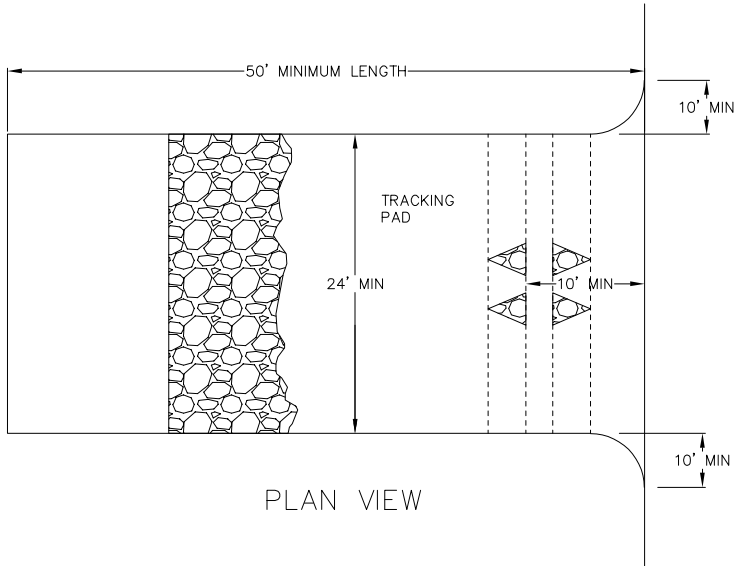
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

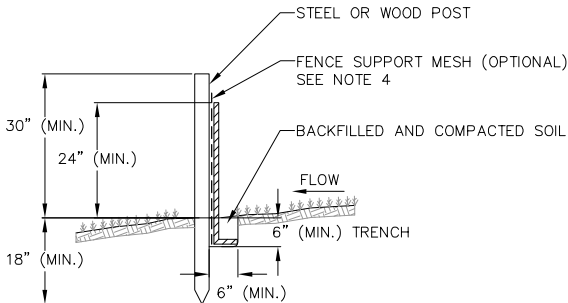


PLAN VIEW

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2 TRACKING PAD

NOT TO SCALE



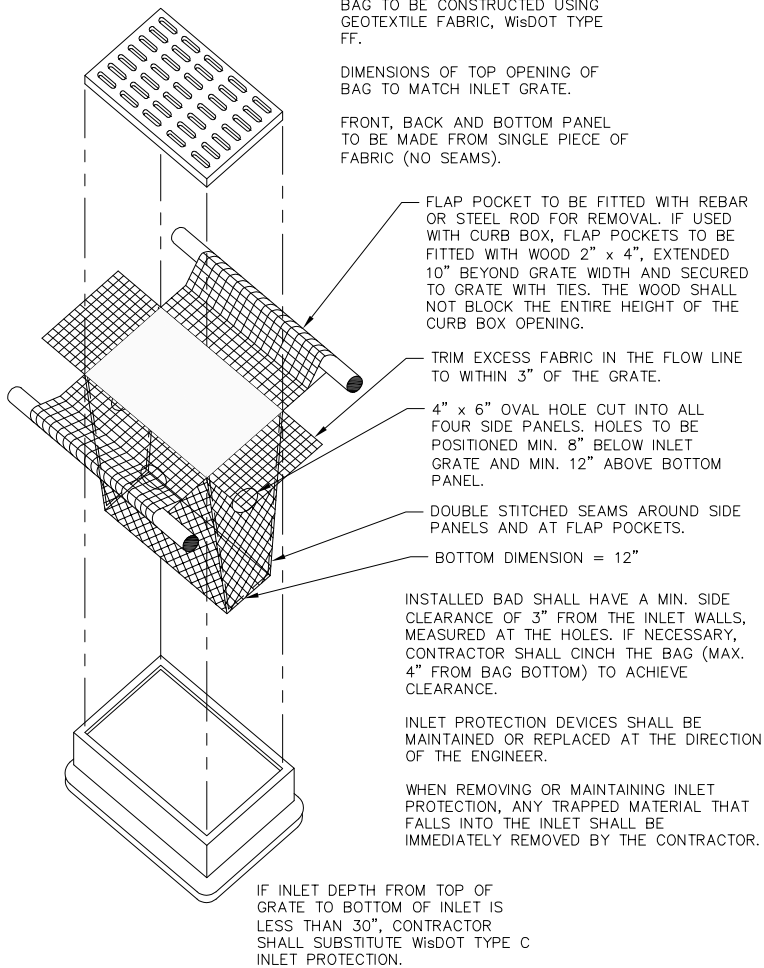
3 SILT FENCE

NOT TO SCALE

NOTES:

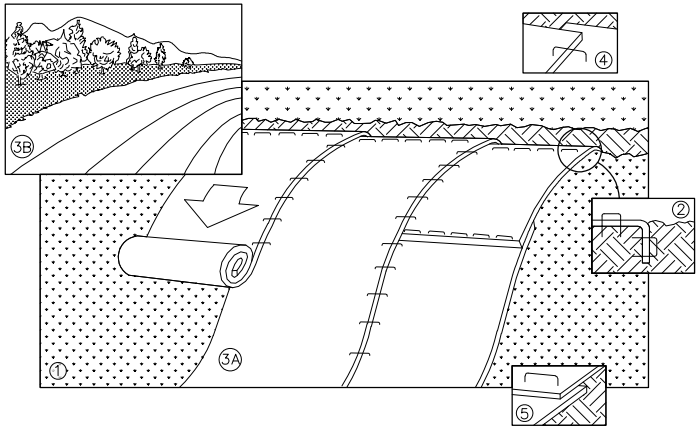
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH



1 INLET PROTECTION TYPE D

NOT TO SCALE



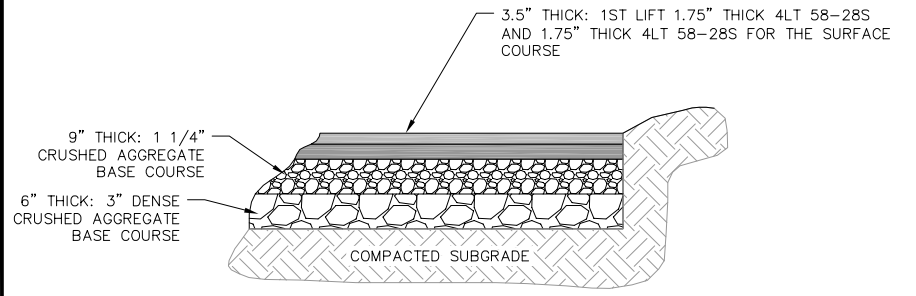
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A> DOWN, OR HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

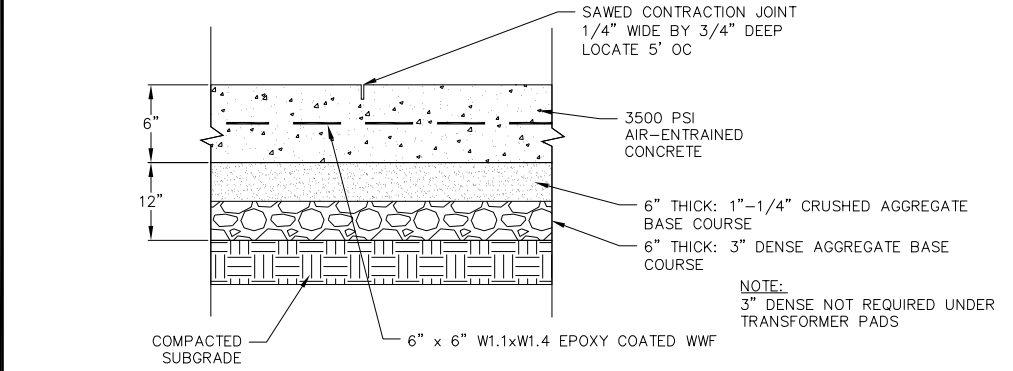
4 EROSION MAT

NOT TO SCALE

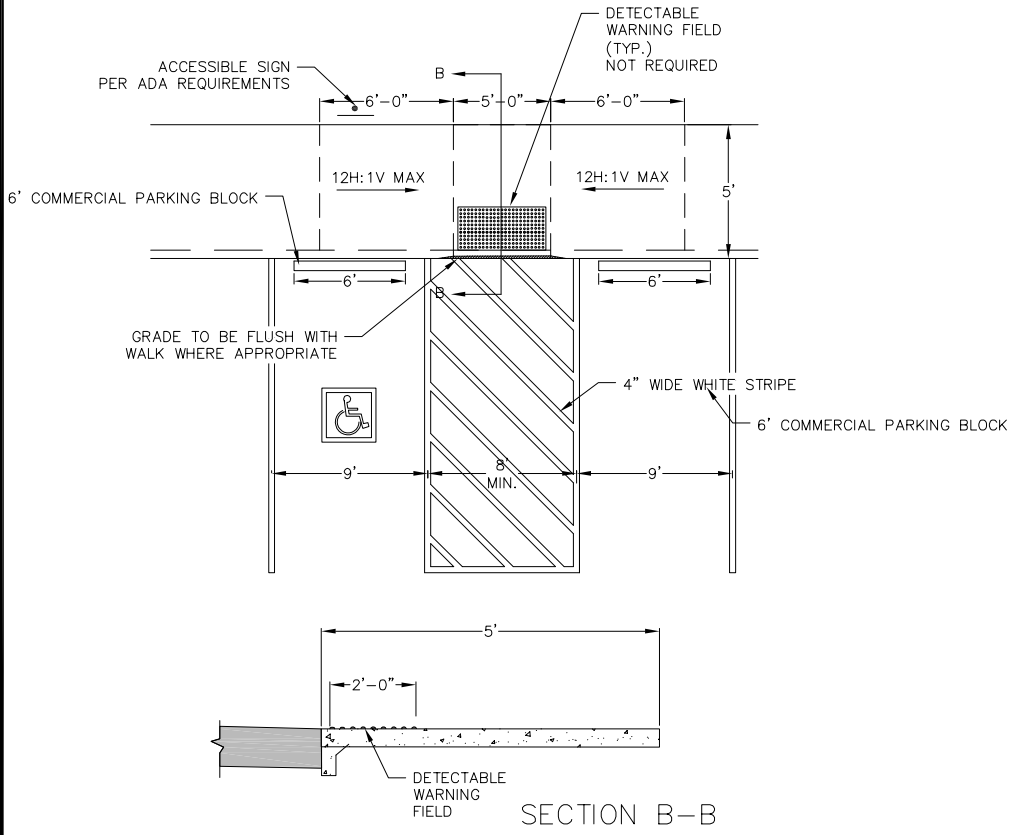
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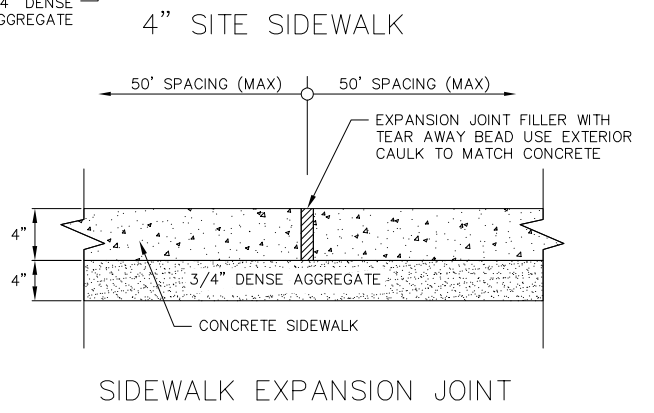
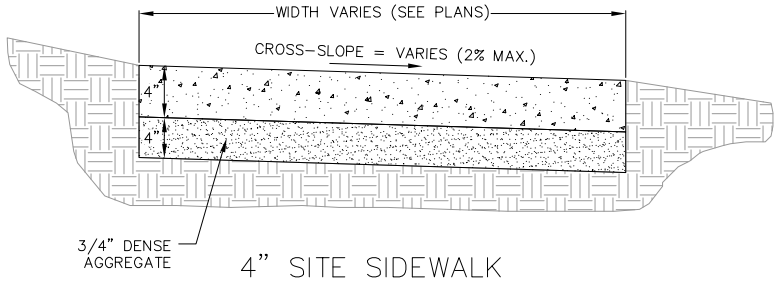
1 SITE PAVEMENT SECTION
9 NOT TO SCALE



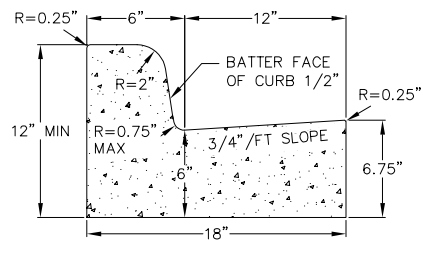
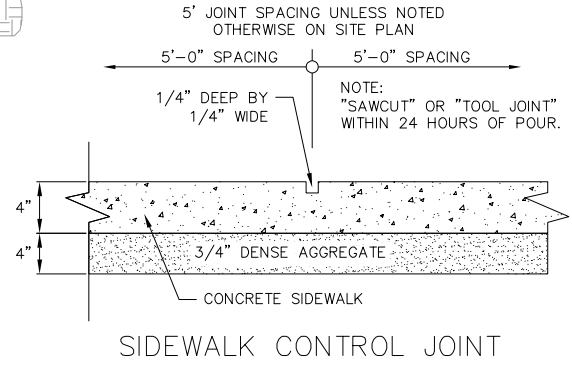
2 6 inch CONCRETE PAD
9 NOT TO SCALE



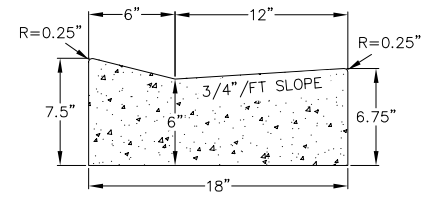
4 ADA PARKING CURB RAMP
9 NOT TO SCALE



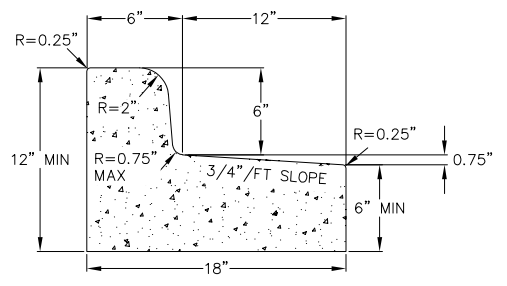
3 4 inch THICK CONCRETE SIDEWALK
9 NOT TO SCALE



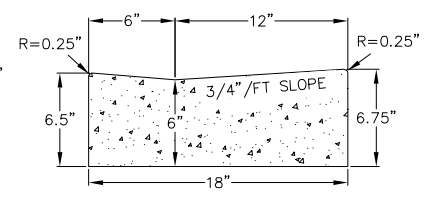
CURB AND GUTTER CROSS SECTION



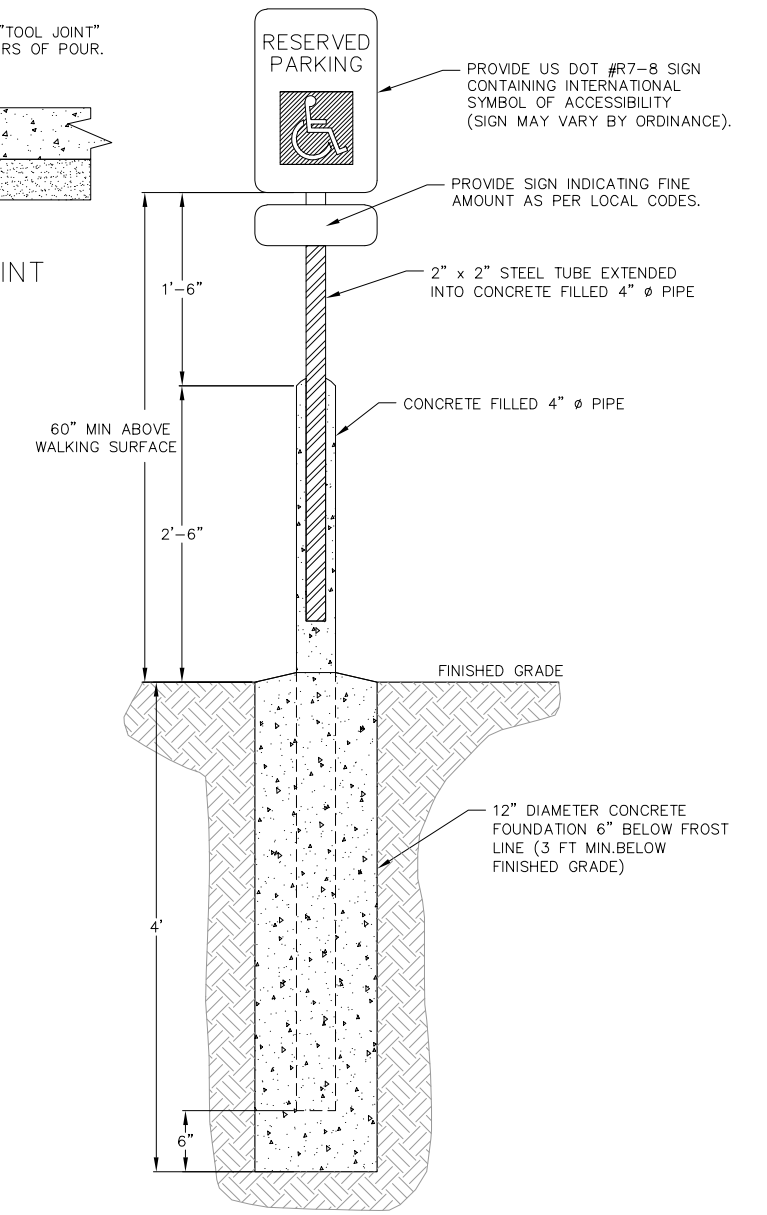
DRIVEWAY GUTTER CROSS SECTION



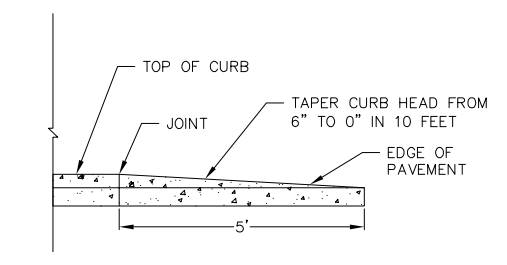
CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION



6 HANDICAP SIGN DETAIL
9 NOT TO SCALE

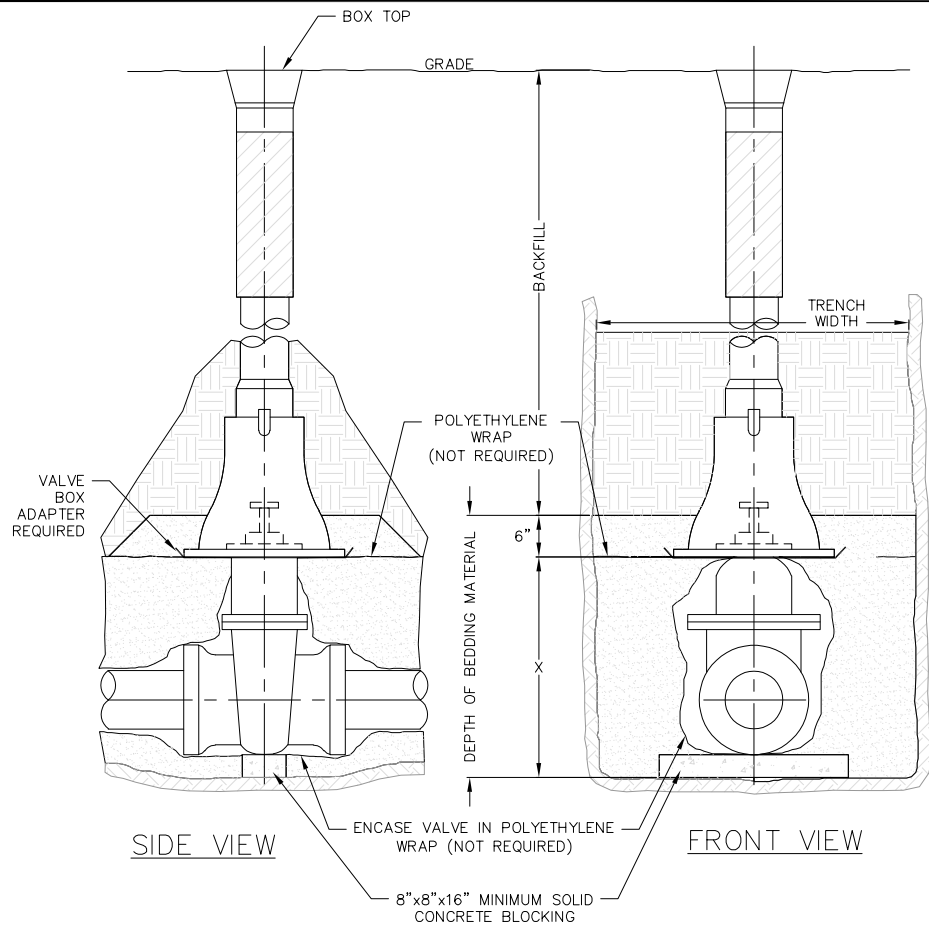


7 CURB & GUTTER TERMINATION
9 NOT TO SCALE



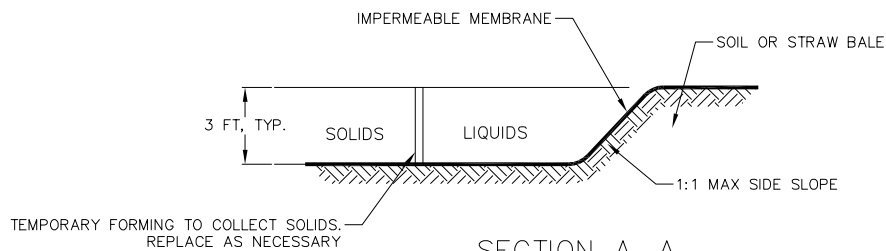
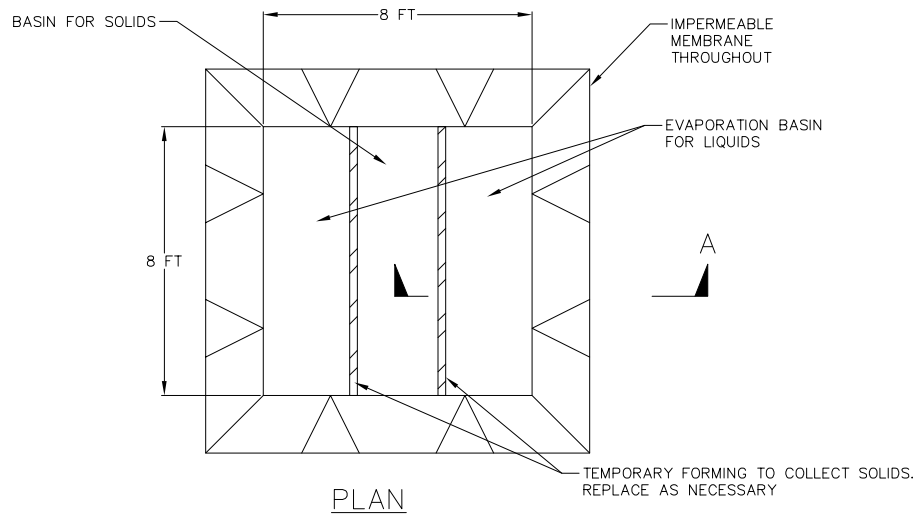
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planners engineers advisors

SITE DETAILS				SAWYER RIDGE APARTMENTS CITY OF MAUSTON JUNEAU COUNTY, WISCONSIN			
REVISIONS		REVISIONS					
NO.	DATE	NO.	DATE	REMARKS	REMARKS	REMARKS	REMARKS
DATE				2025-06-12			
DRAFTER				KFEN			
CHECKED				NPFA			
PROJECT NO.				250261			
SHEET				9 OF 17			



PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

1 STANDARD GATE VALVE BOX SETTING
10 NOT TO SCALE

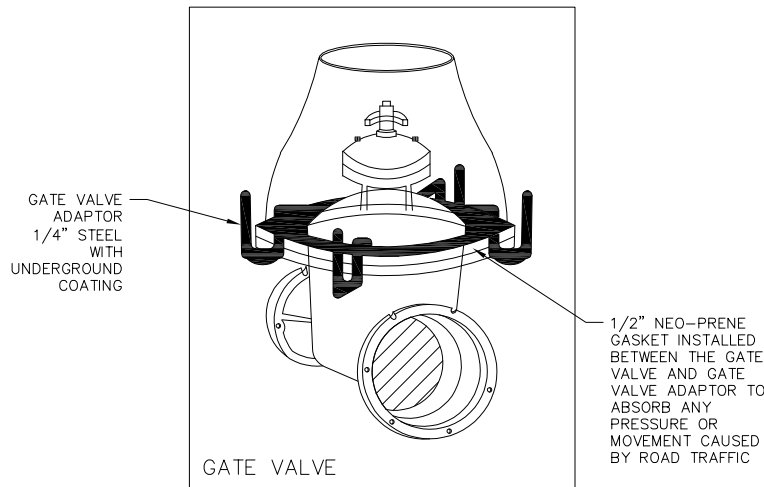


SECTION A-A

3 TEMPORARY CONCRETE WASHOUT
10 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

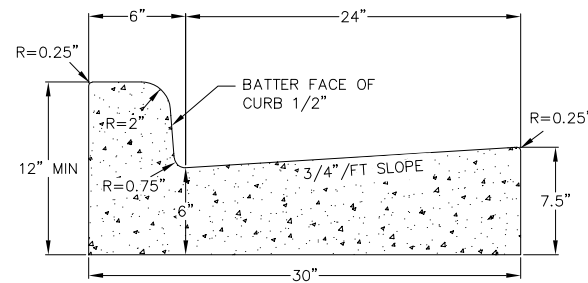
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



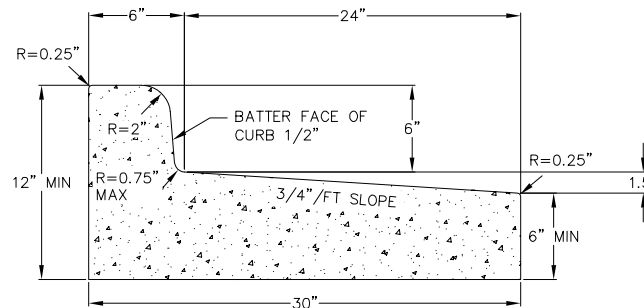
NOTE: GATE VALVE ADAPTORS ARE MANDATORY IN THE VILLAGE OF DEFOREST

MANUFACTURED BY ADAPTOR, INC.
3642 E. AMERICAN AVE.
MILWAUKEE, WI 53154

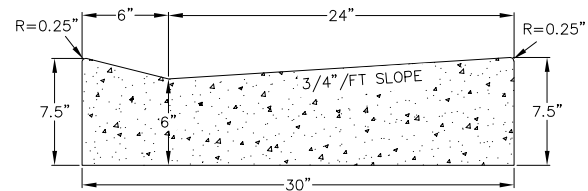
2 GATE VALVE AND GATE VALVE ADAPTOR
10 NOT TO SCALE



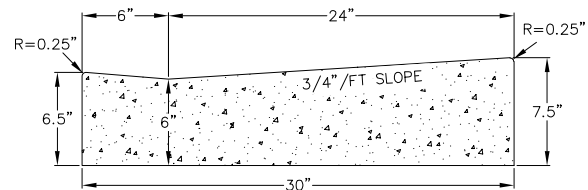
CURB AND GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION



DRIVEWAY GUTTER CROSS SECTION



HANDICAP RAMP GUTTER CROSS SECTION

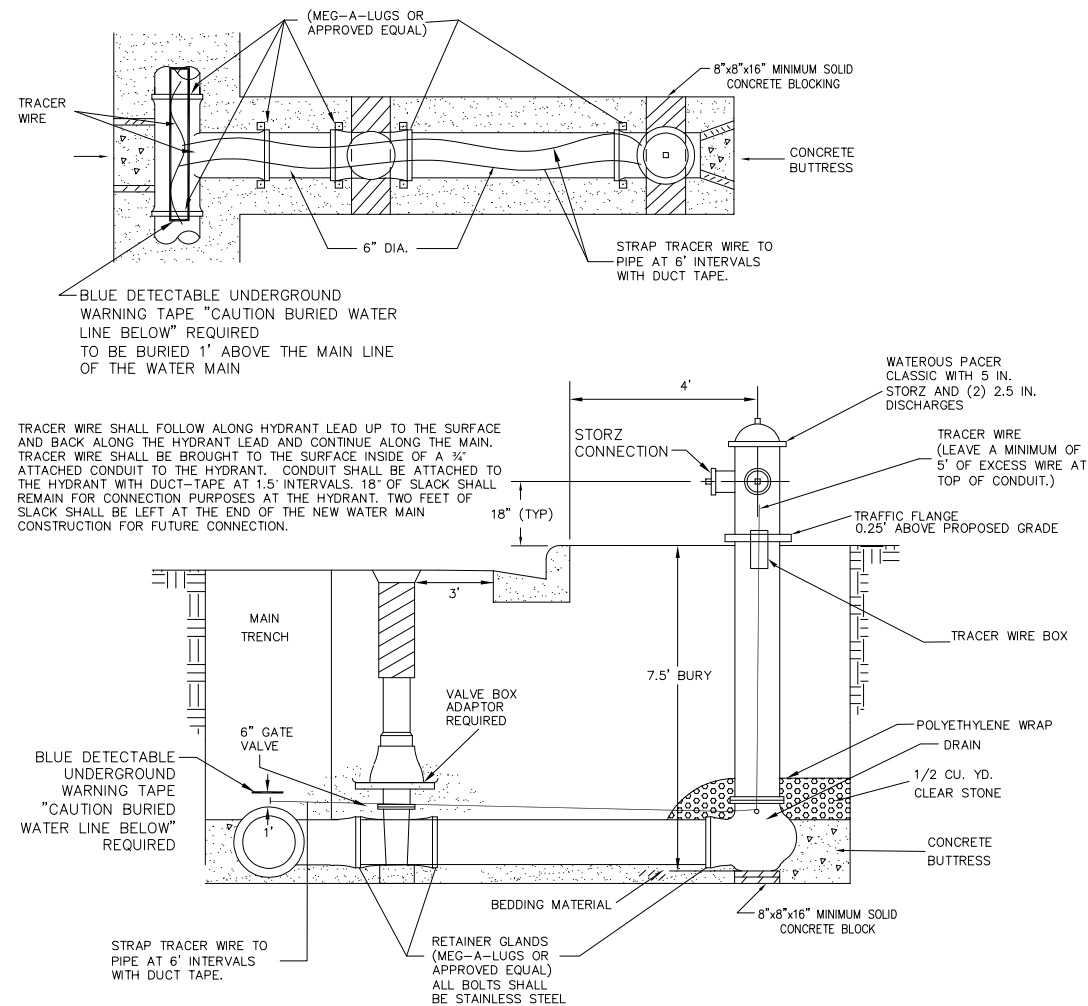
4 30" CONCRETE CURB AND GUTTER
10 NOT TO SCALE



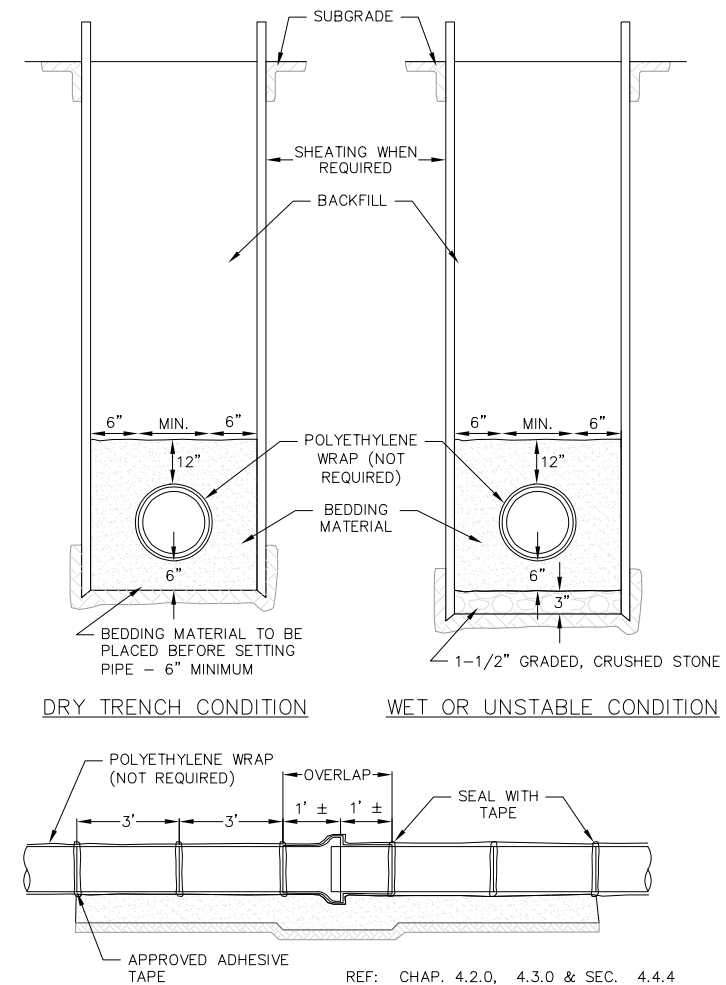
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SITE & WATER DETAILS
SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

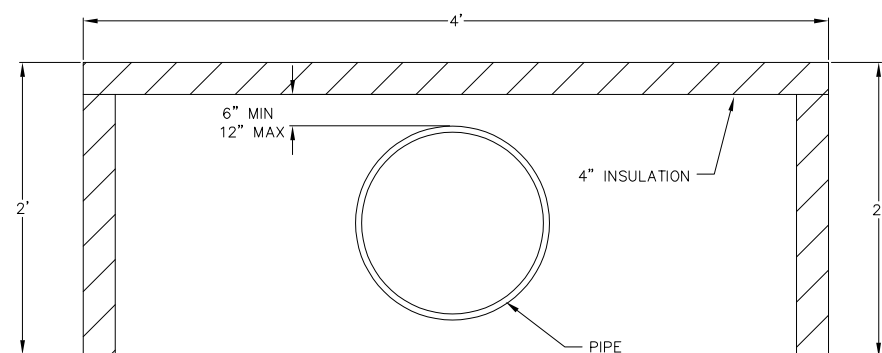
REVISIONS	NO.	DATE	REMARKS
DATE	2025-06-12		
DRAFTER	KFEN		
CHECKED	NPFA		
PROJECT NO.	250261		
SHEET			



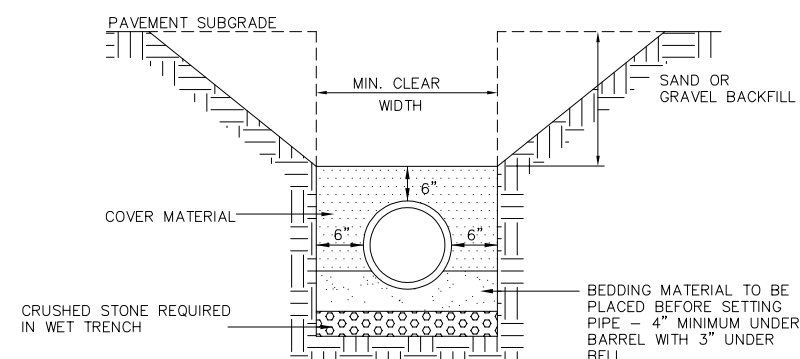
1 STANDARD HYDRANT SETTING
11 NOT TO SCALE



2 STANDARD WATERMAIN TRENCH SECTION
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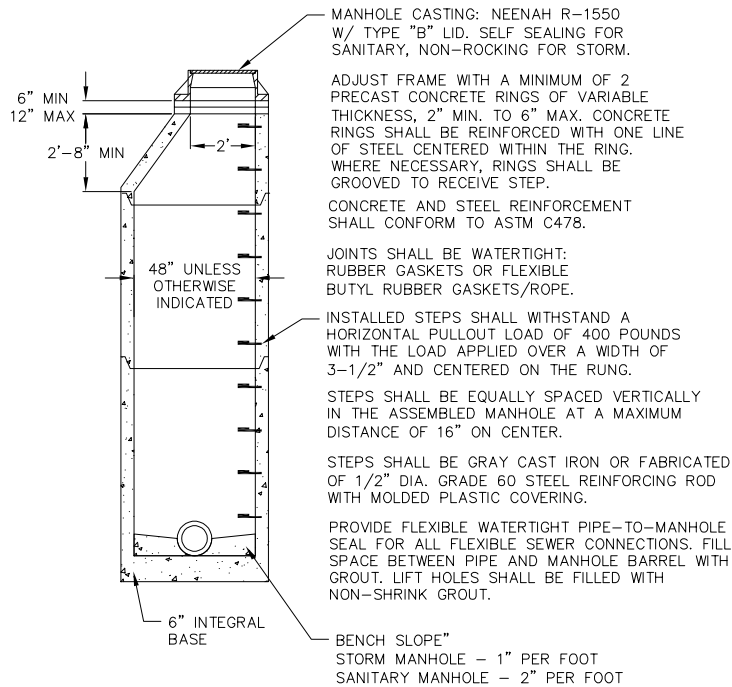


3 11 SANITARY & WATER SERVICE INSULATION DETAIL

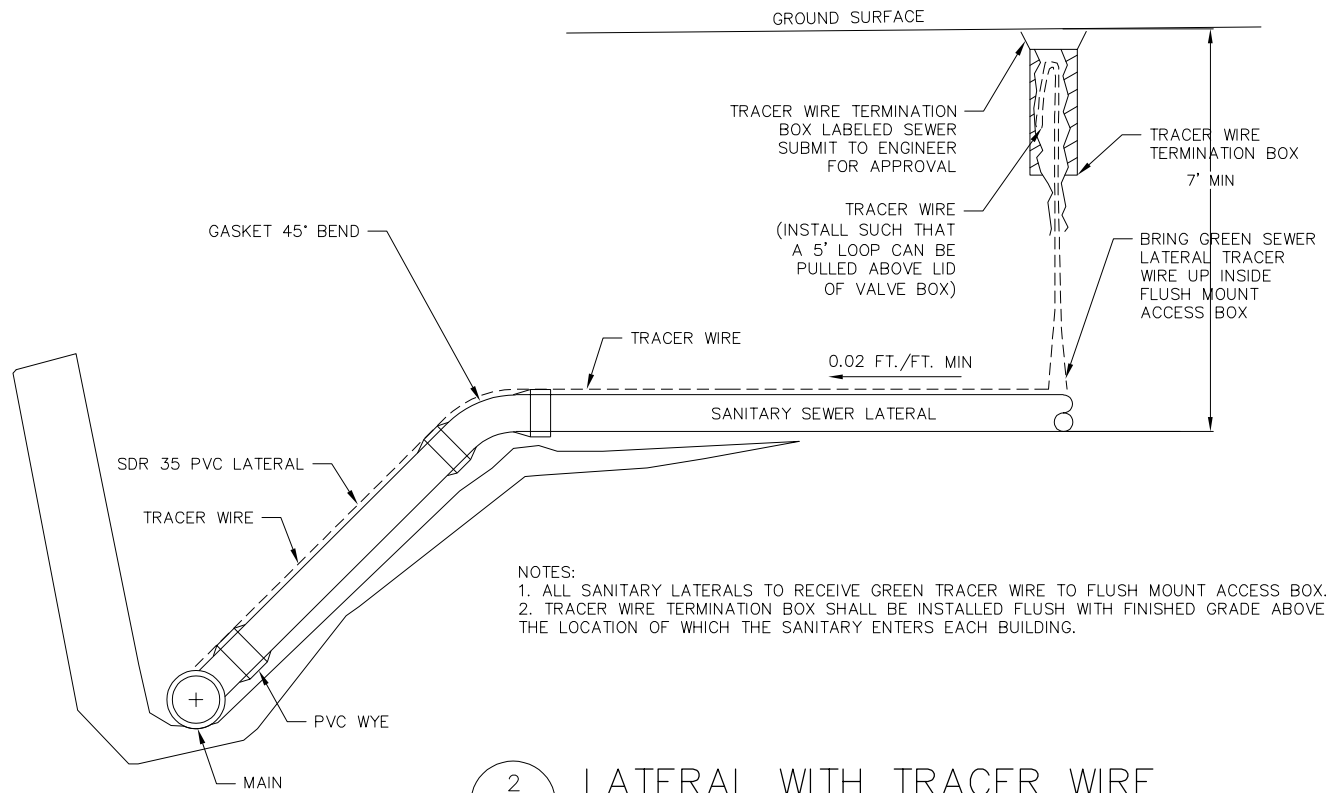


4 CLASS 'C' BEDDING
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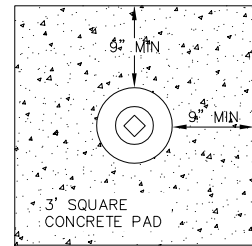
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	250261					
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NPFA	KFEN		2025-06-12			



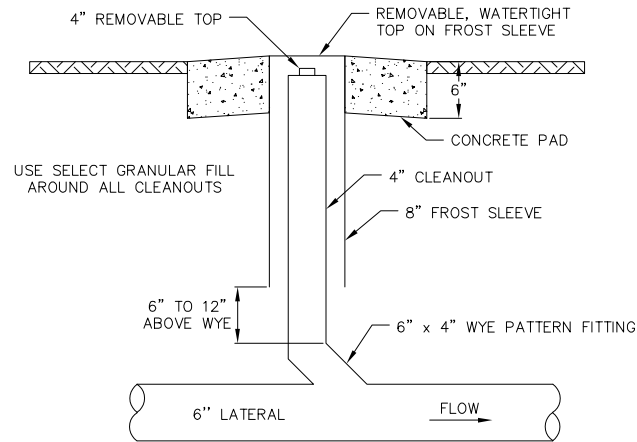
1 PRECAST CONCRETE MANHOLE
12 NOT TO SCALE



2 LATERAL WITH TRACER WIRE
12 NOT TO SCALE



PLAN



SECTION

3 6" SANITARY CLEANOUT
12 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

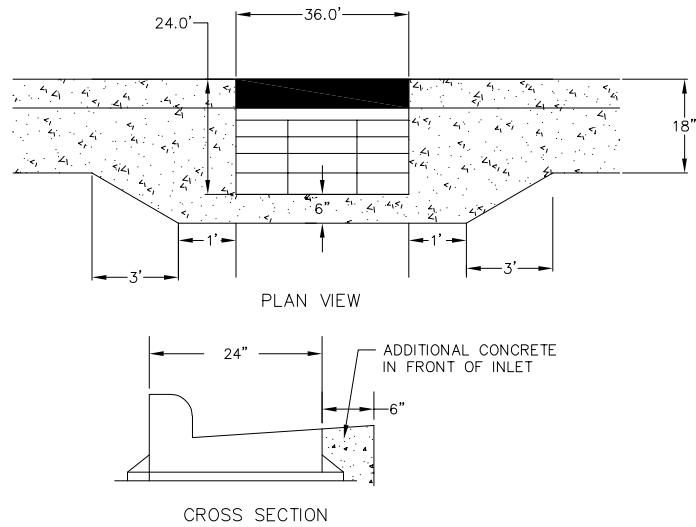
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PROJECT NO.
250261

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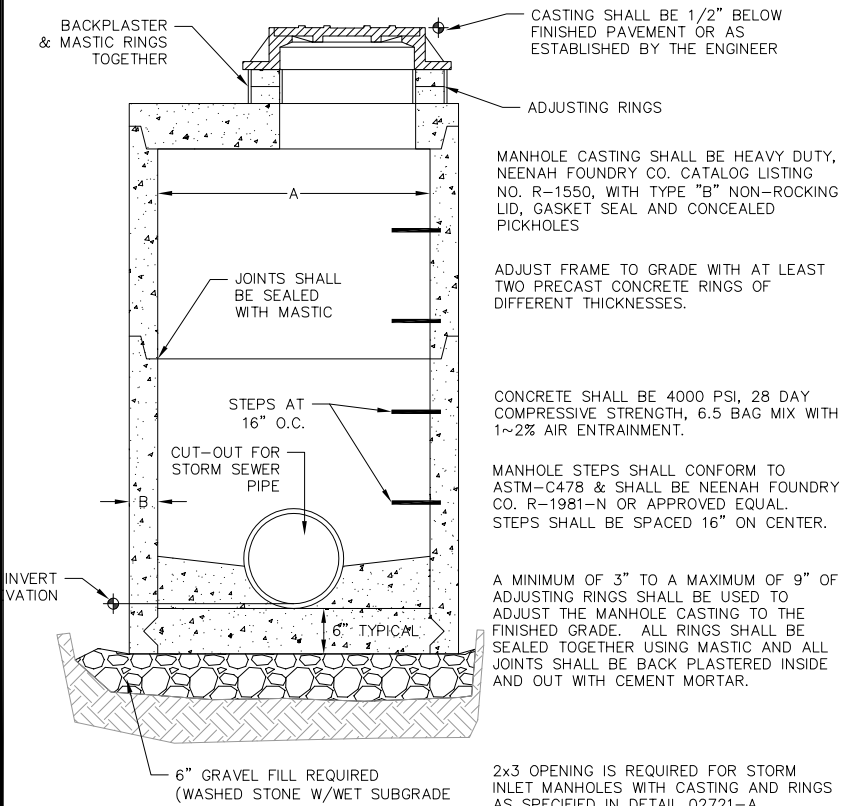
NOTES:
TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.

THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.

THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE INLET.

FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACK PLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

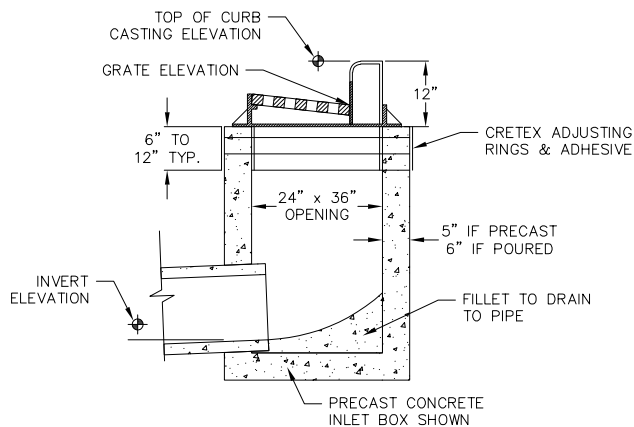
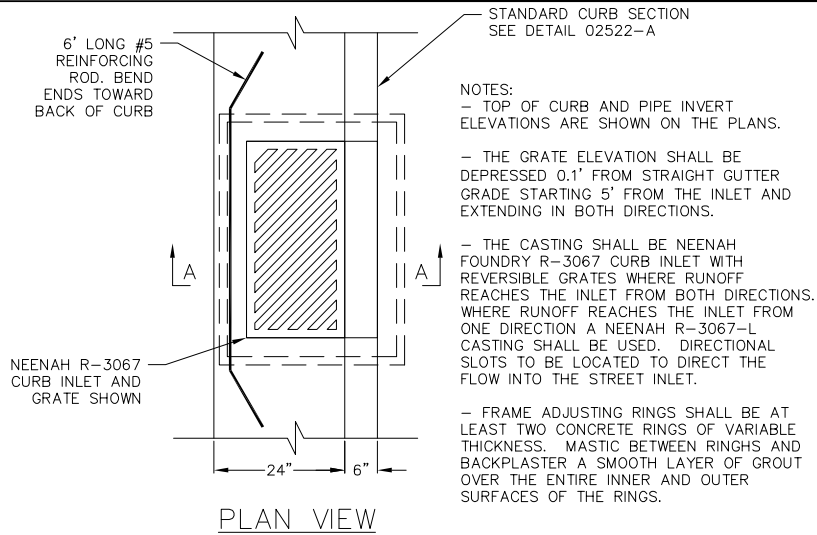
1 CURB DETAIL AT INLET
13 NOT TO SCALE



STORM MANHOLE DIMENSIONS

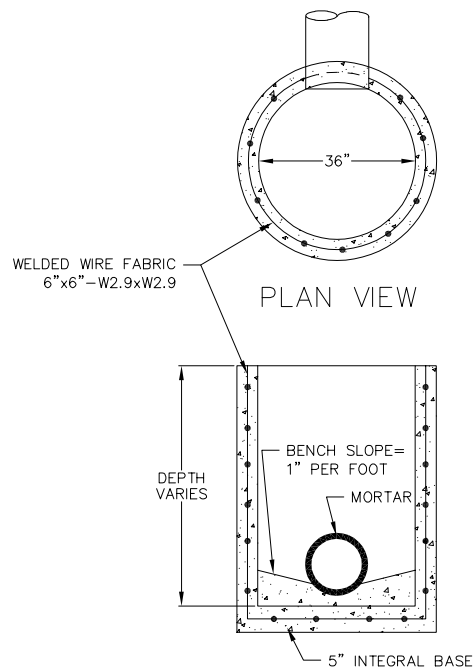
MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

6 STORM SEWER MANHOLE
13 NOT TO SCALE



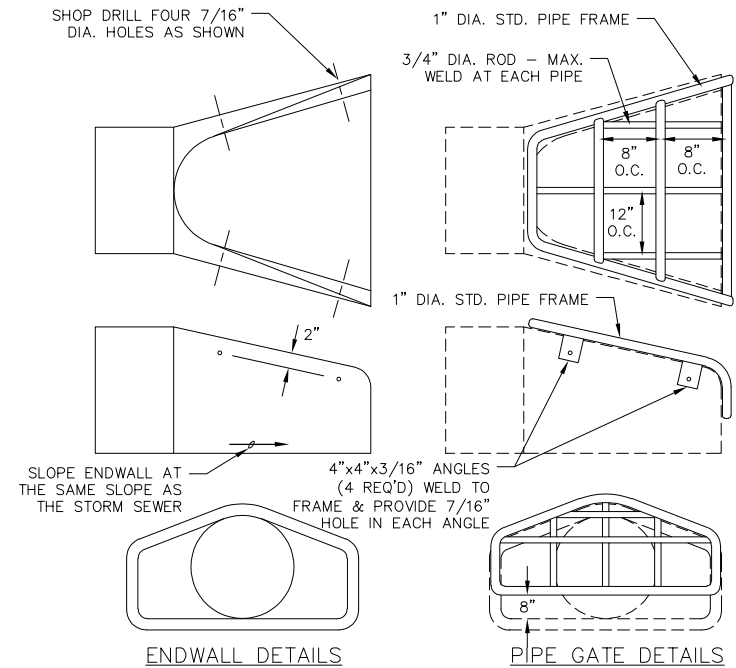
SECTION A-A

2 RECTANGULAR STREET INLET
13 NOT TO SCALE



CROSS SECTION

5 FIELD INLET (36" DIA. BASIN)
13 NOT TO SCALE

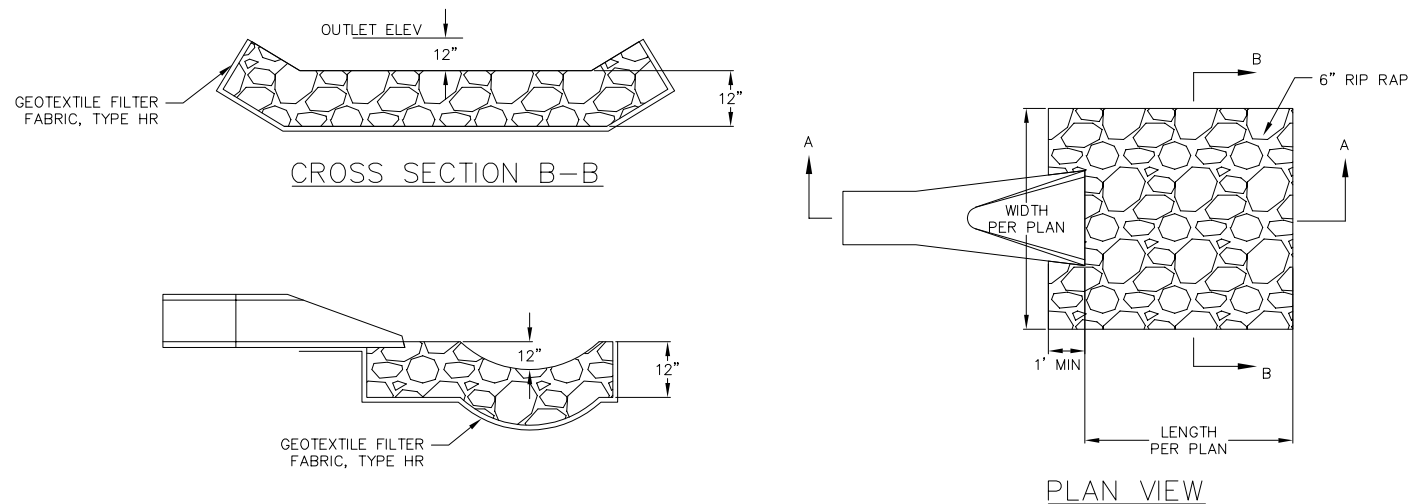


NOTES:
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
- THE CONTRACTOR SHALL PROVIDE JOINT TIES ON STORM SEWER SYSTEM INFALL AND OUTFALL PIPES. TIE THE ENDWALL AND THE LAST 2 PIPE SECTIONS.

PAINTING SPECIFICATIONS:
- THE PIPE GATE SHALL RECEIVER THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

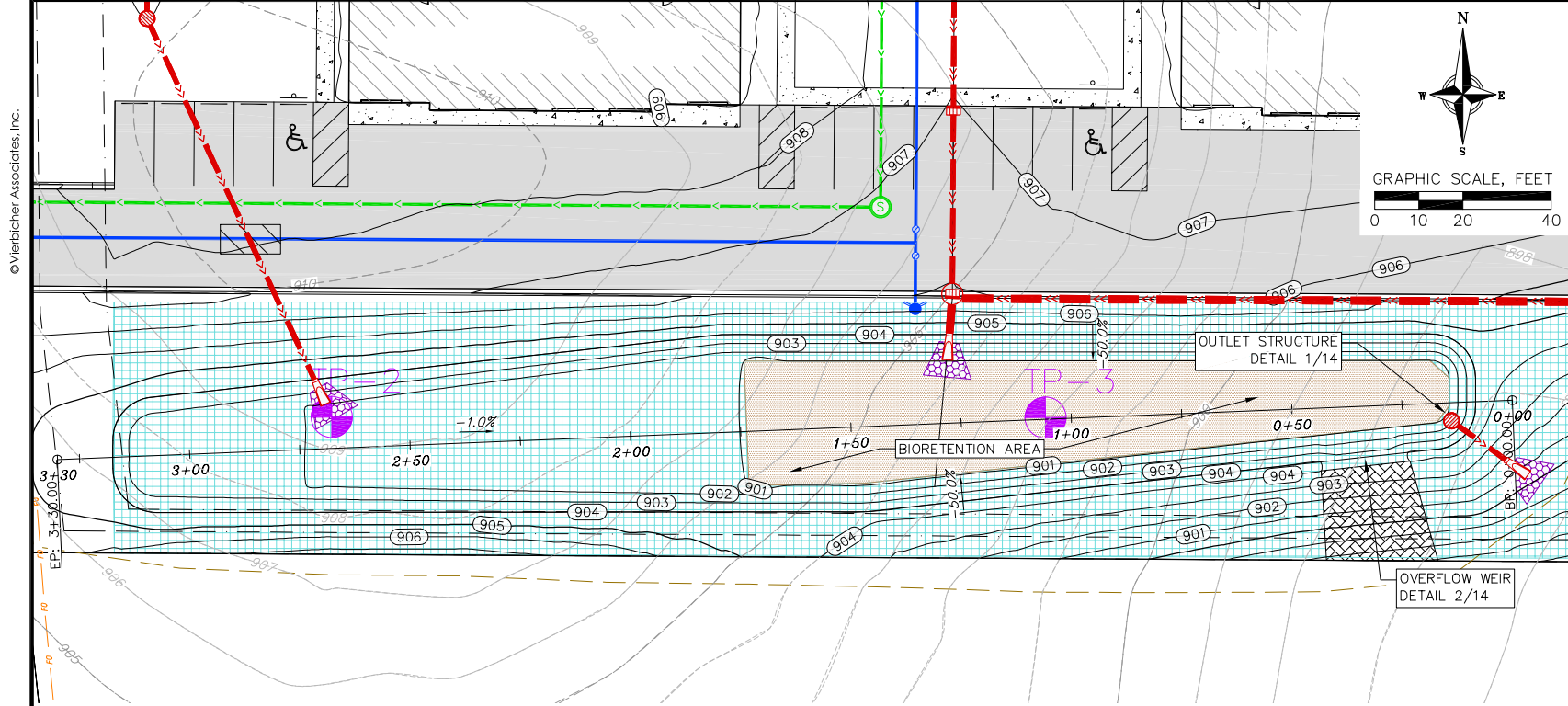
PREPARATION STEPS:
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

3 STANDARD ENDWALL
13 NOT TO SCALE



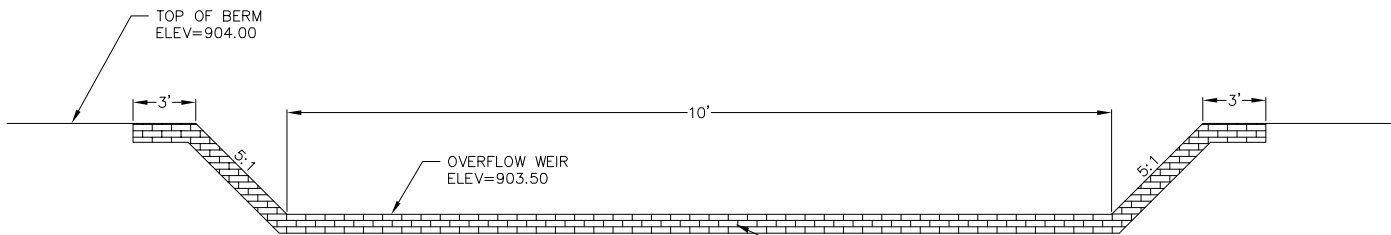
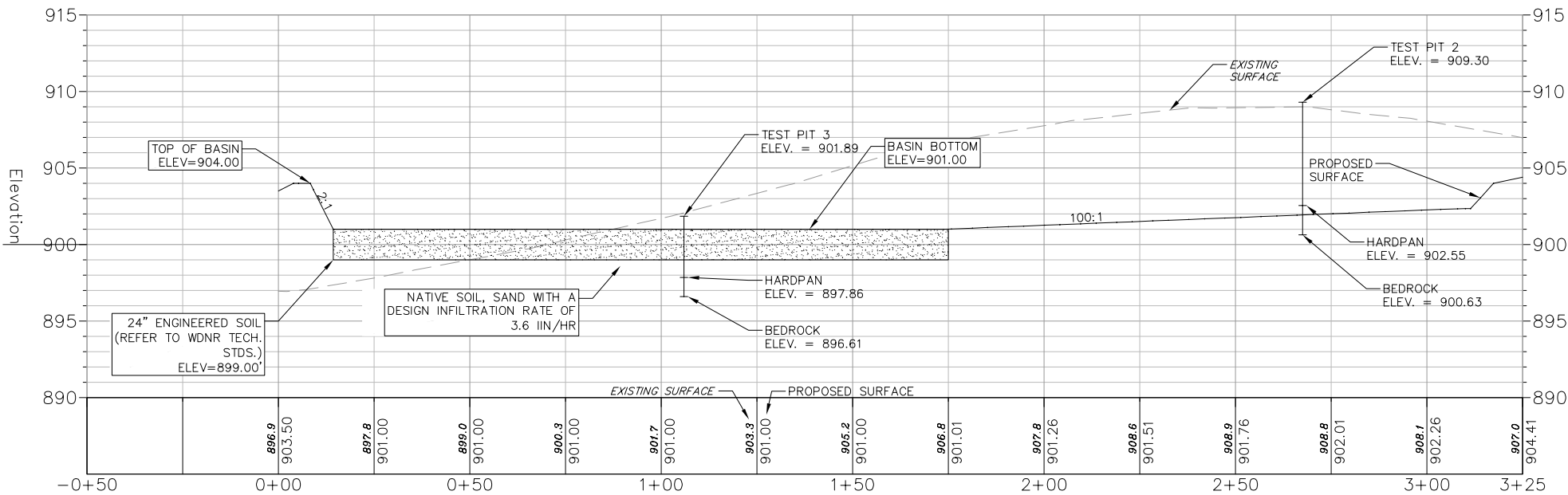
CROSS SECTION A-A

4 RIP-RAP OUTLET
13 NOT TO SCALE



NOTE: OVERFILL BASIN BY 2" TO ALLOW FOR SOME SETTLING OF ENGINEERED SOIL

ENGINEERED SOIL MIXTURE
70-85% WASHED SAND
15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)



NOTE: EXTEND EROSION MAT TO TOE OF SLOPE ON THE DOWNSTREAM SIDE OF THE BERM

PERMANENT EROSION MAT CLASS III, TYPE C

2 OVERFLOW WEIR
NOT TO SCALE

BIORETENTION AREA SPECIFICATIONS:

- BIORETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION).
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED ON AREA OF INFILTRATION DURING CONSTRUCTION OPERATIONS. INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED; OTHERWISE, CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AWAY FROM BIORETENTION DEVICE. DO NOT ALLOW SURROUNDING SOILS TO ERODE INTO BASINS ONCE ENGINEERED SOIL AND PLANTINGS HAVE BEEN INSTALLED.
- SEED THE BIORETENTION AREA WITH TALLGRASS PRAIRIE FOR WET-MESIC SOILS SEED MIX BY AGRECOL OR APPROVED EQUAL. CONTRACTOR IS RESPONSIBLE FOR PREPARING VEGETATION PLAN, ENSURING PLANT ESTABLISHMENT, INITIAL MAINTENANCE (SEE BELOW), AS WELL AS MAINTAINING PROPER INFILTRATION RATES OVER INFILTRATIVE SURFACE (I.E. NO PONDED WATER 24 HOURS AFTER RAIN EVENT) THROUGHOUT WARRANTY PERIOD AND ONE COMPLETE GROWING SEASON, OR UNTIL ACCEPTANCE BY THE OWNER (WHICHEVER IS SOONER). PROVIDE BILL OF SALE FOR PLANT PLUGS INSTALLED.

RESTORATION AND INITIAL MAINTENANCE NOTES (DURING FIRST GROWING SEASON):

- NATIVE SEEDING SHALL BE COMPLETED IN THE FALL, AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL, OR IN THE SPRING BETWEEN MAY 1 AND JUNE 20.
- SEED BASIN SIDE SLOPES AND BOTTOM AREA OUTSIDE OF BIORETENTION AREA WITH SHORT GRASS PRAIRIE SEED MIX FOR MEDIUM SOILS BY AGRECOL OR APPROVED EQUAL.
- EROSION MAT IN THE BIORETENTION AREA SHALL BE CLASS II, TYPE A AND PLACED ON THE SURFACE OF THE BIORETENTION BASIN. DO NOT USE WOOD CHIPS, UNLESS EROSION MAT IS PLACED OVER TOP TO PREVENT FLOATING.
- EROSION MAT ON SIDE SLOPES AND OUTSIDE BIORETENTION AREA SHALL BE CLASS I, TYPE A.
- DO NOT FERTILIZE NATIVE PLANTINGS, UNLESS DIRECTED BY NURSERY.
- WATER PLANTS AS NECESSARY, DEPENDING ON WEATHER. TREAT DISEASED OR DISTRESSED PLANTS, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS, REMOVE DEBRIS AND LITTER, AND INSPECT AND REPAIR ERODED AREAS, AS NEEDED.

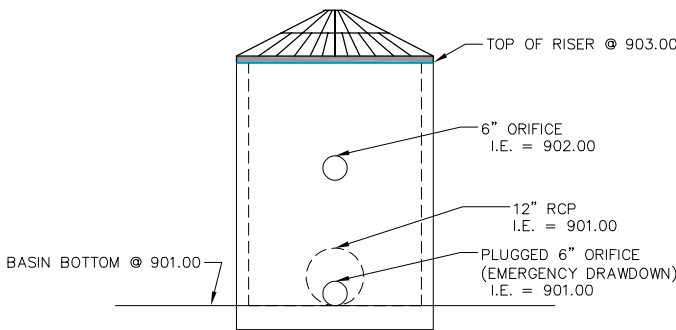
CONSTRUCTION NOTES (NOT INCLUDING SIDESLOPES):

- LIMIT CONSTRUCTION TRAFFIC IN EXCAVATION AND USE ONLY TRACKED VEHICLES.
- EXCAVATE TO FINAL DEPTH DURING DRY WEATHER AND HAVE ALL MATERIALS ON SITE TO COMPLETE CONSTRUCTION PRIOR TO FORECASTED RAIN.
- PLACE ENGINEERED SOIL IN MAXIMUM 12" LIFTS (OVERFILL BY 2" TO ALLOW FOR SETTLING), COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (PER DNR TECHNICAL STANDARD S100)
CONTRACTOR TO PROVIDE ENGINEER WITH LOAD TICKETS OF ALL ENGINEERED SOIL MATERIALS INSTALLED.
- PLANT PLUGS, EROSION MAT, WATER, AND MAINTAIN AS DIRECTED ABOVE. LEAVE EMERGENCY DRAWDOWN OPEN UNTIL PLANT ESTABLISHMENT.

LONG-TERM MAINTENANCE OF BIORETENTION AREA:

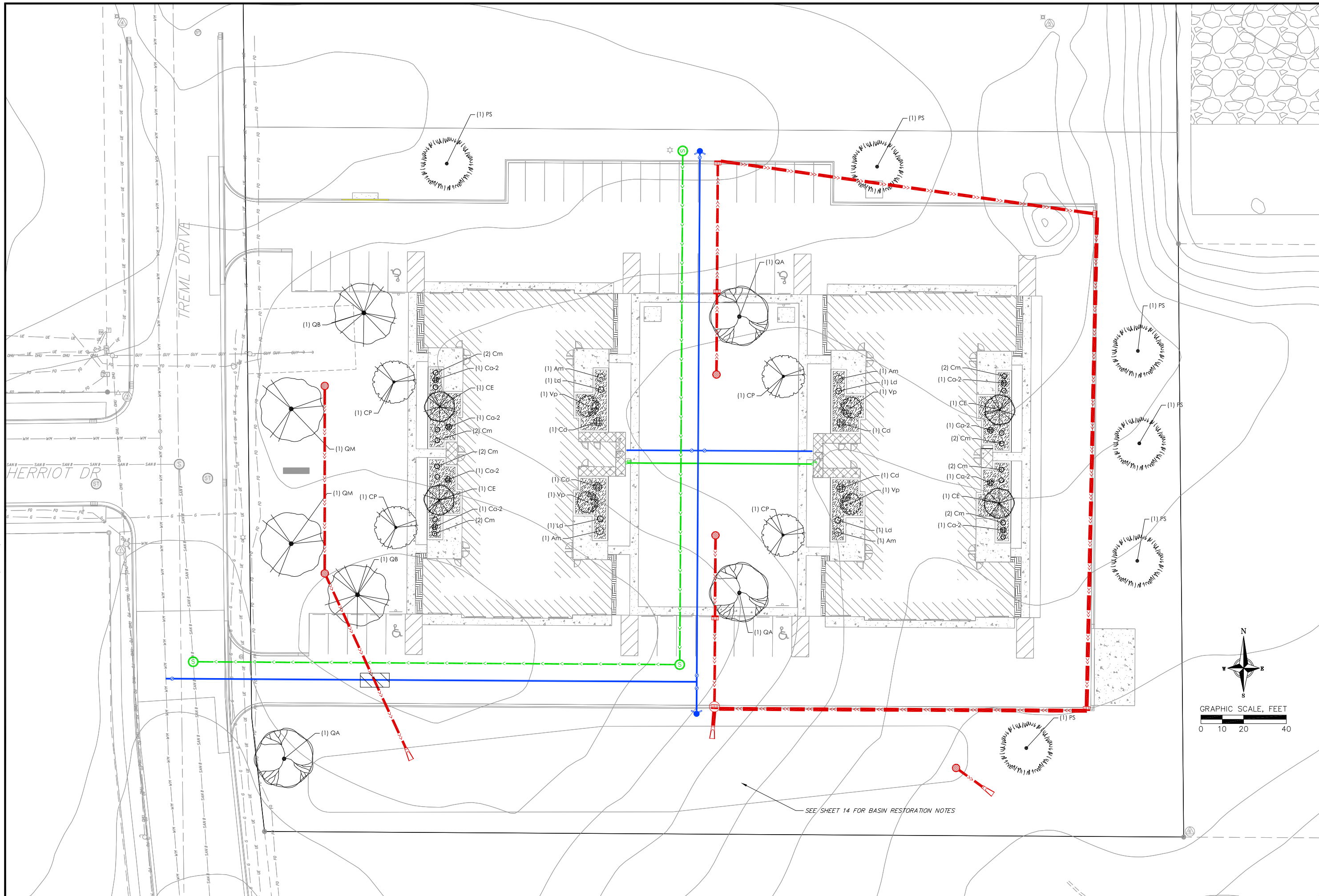
- REFER TO DNR TECHNICAL STANDARD 1004

OUTLET STRUCTURES
36" RISER W/ HAALA GRATE (OR OTHER APPROVED BY DESIGN ENGINEER).
*STRUCTURE MAY CHANGE BASED ON SHOP DRAWINGS PROVIDED BY CONTRACTOR



1 OUTLET STRUCTURE
NOT TO SCALE

NOT FOR CONSTRUCTION



PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DECIDUOUS TREES				
QA	Quercus alba / White Oak	B & B	2.5"Cal	3
QB	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal	2
QM	Quercus macrocarpa / Burr Oak	B & B	2.5"Cal	2
EVERGREEN TREES				
PS	Pinus strobus / White Pine	B & B	6" ht.	6
UNDERSTORY TREES				
CP	Carpinus caroliniana / American Hornbeam	B & B	7" ht.	4
CE	Cercis canadensis / Eastern Redbud Multi-trunk	B & B	2.5"Cal	4
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	4
Cm	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.	16
Cd	Cephalanthus occidentalis / Buttonbush	Cont.	5 Gal.	4
Ca-2	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	Cont.	5 Gal.	8
Ld	Lonicera dioervilla / Honeysuckle	Cont.	3 Gal.	4
Vp	Viburnum prunifolium / Blackhaw Viburnum	B & B	4" ht.	4

CONCEPT PLANT SCHEDULE

	GROUNDCOVER #1	2,620 sf
	Allium cernuum / Nodding Onion	220
	Asclepias tuberosa / Butterfly Milkweed	220
	Carex albicans / White-tinged Sedge	436
	Carex bromoides / Brome-like Sedge	548
	Coreopsis palmata / Stiff Tickseed	220
	Koeleria macrantha / Prairie Junegrass	272
	Sporobolus heterolepis / Prairie Dropseed	820

	STONE BORDER	629 sf
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Pelton - Mauston		6/6/2025	
Frontage			
	Length	Trees required	Points Provided
	330	3	3
Foundation			
	Floor Area	Points Required	
	20545.8	205	208
Parking			
	Parking Stalls	Points Required	
	44	220	300

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

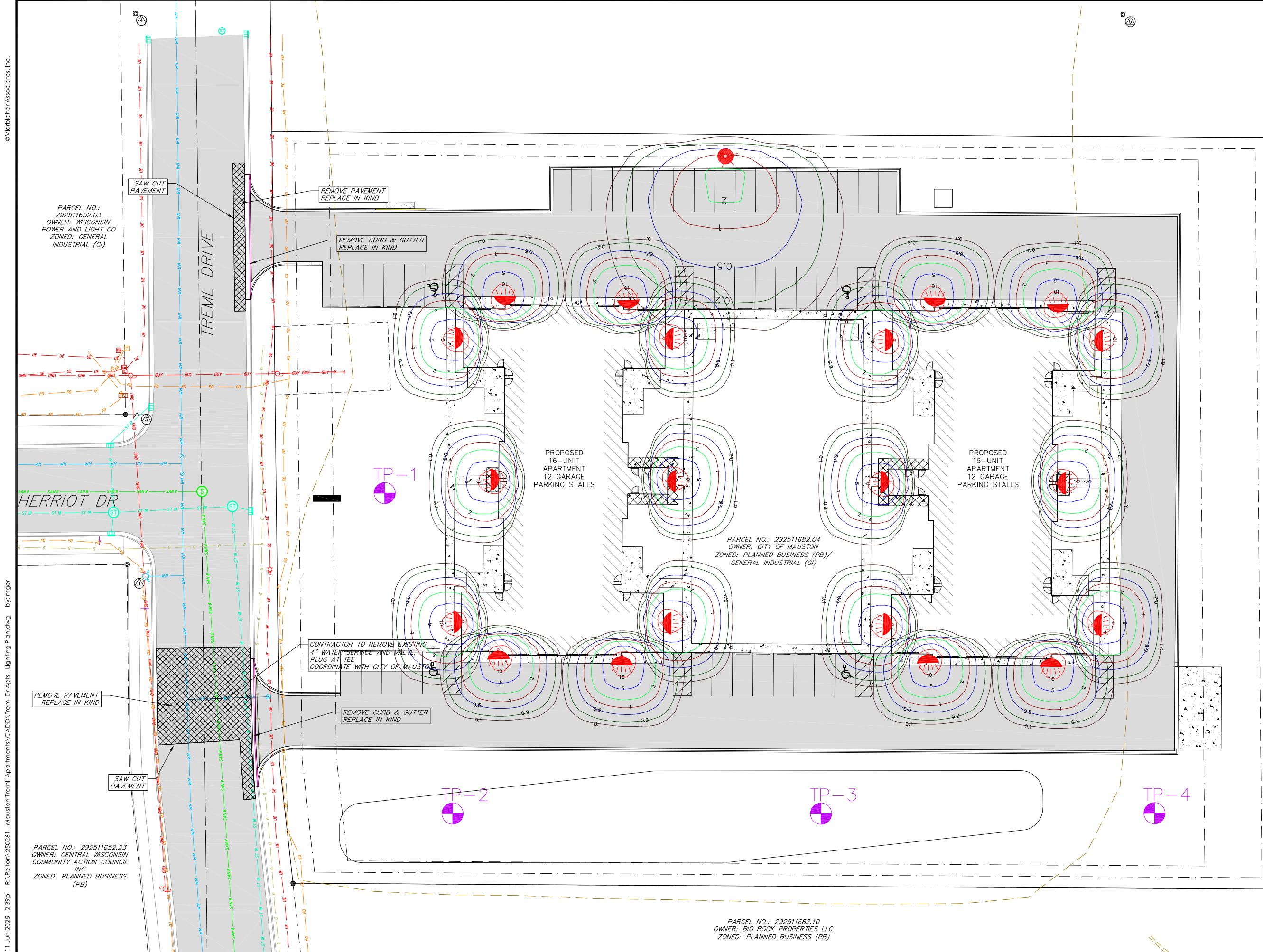
- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE BORDERS IDENTIFIED AS STONE BORDERS ARE TO BE INSTALLED USING 1"-2". WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- LANDSCAPE BEDS, STONE BORDERS, AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/8"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 6" DIAMETER UNDYED SHREDDED HARDWOOD BARK MULCH RING AT A DEPTH OF 3" AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION ACCORDING TO MANUFACTURER SPECIFICATIONS.

SEEDING AND PLUG PLANTING NOTES:

- ALL UNLABELED DISTURBED AREAS AND AREAS SHOWN AS TURF GRASS TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6".) PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
- SEE SHEET 14 FOR ALL BASIN RESTORATION NOTES.
- INSTALL GROUNDCOVERS (GC) AS 2.5" PLUGS OR EQUAL. PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING. PLUG NUMBERS ARE APPROXIMATE BASED ON AREA, CONTRACTOR TO CONFIRM QUANTITIES. QUANTITIES IN SCHEDULE REPRESENT TOTAL PLUGS PER SPECIES FOR ALL GROUNDCOVER AREAS SHOWN, EACH AREA TO RECEIVE A REPRESENTATIVE FRACTION OF PLUGS BASED ON THE SQUARE FOOTAGE OF EACH RESPECTIVE PLANTING LOCATION SPECIFIED. WHERE SHRUBS/TREES ARE SHOWN WITHIN GROUNDCOVER AREAS, SUBSTITUTE SHRUB/TREE FOR PLUG AND SPACE SURROUNDING PLUGS 12" FROM SHRUB/TREE ROOT MASS, PATTERN ACCORDING. WHERE PLANTINGS ABUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS. APPLY 1/2" WATER DAILY FOR 4 WEEKS FOLLOWING INSTALLATION. APPLY AN INITIAL APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND STATE REGULATIONS, REPEAT APPLICATIONS THROUGHOUT ESTABLISHMENT PERIOD PER MANUFACTURER'S RECOMMENDATIONS. APPLY 3" OF SHREDDED HARDWOOD MULCH AT TIME OF PLANTING. SUGGESTED MAINTENANCE INCLUDES MULCH, WEED REMOVAL, AND PRE-EMERGENT HERBICIDE TREATMENTS FOR THE FIRST 5 YEARS. ANNUAL MAINTENANCE IS SUGGESTED TO INCLUDE A CUT BACK TREATMENT DURING THE EARLY SPRING SEASON PRIOR TO PLANT EMERGENCE. - APPLY NON-WOVEN GEOTEXTILE WEED BARRIER FABRIC TO SOIL SURFACE PRIOR TO PLANTING, INCISE GAPS IN FABRIC FOR EACH PLUG

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.



LIGHTING PLAN LEGEND

- PROPOSED WALL PACK LIGHTING
- PROPOSED LIGHT POLE LIGHTING
- 0.5 LUMINAIRE

PARCEL NO.: 292511682.15
OWNER: ADK MAUSTON LLC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511682.34
OWNER: ADK MAUSTON LLC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511652.03
OWNER: WISCONSIN POWER AND LIGHT CO
ZONED: GENERAL INDUSTRIAL (G)

PARCEL NO.: 292511652.23
OWNER: CENTRAL WISCONSIN COMMUNITY ACTION COUNCIL INC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511682.10
OWNER: BIG ROCK PROPERTIES LLC
ZONED: PLANNED BUSINESS (PB)

LIGHTING PLAN

SAWYER RIDGE APARTMENTS

CITY OF MAUSTON

JUNEAU COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

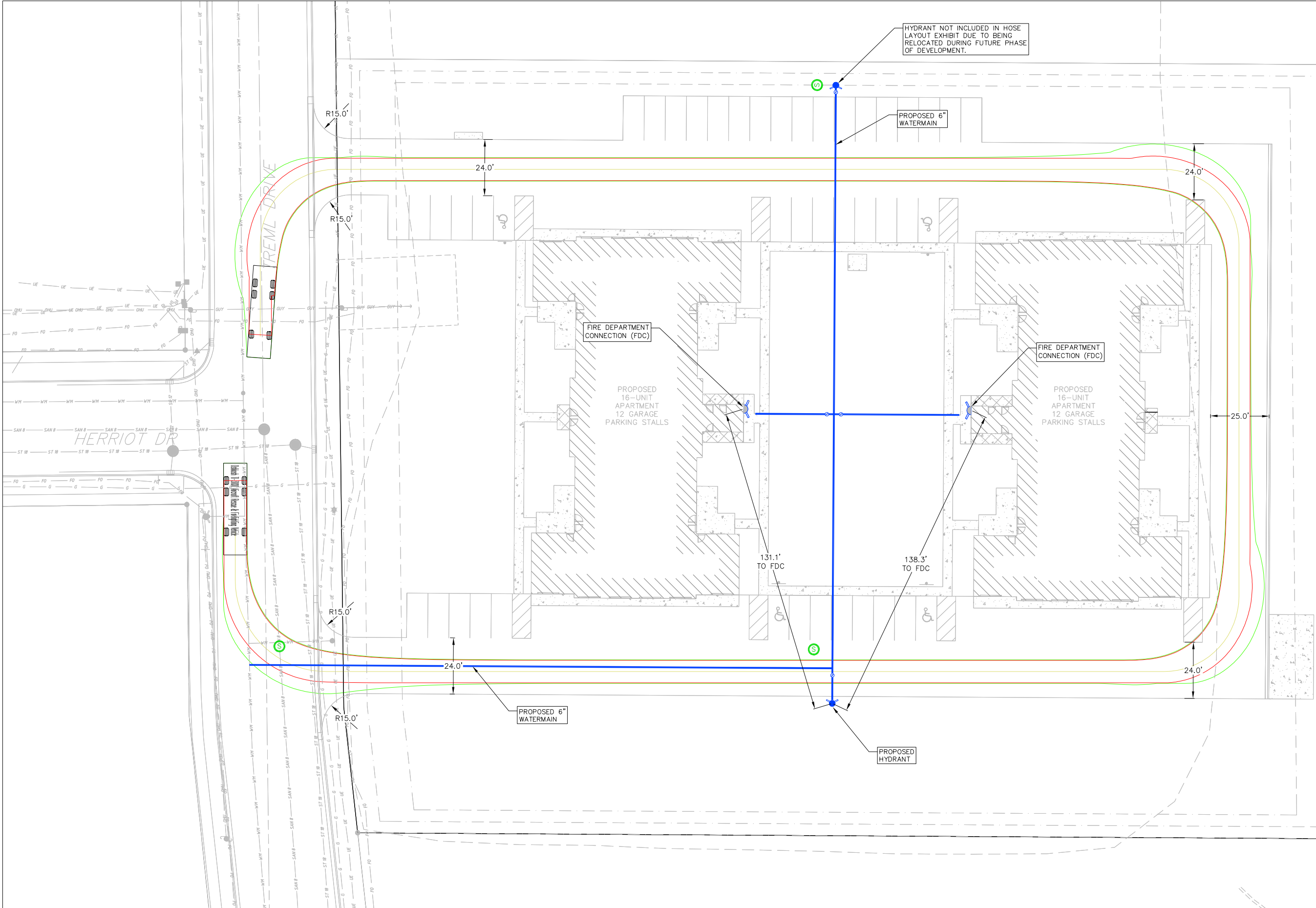
DATE: 2025-06-12

DRAFTER: KFEN

CHECKED: NPFA

PROJECT NO.: 250261

SHEET: 17 OF 17



Oshkosh T1-3000 Aircraft Rescue & Firefighting Vehicle
Overall Length 39.167
Overall Width 10.000
Overall Body Height 11.871
Min Body Ground Clearance 1.614
Track Width 9.583
Lock-to-lock time 4.00s
Wall to Wall Turning Radius 50.033ft

FIRE ACCESS LEGEND

— FIRE TRUCK BODY

— FIRE TRUCK CHASSIS

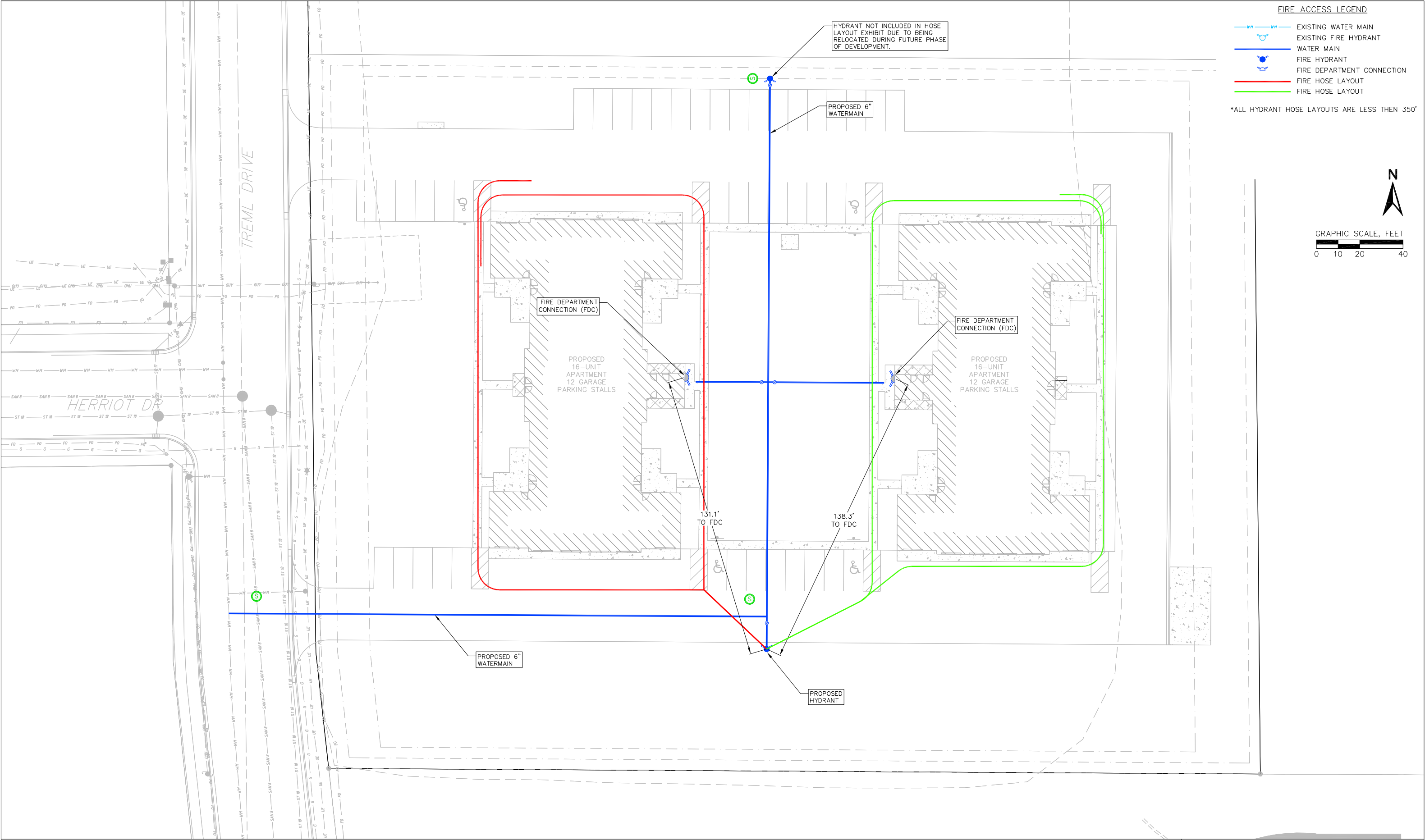
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GRAPHIC SCALE, FEET

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FIRE TRUCK EXHIBIT
MAUSTON TREML APARTMENTS
2025-05-23

vierbicher
planners | engineers | advisors



FIRE HOSE EXHIBIT

MAUSTON TREML APARTMENTS
2025-05-23

vierbicher
planners | engineers | advisors

