

June 12, 2025

Val Nelson
City of Mauston
Zoning Administrator
303 Mansion St
Mauston, WI 53948

RE: Site Plan Approval and Conditional Use Permit
Sawyer Ridge Apartments
City of Mauston, Juneau County, Wisconsin

Val,

On behalf of Pelton Builders, Vierbicher is submitting a Site Plan Approval and Conditional Use Permit Application, enclosed, for parcel 292511682.04. The parcel is located east of the intersection of Trembl Drive and Herriot Drive. See enclosed Location Map.

In its existing condition, the site is undeveloped and being used for row-crop agriculture. In general, runoff drains to the southeast.

The parcel is currently zoned both General Industrial (GI) and Planned Business (PB). See enclosed Zoning Map. The proposed multi-family housing is on the southern area of the parcel that is zoned PB. The parcel will be subdivided via a Certified Survey Map (CSM), enclosed.

Per Article II of Chapter 114-46(b), Non-residential district – Principal Land Uses Table, a 5-16 unit apartment is a Conditional Use of the PB Zoning District. Article IV of Chapter 114-121(g) describes the proposed use. An apartment is a dwelling unit type that consists of several attached family dwelling units which provide access to the dwelling units from a shared entrance or hallway. The proposed use is consistent with this definition.

The proposed development shall comply with all requirements of Article 5 and will not create nuisances.

The exterior building materials are shown on the enclosed Exterior Elevations & Dumpster Enclosure.

The City of Mauston Comprehensive Plan identifies this parcel as Commercial in the Future Land Use Map. The Comprehensive Plan also states in the Housing Goals, Initiatives and Actions section that one action is to provide for a wider variety of dwelling unit types through the conditional use process. The proposed use meets the intent of the Comprehensive Plan.

Proposed improvements of the conditional use include two (2) 16-unit apartment buildings, with associated utilities, parking areas, drives, dumpster enclosure and stormwater management. See the enclosed Site Plan, Sheet 5 of the Construction Plans. These two apartment buildings are projected to increase the number of residents by 48.

Potential future expansion would be proposed to the north with additional apartment buildings, utilities, parking areas drives, etc.

vision to reality

June 12, 2025

Page 2 of 2

Listed below please find the areas that are required to be listed per Checklist 7:

- Total Lot Area = 143,854 SF (3.30 acres)
- Total Dwelling Units = 32 dwelling units
- Maximum Gross Density (MGD): 10 units / 1 acre
- MGD Allowed for the site: 33 units / 3.30 acres
- Actual Site Density: 32 units / 3.30 acres
- Floor Area = 30,644 SF
- Floor Area Ratio = 0.21
- Impervious Surface Area = 66,507 SF
- Impervious Surface Area Ratio = 0.46
- Landscape Surface Area = 14,299 SF
- Landscape Surface Area Ratio = 0.10

Per Chapter 114-45(e)(x), 24 parking stalls are required of each 16-unit building. 48 total parking stalls are required. Per Chapter 114-161(b) and (f)(4), garage parking stalls may be considered parking spaces. The proposed Site Plan provides 64 stalls and 4 handicap stalls, for a total of 68 stalls.

The City of Mauston Fire Department has reviewed the fire truck exhibit and fire hose exhibit (enclosed). The Fire Department provided their approval on May 29, 2025. See the approval email enclosed.

A stormwater management facility has been designed to treat this development. The Stormwater Management Report is enclosed with this letter.

Should you have any questions or need additional information, please contact me at mger@vierbicher.com or 608-402-6368.

Sincerely,



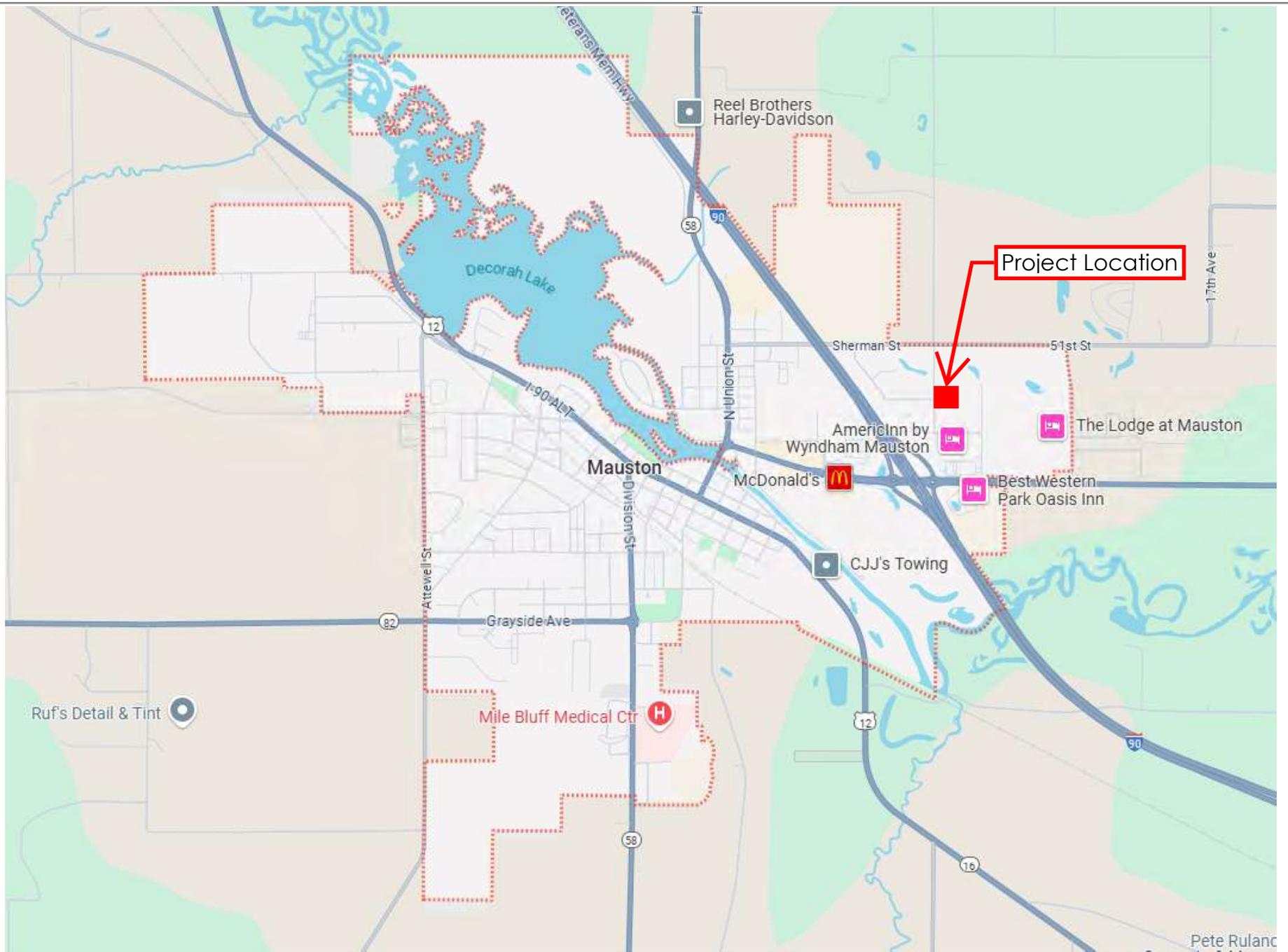
Michala Gerads

Enclosures:

- (1) Chapter 114 Zoning Application Form
- (2) Checklist 4 – Zoning Permit for Conditional Uses
- (3) Checklist 7 – Site Plan Review and Approval
- (4) Location Map
- (5) Zoning Map
- (6) Exterior Elevations & Dumpster Enclosure
- (7) Certified Survey Map
- (8) Sawyer Ridge Apartments – Civil Plans
- (9) Fire Department Exhibits
- (10) Fire Department Approval
- (11) Stormwater Management Report

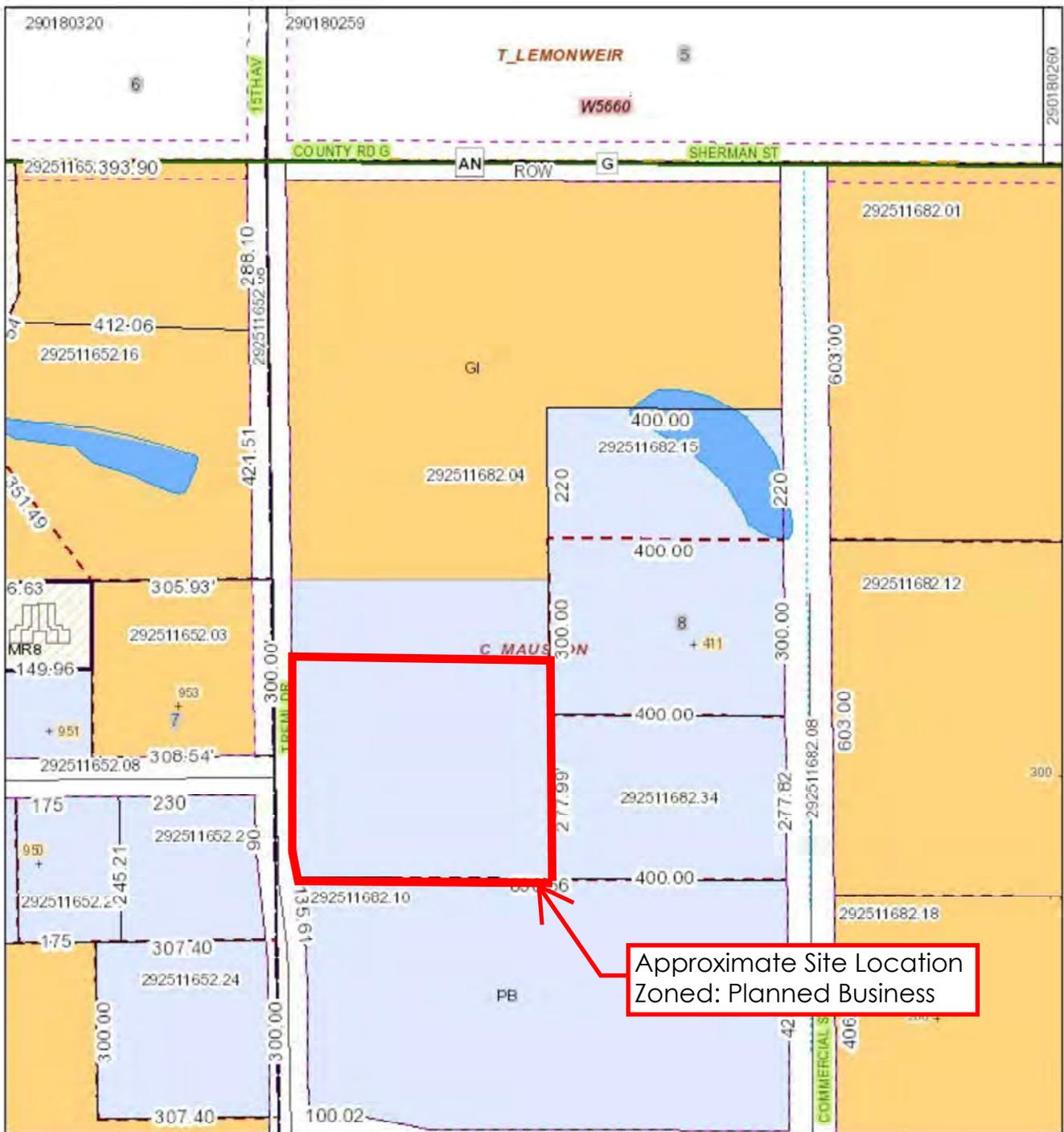
cc:

Luke Pelton, Pelton Builders
Devin Coyle, Pelton Builders
Neil Pfaff, Vierbicher



Location Map
Sawyer Ridge Apartments
City of Mauston, Juneau County, Wisconsin

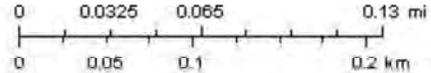




5/14/2025, 11:02:48 AM

1:3,975

- Railroads
- ROW
- Lot Lines
- Meander Lines
- Minor Civil Divisions
- Sections
- Streams
- Lakes Rivers
- Major Roads**
- County Road
- State Road
- US Highway
- Interstate
- Local Roads
- Dimensions**
- Address Points
- City & Village Address Points
- Parcels
- Subdivisions
- Survey Lines



DISCLAIMER: The maps, locations, bearings, and measurements depicted on this map are provided as a service to assist property owners and users. However, this information is not guaranteed to be accurate and shall not be used in lieu of a properly conducted survey of the property. Juneau County assumes no liability for the accuracy of the map and information. You are on notice that you should report any errors noted to Juneau County immediately. CONTACT THE JUNEAU COUNTY LAND INFORMATION OFFICE WITH ANY QUESTIONS OR PROBLEMS. (907) 847-9446/(907) 847-9457. Juneau Co. WI Juneau County, WI

Zoning Map
 Sawyer Ridge Apartments
 City of Mauston, Juneau County, Wisconsin

vierbicher
 planners | engineers | advisors



On building lighting fixture example – Treml Dr Apts



Building Signage – Treml Dr Apts

Size proposed: 12” x 24” or 16” x 36”



Unit Numbering example – Treml Dr Apts











PLANNED BUSINESS ZONING (PB)

NOTE: A 5 - 16 UNIT APARTMENT IS A CONDITIONAL USE OF PB ZONING DISTRICT.

SETBACK REQUIREMENTS (SECTION 114-46(e))
 MIN. STREET FRONTAGE: 50 FEET
 MAX. BUILDING HEIGHT: 45 FEET
 FRONT SETBACK TO PRINCIPAL BUILDING: 25 FEET
 SIDE SETBACK TO PRINCIPAL BUILDING: 10 FEET
 REAR SETBACK TO PRINCIPAL BUILDING: 30 FEET

PARKING REQUIREMENTS (SECTION 114-45(e)(X))
 2.5 SPACES PER 3 BEDROOM
 2 SPACES PER 2 BEDROOM
 1 SPACE PER 1 BEDROOM

ONE 16-UNIT APARTMENT BUILDING:
 8 - 2 BEDROOM UNITS
 4 - 1 BEDROOM UNITS
 4 - STUDIO UNITS

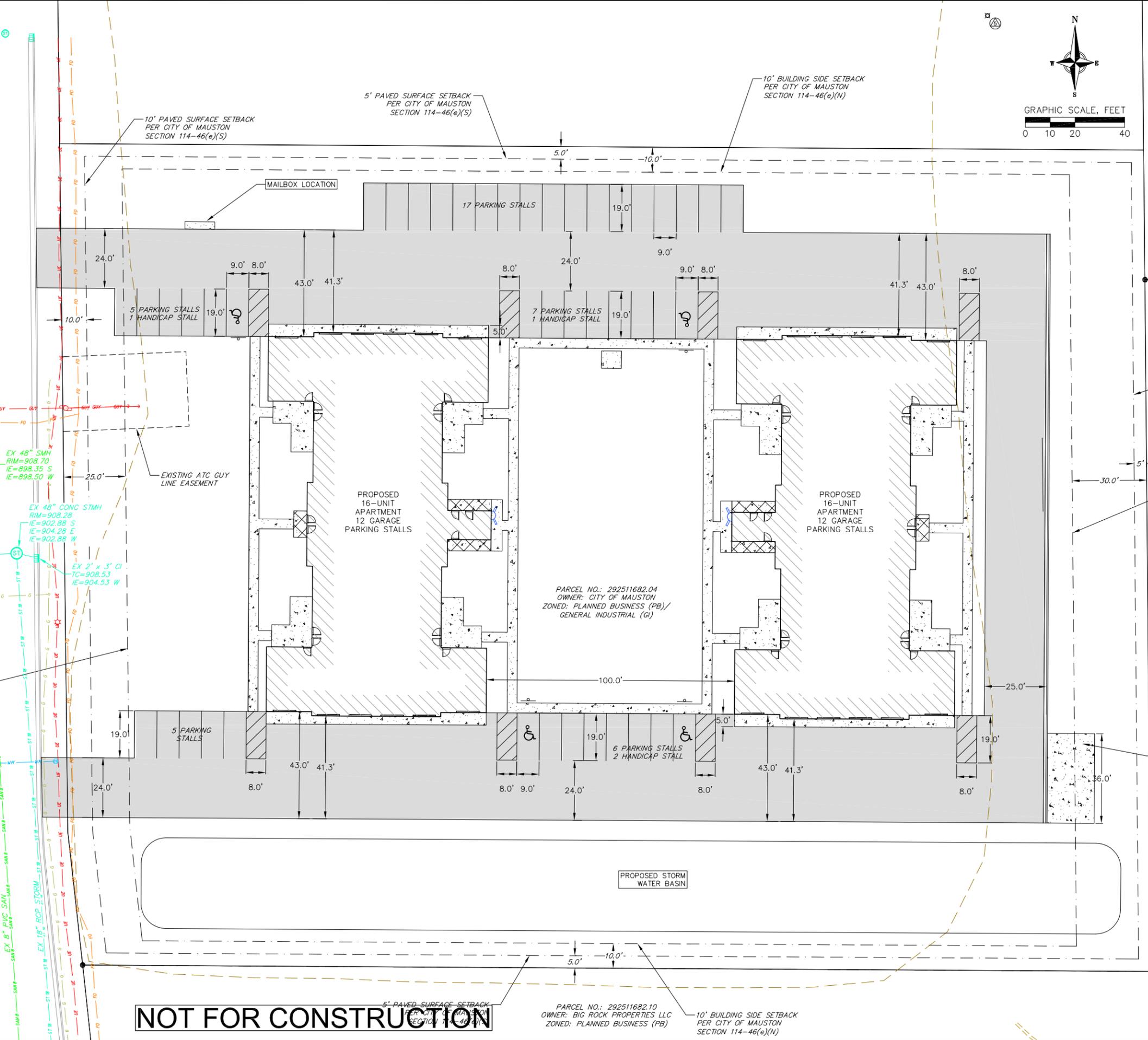
24 PARKING STALLS ARE REQUIRED FOR EACH 16-UNIT BUILDING.

PER SECTION 114-161(b) AND (f)(4) GARAGE STALLS MAY BE CONSIDERED PARKING SPACES.

12 UNDER GROUND GARAGE STALLS ARE PROVIDED FOR EACH 16-UNIT BUILDING.

64 STALLS PROVIDED
 4 HANDICAP STALLS PROVIDED
 68 TOTAL STALLS PROVIDED

23 May 2025 - 7:43g R:\Pelton\250261 - Mauston Tremil Apartments\CADD\Tremil Dr Apts - Site Plan.dwg by: kfen



Parcel Information:

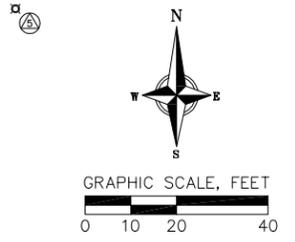
- Parcel No.: 292511682.15
Owner: ADK MAUSTON LLC
Zoned: PLANNED BUSINESS (PB)
- Parcel No.: 292511682.04
Owner: CITY OF MAUSTON
Zoned: PLANNED BUSINESS (PB)/GENERAL INDUSTRIAL (GI)
- Parcel No.: 292511682.34
Owner: ADK MAUSTON LLC
Zoned: PLANNED BUSINESS (PB)
- Parcel No.: 292511682.10
Owner: BIG ROCK PROPERTIES LLC
Zoned: PLANNED BUSINESS (PB)

Setback Callouts:

- 10' PAVED SURFACE SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(S)
- 5' PAVED SURFACE SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(S)
- 10' BUILDING SIDE SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(N)
- 25' BUILDING FRONT SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(L)
- 30' BUILDING REAR SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(P)
- 5' PAVED SURFACE SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(S)
- 10' BUILDING SIDE SETBACK PER CITY OF MAUSTON SECTION 114-46(e)(N)

Other Features:

- MAILBOX LOCATION
- EXISTING ATC GUY LINE EASEMENT
- PROPOSED STORM WATER BASIN
- DUMPSTER ENCLOSURE



NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors

SITE PLAN
 MAUSTON TREMIL APARTMENTS
 CITY OF MAUSTON
 JUNEAU COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 2025-05-22
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
 SHEET: 5 OF X

KENNETH F. LEE, P.E.
 9818 TIMBER CREEK COURT
 EAU CLAIRE, WI 54701
 PHONE: (808) 416-9081
 EMAIL: KENNETH.F.LEE@PRIMAL.COM

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A
A107 WEST AND EAST ELEVATION
 SCALE 3/16" = 1'-0"



C
A107 PORCH ELEVATION
 SCALE 3/16" = 1'-0"



UNIT SHOWN
B
A107 SOUTH ELEVATION
 SCALE 3/16" = 1'-0"



D
A107 MECH. ROOM ELEVATION
 SCALE 3/16" = 1'-0"

REVISIONS

DATE	REV	DESCRIPTION

STATUS:
PROGRESS SET
 (NOT FOR CONSTRUCTION)

ISSUED DATE: 4-4-25
 DRAWN BY: RFL
 CHECKED BY: ---

PROJECT:
 SAWYER RIDGE
 TREML DRIVE
 MAUSTON, WI 53948

DESCRIPTION:
 BLDG. 1&2: 16 UNIT APARTMENT COMPLEX
 WITH PARKING GARAGE

PROJECT NO.:
 03-25-0102

SHEET:
A107



Exterior Dumpster Enclosure



Interior Dumpster Enclosure

SAWYER RIDGE APARTMENTS

PELTON BUILDERS
CITY OF MAUSTON - JUNEAU COUNTY



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PROJECT LOCATION



SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS
4	DEMOLITION PLAN
5	SITE PLAN
6	UTILITY PLAN
7	GRADING & EROSION CONTROL
8	EROSION CONTROL DETAILS
9	SITE DETAILS
10-11	SITE & WATER DETAILS
12	SANITARY DETAILS
13	STORM DETAILS
14	STORMWATER BASIN DETAILS
15	LANDSCAPE PLAN
16	LANDSCAPE NOTES
17	LIGHTING PLAN

SITE BENCHMARKS AND CONTROL

- | | | | |
|---|--|---|--|
| ① | TOP NUT HYDRANT
NORTHING: 158174.6080
EASTING: 468431.4260
ELEV = 910.680 | ④ | ROD
NORTHING: 158421.7660
EASTING: 468427.1070
ELEV = 905.823 |
| ② | PK NAIL
NORTHING: 158000.3380
EASTING: 468436.3970
ELEV = 904.314 | ⑤ | ROD
NORTHING: 158421.3710
EASTING: 468860.7620
ELEV = 906.005 |
| ③ | PK NAIL
NORTHING: 158245.1890
EASTING: 468427.6790
ELEV = 908.869 | ⑥ | ROD
NORTHING: 158037.2360
EASTING: 468926.6830
ELEV = 896.208 |



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

NOT FOR CONSTRUCTION

ISSUED DATE: 06/12/2025

TITLE SHEET

SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

REVISIONS		REMARKS
NO.	DATE	

DATE	2025-06-12
DRAFTER	KFEN
CHECKED	NPFA
PROJECT NO.	250261
SHEET	1 OF 17

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING FLAG POLE
EXISTING MAILBOX
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING PARKING METER
EXISTING CURB INLET
EXISTING ENDWALL
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING STORM MANHOLE RECTANGULAR
EXISTING STORM TRACER WIRE BOX
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING SEPTIC VENT
EXISTING SANITARY TRACER WIRE BOX
EXISTING FIRE HYDRANT
EXISTING FIRE DEPARTMENT CONNECTION
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING WELL
EXISTING WATER MANHOLE
EXISTING WATER TRACER WIRE BOX
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING GUY POLE
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TV MANHOLE
EXISTING TV RECTANGULAR MANHOLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING UNIDENTIFIED MANHOLE
EXISTING UNIDENTIFIED UTILITY VAULT
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE
EXISTING TREE STUMP
EXISTING BORING
EXISTING ADA DETECTABLE WARNING FIELD

SURVEY LEGEND

- BENCHMARK
FOUND CHISELED "X"
PUBLIC LAND CORNER AS NOTED
FOUND NAIL
FOUND 1" Ø IRON PIPE
FOUND 2" Ø IRON PIPE
FOUND ___" Ø IRON PIPE
FOUND P.K. NAIL
FOUND 1-1/4" Ø IRON ROD
FOUND 3/4" Ø IRON ROD
FOUND ___" Ø IRON ROD
FOUND RAILROAD SPIKE
SET CHISELED "X"
SET NAIL
SET P.K. NAIL
SET 1-1/4" X 18" SOLID IRON RE-ROD, MIN. WT. 4.30 LBS./FT.
SET 3/4" X 18" SOLID IRON RE-ROD, MIN. WT. 1.50 LBS./FT.
SET RAILROAD SPIKE
SET 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT
SET 2.38" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 3.65 LBS/LIN FT
GENERAL CONTROL POINT

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING OVERHEAD CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING OVERHEAD TELEPHONE LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GENERAL FENCE
EXISTING WIRE FENCE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING GUY LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY FORCE MAIN (SIZE NOTED)
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING WETLAND DELINEATION
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL
EXISTING WETLANDS
EXISTING GRAVEL SURFACE
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE
CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED BUILDING
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE

PROPOSED PIPE INSULATION

- GAS MAIN
ELECTRIC SERVICE

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

- STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

- STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

ABBREVIATIONS

- TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

GENERAL NOTES:

INSTALL A 50'L x 20'W x 1.5'D ANTI TRACKING PAD AT THE ENTRANCE TO THE PROJECT. ANTI TRACKING PAD SHALL BE REPLACED AS NECESSARY TO ACCOMMODATE UTILITY CONSTRUCTION. NO CONSTRUCTION TRAFFIC ON EXISTING PARKING LOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING LOT RESULTING FROM CONSTRUCTION TRAFFIC.

ELEVATIONS ON PLAN ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB AND GUTTER AND BASE COURSE HAVE BEEN INSTALLED.

THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. REPORTS SHALL BE SUBMITTED TO ENGINEER WEEKLY.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING ORDER OF ANY SUCH ITEM

R.O.W. AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.

EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED.

COST OF COORDINATION SHALL BE INCIDENTAL TO CONSTRUCTION, INCLUDING ANY SCHEDULING CONFLICTS CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF MAUSTON, WDNR, WIDOT AND LOCAL AUTHORITIES. COST OF COOPERATION AND COORDINATION SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION FOR TIME EXTENSION AND NO EXTRA COST TO THE OWNER.

WHEN THE CONTRACT USES LUMP SUM PAYMENT FOR EXCAVATION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE QUANTITY TO THEIR SATISFACTION PRIOR TO BIDDING. NO ADDITIONAL PAYMENT WILL BE MADE FOR COMMON EXCAVATION BID AS A LUMP SUM

CONTRACTOR SHALL FURNISH A MEANS OF FLUSHING AND TESTING WATER LATERAL, INCIDENTAL TO WATERMAIN PRICING.

LANDOWNER:

NAME: CITY OF MAUSTON
ADDRESS: 303 MANSION ST
MAUSTON, WI 53948
PHONE: 608-847-4070
FAX: 608-847-5023
EMAIL: VALNELSON@MAUSTON.COM

DEVELOPER:

NAME: DEVIN COYLE (PELTON BUILDERS)
ADDRESS: S1930 GLEN VALLEY DRIVE
REEDSBURG, WI 53959
PHONE: 608-445-6715
EMAIL: DEVIN@PELTONBUILDERS.COM

ENGINEER:

NAME: NEIL PFAFF, PE (VIERBICHER)
ADDRESS: 201 E MAIN ST., SUITE 100
REEDSBURG, WI 53959
PHONE: 608-524-6468
EMAIL: NPFA@VIERBICHER.COM

AGENCIES:

EMERGENCY - FIRE, RESCUE, AMBULANCE, POLICE DIAL 911

CITY OF MAUSTON FIRE DEPARTMENT
432 HICKORY ST
MAUSTON, WI 53948
(608) 847-5475 (NON-EMERGENCY)

CITY OF MAUSTON POLICE DEPARTMENT
303 MANSION ST
MAUSTON, WI 53948
(608) 847-6368 (NON-EMERGENCY)

UTILITIES:

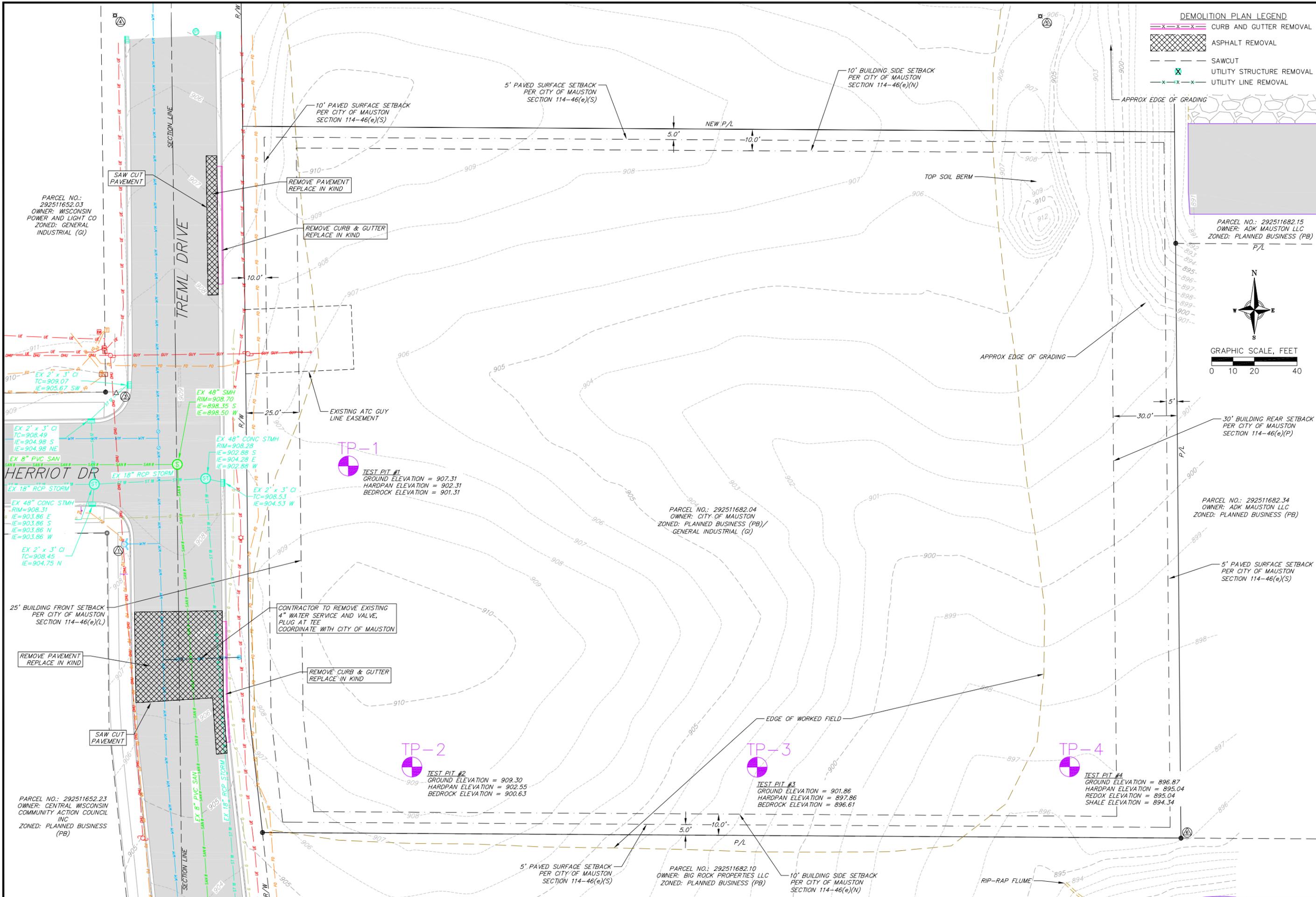
CITY OF MAUSTON PUBLIC WORKS
1260 NORTH RD
MAUSTON, WI 53948
(608) 847-4070

CITY OF MAUSTON WATER UTILITIES
303 MANSION ST
MAUSTON, WI 53948
(608) 847-4070



GENERAL NOTES
SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

Table with columns for REVISIONS, NO., DATE, and REMARKS. Includes draft date 2025-06-12 and drafter KFEN.



DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

GRAPHIC SCALE, FEET

0 10 20 40

vierbicher
planners | engineers | advisors

DEMOLITION PLAN
SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 2025-06-12
DRAFTER: KFEN
CHECKED: NPFA
PROJECT NO.: 250261
SHEET: 4 OF 17

PARCEL NO.: 292511652.03
OWNER: WISCONSIN POWER AND LIGHT CO
ZONED: GENERAL INDUSTRIAL (G)

PARCEL NO.: 292511682.15
OWNER: ADK MAUSTON LLC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511682.04
OWNER: CITY OF MAUSTON
ZONED: PLANNED BUSINESS (PB)/GENERAL INDUSTRIAL (G)

PARCEL NO.: 292511682.34
OWNER: ADK MAUSTON LLC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511652.23
OWNER: CENTRAL WISCONSIN COMMUNITY ACTION COUNCIL INC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511682.10
OWNER: BIG ROCK PROPERTIES LLC
ZONED: PLANNED BUSINESS (PB)

TP-1
TEST PIT #1
GROUND ELEVATION = 907.31
HARDPAN ELEVATION = 902.31
BEDROCK ELEVATION = 901.31

TP-2
TEST PIT #2
GROUND ELEVATION = 909.30
HARDPAN ELEVATION = 902.55
BEDROCK ELEVATION = 900.63

TP-3
TEST PIT #3
GROUND ELEVATION = 901.86
HARDPAN ELEVATION = 897.86
BEDROCK ELEVATION = 896.61

TP-4
TEST PIT #4
GROUND ELEVATION = 896.87
HARDPAN ELEVATION = 895.04
REDOX ELEVATION = 895.04
SHALE ELEVATION = 894.34

11 Jun 2025 - 2:37p R:\Pelion\250261 - Mauston Tremil Apartments\CADD\Tremil Dr. Apts - Site Plan.dwg By: mger

PLANNED BUSINESS ZONING (PB)

NOTE: A 5 - 16 UNIT APARTMENT IS A CONDITIONAL USE OF PB ZONING DISTRICT.

SETBACK REQUIREMENTS (SECTION 114-46(e))
MIN. STREET FRONTAGE: 50 FEET
MAX. BUILDING HEIGHT: 45 FEET
FRONT SETBACK TO PRINCIPAL BUILDING: 25 FEET
SIDE SETBACK TO PRINCIPAL BUILDING: 10 FEET
REAR SETBACK TO PRINCIPAL BUILDING: 30 FEET

PARKING REQUIREMENTS (SECTION 114-45(e)(X))
2.5 SPACES PER 3 BEDROOM
2 SPACES PER 2 BEDROOM
1 SPACE PER 1 BEDROOM

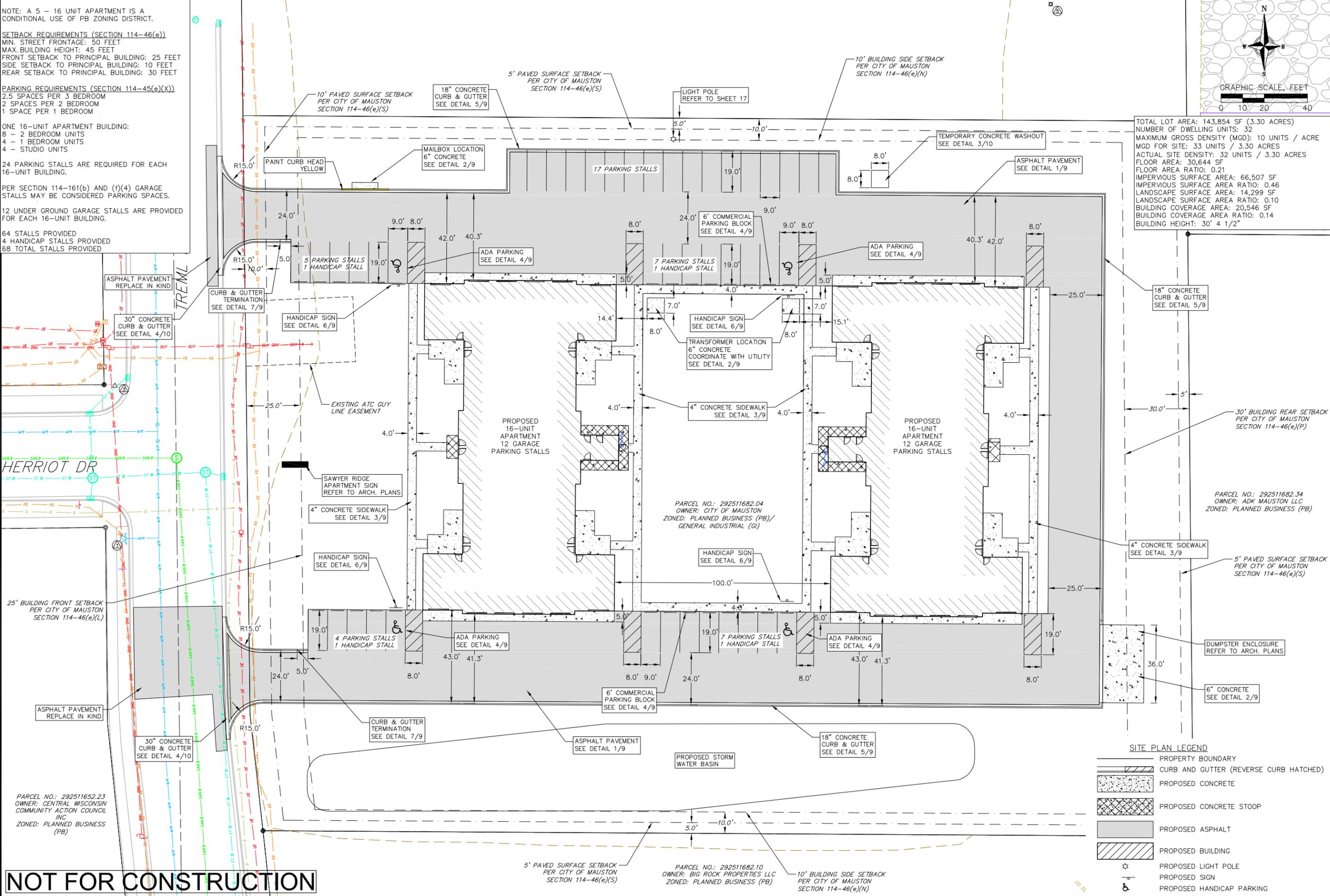
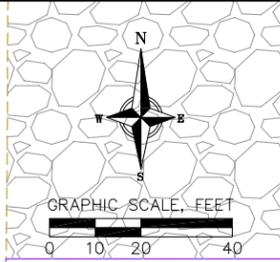
ONE 16-UNIT APARTMENT BUILDING:
8 - 2 BEDROOM UNITS
4 - 1 BEDROOM UNITS
4 - STUDIO UNITS

24 PARKING STALLS ARE REQUIRED FOR EACH 16-UNIT BUILDING.

PER SECTION 114-161(b) AND (f)(4) GARAGE STALLS MAY BE CONSIDERED PARKING SPACES.

12 UNDER GROUND GARAGE STALLS ARE PROVIDED FOR EACH 16-UNIT BUILDING.

64 STALLS PROVIDED
4 HANDICAP STALLS PROVIDED
68 TOTAL STALLS PROVIDED



TOTAL LOT AREA: 143,854 SF (3.30 ACRES)
NUMBER OF DWELLING UNITS: 32
MAXIMUM GROSS DENSITY (MGD): 10 UNITS / ACRE
MGD FOR SITE: 33 UNITS / 3.30 ACRES
ACTUAL SITE DENSITY: 32 UNITS / 3.30 ACRES
FLOOR AREA: 30,644 SF
FLOOR AREA RATIO: 0.21
IMPERVIOUS SURFACE AREA: 66,507 SF
IMPERVIOUS SURFACE AREA RATIO: 0.46
LANDSCAPE SURFACE AREA: 14,299 SF
LANDSCAPE SURFACE AREA RATIO: 0.10
BUILDING COVERAGE AREA: 20,546 SF
BUILDING COVERAGE AREA RATIO: 0.14
BUILDING HEIGHT: 30' 4 1/2"

PARCEL NO.: 292511682.04
OWNER: CITY OF MAUSTON
ZONED: PLANNED BUSINESS (PB)/
GENERAL INDUSTRIAL (G)

PARCEL NO.: 292511682.34
OWNER: ADK MAUSTON LLC
ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511652.23
OWNER: CENTRAL WISCONSIN
COMMUNITY ACTION COUNCIL
INC
ZONED: PLANNED BUSINESS
(PB)

NOT FOR CONSTRUCTION

SITE PLAN LEGEND

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED CONCRETE STOOP
	PROPOSED ASPHALT
	PROPOSED BUILDING
	PROPOSED LIGHT POLE
	PROPOSED SIGN
	PROPOSED HANDICAP PARKING

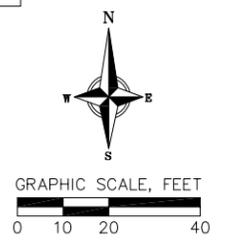
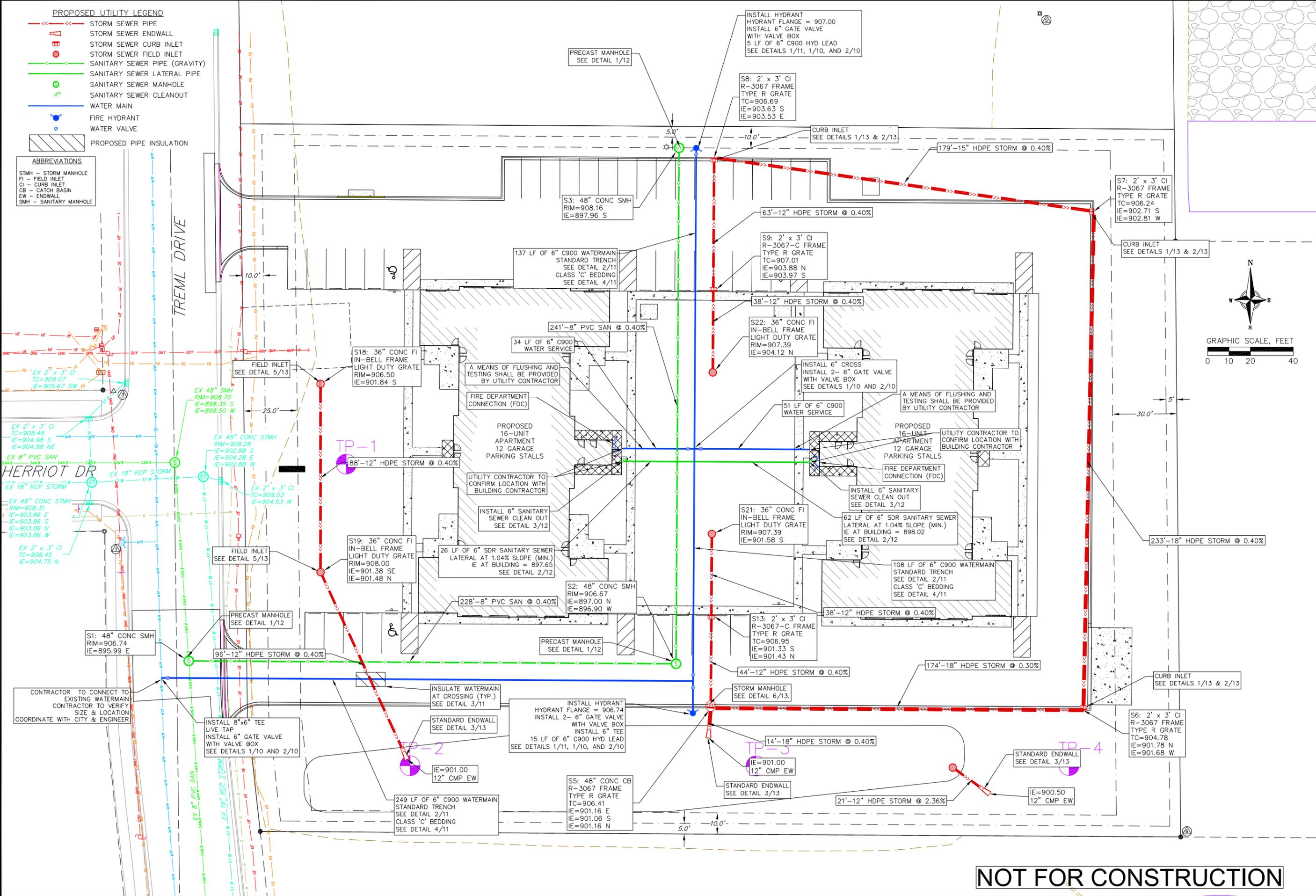
SITE PLAN
SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS

DATE	2025-06-12
DRAFTER	KFEN
CHECKED	NPFA
PROJECT NO.	250261
SHEET	5 OF 17

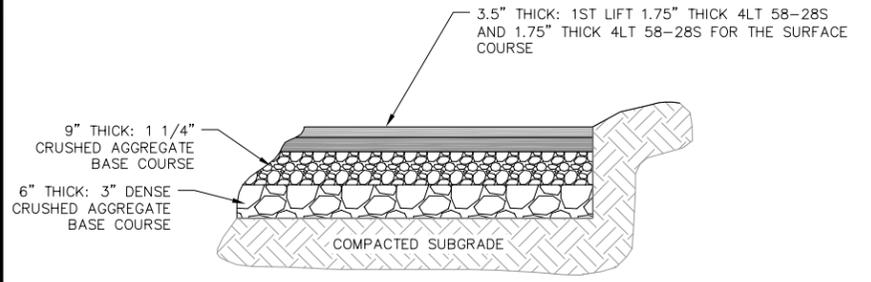
REVISIONS		NO.	DATE	REMARKS

DATE	2025-06-12
DRAFTER	KFEN
CHECKED	NPFA
PROJECT NO.	250261
SHEET	6 OF 17

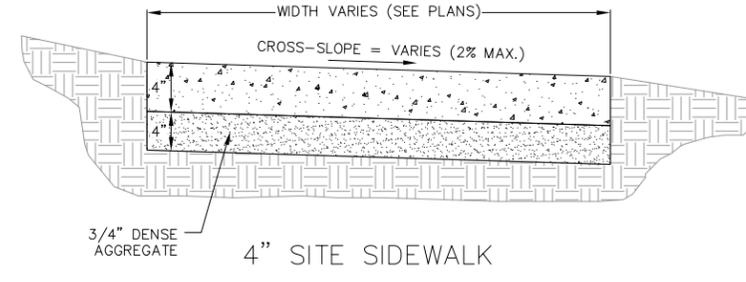


NOT FOR CONSTRUCTION

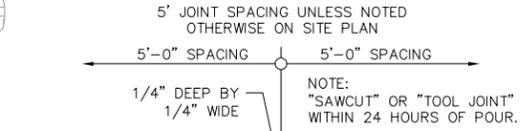
11 Jun 2025 - 2:37p R:\Pelton\250261 - Mauston Tremil Apartments\CADD\Tremil Dr. Apts - Title Sheet & Details.dwg By: mgr



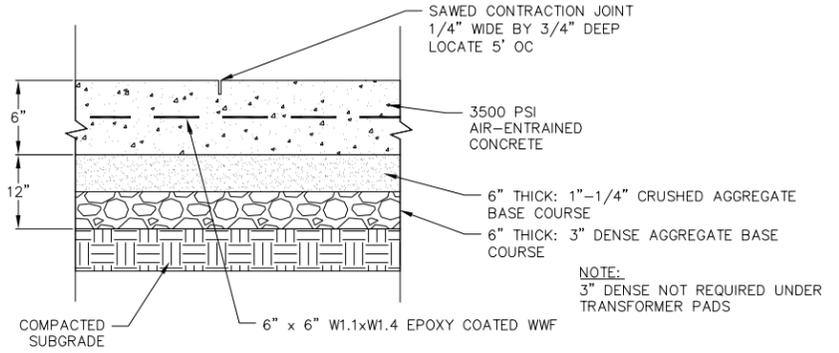
1 SITE PAVEMENT SECTION
9 NOT TO SCALE



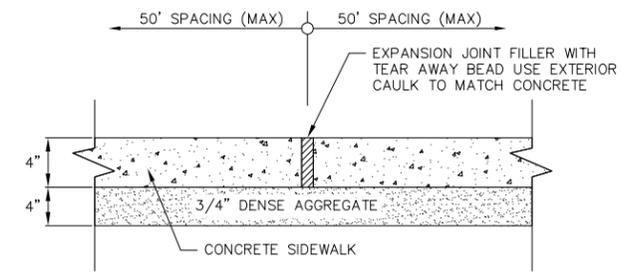
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SIDEWALK CONTROL JOINT

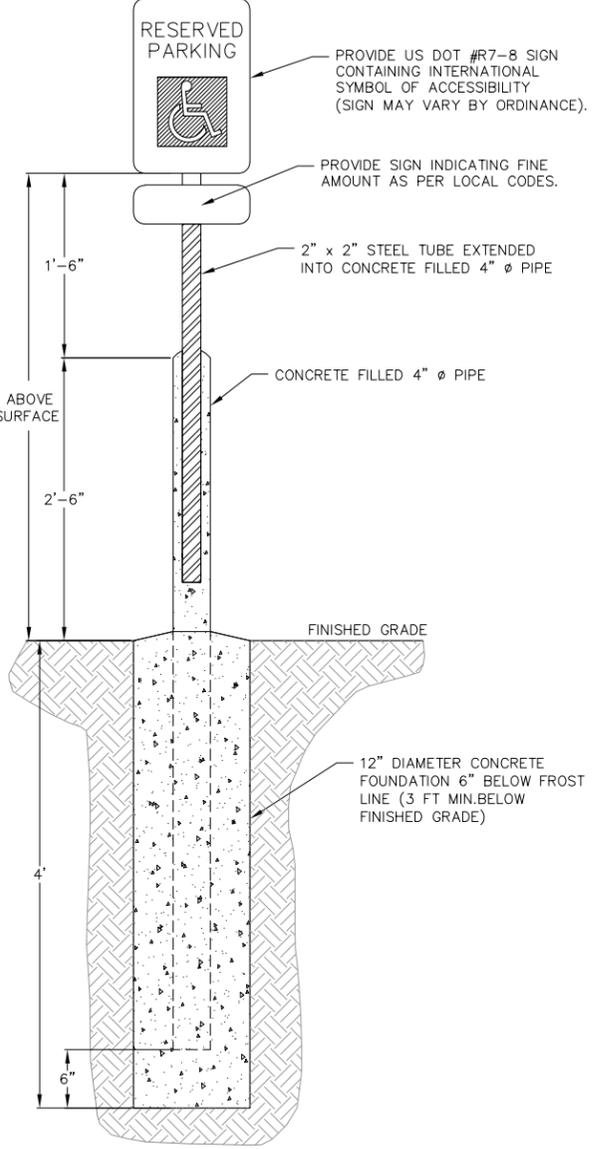


2 6\"/>

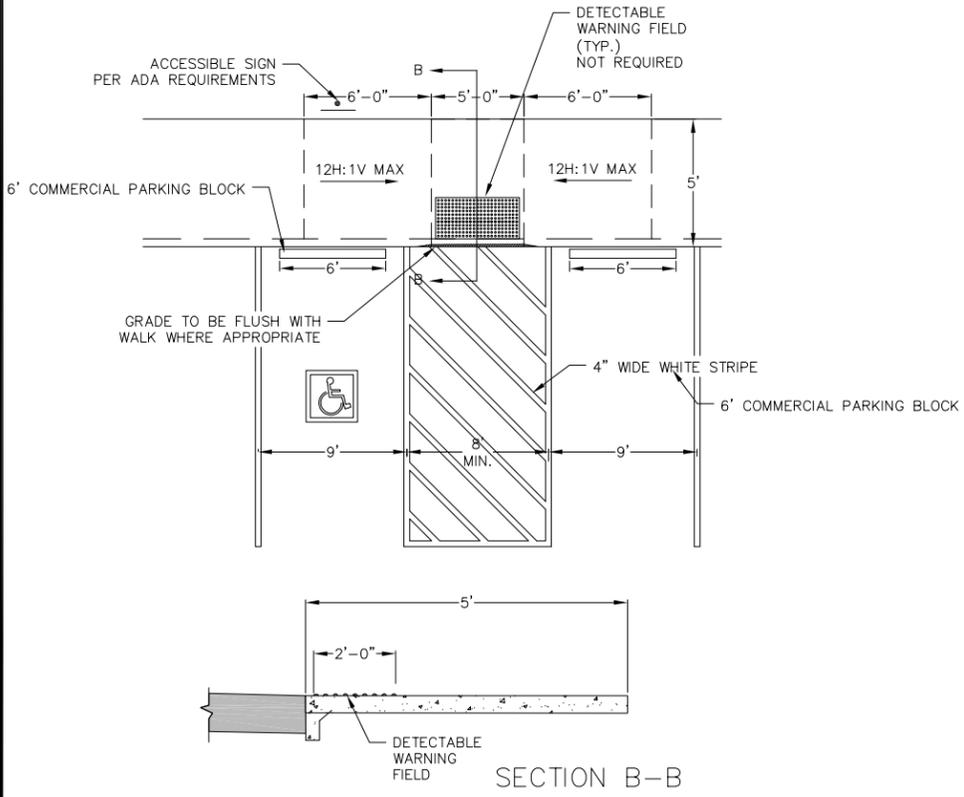


SIDEWALK EXPANSION JOINT

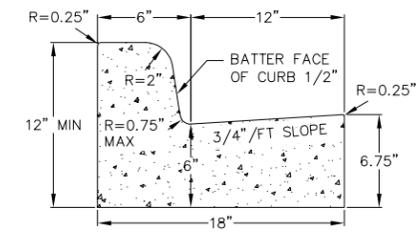
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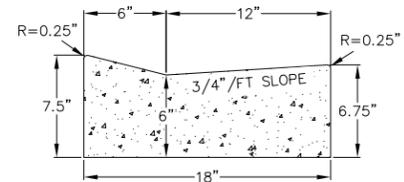
6 HANDICAP SIGN DETAIL
9 NOT TO SCALE



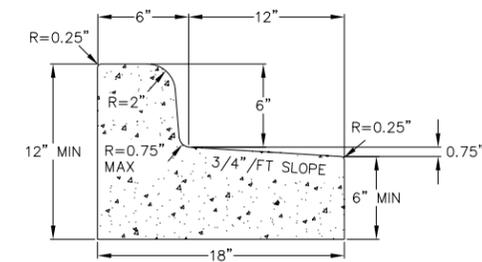
4 ADA PARKING CURB RAMP
9 NOT TO SCALE



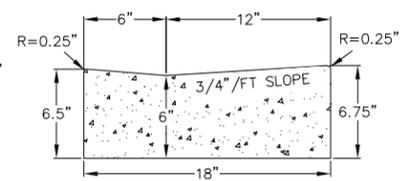
CURB AND GUTTER CROSS SECTION



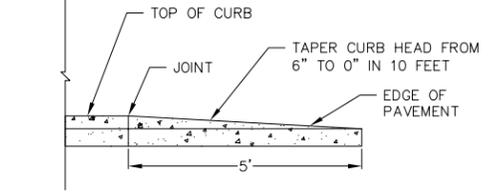
DRIVEWAY GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION



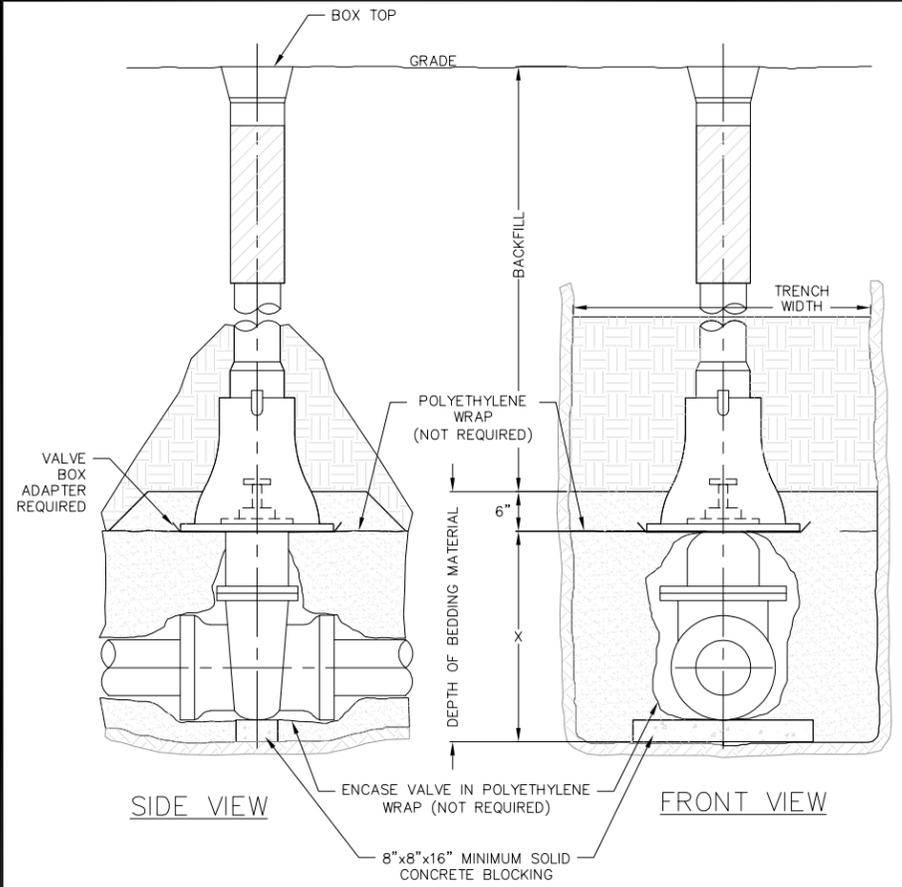
7 CURB & GUTTER TERMINATION
9 NOT TO SCALE

5 18\"/>

REVISIONS	NO.	DATE	REMARKS

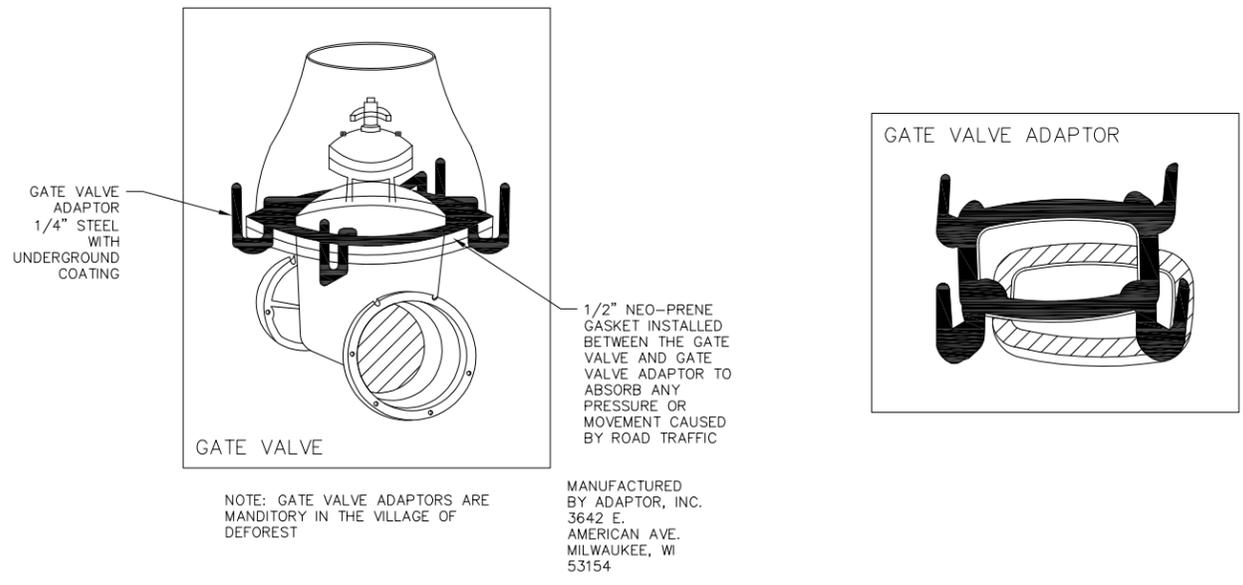
DATE: 2025-06-12
DRAFTER: KFEN
CHECKED: NPFA
PROJECT NO.: 250261
SHEET: 9 OF 17

11 Jun 2025 - 2:37p R:\Pelion\250261 - Mauston Tremi Apartments\CADD\Tremi Dr. Apts - Title Sheet & Details.dwg by: mgr

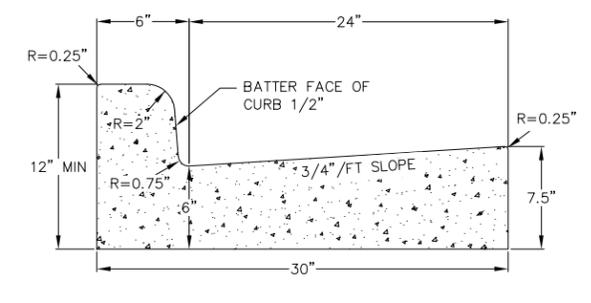


PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

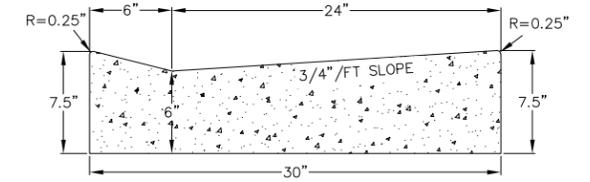
1 STANDARD GATE VALVE BOX SETTING
10 NOT TO SCALE



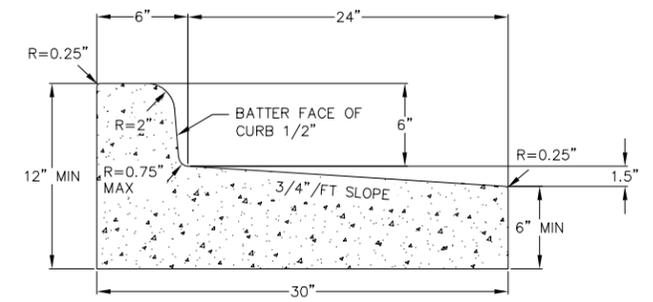
2 GATE VALVE AND GATE VALVE ADAPTOR
10 NOT TO SCALE



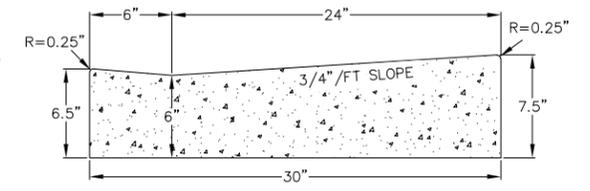
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION

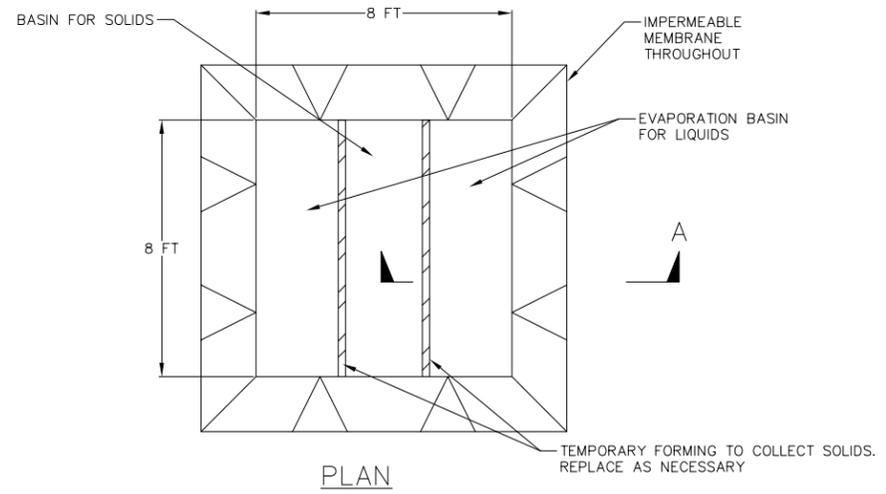


CURB AND GUTTER REJECT SECTION

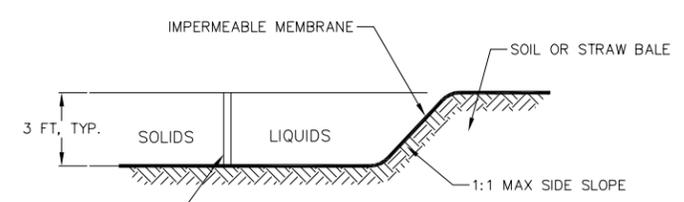


HANDICAP RAMP GUTTER CROSS SECTION

- CONSTRUCTION SPECIFICATIONS**
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



PLAN



SECTION A-A

3 TEMPORARY CONCRETE WASHOUT
10 NOT TO SCALE

4 30" CONCRETE CURB AND GUTTER
10 NOT TO SCALE

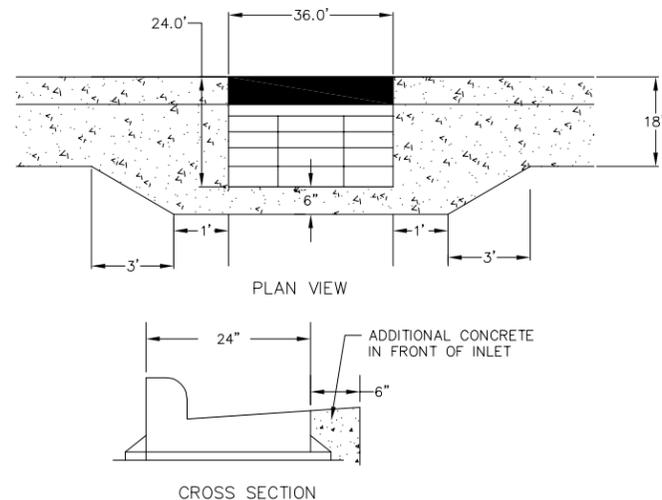


vierbicher
planners | engineers | advisors

SITE & WATER DETAILS
 SAWYER RIDGE APARTMENTS
 CITY OF MAUSTON
 JUNEAU COUNTY, WISCONSIN

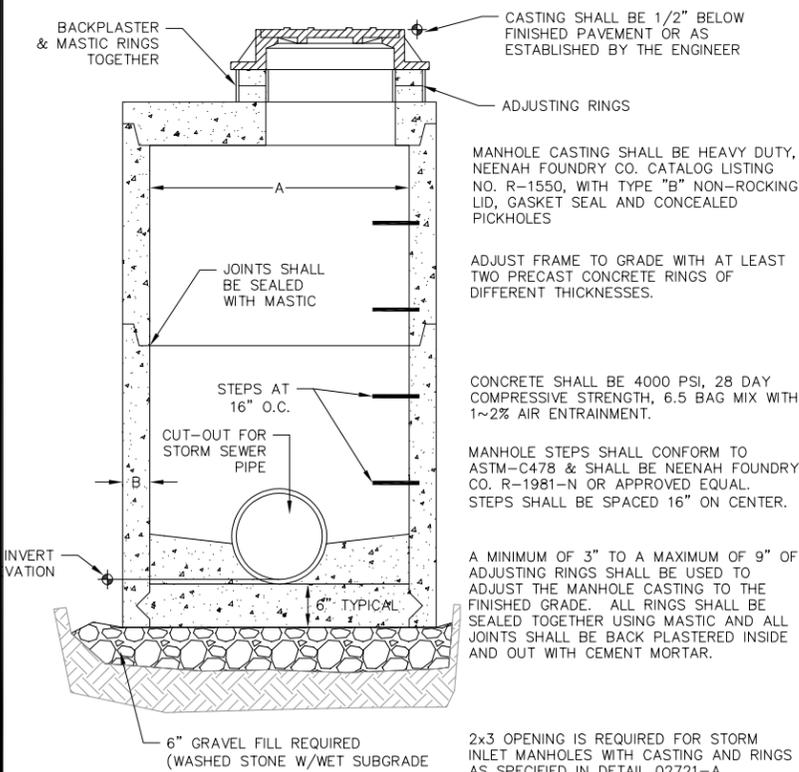
NO.	DATE	REVISIONS	REMARKS

DATE: 2025-06-12
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
 SHEET: 10 OF 17



NOTES:
 TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
 THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
 THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE INLET.
 FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACK PLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

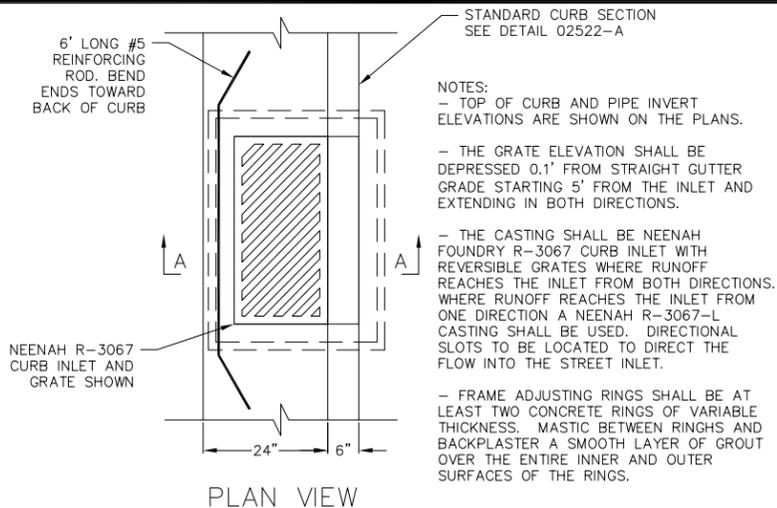
1 CURB DETAIL AT INLET
 13 NOT TO SCALE



STORM MANHOLE DIMENSIONS

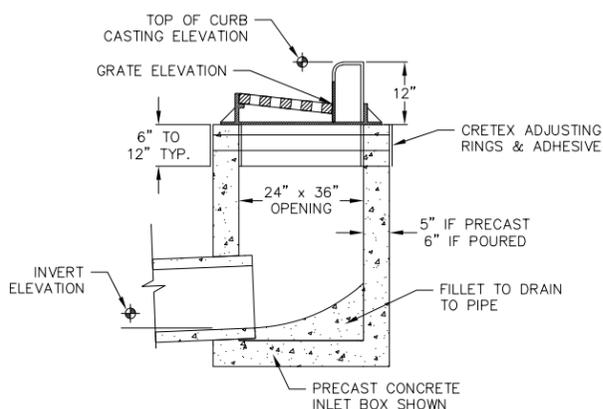
MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

6 STORM SEWER MANHOLE
 13 NOT TO SCALE

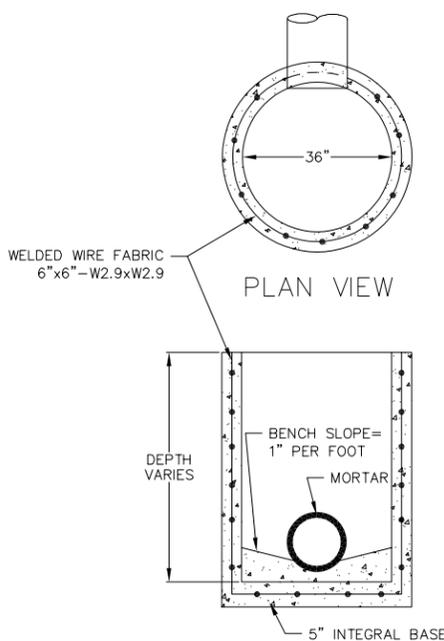


STANDARD CURB SECTION
 SEE DETAIL 02522-A

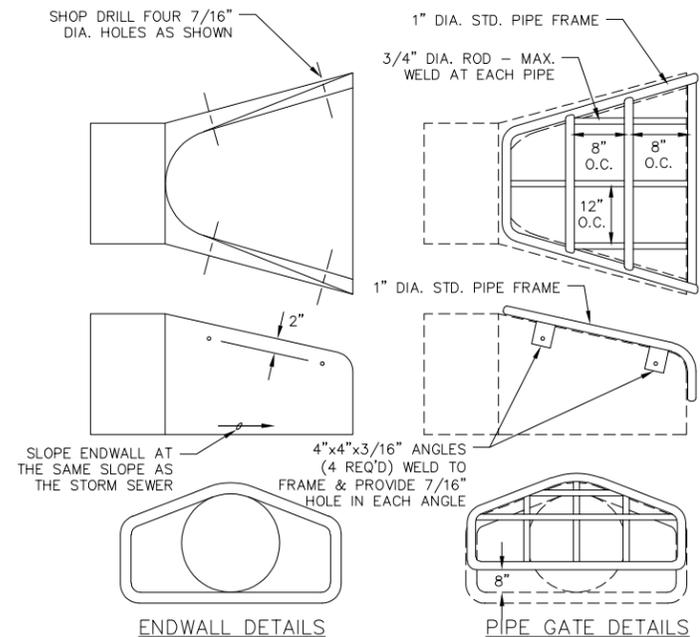
NOTES:
 - TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
 - THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
 - THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.
 - FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.



2 RECTANGULAR STREET INLET
 13 NOT TO SCALE



**5 FIELD INLET (36\"/>
 13 NOT TO SCALE**

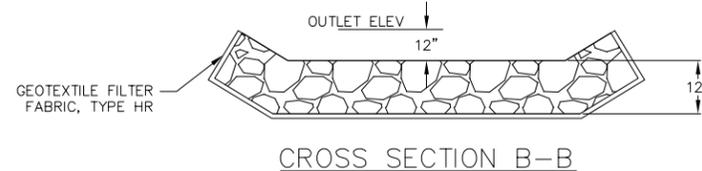


NOTES:
 - THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
 - THE CONTRACTOR SHALL PROVIDE JOINT TIES ON STORM SEWER SYSTEM INFALL AND OUTFALL PIPES. TIE THE ENDWALL AND THE LAST 2 PIPE SECTIONS.

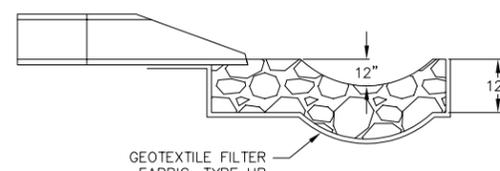
PAINTING SPECIFICATIONS:
 - THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:
 1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
 2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
 3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

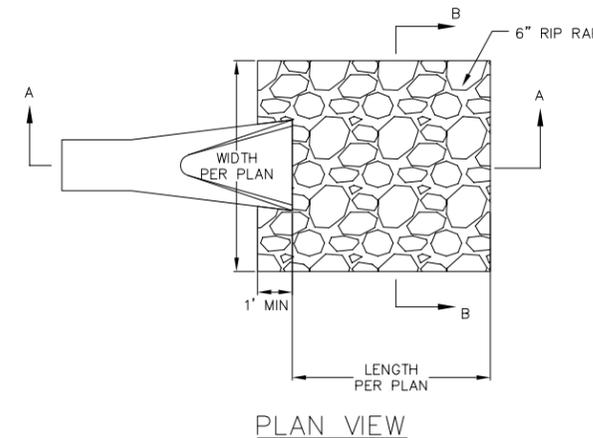
3 STANDARD ENDWALL
 13 NOT TO SCALE



CROSS SECTION B-B



CROSS SECTION A-A

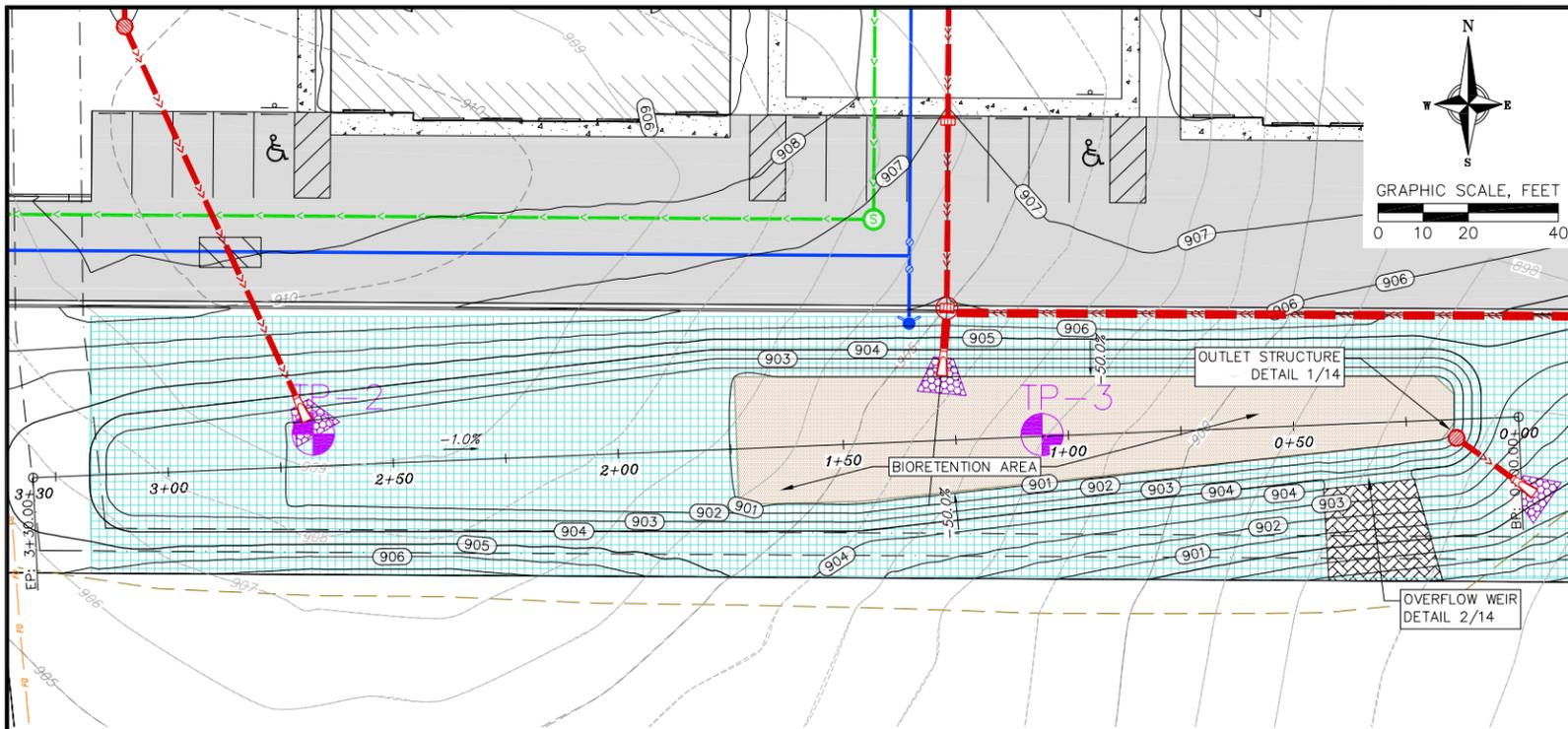


PLAN VIEW

4 RIP-RAP OUTLET
 13 NOT TO SCALE

NO.	DATE	REVISIONS	REMARKS

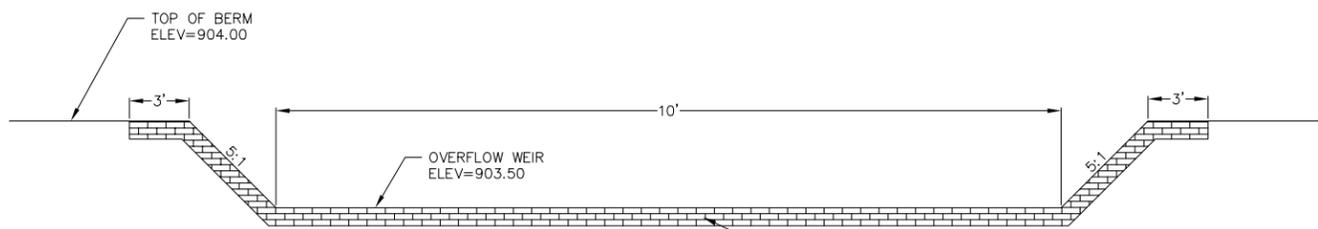
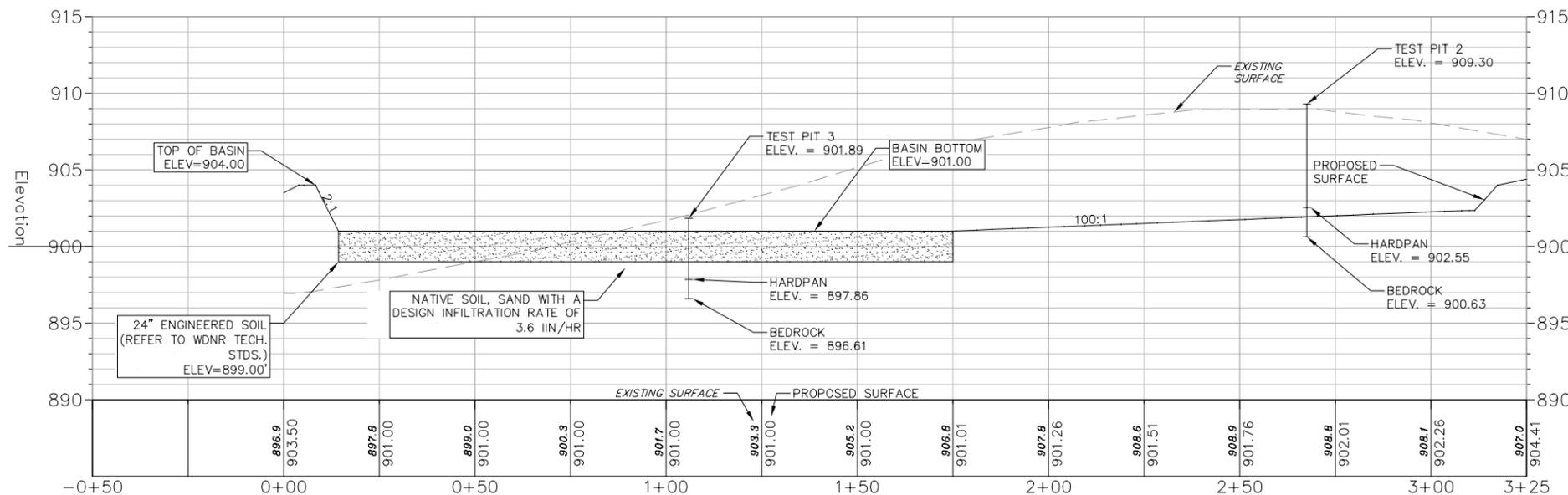
DATE: 2025-06-12
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
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- BIORETENTION AREA SPECIFICATIONS:**
- BIORETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION).
 - HEAVY EQUIPMENT SHALL NOT BE ALLOWED ON AREA OF INFILTRATION DURING CONSTRUCTION OPERATIONS. INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED; OTHERWISE, CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AWAY FROM BIORETENTION DEVICE. DO NOT ALLOW SURROUNDING SOILS TO ERODE INTO BASINS ONCE ENGINEERED SOIL AND PLANTINGS HAVE BEEN INSTALLED.
 - SEED THE BIORETENTION AREA WITH TALLGRASS PRAIRIE FOR WET-MESIC SOILS SEED MIX BY AGRECOL OR APPROVED EQUAL.
 - CONTRACTOR IS RESPONSIBLE FOR PREPARING VEGETATION PLAN, ENSURING PLANT ESTABLISHMENT, INITIAL MAINTENANCE (SEE BELOW), AS WELL AS MAINTAINING PROPER INFILTRATION RATES OVER INFILTRATIVE SURFACE (I.E. NO PONDED WATER 24 HOURS AFTER RAIN EVENT) THROUGHOUT WARRANTY PERIOD AND ONE COMPLETE GROWING SEASON, OR UNTIL ACCEPTANCE BY THE OWNER (WHICHEVER IS SOONER). PROVIDE BILL OF SALE FOR PLANT PLUGS INSTALLED.
- RESTORATION AND INITIAL MAINTENANCE NOTES (DURING FIRST GROWING SEASON):**
- NATIVE SEEDING SHALL BE COMPLETED IN THE FALL, AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL, OR IN THE SPRING BETWEEN MAY 1 AND JUNE 20.
 - SEED BASIN SIDE SLOPES AND BOTTOM AREA OUTSIDE OF BIORETENTION AREA WITH SHORT GRASS PRAIRIE SEED MIX FOR MEDIUM SOILS BY AGRECOL OR APPROVED EQUAL.
 - EROSION MAT IN THE BIORETENTION AREA SHALL BE CLASS II, TYPE A AND PLACED ON THE SURFACE OF THE BIORETENTION BASIN. DO NOT USE WOOD CHIPS, UNLESS EROSION MAT IS PLACED OVER TOP TO PREVENT FLOATING.
 - EROSION MAT ON SIDE SLOPES AND OUTSIDE BIORETENTION AREA SHALL BE CLASS I, TYPE A.
 - DO NOT FERTILIZE NATIVE PLANTINGS, UNLESS DIRECTED BY NURSERY.
 - WATER PLANTS AS NECESSARY, DEPENDING ON WEATHER. TREAT DISEASED OR DISTRESSED PLANTS, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS, REMOVE DEBRIS AND LITTER, AND INSPECT AND REPAIR ERODED AREAS, AS NEEDED.
- CONSTRUCTION NOTES (NOT INCLUDING SIDESLOPES):**
- LIMIT CONSTRUCTION TRAFFIC IN EXCAVATION AND USE ONLY TRACKED VEHICLES.
 - EXCAVATE TO FINAL DEPTH DURING DRY WEATHER AND HAVE ALL MATERIALS ON SITE TO COMPLETE CONSTRUCTION PRIOR TO FORECASTED RAIN.
 - PLACE ENGINEERED SOIL IN MAXIMUM 12" LIFTS (OVERFILL BY 2" TO ALLOW FOR SETTLING), COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (PER DNR TECHNICAL STANDARD S100)
CONTRACTOR TO PROVIDE ENGINEER WITH LOAD TICKETS OF ALL ENGINEERED SOIL MATERIALS INSTALLED.
 - PLANT PLUGS, EROSION MAT, WATER, AND MAINTAIN AS DIRECTED ABOVE. LEAVE EMERGENCY DRAWDOWN OPEN UNTIL PLANT ESTABLISHMENT.
- LONG-TERM MAINTENANCE OF BIORETENTION AREA:**
- REFER TO DNR TECHNICAL STANDARD 1004

NOTE: OVERFILL BASIN BY 2" TO ALLOW FOR SOME SETTLING OF ENGINEERED SOIL

ENGINEERED SOIL MIXTURE
70-85% WASHED SAND
15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

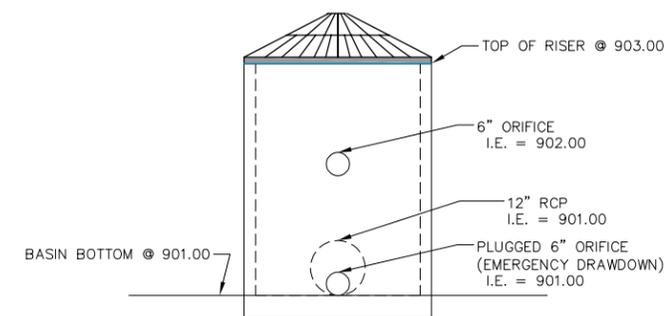


NOTE: EXTEND EROSION MAT TO TOE OF SLOPE ON THE DOWNSTREAM SIDE OF THE BERM

PERMANENT EROSION MAT CLASS III, TYPE C

2 OVERFLOW WEIR
NOT TO SCALE

OUTLET STRUCTURES
36" RISER W/ HAALA GRATE (OR OTHER APPROVED BY DESIGN ENGINEER).
*STRUCTURE MAY CHANGE BASED ON SHOP DRAWINGS PROVIDED BY CONTRACTOR



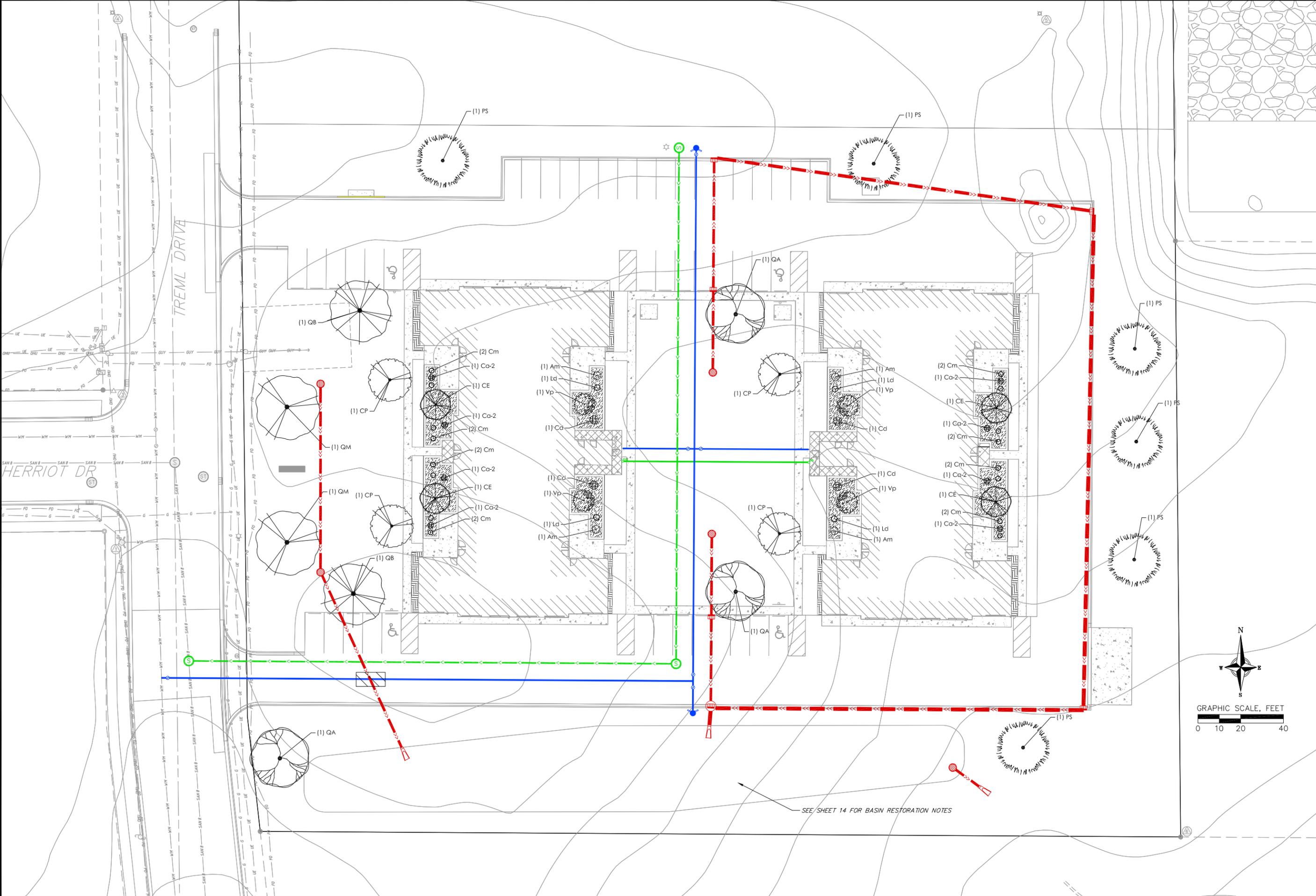
1 OUTLET STRUCTURE
NOT TO SCALE

NOT FOR CONSTRUCTION

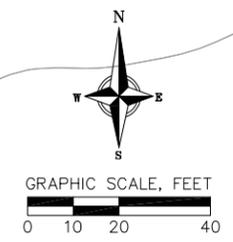
STORMWATER BASIN DETAILS
SAWYER RIDGE APARTMENTS
CITY OF MAUSTON
JUNEAU COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

DATE: 2025-06-12
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
 SHEET: 14 OF 17



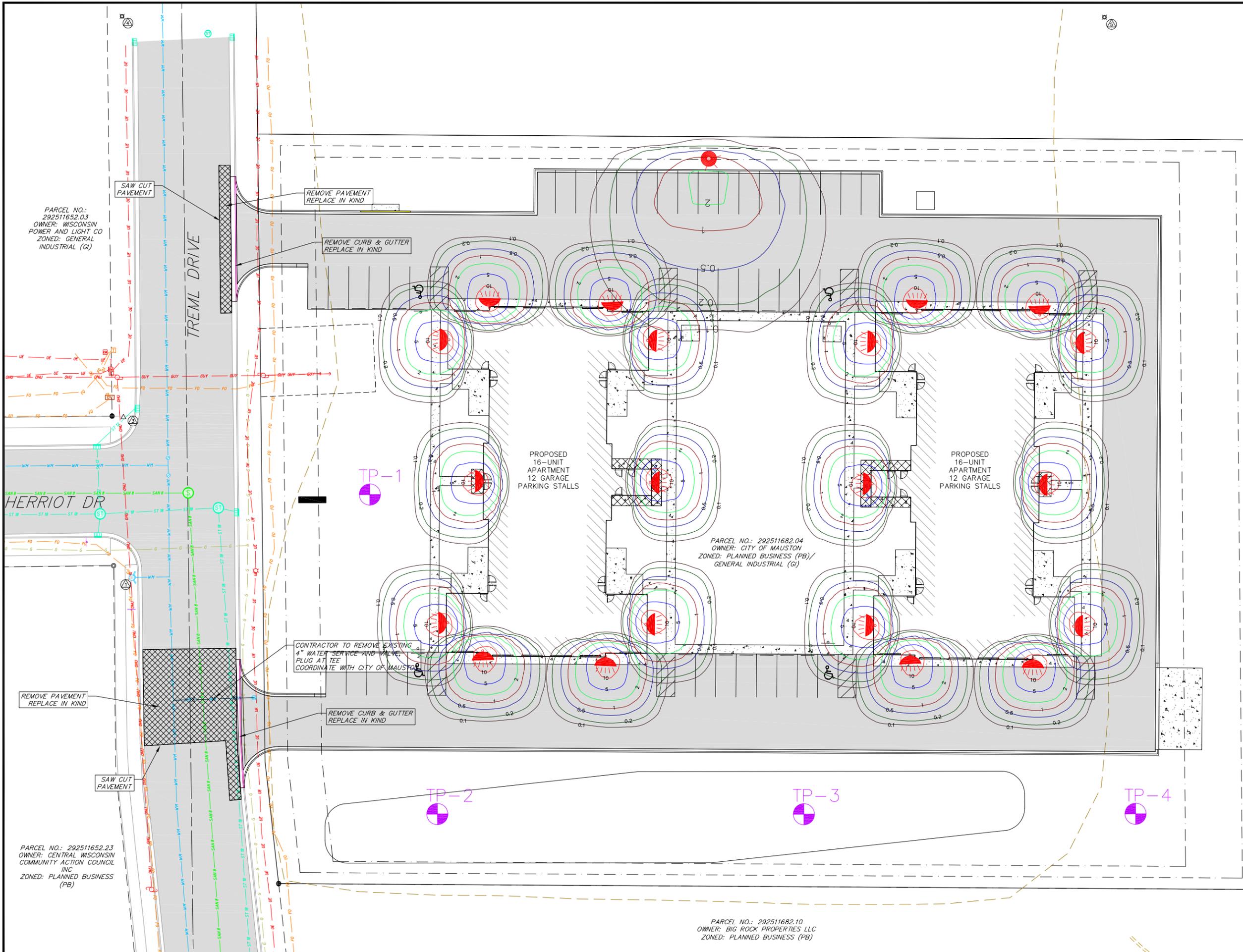
SEE SHEET 14 FOR BASIN RESTORATION NOTES



LANDSCAPE PLAN
SAWYER RIDGE APARTMENTS
 CITY OF MAUSTON
 JUNEAU COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REVISIONS	REMARKS

DATE: 2025-06-12
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
 SHEET: 15 OF 17



PARCEL NO.: 292511652.03
 OWNER: WISCONSIN POWER AND LIGHT CO
 ZONED: GENERAL INDUSTRIAL (G)

PARCEL NO.: 292511652.23
 OWNER: CENTRAL WISCONSIN COMMUNITY ACTION COUNCIL INC
 ZONED: PLANNED BUSINESS (PB)

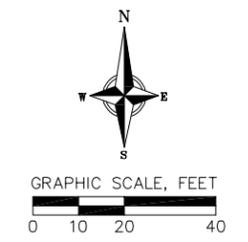
CONTRACTOR TO REMOVE EXISTING 4" WATER SERVICE AND VALVE. PLUG AT TEE. COORDINATE WITH CITY OF MAUSTON.

PROPOSED 16-UNIT APARTMENT
 12 GARAGE PARKING STALLS

PARCEL NO.: 292511682.04
 OWNER: CITY OF MAUSTON
 ZONED: PLANNED BUSINESS (PB)/ GENERAL INDUSTRIAL (G)

PROPOSED 16-UNIT APARTMENT
 12 GARAGE PARKING STALLS

PARCEL NO.: 292511682.10
 OWNER: BIG ROCK PROPERTIES LLC
 ZONED: PLANNED BUSINESS (PB)



LIGHTING PLAN LEGEND
 * PROPOSED WALL PACK LIGHTING
 ☆ PROPOSED LIGHT POLE LIGHTING
 0.5 LUMINAIRE

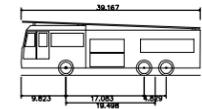
PARCEL NO.: 292511682.15
 OWNER: ADK MAUSTON LLC
 ZONED: PLANNED BUSINESS (PB)

PARCEL NO.: 292511682.34
 OWNER: ADK MAUSTON LLC
 ZONED: PLANNED BUSINESS (PB)

LIGHTING PLAN
 SAWYER RIDGE APARTMENTS
 CITY OF MAUSTON
 JUNEAU COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

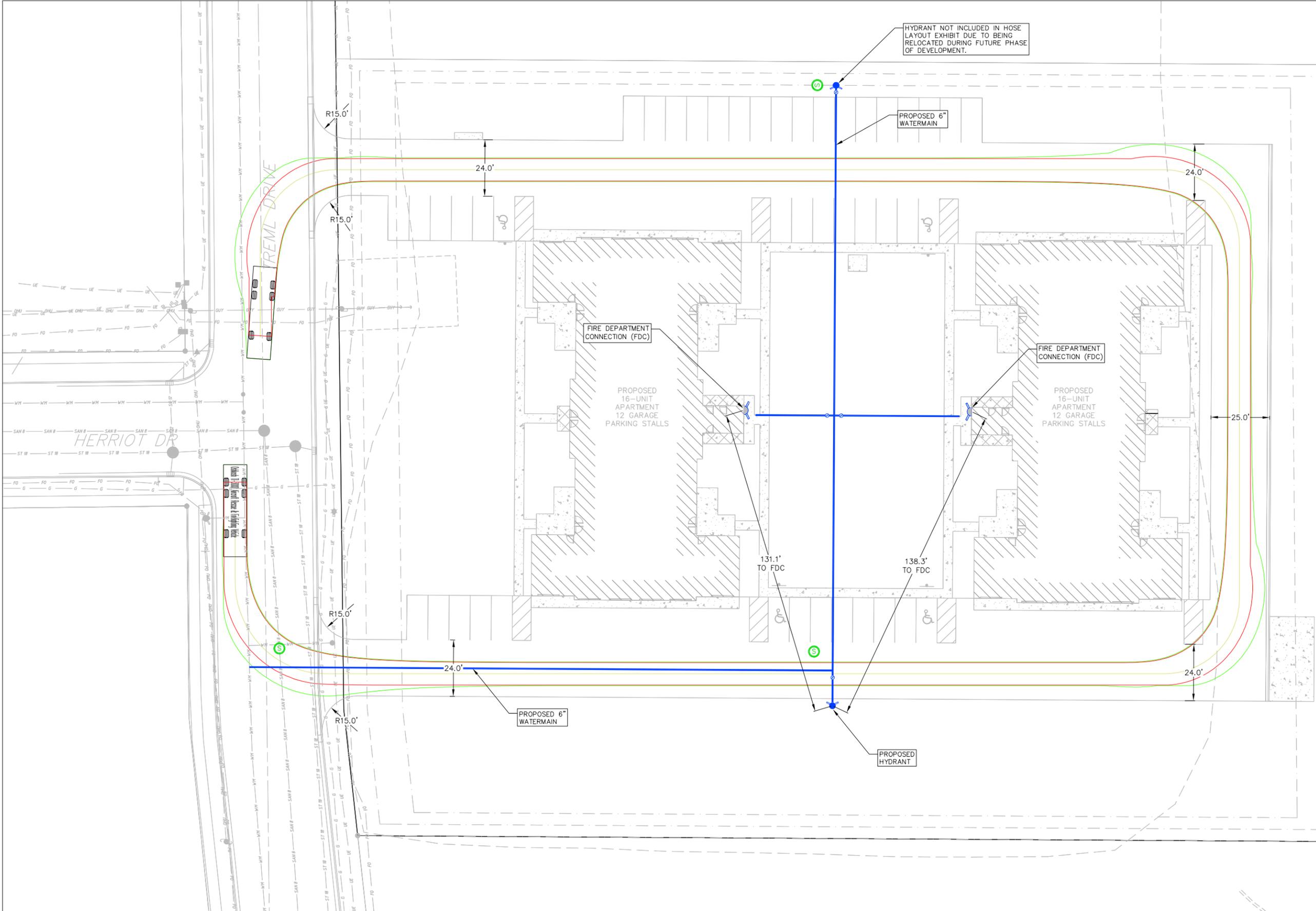
DATE: 2025-06-12
 DRAFTER: KFEN
 CHECKED: NPFA
 PROJECT NO.: 250261
 SHEET: 17 OF 17



Oshkosh T1-3000 Aircraft Rescue & Firefighting Vehicle
 Overall Length 38.167ft
 Overall Width 10.000ft
 Overall Body Height 11.831ft
 Min. Body Ground Clearance 1.612ft
 Track Width 9.583ft
 Lock-to-lock time 4.505
 Wall to Wall Turning Radius 50.033ft

FIRE ACCESS LEGEND

- FIRE TRUCK BODY
- FIRE TRUCK CHASSIS



HYDRANT NOT INCLUDED IN HOSE LAYOUT EXHIBIT DUE TO BEING RELOCATED DURING FUTURE PHASE OF DEVELOPMENT.

PROPOSED 6" WATERMAIN

FIRE DEPARTMENT CONNECTION (FDC)

FIRE DEPARTMENT CONNECTION (FDC)

PROPOSED 16-UNIT APARTMENT 12 GARAGE PARKING STALLS

PROPOSED 16-UNIT APARTMENT 12 GARAGE PARKING STALLS

131.1' TO FDC

138.3' TO FDC

PROPOSED 6" WATERMAIN

PROPOSED HYDRANT

R15.0'

R15.0'

R15.0'

R15.0'

24.0'

24.0'

24.0'

24.0'

25.0'

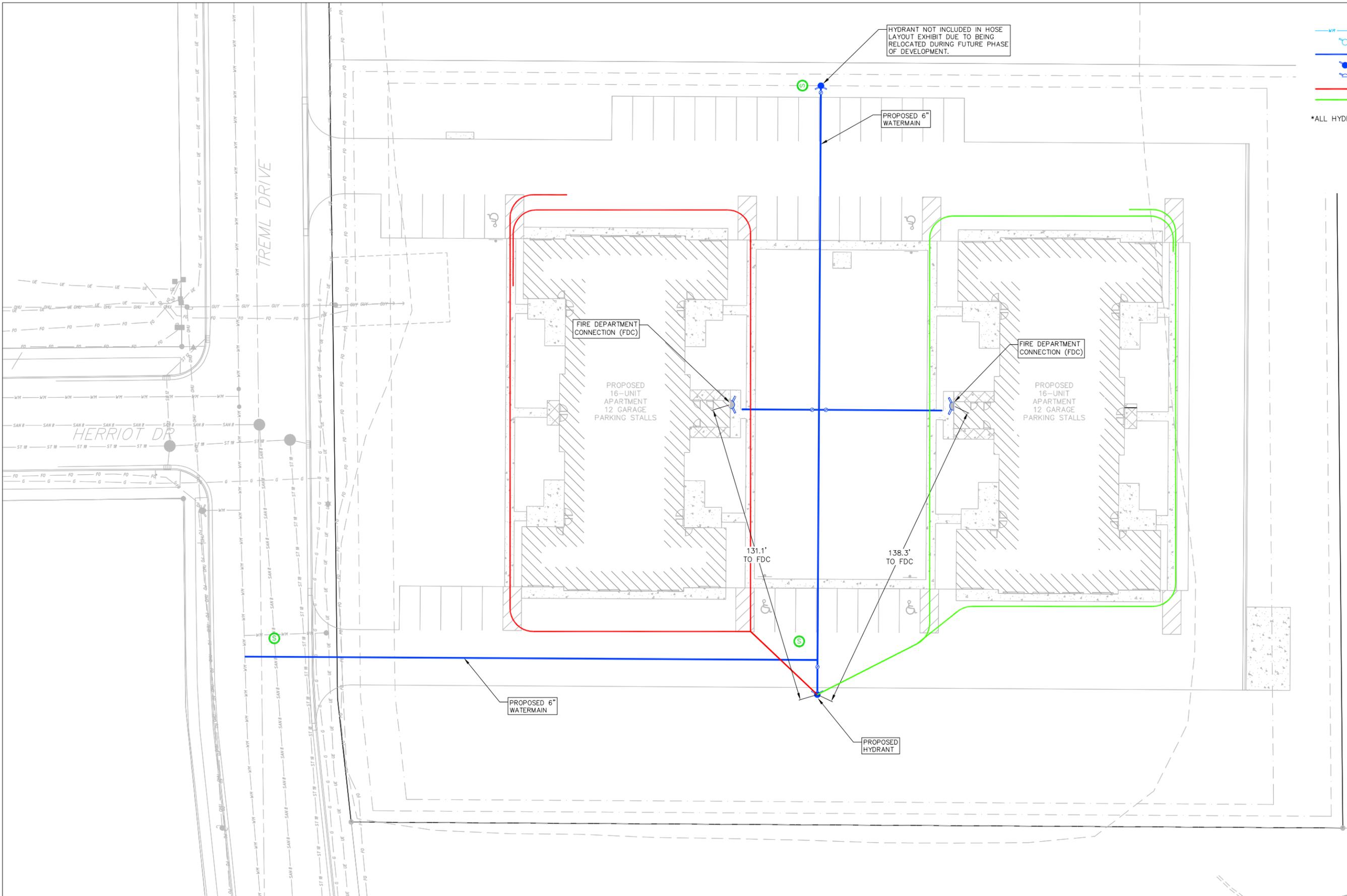
FIRE TRUCK EXHIBIT
 MAUSTON TREML APARTMENTS
 2025-05-23



FIRE ACCESS LEGEND

-  EXISTING WATER MAIN
-  EXISTING FIRE HYDRANT
-  WATER MAIN
-  FIRE HYDRANT
-  FIRE DEPARTMENT CONNECTION
-  FIRE HOSE LAYOUT
-  FIRE HOSE LAYOUT

*ALL HYDRANT HOSE LAYOUTS ARE LESS THEN 350'



FIRE HOSE EXHIBIT
 MAUSTON TREML APARTMENTS
 2025-05-23

vierbicher
 planners | engineers | advisors

