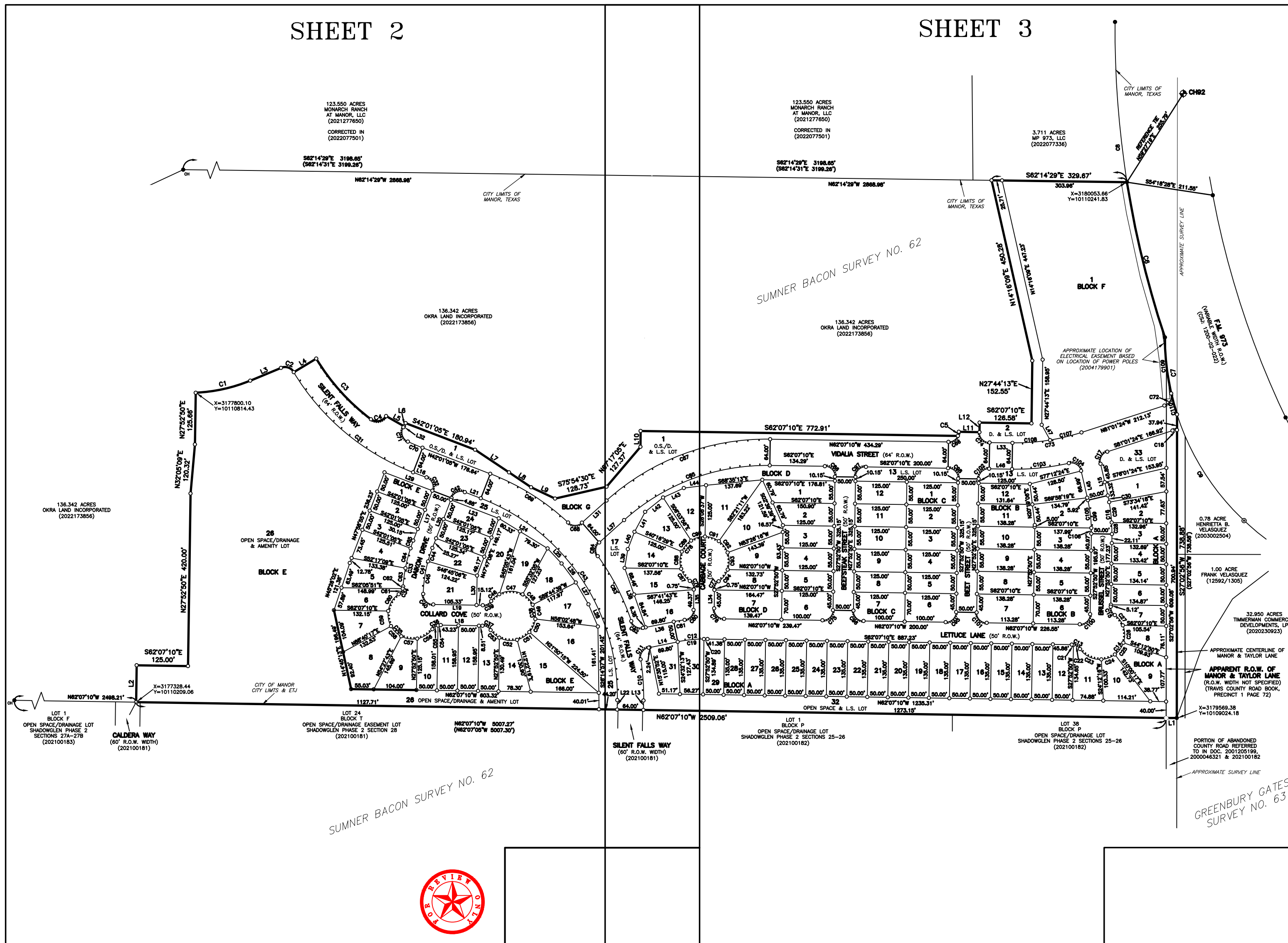


OKRA SUBDIVISION, PHASE 1 INDEX SHEET



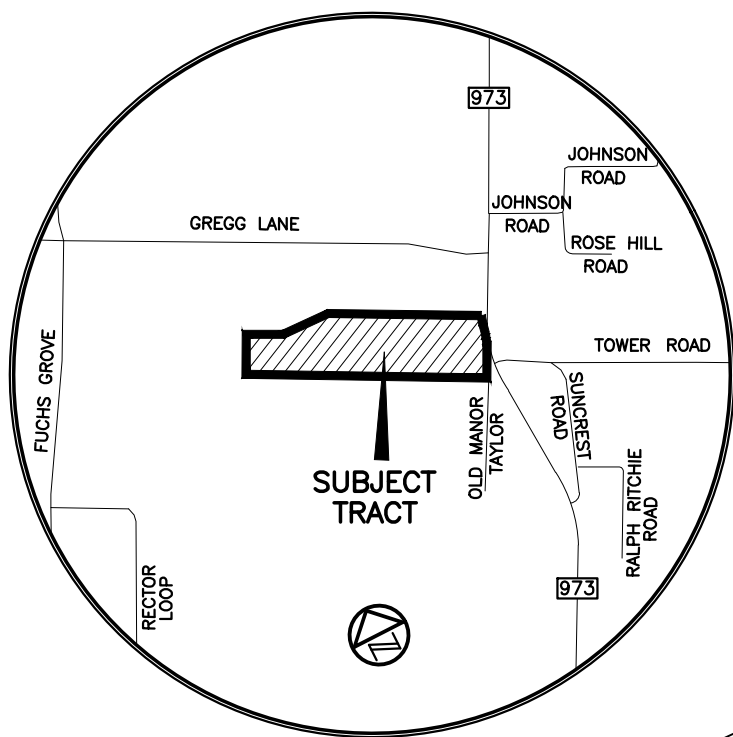
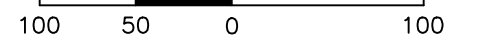
<p>Chaparral Professional Land Surveying, Inc. Surveying and Mapping 5725 W. HWY 290, SUITE 202, Austin, Texas 78735-7822 512-443-1724 T.B.P.E.L.S. Firm No. 10124500</p>	PROJECT NO.: 496-002
	DRAWING NO.: 496-002-PL1
	PLOT DATE: 04/18/2024
	PLOT SCALE: 1"=200'
	DRAWN BY: EMD
SHEET 01 OF 05	

OKRA SUBDIVISION, PHASE 1

123.550 ACRES
MONARCH RANCH
AT MANOR, LLC
(2021277650)

CORRECTED IN
(2022077501)

SCALE: 1" = 100'
GRAPHIC SCALE



S62°14'29"E 3198.65'
(S62°14'31"E 3199.26')

N62°14'29"W 2868.98'

CITY LIMITS OF
MANOR, TEXAS

LOCATION MAP
1"=2000'

CITY LIMITS OF
MANOR, TEXAS

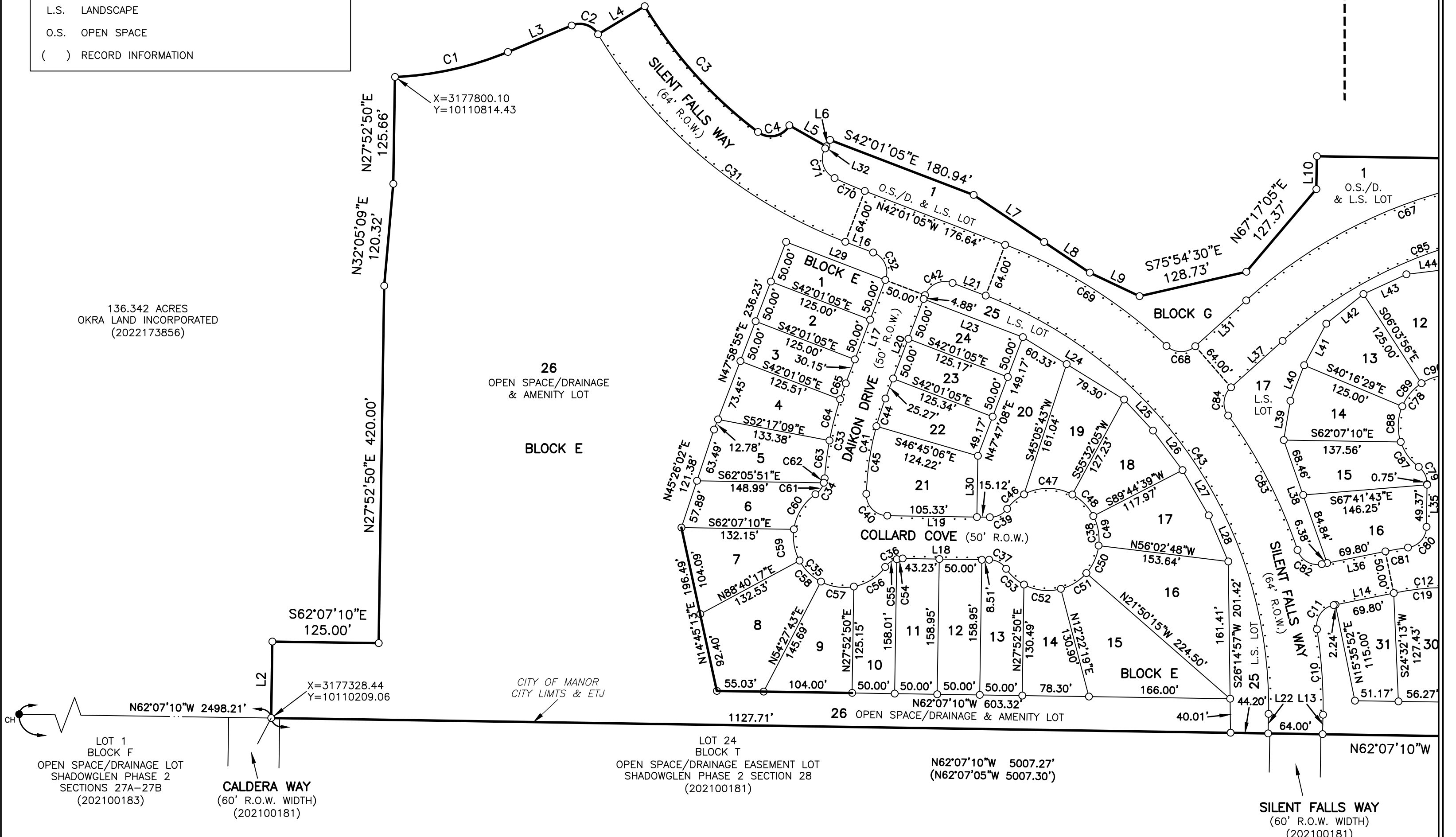
SUMNER BACON SURVEY NO. 62

LEGEND

- 1/2" REBAR FOUND (OR AS NOTED)
- ^{CH} 1/2" REBAR WITH "CHAPARRAL" CAP FOUND
- 1/2" REBAR WITH "CHAPARRAL" CAP SET
- ⊙ TxDOT TYPE II DISK FOUND
- FENCE POST FOUND
- ⊕ CONTROL POINT
- · · · · SIDEWALK LOCATION
- D. DRAINAGE
- L.S. LANDSCAPE
- O.S. OPEN SPACE
- () RECORD INFORMATION

136.342 ACRES
OKRA LAND INCORPORATED
(2022173856)

MATCHLINE SHEET 3
MATCHLINE SHEET 4



136.342 ACRES
OKRA LAND INCORPORATED
(2022173856)

26
OPEN SPACE/DRAINAGE
& AMENITY LOT

BLOCK E

LOT 24
BLOCK T
OPEN SPACE/DRAINAGE EASEMENT LOT
SHADOWGLEN PHASE 2 SECTION 28
(202100181)

LOT 1
BLOCK F
OPEN SPACE/DRAINAGE LOT
SHADOWGLEN PHASE 2
SECTIONS 27A-27B
(202100183)

CALDERA WAY
(60' R.O.W. WIDTH)
(202100181)

SILENT FALLS WAY
(60' R.O.W. WIDTH)
(202100181)

THIS IS A GRID DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) FOR CHAPARRAL CONTROL POINT "CH92".

4" ALUMINUM DISK SET IN CONCRETE

TEXAS STATE PLANE COORDINATES:
N 10110371.83
E 3180273.95

ELEVATION = 590.42'
VERTICAL DATUM: NAVD 88 (GEOID 18)

SCALED ABOUT 0,0
THETA ANGLE: 1'26'37"

OKRA PHASE 1 LAND USE SUMMARY TABLE

LOT TYPE:

SINGLE FAMILY	95
COMMERCIAL	1
OPEN SPACE / DRAINAGE & AMENITY	1
OPEN SPACE / LANDSCAPE / DRAINAGE	8
TOTAL	105

SUMNER BACON SURVEY NO. 62



Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
5725 W. HWY 290, SUITE 202
Austin, Texas 78735-7822
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.:	496-002
DRAWING NO.:	496-002-PL1.dwg
PLOT DATE:	2/23/24
PLOT SCALE:	1" = 100'
DRAWN BY:	JDB/EMD
SHEET	02 OF 05

OKRA SUBDIVISION, PHASE 1

123.550 ACRES
MONARCH RANCH
AT MANOR, LLC
(2021277650)

CORRECTED IN
(2022077501)

3.711 ACRES
MP 973, LLC
(2022077336)

SCALE: 1" = 100'
GRAPHIC SCALE

100 50 0 100

S62°14'29"E 3198.65'
(S62°14'31"E 3199.26')

N62°14'29"W 2868.98'

S62°14'29"E 329.67'

X=3180053.66
Y=10110241.83

CITY LIMITS OF
MANOR, TEXAS

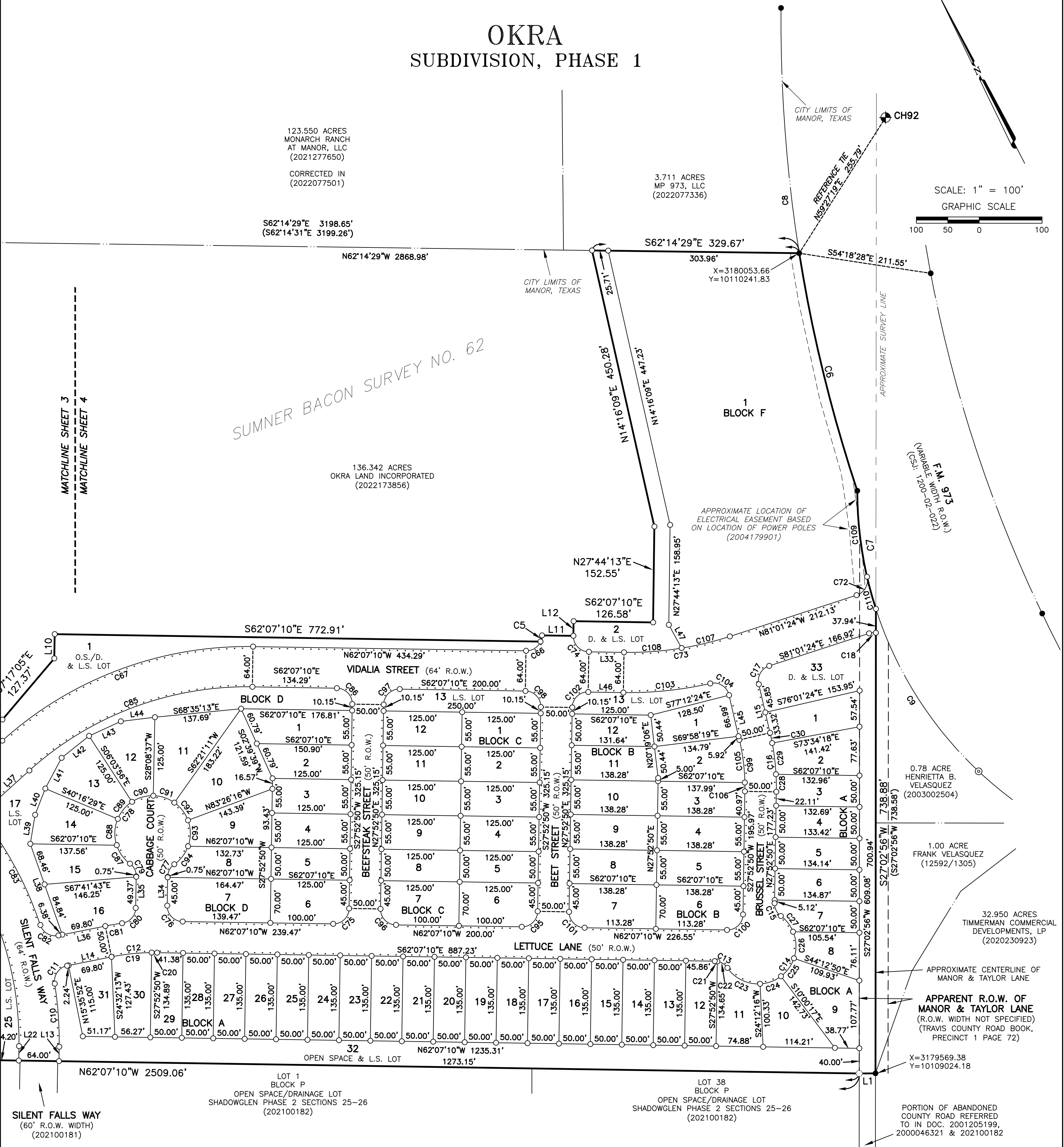
SUMNER BACON SURVEY NO. 62

136.342 ACRES
OKRA LAND INCORPORATED
(2022173856)

APPROXIMATE LOCATION OF
ELECTRICAL EASEMENT BASED
ON LOCATION OF POWER POLES
(2004179901)

(NABELET 21001-02-022)
F.M. 973
(S.O.M.)

MATCHLINE SHEET 3
MATCHLINE SHEET 4



OWNER:
OKRA LAND INCORPORATED
9505 JOHNNY MORRIS ROAD
AUSTIN, TEXAS 78724

ENGINEER:
JAMISON CIVIL ENGINEERING, LLC
13812 RESEARCH BOULEVARD #B-2
AUSTIN, TEXAS 78750
TBPE FIRM REG. F-17756
PHONE: (737) 484-0880

SURVEYOR:
CHAPARRAL PROFESSIONAL LAND SURVEYING
3500 McCALL LANE
AUSTIN, TEXAS 78744
TBPELS FIRM NO. 10124500
PHONE: (512) 443-1724

SUMNER BACON SURVEY NO. 62

GREENBURY GATES
SURVEY NO. 63



Professional Land Surveying, Inc.
Surveying and Mapping

5725 W. HWY 290, SUITE 202
Austin, Texas 78735-7822
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.: 496-002	DRAWING NO.: 496-002-PL1.dwg
PLOT DATE: 02/23/24	PLOT SCALE: 1" = 100'
DRAWN BY: JDB/EMD	
SHEET 03 OF 05	

OKRA SUBDIVISION, PHASE 1

STATE OF TEXAS
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT OKRA LAND INCORPORATED, BEING OWNER OF 136.342 ACRES IN THE SUMNER BACON SURVEY NO. 62, IN TRAVIS COUNTY, TEXAS, CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2022173856 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 42.459 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

OKRA SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__ A.D.

BY: _____

PRINTED NAME: _____

COMPANY NAME: _____

ADDRESS: _____

ADDRESS: _____

STATE OF TEXAS

COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE ____ DAY OF _____, 20__, AD.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME _____

MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATION

I, JOHN L. BRILEY, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1999 AS AMENDED, IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR MADE UNDER MY SUPERVISION, MADE ON THE GROUND JUNE 13, 2023.

PAUL J. FLUGEL, R.P.L.S. 5096

SURVEYING BY:
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.
3500 MCCALL LANE
AUSTIN, TEXAS 78744
(512) 443-1724



ENGINEER'S CERTIFICATION:

I, STEPHEN R. JAMISON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 25 OF THE AUSTIN CITY CODE OF 1999, AS AMENDED, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THE 100 YEAR FLOOD PLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN HEREON. NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48453C0485J, DATED AUGUST 18, 2014, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

STEPHEN R. JAMISON, P.E.

ENGINEERING BY:
JAMISON CIVIL ENGINEERING LLC
13812 RESEARCH BLVD. SUITE B-2
AUSTIN, TEXAS 78750
(512) 484-0880
TEXAS REGISTERED ENGINEERING FIRM F-17756

1. PUBLIC SIDEWALKS, BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THE SUBDIVISION, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
2. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR, STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CITY OF MANOR.
3. NO LOT WILL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
4. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
5. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.
6. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
7. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
8. THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SECURITY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
9. NO OBJECTS INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES SHALL BE ALLOWED WITHIN ANY EASEMENTS EXCEPT AS APPROVED BY THE CITY OF MANOR.
10. A 15' ELECTRICAL, NATURAL GAS, PROPANE, CABLE TV, TELEPHONE AND INTERNET EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS-OF-WAY.
11. BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH CITY OF MANOR ZONING ORDINANCE REQUIREMENTS. BUILDING SETBACK LINES FOR SINGLE FAMILY LOTS ARE AS FOLLOWS:
 - 1: FRONT LOT LINES ALONG ALL STREETS = 25'
 - 2: SIDE LOT LINES = 5'
 - 3: REAR LOT LINES = 10'
 - 4: SIDE LOT LINES ALONG STREETS = 15'
12. ALL OPEN SPACE AND DRAINAGE LOTS, WHICH INCLUDES LOTS 32-33, BLOCK A, LOT 13, BLOCK B, LOT 13, BLOCK C, LOT 17, BLOCK D, LOTS 25-26, BLOCK E, LOT 2, BLOCK F AND LOT 1, BLOCK G, ARE RESTRICTED TO NON-RESIDENTIAL USES, INCLUDING NO BUILDINGS, FENCES, WALLS OR SIMILAR STRUCTURES, AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION PER DOCUMENT NO. _____ OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.
13. PROPERTY OWNERS AND/OR HIS/HER ASSIGNS SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY THE CITY OF MANOR, FOR INSPECTION OR MAINTENANCE OF SAID EASEMENT.
14. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE OWNER OR HIS/HER ASSIGNS.
15. BEFORE BEGINNING CONSTRUCTION ACTIVITIES ON A SUBDIVISION LOT, THE OWNER MUST OBTAIN A CITY OF MANOR DEVELOPMENT PERMIT AND, WHEN APPLICABLE, IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWP3). THE SWP3 REQUIRES IMPLEMENTATION OF TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES, INCLUDING SEDIMENT CONTROLS FOR PROTECTION OF STORM WATER RUNOFF QUALITY IN ACCORDANCE WITH THE CITY OF MANOR CODE.
16. PARKLAND FOR 95 RESIDENTIAL UNITS HAS BEEN SATISFIED WITH THIS PLAT.
17. DRAINAGE PLANS SHALL BE SUBMITTED TO THE CITY OF MANOR FOR REVIEW PRIOR TO SITE DEVELOPMENT. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
18. THIS SUBDIVISION IS ENTIRELY LOCATED WITHIN THE CITY LIMITS OF MANOR, TEXAS.
19. PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE ____ DAY OF _____, 20__.

APPROVED:

ATTEST:

CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE ____ DAY OF _____, 20__.

APPROVED:

ATTEST:

HONORABLE DR. CHRISTOPHER HARVEY
MAYOR OF THE CITY OF MANOR, TEXAS

LLUVIA T. ALMARAZ, CITY SECRETARY

STATE OF TEXAS
COUNTY OF TRAVIS

I, DYANA LIMON-MERCADO, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20__ AT O'CLOCK __M., DULY RECORDED ON THE ____ DAY OF _____, 20__ AT O'CLOCK __M. IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS ____ DAY OF _____, 20__, A.D.

DYANA LIMON-MERCADO, COUNTY CLERK,
TRAVIS COUNTY, TEXAS

BY _____
DEPUTY

REQUIRED NOTES:
THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. THE ____ DAY OF _____, 20__.

 Professional Land Surveying, Inc. Surveying and Mapping 5725 W. HWY 290, SUITE 202 Austin, Texas 78735-7822 512-443-1724 T.B.P.E.L.S. Firm No. 10124500	PROJECT NO.: 496-002
	DRAWING NO.: 496-002-PL1.dwg
	PLOT DATE: 2/23/24
	PLOT SCALE: 1" = 100'
	DRAWN BY: JDB/EMD
	SHEET 04 OF 05

