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SIGN PLAN PAGE 1 OF 2

GLAZING CALCULATIONS OF PRIMARY FACADE

TOTAL S.F. OF PRIMARY FACADE: 1,750 S.F.		PROPOSED
10% GLAZING OF PRIMARY FACADE: 175 S.F.		968 S.F.
TOTAL GLAZING COVERAGE OF PRIMARY FACADE		968 S.F. 60% OF 100% PRIMARY FACADE

APPLICABLE ARCHITECTURAL REQUIREMENTS

- A. CANOPIES, AWNINGS, OR PORTICOS
- B. MINIMUM OF TWO BUILDING MATERIALS, DIFFERENTIATED BY TEXTURE, COLOR, OR MATERIAL
- C. ARTICULATED GROUND FLOOR LEVELS OR BASE
- D. ARTICULATED CORNICE LINE
- E. HORIZONTAL & VERTICAL ARTICULATION OF PRIMARY FACADE
- F. MINIMUM 10% GLAZING (SEE GLAZING CALCULATIONS)



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DAVCAR Engineering
1010 Land Creek Cove, Ste 200
Austin, Texas 78746
(512) 328-4428

Structural Engineer:
Structures
4408 Burnet Rd
Austin, Texas 78756
(512) 499-0919

Owner:
Matthew Meece
The Glass House, INC.
501 W. Powell Ln. Ste. 211
Austin, TX 78753
(512) 632-4656

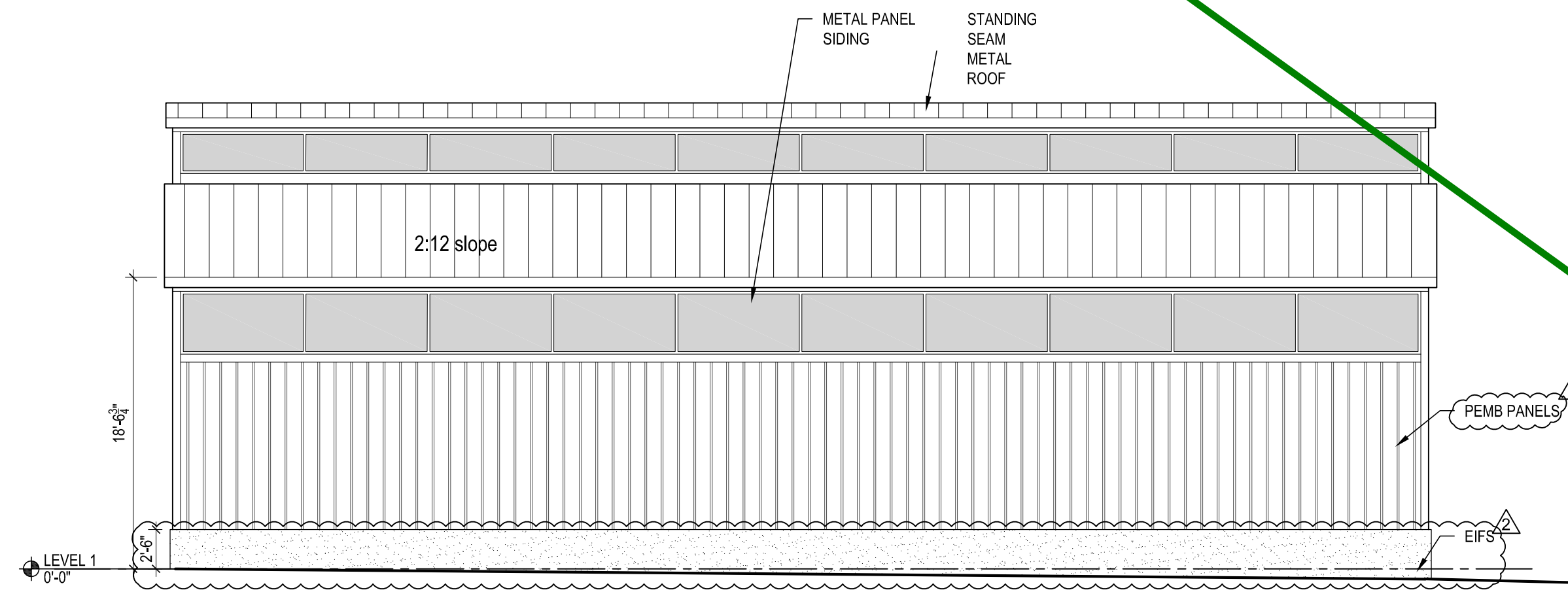


Qty: 1 Custom Cabinets with PushThru Acrylic letters & dots - 72"x46.5"

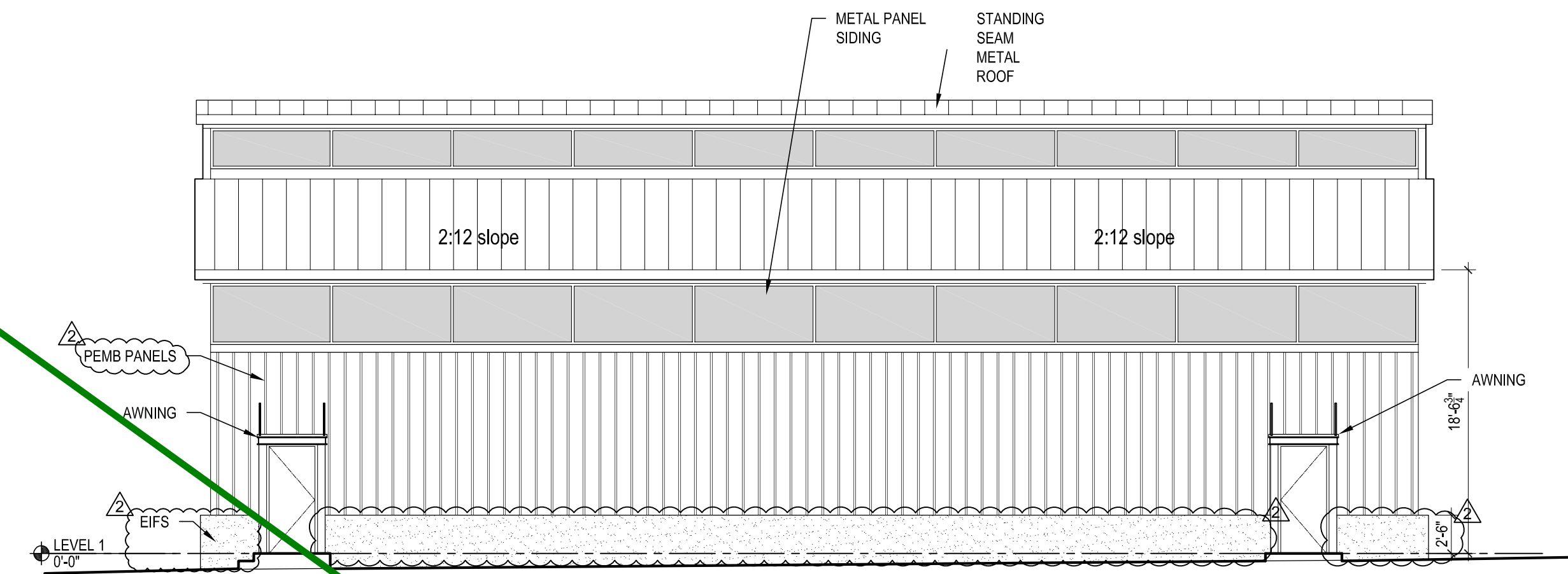
Invoice #: 16026	Size: See Above	Qty: 1
Date: 11-18-22	Color Specs (if specified): Full Color	Designer: Adam
Customer: The Glass House	Material: Push Thru Acrylic custom cab	Notes:
Due Date: 12-28-22	Material Thickness: Standard	

COORDINATED SIGN PLAN The Glass House, Inc. 15721 Hwy 290 E

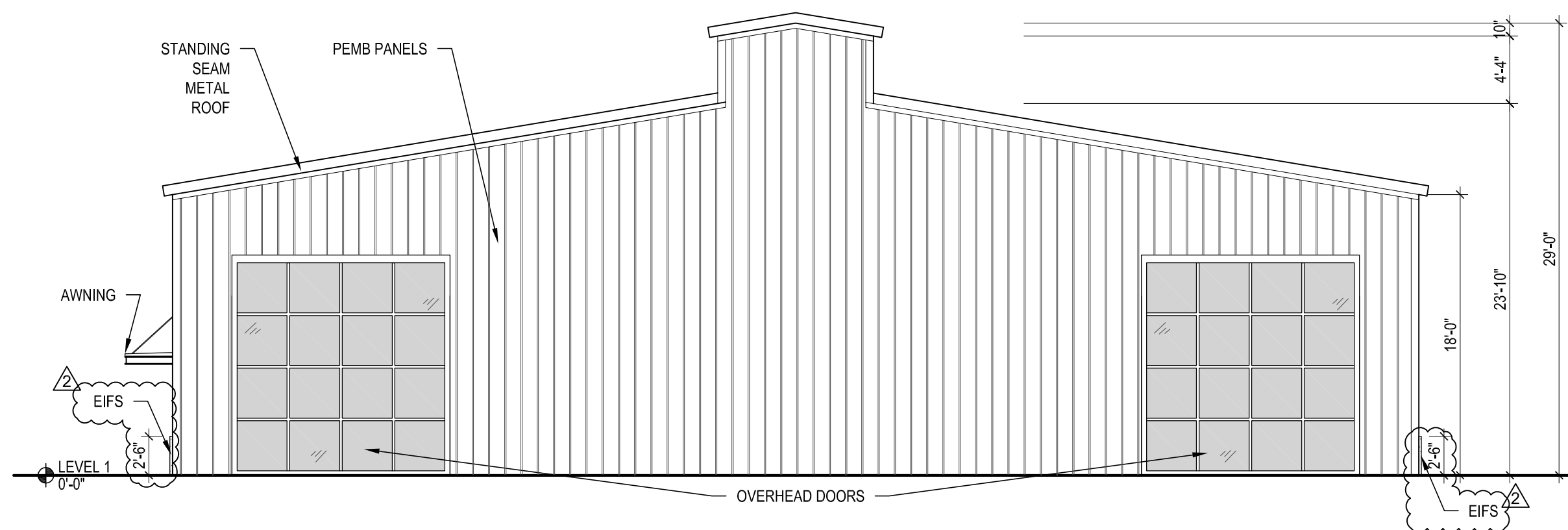
One 72" wide x 46.55" tall back lit sign



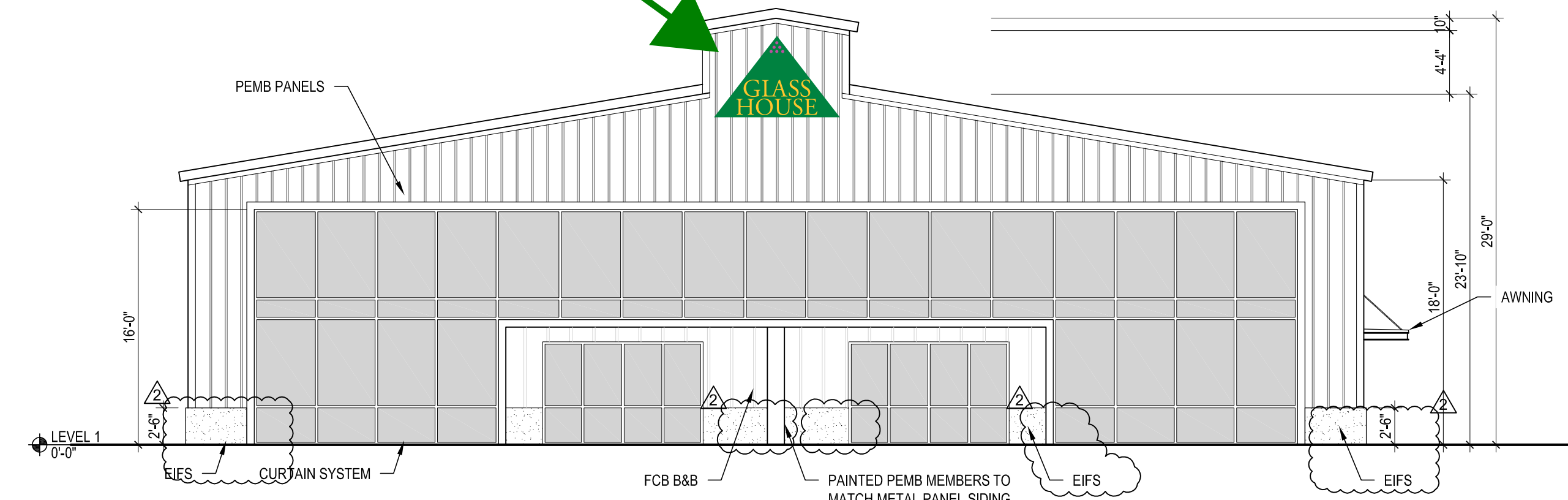
04 EAST ELEVATIONS
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION
SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

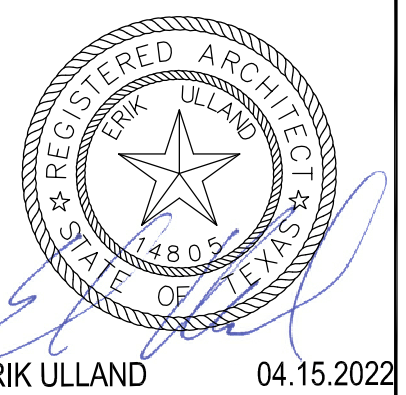


01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GLASS HOUSE
15721 US HWY 290 E
TRAVIS COUNTY
MANOR, TEXAS 78621

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NOTE: By act of submitting a bid for the proposed contract, the bidder warrants that the bidder, and all subcontractors and material suppliers he intends to use have carefully and thoroughly reviewed the drawings and specifications and other construction documents and have found them complete and free from any ambiguities and sufficient for the purpose intended. The bidder further warrants that to the best of their or their subcontractors' and material supplier's knowledge all materials and products specified or indicated herein are acceptable for all applicable codes and authorities.

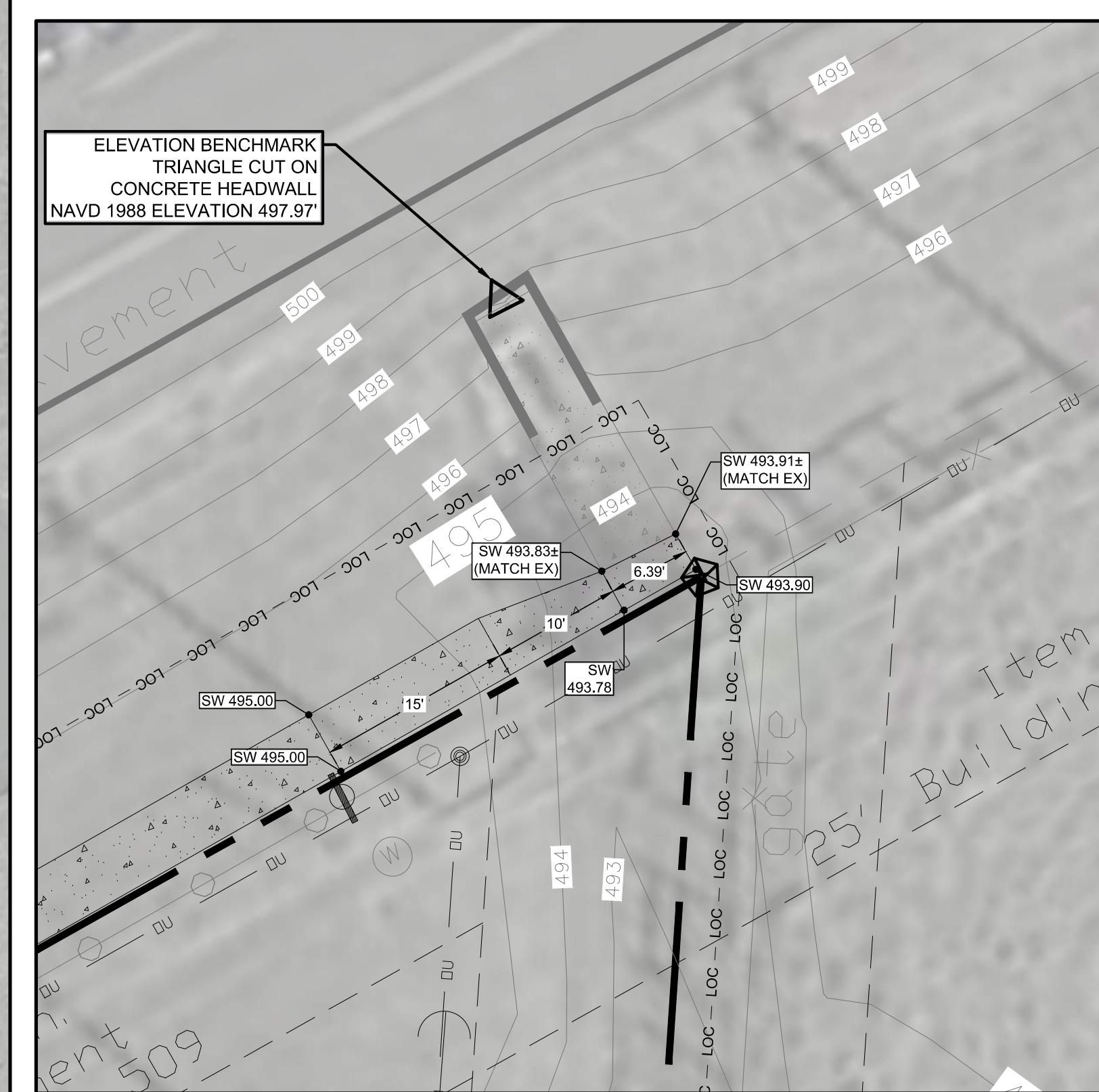
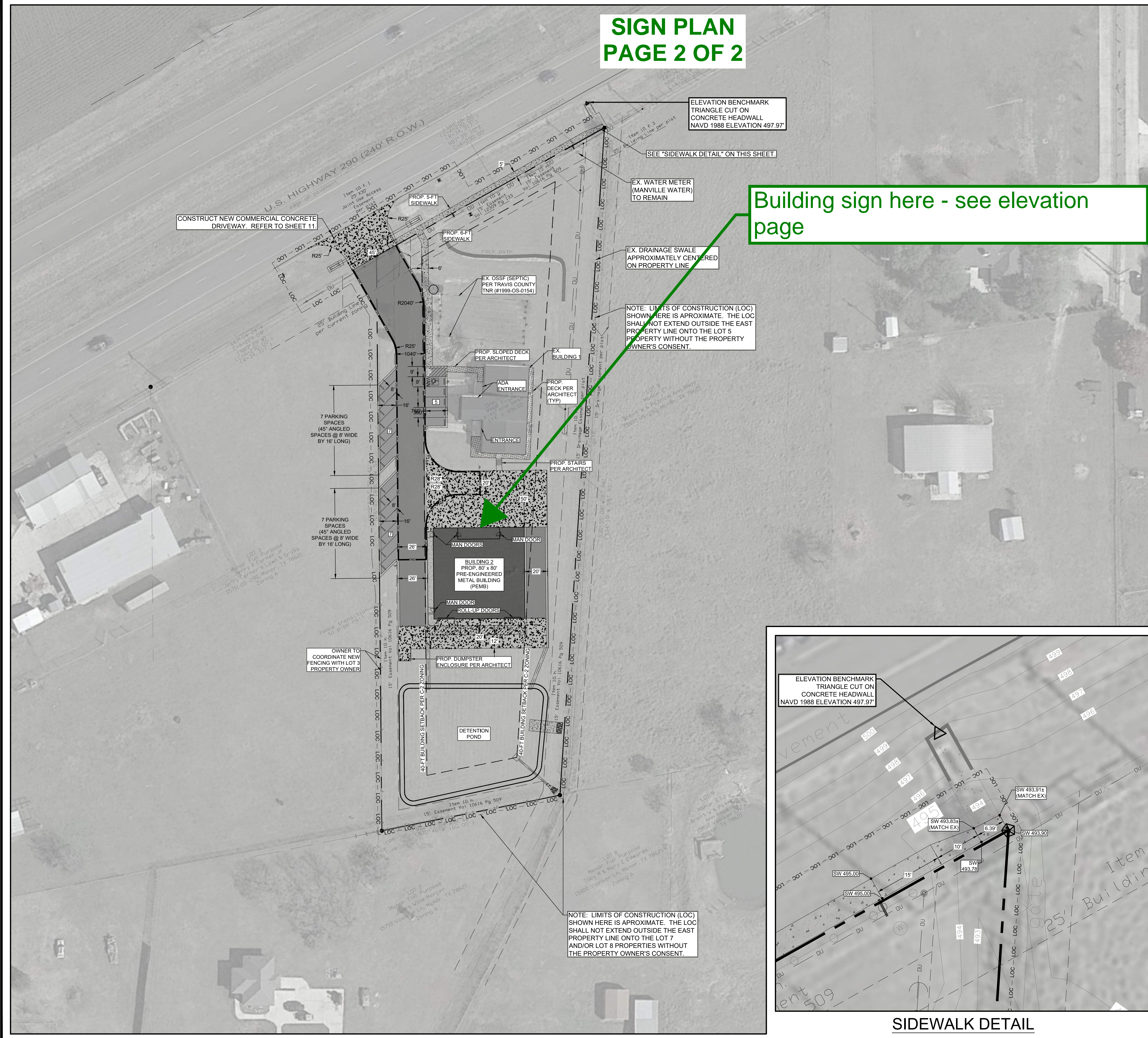


ISSUE DATES:	
11.24.2021	ISSUE FOR PERMIT
02.01.2022	TC ESD NO.12 COMMENTS
04.15.2022	CITY COMMENTS REV 1
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.....
.....
.....
.....
.....
.....

WAREHOUSE
EXTERIOR
ELEVATIONS
A-202

SIGN PLAN PAGE 2 OF 2

Building sign here - see elevation page



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	ADJOINING LOT LINES
---	---	EASEMENT LINES
X	X	FENCING
OU	OU	OVERHEAD ELECTRIC LINE
---	---	FIRE LANE STRIPING
---	---	LIMITS OF CONSTRUCTION

GENERAL NOTES:

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE, AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "TEXAS 811" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, IN THE R.O.W. AND ON PRIVATE PROPERTY, AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

2. CONTRACTOR SHALL CONTACT DAVCAR ENGINEERING WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY ITEMS FOUND IN THE FIELD THAT ARE NOT CONSISTENT WITH THESE PLANS.

3. EXISTING WATER, WASTEWATER, ELECTRICAL AND TELECOMMUNICATION SERVICES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

SURVEY NOTES:

1. THIS PLAN IS BASED ON A SIGNED & SEALED SURVEY BY HOLT CARSON INCORPORATED PROFESSIONAL LAND SURVEYORS DATED 03/07/2021.

2. FOR BENCHMARK AND SURVEY INFORMATION CONTACT HOLT CARSON INCORPORATED PROFESSIONAL LAND SURVEYORS AT (512) 442-0990.

DIMENSIONAL CONTROL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB/FACE OF BUILDING UNLESS NOTED ON PLANS.
- BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO LAYOUT OF SITE.
- ALL ADA ACCESSIBLE SIDEWALK SHALL BE A MINIMUM WIDTH OF 5-FT UNLESS OTHERWISE INDICATED.
- ALL PARKING SPACES ARE 90 DEGREES AND 11.00-FT WIDE BY 20.00-FT DEEP, UNLESS OTHERWISE INDICATED.
- ALL CURB RADII ARE INDICATED ON PLANS.

ACCESSIBLE PARKING SPACE NOTE:

EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. [IBC 1110.1, ANSI 502.7]

BUILDING 1 SUMMARY (EX. BUILDING)

BUILDING HEIGHT:	17'-0"
TOTAL FLOOR AREA:	3,474 SF
OCCUPANCY TYPE:	B
CONSTRUCTION TYPE:	VB

BUILDING 2 SUMMARY (PROP. BUILDING)

BUILDING HEIGHT:	26'-0"
TOTAL FLOOR AREA:	6,400 SF
OCCUPANCY TYPE:	F2
CONSTRUCTION TYPE:	2B

SITE SUMMARY

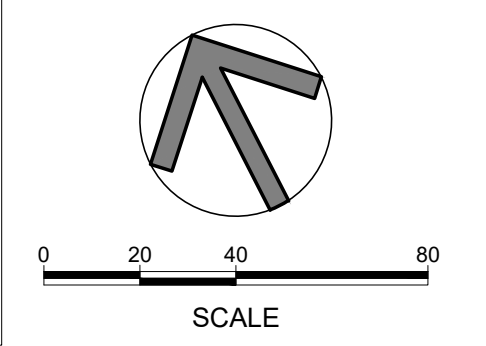
SITE AREA TOTAL (PROPERTY LIMITS) =	96,051 SF (2.21 AC.)
PROPOSED LIMITS OF CONSTRUCTION =	108,900 SF (2.50 AC.)
EXISTING IMPERVIOUS COVER (TO REMAIN) =	4,604 SF (0.11 AC.)
PROPOSED IMPERVIOUS COVER =	27,351 SF (0.63 AC.)
TOTAL PROPOSED IMPERVIOUS COVER =	31,955 SF (0.73 AC.)

PARKING SUMMARY

REQUIRED PARKING	
OFFICE WAREHOUSE (1/250 GFA) = (3,477 SF / 250) =	14
WAREHOUSE (1/1000 GFA) = (6,400 SF / 1000) =	6
TOTAL PARKING REQUIRED =	20
ALLOWABLE PARKING REDUCTIONS	
PROVIDING SHOWERS & LOCKERS = 5% REDUCTION = 20 * 0.05 =	1
TOTAL PARKING REQUIRED (WITH REDUCTIONS) = 20 - 1 =	19
PROPOSED PARKING	
TOTAL	19
STANDARD	18
ADA ACCESSIBLE (VAN)	1

UTILITY NOTES:

- THIS PROJECT DOES NOT REQUIRE ANY NEW WATER AND/OR WASTEWATER SERVICE. ALL EXISTING SERVICES SHALL REMAIN IN USE.
- THE EXISTING SITE IS SERVED BY MANVILLE WATER AND AN APPROVED ON-SITE SEPTIC FACILITY (OSSF) PER TRAVIS COUNTY PERMIT #1999-OS-0154.
- TRAVIS COUNTY ESD 12 IS NOT REQUIRING ANY NEW FIRE HYDRANTS OR FIRE SUPPRESSION AT THIS TIME. REFER TO SHEET 6 FOR ADDITIONAL INFORMATION.



DAVCAR ENGINEERING
1010 Land Creek Cove, Ste 200
Austin, Texas 78726
P: (512) 328-4428
F: (512) 306-8330

NO.	DATE	REVISION

THE GLASS HOUSE
15721 US HWY 290 E, MANOR, TX 78621

OVERALL SITE PLAN

DESIGNED BY: T. DUVALL
DRAWN BY: P. HAMBY
CHECKED BY: T. DUVALL
REVISED BY:

02.10.2022

SHEET 5 OF 19