

ROUTE 1100 EVENT CENTER



3 D V I S U A L I Z A T I O N

OUTLINE SPECIFICATIONS FOR
OFFICE BUILDING
MANOR, TEXAS

DIVISION 1 - GENERAL REQUIREMENTS

- .1 General:
- .01 This project shall be constructed of carefully selected materials to provide low maintenance cost, initial low construction cost and durability.
- .02 All provisions for the handicapped are to be part of the contract.
- .2 Insurance: General Contractor shall furnish and pay for the following insurance policies indemnifying himself, the Owner and the Architect.

DIVISION 2 - SITE WORK:

- .1 Soil Treatment: Termite control is to be provided under entire building slab.
- .2 Sidewalks: To be 4" thick Concrete over 2" compacted sandfill. Reinforced with welded wire mesh.
- .3 Finish Grading: To be hand graded approximately 20' from the building and all improvements.
- .4 Landscaping: Included as a part of this contract.

DIVISION 3 - CONCRETE:

- .1 Foundation: Reinforced concrete monolithic beam and slab on 6" compacted selected fill. Concrete slab shall be trowel finish. All concrete shall be minimum 3,000 PSI Test at 28 days.
- .2 Vapor Barrier: 6 mil polyethylene

DIVISION 4 - MASONRY:

- .1 Portland Cement Plaster system over hot dipped galv. paper backed self furring metal lath over 8" cmu with cavity wall foam filled insulation
- .2 Interior Stud Walls: 4" studs and gypsum drywall partitions.

DIVISION 6 - CARPENTRY:

- .1 Architectural wood work.

DIVISION 7 - MOISTURE CONTROL:

- .1 Roofing: METAL Roofing system
- .2 Insulation: 6" building insulation. Batt insulation above SAC.

DIVISION 8 - DOORS, WINDOWS, AND GLASS:

- .1 Doors and Frames: All interior doors shall be 1-3/4" solid core flush veneer doors. Frames shall be hollow metal frames.
- .2 Storefront Doors and Frames: All exterior storefront system shall be aluminum.
- .3 Glass: All glass shall be 1/4" tempered glass.

DIVISION 9 - FINISHES:

- .1 Floors: All central traffic areas shall be vinyl composition tile
- .01 Offices to be 1/8" vinyl composition tile.
- .02 Base shall be rubber base.
- .2 Walls
- .01 All gypsum walls shall be painted.
- .3 Ceilings: Areas where shown shall be suspended acoustical grid system with square edge fissured mineral fiber board panels. and/or painted gypsum board
- DIVISION 10 - SPECIALTIES:

- .1 None Required.

DIVISION 11 - EQUIPMENT:

- .1 None Required.

DIVISION 12 - FURNISHINGS:

- .1 None Required.

DIVISION 13 - SPECIAL CONSTRUCTION:

- .1 None Required



PROJECT INFORMATION

2018 International Building Code
2018 International Mechanical Code
2018 International Fire Code
2018 International Plumbing Code

2018 International Energy Conservation Code
2018 National Electric Code
2018 NPPA Life Safety Code
ADA Accessibility Guidelines

1. USE AND OCCUPANCY CLASSIFICATION:
EVENT CENTER

2. BUILDING HEIGHT:

Actual Height (stories/height) 1 story / 22'-6"

3. BUILDING AREA:

Building Floor Area (Fire Area) 5,865

4. Fire Protection Systems:
- | | | | | |
|-------------------------------|----------|-----|----------|-----|
| A. Fire Smoke Detection | Required | Yes | Provided | Yes |
| B. Portable fire Extinguisher | Required | Yes | Provided | Yes |
| C. Fire Sprinkler System | Required | NO | Provided | NO |

| DATE | CHANGE | BY |
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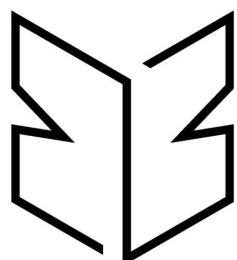


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EVENT CENTER
DESIGN FOR

ROUTE 1100 EVENT CENTER

BEING 3.478 ACRE TRACT OF
LAND OUT OF THE LEMUEL
KIMBRO SURVEY
TRAVIS COUNTY , TEXAS 78526



B & B DESIGN FIRM LLC.
1175 W. Price Road Ste. 6
Brownsville, Tx. 78521
OFFICE
956 . 801 . 9417

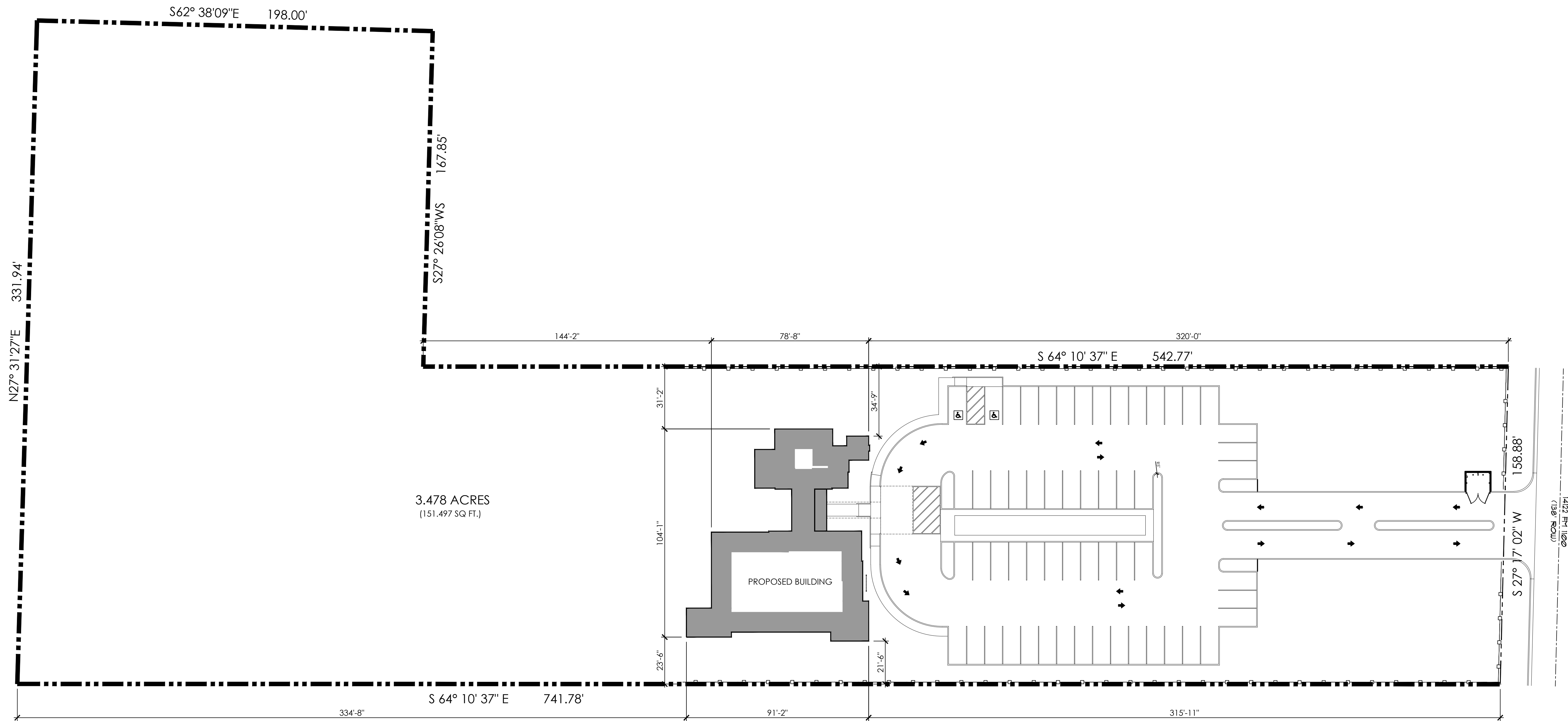
DATE: 4.12.25

DRAWING NAME: COVER

PROJECT # DT24-096

SHEET

COVER



BUILDING LOCATION PLAN

SCALE: 1" = 20'-0"

SITE NOTES:

1. FINISH GRADE TO BE 6" BELOW FINISH FLOOR ELEVATION SLOPE AWAY FROM ALL IMPROVEMENTS AT A RATE OF 1/4" PER FOOT FOR THE FIRST 10'-0"; THEN AT A RATE OF 1/8" PER FOOT FOR THE NEXT 20'-0"
2. SIDE WALK SLOPE IS NOT TO EXCEED 1:20 WITH A CROSS SLOPE OF 1:50 AT ANY INSTANCE.
3. REFERENCE SHEET MEP1 FOR SITE IMPROVEMENTS AND MECHANICAL, ELECTRICAL, AND PLUMBING SITE NOTES

| DATE | CHANGE | BY |
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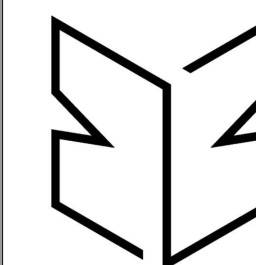
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| | |
|---------------|-----------|
| DATE: | 4.12.25 |
| DRAWING NAME: | SITE PLAN |
| PROJECT # | DT24-096 |

SHEET
C1.01

LEGEND table with 2 columns: Item, Quantity/Value. Includes LANDSCAPE (5,695.22 S.F.), PAVED PARKING LOT (9,405.45 S.F.), SIDEWALKS (1,817.09 S.F.), BUILDING (5,865.00 S.F.), CURB & GUTTER (599.00 L.F.), and DEVELOPMENT LOT (25,000.00 S.F.).

OWNER INFORMATION

NAME: ROCIO VELASQUEZ
COMPANY: _____
ADDRESS: _____
PHONE: 512.840.8392

PARKING SPACES

ZONING: Commercial
PARKING REQUIRED : 23 PARKING SPACES
PARKING PROVIDED : 25 PARKING SPACES

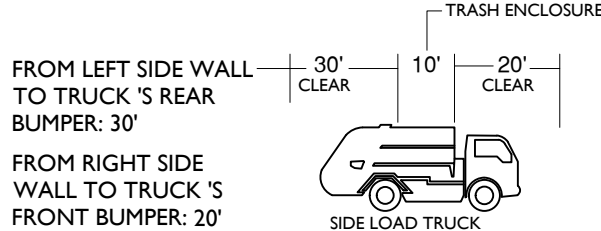
WASTE DISPOSAL DUMPSTER ENCLOSURE SPECIFICATIONS SPACE REQUIREMENTS FOR AREA TO BE UTILIZED BY TRUCK

A) SIDE LOAD TRUCK: SINCE SIDE LOAD DUMPSTERS ARE SERVICED WITH THE TRUCK PARKED PARALLEL TO THE ENCLOSURE AND THE LIFTING MECHANISM IS LOCATED DIRECTLY BEHIND THE DRIVER'S FRONT DOOR, SIGNIFICANT PORTIONS OF THE TRUCK EXTEND BEYOND THE DUMPSTER IN BOTH DIRECTIONS. IT IS REQUIRED THEREFORE THAT THE AREAS DESCRIBED BELOW BE CLEAR AND UNIMPEDED FOR A TRUCK SERVICING SAID DUMPSTER ENCLOSURE

B) FRONT LOAD TRUCK: SINCE A FRONT LOAD TRUCK IS SIGNIFICANTLY LARGER THAN A SIDE LOAD TRUCK THE SPACE REQUIREMENTS ARE GREATER. A FRONT LOAD TRUCK SERVES THE DUMPSTER WHILE PARKED PERPENDICULAR TO THE ENCLOSURE AND THE TRUCKS FRONT BUMPER RESTING AGAINST FACE OF DUMPSTER. THE AREA DESCRIBED BELOW MUST BE CLEAR AND UNIMPEDED FOR A TRUCK SERVICING SAID DUMPSTER.

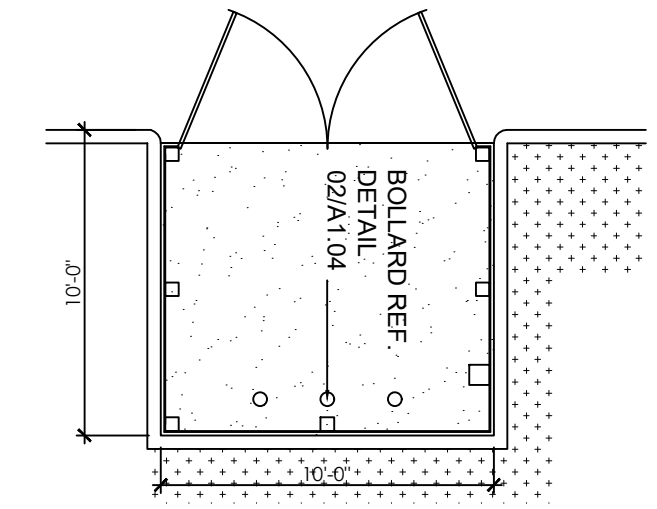
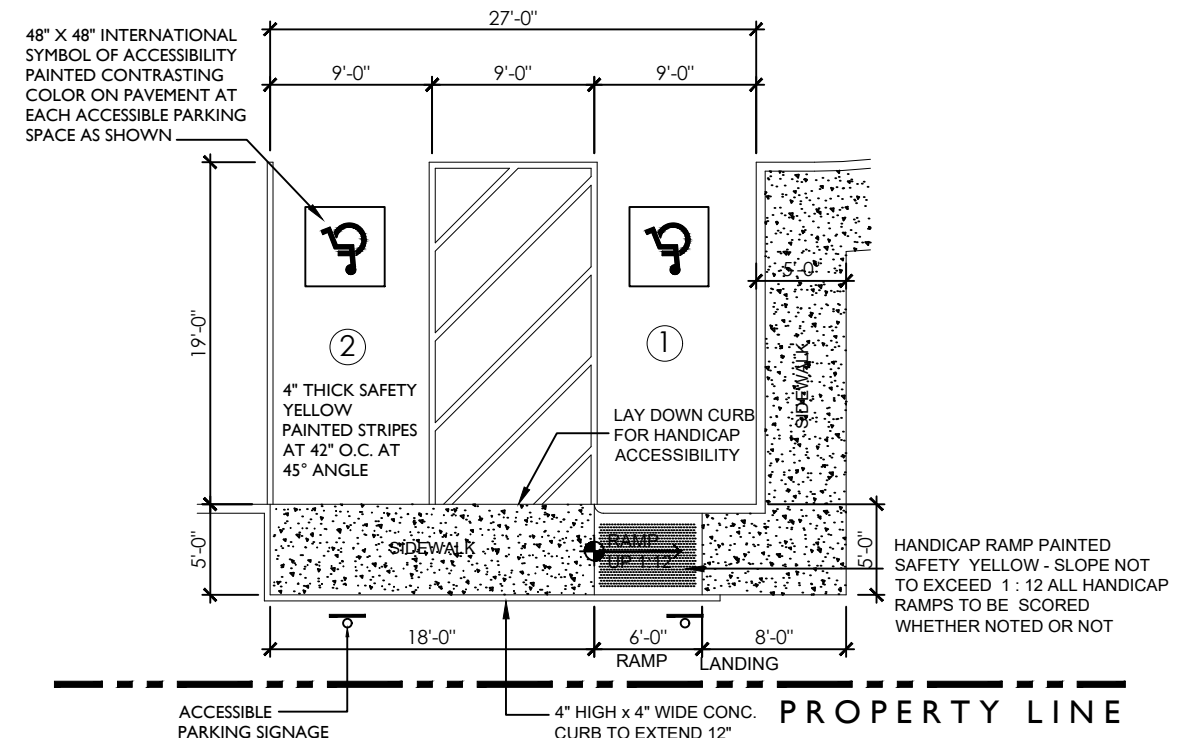
GATES MUST SWING OPEN FULLY 180 DEGREES. SLIDING BARREL BOLTS MUST BE INSTALLED ON INSIDE WALL OF EACH GATE AT BOTTOM CORNERS. HOLES LARGE ENOUGH TO RECEIVE BARREL BOLTS MUST BE DRILLED IN PARKING LOT SURFACE AT FULLY CLOSED LOCATION AND THE FULLY OPEN (180 DEGREES) LOCATION

ENCLOSURE DIMENSIONS
10' INTERIOR SIDE WALL TO INTERIOR SIDE WALL
10' INTERIOR OF GATE TO INTERIOR OF REAR WALL



FROM ENCLOSURE GATES TO TRUCKS REAR BUMPER: 50'
FROM LEFT SIDE WALL TO TRUCK'S REAR BUMPER: 30' CLEAR
FROM RIGHT SIDE WALL TO TRUCK'S FRONT BUMPER: 20' CLEAR

OPENING AND CLOSING OF GATES
IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER TO OPEN AND CLOSE THE GATES ON SERVICE DATES. IT IS RECOMMENDED THAT THE GATES BE OPENED AT THE START OF THE BUSINESS ON SERVICE DAYS



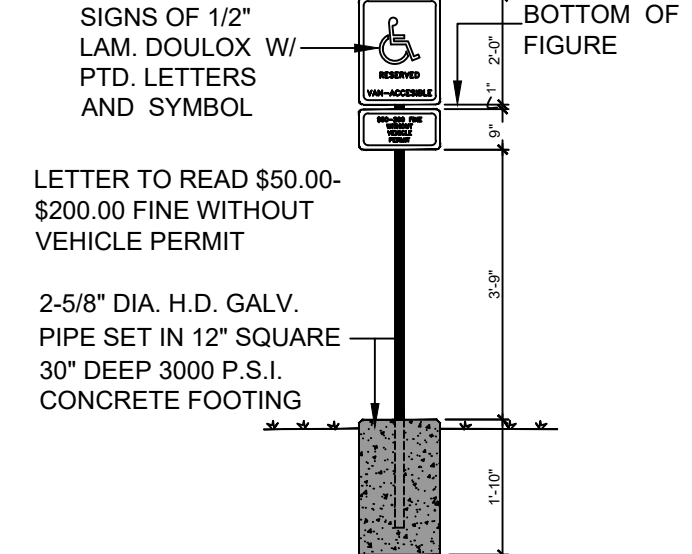
TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

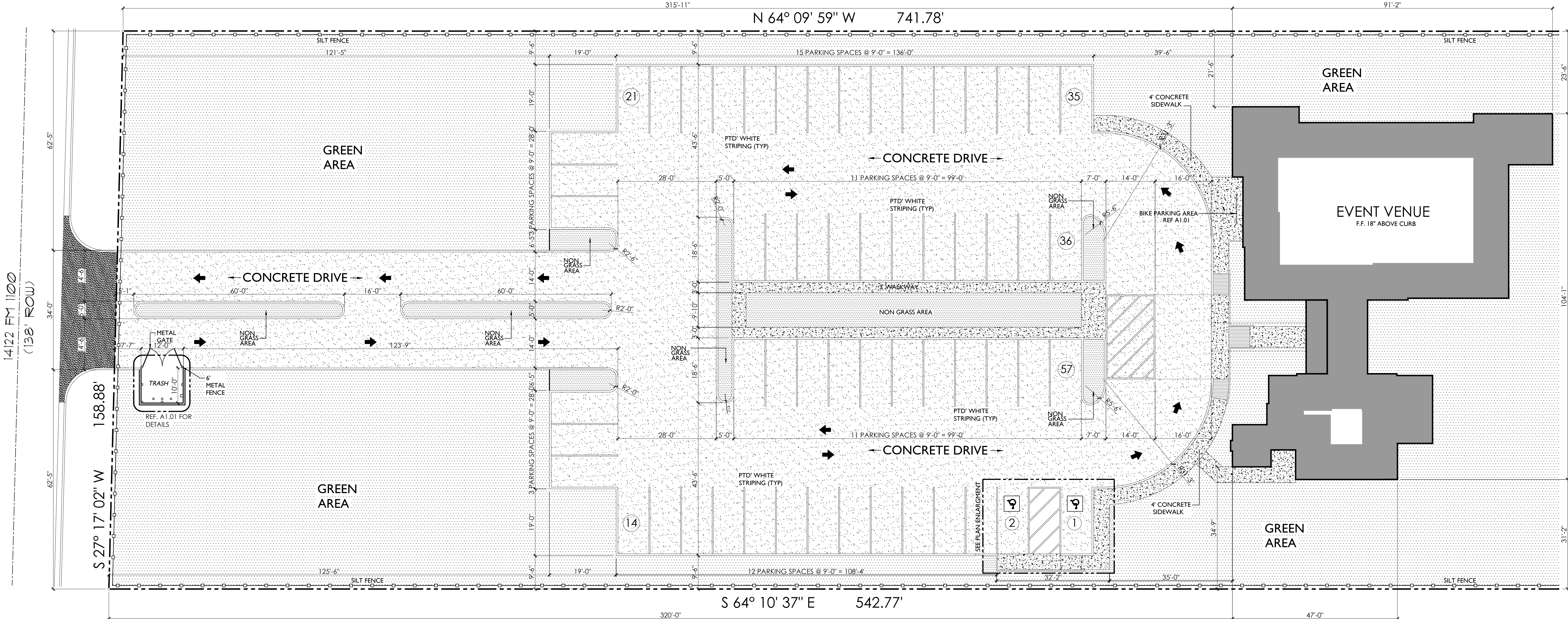
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- 2. SIDE WALK SLOPE IS NOT TO EXCEED 1:20 WITH A CROSS SLOPE OF 1:50 AT ANY INSTANCE.
- 3. REFERENCE SHEET MEP1 FOR SITE IMPROVEMENTS AND MECHANICAL, ELECTRICAL, AND PLUMBING SITE NOTES

SIGN/ ANCHOR DETAIL



SCALE: 1/8" = 1'-0"
ONE (1) VAN ACCESSIBLE HANDICAP PARKING SPACE REQUIRED AT EACH DESIGNATED HANDICAP PARKING AREAS
ONE (1) SIGN SIMILAR FOR REGULAR HANDICAP PARKING SPACE. SIGN DOES NOT INCLUDE VAN ACCESSIBLE NAME. ONE (1) PER HANDICAP SPACE



SITE PLAN
SCALE: 3/16" = 1'-0"
CHECKSET FOR REVIEW ONLY

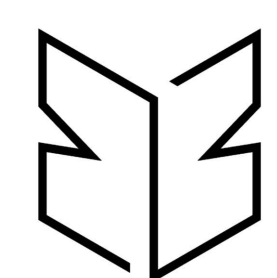
Table with 3 columns: DATE, CHANGE, BY. Contains a single row for the date 4.12.25.

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EVENT CENTER DESIGN FOR
ROUTE 1100 EVENT CENTER

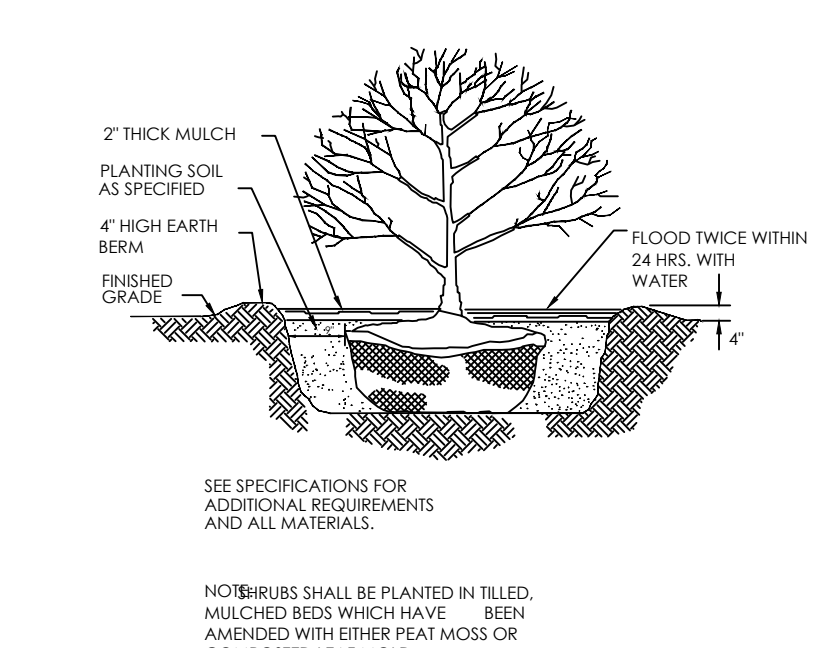
BEING 3.478 ACRE TRACT OF LAND OUT OF THE LEMUEL KIMBRO SURVEY
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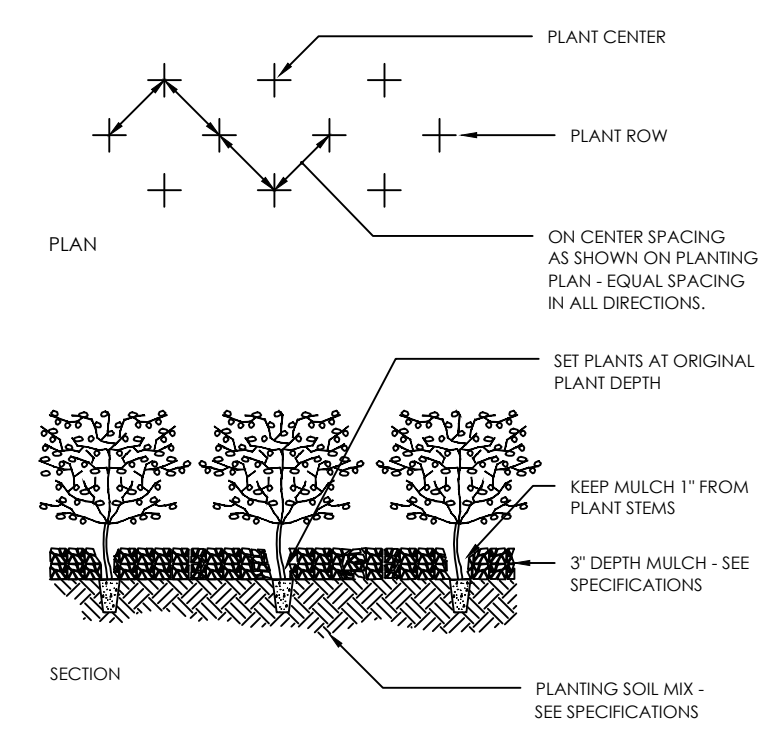
Table with 2 columns: Field, Value. Includes DATE (4.12.25), DRAWING NAME (SITE PLAN), and PROJECT # (DT24-096).

SHEET
C1.02

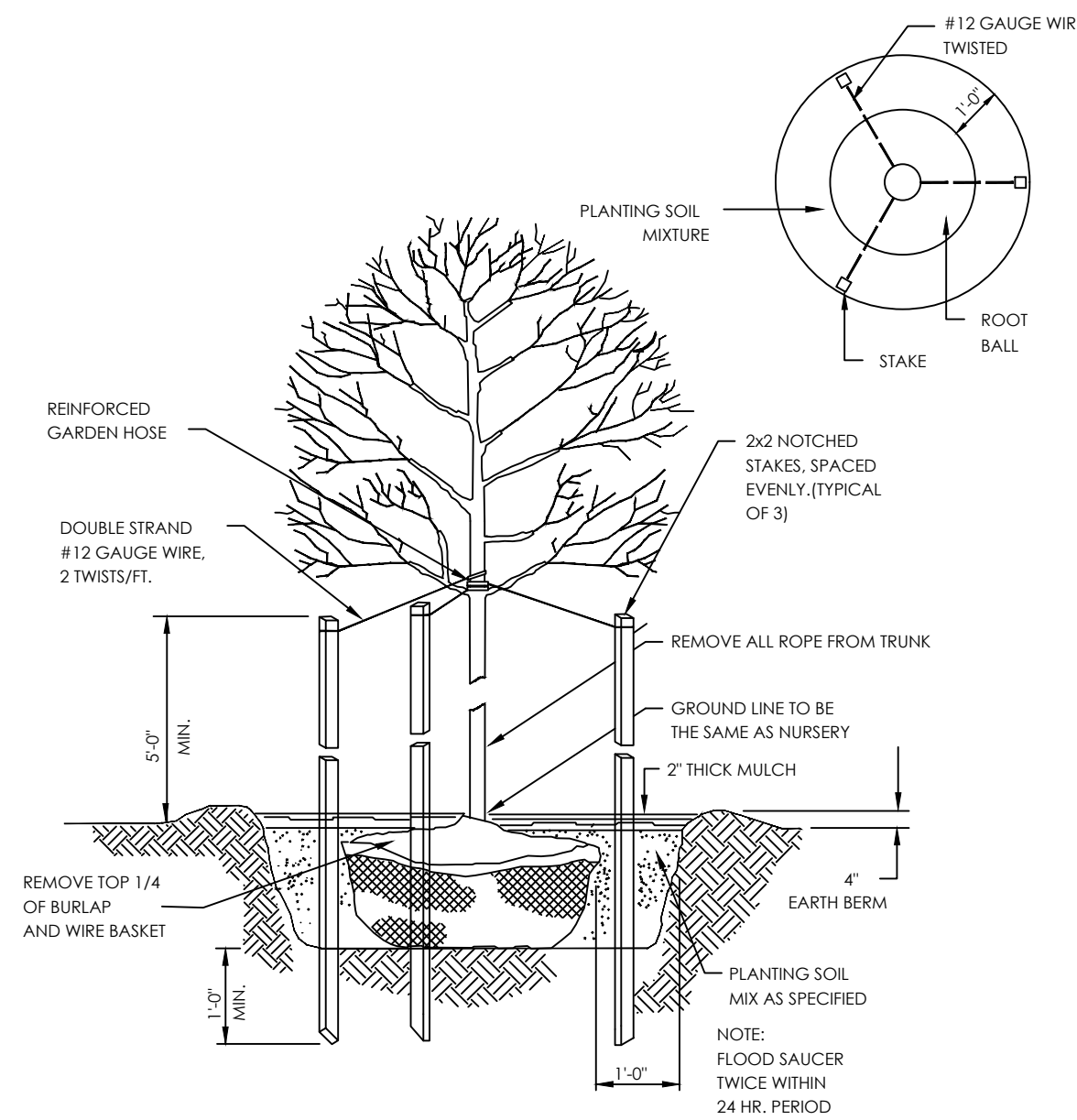


04 SHRUB PLANTING
NOT TO SCALE

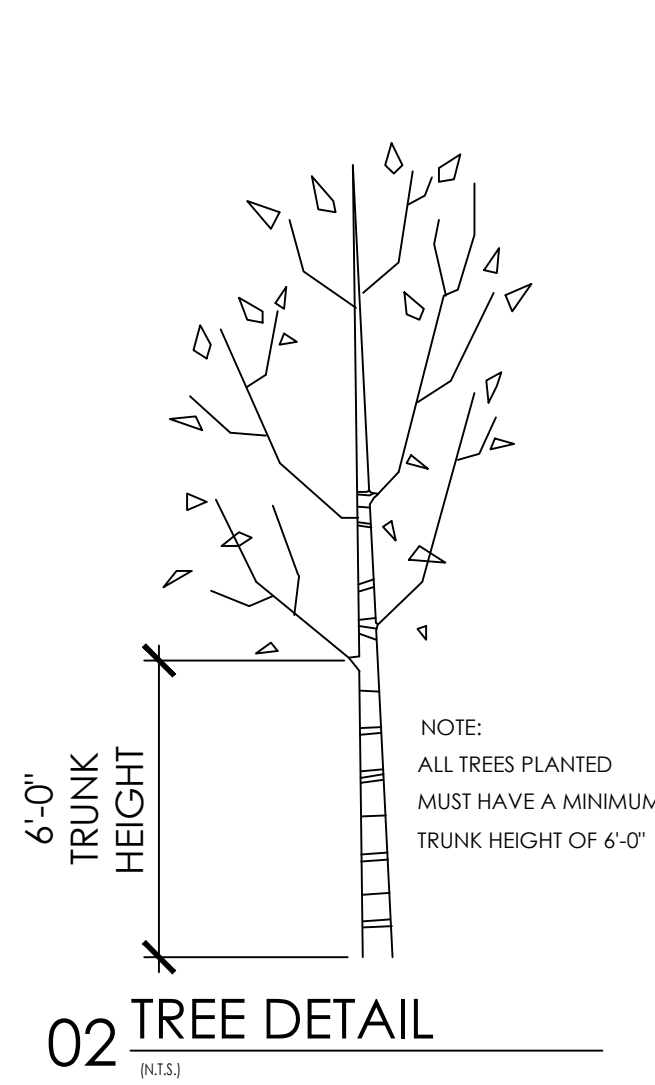
LANDSCAPE PLAN NOTES:
1. OWNER WILL INSTALL BACKFLOW PREVENTER SYSTEM FOR LANDSCAPE SPRINKLER SYSTEM (COORDINATE LOCAL PUBLIC UTILITIES)
2. NO POWER LINES ARE CURRENTLY LOCATED ON PROPERTY



GROUNDCOVER PLANTING
NOT TO SCALE



01 TYP. DECIDUOUS TREE PLANTING
NOT TO SCALE

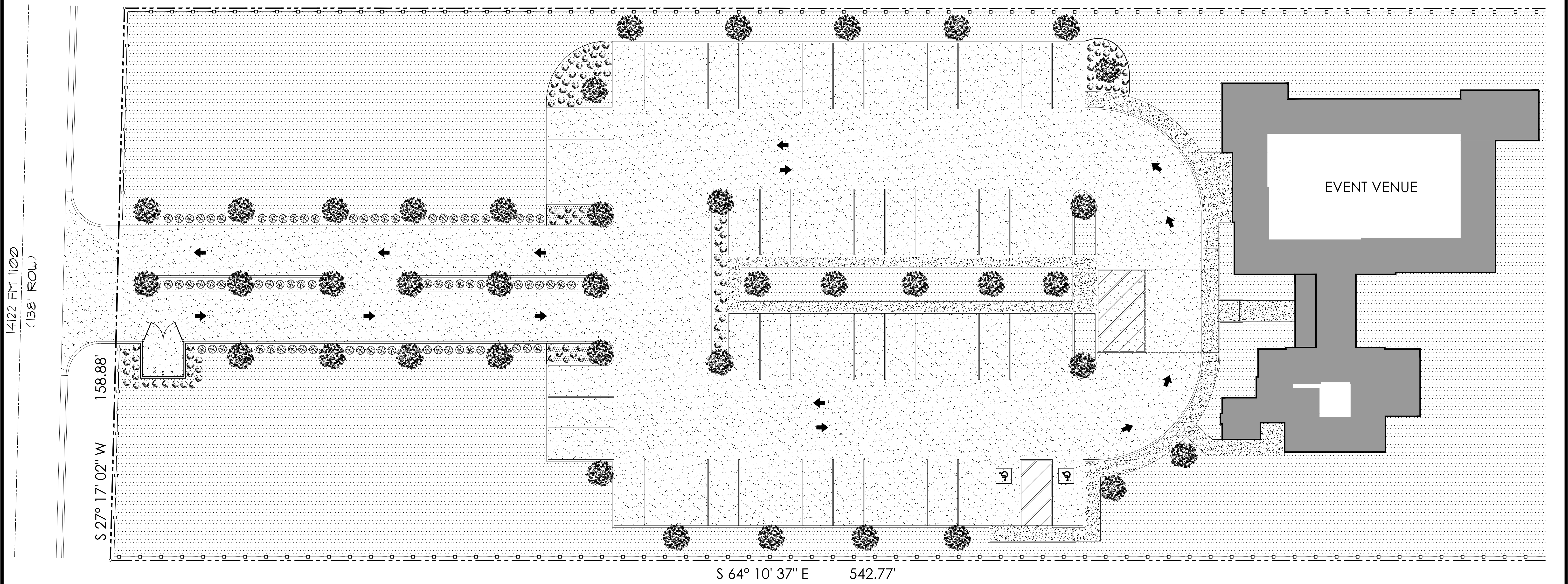


02 TREE DETAIL
(N.T.S.)

IRRIGATION NOTE:
THE APPLICANT WILL PROVIDE AN AUTOMATIC IRRIGATION ON OR BEFORE ANY REQUEST FOR A CERTIFICATE OF OCCUPANCY.

| LANDSCAPING LEGEND | | | | |
|--------------------|------------------------|------------------|--------|---------------------------------------|
| QTY. | COMMON NAME | BOTANICAL NAME | SYMBOL | SIZE |
| 107 | OLEANDER | NERIUM OLEANDER | | 1 GAL./ 36" |
| 40 | OAK TREE | QUERCUS COCCINEA | | 3" CAL / 6' HIGH |
| 73 | MEXICAN ORANGE BLOSSOM | CHIOSYA TERNATA | | 3" CAL / 3' HIGH |
| --- | | | | OPEN LAWN GRASS (HYDRO MULCHED GRASS) |

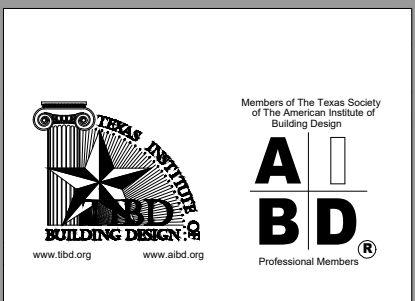
| LANDSCAPE ORDINANCE REQUIREMENTS | |
|----------------------------------|------------------|
| DESCRIPTION | QUANTITY |
| TOTAL SITE AREA | 151,497.00 S.F. |
| DEVELOPED AREA | 67,375.00 S.F. |
| PROVIDED PARKING LOT TREES | 40 |
| AREA OF IRRIGATION | SPRINKLER SYSTEM |



SITE PLAN
SCALE: 3/16" = 1'-0"
CHECKSET FOR REVIEW ONLY

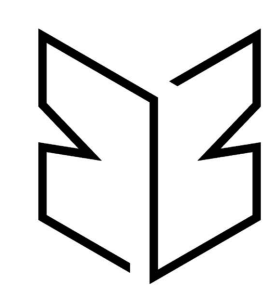
| DATE | CHANGE | BY |
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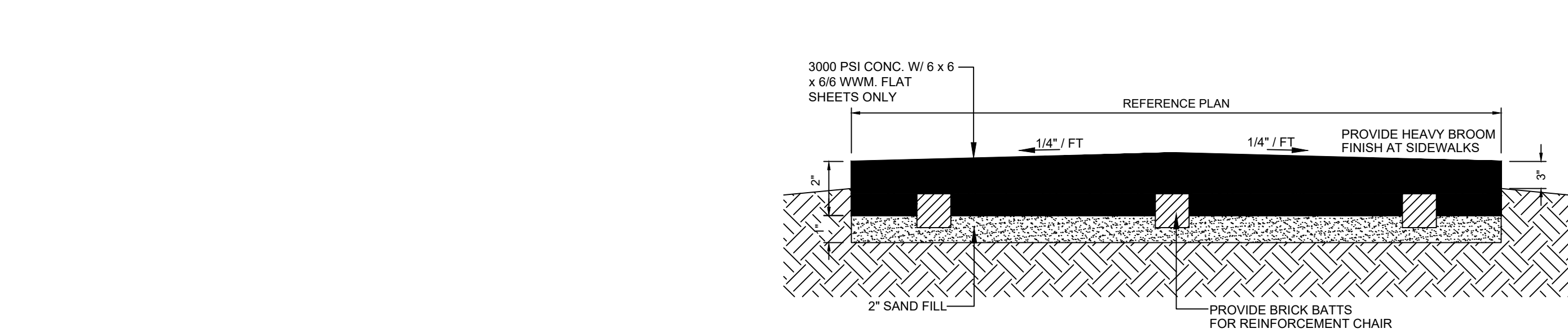
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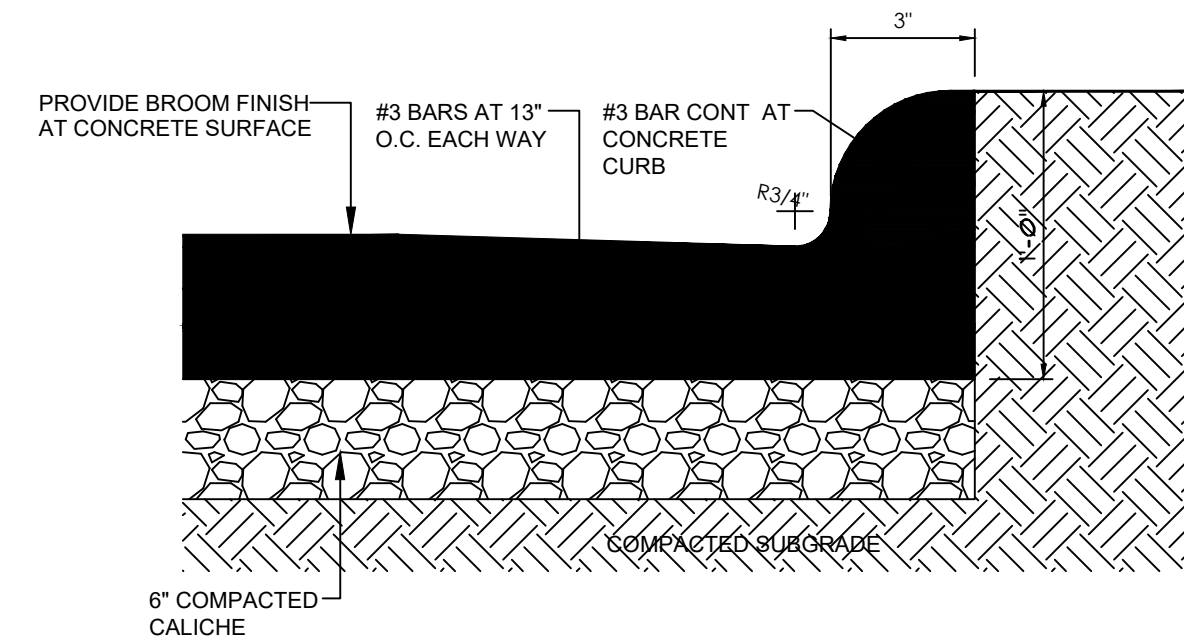
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| DATE: | 4.12.25 |
| DRAWING NAME: | LANDSCAPE |
| PROJECT # | DT24-096 |

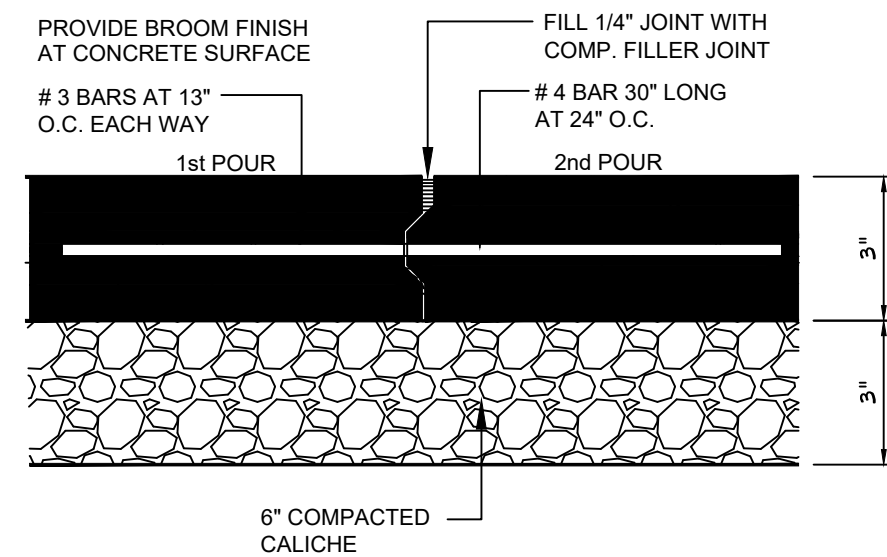
SHEET
C1.03



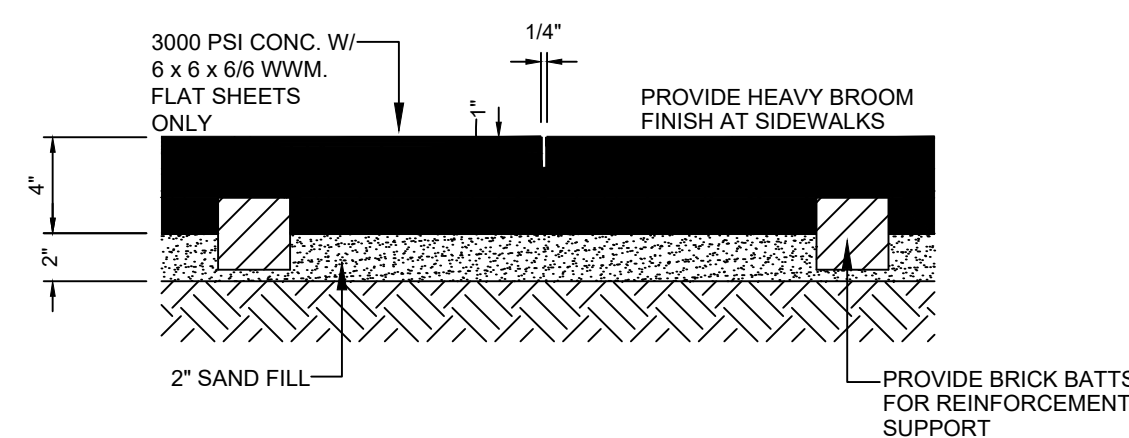
11 SIDEWALK DETAIL
SCALE: 1-1/2" = 1'-0"



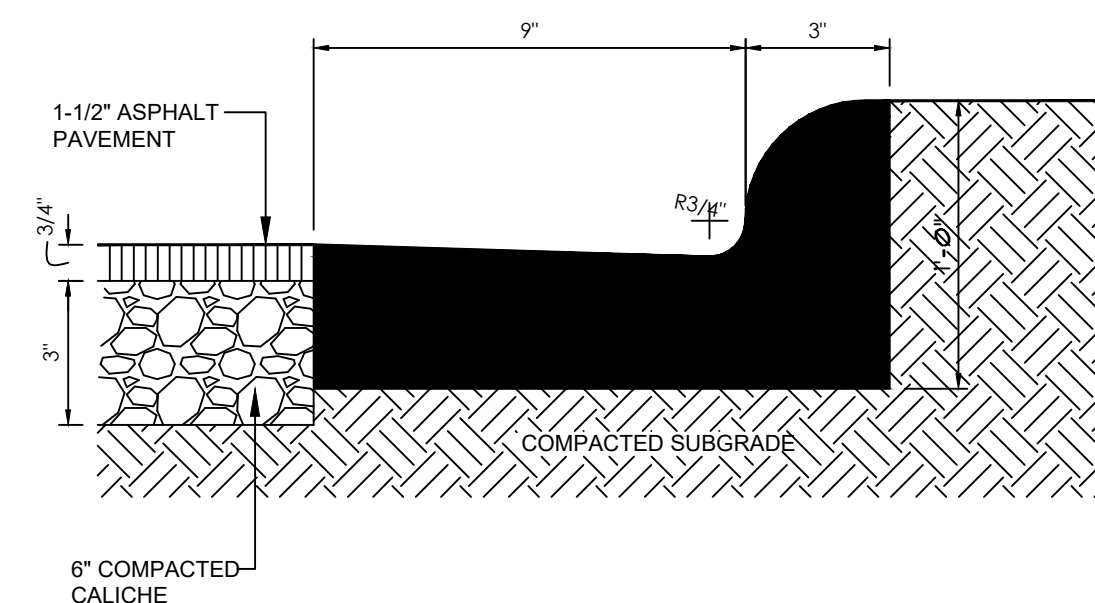
10 CURB & GUTTER DETAIL
SCALE 1 1/2" = 1'-0"



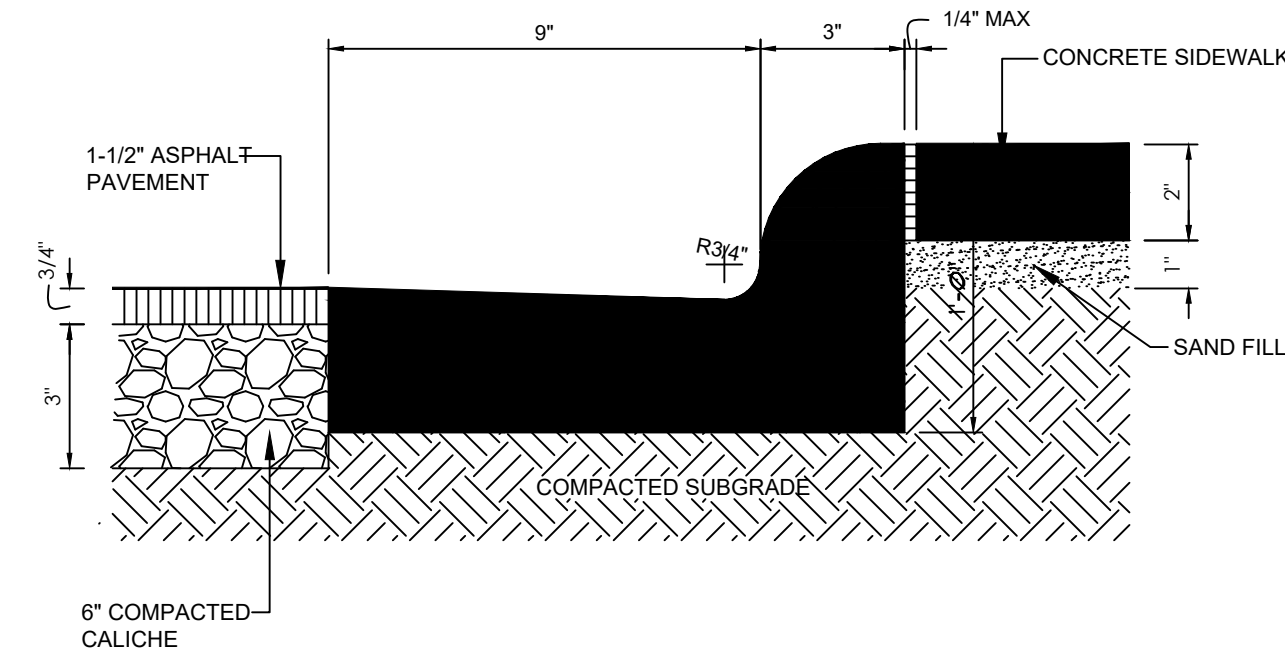
13 CONC. PAVING CONST. JNT.
SCALE: 3/4" = 1'-0"



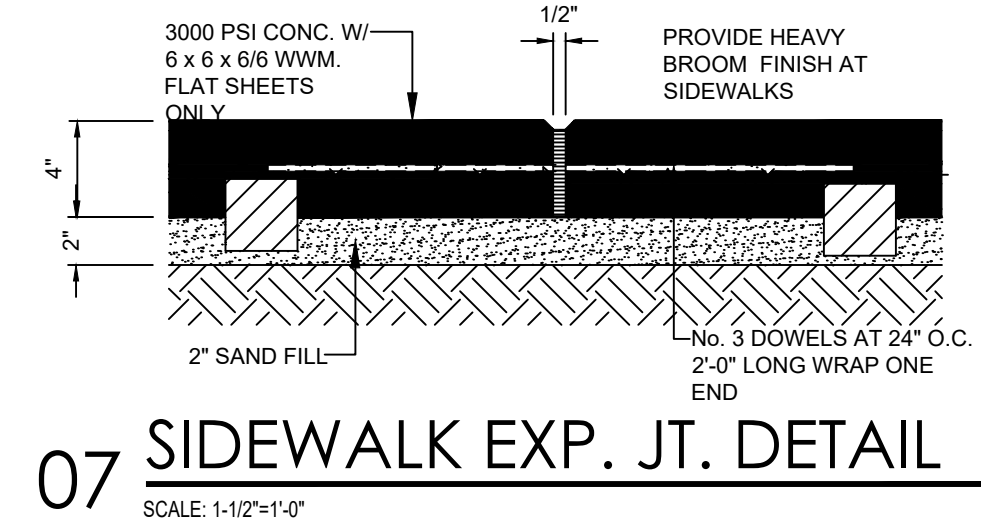
12 SIDEWALK CONTROL JT.
SCALE: 1-1/2" = 1'-0"



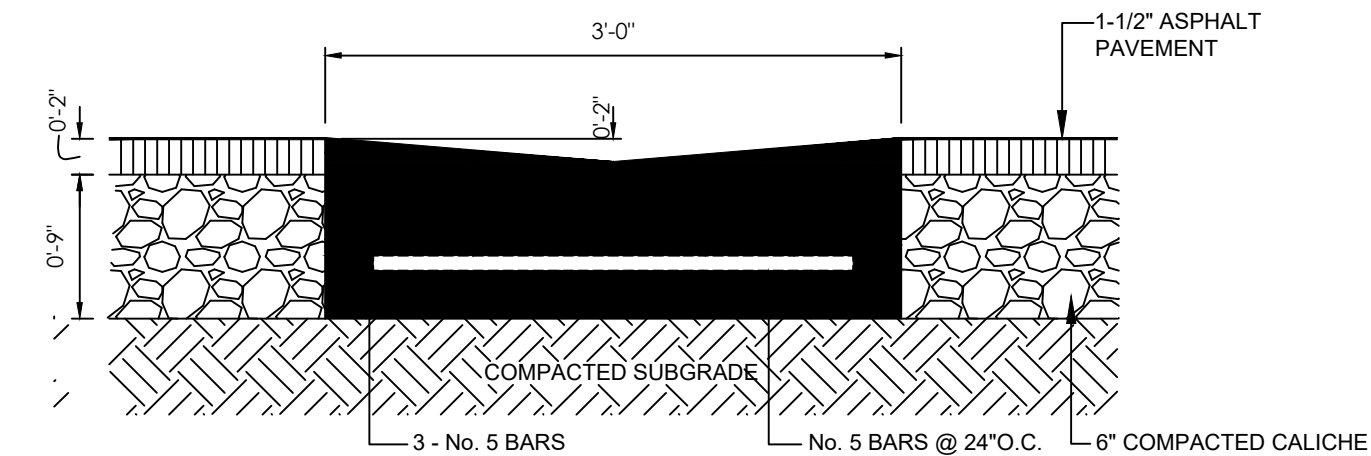
09 CURB & GUTTER DETAIL
SCALE 1 1/2" = 1'-0"



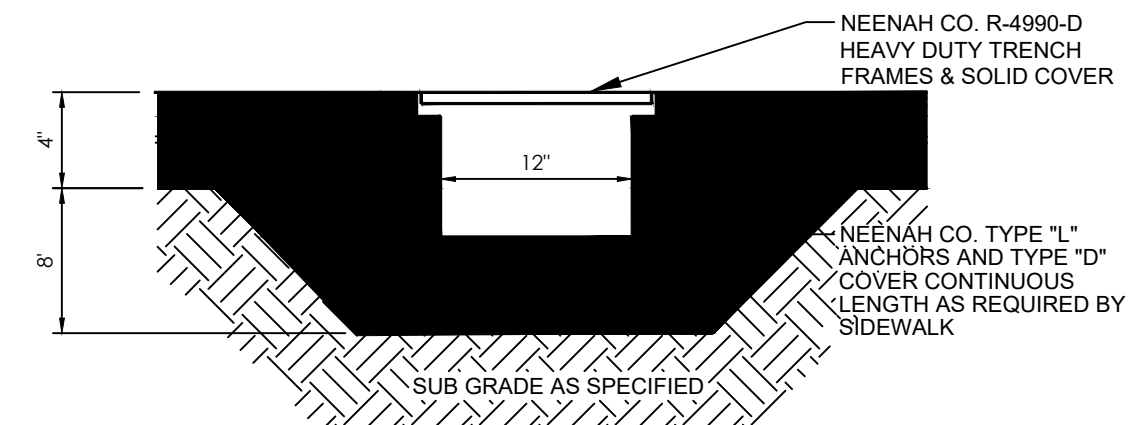
08 CURB & GUTTER DETAIL @ SIDEWALK CONDITION
SCALE 1 1/2" = 1'-0"



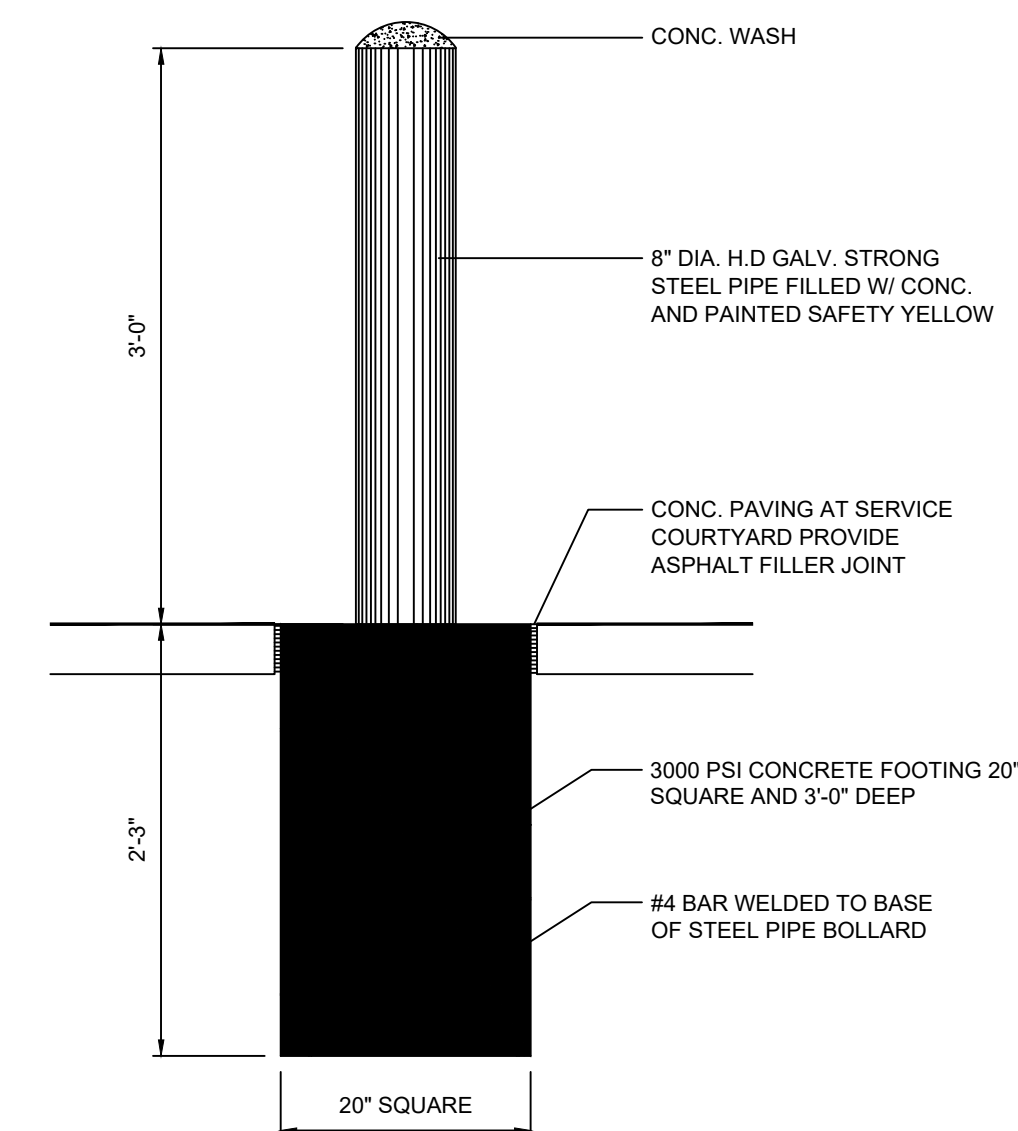
07 SIDEWALK EXP. JT. DETAIL
SCALE: 1-1/2" = 1'-0"



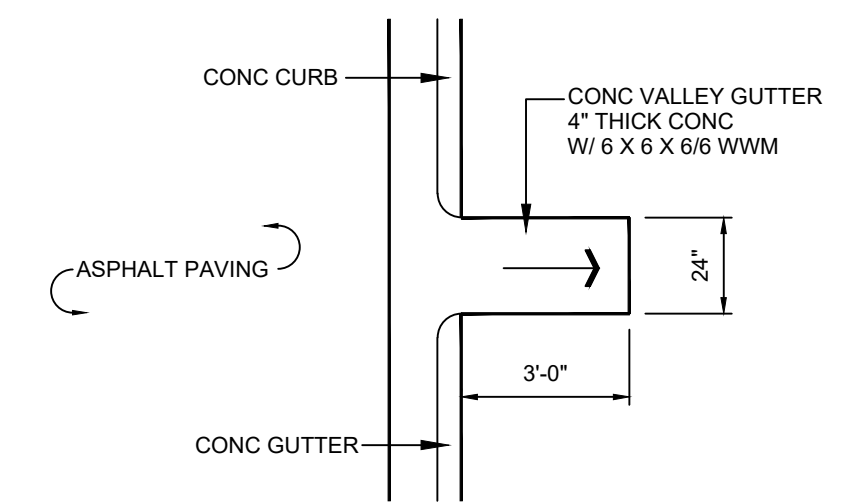
06 VALLEY GUTTER DETAIL
SCALE: 1-1/2" = 1'-0"



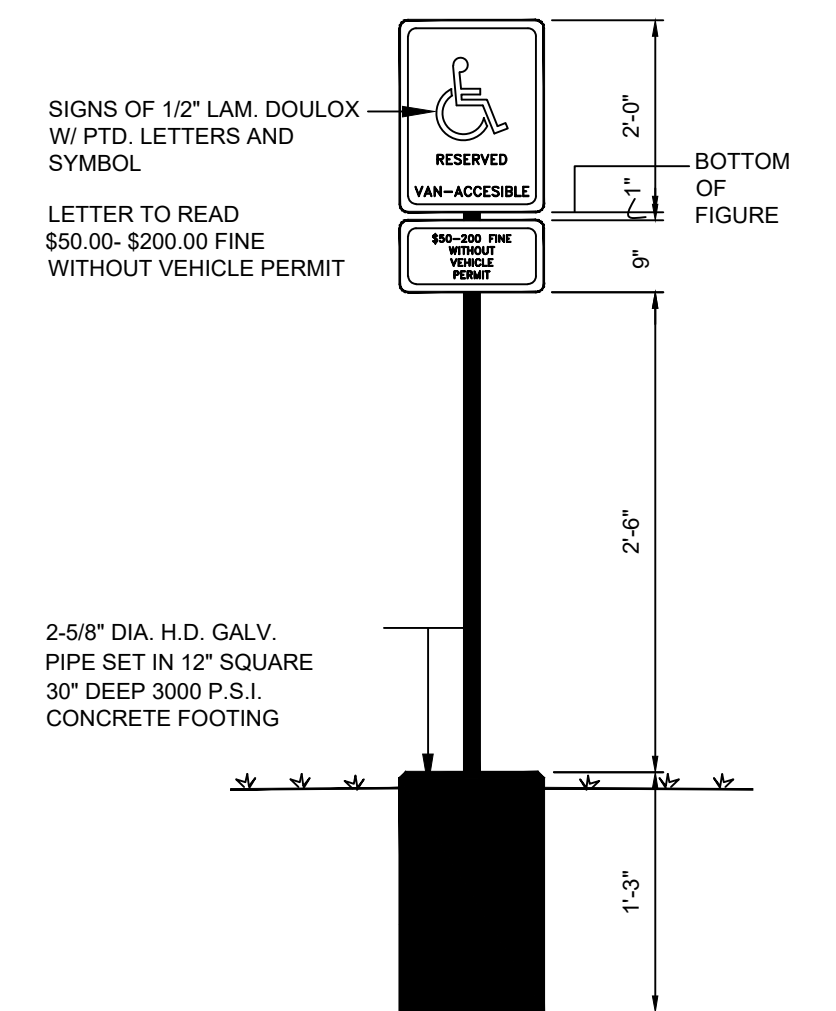
05 TRENCH DETAIL
SCALE 1 1/2" = 1'-0"
NOTE: PROVIDE FOR FIFTEEN (25) UNITS TO BE LOCATED BY ARCHITECT'S OFFICE



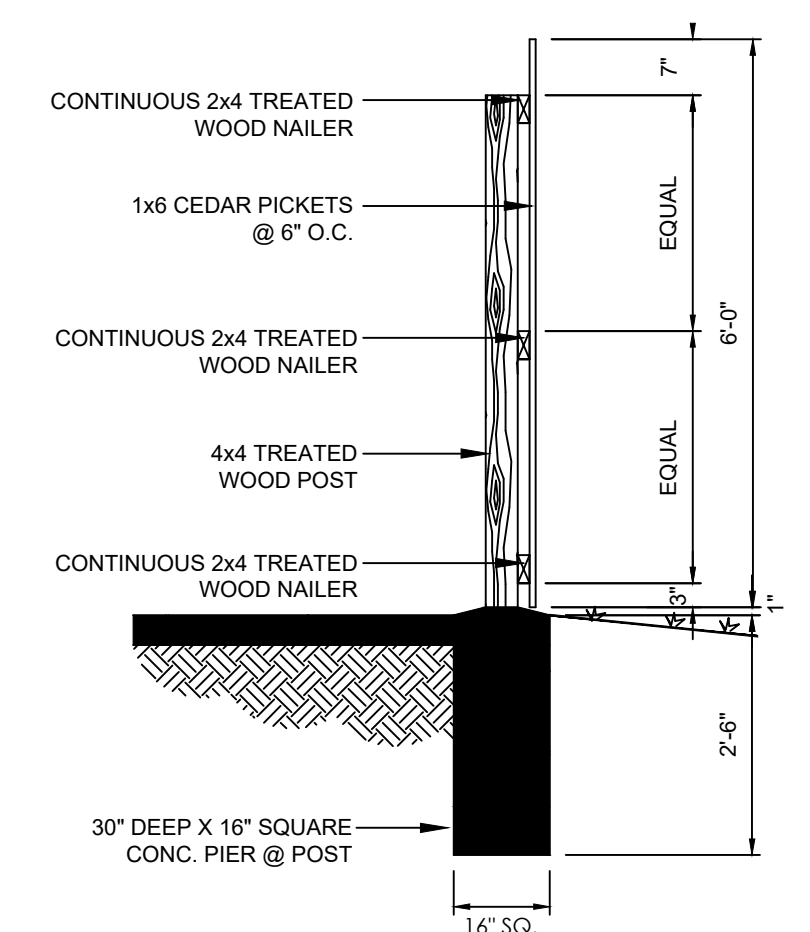
04 PIPE BULLARD DETAIL
SCALE 3/8" = 1'-0" SEE SITE PLAN FOR LOCATION



03 CURB BREAK DETAIL
SCALE 1/4" = 1'-0"



02 SIGN / ANCHOR DETAIL
SCALE: 1/2" = 1'-0"
ONE (1) VAN ACCESSIBLE HANDICAP PARKING SPACE REQUIRED AT EACH DESIGNATED HANDICAP PARKING AREAS
ONE (1) SIGN SIMILAR FOR REGULAR HANDICAP PARKING SPACE. SIGN DOES NOT INCLUDE VAN ACCESSIBLE NAME.
ONE (1) PER HANDICAP SPACE

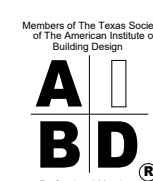


01 CEDAR FENCE SECTION
SCALE: 3/4" = 1'-0"

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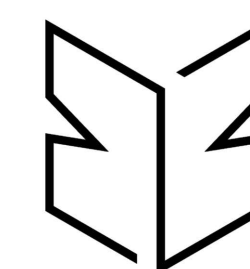
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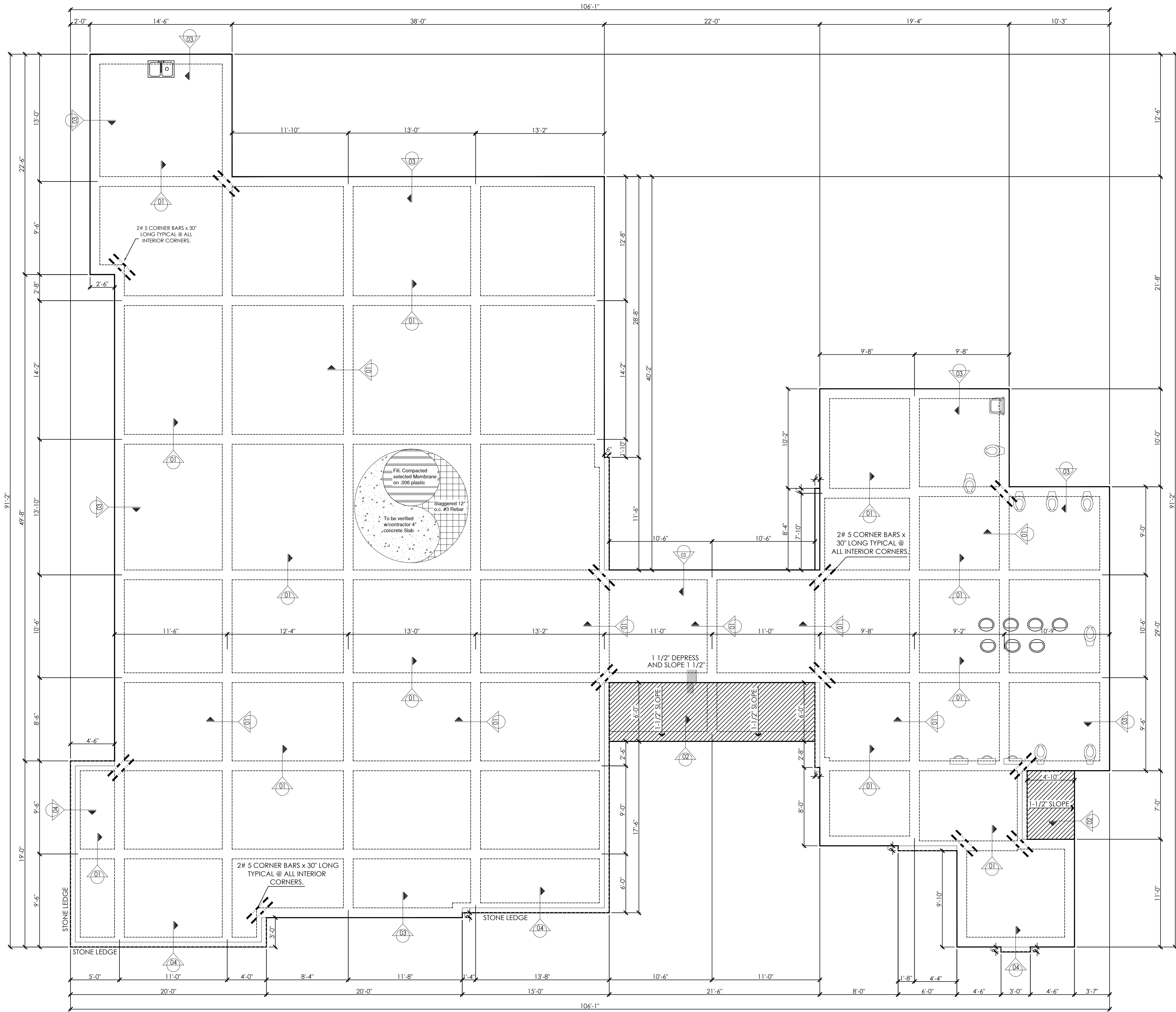
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| | |
|---------------|-------------------|
| DATE: | 4.12.25 |
| DRAWING NAME: | SITE PLAN DETAILS |
| PROJECT # | DT24-096 |

SHEET
A2.03



CONCRETE NOTES

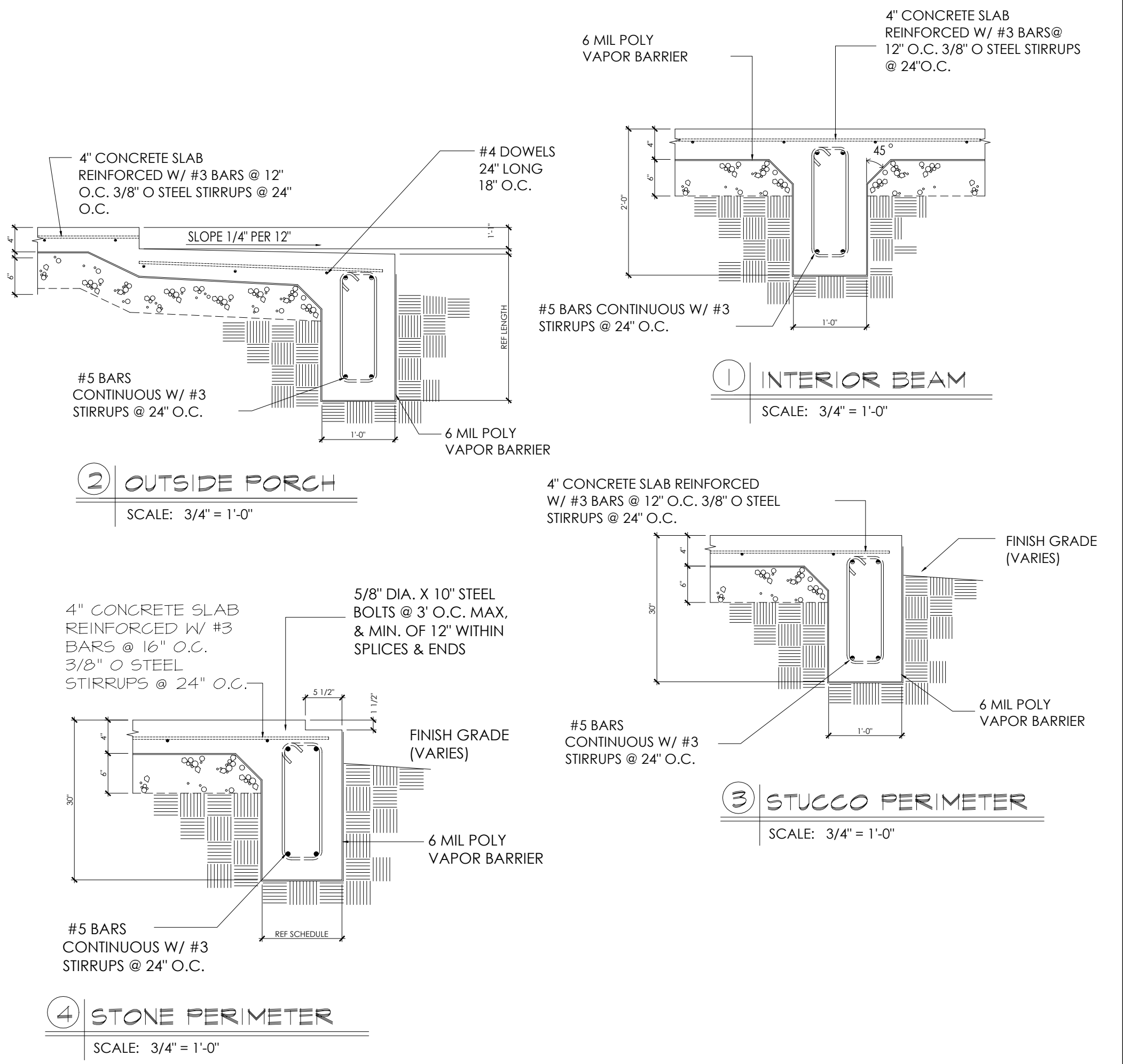
- ALL CONCRETE WORK, DETAILING and ERECTION SHALL CONFORM TO THE FOLLOWING:
ACI #301: SPECIFICATIONS
ACI #318: BUILDING CODE REQUIREMENTS
ACI #315: MANUAL OF STANDARD PRACTICE
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
SIDEWALKS AND DRIVES: 3000 PSI
SLABS and GRADE BEAMS: 3000 PSI
- CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM REQUIREMENTS:
REINFORCING: A615, Grade 60, Deformed
WELDED WIRE MESH: A185
AGGREGATE: C33
READY MIXED CONCRETE: C94
PORTLAND CEMENT: C150
FIELD CYLINDERS: C31
COMPRESSIVE TESTING: C39
- STANDARD PROTECTIVE COVER FOR REINFORCING, UNLESS OTHERWISE NOTED:
AGAINST DIRT or FILL: 2 inches
EXPOSED TO EARTH or WEATHER: 2 inches
SLABS and WALLS: 1 inch
OTHER: 1 1/2 inches
- ALL ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI #315
- HORIZONTAL CONSTRUCTION JOINTS ARE NOT ALLOWED IN SLABS OF BEAMS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.
- MAINTAIN AT LEAST 1 inch BETWEEN REINFORCING BARS WHEREVER POSSIBLE
- REINFORCING BARS SCHEDULED AS CONTINUOUS SHALL BE LAPPED 40 BAR DIAMETERS OR 12 inches MIN.
- PUMPED CONCRETE SHALL MEET THESE ADDITIONAL REQUIREMENTS:
MAXIMUM COARSE AGGREGATE SIZE: 3/4 inch
ADDITIONAL CEMENT: 1/2 Sack
MAXIMUM SLUMP: 5 inches
DO NOT PUMP THRU AN ALUMINUM TUBE
- CURE CONCRETE BY FLOODING FOR MINIMUM 72 HOURS. ALTERNATE METHOD: APPLY SPRAYED-ON CURING COMPOUND MEMBRANE AS FINAL CONCRETE FINISHING PROGRESSES. USE COMPOUND THAT WILL NOT AFFECT BOND IN AREAS THAT REQUIRE ADHESION.
- PROVIDE SHOP DRAWINGS OF REINFORCING AND ACCESSORIES FOR REVIEW BY ARCHITECT

NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGNED BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.
1-BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
2-BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
3- PLANS INDICATE LOCATIONS ONLY: ENGINEERING ASPECTS SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

REINFORCEMENT NOTES

- GRADE BEAMS:
4 - #6 BARS CONTINUOUS (2-TOP/2-BOTTOM)
#3 STIRRUPS AT 24" ON CENTER
GRADE 60 STEEL
- SLAB:
#3 BARS AT 12" ON CENTER
2- #6 CORNER BARS AT ALL CORNERS
- MINIMUM 6 MIL WATERPROOFING MEMBRANE UNDER BUILDING SLAB AND ALL AREAS WHERE CONCRETE SLAB IS COVERED BY CERAMIC TILE OR OTHER DECORATIVE APPLIED SURFACING.
- PROVIDE DOWELS TO ADJACENT CONCRETE SLAB CONSTRUCTION
#4 DOWELS AT 18" ON CENTER
CONCRETE STRENGTH: 3000 PSI MINIMUM AT 28 DAYS
MINIMUM 40 DIAMETER LAP AT BAR SPLICE



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

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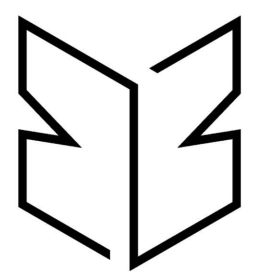
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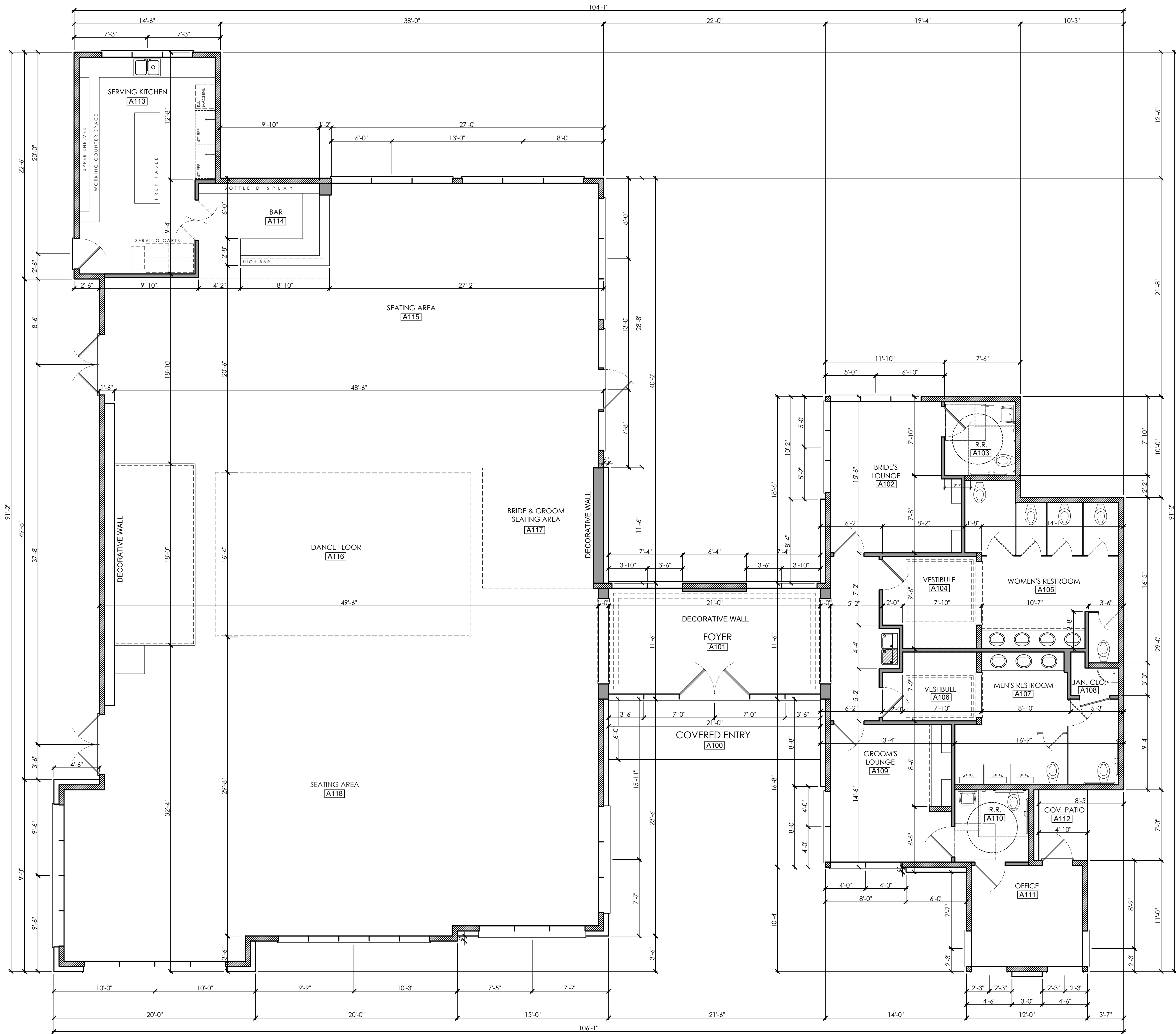
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| DRAWING NAME: | FOUNDATION |
| PROJECT # | DT24-096 |

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S1.01



OCCUPANCY CHART

| DESCRIPTION | SQ. FT. / CAPACITY |
|--|---------------------------|
| RECEPTION AREA DJ/TABLES & CHAIRS/BRIDE GROOM | 2,850 SQ. FT. / 15 190 |
| DANCE FLOOR | 680 SQ. FT. / 5 135 |
| FOYER | 220 SQ. FT. / 5 44 |
| BRIDE'S LOUNGE | 163 SQ. FT. / 15 11 |
| GROOM'S LOUNGE | 150 SQ. FT. / 15 10 |
| SERVING KITCHEN | 70 SQ. FT. / 15 15 |
| OFFICE | 70 SQ. FT. / 15 5 |
| TOTAL BUILDING CAPACITY | 410 OCCUPANTS |

SQUARE FOOTAGE

| | |
|-------------------|---------------|
| BUILDING AREA | 5,739 SQ. FT. |
| COVERED ENTRY | 126 SQ. FT. |
| TOTAL LIVING AREA | 5,865 SQ. FT. |

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLAN TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.

3. PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

WALL LEGEND

2" x 4" FRAMED WALL
2" x 6" FRAMED WALL

ROOM FINISH SCHEDULE

| ROOM NO. | ROOM NAME | BASE | FLR | WALLS | | | | CLG. | CLG. HEIGHTS | REMARKS |
|----------|--------------------|--------|-------|---------|---------|---------|---------|----------|--------------|--------------------------|
| | | | | N | S | E | W | | | |
| A100 | COV. ENTRY | RUBBER | C.T. | CONC. | P.C.P. | | | | | |
| A101 | FOYER | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A102 | BRIDE'S LOUNGE | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A103 | RESTROOM | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A104 | VESTIBULE | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 10'-0" | |
| A105 | WOMEN'S R.R. | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 10'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A106 | VESTIBULE | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A107 | MEN'S R.R. | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A108 | JANITORS | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A109 | GROOM'S LOUNGE | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A110 | RESTROOM | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 10'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A111 | OFFICE | RUBBER | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A112 | COV. PATIO | CONC. | CONC. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A113 | SERVING KITCHEN | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | POURED EPOXY |
| A114 | BAR | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 10'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A115 | SEATING AREA | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 10'-0" | 6'-0" HIGH C.T. WAINSCOT |
| A116 | DANCE FLOOR | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | POURED EPOXY |
| A117 | B & G SEATING AREA | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | |
| A118 | SEATING AREA | C.T. | C.T. | GYP/PTD | GYP/PTD | GYP/PTD | GYP/PTD | S.A.C. 1 | 12'-0" | POURED EPOXY |

DIMENSIONAL FLOOR PLAN

SCALE: 3/16" = 1'-0"

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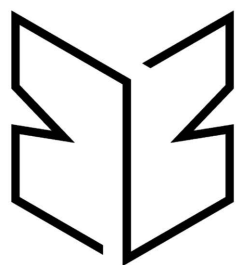
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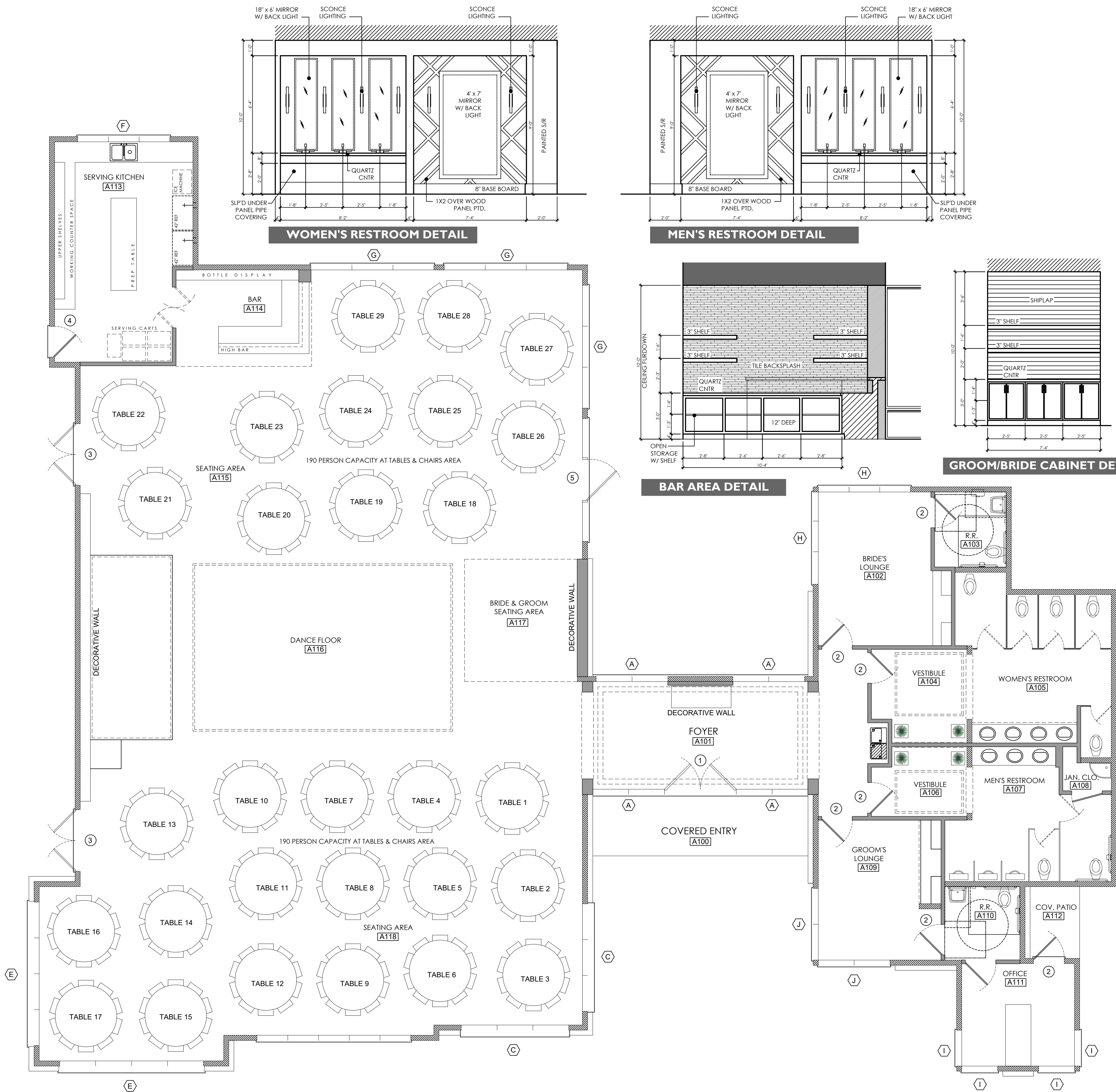


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FIXTURE PLAN

SCALE: 3/16" = 1'-0"

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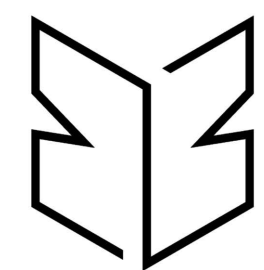
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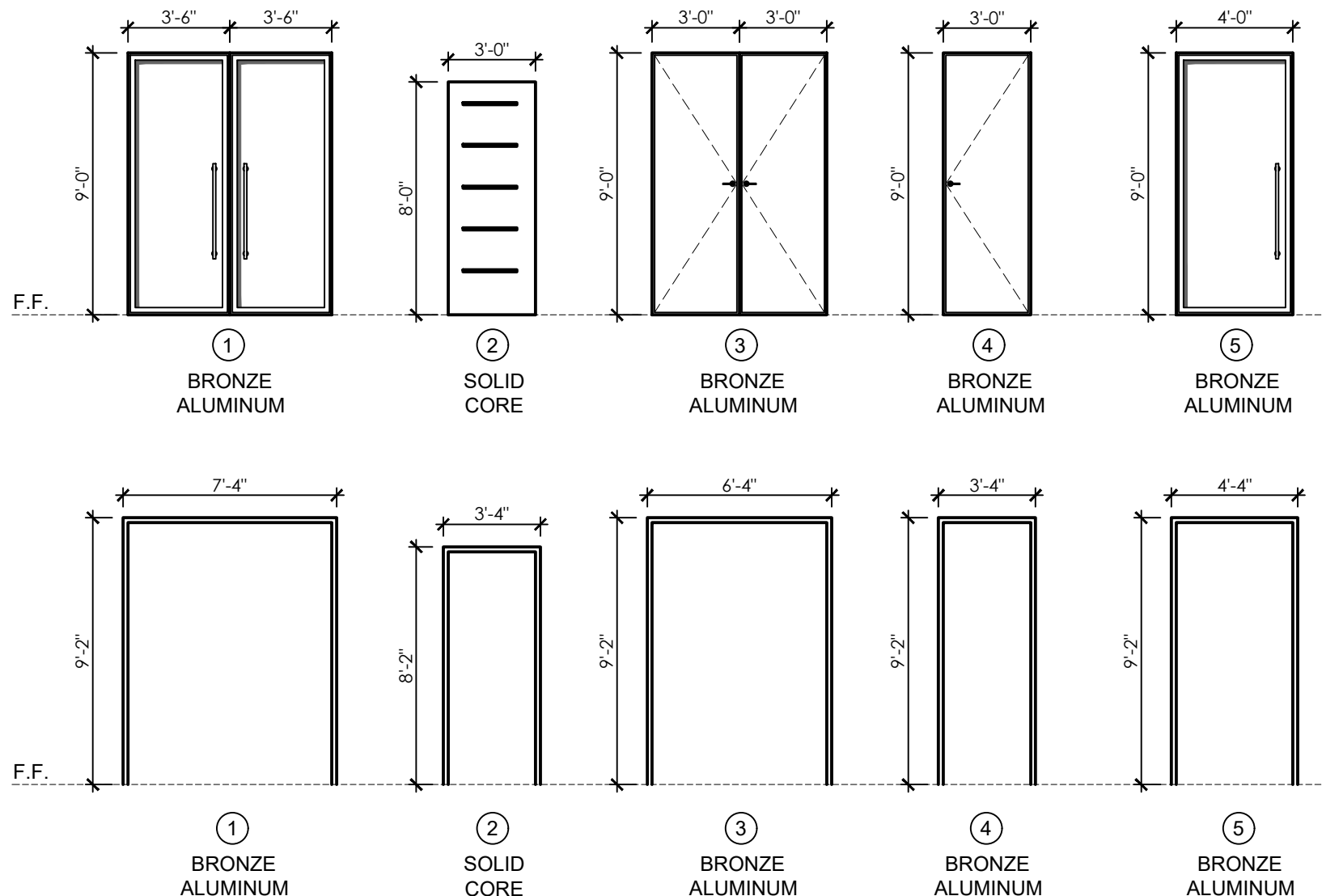
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| DRAWING NAME: | FIXTURE PLAN |
| PROJECT # | DT24-096 |

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A2.02

| DOOR SCHEDULE | | | | | | | | | | | | | |
|---------------|------|-----------|-------|---|-------|-------|-------|---|------|--------|------|------|---------|
| DOOR NO. | DOOR | | | | FRAME | | | | HDWR | DETAIL | | | REMARKS |
| | MATL | W | H | T | MATL | W | H | T | | JAMB | HEAD | SILL | |
| 1 | ALUM | PR. 3'-6" | 9'-0" | | ALUM | 7'-4" | 9'-2" | | | | | | |
| 2 | SC | 3'-0" | 8'-0" | | SC | 3'-4" | 8'-2" | | | | | | |
| 3 | ALUM | PR. 3'-0" | 9'-0" | | ALUM | 6'-4" | 9'-2" | | | | | | |
| 4 | ALUM | 3'-0" | 9'-0" | | ALUM | 3'-4" | 8'-2" | | | | | | |
| 5 | ALUM | 4'-0" | 9'-0" | | ALUM | 4'-4" | 9'-2" | | | | | | |

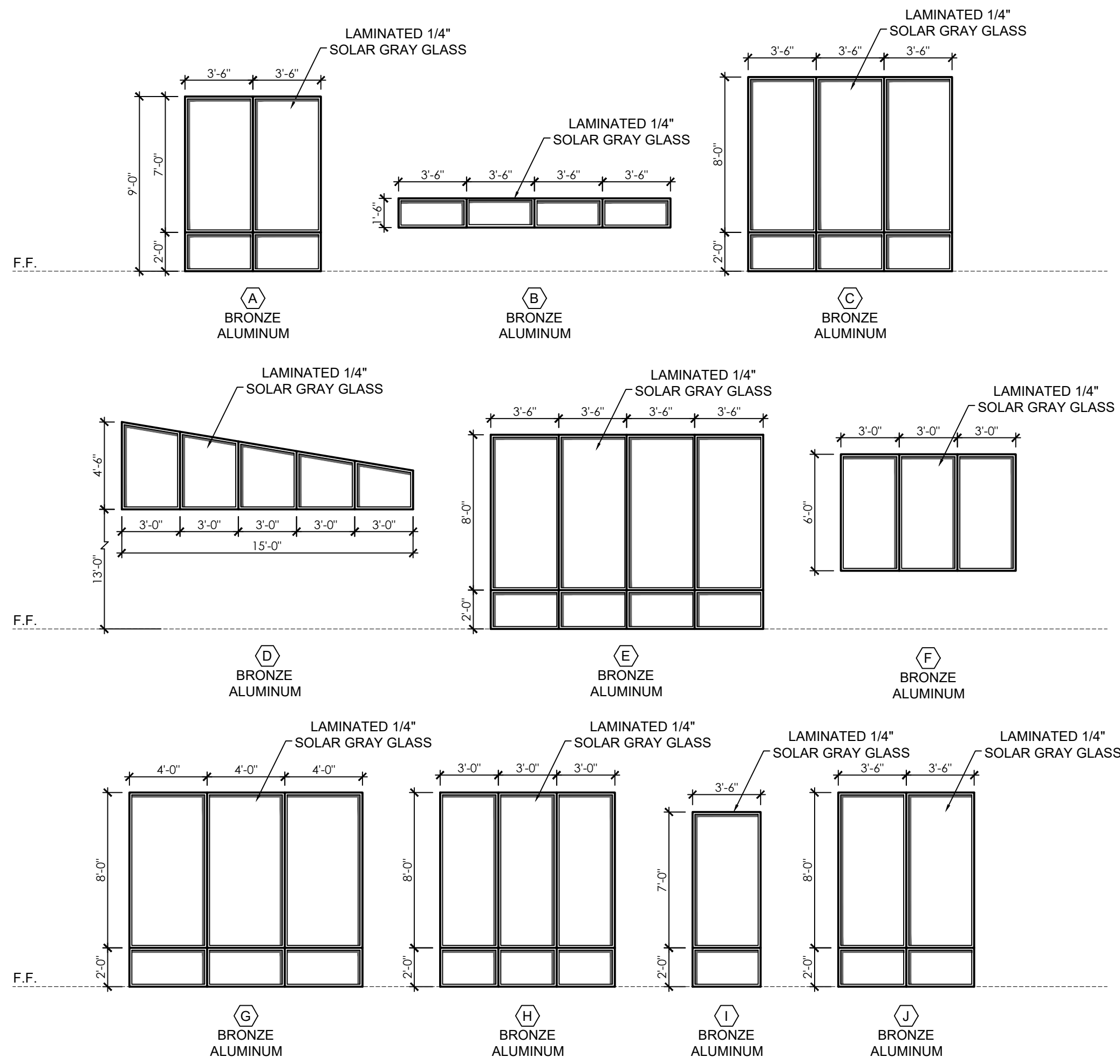
NOTE : PROVIDE LABELED DOORS AT ALL FIRE RATED PARTITIONS

NOTE : ALL GLAZING SHALL BE 1/4" WIRE GLASS U.N.O.



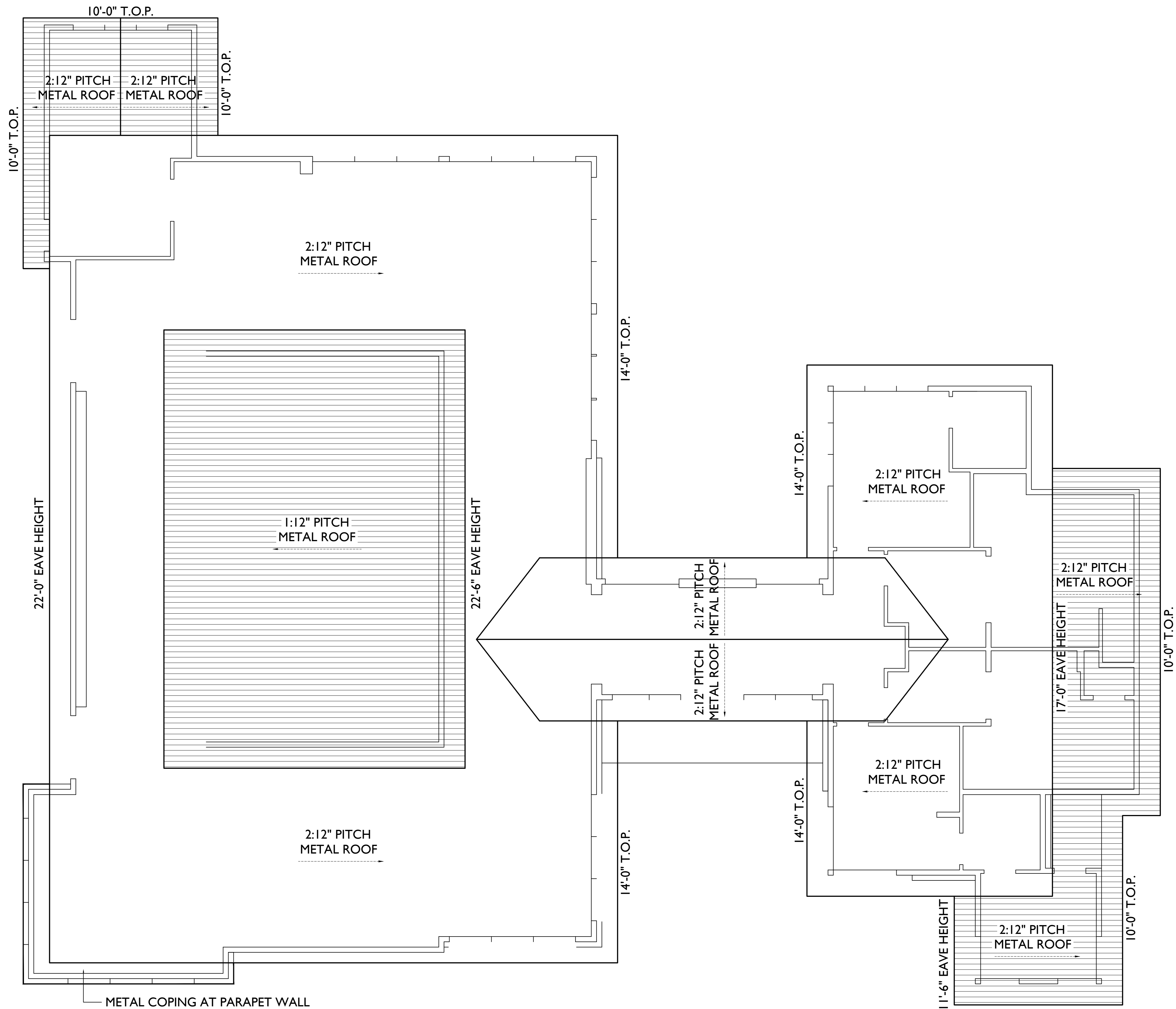
DOOR & FRAME ELEVATIONS

SCALE: 3/16" = 1'-0"



WINDOW ELEVATIONS

SCALE: 3/16" = 1'-0"



ROOF PLAN

SCALE: 3/16" = 1'-0"

GENERAL ROOF NOTES

NOTE: ALL PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL SUBCONTRACTOR AND SHALL BE PERFORMED BY THE ROOFING CONTRACTOR

PROVIDE WALKWAY SYSTEM AT ALL ROOF TOP AIR HANDLER UNITS AND ALL OTHER ROOF TOP EQUIPMENT

PROVIDE POSITIVE DRAINAGE IN AND AROUND ALL ROOF TOP EQUIPMENT SO AS TO DRAIN INTO AREA ROOF DRAINS

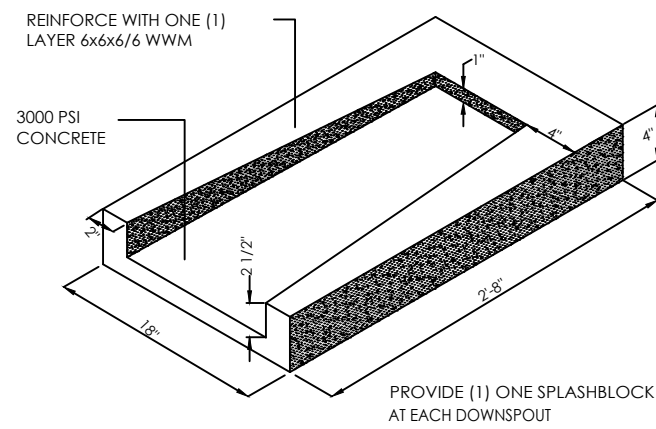
REFERENCE MECHANICAL DRAWINGS FOR ALL ROOF PENETRATIONS

PROVIDE PRE-MANUFACTURED CONCRETE SPLASH BLOCKS AT EACH ROOF DRAIN LINE NOZZLE

PROVIDE POSITIVE DRAINAGE TOWARDS ALL ROOF DRAINS BY USE OF CRICKETS

COORDINATE ALL ROOF EXPANSION JOINTS WITH STRUCTURAL ENGINEER'S ROOF FRAMING PLANS

- NOTE ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL SUB-CONTRACTOR AND THEIR REQUIREMENTS AND SHALL BE PERFORMED BY THE METAL BUILDING ROOFING SUB-CONTRACTOR
- REFERENCE MECHANICAL DRAWINGS FOR ALL REQUIRED ROOF PENETRATION LOCATIONS NOT SHOWN ON THIS PLAN
- PROVIDE PRE-MANUFACTURED CONCRETE SPLASH BLOCKS AT EACH ROOF DOWN SPOUT LOCATION AND OR AT EACH ROOF DRAIN NOZZLE OUTLET. SECURE SPLASH BLOCKS TO EITHER GROUND OR BUILDING
- REFER TO WALL SECTIONS SHEET A4.01 - A4.08 FOR ADDITIONAL ROOF NOTES
- METAL BUILDING SUPPLIER TO COORDINATE ALL DOWNSPOUT LOCATIONS SO AS TO ASSURE THAT NO DOWNSPOUTS ARE LOCATED OVER DOOR OPENINGS OR OTHER KEY BUILDING ELEMENTS



02 SPLASHBLOCK DETAIL
SCALE = NONE

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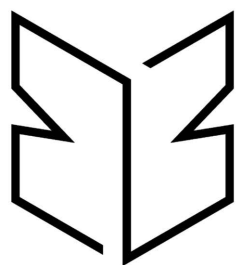
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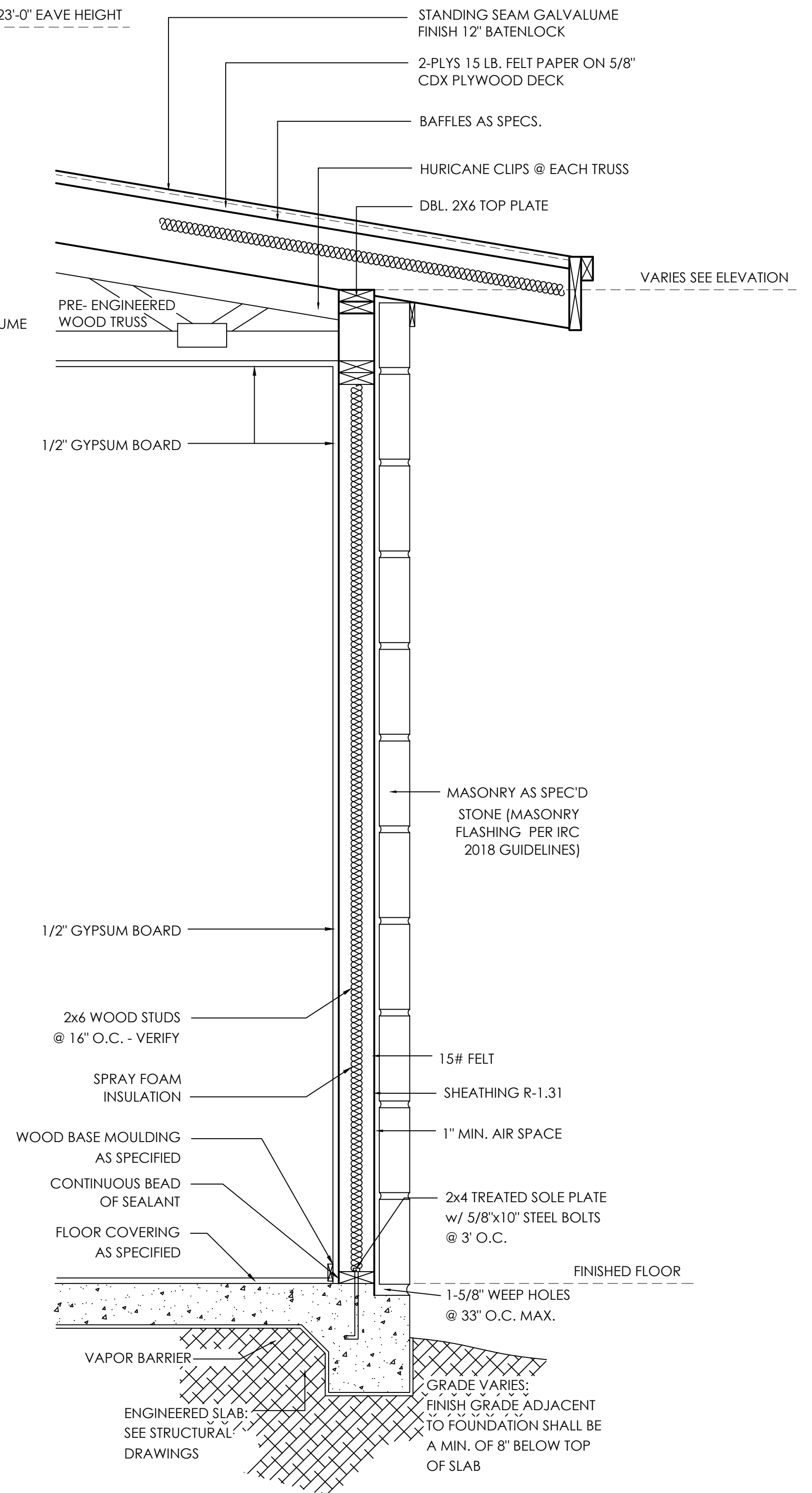
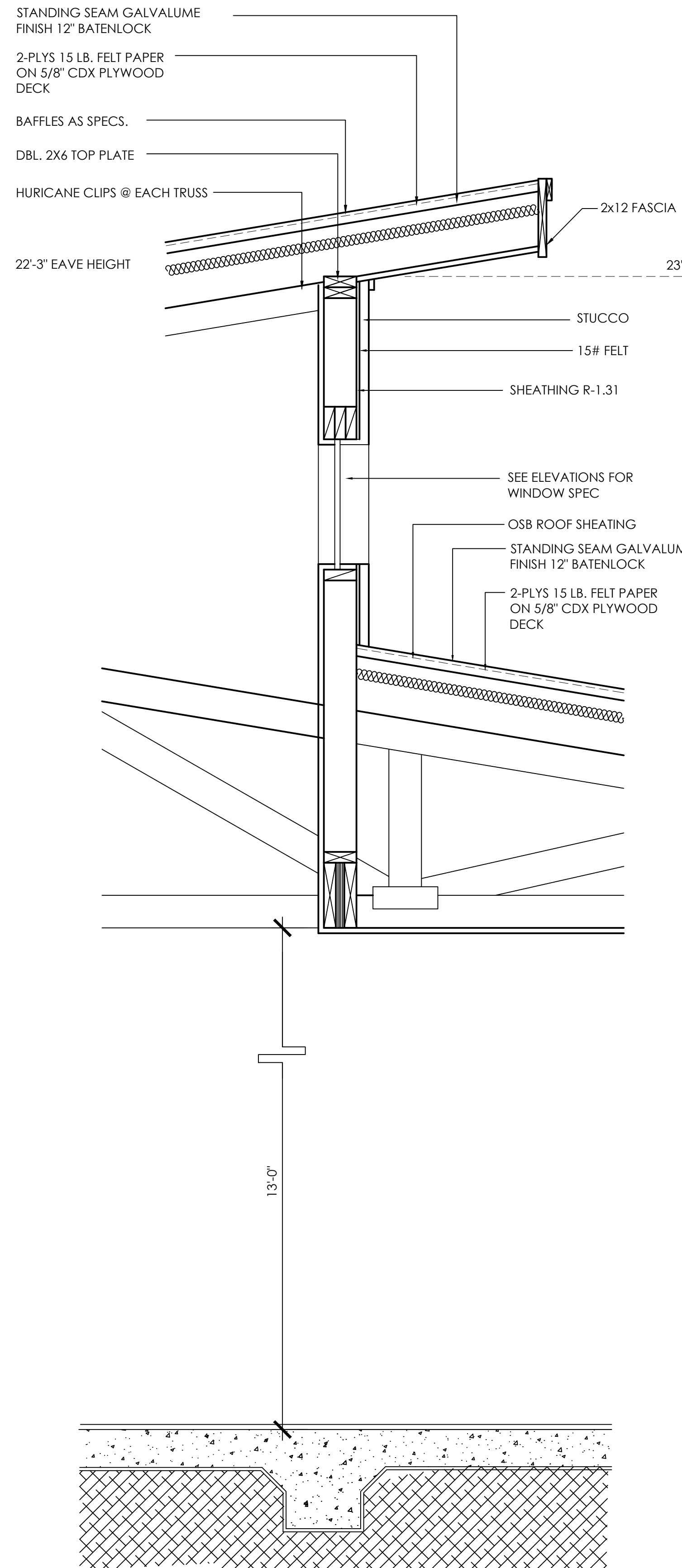
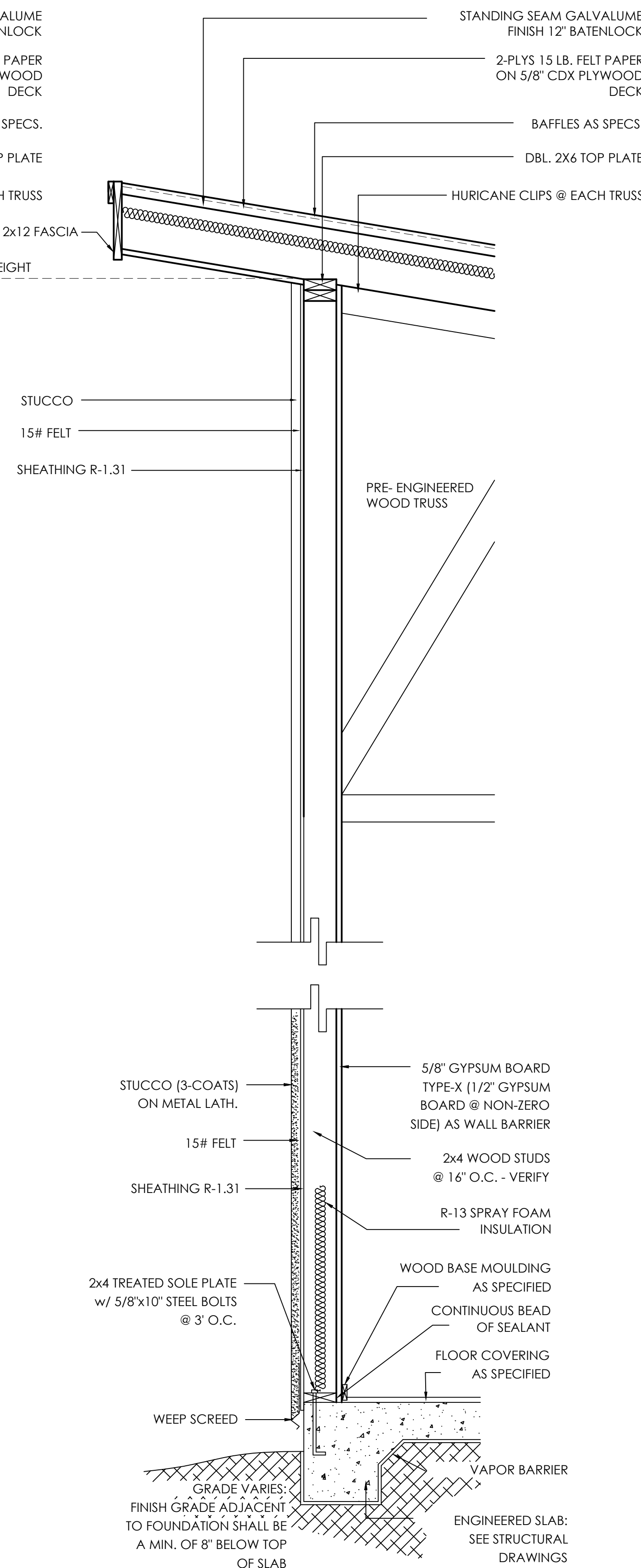
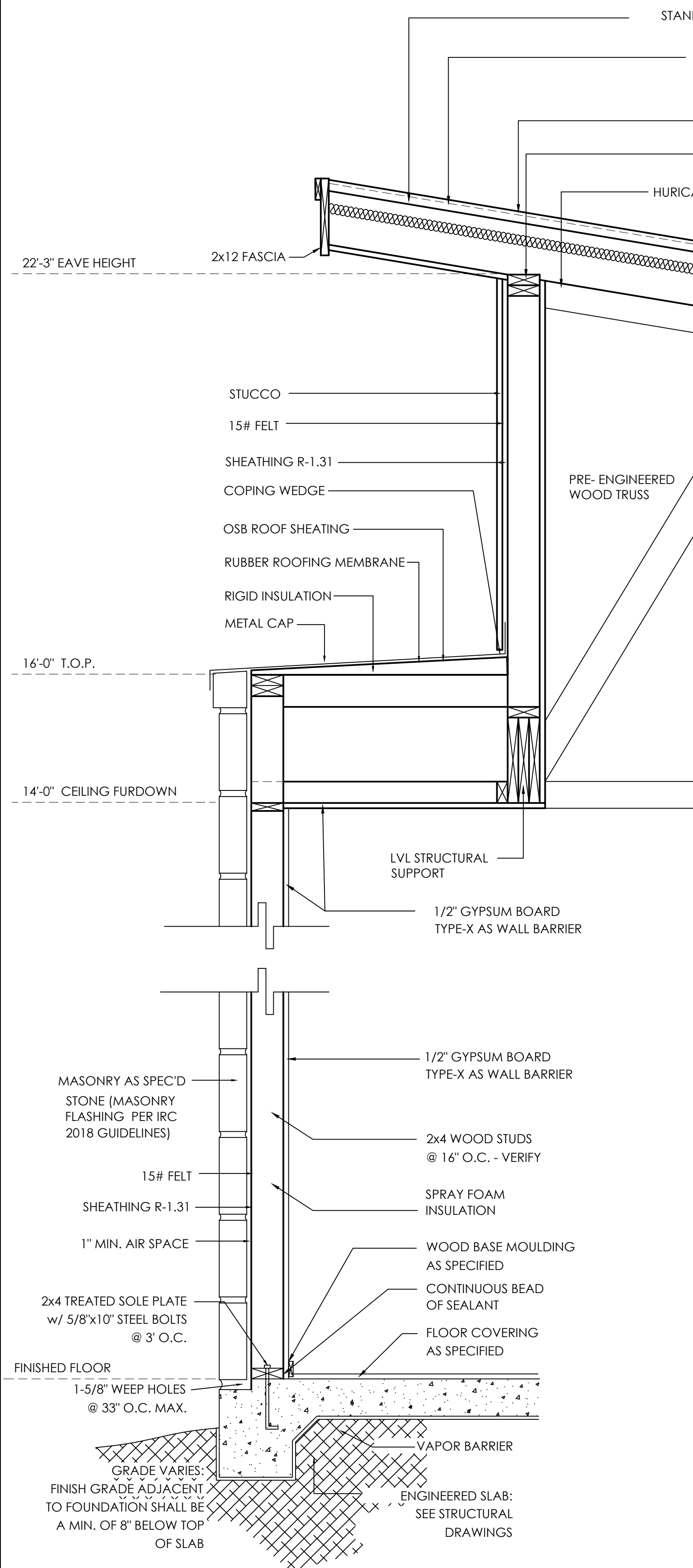
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A2.02



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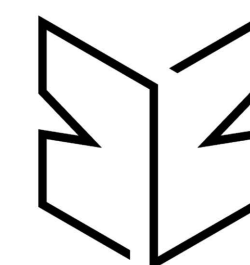
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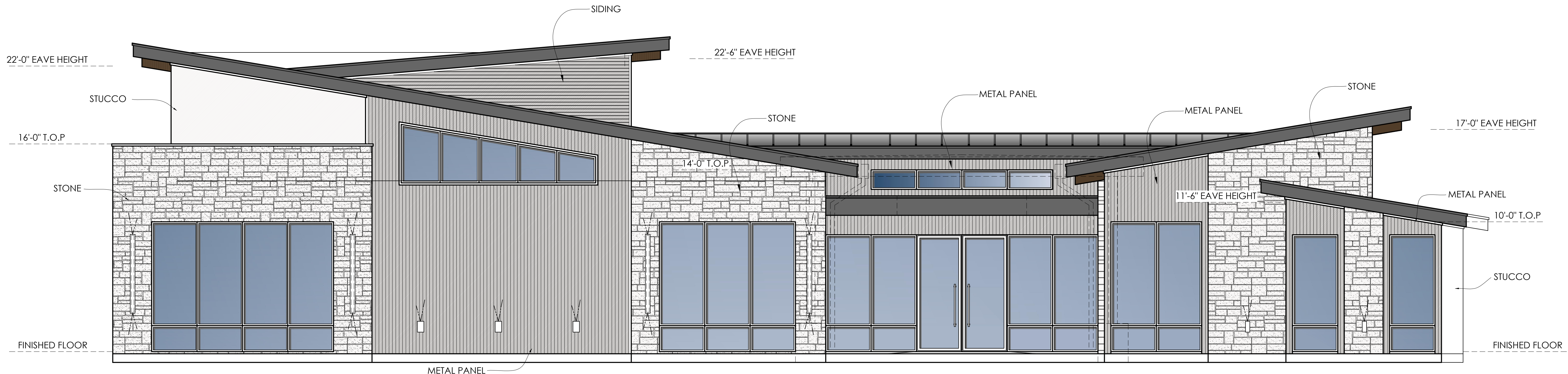
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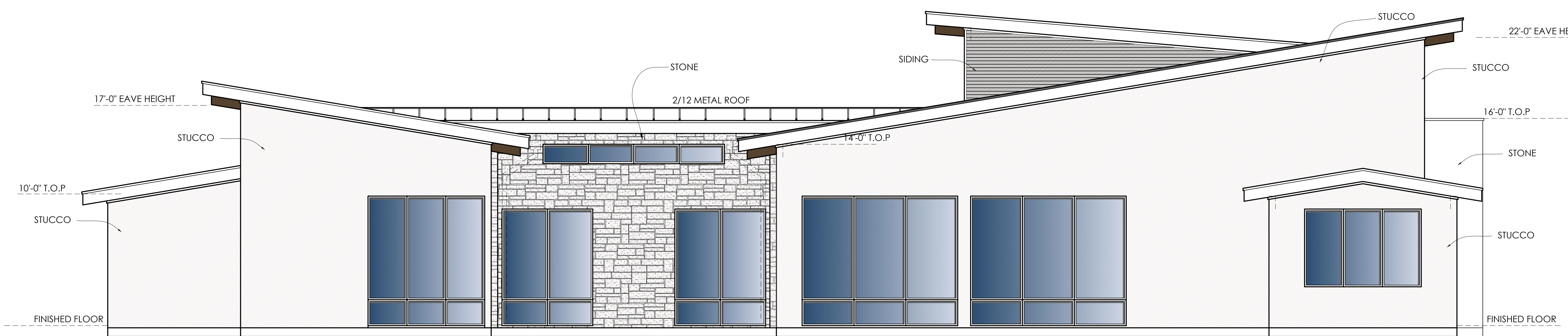
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| DRAWING NAME: | EXTERIOR ELEVATIONS |
| PROJECT # | DT24-096 |

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FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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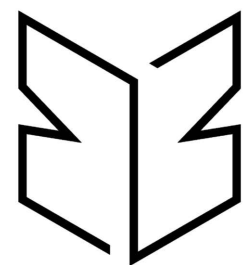


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Professional Services

EVENT CENTER
DESIGN FOR

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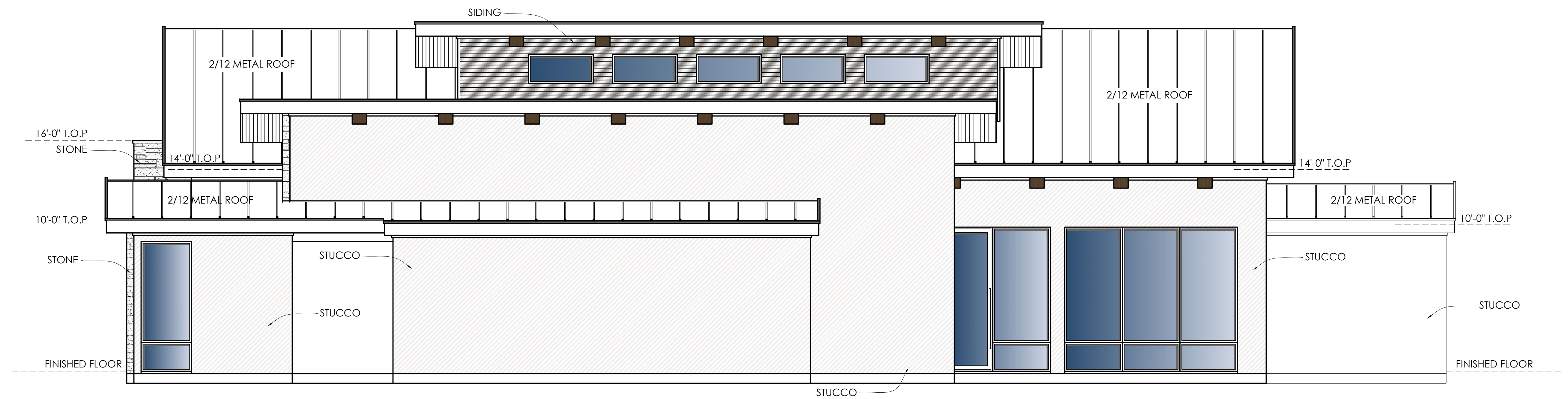
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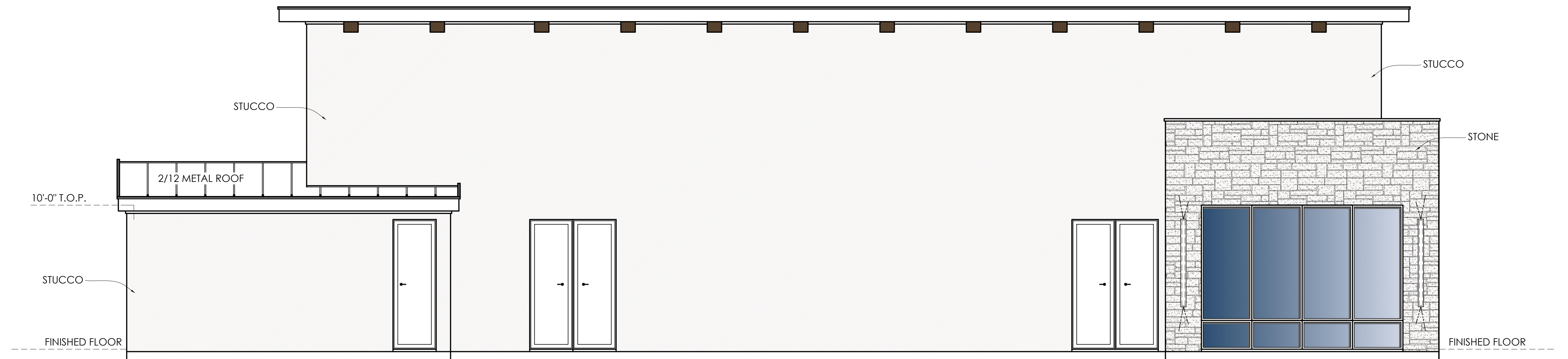
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RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



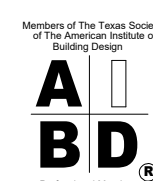
LEFT ELEVATION

SCALE: 3/16" = 1'-0"

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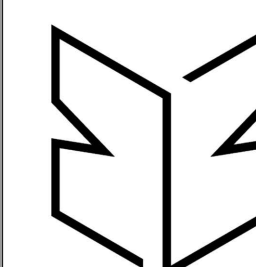
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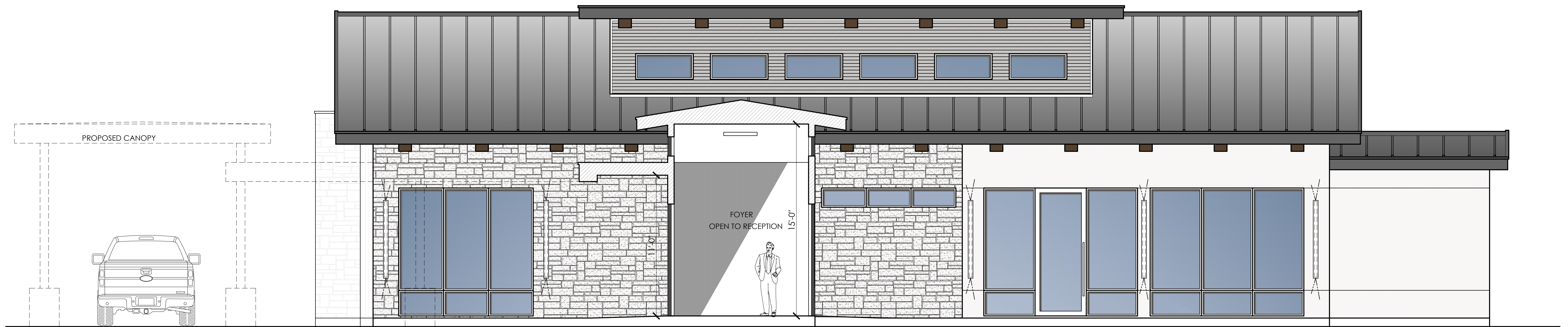
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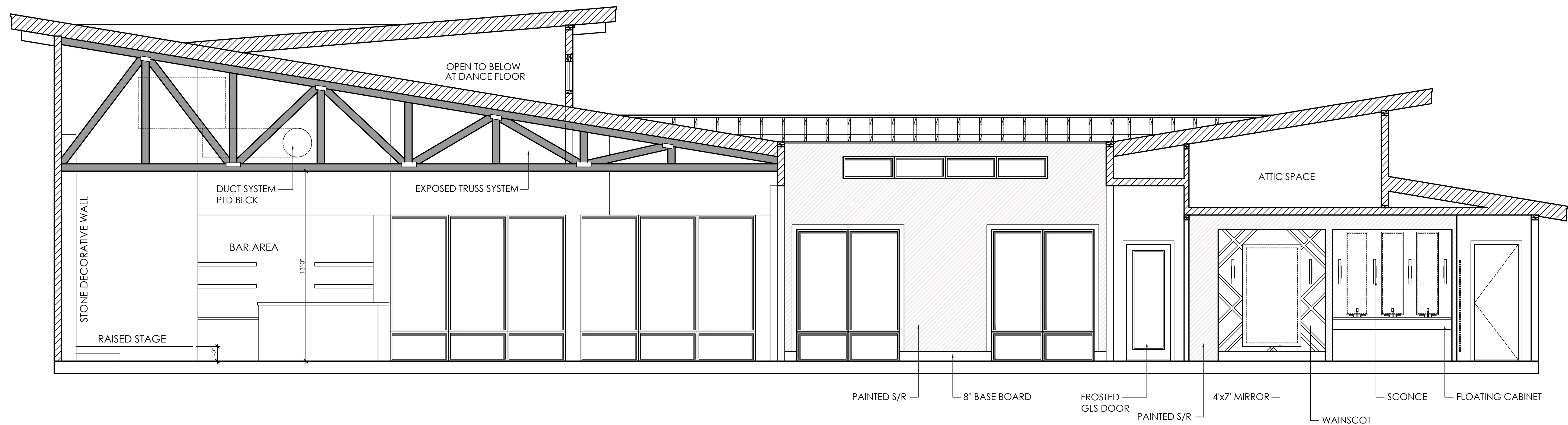
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CROSS SECTION 1-1



CROSS SECTION 2-2

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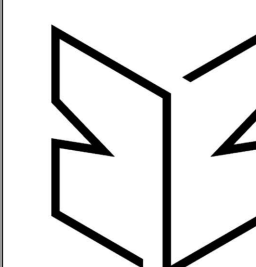
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**EVENT CENTER
DESIGN FOR**
ROUTE 1100 EVENT CENTER

BEING 3.478 ACRE TRACT OF
LAND OUT OF THE LEMUEL
KIMBRO SURVEY
TRAVIS COUNTY, TEXAS 78526

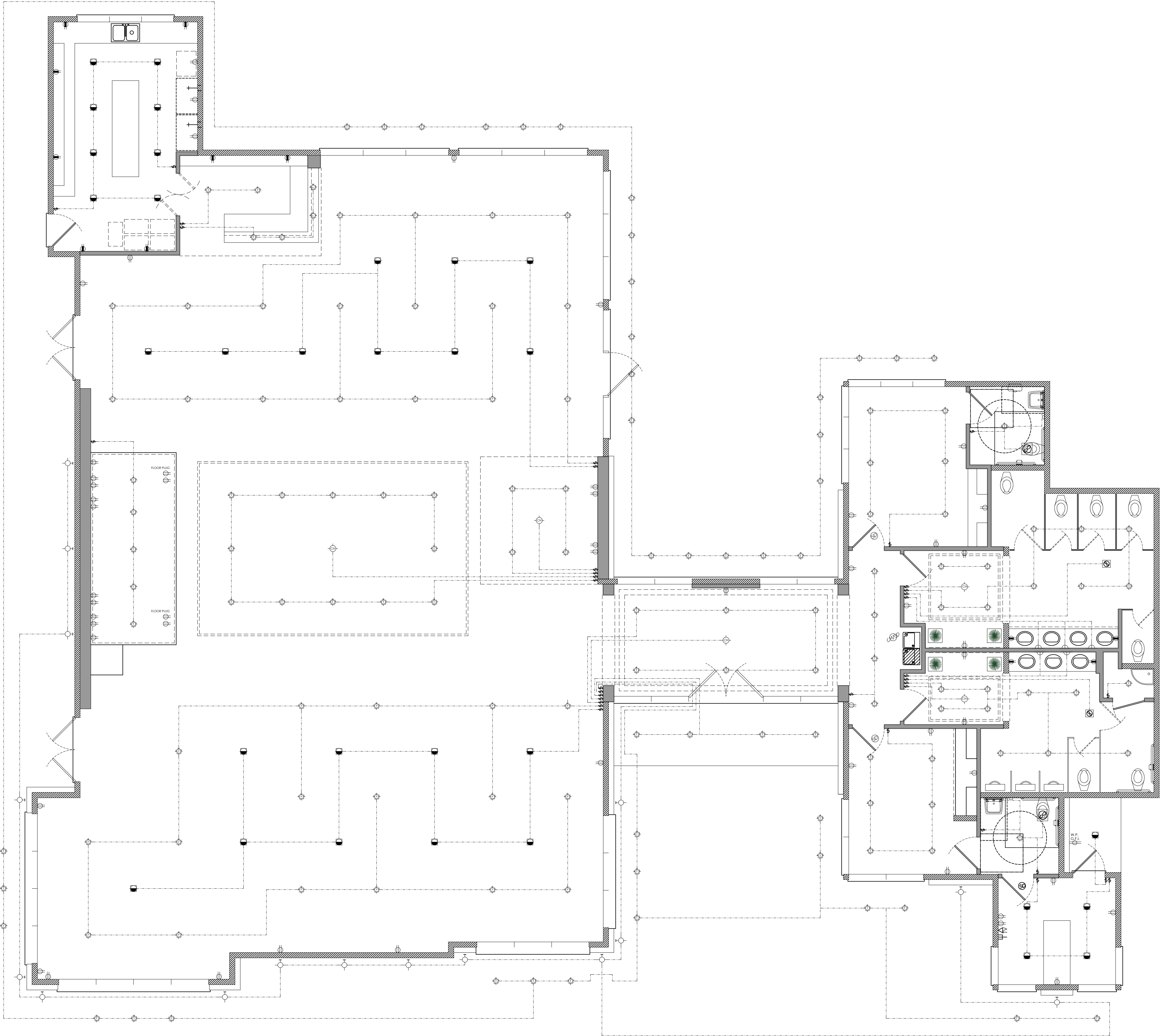


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| DRAWING NAME: | CROSS SECTIONS |
| PROJECT # | DT24-096 |

SHEET

A2.05



| ELECTRICAL / MECHANICAL SYMBOLS LEGEND | |
|--|--|
| SYMB. | DESCRIPTION |
| | DUPLEX RECEPTACLE, 18" A.F.F., U.N.O. |
| | 3 WIRE GROUNDING |
| | DUPLEX RECEPTACLE, 42" A.F.F. GROUND FAULT CIRCUIT INTERRUPTER |
| | RECEPTACLE OUTLET, 42" A.F.F. 220 VOLT |
| | DUPLEX RECEPTACLE WATER PROOF |
| | DUPLEX RECEPTACLE FLOOR MOUNTED |
| | DUPLEX RECEPTACLE CEILING MOUNTED |
| | SINGLE OUTLET |
| | CABLE TELEVISION OUTLET 18" A.F.F. OR AS NOTED |
| | DOOR BELL |
| | CHIMES |
| | POWER PANEL |
| | CHANDELIER |
| | ELECTRICAL WIRING |
| | FLUORESCENT LIGHT FIXTURE |
| | FLOOD LIGHTS |
| | WALL MOUNTED VANITY LIGHT FIXTURE |
| | FAN EXHAUST UNIT W/ LIGHT |

| ELECTRICAL / MECHANICAL SYMBOLS LEGEND | |
|--|---|
| | SMOKE DETECTOR |
| | SMOKE DETECTOR / CARBON MONOXIDE |
| | LOW VOLTAGE TASK LIGHT |
| | RECESSED POWER PANEL |
| | WALL MOUNTED SCONCE LIGHT FIXTURE |
| | A.C. TOGGLE SWITCH, SINGLE POLE 120-277 VAC, 48" A.F.F. |
| | INCANDESCENT DIMMER SWITCH 1500W, 48" A.F.F. |
| | DUPLEX OUTLET, WEATHERPROOF W/ GROUND FAULT INDICATOR |
| | FAN W/ LIGHT FIXTURE CEILING SURFACE MOUNT |
| | INCANDESCENT LIGHT FIXTURE CEILING SURFACE MOUNT |
| | INCANDESCENT LIGHT FIXTURE WALL MOUNT |
| | INCANDESCENT "CAN" LIGHT FIXTURE RECESSED |
| | JUNCTION BOX |
| | DISCONNECT SWITCH |
| | HOSE BIBB |

ELECT. SERVICE NOTES

1. RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'0" FROM AN OUTLET, AND OVER ANY COUNTER SPACE WIDER THAN 12"
2. RECEPTACLES IN BATHROOMS, GARAGES OR LOCATED OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM., (G.F.I., W.P.)
3. SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12' FROM DUCT OPENINGS SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED. PROTECTING ALL SLEEPING AREAS
4. OUTLET BOXES IN WALL BETWEEN THE DWELLING AND THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
5. SWITCH PLATES AT 42" A.F.F. TO CENTER TYPICAL
6. ALL LIGHTING FIXTURES IN CLOSETS SHALL BE LOCATED MINIMUM 18" FROM ALL SHELVES
7. TWO OR MORE 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND OUTLETS. NEG. ART 220-3 (C)

ELECT. GROUNDING NOTES

1. CONSULT LOCAL UTILITY AND LOCAL CODE FOR PROPER SYSTEM GROUNDING.
2. ALL INTERIOR METALLIC WATER PIPING WHICH MAY BECOME ENERGIZED SHALL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS A BOND BARE COPPER WIRE #4) SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM AND THE GROUNDING ELECTRODE CONDUCTOR AT THE SERVICE DISCONNECTING MEANS.
3. THE INTERIOR METAL COLD WATER PIPING SYSTEM SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE. THE GROUNDING CONDUCTOR AT THE SERVICE, THE GROUNDING ELECTRODE, OR TO ONE OR MORE GROUNDING ELECTRODES USED.

ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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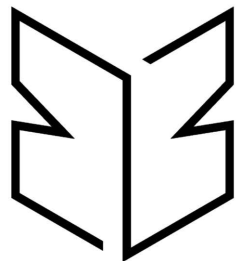


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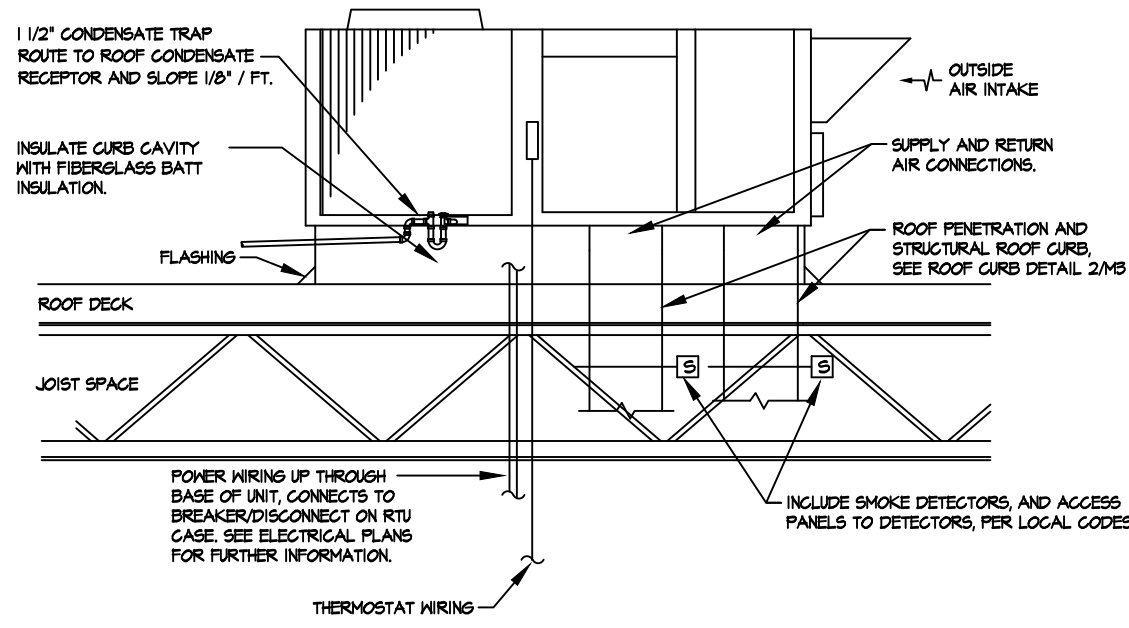
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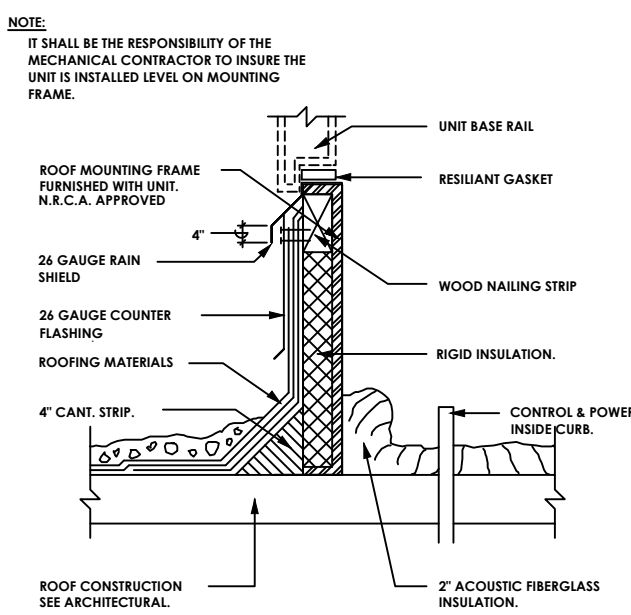
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| PROJECT # | DT24-096 |

SHEET
E1.01



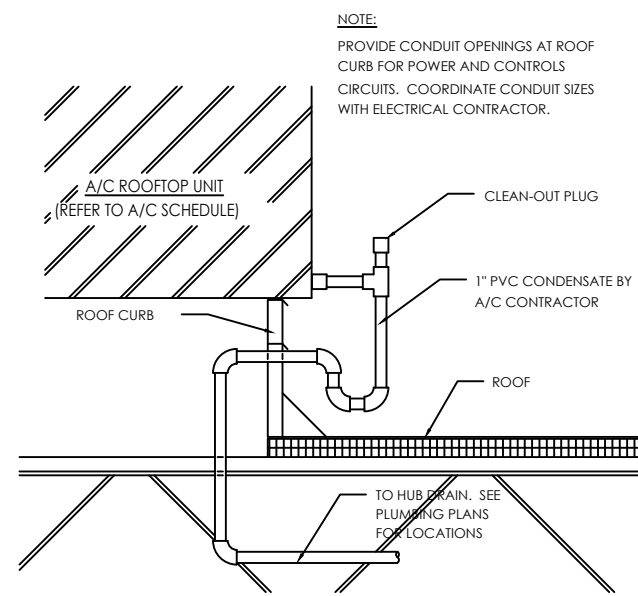
ROOF TOP UNIT DETAILS

SCALE: N.T.S.



MOUNTING FRAME DETAIL

SCALE: N.T.S.



ROOF TOP UNIT CONDENSATE DETAIL

SCALE: N.T.S.

TYP. HEAT LOAD SUMMARY FOR AC FOR UNIT A 301-306

| ROOM NAME | SQUARE FT. | HEATING LOSS BTUH | HYDRONIX HEAT LINEAR FT. | LATENT / SENSIBLE GAIN BTUH | COOLING GAIN BTUH | COOLING TONS | COOLING CFM |
|-----------------|------------|-------------------|--------------------------|-----------------------------|-------------------|--------------|-------------|
| RECEPTION | | | | | | | |
| FOYER | | | | | | | |
| SERVING KITCHEN | | | | | | | |
| BRIDES LOUNGE | | | | | | | |
| GROOMS LOUNGE | | | | | | | |
| WOMEN'S RR | | | | | | | |
| MEN'S RR | | | | | | | |
| OFFICE | | | | | | | |
| TOTALS | | | | | | | |

SYMBOL LEGEND

| MK. | SYMBOL | SPECIFICATIONS | MOUNTING HT. | NOTES |
|-----|--------|---|---------------------------------------|---|
| N/A | | LAY-IN HVAC SUPPLY REGISTER PROVIDED BY HVAC CONTRACTOR | MOUNT TO SCHEDULED ACOUSTICAL CEILING | PAINTED REFER TO PAINT SCHEDULE SHEET A.4 |
| N/A | | LAY-IN HVAC RETURN REGISTER PROVIDED BY HVAC CONTRACTOR | MOUNT TO SCHEDULED ACOUSTICAL CEILING | PAINTED REFER TO PAINT SCHEDULE SHEET A.4 |
| EF | | RESTROOM EXHAUST FAN: BROAN #HDB80 CFM SUPPLIER: MELETO ELECTRICAL SUPPLY | MOUNT TO SCHEDULED ACOUSTICAL CEILING | STANDARD WHITE COVER |

1. DUCTWORK:

- SUPPLY AND RETURN AIR DUCTWORK UNDER 36" DIMENSION IN EITHER DIRECTION SHALL BE 1" RECTANGULAR FIBERGLASS DUCTBOARD REINFORCED ROUND FLEX DUCT MAY BE USED FOR RUN-OUTS TO DIFFUSERS 5' OR LESS IN LENGTH
- SUPPLY AND RETURN AIR DUCTWORK OVER 36" DIMENSION IN EITHER DIRECTION SHALL BE 1" INSULATED GI METAL DUCTWORK TOGETHER TO MINIMIZE PENETRATIONS IN WALLS AND ROOFS.
- EXHAUST DUCTWORK SHALL BE GI METAL. TIE ALL DUCTS TOGETHER TO MINIMIZE PENETRATIONS IN WALLS AND ROOFS.
- OUTSIDE AIR SUPPLY DUCTWORK SHALL BE GI METAL. PROVIDE POSSIBLE 10% OUTSIDE AIR DUCTED TO AIR-HANDLING UNITS FROM FILTERED GRILLES IN EXTERIOR WALL. TIE ALL DUCTS TOGETHER TO MINIMIZE PENETRATIONS IN WALLS AND ROOFS.

NOTES:

- SUPPLY SIDE SMOKE DETECTORS SHALL BE ADDED FOR SYSTEMS SUPPLYING AIR IN EXCESS OF 2000 CFM TO ENCLOSED SPACES WITHIN BUILDINGS
- NO FLEX DUCT SHALL BE USED IN THIS INSTALLATION
- EXISTING ROOF ACCESS ALREADY INSTALLED AT BUILDING LOCATION

2. EXHAUST FANS:

- ALL EXHAUST FANS IN OCCUPIED AREAS SHALL BE INDIVIDUAL FANS LOCATED AT CEILINGS AND SWITCHED WITH LIGHTS.
- PROVIDE 22" UP-TURNED LEADERS AT ALL GUEST BATH AND RESTROOM EXHAUSTS AND JOIN TO COMMON EXHAUST RISERS PER CODE. COMBINE AND/OR TIE DUCTS TOGETHER TO MINIMIZE PENETRATIONS IN WALLS AND ROOFS.

3. AIR DEVICES:

- SUPPLY GRILLES LOCATED IN LAY-IN ACOUSTICAL CEILINGS SHALL BE 24" X 24" LAY-IN TYPED PAINTED WHITE GRILLES WITH AIR FLOW ADJUSTMENT AT THROAT TYPICAL. PROVIDE 12" X 12" GRILLES IN RESTROOMS AND STORAGE ROOMS AS INDICATED
- ALL SUPPLY AIR GRILLES LOCATED IN GYPSUM BOARD CEILINGS SHALL BE SQUARE PAINTED WHITE GRILLES WITH ADJUSTABLE AIR FLOW. GRILLES SHALL BE CONFIGURED AS 1-WAY, 2-WAY, 3-WAY, OR 4-WAY THROW PATTERN(S) AS APPROPRIATE FOR THE LOCATION OF THE GRILLE AND THE AREA(S) TO BE SERVED
- ALL SUPPLY AIR GRILLES LOCATED IN WALLS SHALL BE WHITE PAINTED ALUMINUM GRILLES WITH ADJUSTABLE AIR FLOW AND 2-WAY ADJUSTABLE FACE LOUVERS. NO STAMPED GRILLES SHALL BE ACCEPTABLE
- ALL RETURN AIR GRILLES SHALL BE ANODIZED ALUMINUM SWING-DOWN/OUT TYPE FILTER GRILLES CONFIGURED TO ACCEPT 1" DISPOSABLE FILTERS
- ALL TRANSFER GRILLES OR CEILING PLENUM GRILLES SHALL BE ANODIZED ALUMINUM GRILLES

4. CONTROLS:

- SPLIT SYSTEM SHALL HAVE WALL-MOUNTED PROGRAMMABLE THERMOSTATS WITH ON/OFF, TEMPERATURE, HEAT/COOL, FAN ONLY SELECTIONS PROVIDE LOCKING COVERS AT ALL THERMOSTATS
- INSTALL REMOTE TEMPERATURE SENSORS WHERE INDICATED AND/OR REQUIRED

5. GENERAL:

- PROVIDE MINIMUM 24" X 24" PAINTED ACCESS PANELS FOR ALL UNITS MOUNTED ABOVE CEILINGS WHICH ARE NOT ACCESSIBLE
- DRAIN ALL UNITS TO THE BUILDING SANITARY SEWER SYSTEM.
- PROVIDE TRAPS AT ALL DRAIN LINES
- PROVIDE SECONDARY DRAIN PANS UNDER FAN/COIL UNITS AS PER CODE. PIPE SECONDARY DRAINS TO "TELL TALE" DRAINS THRU CEILING ABOVE NEAREST SINK; CUT FLUSH AND TRIM WITH ESCUTCHEON. PROVIDE FLOAT SWITCHES TO SHUT DOWN UNIT IF DRAIN PAN BECOMES FULL AND "TELL TALE" RED LIGHT AT CEILING UNDER FAN/COIL (AIR-HANDLING) UNIT TO INDICATE THAT FLOAT SWITCH HAS SHUT DOWN UNIT.
- COMPLY WITH ALL LOCAL CODES & ORDINANCES

| HVAC SHEDULE | | | | | | |
|--------------|-------|-------|---------|-----|------|---------------|
| BRAND | UNITY | MODEL | BTU | TON | CFM | ELECTRIC HEAT |
| RHEEM | 2 | | 180,000 | 6 | 3600 | 20 KW |
| RHEEM | 1 | | 150,000 | 5 | 3000 | 15 KW |

Or approved equal

pending ENGINEER SEAL

MECHANICAL PLAN

SCALE: 3/16" = 1'-0"

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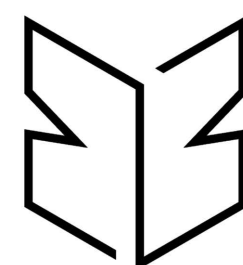
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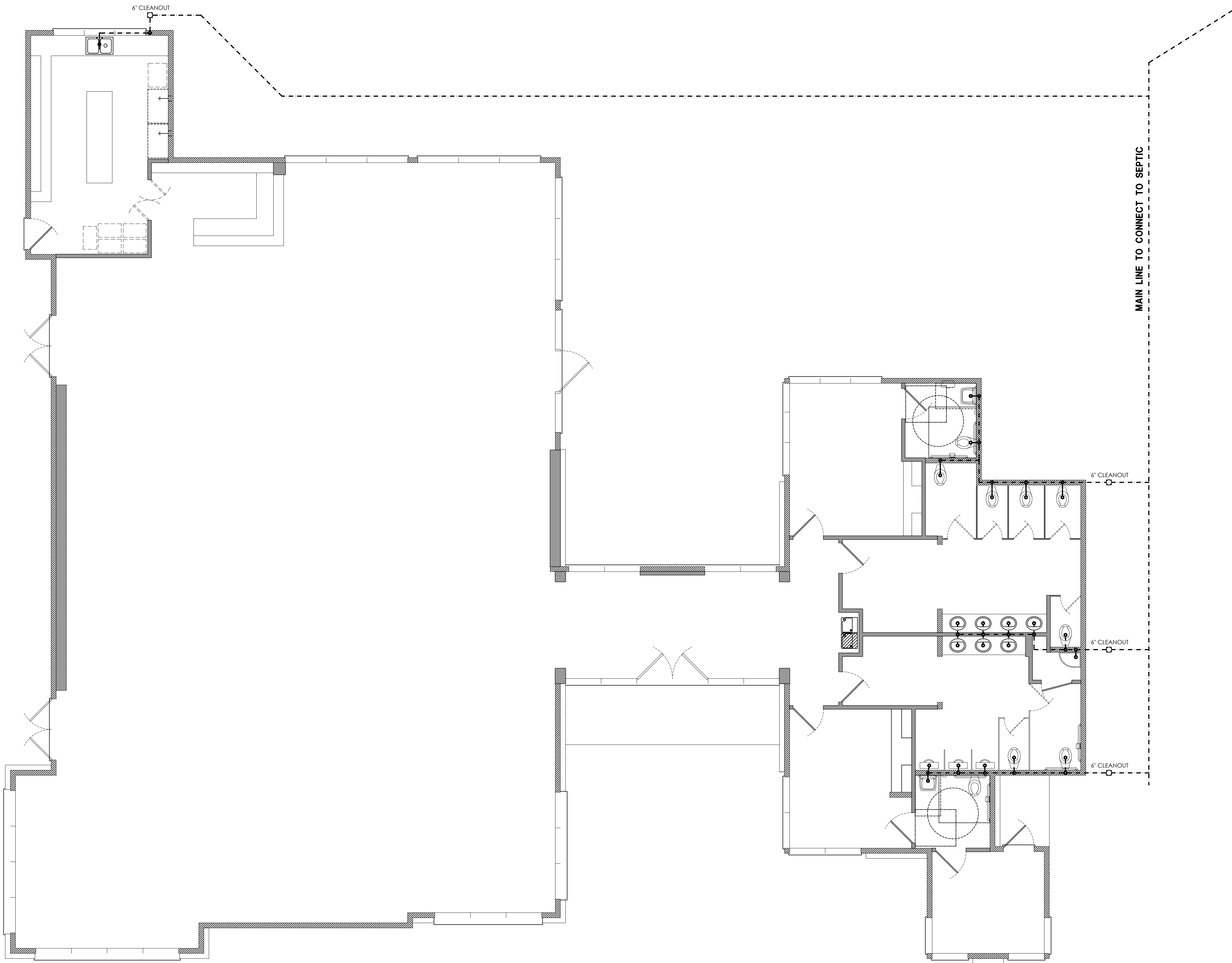


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| PROJECT # | DT24-096 |

SHEET

M1.01



| PLUMBING FIXTURE SCHEDULE | | |
|---------------------------|---|--|
| SYMBOL | DESCRIPTION | MANUFACTURER (OR EQUAL) |
| WC-1 | WATER CLOSET - TANK TYPE "WELLBORTH" VITREOUS CHINA, CLOSE COUPLED DESIGN, ELONGATED BOWL, SIPHON JET FLUSHING, LEFT HAND TRIP LEVER, BOLT CAPS, BRASS FLOOR FLANGE, BOL-WAX SEAL, AND PLASTIC OPEN FRONT SEAT WITH COVER. | KOHLER K-3420-EB KOHLER KD-4650 |
| LAV-1 | ACCESSIBLE HALL MOUNTED LAVATORY "KINGSTON" VITREOUS CHINA, 8" FAUCET CENTERS, CONCEALED CHAIR CARRIER, A.D.A. COMPLIANT TWO BLADE FAUCET FOR HOT AND COLD WATER, AERATOR, ANGLE STOPS, FLEXIBLE RISERS AND OFFSET LAVATORY DRAIN WITH PREFORATED STRAINER. NOTE: P-TRAP AND ANGLE VALVES SHALL BE COVERED WITH A.D.A. APPROVED PROTECTIVE PIPE COVERS. SECURED WITH SNAP-CLIP FLUSH RE-USEABLE FASTENERS AND ANGLE STOPS SHALL HAVE LOCK-LID LOCKING ACCESS COVERS. | KOHLER K-3006 KOHLER K-13065 CHICAGO 144HA-SIT-E2-CP JURA K25-125 TREBRO PIPING INSULATION AT ALL EXPOSED PIPING |
| WB-1 | HEAVY DUTY COMMERCIAL WASHER REFER TO CLIENT FOR SPECS AND INFORMATION REGARDING ALL WASHERS USED IN THIS BUILDING | REFER TO OWNER |
| DR-1 | COMMERCIAL DRYER REFER TO CLIENT FOR SPECS AND INFORMATION REGARDING ALL WASHERS USED IN THIS BUILDING | REFER TO OWNER |
| SK-1 | CORNER FLOOR SINK "WHITE", 28" X 28" X 18", ACID RESISTANT, COATED WIRE RIM GUARD, 3" PERFORATED STRAINER, HALL MOUNTED TWO (2) LEVER CHROME PLATED FAUCET WITH VACUUM BREAKER, HOSE FITTING CONNECTION, AND GARDEN HOSE ATTACHMENT. | KOHLER K-6710 KOHLER K-9440 KOHLER K-9446 KOHLER K-8420 |
| WH-1 | ELECTRIC WATER HEATER 40 GALLON TANK CAPACITY, 4500 WATT ELEMENT, 240 VOLT, SINGLE PHASE LOW BOY MODEL. FURNISH WITH DRAIN PAN AND TEMPERATURE & PRESSURE RELIEF VALVE WITH RELIEF PIPING STUBBED TO BUILDING EXTERIOR. HEATER SHALL MEET ASHRAE STANDARD 90A FOR ENERGY EFFICIENCIES AND THE MINIMUM ENERGY FACTOR REQUIRED BY THE FEDERAL NATIONAL APPLIANCE ENERGY CONSERVATION ACT AND LISTED BY UNDERWRITERS LABORATORIES. | GE #4056A/401-612 |
| WB-2 | COMMERCIAL WASHER REFER TO CLIENT FOR SPECS AND INFORMATION REGARDING ALL WASHERS USED IN THIS BUILDING | REFER TO OWNER |

- Plumbing Notes:
- ALL SOIL/WASTE AND VENT PIPES FITTING BENEATH THE BUILDING AND WITH IN THE BUILDING SHALL BE SCHEDULED 40" DIUC P.V.C PIPE W/ SOLVENT WELDED FITTINGS.
 - EXTERIOR UNDERGROUND DOMESTIC WATER PIPING SHALL BE 8" P.V.C PRESSURE PIPE CLASS 100 - C900 W/ RUBBERIZING TYPE JOINTS.
 - DOMESTICS WATER LINES WITHIN THE BUILDING SHALL BE CPVC WITH A MIN. DESIGN PRESSURE OF 100 PSI, @ 180°F OR AS PER CITY CODE.
 - ALL HOT & COLD WATER SHALL HAVE WATER HAMMER ARRESTERS OR 24" AIR CHAMBERS LOCATED ON FIXTURES ON KITCHEN SINK, WASHERS, WATER CLOSET AND LAVATORY.
 - WATER SUPPLY TO UNIT SHALL BE MIN. 3/4" TO WATER HEATER.
 - 3/4" FROM WATER HEATER TO WASHER, BOTH HOT AND COLD.
 - ALL OTHERS SHALL BE A MIN. OF 1/2".
 - ALL FLOOR DRAINS SHALL BE PRIMED FROM NEAREST LAV.
 - PROVIDE COMMERCIAL GRADE FIXTURES, LAV, WC, MIR, ETC.

PLUMBING PLAN

SCALE: 3/16" = 1'-0"

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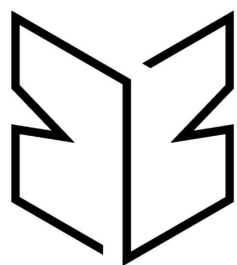
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| PROJECT # | DT24-096 |

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| SHEET |
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