



**PLANNING AND ZONING COMMISSION
REGULAR SESSION MINUTES
MAY 14, 2025**

This meeting will be live streamed on Manor's YouTube Channel
You can access the meeting at <https://www.cityofmanor.org/page/livestream>

PRESENT:

COMMISSIONERS:

Felix Paiz, Chair, Place 4
Prince Chavis, Vice Chair, Place 2
Julie Leonard, Place 1 (Absent)
Gabriel Nila, Place 3
Jeffrey Stensland, Place 5
Cecil Meyer, Place 6
James Terry, Place 7

CITY STAFF:

Michael Burrell, Development Services Director
Shruti Vanaparthi, Assistant City Attorney
Pauline Gray, City Engineer
Mandy Miller, Development Services Supervisor

REGULAR SESSION: 6:30 P.M.

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

With a quorum present, the regular session of the Manor Planning and Zoning (P&Z) Commission was called to order by Chair Paiz At 6:36 p.m. on Wednesday, May 14, 2025, in the Council Chambers of the Manor City Hall, 105 E. Eggleston Street, Manor, Texas.

PRESENTATIONS

A. SUP Request for Okra Creek: Presented by Rachel Shanks, Okra Land Inc.

Rachel Shanks with Okra Land, Inc., 9505 Johnny Morris Road, Austin, TX, gave the Presentation for the Okra Creek SUP. Ms. Shanks answered questions regarding the presentation. *See attached.*

PUBLIC COMMENTS

Robert Battaile submitted a Public Comment via email. *See attached.*

Tammy Philips, 14515 Bois D'Arc Road, Manor, TX, submitted a speaker card to speak during Public Comment. Ms. Philips spoke regarding a recent violation of her privacy due to her address being used by someone besides herself. She gave details on recent and past experiences in Manor and LaGrange, Texas.

PUBLIC HEARING

- 1. Conduct a public hearing on a PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX.** Applicant: Forestar (USA) Real Estate Group. Owner: Forestar (USA) Real Estate Group.

City Staff recommended that the Planning and Zoning Commission conduct the public hearing on a PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX.

Chair Paiz opened the public hearing.

Daryl Swenson, 1120 W. Lovers Lane, Arlington, Texas, submitted a speaker card to speak in opposition of this item. Mr. Swenson described where his property was in relation to this development. He requested additional information on the proposed adjustment to the 100-year floodplain area and the rerouting of the creek bed. He expressed his concerns for the impact on his property.

Director Burrell gave a summary of the amendment for the Manor Heights Subdivision.

MOTION: Upon a motion made by Commissioner Stensland and seconded by Commissioner Nila to close the public hearing.

There was no further discussion.

Motion to Close carried 6-0.

- 2. Conduct a public hearing on a Specific Use Permit for an event center, one (1) lot on 3.75 acres, more or less, being TCAD parcel number 248155 and being located at 14122 FM 1100, Manor, TX.** Applicant: Ricardo Velazquez. Owner: Rocio Valazquez.

City Staff recommended that the Planning and Zoning Commission conduct the public hearing on a Specific Use Permit for an event center, one (1) lot on 3.75 acres, more or less, being TCAD parcel number 248155 and being located at 14122 FM 1100, Manor, TX.

Chair Paiz opened the public hearing.

Marvin Chacon, 305 Milton Cove, Pflugerville, Texas, submitted a speaker card to speak in support of this item. Mr. Chacon stated he owned property next to this lot. He stated he had multiple restrictions on his property and would like more details on the planned development of the Event Center that is being proposed.

Director Burrell provided background for the Specific Use Permit.

Rocio Velazquez, 14122 FM 1100, Manor, Texas submitted a speaker card in support of this item. Ms. Velazquez did not wish to speak; however, she was available for any questions.

MOTION: Upon a motion made by Commissioner Stensland and seconded by Commissioner Terry to close the public hearing.

There was no further discussion.

Motion to Close carried 6-0.

CONSENT AGENDA

- 3. Consideration, discussion, and possible action to approve the minutes for April 9, 2025, Planning and Zoning Commission Regular Session.**

MOTION: Upon a motion made by Commissioner Terry and seconded by Commissioner Stensland to approve the consent agenda.

There was no further discussion.

Motion to Approve carried 6-0.

REGULAR AGENDA

- 4. Consideration, discussion, and possible action on a PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX.** Applicant: Forestar (USA) Real Estate Group. Owner: Forestar (USA) Real Estate Group.

City Staff recommended that the Planning and Zoning Commission approve the PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX.

Ethan Harwell with Kimley-Horn, 10814 Jollyville Road, Building 4, Suite 200, Austin, Texas, submitted a speaker card to speak in support of this item. He gave background and reasons for the PUD Amendment. He stated he could not speak directly on the rerouting of the creek bed but assured the Commission that they would not be pushing water onto the neighboring property. *See attached.*

Discussion was held regarding the renumbering of the phases for this amendment. Concerns were expressed for the conflicting data that would occur if approved as is. Commissioner Stensland recommended a correction prior to this item going to the City Council.

City Engineer Gray answered questions regarding the roadway construction planned for the Manor Heights Subdivision.

Director Burrell stated that he would ensure the documents were labelled properly to match the prior phase numbering prior to this item going to the Council for consideration.

MOTION: Upon a motion made by Commissioner Terry and seconded by Commissioner Stensland to approve the PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX.

There was no further discussion.

Motion to Approve carried 6-0.

Assistant City Attorney stated the motion for Agenda Item #4 would need to contain the condition of the numbering correction.

RECONSIDERATION

MOTION: Upon a motion made by Commissioner Stensland and seconded by Commissioner Terry to reconsider the motion for Agenda Item #4.

There was no further discussion.

Motion to Reconsider carried 6-0.

MOTION: Upon a motion made by Commissioner Stensland and seconded by Commissioner Terry to approve the PUD Amendment for the Manor Heights Subdivision, being located to the Northeast of the intersection of US Highway 290 and Old Kimbro Rd. Manor, TX, with the condition to correct the phasing map to match historical records on file with the City of Manor before presenting to Council.

There was no further discussion.

Motion to Approve carried 6-0.

5. **Consideration, discussion, and possible action on a Specific Use Permit for an event center, one (1) lot on 3.75 acres, more or less, being TCAD parcel number 248155 and being located at 14122 FM 1100, Manor, TX.** Applicant: Ricardo Velazquez. Owner: Rocio Valazquez.

City Staff recommended that the Planning and Zoning Commission approve the Specific Use Permit for an event center, one (1) lot on 3.75 acres, more or less, being TCAD parcel number 248155 and being located at 14122 FM 1100, Manor, TX.

Discussion was held regarding the Parcel ID and the address information for this item. Director Burrell stated the address is correct; however, the Parcel ID was not. He stated this item has been cleared by the City Attorney to proceed as is due to the address being correct.

Rocio Velazquez, 14122 FM 1100, Manor, Texas submitted a speaker card in support of this item. Ms. Velazquez gave a presentation for the proposed Event Center. *See attached.*

Ms. Velazquez answered questions regarding future phases for this event.

Director Burrell gave information specific to the request for the Specific Use Permit for the Event Center.

Discussion was held regarding parking, access, and property location.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Nila to approve the Specific Use Permit for an event center, one (1) lot on 3.75 acres, more or less, being TCAD parcel number 248155 and being located at 14122 FM 1100, Manor, TX.

There was no further discussion.

Motion to Approve carried 6-0.

6. **Consideration, discussion, and possible action on a final plat for phase 1 of the New Haven subdivision, one hundred and fourteen (114) lots on 32.5985 acres, more or less, and being generally located to the east of Fuchs Grove Rd., to the North of Gregg Ln., and to the west of FM 973 Manor, TX.** Applicant: Quiddity Engineering. Owner: Gregg Lane Dev, LLC.

City Staff recommended that the Planning and Zoning Commission approve the final plat for phase 1 of the New Haven subdivision, one hundred and fourteen (114) lots on 32.5985 acres, more or less, and being generally located to the east of Fuchs Grove Rd., to the North of Gregg Ln. ,and to the west of FM 973 Manor, TX.

Director Burrell stated this item has been reviewed and approved by City Engineers.

MOTION: Upon a motion made by Commissioner Stensland and seconded by Commissioner Terry to approve the final plat for phase 1 of the New Haven subdivision, one hundred and fourteen (114) lots on 32.5985 acres, more or less, and being generally located to the east of Fuchs Grove Rd., to the North of Gregg Ln., and to the west of FM 973 Manor, TX.

There was no further discussion.

Motion to Approve carried 6-0.

ADJOURNMENT

MOTION: Upon a motion made by Vice Chair Chavis and seconded by Commissioner Terry to adjourn the Regular Session of the Manor Planning and Zoning Commission at 7:31 p.m. on Wednesday May 14, 2025.

There was no further discussion.

Motion to Adjourn carried 6-0.

The Planning and Zoning Commission approved these minutes on July 9, 2025.

APPROVED:

Felix Paiz
Chairperson

ATTEST:

Mandy Miller
Development Services Supervisor

From: battaille@calexas.com
To: [Michael Burrell](#); [P&ZCommission](#);
Cc:

Subject:
Date:
Attachments:

Mike Burrell,

Hello. Please read this email out loud during the Public Comments section at the start of the Planning and Zoning Commission Meeting. I look forward to watching the live stream at **6:30 tonight, Wednesday, May 14**. Agenda link-->>

<https://meetings.municode.com/adaHtmlDocument/index?cc=MANORTX&me=44e1f930dfaf484ab027c0220869a79f&ip=true>

Failure to read my Public Comments risks jeopardizing the City's claims of "Municipal Immunity" as this violates the **Open Meetings Act** and thereby is a violation of the constitutional CIVIL RIGHTS of every citizen.

1) Presentation. The Okra developers are requesting to put a Gas Station/Convenience Store at the front of their housing development. There is NO MENTION of electric charging stations. Manor did a Proclamation for "Earth Day" but does little of nothing to promote its pillars. P&Z had moderate success getting EV stations at a "convenience" store near Elgin. I think Council may have shot you down a few notches on that one. Maybe not. p.s. **1600 homes** being added nearby x 3.2 = 5,120 PEOPLE AND CARS.

2) Agenda Item 2. 256 additional lots at Manor Heights but NO MENTION of the Park Fees. 256 units x \$700 ea = \$179,200 for Park Land in-lieu fees PLUS 256 units x \$600 each for Park Developer Fees = TOTAL OWED \$332,800.

As you should know by now, we have the OPTION of taking the LAND; and putting the park wherever WE WANT it. (which is on the main drags visible to people driving by and not hidden in the subdivision interiors). Manor risks a complete build-out of apts and high-density and endless subdivisions such that unless we start requiring parkland NOW... there won't be any left. We can't magically "create it."

HOW MUCH PARKLAND would they owe, Robert? **YOU FIGURE IT OUT, P&Z!**. That's YOUR JOB. YOU VOTED to change the regs... so, start USING YOUR CHANGES. You're "supposed to be" a COMMISSION. When will you spread your wings and fly. Will the "Commissioners" get to have their own email address this year? Will you have ANY town halls? Will you have the BOGUS Comprehensive Plan TRASHED? Did you figure out what a "Historic District" is yet? You voted for it ~ when will you enforce it?

3) CONSENT ITEM to approve the Minutes... Here's a pesky question: WHERE'S THE MINUTES? "Who cares, we're winging' it."

And then Agenda items 4-6 are "the votes" on the above items. Again.

4. P&Z COMMISSIONERS, please note that Monarch Ranch is STILL trying to EVADE their in-lieu Park Fees. I know because their attorneys were in court yesterday fighting NOT to

have to pay them. Hello. There is NO PARKLAND on their OWN MAP. Anybody home? Are you just going to GIVE AWAY \$200,000 bucks?

www.calexas.com/Appendix-to-Save-Manor-TX.pdf **PAGE 174 is the MAP**

5. P&Z COMMISSIONERS, please note that the "PARK AT MANOR CROSSING" is STILL trying to EVADE "SOME" of their in-lieu Park Fees. I know because their attorneys were in court yesterday. The Attorney said they were/had planned to pay some of them on one of the two parcels. Again... Hello. There is NO PARKLAND on their OWN MAP. Anybody home?

PAGE 168 of the Appendix. NOTE also the PLAZAS that you are TOO AFRAID TO REQUIRE. *Why are you so TIMID?*

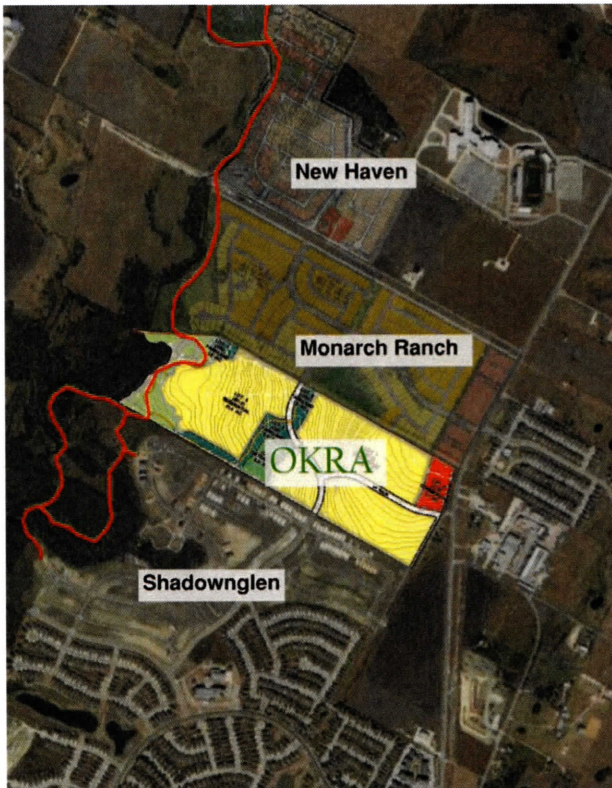
6. Now that we have a "NEW" new downtown... can we stop destroying OLD MANOR. STOP THE Sushil Mehta "PROJECTS" (APARTMENTS). That's our homestead property!!! We DON'T NEED another 800 people crammed in there waiting to be barbecued in high-winds fire event.

Thank you.

Robert Battle

cc: Texas Attorneys General, and other civic "leaders"

bcc:



Growth in Manor, TX

- Manor is experiencing rapid residential development.
- Over 1,600 new homes across:
 - Okra (309 SF homes)
 - Monarch Ranch (400 SF homes)
 - New Haven (272 SF homes)
 - Mustang Valley (380 SF homes)
 - Palomino (234 two-family homes)
- **Traffic count on FM 973: ~18,101 daily trips and growing.**



Proposed Gas Station with Strip Center



- Gas station will anchor a small retail strip center.



- Additional retail includes convenience store, quick-service food, or service-based tenants.



- Designed for daily community needs and

SUP request for Okra Creek

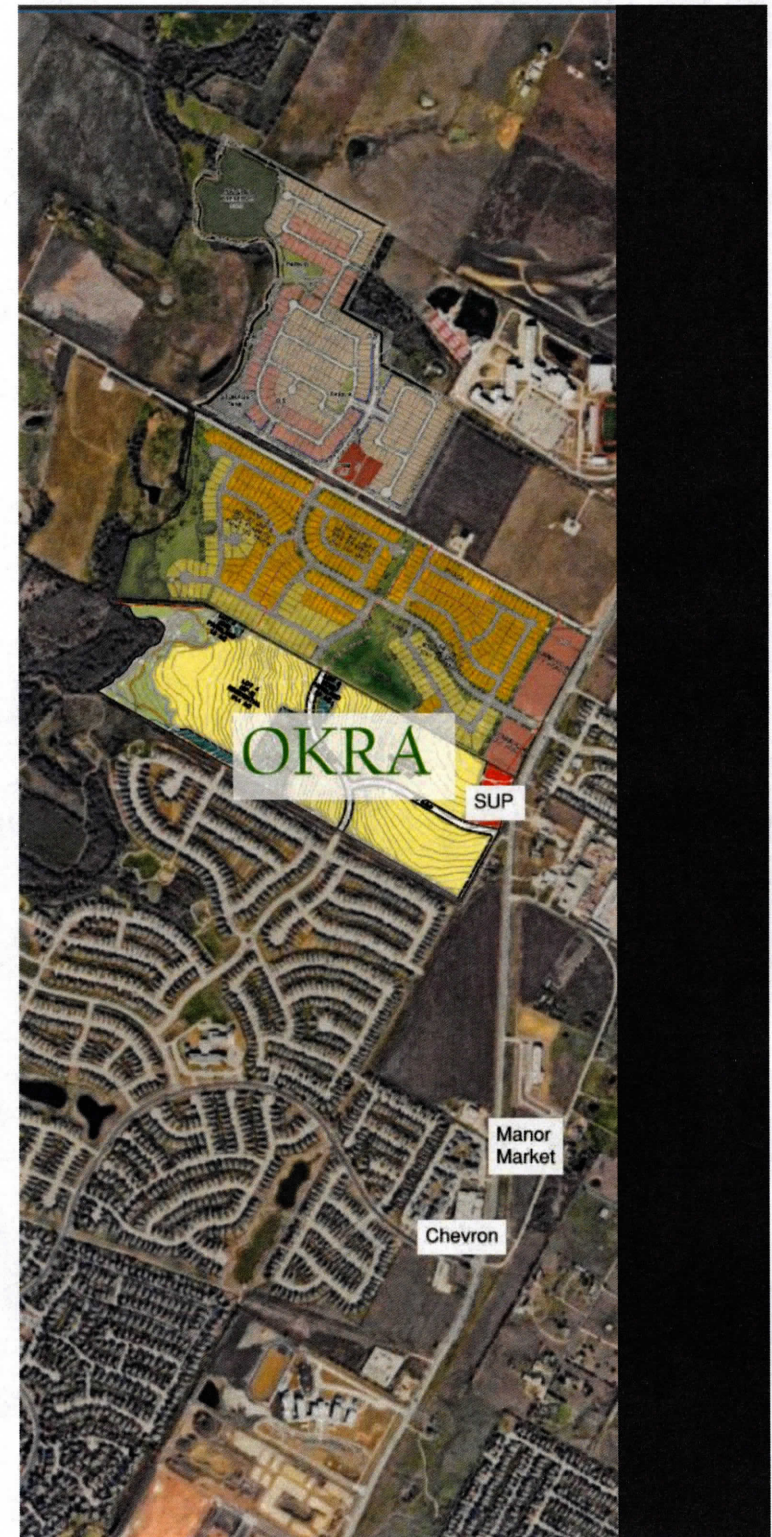
Presented by Okra Land Inc.

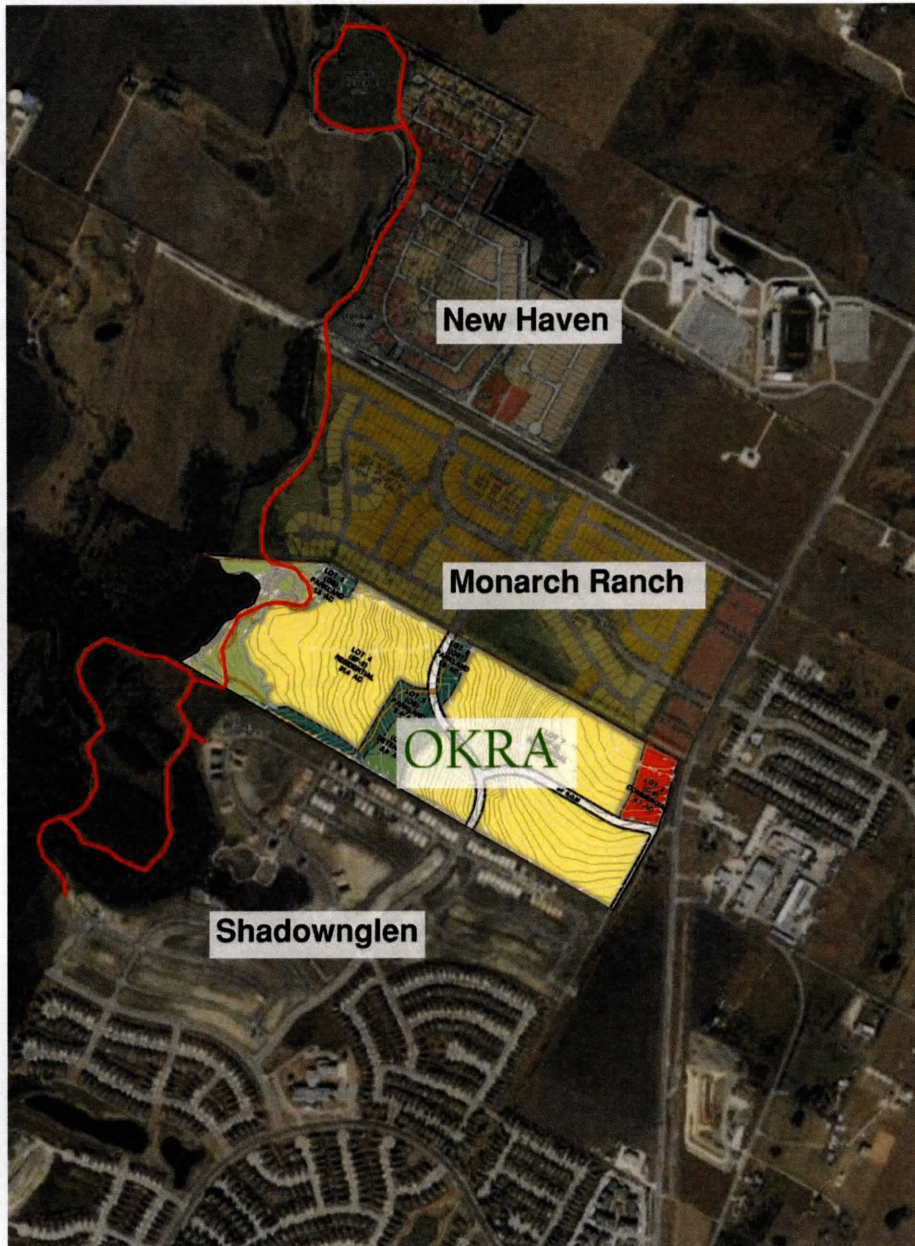
Existing Gas Stations Along FM 973

- **Chevron** – AM Traffic, 0.8 miles away
- **Manor Market** – PM Traffic, 0.7 miles

Observation:

There are limited gas station options directly on FM 973 in the Manor area, especially heading south.





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 - - New Haven (272 SF homes)
 - - Mustang Valley (380 SF homes)
 - - Palomino (234 two-family homes)
- **Traffic count on FM 973: ~18,101 daily trips and growing.**

Why a New Gas Station is Needed



- Increased demand due to population growth.



- Strategic location on FM 973 for commuter convenience.



- Alleviates traffic pressure by offering accessible fuel and services near residential zones.



- Supports city's infrastructure and growth strategy.





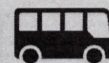
Proposed Gas Station with Strip Center



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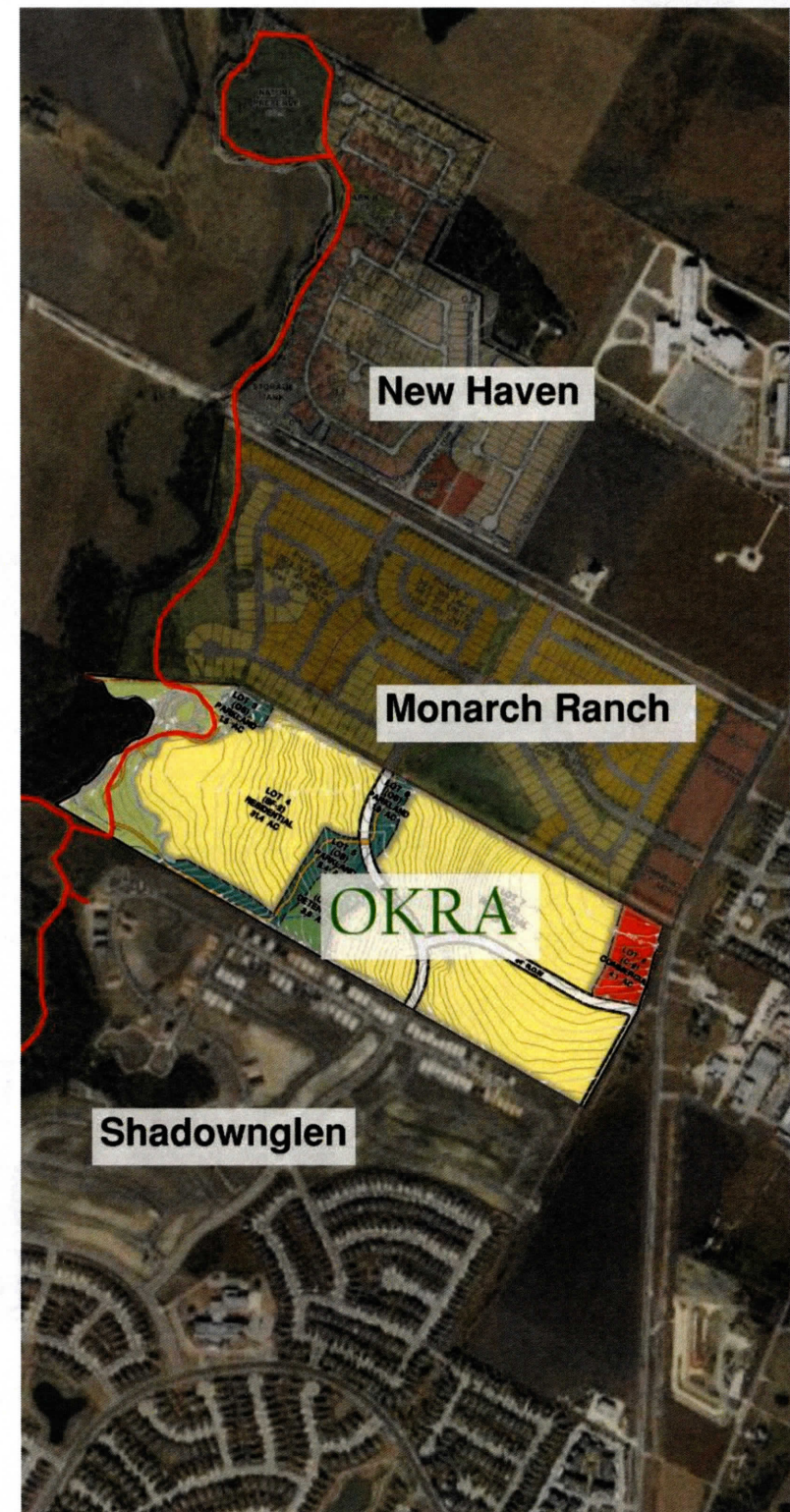
- Additional retail includes convenience store, quick-service food, or service-based tenants.



- Designed for daily community needs and commuter traffic.

Additional Commercial Growth Nodes

- Monarch Ranch – 11 acres of commercial
- New Haven – 2.5 acres of commercial
- Okra Land – 4.1 acres of commercial with proposed SUP
- One of these locations will include a gas station to support regional traffic and residential demand.





Economic & Community Impact

- New gas station will create jobs and generate tax revenue.
- Enhances quality of life with nearby essential services.
- Supports mixed-use planning vision of Manor's growth corridors.



- Manor's growth demands expanded infrastructure.



- A new gas station on FM 973 is essential and justified.



- Integrated retail will further serve the growing community.



- Proposed SUP aligns with the city's strategic goals.

Conclusion

Manor Heights PUD Amendment

City of Manor

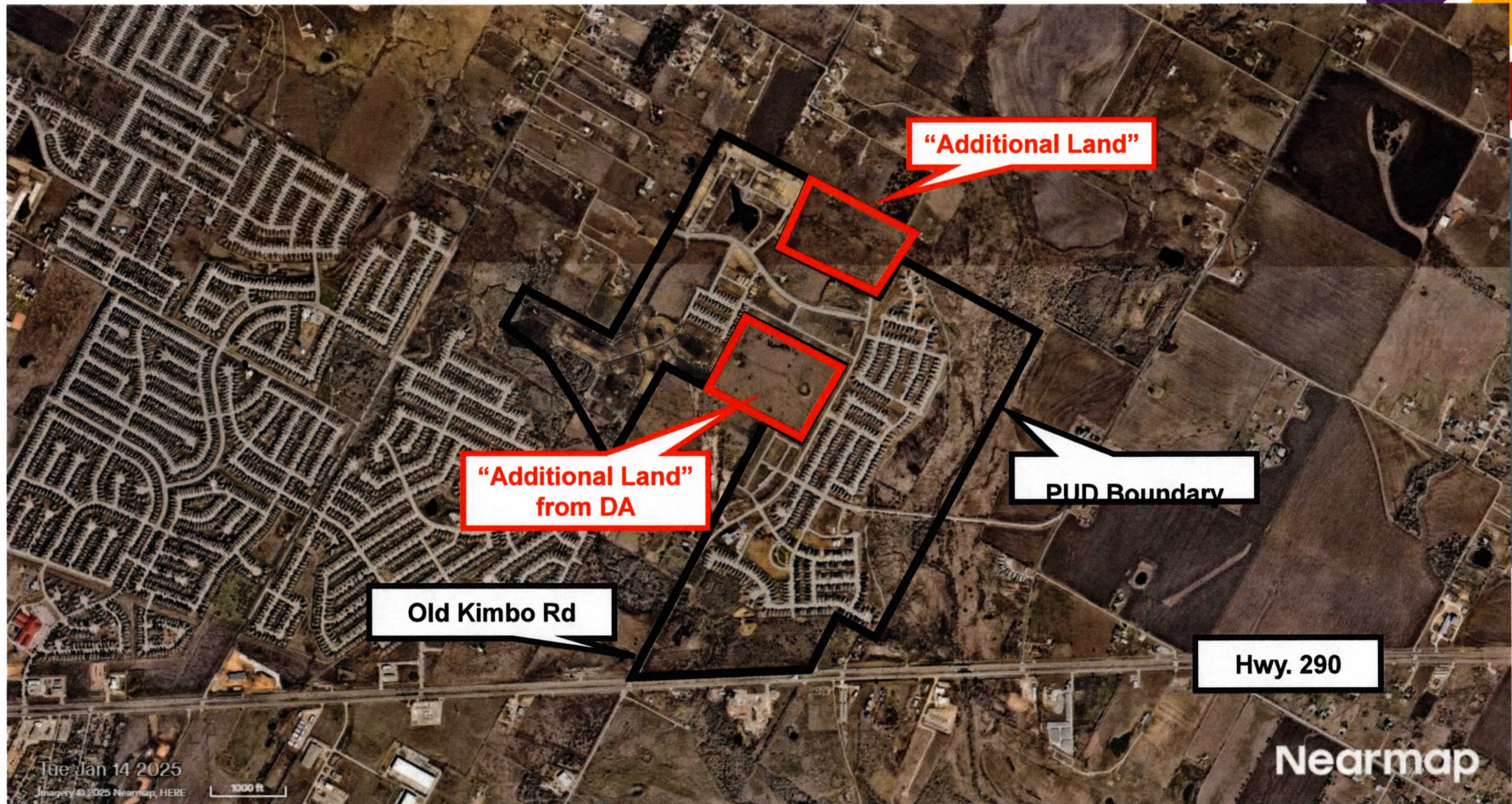
Planning & Zoning Commission

March 14, 2025

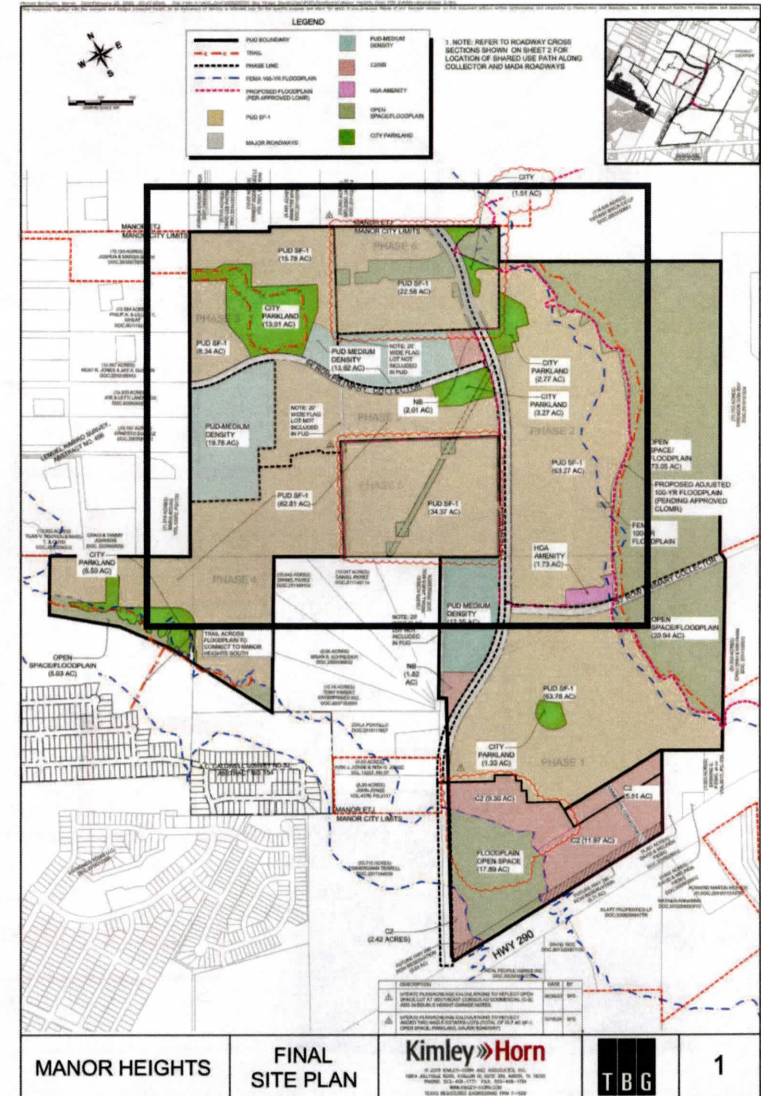
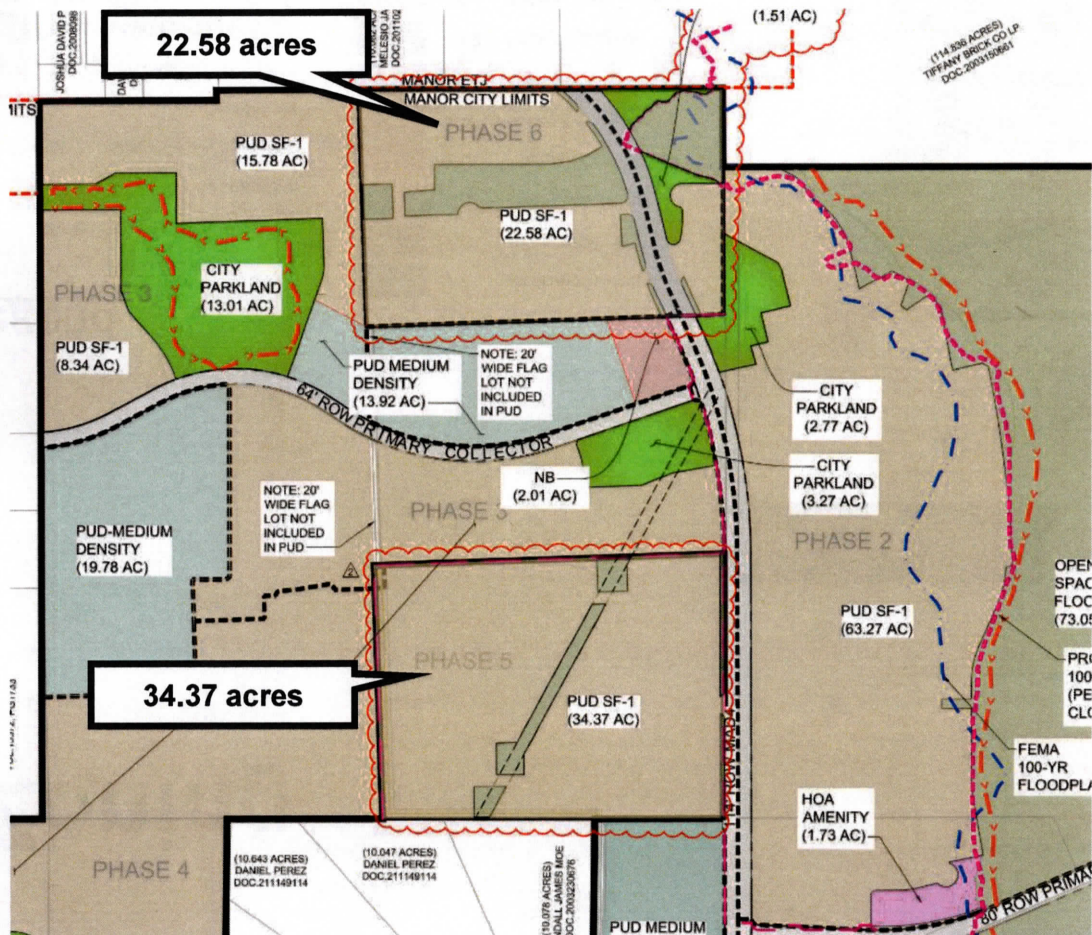
Kimley»»Horn



Location Map

























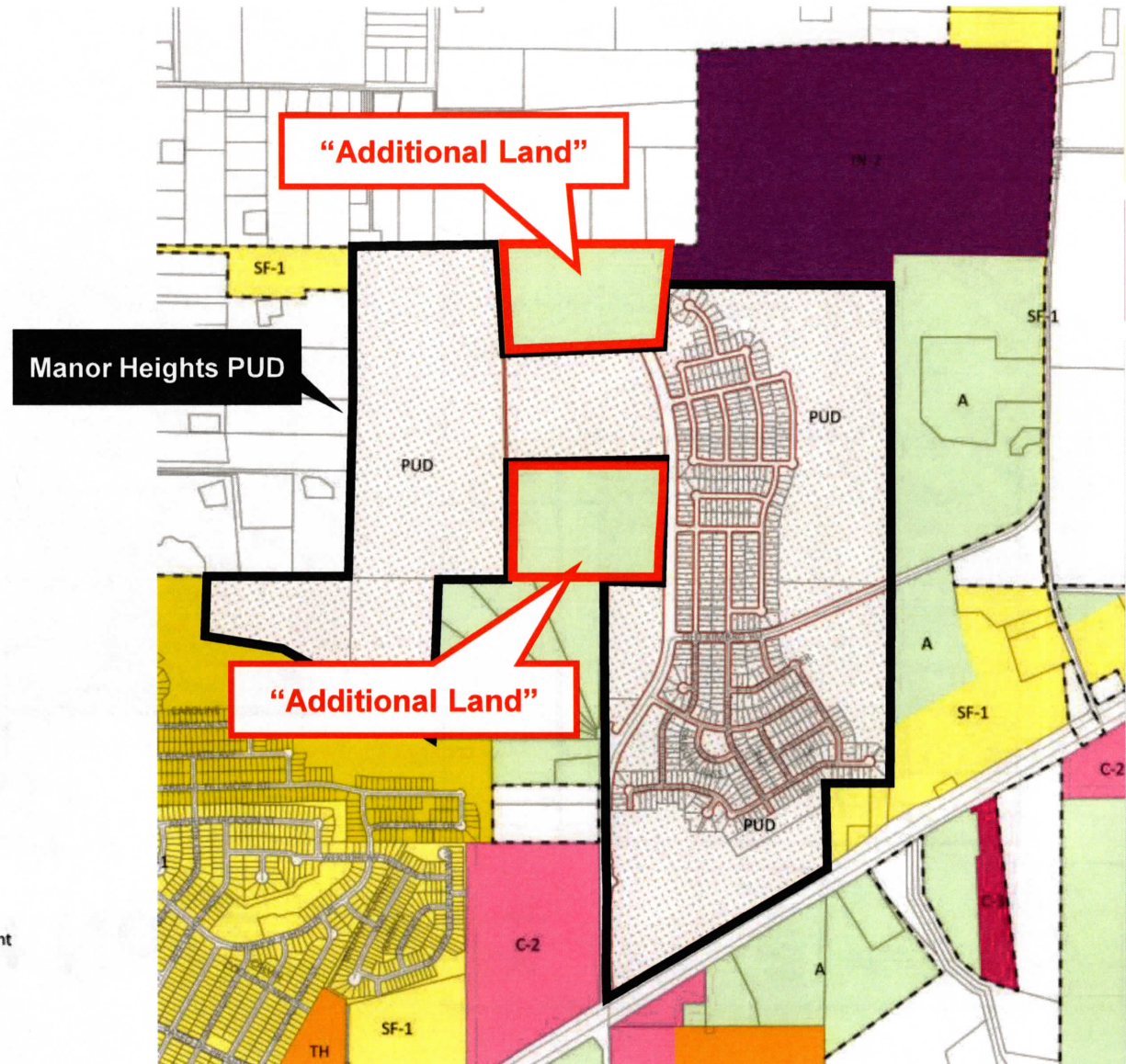
PUD Amendment No. 2



Zoning

Legend

	A	Agricultural		I-2	Institutional-Large
	SF-E	Single Family Estate		GO	General Office
	SF-1	Single Family Suburban		C-1	Light Commercial
	SF-2	Single Family Standard		C-2	Medium Commercial
	TF	Two-Family Residential		C-3	Heavy Commercial
	TH	Townhome		IN-1	Light Industrial
	MF-1	Multi-Family 15		IN-2	Heavy Industrial
	MF-2	Multi-Family 25		NB	Neighborhood Business
	MH-1	Manufactured Home		DB	Downtown Business
	MH-2	Manufactured Home Park		PUD	Planned Unit Development
	OS	Open Space			City Limits
	I-1	Institutional-Small			Extra-Territorial Jurisdiction





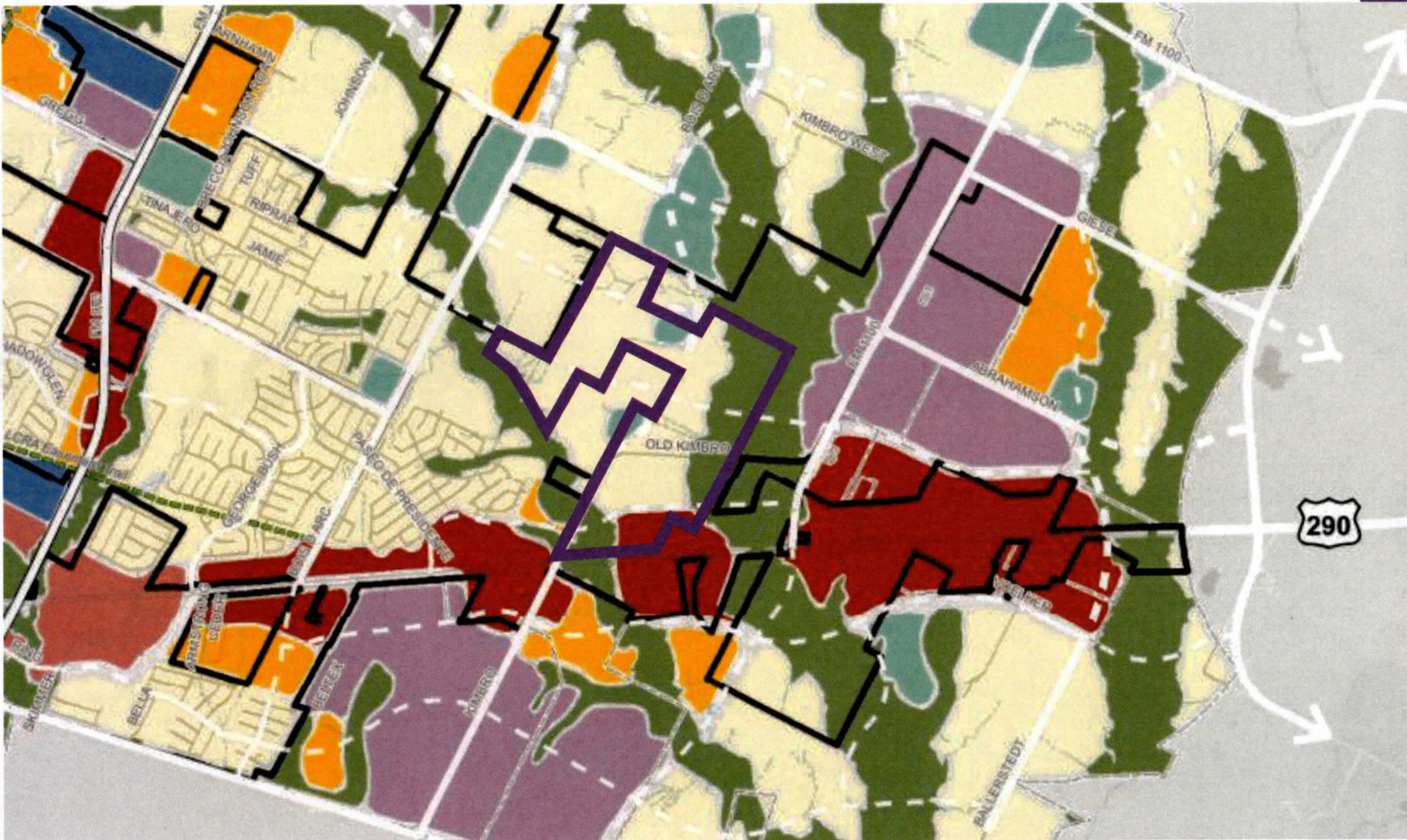
Future Land Use

Future Land Use Map

Land Use Descriptions

- | | | |
|----------------------------|----------------------|---------------------|
| Neighborhoods | Downtown Mixed-Use | Employment |
| Mixed-Density Neighborhood | Public/Semi-Public | Commercial Corridor |
| Neighborhood Mixed-Use | Parks and Open Space | Community Mixed-Use |

-  Manor City Limits
 Manor ETJ



Thank You

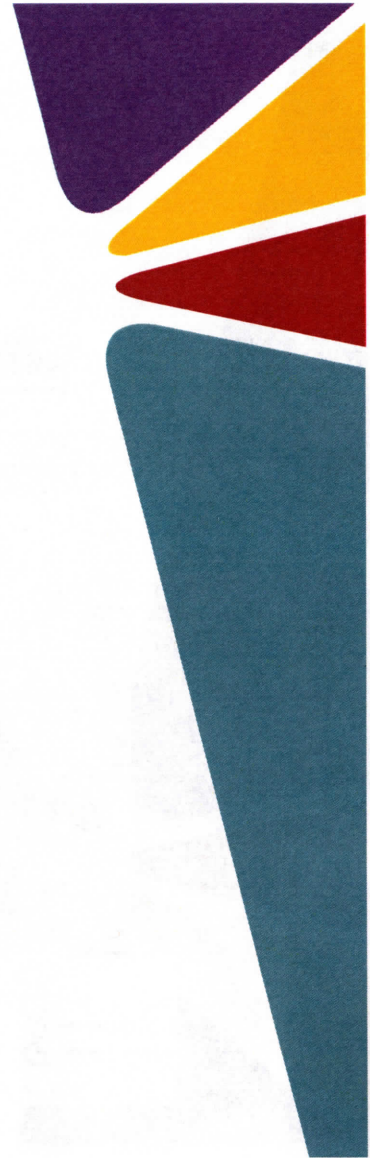
Ethan Harwell, AICP

Kimley-Horn and Associates

512 580 5803

Ethan.Harwell@Kimley-Horn.com

Kimley»Horn



ROUTE 1100 EVENT CENTER



3D VISUALIZATION

OUTLINE SPECIFICATIONS FOR
OFFICE BUILDING
MANOR, TEXAS

DIVISION 1 - GENERAL REQUIREMENTS

1. General:
01. This project shall be constructed of carefully selected materials to provide low maintenance cost, initial low construction cost and durability.
02. All provisions for the handicapped are to be part of the contract.
03. Insurance: General Contractor shall furnish and pay for the following insurance policies indemnifying himself, the Owner and the Architect.

DIVISION 2 - SITE WORK:

1. Soil Treatment: Termite control is to be provided under entire building slab.
2. Sidewalks: To be 4" thick Concrete over 2" compacted sandfill. Reinforced with welded wire mesh.
3. Finish Grading: To be hand graded approximately 20' from the building and all improvements.
4. Landscaping: Included as a part of this contract.

DIVISION 3 - CONCRETE:

1. Foundation: Reinforced concrete monolithic beam and slab on 6" compacted selected fill. Concrete slab shall be trowel finish. All concrete shall be minimum 3000 PSI. Test at 28 days.

2. Vapor Barrier: 6 mil polyethylene.

DIVISION 4 - MASONRY:

1. Portland Cement Plaster: system over hot dipped galv. paper backed w/ luting metal lath over 6" cmu with cavity wall foam filled insulation.
2. Interior Stud Walls: 4" studs and gypsum drywall partitions.

DIVISION 6 - CARPENTRY:

1. Architectural wood work.

DIVISION 7 - MOISTURE CONTROL:

1. Roofing: METAL Roofing system.
2. Insulation: 6" building insulation. Batt insulation above SAC.

DIVISION 8 - DOORS, WINDOWS, AND GLASS:

1. Doors and Frames: All interior doors shall be 1-3/4" solid core flush veneer doors. Frames shall be hollow metal frames.
2. Storefront Doors and Frames: All exterior storefront system shall be aluminum.
3. Glass: All glass shall be 1/4" tempered glass.

DIVISION 9 - FINISHES:

1. Floors: All central traffic areas shall be vinyl composition tile.
01. Offices to be 1/8" vinyl composition tile.
02. Base shall be rubber base.

2. Walls:
01. All gypsum walls shall be painted.

3. Ceilings: Areas where shown shall be suspended acoustical grid system with square edge beamed mineral fiber board panels.
- and/or painted gypsum board.

DIVISION 10 - SPECIALTIES:

1. None Required.

DIVISION 11 - EQUIPMENT:

1. None Required.

DIVISION 12 - FURNISHINGS:

1. None Required.

DIVISION 13 - SPECIAL CONSTRUCTION:

1. None Required.



PROJECT INFORMATION

2018 International Building Code
2018 International Mechanical Code
2018 International Fire Code
2018 International Plumbing Code

2018 International Energy Conservation Code
2018 National Electric Code
2018 NFPA Life Safety Code
ADA Accessibility Guidelines

1. USE AND OCCUPANCY CLASSIFICATION:
EVENT CENTER

2. BUILDING HEIGHT:

Actual Height (stories/height) 1 story / 22'-6"

3. BUILDING AREA:

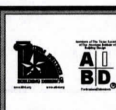
Building Floor Area (Fire Area) 5,865

4. Fire Protection Systems:

A. Fire Smoke Detection Required Yes Provided Yes
B. Portable fire Extinguisher Required Yes Provided Yes
C. Fire Sprinkler System Required NO Provided NO

DATE	CHANGE	BY

B & B Design Firm hereby reserves its copyright in all drawings, designs, and other documents created by it for this project, and shall retain the right to use any or all of them in any form or for any purpose without the express written permission from B & B Design Firm. Further, B & B Design Firm shall not be responsible for any errors or omissions in any drawings, designs, or other documents created by it for this project, and shall not be responsible for any errors or omissions in any drawings, designs, or other documents created by it for this project, and shall not be responsible for any errors or omissions in any drawings, designs, or other documents created by it for this project.



**EVENT CENTER
DESIGN FOR**
ROUTE 1100 EVENT CENTER

BEING 3.478 ACRE TRACT OF
LAND OUT OF THE LEMUEL
KIMBRO SURVEY
TRAVIS COUNTY, TEXAS 78526



B & B DESIGN FIRM LLC.
1175 W. Price Road Ste. 6
Brownsville, Tx. 78521
OFFICE
956. 801. 9417

DATE:	4.12.25
DRAWING NAME:	COVER
PROJECT #:	D724-096

SHEET
COVER

LEGEND

LANDSCAPE	5,495.23 S.F.
PAVED PARKING LOT	9,405.45 S.F.
SIDEWALKS	1,817.09 S.F.
BUILDING	5,865.00 S.F.
CURB & GUTTER	\$99.00 L.F.
DEVELOPMENT LOT	25,000.00 S.F.

OWNER INFORMATION

NAME: **ROCIO VELASQUEZ**
 COMPANY: _____
 ADDRESS: _____
 PHONE: **512.840.8392**

PARKING SPACES

ZONING: Commercial
 PARKING REQUIRED: **31 PARKING SPACES**
 PARKING PROVIDED: **38 PARKING SPACES**

WASTE DISPOSAL DUMPSTER ENCLOSURE SPECIFICATIONS

SPACE REQUIREMENTS FOR AREA TO BE UTILIZED BY TRUCK

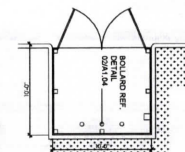
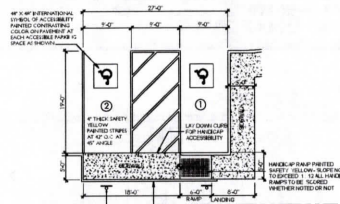
A) SIDE LOAD TRUCK: SINCE SIDE LOAD DUMPSTERS ARE SERVICED WITH THE TRUCK PARALLEL TO THE ENCLOSURE AND THE LIFTING MECHANISM IS LOCATED DIRECTLY BEHIND THE DRIVER'S FRONT FLOOR, SIGNIFICANT PORTIONS OF THE TRUCK EXTEND BEYOND THE DUMPSTER IN BOTH DIRECTIONS. IT IS REQUIRED THEREFORE THAT THE AREAS DESCRIBED BELOW BE CLEAR AND UNIMPEDED FOR A TRUCK SERVICING SAID DUMPSTER ENCLOSURE.

GATES MUST SWING OPEN FULLY 180 DEGREES. SLIDING BARRIERS MUST BE INSTALLED ON INSIDE WALL OF EACH GATE AT BOTTOM CORNERS. HOSES LANCE ENOUGH TO RECEIVE BARRIERS. BOTH MUST BE DRILLED IN PARKING LOT SURFACE AT FULLY OPEN LOCATION AND THE FULLY OPEN (180 DEGREE) LOCATION.

B) FRONT LOAD TRUCK: SINCE A FRONT LOAD TRUCK IS SIGNIFICANTLY LARGER THAN A SIDE LOAD TRUCK, THE SPACE REQUIREMENTS ARE GREATER. A FRONT LOAD TRUCK SERVICING THE DUMPSTER WHILE PARALLEL PERPENDICULAR TO THE ENCLOSURE AND THE TRUCKS FRONT BUMPER RESTING AGAINST FACE OF DUMPSTER, THE AREA DESCRIBED BELOW MUST BE CLEAR AND UNIMPEDED FOR A TRUCK SERVICING SAID DUMPSTER.

ENCLOSURE DIMENSIONS
 IF INTERIOR SIDE WALL TO INTERIOR SIDE WALL
 IF INTERIOR OF GATE TO INTERIOR OF REAR WALL

OPENING AND CLOSING OF GATES
 IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER TO OPEN AND CLOSE THE GATES ON SERVICE DATES. IT IS RECOMMENDED THAT THE GATES BE OPENED AT THE START OF THE BUSINESS ON SERVICE DAYS.

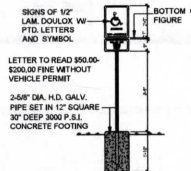


TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

SITE NOTES:

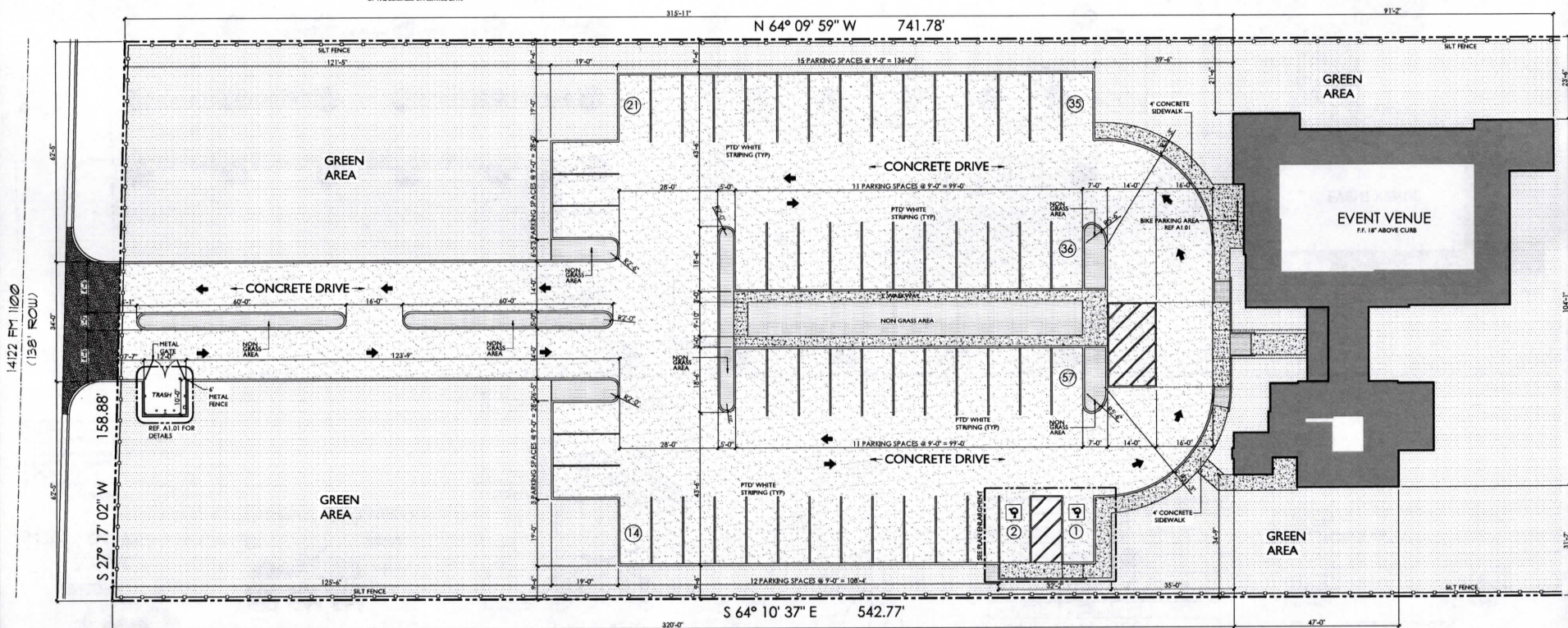
1. FINISH GRADE TO BE 4" BELOW FINISH FLOOR ELEVATION. SLOPE AWAY FROM ALL IMPROVEMENTS AT A RATE OF 1/4" PER FOOT FOR THE FIRST 10'-0"; THEN AT A RATE OF 1/8" PER FOOT FOR THE NEXT 30'-0".
2. SIDE WALK SLOPE IS NOT TO EXCEED 1:20 WITH A CROSS SLOPE OF 1:50 AT ANY INSTANCE.
3. REFERENCE SHEET MEPI FOR SITE IMPROVEMENTS AND MECHANICAL ELECTRICAL AND PLUMBING SITE NOTES.



SIGN/ANCHOR DETAIL

SCALE: 1/8" = 1'-0"

- ONE (1) VAN ACCESSIBLE HANDICAP PARKING SPACE REQUIRED AT EACH DESIGNATED HANDICAP PARKING AREAS.
 ONE (1) SIGN SIMILAR FOR REGULAR HANDICAP PARKING SPACE. SIGN DOES NOT INCLUDE VAN ACCESSIBLE NAME. ONE (1) PER HANDICAP SPACE.



SITE PLAN

SCALE: 3/16" = 1'-0"

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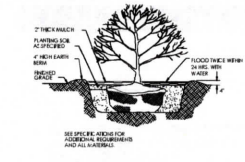
ROUTE 1100 EVENT CENTER

BEING 3.478 ACRE TRACT OF LAND OUT OF THE LEMUEL KIMBRO SURVEY
 TRAVIS COUNTY, TEXAS 78526



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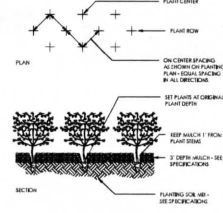
DATE	4.12.25	SHEET
DRAWING NAME	SITE PLAN	C1.02
PROJECT #	0724-006	



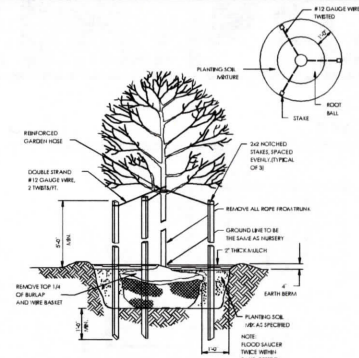
04 SHRUB PLANTING

LANDSCAPE PLAN NOTES:

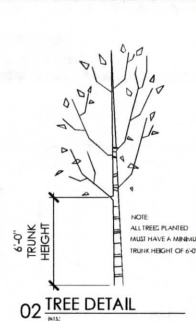
1. OWNER WILL INSTALL BACKFLOW PREVENTER SYSTEM FOR LANDSCAPE SPRINKLER SYSTEM (COORDINATE LOCAL PUBLIC UTILITIES)
2. NO POWER LINES ARE CURRENTLY LOCATED ON PROPERTY



GROUNDCOVER PLANTING



01 TYP. DECIDUOUS TREE PLANTING



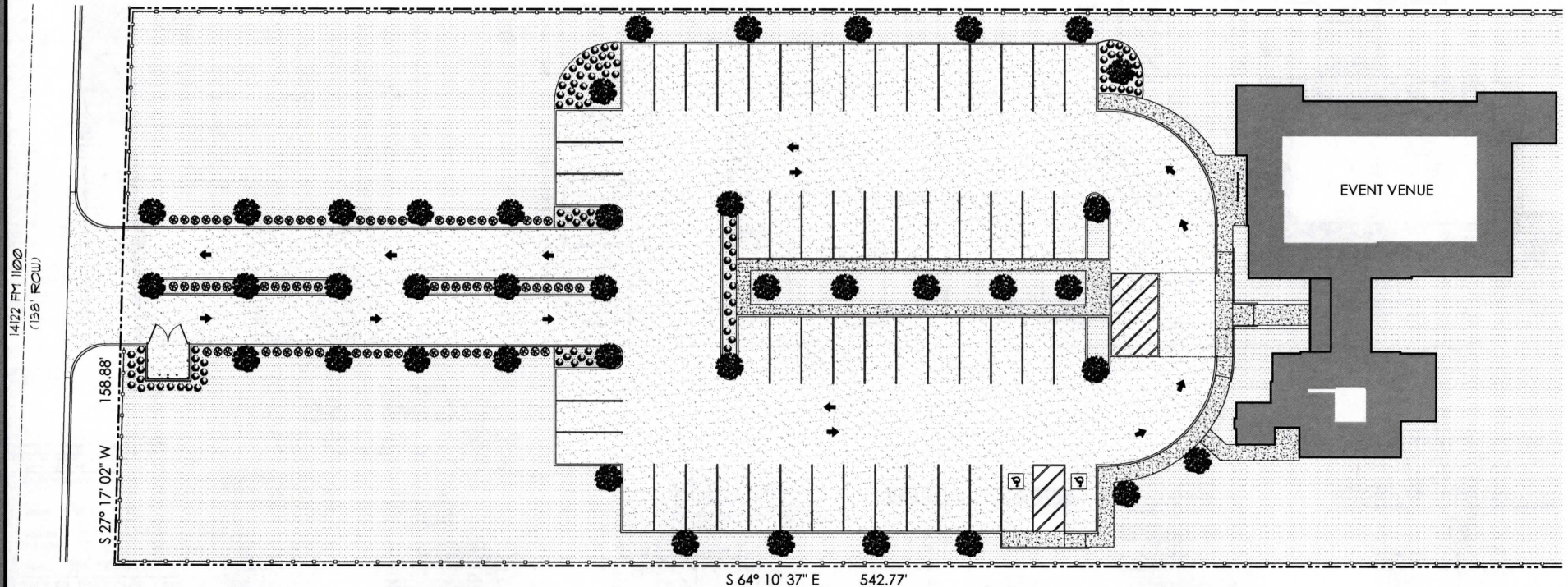
IRRIGATION NOTE:

THE APPLICANT WILL PROVIDE AN AUTOMATIC IRRIGATION ON OR BEFORE ANY REQUEST FOR A CERTIFICATE OF OCCUPANCY.

LANDSCAPING LEGEND				
QTY.	COMMON NAME	BOTANICAL NAME	SYMBOL	SIZE
107	OLEANDER	NERIUM OLEANDER		1 GAL / 36"
40	OAK TREE	QUERCUS COCCINEA		3\"/>
73	MEXICAN ORANGE BLOSSOM	CHOCYLA TERNATA		3\"/>

LANDSCAPE ORDINANCE REQUIREMENTS

DESCRIPTION	QUANTITY
TOTAL SITE AREA	131,497.00 S.F.
DEVELOPED AREA	67,375.00 S.F.
PROVIDED PARKING LOT TREES	40
AREA OF IRRIGATION	SPRINKLER SYSTEM



SITE PLAN

SCALE: 3/16" = 1'-0"

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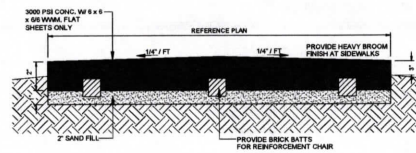


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PROJECT #	DT24-096

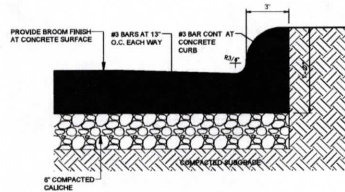
SHEET

C1.03



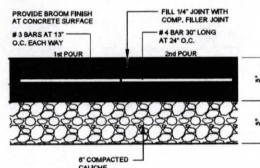
11 SIDEWALK DETAIL

SCALE: 1/12" = 1'-0"



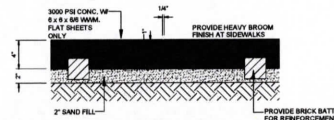
10 CURB & GUTTER DETAIL

SCALE: 1/12" = 1'-0"



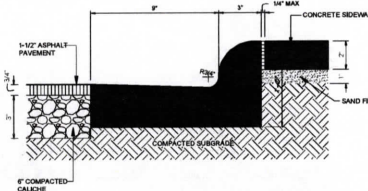
13 CONC. PAVING CONST. JNT.

SCALE: 3/8" = 1'-0"



12 SIDEWALK CONTROL JT.

SCALE: 1/12" = 1'-0"

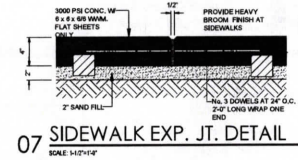


09 CURB & GUTTER DETAIL

SCALE: 1/12" = 1'-0"

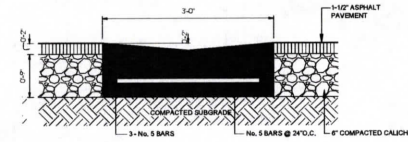
08 CURB & GUTTER DETAIL @ SIDEWALK CONDITION

SCALE: 1/12" = 1'-0"



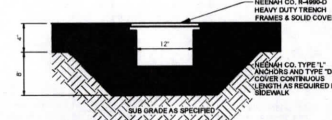
07 SIDEWALK EXP. JT. DETAIL

SCALE: 1/12" = 1'-0"



06 VALLEY GUTTER DETAIL

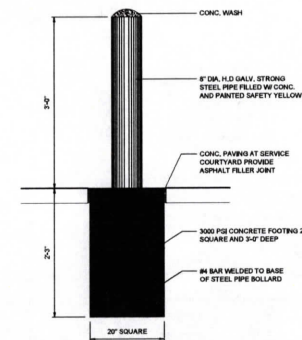
SCALE: 1/12" = 1'-0"



05 TRENCH DETAIL

SCALE: 1/12" = 1'-0"

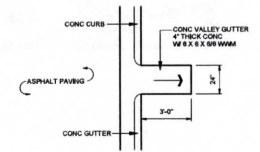
NOTE: PROVIDE FOR RETRY (S) UNITS TO BE LOCATED BY ARCHITECT'S OFFICE



04 PIPE BULLARD DETAIL

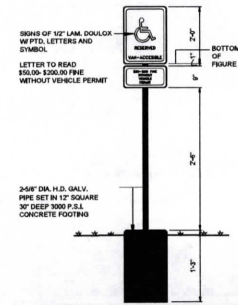
SCALE: 3/8" = 1'-0"

SEE SITE PLAN FOR LOCATION



03 CURB BREAK DETAIL

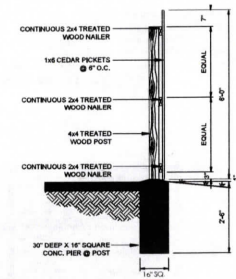
SCALE: 1/4" = 1'-0"



02 SIGN / ANCHOR DETAIL

SCALE: 1/2" = 1'-0"

ONE (1) VAN ACCESSIBLE HANDICAP PARKING SPACE REQUIRED AT EACH DESIGNATED HANDICAP PARKING AREAS.
ONE (1) SIGN SIMILAR FOR REGULAR HANDICAP PARKING SPACE. SIGN DOES NOT INCLUDE VAN ACCESSIBLE NAME.
ONE (1) PER HANDICAP SPACE



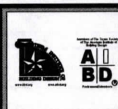
01 CEDAR FENCE SECTION

SCALE: 3/4" = 1'-0"

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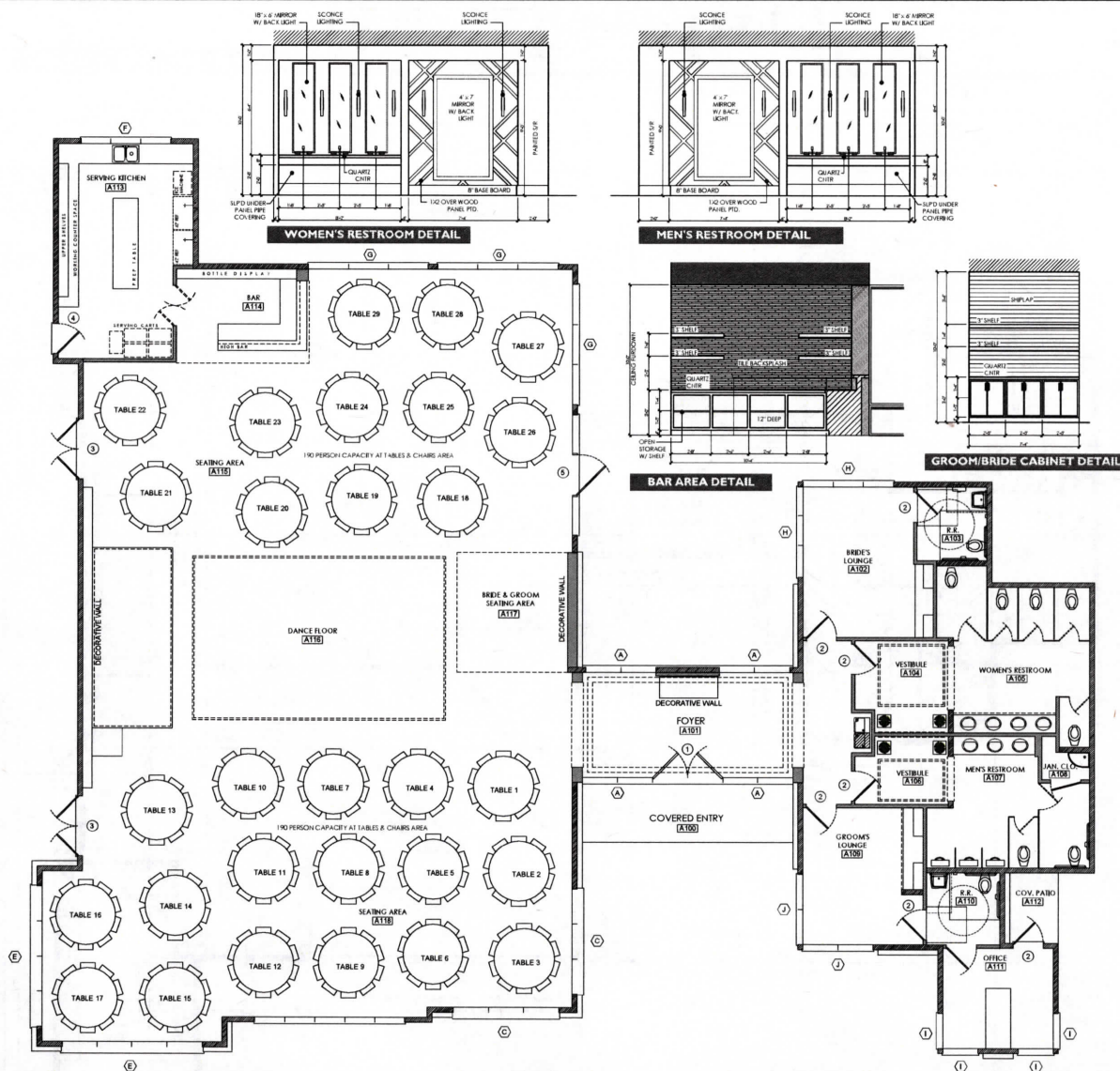
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PROJECT #:	DT24-096

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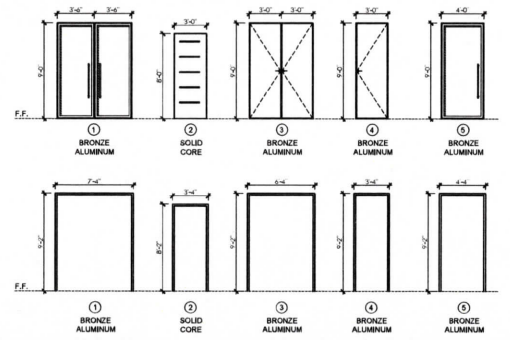
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DRAWING NAME:	FLOOR PLAN	
PROJECT #	DT24-096	



DOOR SCHEDULE													
DOOR NO.	MAIL	DOOR			MAIL	FRAME			H/DWR	DETAIL			REMARKS
		W	H	T		W	H	T		JAMB	HEAD	SL	
1	ALUM	PR 3'-6"	7'-0"	1-1/2"	ALUM	7'-6"	9'-2"	1-1/2"					
2	ALUM	PR 3'-0"	8'-0"	1-1/2"	ALUM	3'-0"	8'-0"	1-1/2"					
3	ALUM	PR 3'-0"	8'-0"	1-1/2"	ALUM	3'-0"	8'-0"	1-1/2"					
4	ALUM	PR 3'-0"	8'-0"	1-1/2"	ALUM	3'-0"	8'-0"	1-1/2"					
5	ALUM	PR 3'-0"	8'-0"	1-1/2"	ALUM	3'-0"	8'-0"	1-1/2"					

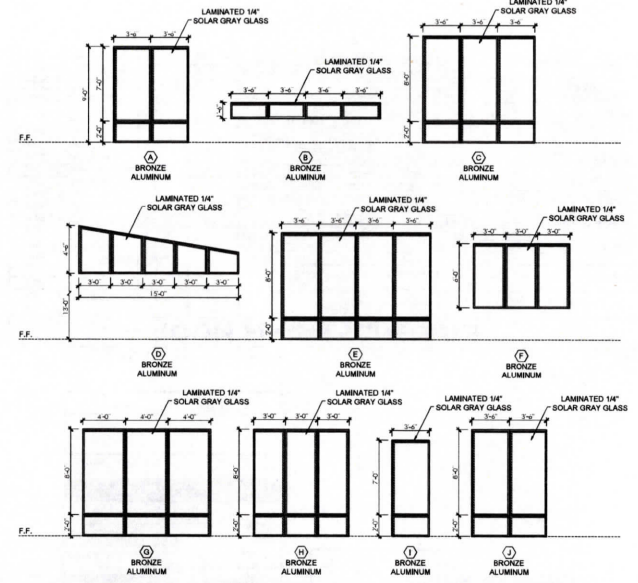
NOTE: PROVIDE LABELED DOORS AT ALL FIRE RATED PARTITIONS

NOTE: ALL GLAZING SHALL BE 1/4" WIRE GLASS U.N.O.



DOOR & FRAME ELEVATIONS

SCALE: 3/16" = 1'-0"



WINDOW ELEVATIONS

SCALE: 3/16" = 1'-0"

FIXTURE PLAN

SCALE: 3/16" = 1'-0"

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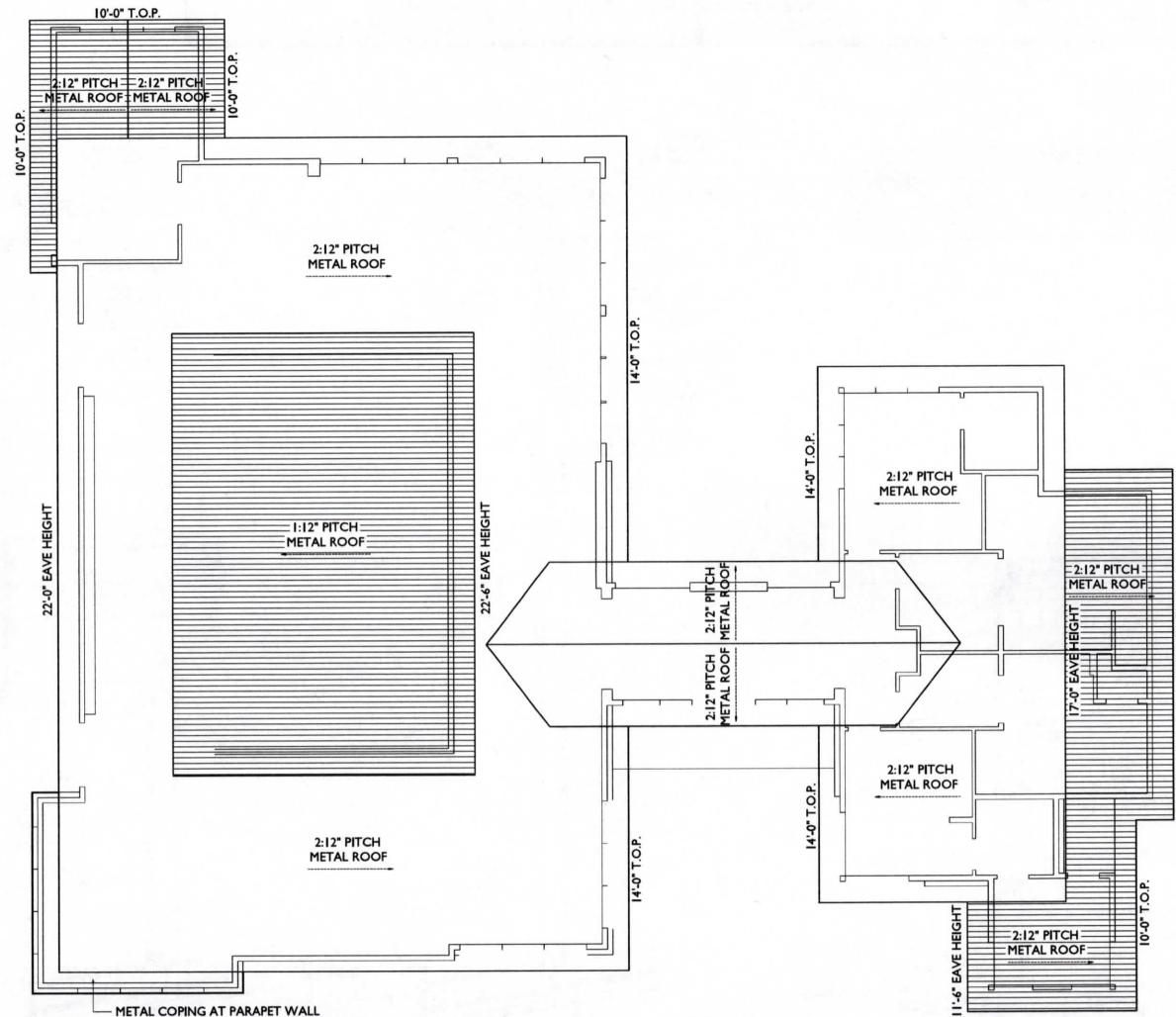
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DRAWING NAME:	FIXTURE PLAN
PROJECT #:	DT24-096

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ROOF PLAN

SCALE: 3/16" = 1'-0"

GENERAL ROOF NOTES

NOTE: ALL PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL, ELECTRICAL, AND PLUMBING. ALL PENETRATIONS SHALL BE PROVIDED BY THE ROOFING CONTRACTOR.

PROVIDE PARAPET SYSTEM AT ALL ROOF TOP, MECHANICAL UNITS, AND ALL OTHER ROOF TOP EQUIPMENT.

PROVIDE POWER DRAINAGE AS REQUIRED AND PROVIDE ALL ROOF TOP EQUIPMENT TO BE COORDINATED WITH ROOF DRAINAGE.

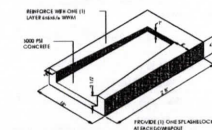
REFERENCE MECHANICAL DRAWINGS FOR ALL ROOF PENETRATIONS.

PROVIDE PREMANUFACTURED CONCRETE SPLASHBLOCKS AT EACH ROOF DRAINAGE NODDLE.

PROVIDE POWER DRAINAGE TOWARDS ALL ROOF DRAINAGE BY USE OF GUTTERS.

COORDINATE ALL ROOF DRAINAGE WITH STRUCTURAL ENGINEER'S ROOF FRAMING PLANS.

- NOTE: ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH MECHANICAL, ELECTRICAL, AND PLUMBING. ALL PENETRATIONS SHALL BE PROVIDED BY THE ROOFING CONTRACTOR.
- REFERENCE MECHANICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
- PROVIDE PREMANUFACTURED CONCRETE SPLASHBLOCKS AT EACH ROOF DRAINAGE NODDLE.
- PROVIDE POWER DRAINAGE TOWARDS ALL ROOF DRAINAGE BY USE OF GUTTERS.
- COORDINATE ALL ROOF DRAINAGE WITH STRUCTURAL ENGINEER'S ROOF FRAMING PLANS.



02 SPLASHBLOCK DETAIL

SCALE: 1/8" = 1'-0"

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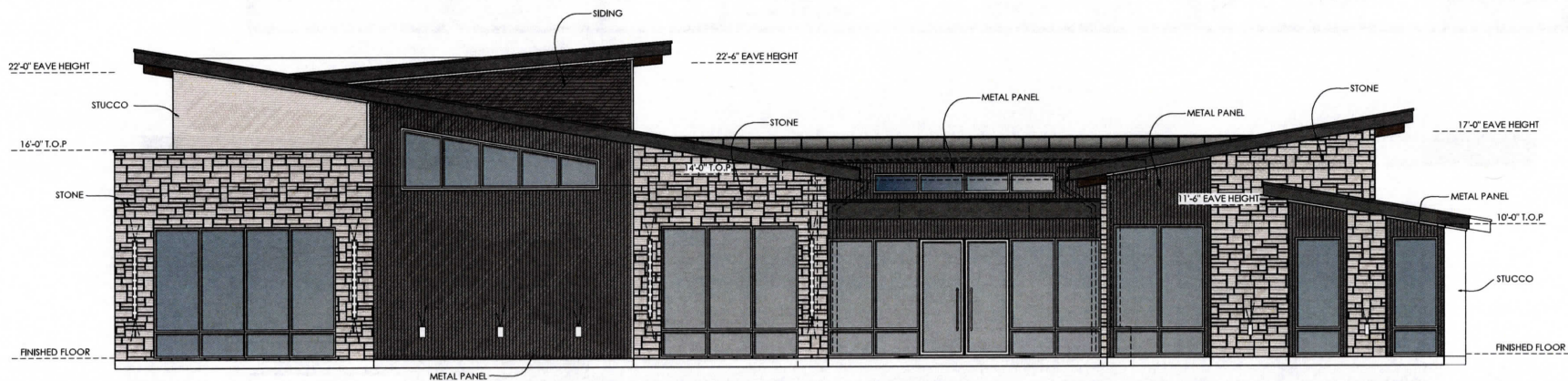
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PROJECT #	DT24-096

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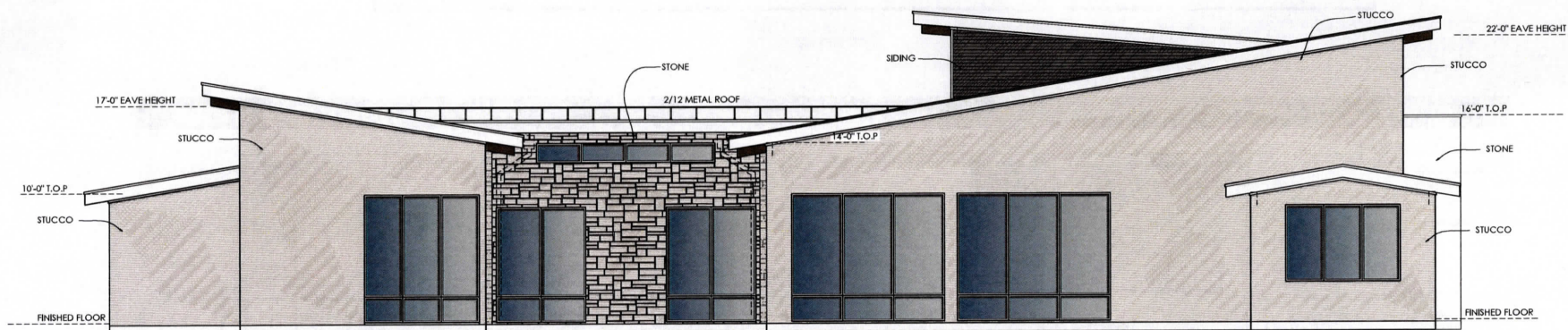
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DATE:	4.12.25	SHEET A2.03
DRAWING NAME:	EXTERIOR ELEVATIONS	
PROJECT #	DT24-096	



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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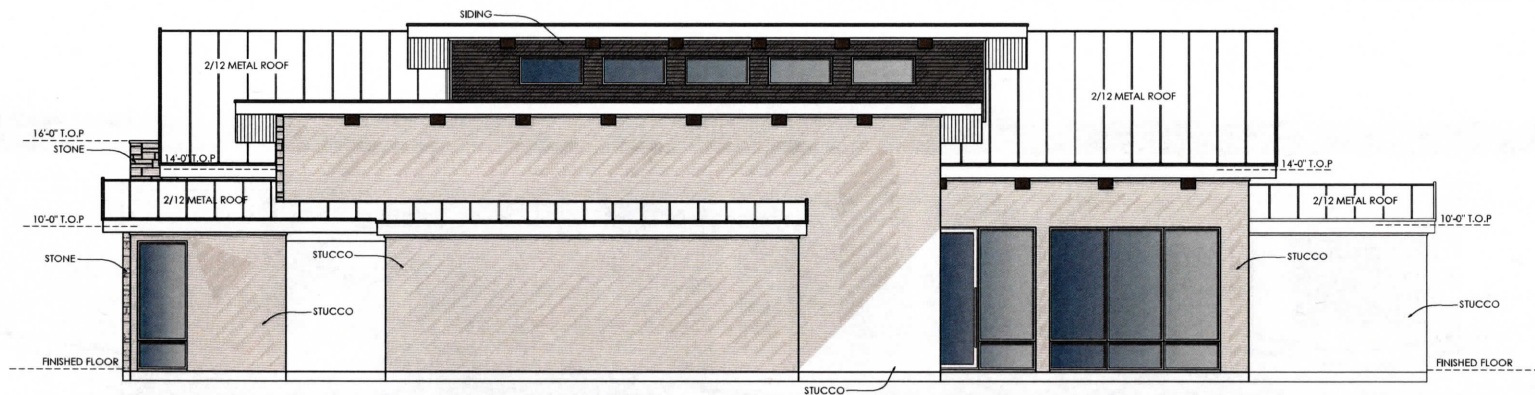
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DRAWING NAME	EXTERIOR ELEVATIONS
PROJECT #	DT24-096

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RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

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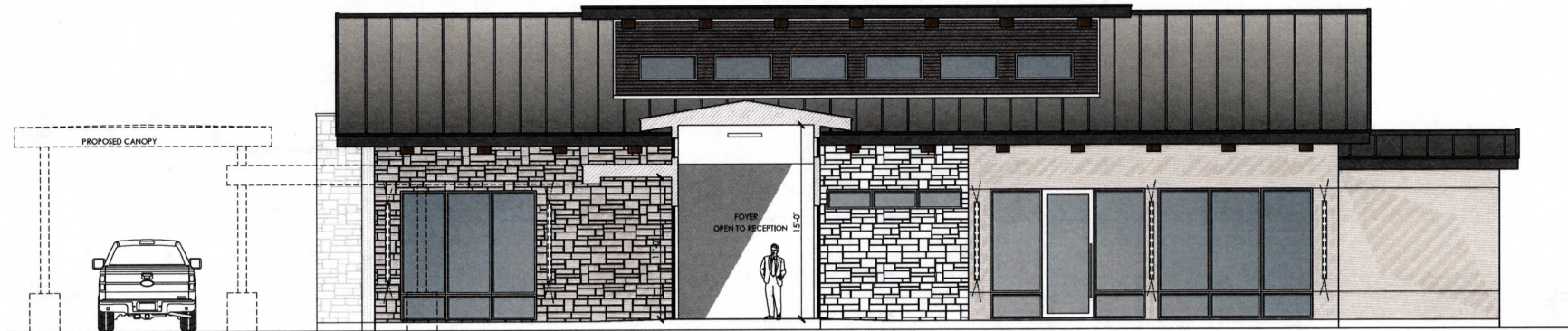
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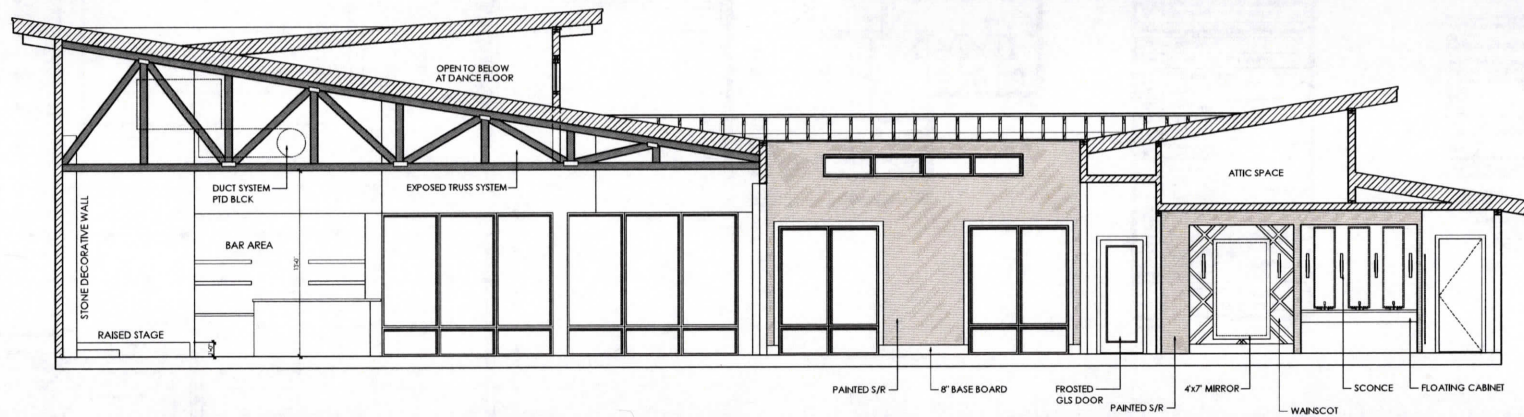
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CROSS SECTION 1-1



CROSS SECTION 2-2

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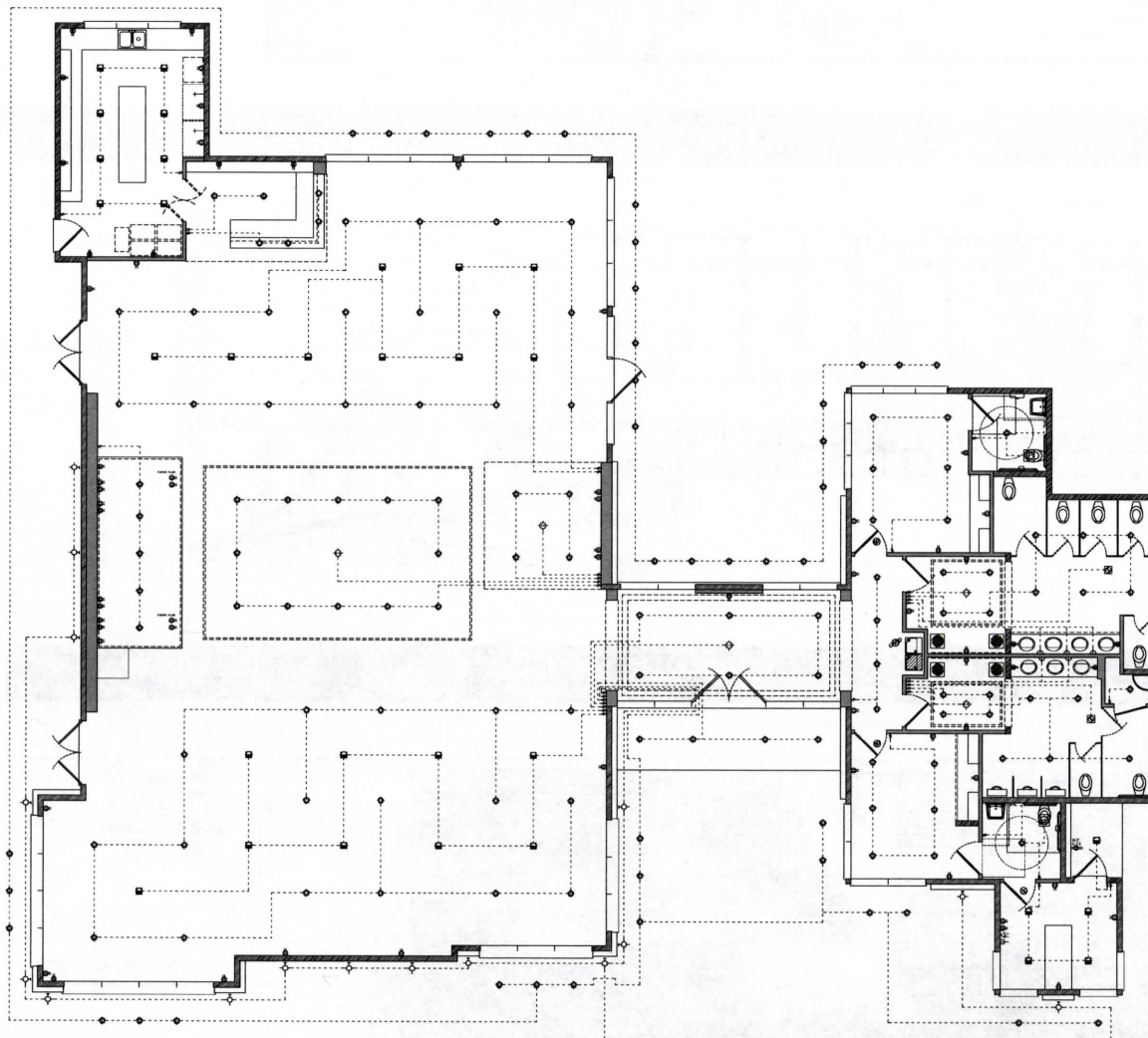
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DRAWING NAME	CROSS SECTIONS
PROJECT #	DT24-006

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A2.05



ELECTRICAL / MECHANICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
⊕	DUPLEX RECEPTACLE, 15' A.F.F., UN.G.
⊕	WIRE GROUNDING
⊕	DUPLEX RECEPTACLE, 15' A.F.F., GROUND FAULT CIRCUIT INTERRUPTER
⊕	RECEPTACLE OUTLET, 15' A.F.F.
⊕	20 A.C.I.
⊕	DUPLEX RECEPTACLE
⊕	WATER PROOF
⊕	DUPLEX RECEPTACLE
⊕	FLOOR MOUNTED
⊕	DUPLEX RECEPTACLE
⊕	CILING MOUNTED
⊕	SINGLE OUTLET
⊕	CABLE TELEVISION OUTLET
⊕	15' A.F.F. OR AS NOTED
⊕	DOOR BELL
⊕	CHIMES
⊕	POWER PANEL
⊕	CHANDLER
⊕	ELECTRICAL WIRING
⊕	FLUORESCENT LIGHT FIXTURE
⊕	FLOOD LIGHTS
⊕	WALL MOUNTED VANITY LIGHT FIXTURE
⊕	FAN EXHAUST UNIT W/ LIGHT

ELECTRICAL / MECHANICAL SYMBOLS LEGEND

⊕	SMOKE DETECTOR
⊕	SMOKE DETECTOR / CARBON MONOXIDE
⊕	LOW VOLTAGE TASK LIGHT
⊕	RECESSED POWER PANEL
⊕	WALL MOUNTED SCONCE LIGHT FIXTURE
⊕	A.C. TOGGLE SWITCH, SINGLE POLE
⊕	INCANDESCENT DIMMER SWITCH
⊕	INCANDESCENT DIMMER SWITCH
⊕	DUPLEX OUTLET, WEATHERPROOF
⊕	RECESSED TASK LIGHT
⊕	FAN W/ LIGHT FIXTURE
⊕	CILING SURFACE MOUNT
⊕	INCANDESCENT LIGHT FIXTURE
⊕	CILING SURFACE MOUNT
⊕	INCANDESCENT LIGHT FIXTURE
⊕	WALL MOUNT
⊕	INCANDESCENT 'CAN' LIGHT FIXTURE
⊕	RECESSED
⊕	JUNCTION BOX
⊕	DISCONNECT SWITCH
⊕	HORSE BIBB

ELECT. SERVICE NOTES

1. RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6' FROM AN OUTLET, AND OVER ANY COUNTER SPACE WIDER THAN 12"
2. RECEPTACLES IN BATHROOMS, GARAGES OR LOCATED OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM, (G.F.I. W.P.)
3. SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12' FROM DUCT OPENINGS SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED, PROTECTING ALL SLEEPING AREAS
4. OUTLET BOXES IN WALL BETWEEN THE DWELLING AND THE GARAGE SHALL BE METAL OR UL APPROVED PLASTIC
5. SWITCH PLATES AT 42" A.F.F. TO CENTER TYPICAL
6. ALL LIGHTING FIXTURES IN CLOSETS SHALL BE LOCATED MINIMUM 18" FROM ALL SHELVES
7. TWO OR MORE 20 AMP SMALL APPLANCE CIRCUITS SHALL BE PROVIDED TO SERE THE KITCHEN, BREAKFAST, AND OUTLETS, NEG. ART 220-3(C)

ELECT. GROUNDING NOTES

1. CONSULT LOCAL UTILITY AND LOCAL CODE FOR PROPER SYSTEM GROUNDING
2. ALL INTERIOR METALLIC WATER PIPING WHICH MAY BECOME EMERGED SHALL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS A BOND BARE COPPER WIRE #4) SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM AND THE GROUNDING ELECTRODE CONDUCTOR AT THE SERVICE DISCONNECTING MEANS
3. THE INTERIOR METAL COLD WATER PIPING SYSTEM SHALL BE BONDED THE THE SERVICE EQUIPMENT ENCLOSURE. THE GROUNDING CONDUCTOR AT THE SERVICE, THE GROUNDING ELECTRODE OR TO ONE OR MORE GROUNDING ELECTRODES USED.

ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

CHECKSET FOR REVIEW ONLY

DATE	CHANGE	BY

B & B Design Firm, hereby warrants the customer that the design and construction of the project shall conform to the requirements of the applicable codes and standards. These codes, standards, and regulations shall be the minimum requirements for the project. The design and construction shall be the responsibility of the customer. The design and construction shall be the responsibility of the customer. The design and construction shall be the responsibility of the customer.



EVENT CENTER DESIGN FOR

ROUTE 1100 EVENT CENTER

BEING 3.478 ACRE TRACT OF
LAND OUT OF THE LEMUEL
KIMBRO SURVEY
TRAVIS COUNTY, TEXAS 78526



B & B DESIGN FIRM LLC.
1175 W. Price Road Ste. 6
Brownsville, Tx. 78521
OFFICE
956. 801. 9417

DATE:	4.12.25	SHEET
DRAWING NAME:	ELECTRICAL	E1.01
PROJECT #	D724-096	

