

# **Boyce Street Project**

101, 107, 104, 108 W Boyce St,  
Manor, TX 78653



 BuildBlock



BuildBlock



The building is a three-story structure with a brick base and white upper floors. It features a large glass entrance on the ground floor, a covered walkway, and balconies on the second and third floors. The balconies are furnished with plants and chairs. The building is surrounded by landscaping, including trees and a parking lot with cars.

A window on the third floor of the building, showing a view of the interior.

A balcony on the third floor of the building, featuring a railing, a potted plant, and two chairs.

A window on the second floor of the building, showing a view of the interior.

A balcony on the second floor of the building, featuring a railing, a potted plant, and two chairs.

A window on the third floor of the building, showing a view of the interior.

A large glass window on the second floor of the building, showing a view of the interior.

A window on the second floor of the building, showing a view of the interior.

A balcony on the second floor of the building, featuring a railing, a potted plant, and two chairs.

A window on the second floor of the building, showing a view of the interior.

A large glass entrance on the ground floor of the building, showing a view of the interior.

A large glass window on the ground floor of the building, showing a view of the interior.

A covered walkway on the ground floor of the building, supported by dark columns.

A portion of another building to the left of the main building, showing a similar architectural style.

Landscaping elements including trees and a parking lot with cars.

Landscaping elements including trees and a white wall.



**OWNER:** JIWON JUNG  
101 W. BOYCE STREET  
MANOR, TEXAS 78653

**ACREAGE:** 41,662.98 SQ. FT. - 0.96 ACRES  
**NUMBER OF BLOCKS:** 2  
**NUMBER OF LOTS:** 3

**SUBMITTAL DATE:** 02/22/2024  
**DATE OF REVISION:** -

**SURVEYOR:** ALL STAR LAND SURVEYING - FIRM: 10135000  
9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729  
(512) 249-8149 REF# A0204024

**ENGINEER:** SOUTHWEST ENGINEERS, INC.  
FIRM # F-1909  
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270  
ROUND ROCK, TEXAS 78664

**PROJECT DATUM:** NORTH AMERICAN DATUM 1983 (NAD 83)  
PROJECTION: TEXAS STATE PLANE -  
CENTRAL ZONE (4203)  
UNITS: US SURVEY FEET

# AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR

- LEGEND**
- 1/2" ROD FOUND
  - 1/2" ROD W/CAP SET "ALLSTAR 5729"
  - COTTON GIN SPINDLE FOUND
  - "X" SCRIBE FOUND IN CONC.
  - RECORD INFORMATION
  - PROPOSED SIDEWALK
  - BUILDING SETBACK LINES
  - PUBLIC UTILITY ESMT
  - SIDEWALK ESMT

STATE OF TEXAS  
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JIWON JUNG, BEING THE OWNER OF 0.96 ACRE OF LAND, MORE OR LESS, OUT OF THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, BEING CONVEYED TO ME IN WARRANTY DEED RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO HEREBY PLAT SAID 1 ACRES, PURSUANT TO CHAPTER 212 & 232 OF THE TEXAS LOCAL GOVERNMENT CODE, IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS:

"AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29, TOWN OF MANOR"

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

JIWON JUNG  
101 W BOYCE STREET  
MANOR, TEXAS 78653

STATE OF TEXAS  
COUNTY OF TRAVIS

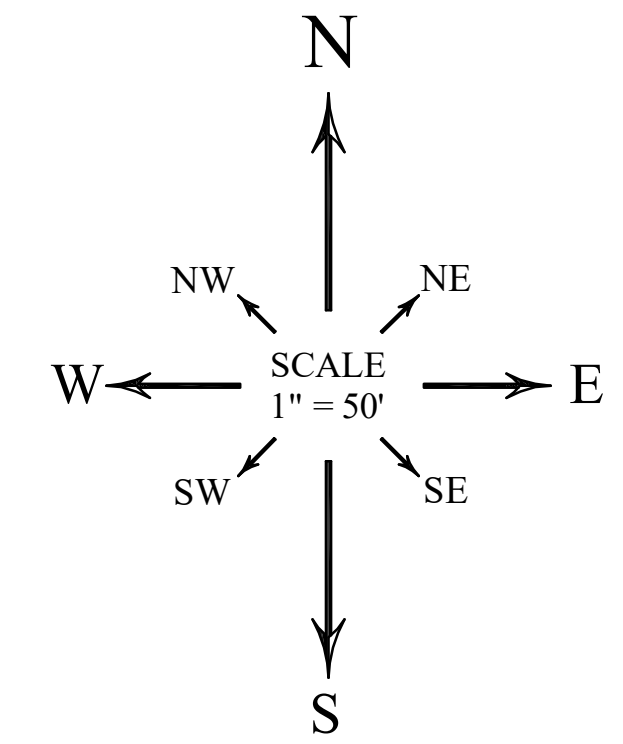
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIWON JUNG, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME MY COMMISSION EXPIRES

- NOTES:
- 1) WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF MANOR.
  - 2) ALL PRIVATE STREET RIGHTS-OF-WAY ARE ALSO DRAINAGE EASEMENTS AND PUBLIC UTILITY EASEMENTS. A VARIANCE HAS BEEN REQUESTED FOR DRAINAGE.
  - 3) PUBLIC SIDEWALKS SHALL BE CONSTRUCTED WITHIN THE FOLLOWING RIGHTS-OF-WAY: BOYCE STREET, N. CALDWELL STREET & LEXINGTON STREET
  - 4) A FRONT AND STREETSIDE YARD SETBACK TO BE FIVE (5') FOOT, AND REAR, AND EXTERIOR SIDE SETBACK AND REAR SETBACK FOLLOWS THE STANDARDS. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
  - 5) LOTS 5A, 1A AND 20A ARE EXEMPT FROM DETENTION REQUIREMENTS.
  - 6) BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH THE CITY OF MANOR REGULATIONS AT THE TIME OF THE BUILDING PERMIT APPLICATION. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
  - 7) ZONING FOR THIS SUBDIVISION IS (DB) DISTRICT.
  - 8) THE PROPOSED USE OF THIS SUBDIVISION IS DOWNTOWN BUSINESS.
  - 9) PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.
  - 10) THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE TEXAS COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
  - 11) PROPERTY OWNERS OF THE LOTS ON WHICH THE (INSERT EASEMENT TYPE) EASEMENTS ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
  - 12) A 5' PUBLIC UTILITY AND SIDEWALK EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
  - 13) PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
  - 14) DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
  - 15) NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
  - 16) NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH THREE EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
  - 17) ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
  - 18) EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CONTROL MANUAL.
  - 19) ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
  - 20) PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
  - 21) ANY STRUCTURE CONSTRUCTED WITHIN THE 10' BUILDING SETBACK LINE ALONG THE EAST SIDE OF LOT 20A, BLOCK 29, HAS TO MEET THE ADOPTED FIRE AND BUILDING CODES IN ORDER TO ENCROACH.



GRAPHIC SCALE

BEARING BASIS:  
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM  
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE THE 3RD DAY OF JUNE, 2024.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_ OF \_\_\_\_\_, 20\_\_ A.D.

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
FELIZ PAIZ, CHAIRPERSON LULVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS, ON THIS THE \_\_\_\_ OF \_\_\_\_\_, 20\_\_ A.D.

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
DR. CHRISTOPHER HARVEY, MAYOR OF THE CITY OF MANOR, TEXAS LULVIA T. ALMARAZ, CITY SECRETARY

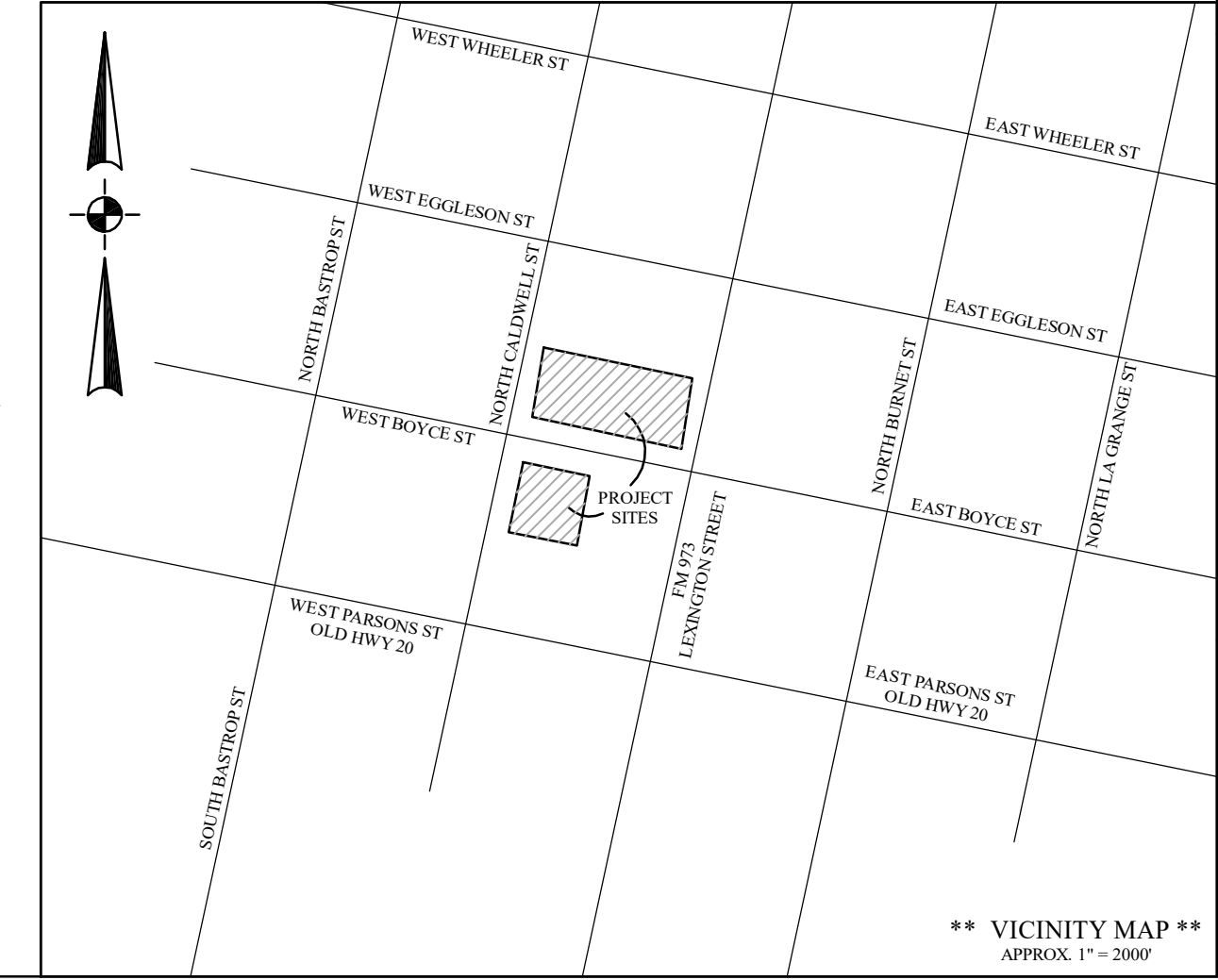
STATE OF TEXAS  
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

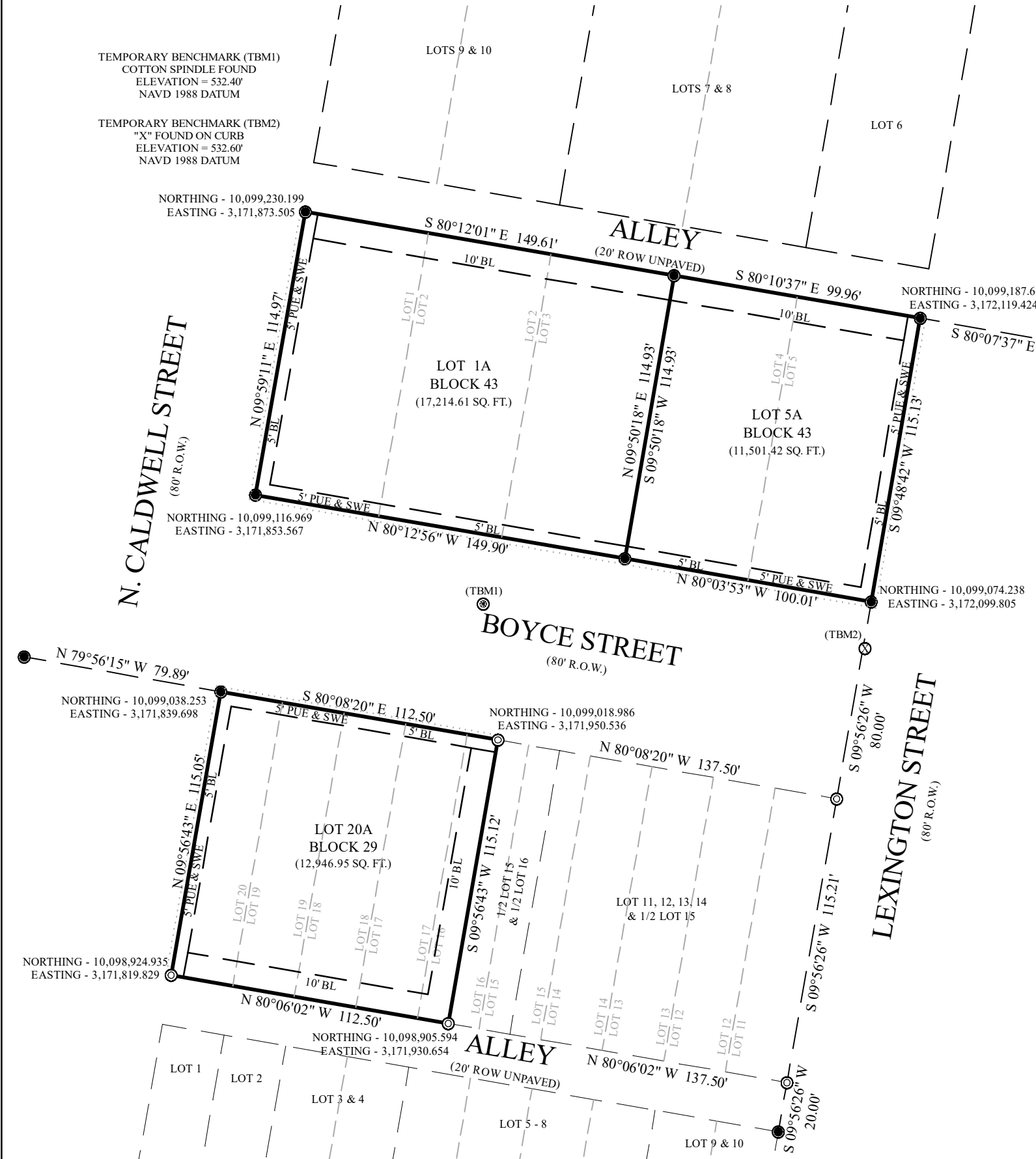
I, DYANA LIMON-MERCADO, COUNTY CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D. AT \_\_\_\_ O'CLOCK \_\_\_\_ M., IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, UNDER DOCUMENT NUMBER \_\_\_\_\_ FILED FOR RECORD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

DYANA LIMON-MERCADO  
COUNTY CLERK  
TRAVIS COUNTY, TEXAS

DEPUTY

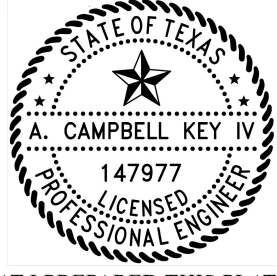


\*\* VICINITY MAP \*\*  
APPROX. 1" = 2000'



I, CAMPBELL KEY, I.V., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY OF MANOR LAND DEVELOPMENT CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

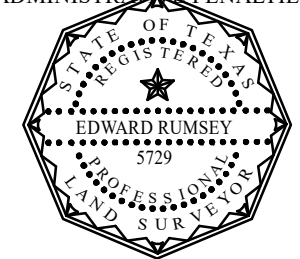
CAMPBELL KEY, I.V., P.E.  
LICENSE NO. 147977  
SOUTHWEST ENGINEERS FIRM # F-1909  
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270  
ROUND ROCK, TEXAS 78664



DATE

I, EDWARD C. RUMSEY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON THE GROUND SURVEY OF THE LAND AND THAT ALL CORNERS MONUMENTS SHOWN THEREON, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE TRAVIS COUNTY, TEXAS CODES AND ORDINANCES, INCLUDING SECTION 131.25(e), AND CHAPTER 482 OF THE TRAVIS COUNTY, CODE, AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN OR DESCRIBED HEREON. I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT AND MY RESULT IN CRIMINAL, CIVIL, AND/OR ADMINISTRATIVE PENALTIES AGAINST ME AS AUTHORIZED BY THE ACT.

EDWARD C. RUMSEY R.P.L.S. # 5729  
REF# A0204024



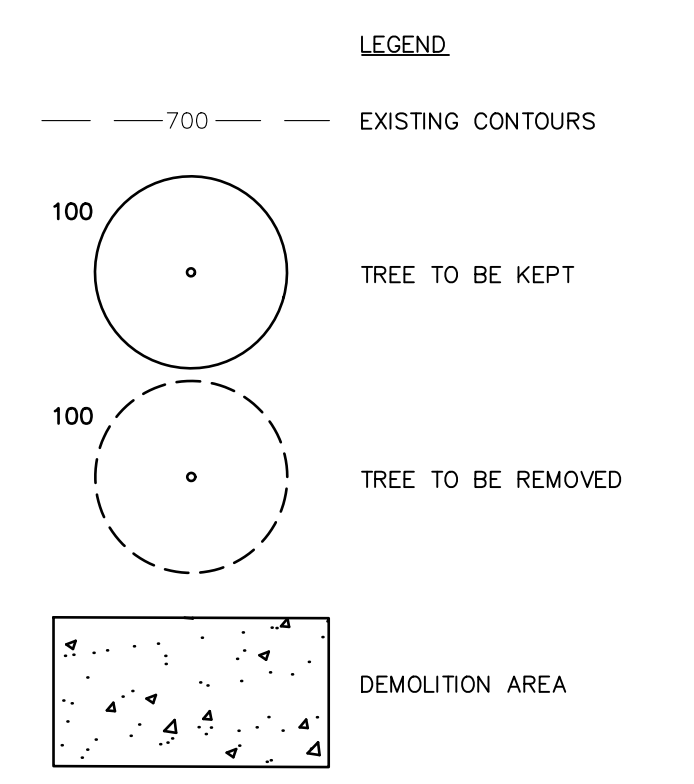
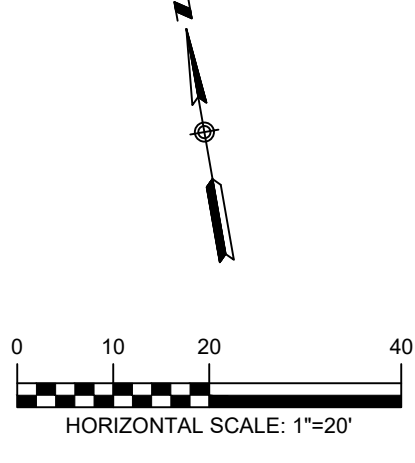
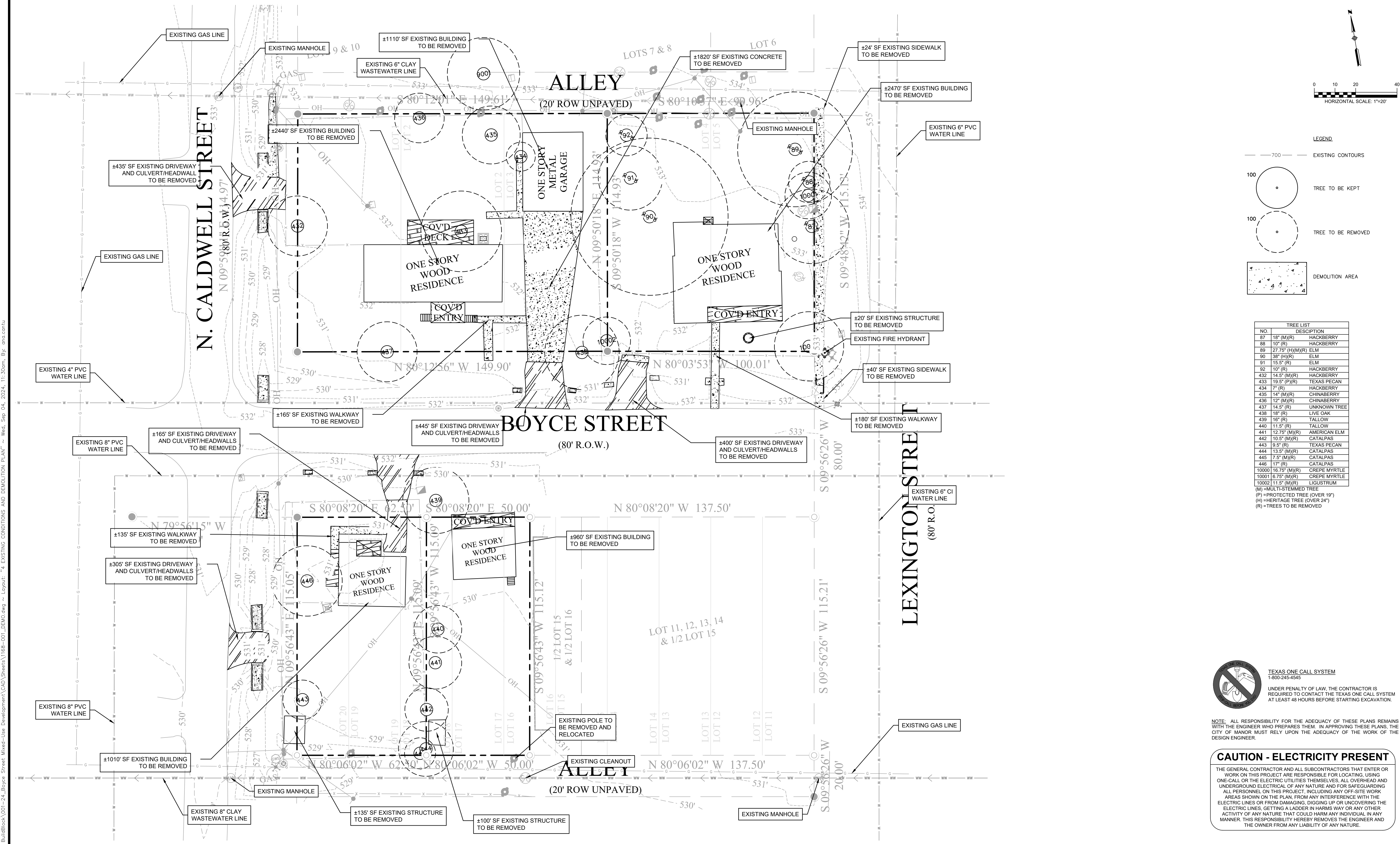
DATE

**ALLSTAR** Land Surveying  
9020 ANDERSON MILL RD  
AUSTIN, TEXAS 78729  
(512) 249-8149 PHONE  
(512) 331-5217 FAX  
TBBELS FIRM NO. 10135000

SCALE:	1" = 50'
BEGIN DATE:	02/22/2024
DRAWN BY:	DAVID BAK
JOB NO.:	A0204024
REVISED DATE:	-

**AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR**  
BEING ALL OF THAT CERTAIN 0.96 ACRE TRACT IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS BEING THE SAME LOTS 1-5 BLOCK 43, 1/2 OF LOT 16, LOT 17-20, BLOCK 29, TOWN OF MANOR, CONVEYED TO JIWON JUNG, RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS.

**F.I.R.M. MAP INFORMATION**  
THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS  
F.I.R.M. MAP NO.: 484530485J  
PANEL: 0485J  
DATED: 08/18/2014  
THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.



**TREE LIST**

NO.	DESCRIPTION
87	18" (M/R) HACKBERRY
88	10" (R) HACKBERRY
89	27.75" (H)(M)(R) ELM
90	38" (H)(R) ELM
91	15.5" (R) ELM
92	10" (R) HACKBERRY
93	14.5" (M)(R) HACKBERRY
433	19.5" (P)(R) TEXAS PECAN
434	7" (R) HACKBERRY
435	14" (M)(R) CHINABERRY
436	12" (M)(R) CHINABERRY
437	14.5" (R) UNKNOWN TREE
438	18" (R) LIVE OAK
439	16" (R) TALLOW
440	11.5" (R) TALLOW
441	12.75" (M)(R) AMERICAN ELM
442	10.5" (M)(R) CATALPAS
443	9.5" (R) TEXAS PECAN
444	13.5" (M)(R) CATALPAS
445	7.5" (M)(R) CATALPAS
446	17" (R) CATALPAS
10000	16.75" (M)(R) CREPE MYRTLE
10001	6.75" (M)(R) CREPE MYRTLE
10002	11.5" (M)(R) LIGUSTRUM

(M) = MULTI-STEMMED TREE  
(P) = PROTECTED TREE (OVER 19")  
(H) = HERITAGE TREE (OVER 24")  
(R) = TREES TO BE REMOVED

TEXAS ONE CALL SYSTEM  
1-800-245-4545

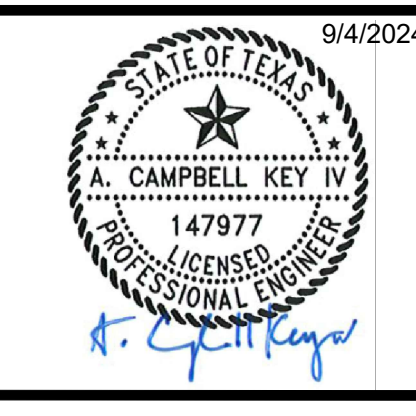
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

**NOTE:** ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF MANOR MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

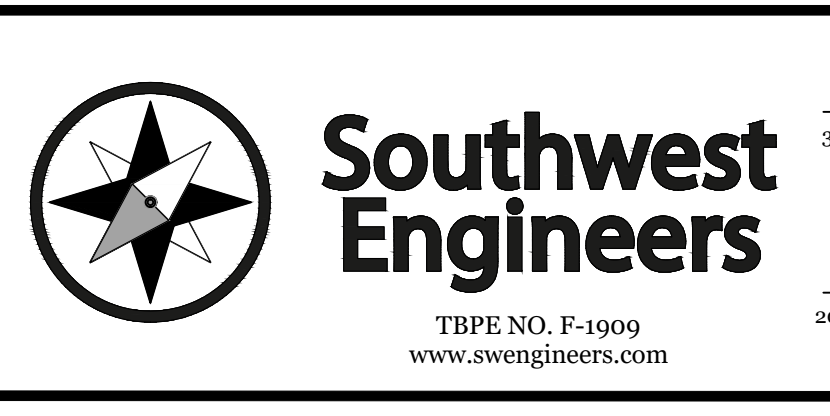
**CAUTION - ELECTRICITY PRESENT**

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY A. CAMPBELL KEY IV, PE #147977 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**HEADQUARTERS**  
307 Saint Lawrence Street, Gonzales TX 78629  
P: 830.672.2546 F: 830.672.2034

**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4330

**WARNING**  
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: APCG / BS  
CHECKED BY: HCD

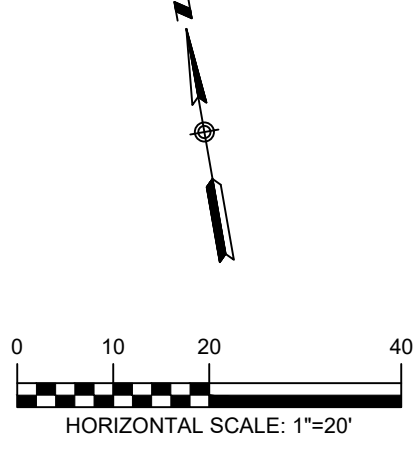
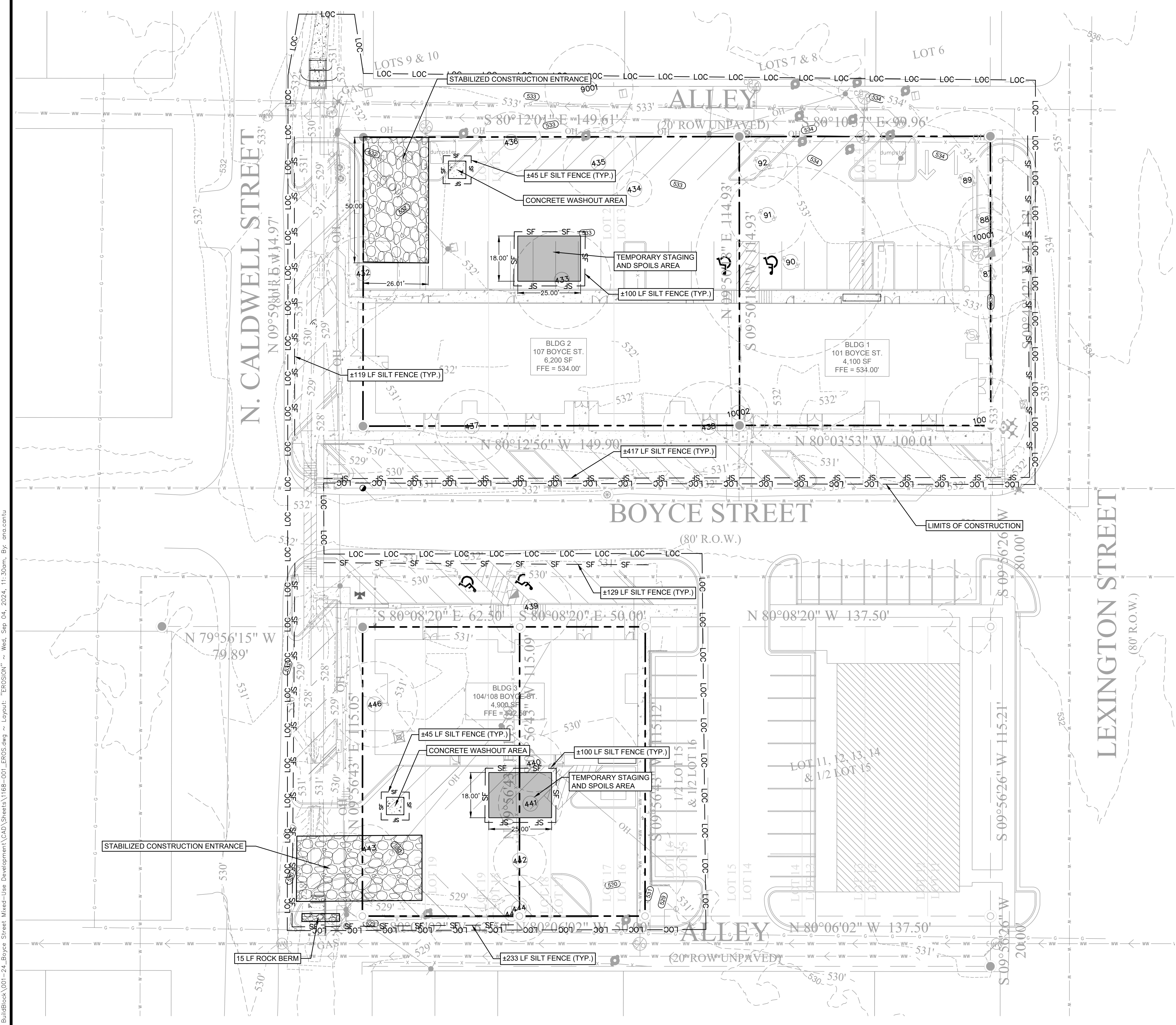
EXISTING CONDITIONS AND DEMOLITION PLAN

**BOYCE STREET MIXED-USE DEVELOPMENT**  
101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 4 OF 27



- LEGEND**
- 700 --- EXISTING CONTOURS
  - 700 --- PROPOSED CONTOURS
  - DRAINAGE FLOW DIRECTION
  - SF — SF SILT FENCE
  - LOC — LOC LIMIT OF CONSTRUCTION
  - STABILIZED CONSTRUCTION ENTRANCE

- NOTES:**
- IF AN ADDITIONAL CONCRETE WASHOUT IS NEEDED, THE LOCATION WILL BE DETERMINED ONCE CONSTRUCTION HAS BEGUN AND WILL BE PROPERLY NOTED ON THE ESC PLAN SHEET AND SWP3 AT THAT TIME.
  - ALL REQUIRED NOTICES AND PERMITS MUST BE PLACED IN A HIGHLY VISIBLE LOCATION ONSITE BEFORE THE COMMENCEMENT OF CONSTRUCTION.
  - ALL EROSION AND SEDIMENTATION CONTROLS (ESC) MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO THE PROJECT SITE.
  - INSTALL SILT FENCE ACCORDINGLY FOR RUN-ON DIVERSION OR OFFSITE SEDIMENT CONTROL DEPENDING ON UP OR DOWN SLOPE, FACING POST SIDE ON THE DOWN GRADIENT SIDE.
  - ALL ESC USED ONSITE MUST BE REGULARLY MONITORED AND MAINTAINED AS NEEDED.
  - MUD AND OR DIRT TRACKED INTO THE ROADWAY MUST BE IMMEDIATELY REMOVED UPON DISCOVERY.
  - EXCESS MATERIALS THAT WILL BE TRANSPORTED TO AN OFFSITE LOCATION MUST HAVE THE LOCATION CLEARED BY COUNTY INSPECTORS.
  - LOOSE TRASH AND DEBRIS MUST BE DISPOSED OF PROPERLY ONSITE.
  - CONTRACTOR SHALL MAINTAIN AND UTILIZE DUST CONTROL FOR THE DURATION OF THE PROJECT.
  - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING ONTO THE PUBLIC ROADWAY ON AN ONGOING/REGULAR BASIS.
  - INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY UPON INLET INSTALLATION.
  - INITIATE TEMPORARY STABILIZATION WHEN CONSTRUCTION CEASES IN A DISTURBED AREA FOR 14 DAYS.
  - INITIATE PERMANENT STABILIZATION IMMEDIATELY ONCE WORK HAS CEASED AND FINAL GRADE HAS BEEN ACHIEVED.
  - ALL DISTURBED/BARE AREAS WILL REQUIRE PERMANENT STABILIZATION BEFORE FINAL ACCEPTANCE CAN BE ACHIEVED. AVOID DISTURBING AREAS OF THE PROJECT THAT ARE NOT NECESSARY FOR CONSTRUCTION.
  - COUNTY INSPECTOR MAY REQUEST ADDITIONAL CONTROLS BE INSTALLED ONSITE AS NEEDED.
  - TEMPORARY ESC MEASURES SHALL REMAIN IN PLACE IN ALL DISTURBED AREAS UNTIL ADEQUATE STABILIZATION HAS BEEN ACHIEVED.
  - CONTRACTOR MUST REMOVE SEDIMENT FROM ALL STORM SEWER INLET BOXES, LINES, PIPES AND CULVERT BEFORE CONDITIONAL/FINAL ACCEPTANCE CAN OBTAINED.
  - TRAVIS COUNTY REQUIRES CERTIFIED SWP3 INSPECTORS TO CONDUCT SWP3 INSPECTIONS AND REPORTING ON ALL PROJECTS WITH ONE ACRE OF DISTURBANCE LAGER.
  - PERMITTEE SHALL INSPECT ALL INLET PROTECTION DEVICES AS PART OF THE WEEKLY SWP3 REPORT, UPON RECEIVING A FORECAST CALLING FOR A RAIN EVENT FOR AN EXTENDED PERIOD, MODIFICATION OF INLET PROTECTION SHOULD BE MADE TO PREVENT FLOODING OR PONDING OF WATER IF TRAFFIC OR PROPERTY CONCERNS ARISE.

- SEQUENCE OF CONSTRUCTION**
- INSTALL EROSION CONTROLS PER APPROVED PLAN.
  - TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
  - CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
  - CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
  - CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
  - CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
  - INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
  - CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**NOTE:**  
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

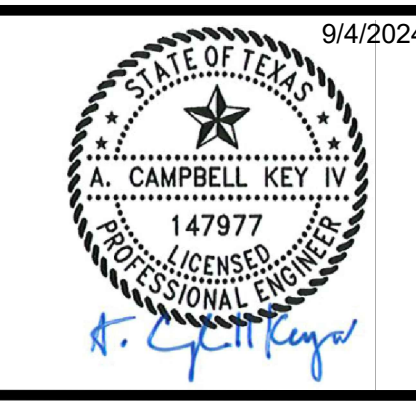
**LIMITS OF CONSTRUCTION:**  
±74,062 SF = ±1.70 AC

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545  
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

**NOTE:** ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF MANOR MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

**CAUTION - ELECTRICITY PRESENT**  
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NO.	REVISION	DATE



9/4/2024  
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**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.212.4335

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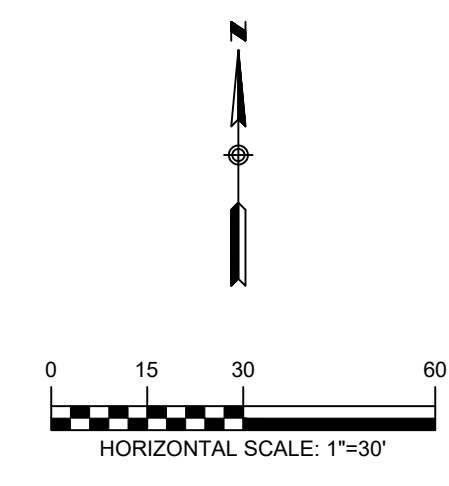
EROSION & SEDIMENTATION CONTROL PLAN

**BOYCE STREET MIXED-USE DEVELOPMENT**  
101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24  
DRAWING NO. \_\_\_\_\_  
SHEET 5 OF 27



C:\CompanyData\Clients\1168 - Boyle Street Mixed-Use Development\CAD\Sheets\1168-001\_DRNG.dwg -- Layout: "EXISTING DRAINAGE AREA MAP" -- Wed, Sep 04, 2024, 11:30am, By: emc.cantu



- LEGEND**
- 700 --- EXISTING CONTOURS
  - 700 --- PROPOSED CONTOURS
  - - - - - DRAINAGE AREA
  - TC - TC - TIME OF CONCENTRATION
  - A-1 ○ POINT OF ANALYSIS
  - ← DRAINAGE FLOW DIRECTION
  - DA ACRES DRAINAGE AREA LABEL
  - # INLET LABEL

- NOTES:**
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY ALL STAR LAND SURVEYING OBTAINED ON SEPTEMBER 14, 2023.
  - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM TNRS.

**EXISTING DRAINAGE SUMMARY TABLE (NRCS METHOD)**

AREA NAME	A	OS A	POA A	B	OS B	POA B
Drainage Area (ac.)	0.66	1.39	-	0.30	0.65	-
CN #	80	80	-	80	80	-
% Impervious	23%	20%	-	13%	85%	-
Tc (hrs)	0.222	0.242	-	0.249	0.083	-
2 year Discharge (cfs)	1.6	5.5	6.5	0.7	3.3	3.8
10 year Discharge (cfs)	2.9	9.5	11.4	1.4	5	6
25 year Discharge (cfs)	3.8	12.2	14.6	1.8	6.2	7.5
100 year Discharge (cfs)	5.2	16.7	20.2	2.5	8.2	10.1

**TIME OF CONCENTRATION - EXISTING**

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)			Total Tc (MIN.)	Total Tc (HRS.)	Total Tag (MIN.)
	L FT	SLOPE (FT/FT)	n	Tc sheet (MIN.)	L FT	SLOPE (FT/FT)	Paved? Y or N	Tc Shallow (MIN.)	L FT	Vavg (FT/S)	Tc Channel (MIN.)			
A	100.000	0.010	0.24	16.6	190	0.011	N	1.9	0	4.00	0.00	18.5	0.309	11.129
OS A	100.000	0.015	0.011	1.2	89	0.028	Y	0.4	0	4.00	0.00	5.0	0.083	3.000
B	100.000	0.015	0.24	14.1	66	0.008	N	0.8	0	4.00	0.00	14.9	0.249	8.957
OS B	100.000	0.015	0.011	1.2	78	0.010	Y	0.7	0	4.00	0.00	5.0	0.083	3.000

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545

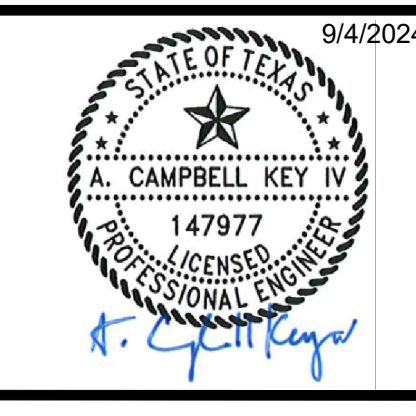
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P: 512.312.4330

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DRAWN BY: APCG / BS

CHECKED BY: HCD

EXISTING DRAINAGE AREA MAP

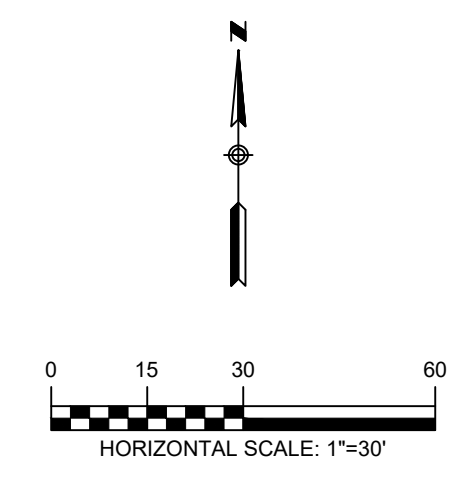
**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 7 OF 27



- LEGEND**
- 700 --- EXISTING CONTOURS
  - 700 --- PROPOSED CONTOURS
  - - - - - DRAINAGE AREA
  - TC - TC - TIME OF CONCENTRATION
  - A-1 ○ POINT OF ANALYSIS
  - ← DRAINAGE FLOW DIRECTION
  - DA ACRES DRAINAGE AREA LABEL
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- NOTES:**
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  - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM TNRS.

**PROPOSED DRAINAGE SUMMARY TABLE (NRCS METHOD)**

AREA NAME	A	OS A	POA A	B	OS B	POA B
Drainage Area (ac.)	0.66	1.39	-	0.30	0.65	-
CN #	80	80	-	80	80	-
% Impervious	89%	20%	-	83%	85%	-
Tc (hrs)	0.083	0.083	-	0.083	0.083	-
2 year Discharge (cfs)	3.4	5.5	8.9	1.5	3.3	4.7
10 year Discharge (cfs)	5.2	9.5	14.7	2.3	5	7.4
25 year Discharge (cfs)	6.3	12.2	18.5	2.9	6.2	9.1
100 year Discharge (cfs)	8.4	16.7	25.1	3.8	8.2	12

**TIME OF CONCENTRATION - PROPOSED**

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)			Total Tc (MIN.)	Total Tc (HRS.)	Total Tlag (MIN.)
	L FT	SLOPE (FT/FT)	n	Tc sheet (MIN.)	L FT	SLOPE (FT/FT)	Paved? Y or N	Tc Shallow (MIN.)	L FT	Vavg (FT/S)	Tc Channel (MIN.)			
A	100.000	0.010	0.011	1.4	190	0.011	Y	1.5	0	4.00	0.00	5.0	0.083	3.000
OS A	100.000	0.015	0.011	1.2	89	0.028	Y	0.4	0	4.00	0.00	5.0	0.083	3.000
B	100.000	0.015	0.011	1.2	96	0.008	Y	0.6	0	4.00	0.00	5.0	0.083	3.000
OS B	100.000	0.015	0.011	1.2	78	0.010	Y	0.7	0	4.00	0.00	5.0	0.083	3.000

PROPOSED 5'X2' BOX CULVERT TO CONVEY OFFSITE RUNOFF BENEATH PROPOSED PAVEMENT (SEE SHEETS 13 & 14)

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545

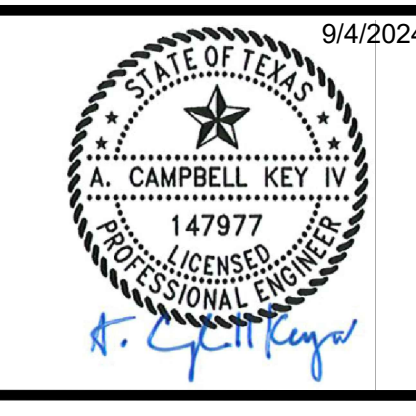
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P: 512.312.4335

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DRAWN BY: APCG / BS  
CHECKED BY: HCD

PROPOSED DRAINAGE AREA MAP

**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 8 OF 27

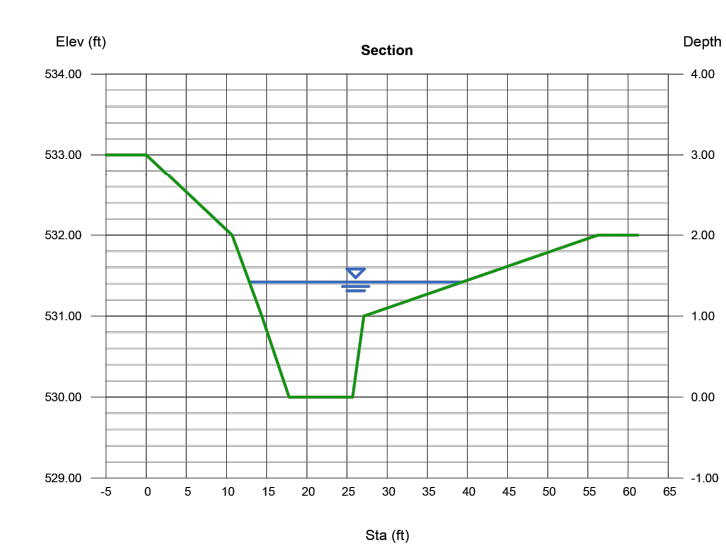
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**Channel Report**  
Reporter: Express Estimation for Automated Civil 2D® by Autodesk, Inc.      Monday, April 1, 2024

**Existing Roadside Ditch at POA-C1**

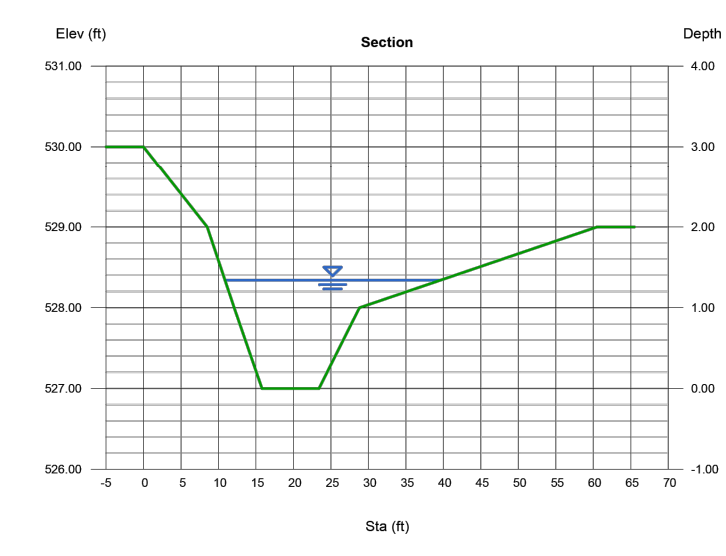
<b>User-defined</b>	Invert Elev (ft) = 530.00	<b>Highlighted</b>	Depth (ft) = 1.42
	Slope (%) = 1.66		Q (cfs) = 92.00
	N-Value = 0.030		Area (sqft) = 19.53
			Velocity (ft/s) = 4.77
<b>Calculations</b>	Known Q		Wetted Perim (ft) = 27.02
	Known Q (cfs) = 92.00		Cut Depth, Yc (ft) = 1.45
			Top Width (ft) = 26.48
			EGL (ft) = 1.80



**Channel Report**  
Reporter: Express Estimation for Automated Civil 2D® by Autodesk, Inc.      Monday, April 1, 2024

**Roadside Ditch at POA-C2**

<b>User-defined</b>	Invert Elev (ft) = 527.00	<b>Highlighted</b>	Depth (ft) = 1.36
	Slope (%) = 1.66		Q (cfs) = 98.30
	N-Value = 0.030		Area (sqft) = 19.87
			Velocity (ft/s) = 4.92
<b>Calculations</b>	Known Q		Wetted Perim (ft) = 28.98
	Known Q (cfs) = 98.30		Cut Depth, Yc (ft) = 1.38
			Top Width (ft) = 28.70
			EGL (ft) = 1.72



- LEGEND**
- - - 700 - - - EXISTING CONTOURS
  - - - 700 - - - PROPOSED CONTOURS
  - - - DRAINAGE AREA
  - TC - TC - TIME OF CONCENTRATION
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**CONVEYANCE DRAINAGE SUMMARY TABLE (NRCS METHOD)**

AREA NAME	OS-C	POA C1	C	POA C2
Drainage Area (ac.)	13.43	-	1.81	-
CN #	80	-	80	-
% Impervious	95%	-	88%	-
Tc (hrs)	0.529	-	0.083	-
2 year Discharge (cfs)	37.4	37.4	9.2	39.9
10 year Discharge (cfs)	56.7	56.7	14.1	60.5
25 year Discharge (cfs)	69.8	69.8	17.4	74.6
100 year Discharge (cfs)	92.0	92.0	23.0	98.3

**TIME OF CONCENTRATION - CONVEYANCE**

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)			Total Tc (MIN.)	Total Tc (HRS.)	Total Tlag (MIN.)
	L FT	SLOPE (FT/FT)	n	Tc sheet (MIN.)	L FT	SLOPE (FT/FT)	Paved? Y or N	Tc Shallow (MIN.)	L FT	Vavg (FT/S)	Tc Channel (MIN.)			
OS-C	100.000	0.000	0.011	22.4	192	0.010	Y	1.6	1774	4.00	7.39	31.3	0.522	18.808
C	100.000	0.010	0.011	1.4	214	0.010	Y	1.8	0	4.00	0.00	5.0	0.083	3.000

**TEXAS ONE CALL SYSTEM**  
 1-800-245-4545

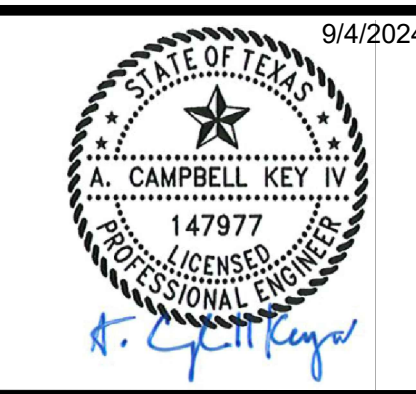
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 P: 512.312.4330

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 CHECKED BY: HCD

CONVEYANCE DRAINAGE AREA MAP

**BOYCE STREET MIXED-USE DEVELOPMENT**

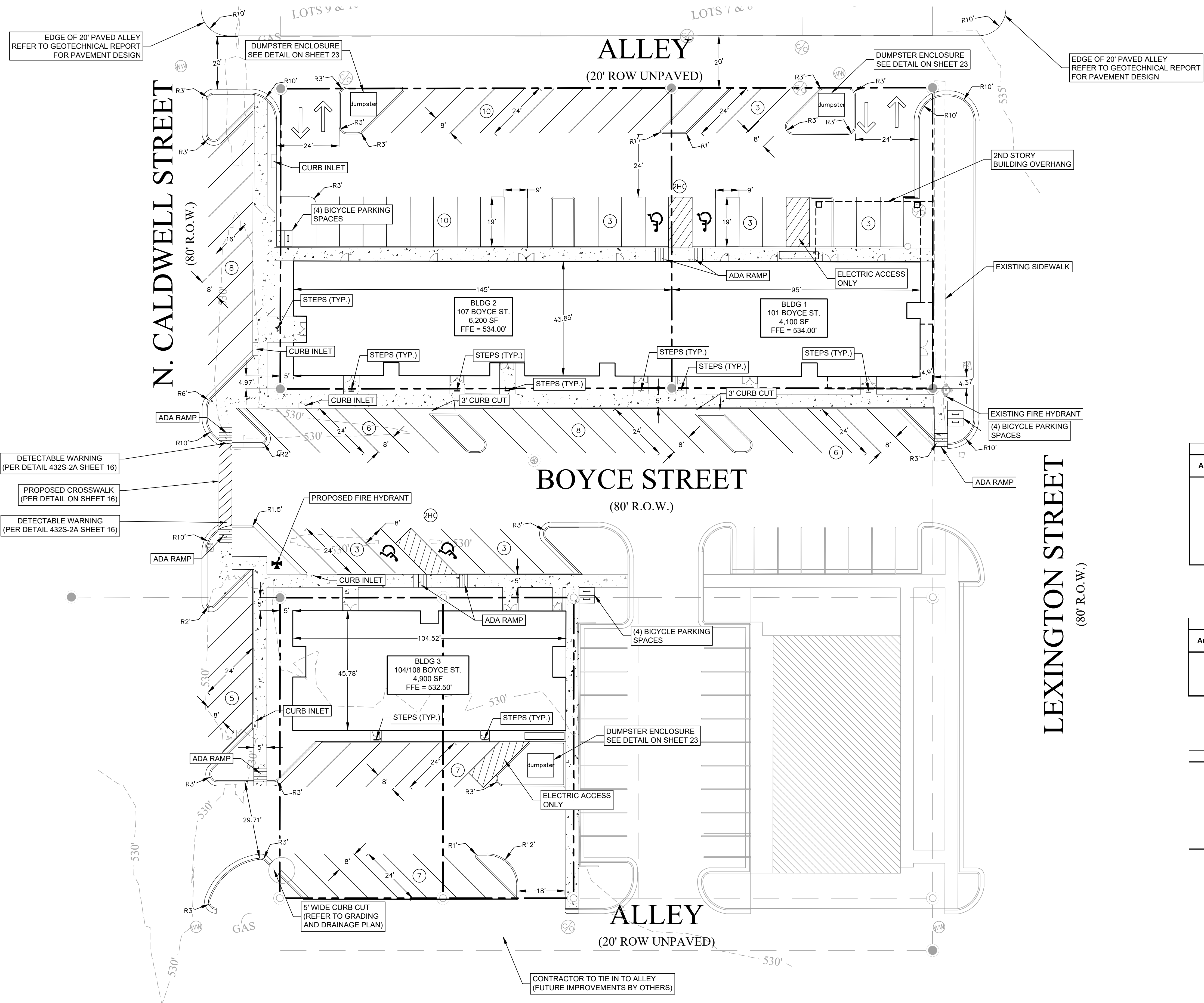
101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 9 OF 27

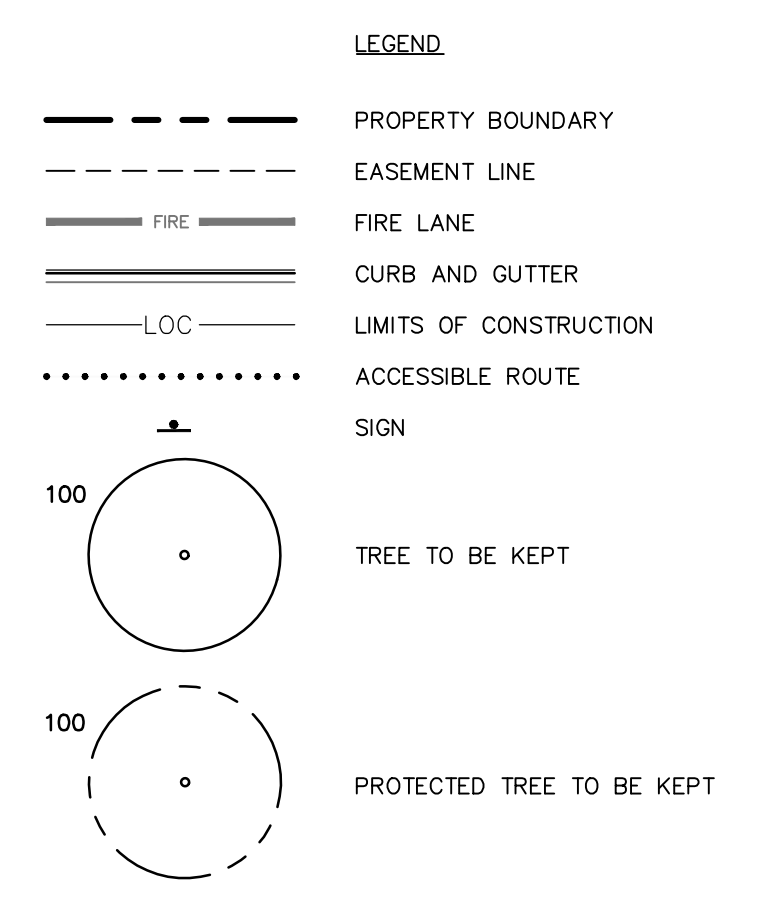
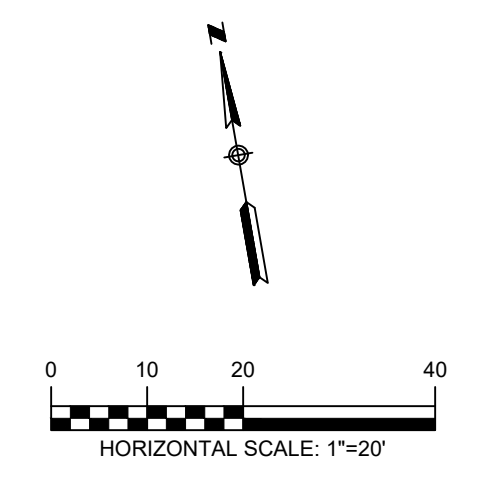
C:\CompanyData\Clients\1168 - BuildBack\001-24\_Boyce Street Mixed-Use Development\CAD\Sheets\1168-001\_SITE.dwg - Layout: "SITE DIMENSIONS CONTROL PLAN" - Wed, Sep 04, 2024, 4:05pm, By: ana.cantu



SITE DATA TRACTS 1 & 3	
PROPOSED IC - BUILDING	10,320 SF
PROPOSED IC - PARKING/SIDEWALK	14,816 SF
PROPOSED IC - PARKING/SIDEWALK (ROW)	7,941 SF
<b>TOTAL PROPOSED IMPERVIOUS COVER</b>	<b>33,077 SF</b>

SITE DATA TRACTS 2 & 4	
PROPOSED IC - BUILDING	4,917 SF
PROPOSED IC - PARKING/SIDEWALK	6,336 SF
PROPOSED IC - PARKING/SIDEWALK (ROW)	4,974 SF
<b>TOTAL PROPOSED IMPERVIOUS COVER</b>	<b>16,227 SF</b>

BUILDING DATA TRACTS 1, 2, 3 & 4	
TOTAL EXISTING BUILDINGS	6,734 SF
BLDG 101 & 107	33,036 SF
BLDG 104 & 108	14,100 SF
<b>TOTAL GROSS BUILDING AREA</b>	<b>47,136 SF</b>
BUILDING HEIGHT	3 STORIES



PARKING CALCULATIONS (BUILDINGS 1 & 2)							
Area (ac.)	Building No.	Units	Number of Units	Requirement	Parking Required	Parking Provided	
0.660	1 (101 Boyce)	One bedroom	5 bedrooms	1.5 spaces for 1 bedroom	8	8	
		Two bedroom	2 bedrooms	2 spaces for 2 bedroom	4	4	
		Retail (Sales)(SF)	2883 SF	1 space for each 350 SF	8	10	
	2 (107 Boyce)	Retail (Restaurant)(SF)	1500 SF	1 space for each 250 SF	6	6	
		One bedroom	8 bedrooms	1.5 spaces for 1 bedroom	12	12	
		Two bedroom	2 bedrooms	2 spaces for 2 bedroom	4	4	
		Retail (Sales)(SF)	3878 SF	1 space for each 350 SF	11	12	
	Retail (Restaurant)(SF)	1500 SF	1 space for each 250 SF	6	6		
	Subtotal (Bedrooms) + 10% Guest					30.3	-
	Subtotal (Retail) - 10% Reduction					28.2	-
<b>TOTAL (Bedrooms + Retail)</b>					<b>59</b>	<b>62</b>	

PARKING CALCULATIONS (BUILDING 3)						
Area (ac.)	Building No.	Units	Number of Units	Requirement	Parking Required	Parking Provided
0.300	3 (104+108 Boyce)	One Bedroom	4	1.5 spaces for 1 bedroom	6	8
		Two Bedroom	4	2 spaces for 2 bedroom	8	6
		Retail (Sales) (SF)	4,013	1 space for each 350 SF	11	12
		Retail (Restaurant)(SF)	-	-	-	-
Subtotal (Bedrooms) + 10% Guest					15.4	-
Subtotal (Retail) - 10% Reduction					10.3	-
<b>TOTAL (Bedrooms + Retail)</b>					<b>26</b>	<b>26</b>

PARKING PROVIDED	
Standard:	84
Compact:	0
Parallel:	0
Accessible:	4
<b>Total:</b>	<b>88</b>
Accessible Spaces Required:	4
Bicycle Spaces Provided:	12

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545

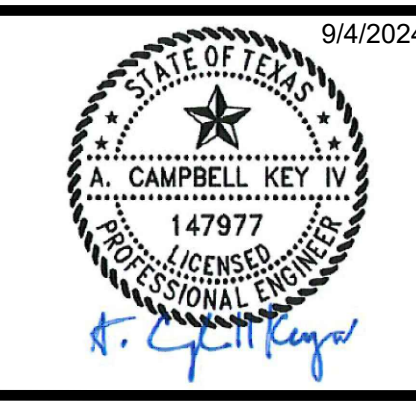
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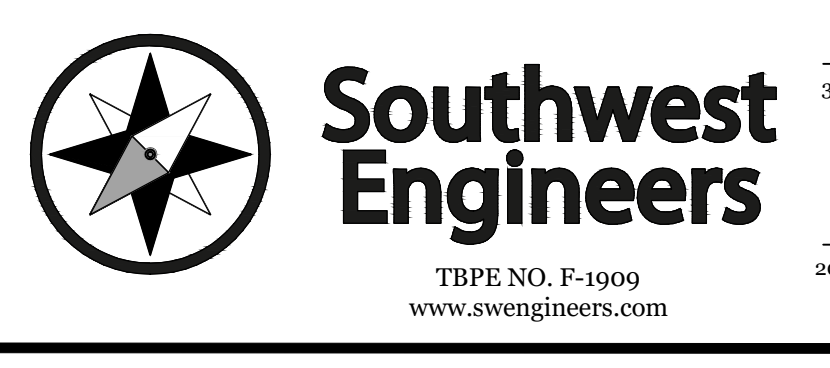
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SITE AND DIMENSION CONTROL PLAN

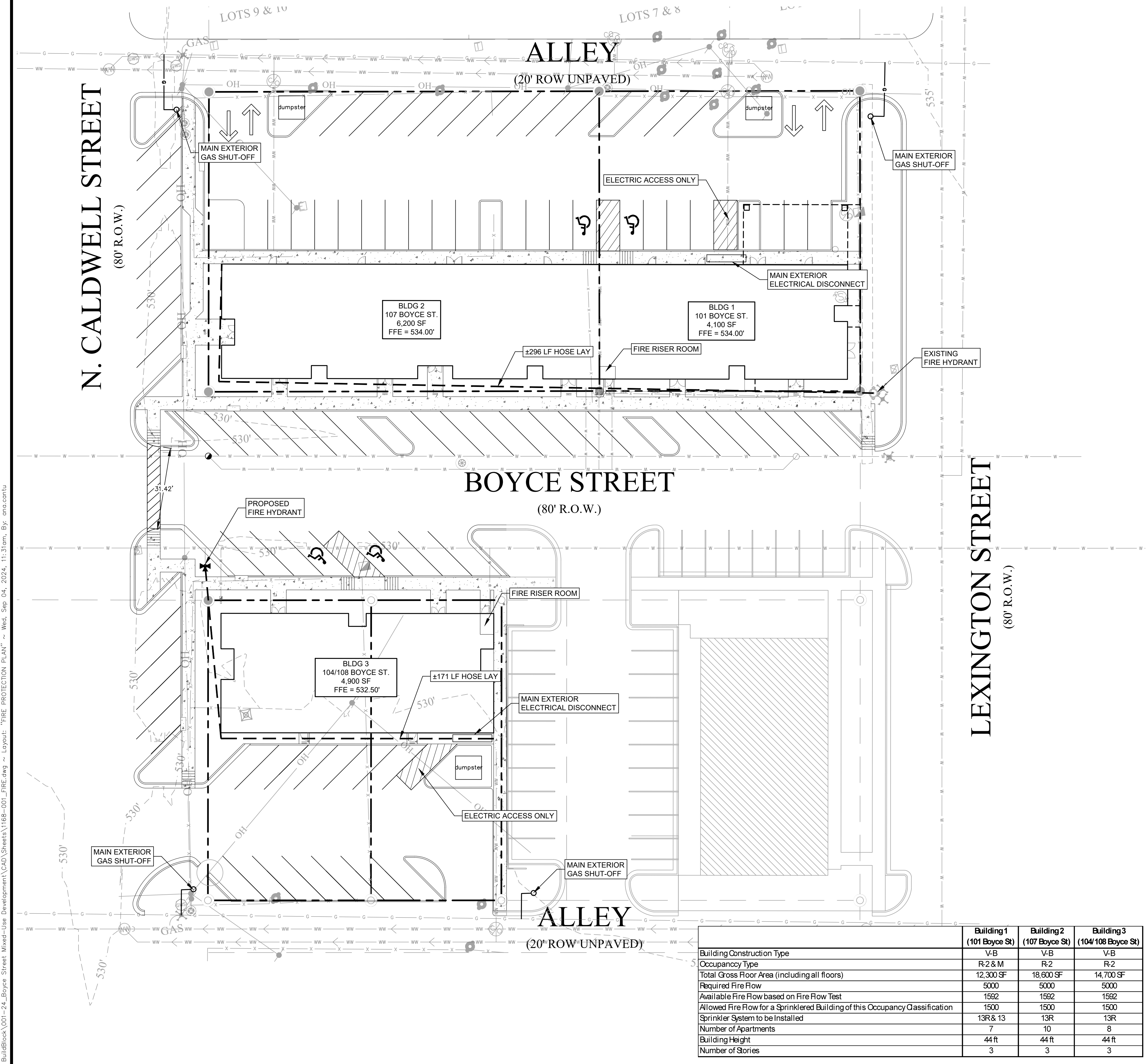
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101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

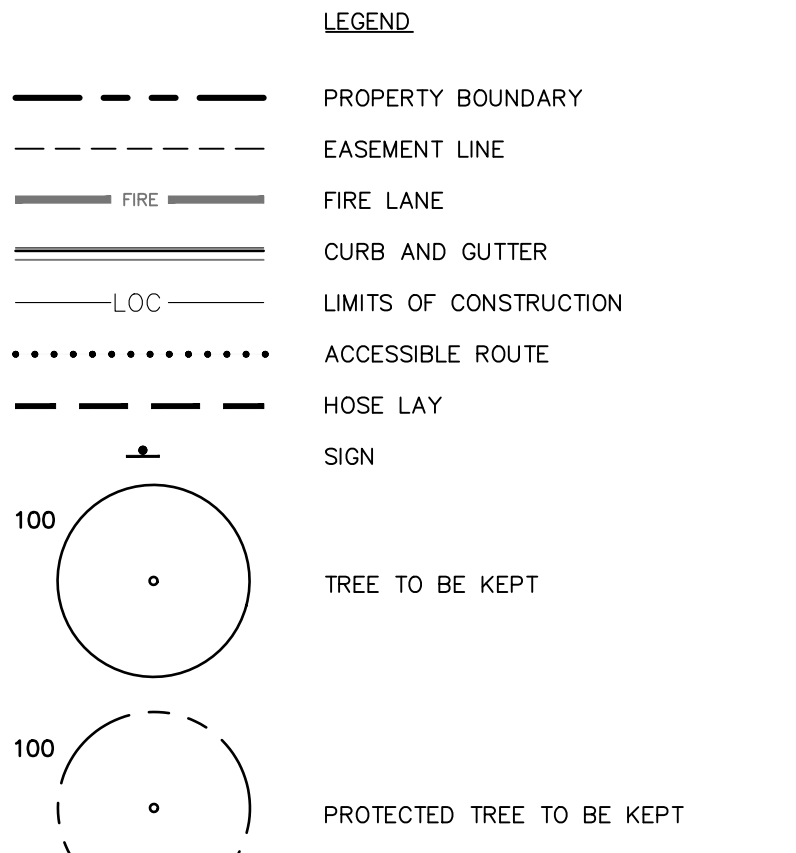
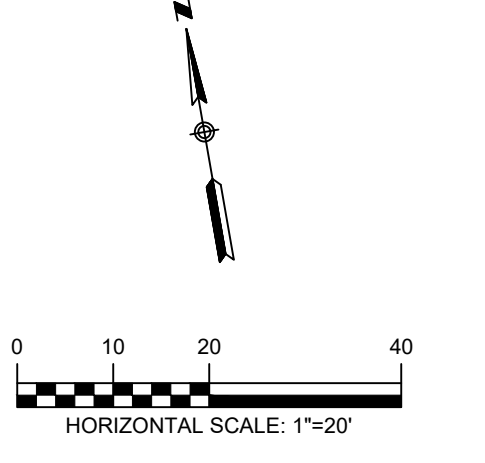
PROJECT NO. 1168-001-24

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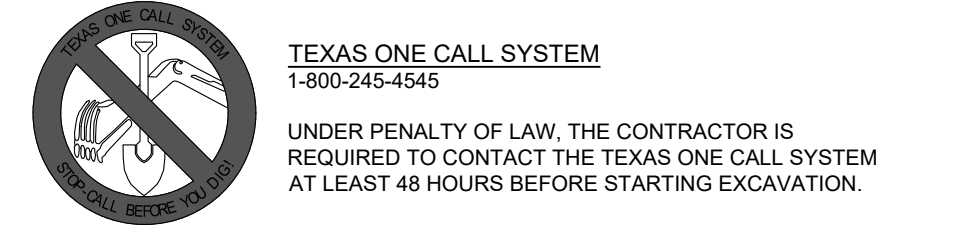
SHEET 10 OF 27



- ### TRAVIS COUNTY ESD NO. 12 SITE PLAN NOTES
- 1) THE OWNER AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING TRAVIS COUNTY ESD NO. 12 TO ENSURE COMPLIANCE WITH ALL CODES, ORDINANCES, STATUTES AND PERMITTING REQUIREMENTS PRIOR TO CONSTRUCTION.
  - 2) PRIOR TO BEGINNING ANY CONSTRUCTION, THE APPROPRIATE TRAVIS COUNTY ESD NO. 12 PERMIT/APPROVAL SHALL BE OBTAINED. THE APPROVED PERMIT SHALL BE READILY AVAILABLE ON SITE TO TRAVIS COUNTY ESD NO. 12.
  - 3) PHASED OCCUPANCY SHALL BE PERMITTED ONLY WITH PRIOR APPROVAL FROM TRAVIS COUNTY ESD NO. 12, THE BUILDING DEPARTMENT, AND OTHER RELATED AGENCIES, AS APPLICABLE. REQUESTS FOR PHASED OCCUPANCY SHALL BE MADE PRIOR TO START OF CONSTRUCTION ONLY.
  - 4) PHASED INSTALLATION OF FIRE ACCESS ROADS SHALL REQUIRE AN ACCESS PHASING PLAN APPROVED BY TRAVIS COUNTY ESD NO. 12.
  - 5) PHASED CONSTRUCTION OF BUILDINGS SHALL REQUIRE A CONSTRUCTION PHASING PLAN APPROVED BY TRAVIS COUNTY ESD NO. 12.
  - 6) AN ALL-WEATHER FIRE LANE/FIRE APPARATUS ACCESS ROAD SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 POUNDS.
  - 7) THE FIRE LANE/FIRE APPARATUS ACCESS ROAD SHALL PROVIDE FIRE DEPARTMENT ACCESS TO ALL PARTS OF COMBUSTIBLE STRUCTURES WITHIN 150 FEET OF THE FIRE LANE. THE APPROVED FIRE LANE/FIRE APPARATUS ACCESS ROAD MUST BE INSTALLED PRIOR TO AND MAINTAINED DURING CONSTRUCTION OF ANY COMBUSTIBLE STRUCTURE, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12.
  - 8) WHERE A FIRE HYDRANT IS LOCATED ON A FIRE LANE/FIRE APPARATUS ACCESS ROAD, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET, EXCLUSIVE OF SHOULDERS. IF NO FIRE HYDRANT IS PROVIDED, THE MINIMUM FIRE LANE/FIRE APPARATUS ACCESS ROAD WIDTH SHALL BE 25 FEET.
  - 9) FIRE LANE WIDTH IS MEASURED FROM TOP FACE OF CURB TO TOP FACE OF CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMPED).
  - 10) THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS, STREET IMPROVEMENT AND PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH REQUIREMENTS SET FORTH BY THE FIRE CODE AND ADOPTED BY TRAVIS COUNTY ESD NO. 12.
  - 11) A MINIMUM VERTICAL CLEARANCE OF 14' SHALL BE PROVIDED FOR ALL FIRE LANES/FIRE APPARATUS ACCESS ROADS.
  - 12) INSIDE TURNING RADIUS OF FIRE LANES/FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM OF 25 FEET. THE OUTSIDE RADIUS SHALL BE 50 FEET.
  - 13) DEAD-END FIRE LANES/FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET SHALL BE PROVIDED WITH APPROVED TURNAROUND PER 2015 IFC, APPENDIX D, TABLE D103.4.
  - 14) THE DIAMETER OF A CUL-DE-SAC SHALL BE 100 FEET MINIMUM PER CITY OF MANOR SPECIFICATIONS.
  - 15) ACCESS GATES SHALL BE APPROVED BY TRAVIS COUNTY ESD NO. 12 PRIOR TO INSTALLATION.
  - 16) ALL GATES IN CONSTRUCTION SHALL BE EQUIPPED WITH A KNOCK OR BREAKAWAY PADLOCK.
  - 17) IF BUILDING EXCEEDS 30 FEET IN HEIGHT FROM GRADE PLANE, AN AERIAL FIRE APPARATUS ROAD, 15-30 FEET PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING SHALL BE IN PLACE. (2015 IFC, APPENDIX D105)
  - 18) FIRE LANES SHALL BE MARKED WITH FIRE LANE - TOW AWAY ZONE. THE CURBS SHALL BE PAINTED RED AND THE LETTERING SHALL BE 4" IN HEIGHT AND PAINTED WHITE. THE STENCIL SHALL BE PLACED AT INTERVALS OF 35 FEET.
  - 19) THE MINIMUM REQUIRED FIRE FLOW SHALL MEET OR EXCEED THE REQUIREMENTS OF APPENDIX B OF THE 2015 INTERNATIONAL FIRE CODE.
  - 20) THE MAXIMUM FIRE FLOW REDUCTION FOR A PROJECT SHALL BE BASED ON THE INFORMATION PROVIDED IN THE FIRE FLOW REDUCTION TABLE PROVIDED IN TRAVIS COUNTY ESD NO. 12 DESIGN DOCUMENTS.
  - 21) ALL FIRE HYDRANTS THAT ARE APPROVED AND INSTALLED AS A PART OF THE PROPOSED PROJECT SHALL BE PART OF A FIRE PROTECTION SYSTEM.
  - 22) THE UTILITY CONTRACTOR SHALL CONSULT TRAVIS COUNTY ESD NO. 12 REGARDING ANY REQUIREMENTS FOR UTILITY CONTRACTORS.
  - 23) THE APPROPRIATE INDIVIDUAL SHALL CONSULT WITH TRAVIS COUNTY ESD NO. 12 FOR REQUIREMENTS RELATED TO THE UNDERGROUND WATER MAIN LINE AND SUBSEQUENT INSTALLATION OF THE WATER MAIN/FIRE HYDRANT LINE.
  - 24) THE SUBMISSION OF AN UNDERGROUND WATER LINE (UTILITY) PLAN SHEET WITH THE SITE PLAN DOES NOT ALLEVIATE THE NEED TO HAVE A SEPARATE UNDERGROUND PLAN SUBMITTED AND APPROVED BY TRAVIS COUNTY ESD NO. 12. THE APPROVAL OF A SITE PLAN DOES NOT CONSTITUTE THE APPROVAL OF AN UNDERGROUND SYSTEM.
  - 25) UNDERGROUND MAINS FEEDING HYDRANTS SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24, THE FIRE CODE AND TRAVIS COUNTY ESD NO. 12 ADOPTED AMENDMENTS, BY A CONTRACTOR LICENSED TO PERFORM THE INSTALLATION. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME. ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
  - 26) TRAVIS COUNTY ESD NO. 12 CONSIDERS THE PIPING FROM THE POINT OF CONNECTION AT THE MUNICIPAL WATER SUPPLY TO THE FIRE HYDRANTS AND THE BASE OF ANY FIRE SPRINKLER RISER PART OF A FIRE PROTECTION SYSTEM.
  - 27) THE PRESENCE OF DOMESTIC WATER SUPPLY TAPS OFF OF THE MAIN WATER LINE OR A SHARED SUPPLY LINE WITH FIRE SPRINKLER RISER DOES NOT OVERRIDE ANY REQUIREMENTS OF TRAVIS COUNTY ESD NO. 12 OR NFPA 24. NFPA 24 SHALL APPLY TO ALL UNDERGROUND INSTALLATIONS AND INSTALLATIONS SHALL BE PERMITTED AND INSPECTED BY TRAVIS COUNTY ESD NO. 12.
  - 28) FIRE HYDRANTS SHALL MEET THE MINIMUM STANDARD OF THE CITY OF MANOR AND TRAVIS COUNTY ESD NO. 12. (M511S-17A) AND PAINTED RED.
  - 29) THE 4.5" FIRE HYDRANT OUTLET MUST FACE THE FIRE LANE.
  - 30) THE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE 4.5" OPENING AT LEAST 18" ABOVE FINISHED GRADE.
  - 31) HYDRANTS SHALL BE PLACED WITHIN 100 FEET OF AN FDC.
  - 32) HYDRANTS SHALL BE LOCATED SO THAT A HOSE LINE RUNNING BETWEEN THE HYDRANT AND THE FIRE DEPARTMENT CONNECTIONS WILL NOT CROSS DRIVEWAYS, OBSTRUCT ROADS OR FIRE LANES, OR OTHERWISE INTERFERE WITH EMERGENCY VEHICLE RESPONSE AND EVACUATION OF A SITE.
  - 33) ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION. HYDRANTS SHALL BE PLACED AT NO MORE THAN 500 FEET APART, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12. (2015 IFC, TABLE C102.1)
  - 34) HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL NOT BE LOCATED BEHIND PARKING STALLS OR IN OTHER LOCATIONS WHERE THEY ARE LIKELY TO BE BLOCKED BY VEHICLES OR OTHER OBJECTS. WHENEVER POSSIBLE, HYDRANTS SHALL BE PLACED IN LANDSCAPE ISLANDS/PENINSULAS, STREET AND DRIVE AISLE INTERSECTIONS IN PREFERENCE TO MID-BLOCK LOCATIONS.
  - 35) HYDRANTS MUST BE LOCATED WITHIN THREE TO SIX FEET OF THE EDGE OF A FIRE ACCESS ROADWAY.
  - 36) HYDRANTS SHALL NOT BE LOCATED IN AREAS WHERE THEY WILL BE VISUALLY OR OPERATIONALLY OBSTRUCTED (BEHIND FENCES OR WALLS, IN BUSHES, BEHIND PARKING SPACES, ETC).
  - 37) A MINIMUM 3-FOOT CLEARANCE SHALL BE PROVIDED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
  - 38) APPROVED FIRE HYDRANTS ARE TO BE CONSIDERED PART OF A FIRE PROTECTION SYSTEM AND SHALL NOT BE REMOVED OR TAMPERED WITH UNLESS APPROVED BY TRAVIS COUNTY ESD NO. 12. TAMPERING SHALL INCLUDE, BUT IS NOT LIMITED TO, PAINTING, MODIFYING, AND OBSTRUCTING ACCESS.
  - 39) FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH EXTERIOR ACCESS. NO INTERIOR ACCESS SHALL BE PROVIDED. THE EXTERIOR ACCESS DOOR SHALL FACE A DESIGNATED FIRE LANE, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12.
  - 40) ANY FIRE HYDRANTS THAT HAVE NOT PASSED AN ACCEPTANCE TEST IN THE PRESENCE OF A TRAVIS COUNTY ESD NO. 12 INSPECTOR OR TEMPORARILY INOPERATIVE SHOULD BE WRAPPED WITH A BLACK BAG.
  - 41) THE BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM THE STREET TO WHICH IT IS ADDRESSED. FINAL NUMBERS HAVE TO BE AT LEAST 6" IN HEIGHT AND OF CONTRASTING COLOR WITH THE BACKGROUND UPON WHICH THEY ARE PLACED.
  - 42) TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE INSPECTED BY TRAVIS COUNTY ESD NO. 12 TO ENSURE THE APPROPRIATE REQUIREMENTS ARE MET.
  - 43) PRIOR TO OCCUPANCY, A CLOSE OUT INSPECTION TEST OF FIRE HYDRANT FLOW IS REQUIRED BY TRAVIS COUNTY ESD NO. 12. THE CONTRACTOR SHALL CONTACT TRAVIS COUNTY ESD NO. 12 TO SCHEDULE THE ACCEPTANCE TEST. IF ANY HYDRANT FAILS THE FIRE FLOW TEST, THE ENTIRE SYSTEM FAILS THE FIRE FLOW TEST.
  - 44) APPROVAL OF THIS PLAN SUBMITTAL DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, CODES, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE LICENSED DESIGNER AND/OR PROFESSIONAL ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF THE SUBMITTAL WHETHER OR NOT THE PLAN SUBMITTAL IS REVIEWED AND APPROVED FOR CODE COMPLIANCE BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 12.
  - 45) APPROVAL OF THIS PLAN SUBMITTAL DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, CODES, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE LICENSED DESIGNER AND/OR PROFESSIONAL ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF THE SUBMITTAL WHETHER OR NOT THE PLAN SUBMITTAL IS REVIEWED AND APPROVED FOR CODE COMPLIANCE BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 12.



NOTE:  
1. FIRE PROTECTION ACCESS TO BE PROVIDED VIA N. CALDWELL STREET AND BOYCE STREET.



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF MANOR MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

### CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

	Building 1 (101 Boyce St)	Building 2 (107 Boyce St)	Building 3 (104/108 Boyce St)
Building Construction Type	V-B	V-B	V-B
Occupancy Type	R-2 & M	R-2	R-2
Total Gross Floor Area (including all floors)	12,300 SF	18,600 SF	14,700 SF
Required Fire Flow	5000	5000	5000
Available Fire Flow based on Fire Flow Test	1562	1562	1562
Allowed Fire Flow for a Sprinklered Building of this Occupancy Classification	1500	1500	1500
Sprinkler System to be Installed	13R & 13	13R	13R
Number of Apartments	7	10	8
Building Height	44 ft	44 ft	44 ft
Number of Stories	3	3	3

NO.	REVISION	DATE

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**Southwest Engineers**  
TBPE NO. F-1909  
www.swengineers.com

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**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4330

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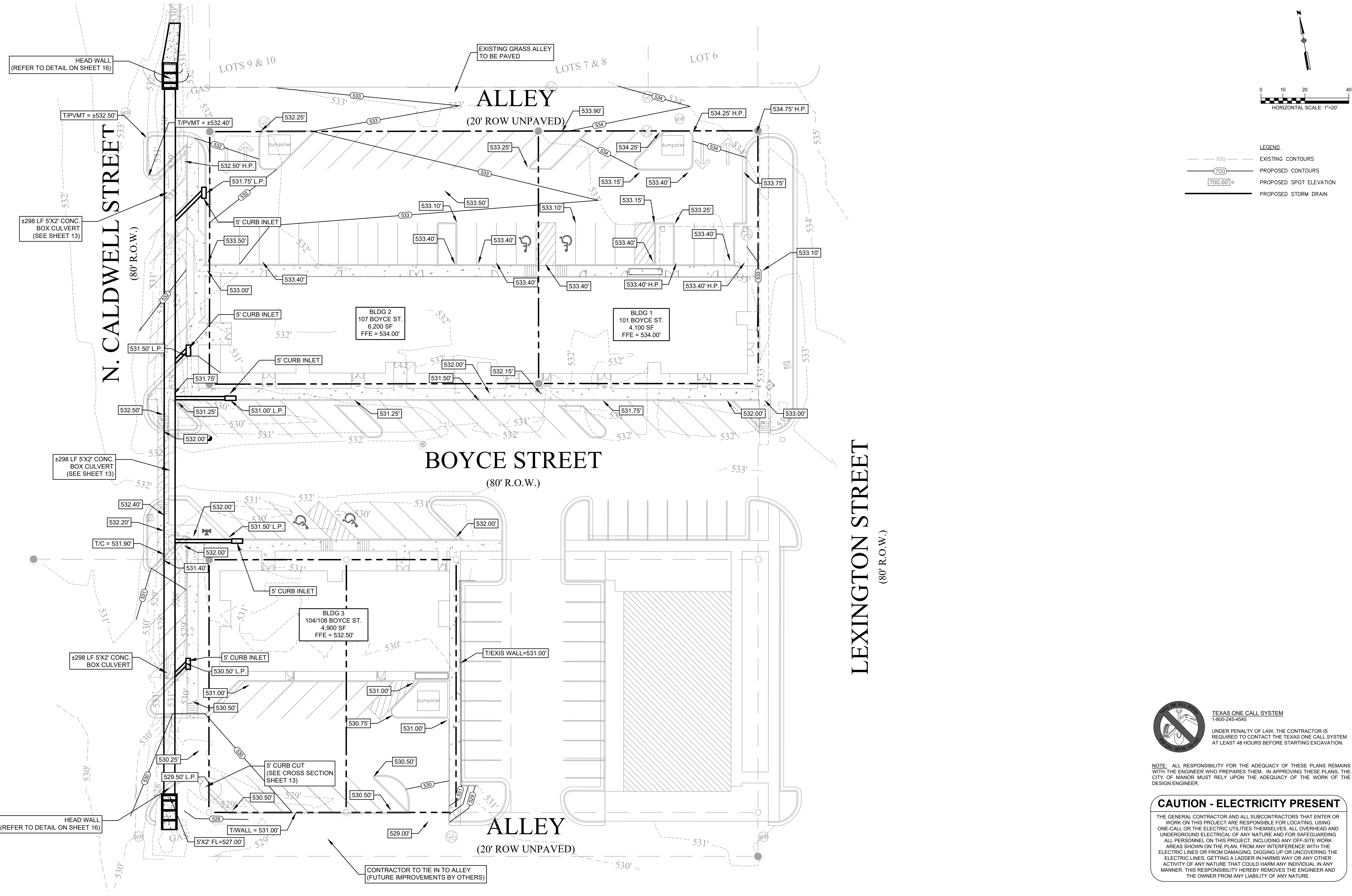
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FIRE PROTECTION PLAN

# BOYCE STREET MIXED-USE DEVELOPMENT

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO.	1168-001-24
DRAWING NO.	
SHEET	11 OF 27



**LEGEND**

- 700 --- EXISTING CONTOURS
- 700 --- PROPOSED CONTOURS
- 700.00+ PROPOSED SPOT ELEVATION
- PROPOSED STORM DRAIN

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545

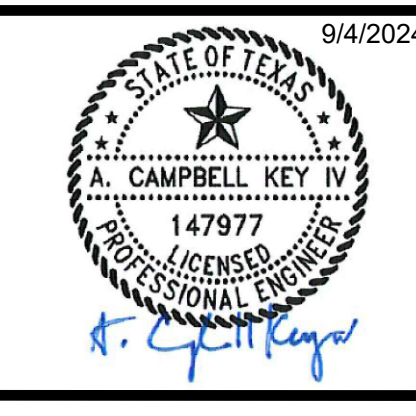
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

**NOTE:** ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF MANOR MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

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NO.	REVISION	DATE



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GRADING AND DRAINAGE PLAN

**BOYCE STREET MIXED-USE DEVELOPMENT**

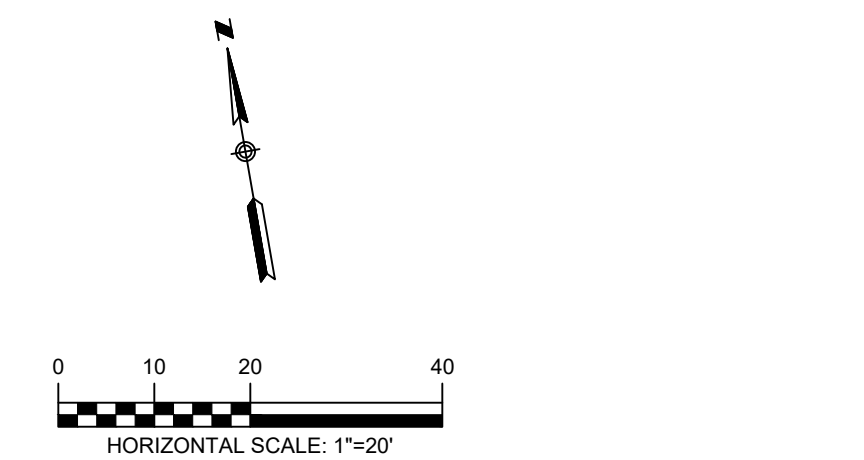
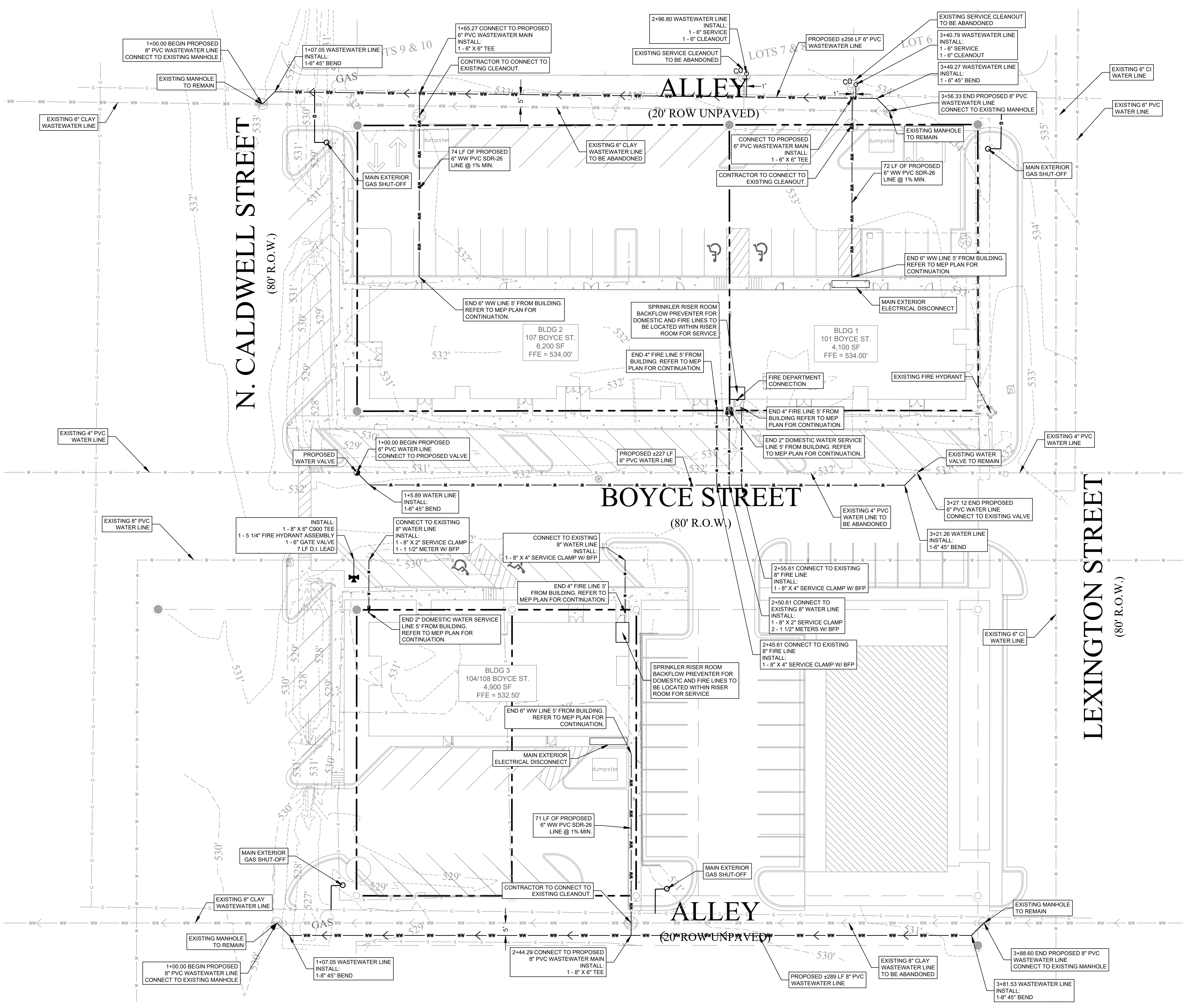
101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 12 OF 27

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**LEGEND**

	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER LINE
	EXISTING STORM DRAIN LINE
	PROPOSED STORM DRAIN LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING WATER METER
	PROPOSED WATER METER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WASTEWATER MANHOLE
	PROPOSED WASTEWATER MANHOLE
	EXISTING LIGHT POLE
	EXISTING LIGHT POLE W/ARM
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING CLEANOUT

<b>BUILDING 1</b>
WATER SUPPLY FIXTURE UNITS = 175.5
DEMAND = 160 GPM
<b>BUILDING 2</b>
WATER SUPPLY FIXTURE UNITS = 289
DEMAND = 283 GPM
<b>BUILDING 3</b>
WATER SUPPLY FIXTURE UNITS = 261
DEMAND = 277 GPM

CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING WASTEWATER SERVICE CONNECTIONS AND RE-CONNECT OLD SERVICES TO NEW WASTEWATER MAIN AS NECESSARY.

**NOTES:**

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND RESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. METERS CANNOT BE LOCATED BEHIND FENCES.
3. UNDERGROUND MAINS SUPPLYING NFPA 13 SPRINKLER SYSTEMS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13, AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
4. UNDERGROUND MAINS SUPPLYING PRIVATE HYDRANTS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24, AND THE FIRE CODE, BY A LICENSED CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
5. ALL UTILITIES INSIDE THE PROPERTY LINES WILL BE PRIVATELY OWNED AND MAINTAINED.

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545

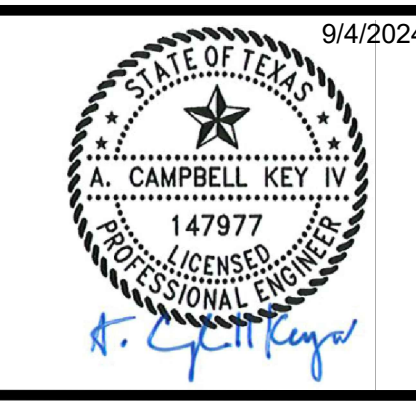
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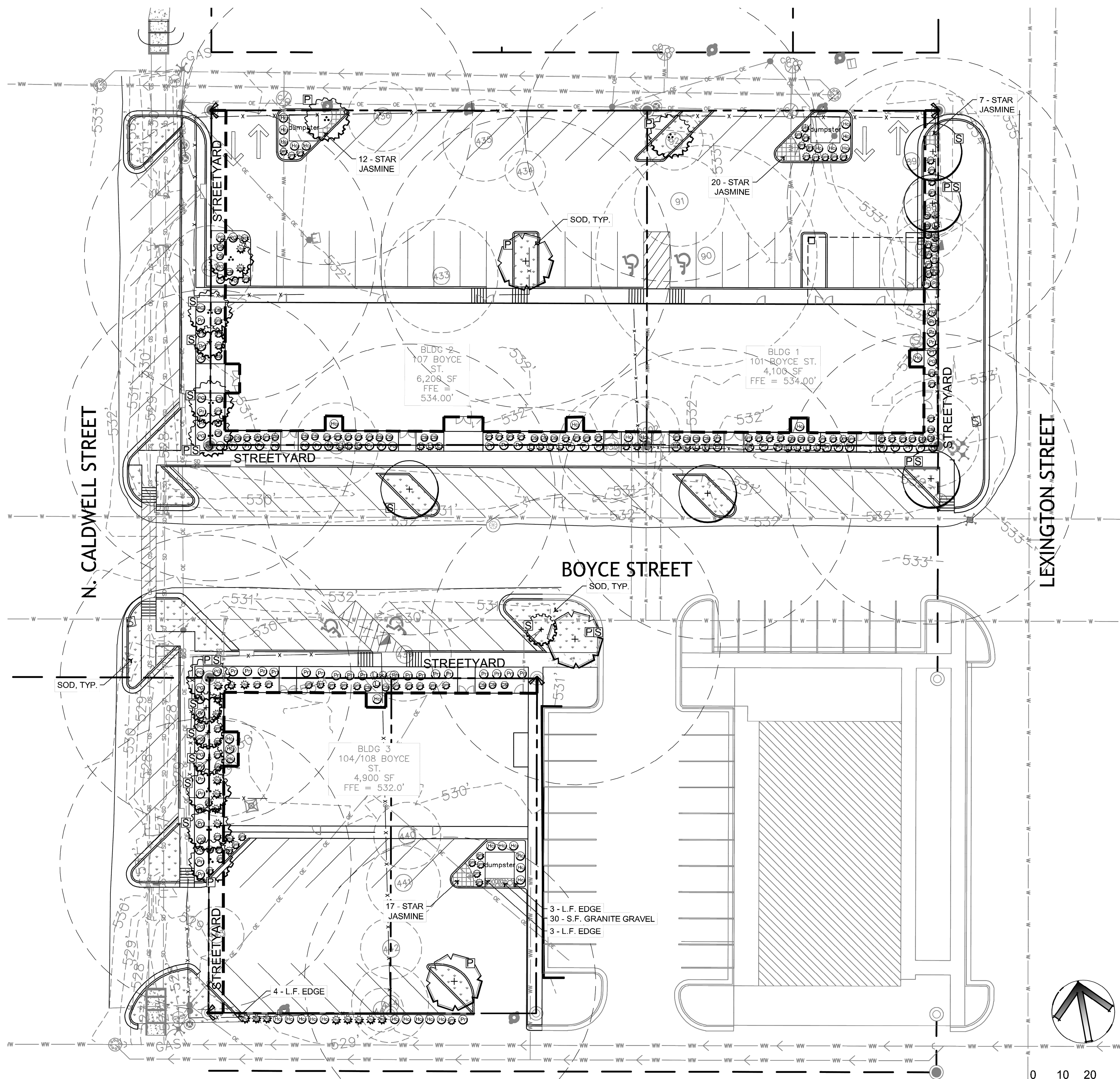
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WATER & WASTEWATER PLAN

**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24
DRAWING NO. _____
SHEET 17 OF 27



CANOPY TREES	
SYMBOL	COMMON NAME
	LIVE OAK
	CEDAR ELM
	TEXAS PISTACHE

FOR REFERENCE ONLY

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NO.	REVISION	DATE



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PROJECT NAME  
**BOYCE STREET COMMERCIAL**

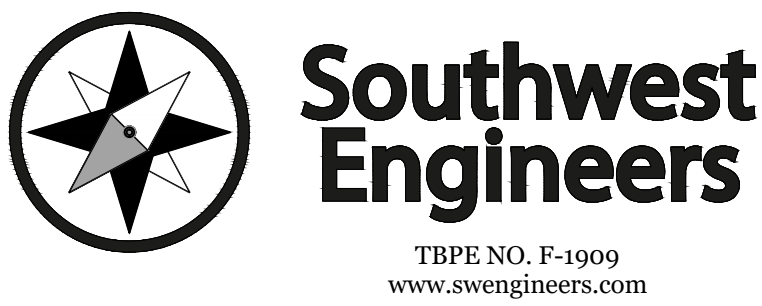
PROJECT ADDRESS  
**101 BOYCE STREET  
MANOR, TX 78653**

DATE <b>08/27/24</b>	SCALE <b>AS SHOWN</b>	JOB NO. <b>128-06</b>
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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NO.  
**L1.1** OF X

NO.	REVISION	DATE



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LANDSCAPE PLAN

**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

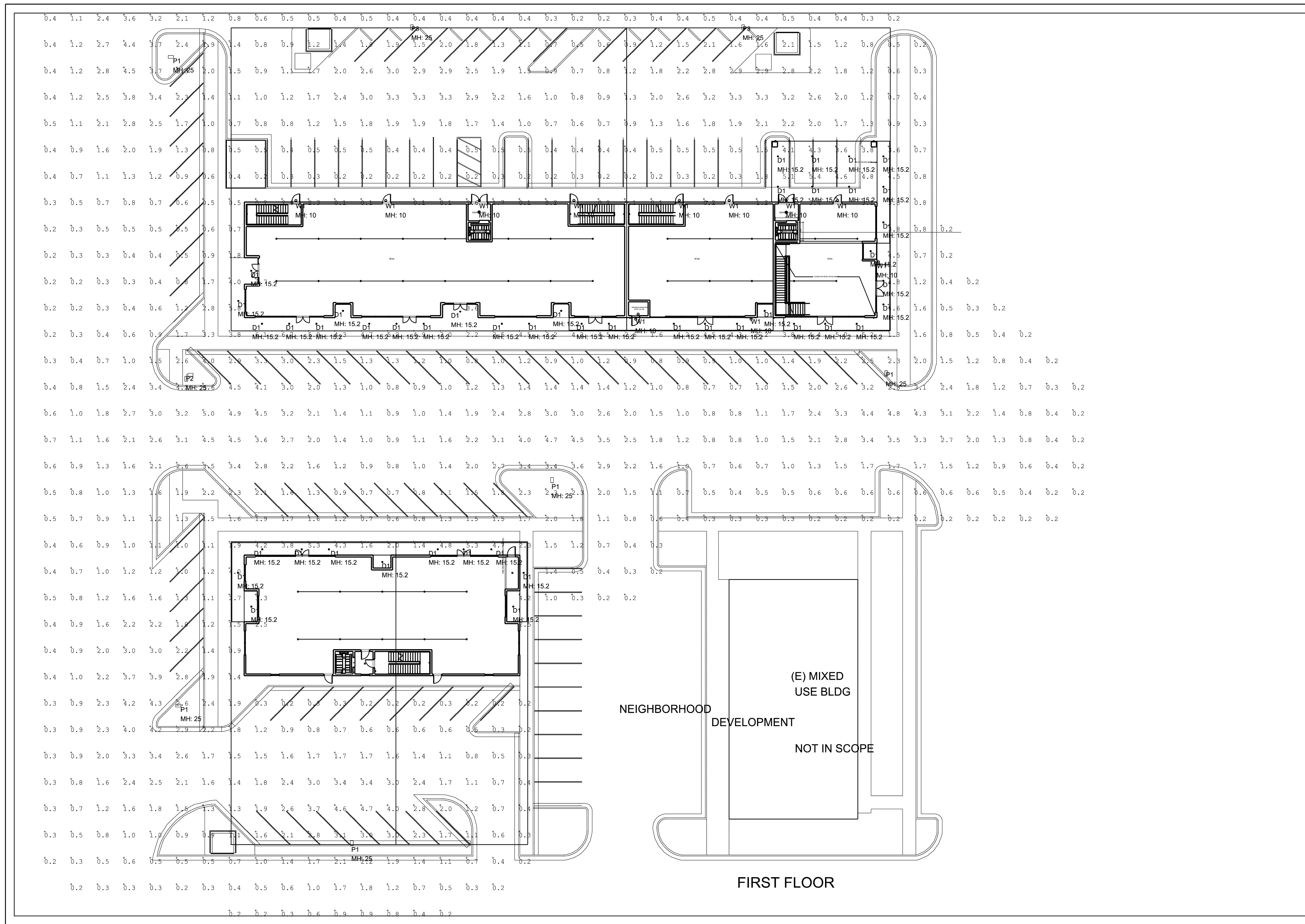
PROJECT NO. 1168-001-24

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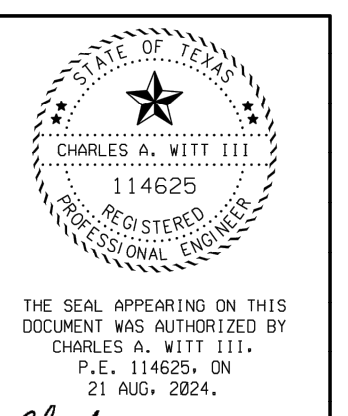
SHEET 24 OF 27



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Charles A. Witt III  
Date

100% SUBMITTAL	Date	Description	Mark
1			



SITE PHOTOMETRIC PLAN  
BOYCE PROJECT

SHEET NUMBER  
**E-002**

NO.	REVISION	DATE

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**CENTRAL TEXAS**  
 205 Cimarron Park Loop, Ste. B, Buda TX 78610  
 P: 512.312.4330

**WARNING**  
 IF THIS BAR DOES NOT MEASURE 1"  
 THE DRAWING IS NOT TO SCALE

DRAWN BY: APCG / BS

CHECKED BY: HCD

PHOTOMETRIC PLAN (1 OF 2)

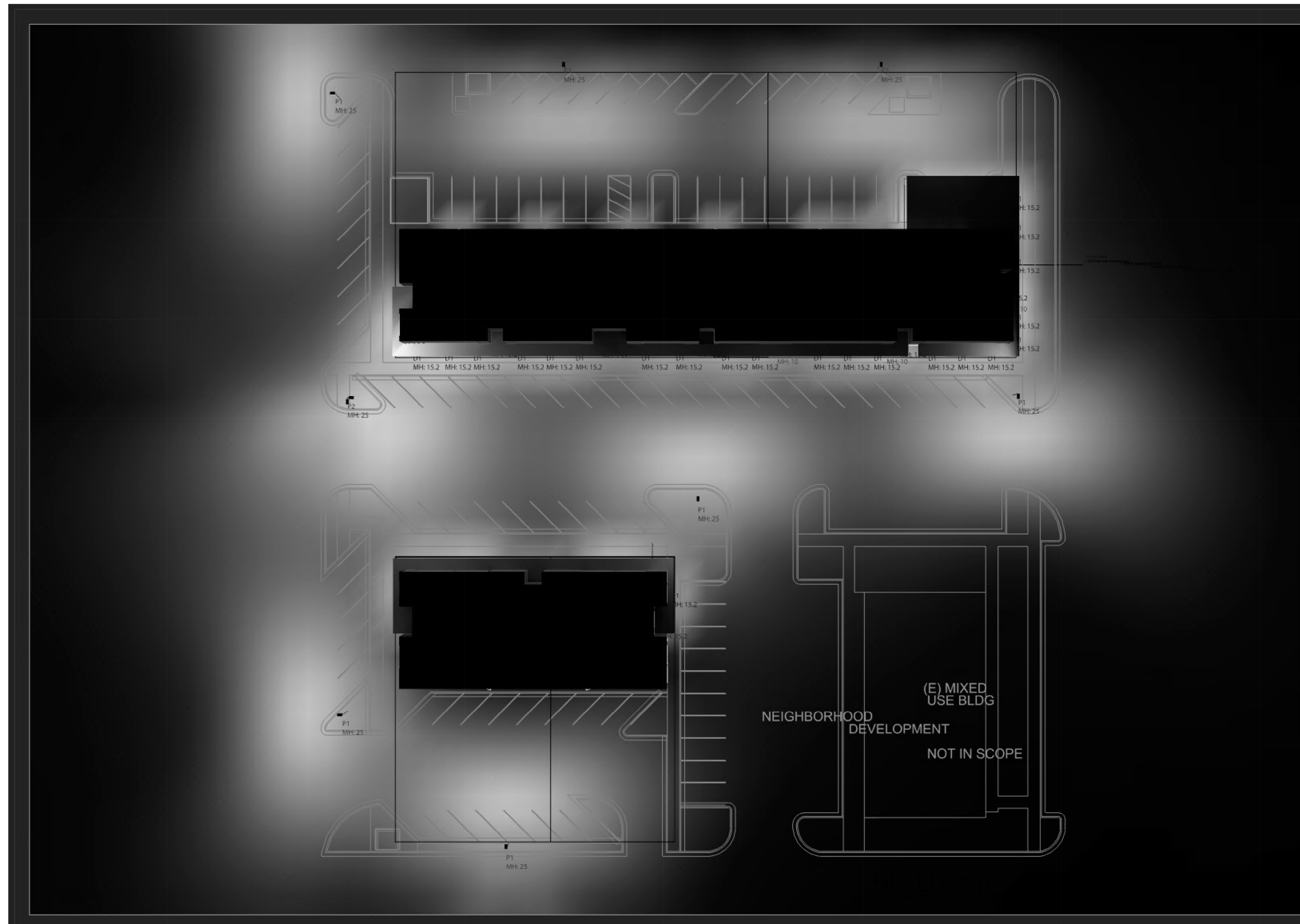
**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. <u>1168-001-24</u>
DRAWING NO. _____
SHEET <u>26</u> OF <u>27</u>

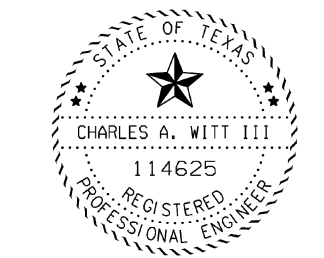
O:\CompanyData\Clients\1168 - Build\1168-001-24\_Boyce Street Mixed-Use Development\CAD\Sheets\1168-001-PHOTOMETRIC.dwg -- Layout: "PHOTOMETRIC PLAN (2 OF 2)" -- Wed, Sep 04, 2024, 11:25am. By: and.cantu

- GENERAL NOTES:
1. NOT FOR CONSTRUCTION PURPOSES.
  2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
  3. CALCULATION POINT SPACING IS 10' x 10'
  4. ALL CALCULATIONS ARE IN FOOT CANDLE MEASUREMENTS
  5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: PARKING LOT = .2, WALLS = .2, CEILING = .2
  6. FIXTURE MOUNTING HEIGHT: NOTED ON PLAN



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	MANUFACTURE	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	45	D1	Single	PRESCOLITE	LBRP-M-LSSL-WD_LBRP-6RD-T-D	0.900	848	9.3	418.5
⊕	5	P1	Single	LSI	MRS-LED-15L-SIL-3-40-70CRI	0.900	15933	111	555
⊕	1	P2	2 @ 90 degrees	LSI	MRS-LED-15L-SIL-4-40-70CRI	0.900	15698	111	222
⊕	2	P3	Single	LSI	MRS-LED-15L-SIL-3-40-70CRI-IL	0.900	10674	111	222
⊕	11	W1	Single	SAGE	RWC-ADA-FS-BK (4000K)	0.900	622	9.4	103.4

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
BOYCE PROJECT FULL SITE CALC_Planar	Illuminance	Fc	1.55	6.7	0.1	15.50 / 67.00



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHARLES A. WITT III, P.E. 114625, ON 21 AUG. 2024.

Charles A. Witt III

Date	Description	Mark
21-AUG-24	100% SUBMITTAL	1



ENGINEERING SOLUTIONS  
650 SHELL STONE TRAIL  
GEORGETOWN, TX 78628  
C: 512-639-3131  
CO. # F-15327

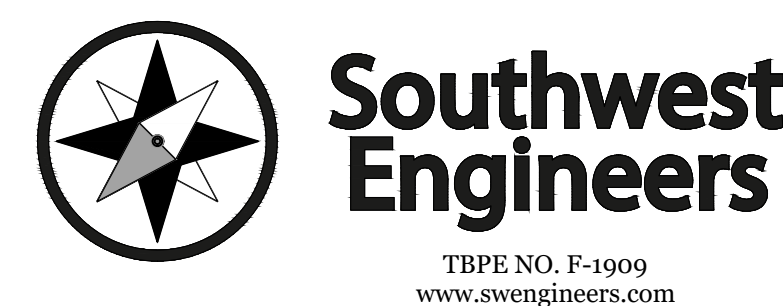
SITE PHOTOMETRIC PLAN  
BOYCE PROJECT

SHEETNUMBER

E-003

FOR REFERENCE ONLY (N.T.S)

NO.	REVISION	DATE



**HEADQUARTERS**  
307 Saint Lawrence Street, Gonzales TX 78629  
P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4330

TBPE NO. F-1909  
www.swengineers.com

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PHOTOMETRIC PLAN (2 OF 2)

**BOYCE STREET MIXED-USE DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. \_\_\_\_\_

SHEET 27 OF 27