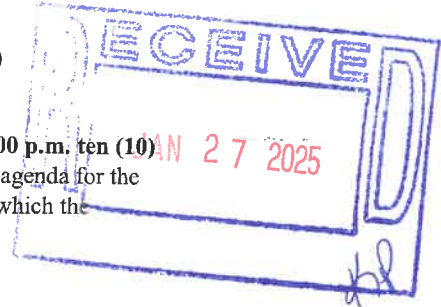


GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.



A) MINOR WORK

PROPERTY LOCATION: 7778 Mahoney Ave 051.575.076.10
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Josh Dorsey Email Address: _____
Address: 7778 Mahoney Ave Mackinac Island MI 49757
(Street) (City) (State) (Zip)
16490 Oakview C. Alva, FL 33920
Telephone: _____
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Ray Halberg Email Address: ray.halberg@hotmail.com
Address: _____
(Street) (City) (State) (Zip)
Telephone: 906-430-0301
(Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
- ☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosier-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Signature: Josh Dorsey SIGNATURES: _____
Signature: _____
Please Print Name: _____ Please Print Name: _____
Exhibit: A
Date: 1-28-25
Initials: MD

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: R125.076.003(4) Date Received: 1-27-25 Fee: \$600-
Received By: klerey Work Completed Date: _____

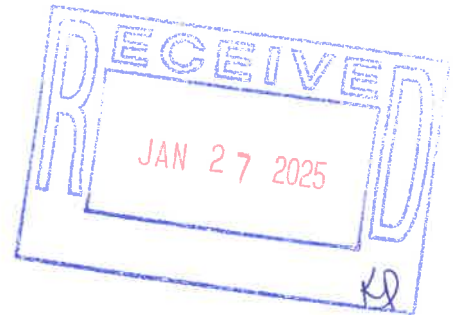
Adding 3rd floor dormer for a toilet + sink

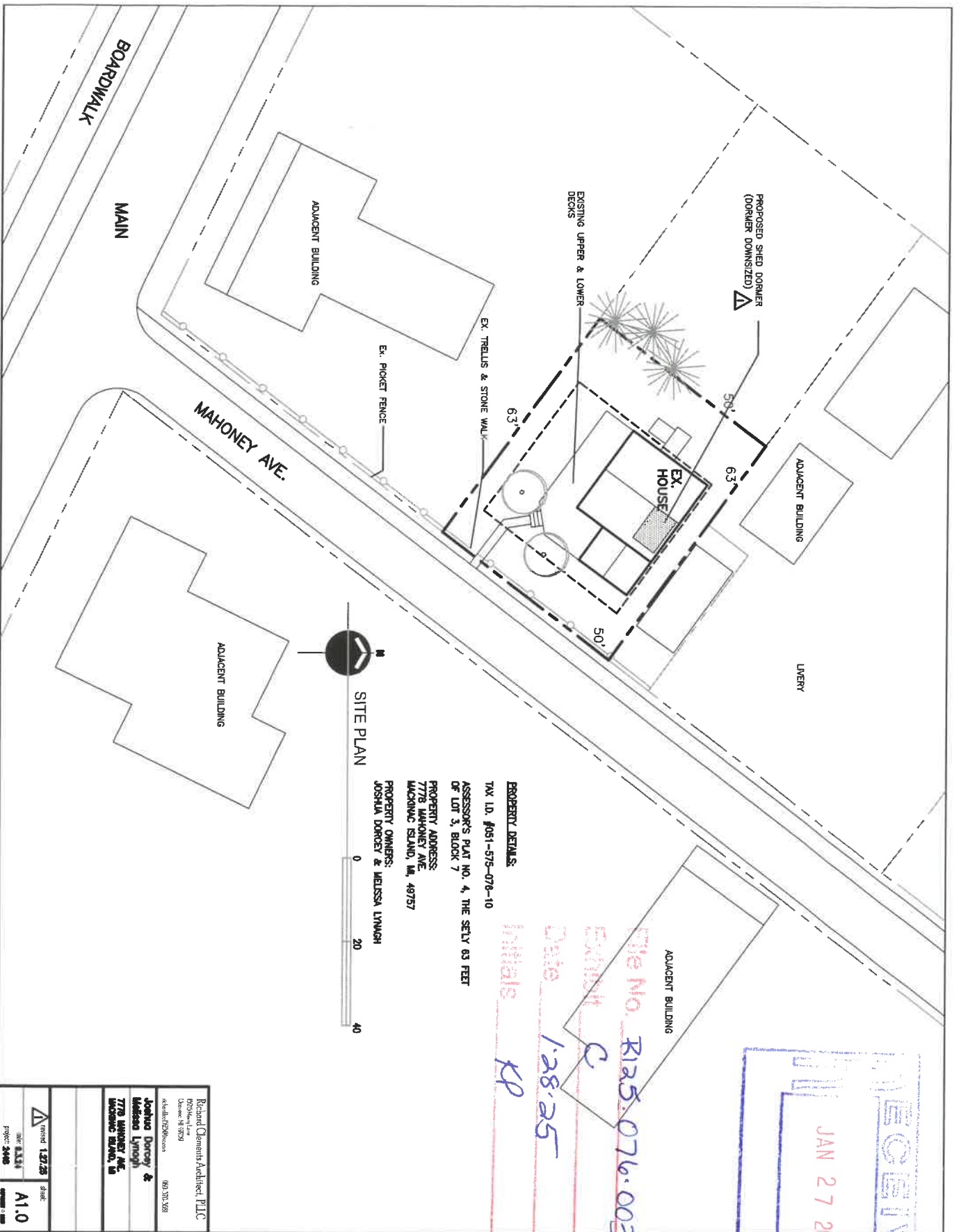
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Exhibit B

Date 1.28.25

Initials KP





SITE PLAN

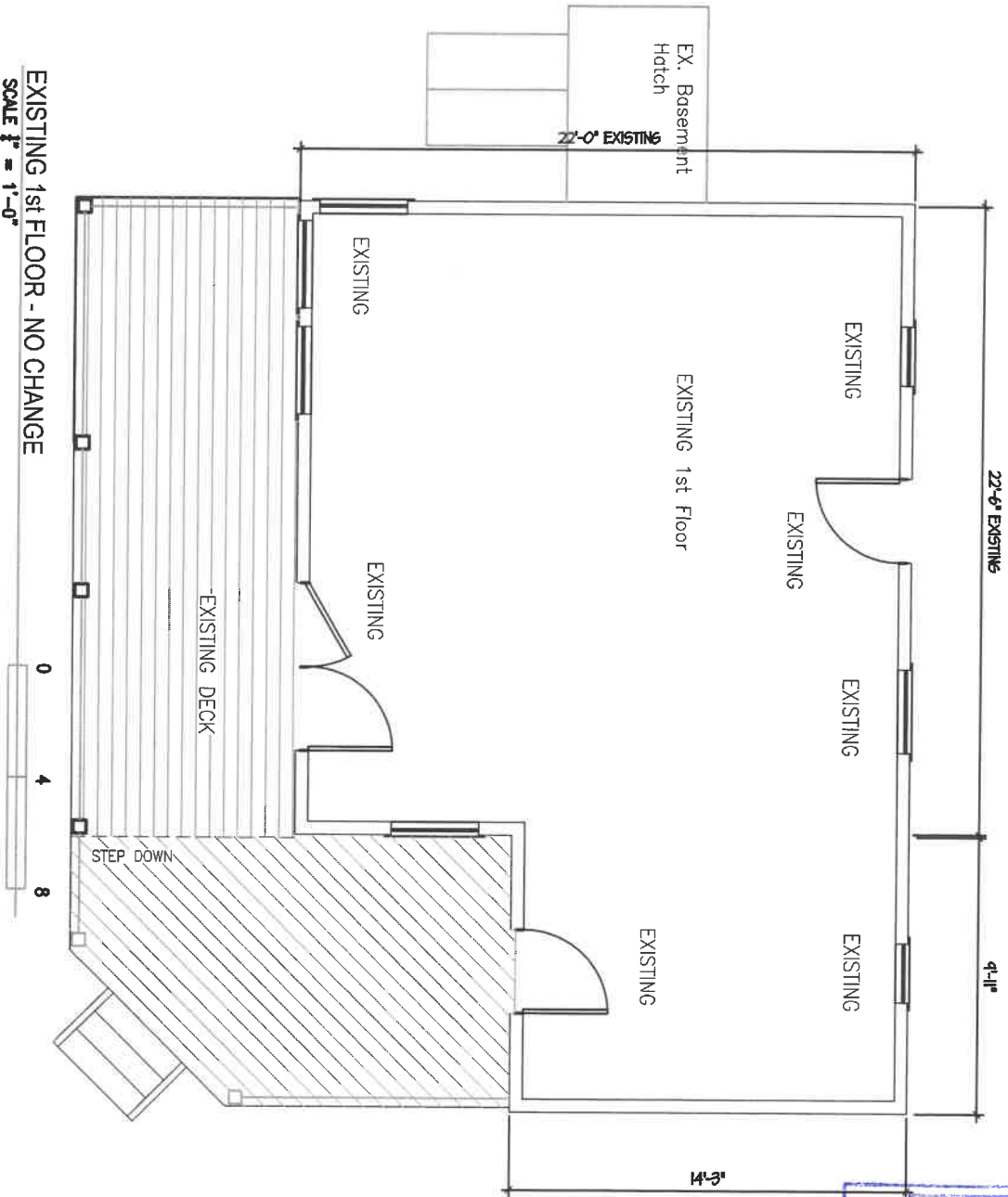
PROPERTY DETAILS:
 TAX ID: #051-575-076-10
 ASSESSOR'S PLAT NO. 4, THE SETLY 63 FEET
 OF LOT 3, BLOCK 7
PROPERTY ADDRESS:
 7775 MAHONEY AVE
 WACONIC ISLAND, HI, 49757
PROPERTY OWNERS:
 JOSHUA DORCEY & MELISSA LYNCH

RECEIVED
 JAN 27 2025

File No. R125.076.003(4)
 Exhibit C
 Date 1.28.25
 Initials KP

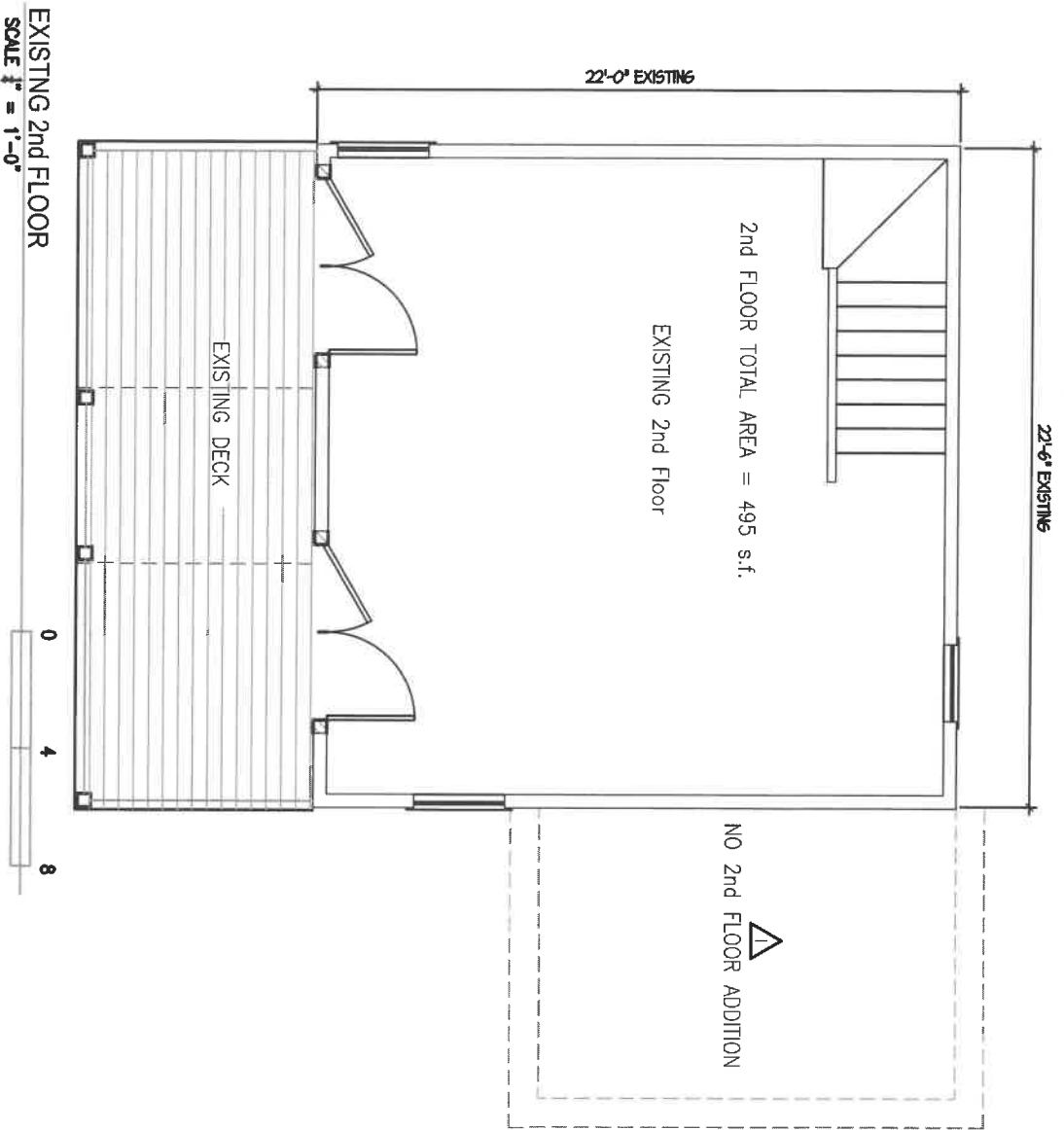
Richard Clements Architect, PLLC	
7775 Mahoney Ave.	969.301.5070
Chesapeake, VA 20729	
Joshua Dorcey & Melissa Lynch	
7775 MAHONEY AVE	
WACONIC ISLAND, HI	
Project 2405	Sheet A1.0
Drawn 1.27.25	Scale
Check E.L.M.	

RECEIVED
JAN 27 2025



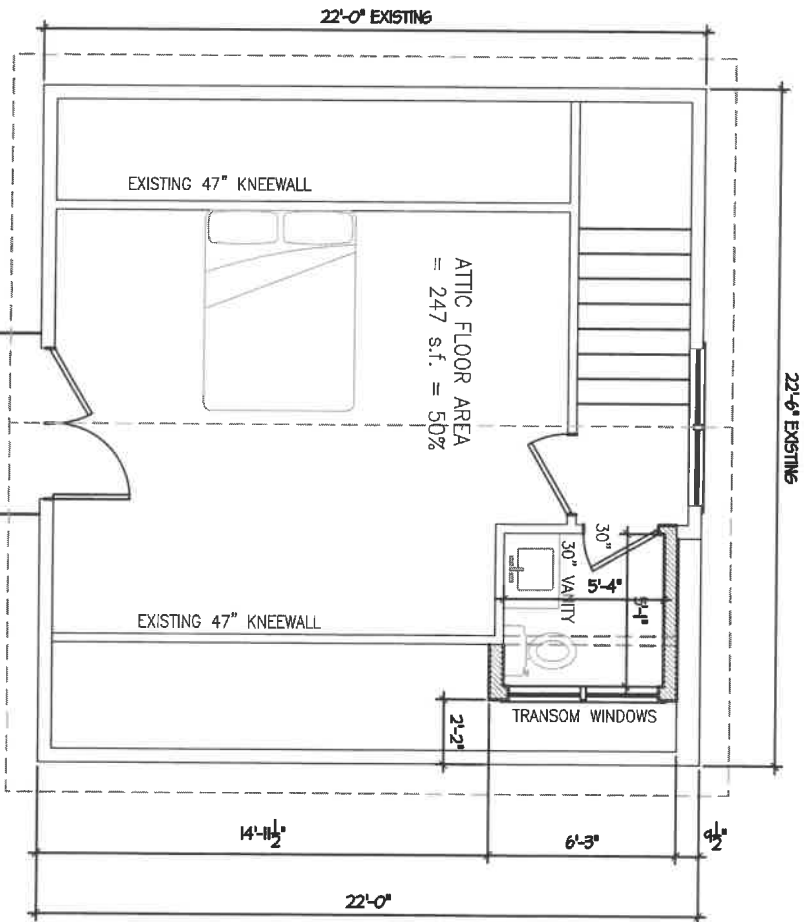
EXISTING 1st FLOOR - NO CHANGE
SCALE 1/8" = 1'-0"

Richard Clements Architect, PLLC 13210 Merry Lane Oshtemo, MI 49739 richardcl@13230@live.com 989-370-3681		Joshua Dorcey & Melissa Lynagh 7778 MAHONEY AVE. MACKINAC ISLAND, MI	zoning: Oct. 3, 2024 project: 2448 revised: Jan. 27, 2025	sheet: A1.1 COPYRIGHT © 2025
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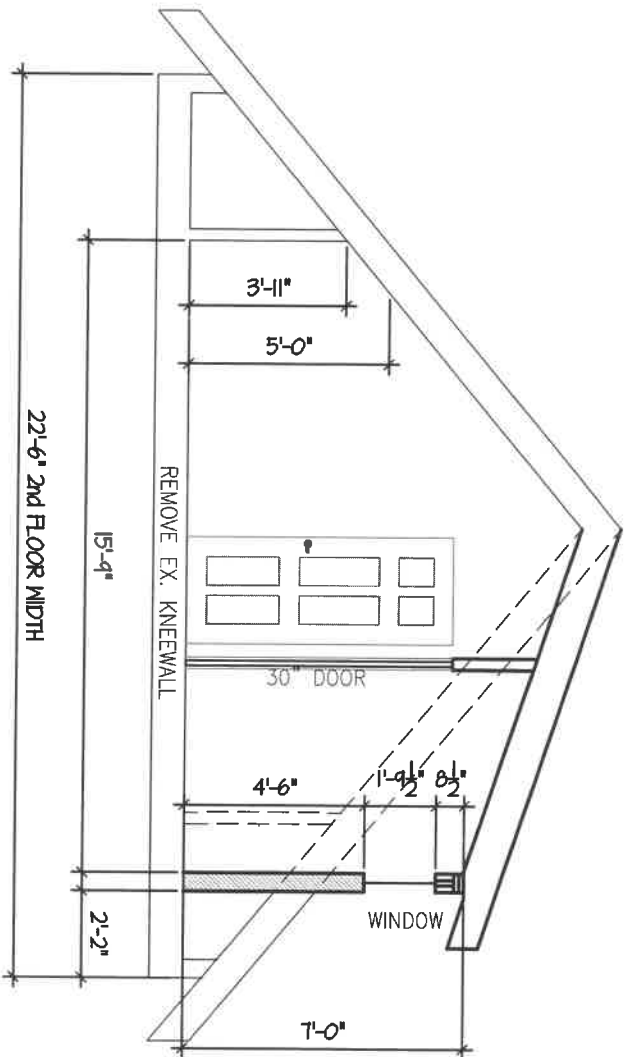


Richard Clements Architect, PLLC 19213 Kerry Lane Oshtemo, MI 49739 richardlee1923@live.com 989-370-3681		Joshua Dorcey & Melissa Lynagh 7778 MAHONEY AVE. MACKINAC ISLAND, MI		zoning: Oct. 3, 2024 project: 2448 revised: Jan. 27, 2025	Sheet: A1.2 COPYRIGHT © 2025
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EXISTING ATTIC LEVEL W/ DORMER
SCALE 1/8" = 1'-0"



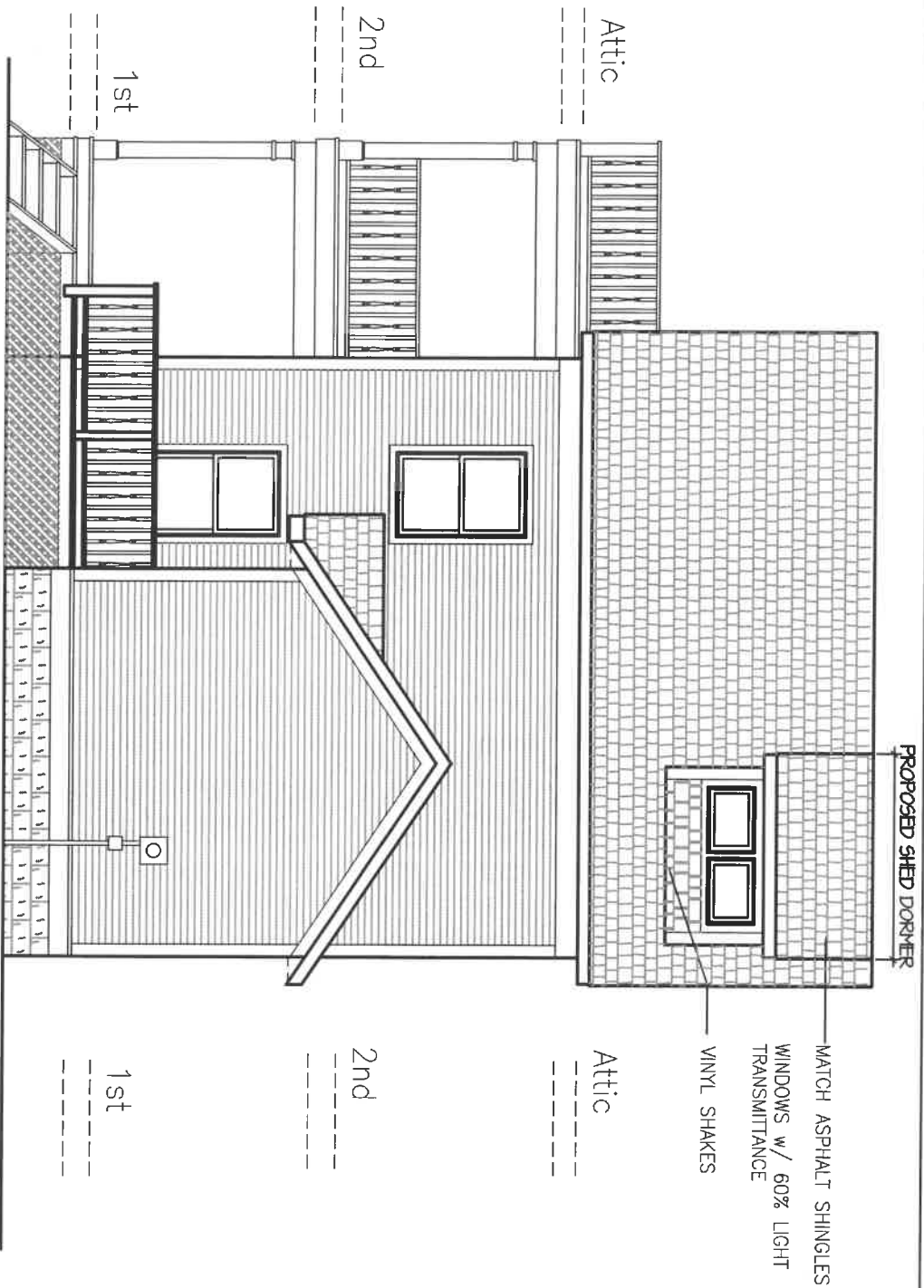
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49779 richardcl@15215merry.com 989-370-3681		Joshua Dorcsey & Melissa Lynagh 7778 MAHONEY AVE. MACKINAC ISLAND, MI	zoning: Oct. 3, 2024 project: 2448 revised: Jan. 27, 2025	sheet: A1.3 COPYRIGHT © 2025
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ATTIC SECTION
SCALE 1/4" = 1'-0"



Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49719 richardcl@rca3.com 989-570-5681	Joshua Dorcey & Melissa Lynagh 7778 MAHONEY AVE. MACKINAC ISLAND, MI	zoning: Oct. 3, 2024 project: 2448 revised: Jan. 27, 2025	sheet: A1.4 copyright © 2025
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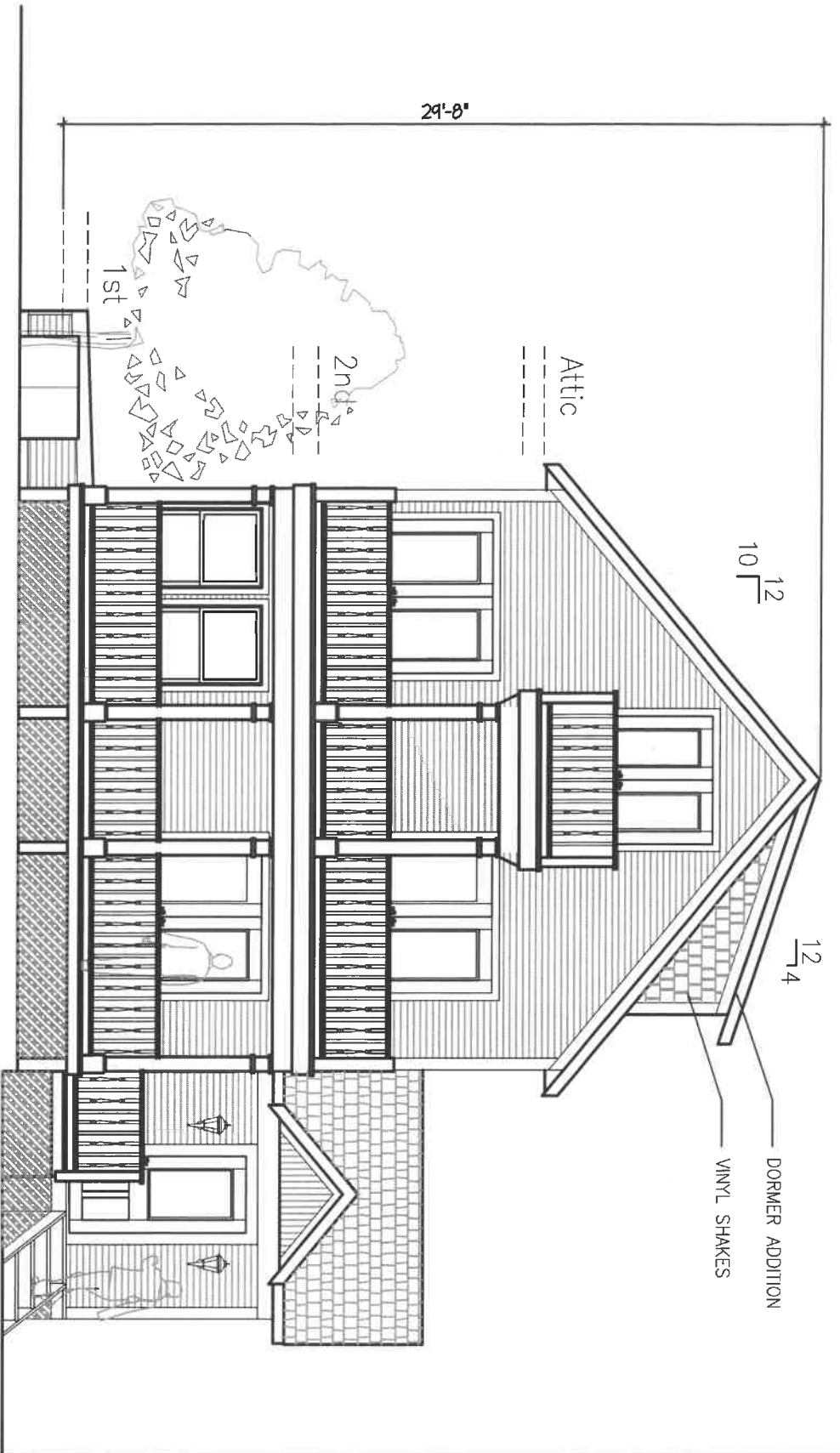
PROPOSED SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"

Richard Clements Architect, PLLC
13215 Merry Lane
Oshtemo, MI 49739
richard@rca1323@live.com 989-370-3681

Joshua Dorcey & Melissa Lynagh
7778 MAHONEY AVE.
MACKINAC ISLAND, MI

zoning: **Oct. 3, 2024**
project: **2448**
revised: **Jan. 27, 2025**

sheet: **A2.1**
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PROPOSED SOUTHWEST ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

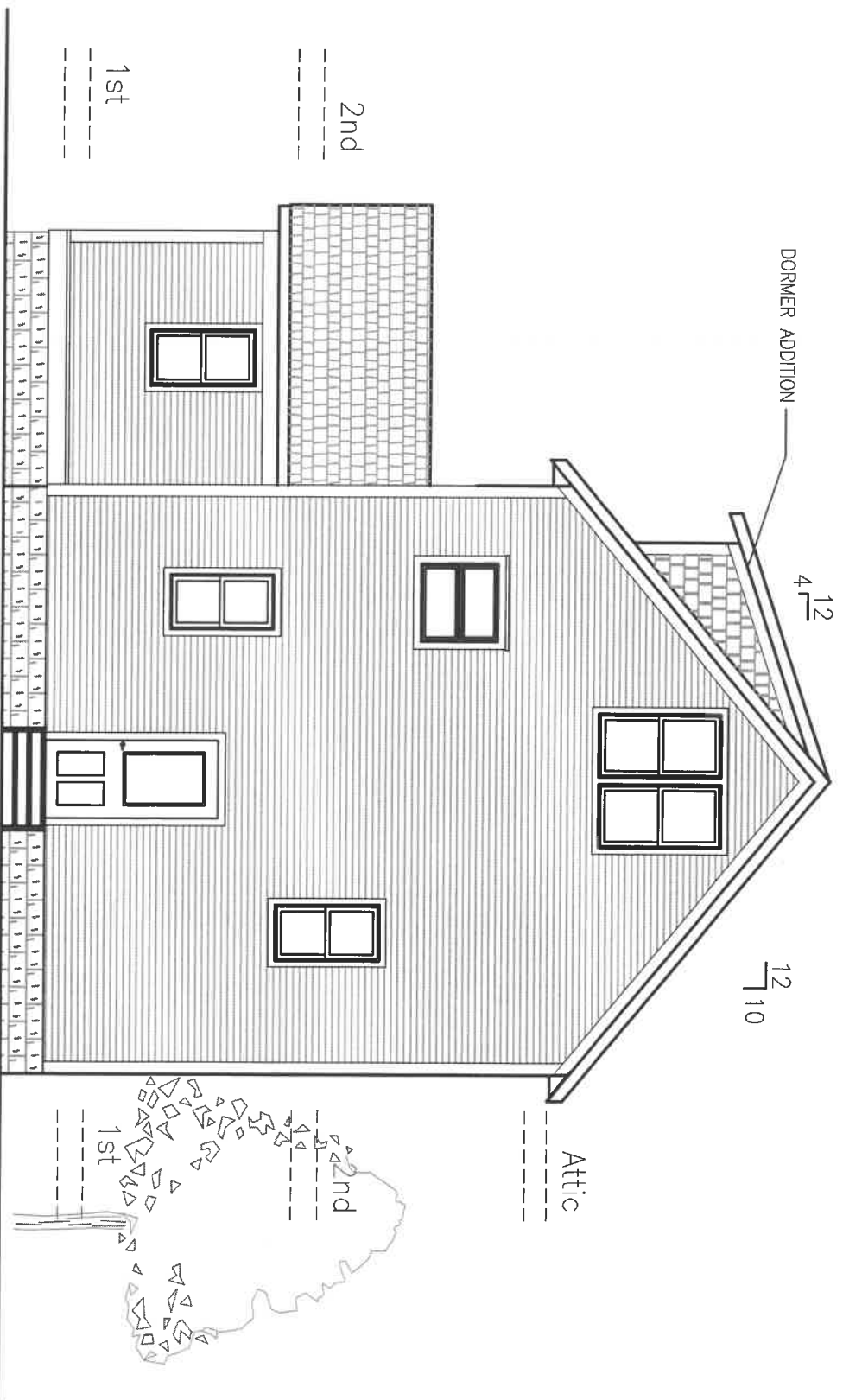


Richard Clements Architect, PLLC
15212 Merry Lane
Oshtemo, MI 49739
richardlee1523@freedom
989-370-3081

Joshua Dorcey &
Melissa Lynagh
7778 MAHONEY AVE.
MACKINAC ISLAND, MI

zoning: Oct. 3, 2024
project: 2448
revised: Jan. 27, 2025

sheet:
A2.2
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NO CHANGE TO NORTHEAST ELEVATION

PROPOSED NORTHEAST ELEVATION

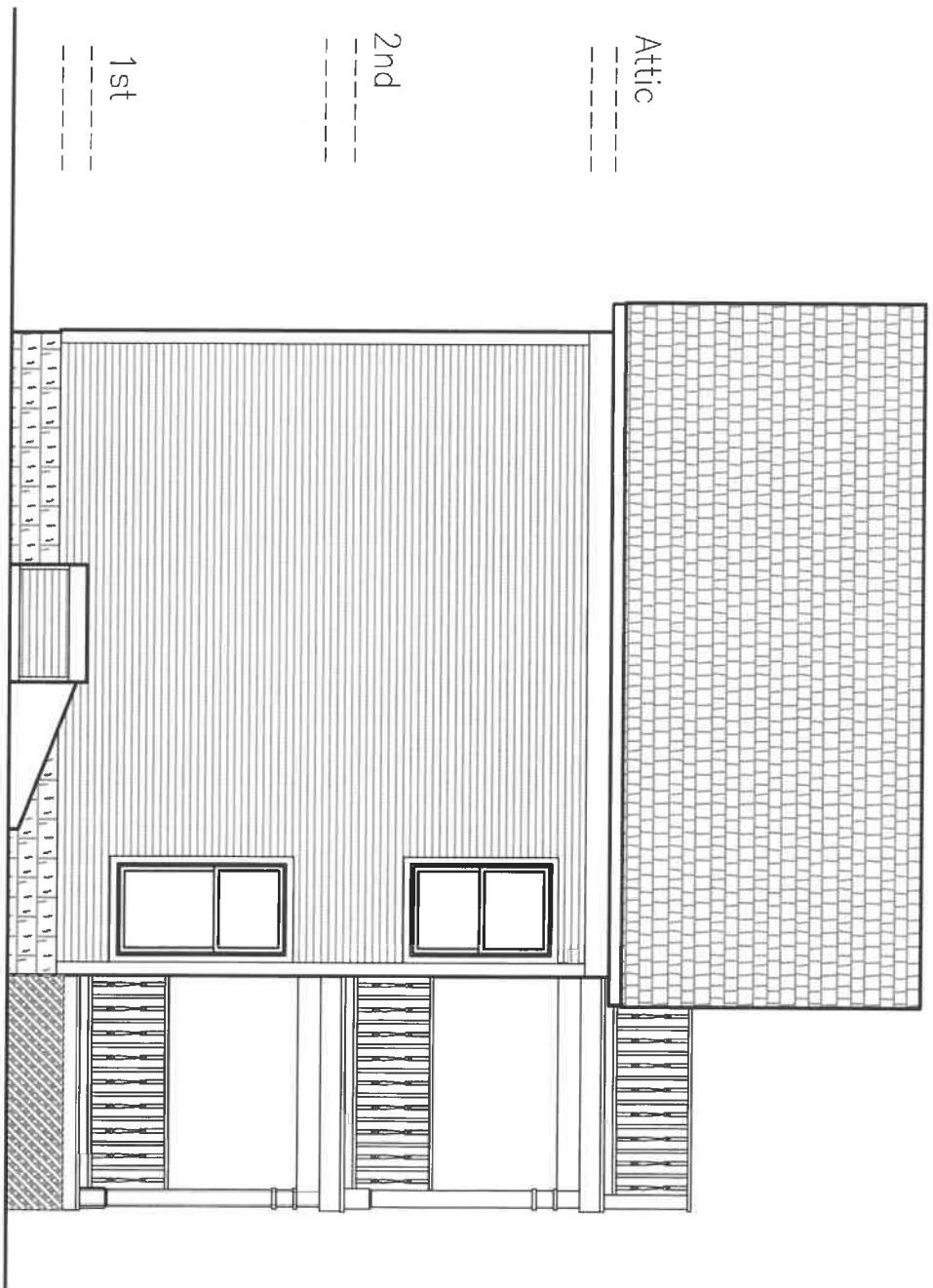
SCALE $\frac{1}{4}" = 1'-0"$

Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49779
richardcl@1523@live.com 989-370-3681

Joshua Dorsey &
Melissa Lynagh
7778 MAHONEY AVE.
MACKINAC ISLAND, MI

zoning: Oct. 3, 2024
project: 2448
revised: Jan. 27, 2025

sheet:
A2.3
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NO CHANGE TO NORTHWEST ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

0 4 8

Richard Clements Architect, PLLC 13213 Meryl Lane Orangetown, NJ 07979 richardcl@13213.com 989-370-3681		Joshua Dorcey & Melissa Lynagh 7778 MAHONEY AVE. MACKINAC ISLAND, MI	zoning: Oct. 3, 2024 project: 2448 revised: Jan. 27, 2025	sheet: A2.4 COPYRIGHT © 2025
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File No. R125-076-003(4)

Exhibit D

Date 1-28-25

Initials KD

