



4 PERSPECTIVE



LOCATION MAP



VICINITY MAP

## PROJECT INFORMATION

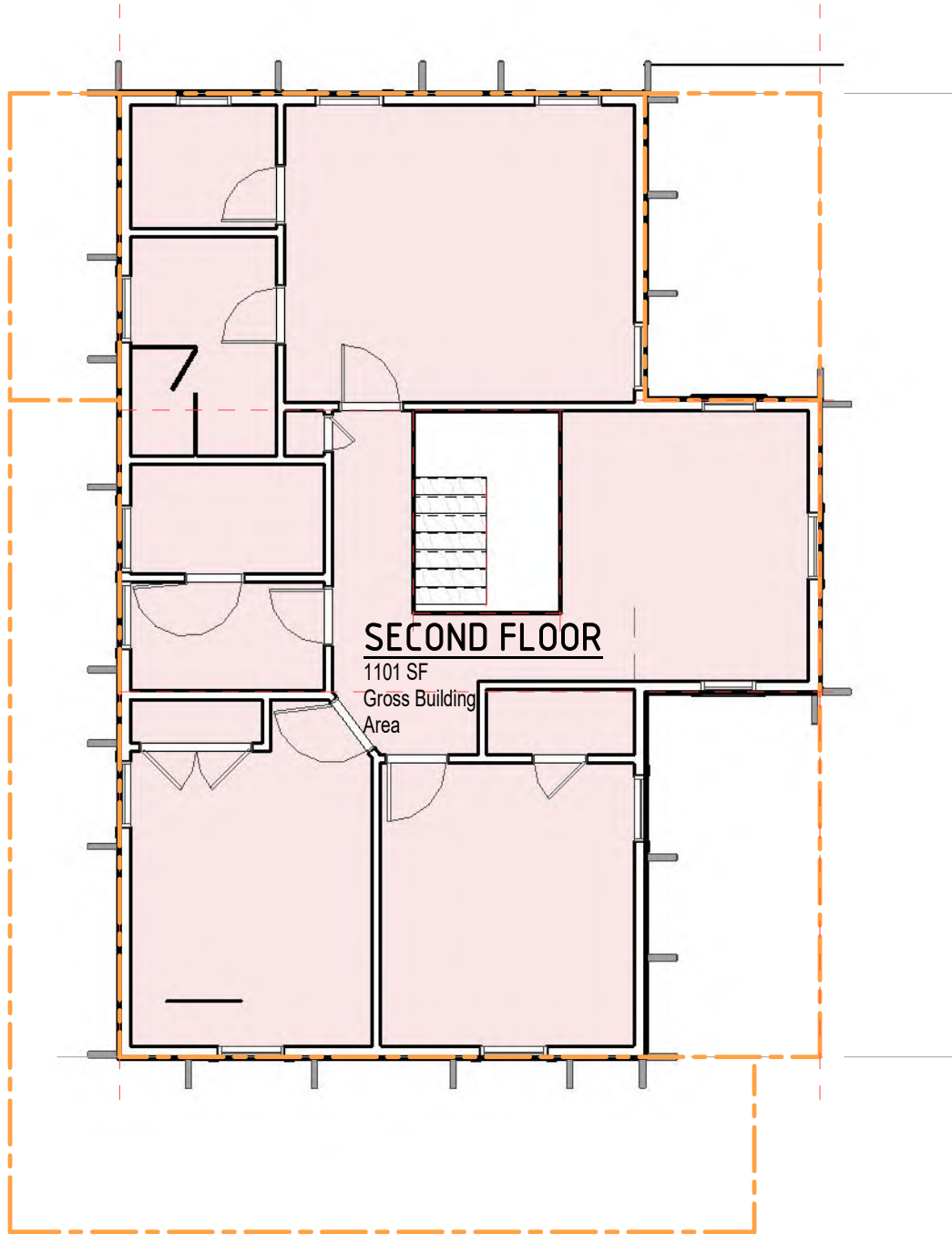
<b>CLIENT</b>	
NAME:	LESHON PIERSON
ADDRESS:	1016 S. BURDICK, KALAMAZOO, MI 49001
PHONE:	269.779.1189
EMAIL:	LESHONPIERSON47@GMAIL.COM
<b>ARCHITECT</b>	
NAME:	CHRIS BIGGERS, NCARB
COMPANY:	BIGGDESIGNS, LLC
ADDRESS:	2537 UNION LAKE ROAD, COMMERCE TWP, MI 48382
PHONE:	248.886.4460
EMAIL:	PM@BIGGDESIGNS.COM
<b>GENERAL CONTRACTOR</b>	
THE HOMEOWNER WILL BE ACTING IN LIEU OF A GENERAL CONTRACTOR (GC) FOR THIS PROJECT. ALL COORDINATION OF TRADES, SCHEDULING, PROCUREMENT, AND SITE SUPERVISION WILL BE MANAGED DIRECTLY BY THE HOMEOWNER IN ACCORDANCE WITH LOCAL CODES.	
<b>CONSULTANT (CIVIL)</b>	
NAME:	WADE TRIM
COMPANY:	4241 OLD US 27 S, SUITE 1, PO BOX 616 GAYLORD, MI 49734
ADDRESS:	989.732.3584
PHONE:	JCAMERSON@WADETRIM.COM
EMAIL:	
<b>SCOPE OF WORK</b>	
USE STATEMENT:	NEW 2-STORY VICTORIAN STYLE RESIDENCE
SITE:	
EXTERIOR:	(N)GRADING TO SLOPE AWAY FROM STRUCTURE
INTERIOR:	FACING MATERIALS PER ELEVATIONS
STRUCTURAL:	FIXTURES & FINISHES PER OWNER'S SELECTION
ELECTRICAL:	FOOTINGS, COLUMNS, BEAMS, HEADERS PER PLANS
MECHANICAL:	POWER & LIGHTING LOCATIONS PER PLANS
PLUMBING:	DESIGN/BUILD PER HVAC CONTRACTOR
	PLUMBING FIXTURE LOCATIONS PER PLANS

<b>CODE SUMMARY</b>	
BUILDING CODE:	2015 MICHIGAN RESIDENTIAL CODE
MECHANICAL CODE:	2021 MICHIGAN MECHANICAL CODE
PLUMBING CODE:	2021 MICHIGAN PLUMBING CODE
ELECTRICAL CODE:	2023 NATIONAL ELECTRICAL CODE
ENERGY CODE:	2015 MICHIGAN ENERGY CODE
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
ZONING ORDINANCE:	CODE OF ORDINANCES CITY OF MACKINAC ISLAND, MI
BARRIER FREE:	NO
FIRE SUPPRESSION:	NO
FIRE ALARM:	AC/DC SMOKE DETECTORS
USE GROUP:	R-RESIDENTIAL
CONSTRUCTION TYPE:	V-B
BUILDING HEIGHT:	29' - 8"
BUILDING STORIES:	2

<b>HOA APPROVAL</b>	
THE OWNER SHALL PROVIDE THE FOLLOWING TO HOA FOR APPROVAL:	
ROOFING MATERIALS	
SIDING MATERIALS	
EXTERIOR DOOR SPECIFICATIONS	
EXTERIOR TRIM MATERIALS	
PORCH CEILINGS, RAILINGS, SKIRTING	
STONE SAMPLE	
PAINT COLORS	
WINDOW SHOP DRAWINGS	

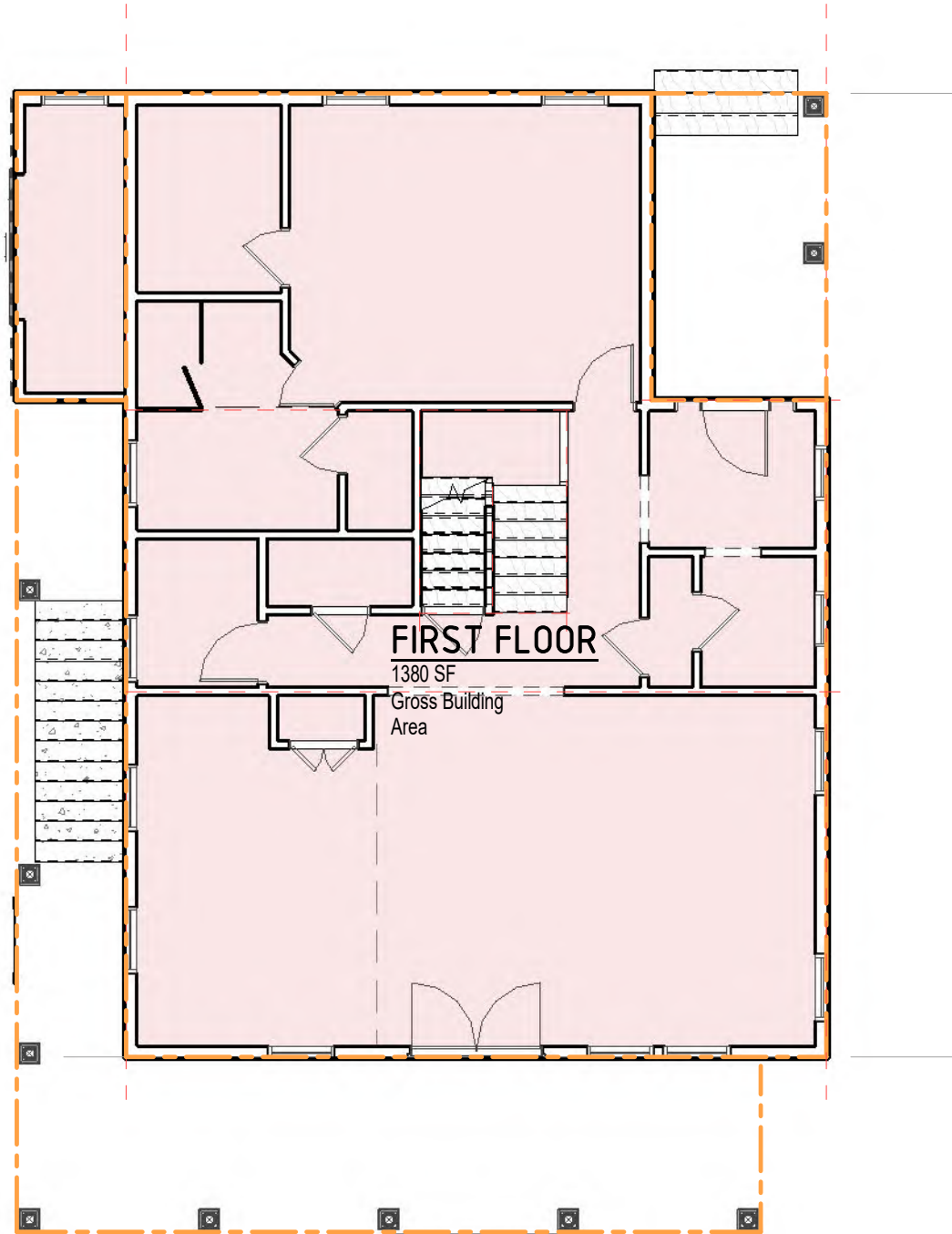
## NOTES

- DO NOT SCALE PLANS
- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN AFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- SEPARATION OF SHEETS IS NOT PERMITTED.
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURER'S SPECS FOR DURATION OF CONSTRUCTION.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2024 BIGGDESIGNS, LLC
- REQUESTS FOR INFORMATION (RFI)**
- ALL RFIs SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL. TEXT/CALL RFIs WILL NOT BE ACCEPTED.
- SUBSTITUTIONS/ALTERNATES MUST BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE/INSTALL AND MAY REQUIRE A MIN. \$150.00 REVIEW FEE UNLESS OTHERWISE APPROVED IN CLIENT'S SERVICE AGREEMENT.
- DEFERRED SUBMITTALS**
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.



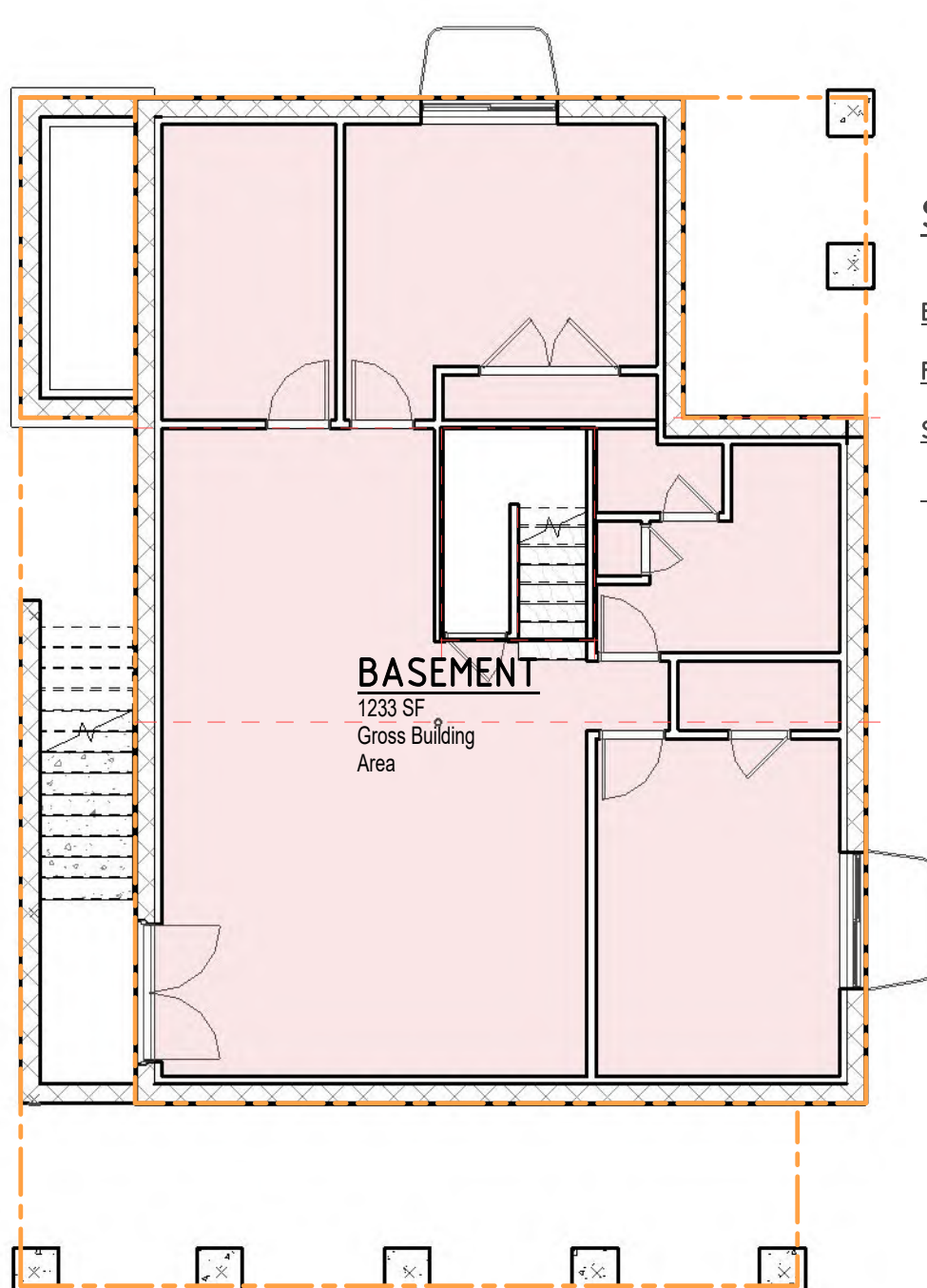
7 SECOND FLOOR AREA

1/8" = 1'-0"



6 FIRST FLOOR AREA

1/8" = 1'-0"



5 BASEMENT AREA

1/8" = 1'-0"

## SCOPE OF WORK

BASEMENT AREA:	1,233 SF
FIRST FLOOR AREA:	1,380 SF
SECOND FLOOR AREA:	1,101 SF
TOTAL AREA:	3,714 SF

## SHEET INDEX

SHEET	NAME	DATE
1-GENERAL REQUIREMENTS		
T01	COVER SHEET	08.20.2025
T02	RESIDENTIAL NOTES	08.20.2025
T03	FREIGHT/HAULING PLAN	08.20.2025
PD-SUV	SURVEY	09.16.2024
C1	CIVIL SITE PLAN	DEFERRED
FAA	APPROVAL LETTER	12.10.2024
3.1-ARCHITECTURAL		
A00	ARCHITECTURAL SITE PLAN	08.20.2025
A01	BASEMENT & FIRST FLOOR PLANS	08.20.2025
A02	SECOND FLOOR & ROOF PLAN	08.20.2025
A03	CEILING PLANS	08.20.2025
A04	EXTERIOR ELEVATIONS	08.20.2025
A05	BUILDING SECTIONS	08.20.2025
A06	WALL SECTIONS	08.20.2025
A07	ISO-PERSPECTIVES & STAIR SECTIONS	08.20.2025
3.3-ELECTRICAL PLANS		
E00	ELECTRICAL SPECS	08.20.2025
E01	POWER & LIGHTING PLANS	08.20.2025
3.5-NRG		
ENRG	ENERGY WORKSHEET	08.20.2025
5.0-CA-SHOP DWGS		
TRUSS	PRE-ENGINEERED TRUSS DWGS	DEFERRED
CASE	CASEWORK SHOP DWGS	DEFERRED
SIPS	SIPS SHOP DRAWINGS	DEFERRED
WIN	WINDOW SHOP DRAWINGS	DEFERRED
MAT	EXTERIOR MATERIALS SAMPLES	DEFERRED

## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

## PERMITS

COVER SHEET  
08.20.2025

## REV

REV	NOTE	DATE
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T01





RES. ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	FO	FACE OF	REQ'D	REQUIRED
AD	AREA DRAIN	FND	FOUNDATION	RM	ROOM
AVG	AVERAGE	GALV	GALVANIZED	RD	ROUGH DRAIN
ALT	ALTERNATE	GA	GAUGE	RO	ROUGH OPENING
AFF	ABOVE FINISH FLOOR	GEN	GENERAL	SF	SQUARE FOOT
ABV	ABOVE	GCP	GENERAL CONTRACTOR	SCHED	SCHEDULE
ADJ	ADJUSTABLE	GYP BD	GYPSUM BOARD	SECT	SECTION
ALM	ALUMINUM	HC	HOLLOW CORE	SH	SHEET
ANOD	ANODIZED	HI	HIGH	SHT	SHOWER HEAD
BALC	BALCONY	HP	HIGH POINT	SIM	SIMILAR
BD	BOARD	HL	HEIGHT	SL	SLOPE
BLDG	BUILDING	HVAC	HEATING, VENTILATION & AIR	SR	SHOWER
BRM	BEDROOM	COND	CONDITIONING	SS	STAINLESS STEEL
BSMT	BASEMENT	HDR	HEADER	STC	SOUND TRANSMISSION COEFFICIENT
CIP	CAST IN PLACE	HORIZ	HORIZONTAL	STL	STEEL
CHNL	CHANNEL	HR	HOUR	STRUC	STRUCTURE OR STRUCTURAL
CJ	CONTROL JOINT	HD	HEAD HEIGHT	LO	IN LIEU OF
CL	CENTERLINE	IC	IMPACT INSULATION CLASS	SAB	SOUND ATTENUATION BLANKET
CLO	CLOSET	IN	INCH	S	SOUTH OR SIDE
CLG	CEILING	ID	INSIDE DIAMETER	SPEC	SPECIFIED OR SPECIFICATIONS
CLR	CLEAR	INSUL	INSULATION	SRO	SHEET ROCK OPENING
COL	COLUMN	INT	INTERIOR	STD	STANDARD STEEL STRUCT
COMP	COMPOSITION	JAN	JANITOR	STOR	STORAGE
CMUPR	COMPRESSIBLE	JT	JOINT	STQ	SQUARE
CMU	CONCRETE MASONRY UNIT	KIT	KITCHEN	THK	THICK
CONC	CONCRETE	L	LENGTH OR LONG	TC	TOP OF CURB
CONCT	CONSTRUCTION	LAND	LANDLORD/OWNER	TELE	TELEPHONE
CONT	CONTINUOUS	MEMB	MEMBRANE	T&G	TONGUE AND GROOVE
CT	CERAMIC TILE	MFR	MANUFACTURER	TP	TOILET PAPER
CTYD	COURTYARD	MAS	MASONRY	TB	TOWEL BAR
DBL	DOUBLE	MC	MEDICINE CABINET	TL	TILE
DEMO	DEMOLISH OR DEMOLITION	MD	MASONRY DIMENSION	TOC	TOP OF CONCRETE
DET	DETAIL	MO	MASONRY OPENING	TOS	TOP OF STEEL
DIA	DIAMETER	MAX	MAXIMUM	TPD	TOILET PAPER DISPENSER
DIM	DIMENSION	MECH	MECHANICAL	TW	TOP OD WALL
DWGS	DRAWINGS	MED	MED ELEC PLUMBING	T	TREAD, TILE OR TOP
DN	DOWN	MDF	MEDIUM DENSITY FIBERBOARD	TYP	TYPICAL TYP
DS	DOWN SPOUT	MTL	METAL	UNO	UNLESS NOTED OTHERWISE
E	EACH	MIN	MINIMUM	UIS	UNDERSIDE
EC	ELECTRICAL CONTRACTOR	MISC	MISCELLANEOUS	VERT	VERTICAL
EJ	EXPANSION JOINT	(N)	NEW	VIF	VERIFY IN FIELD
ELEC	ELECTRIC	VP	VISION PANEL	V	VERTICAL
EWC	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
EWL	ELECTRIC WATER HEATER	NTS	NOT TO SCALE	W	EST OR WIDTH PR WASHER
ELEV	ELEVATION	OC	ON CENTER	WWF	WELDED WIRE FABRIC
EQ	EQUAL EXIT	OH	OPPOSITE HAND	WWM	WELDED WIRE MESH
(E)	EXISTING	OU	OUNCE	W	WITH
EXP	EXPANSION	OCEW	ON CENTER EACH WAY	WD	WOOD
EJ	EXPANSION JOINT	OPG	OPENING	WIC	WALK IN CLOSET
EXT	EXTERIOR	OSB	ORIENTED STRAND BOARD	WT	WEIGHT
FN	FINISH	OD	OUTSIDE DIAMETER	(X)	DEMOLITION/REMOVE
FF	FINISH FLOOR	OVD	OVER HEAD DOOR	FT	FEET OR MINUTES
FXKT	FIXTURE	PC	PLUMBING CONTRACTOR	>	INCHES OR SECONDS
FP	FIRE PLACE	PVMT	PAVEMENT	*	PLATE
FLSH	FLASHING	PLYWD	PLYWOOD	#	PLUS OR MINUS
FUR	FLOOR	PT	POINT	#	POUND OR NUMBER
FD	FLOOR DRAIN	RD	RELOCATED	(R)	RATIO
FLUR	FLUORESCENT	RC	RESILIENT CHANNEL	RC	SQUARE OR SQ. FOOT
FG	FOOTING	R	RADIUS OR RISER	W/	WITH
FDN	FOUNDATION	RECP	RECEPTACLE	&	AND
FBO	FURNISHED BY OTHERS	REFR	REFRIGERATOR	@	AT
FM	FILLED METAL	REIN	REINFORCE		

(R)ASSEMBLY TYPES

WE-WD-4

WE-WD-6

STONE

INSUL

RIGID

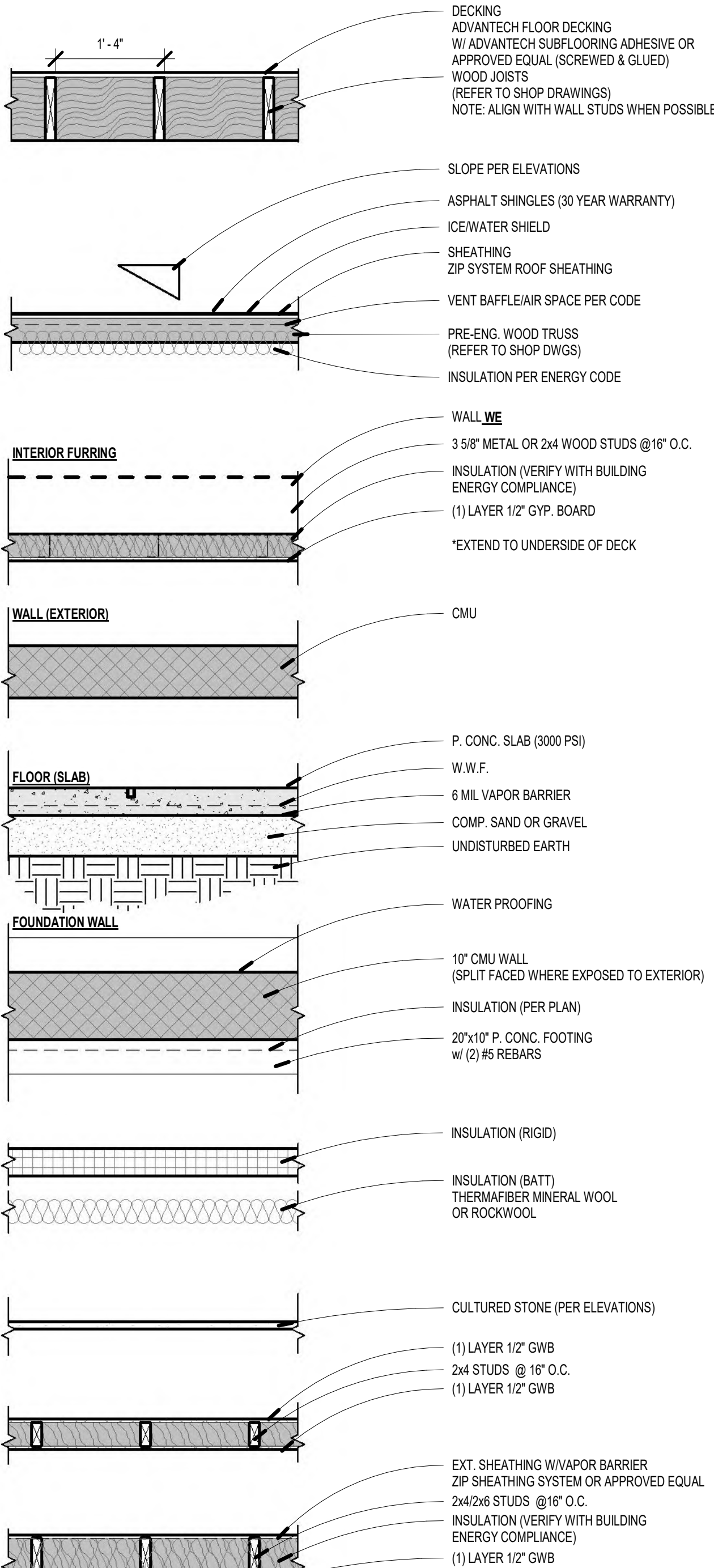
WC-10

CONC

WF

PRE ENG TRUSS

FA-WD



RES. GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS WERE PREPARED WITH THE CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL.
- ALL ENGINEERS, G.C., SUB-CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLETE WITH THE SAME CODES ISSUED, APPROVED CODE MODIFICATIONS, AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS.
- G.C. SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- APPROVED AND MOST RECENT SET OF PLANS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES.
- IT IS THE G.C.'S RESPONSIBILITY TO REVIEW AND DISTRIBUTE PLANS, SPECIFICATIONS, DETAILS, AND DEFERRED SUBMITTALS TO ALL TRADES AS REQUIRED.
- G.C. AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.
- THE G.C. AND EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD CHECKING ALL (E) CONDITIONS AND FOR FITTING THEIR WORK TO (E) AND (N) WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR WHERE THERE IS CONFLICT BETWEEN THE WORK SHOWN ON THE DRAWINGS AND THE CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE ARCHITECT OF DISCREPANCIES THEREIN.
- THE G.C. IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
- THE OWNER, G.C., EACH INDIVIDUAL SUBCONTRACTOR, AND MATERIAL MEN AGREE TO SAVE THE ARCHITECT HARMLESS AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF OMISSIONS BY THE G.C. OWNER, CONTRACTORS, AND/OR MATERIAL MEN IN THE PERFORMANCE OF THEIR WORK. ALL ERECTION AND CONSTRUCTION PROCEDURES SHALL BE EXECUTED IN SUCH MANNER AS TO FULLY PROTECT THE STRUCTURE, TRADES WORKING ON THE PROJECT, AND THE SURROUNDING AREAS FROM HAZARDOUS CONDITIONS. ALL WORK WILL PROCEED FOLLOWING ALL LOCAL, STATE, FEDERAL SAFETY CODES, STATUTES, AND RECOGNIZED STANDARDS. ALL PROCEDURES OF CONSTRUCTION AND ERECTION WHICH ARE UNDERTAKEN WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT ARE THE SOLE RESPONSIBILITY OF THE OWNER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL MEN EXECUTING SAME AND ARE TO BE ACKNOWLEDGED AS BEING UNDERTAKEN WITHOUT THE ARCHITECT'S KNOWLEDGE OR CONSENT.
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE CERTIFICATES OF WORKMAN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE NAMING BOTH THE OWNER AND THE ARCHITECT AS BENEFICIARIES UNDER SAID CERTIFICATES AND THAT FILING OF SAID CERTIFICATES SHALL BE A CONDITION PRECEDENT TO ACCEPTANCE OF ANY WORK PERFORMED ON THE PROJECT.
- ANY REQUEST FOR A CHANGE TO THIS DRAWING MUST BE APPROVED BY THE CLIENT PRIOR TO ANY WORK BEING COMPLETED. CHANGES WITHOUT PRIOR APPROVAL WILL BE DEEMED AS A DEFAULT AND WILL BE CORRECTED AT THE EXPENSE OF THE G.C. AND MAY DELAY PROJECT COMPLETION.
- ALL WORK SHALL BE COMPLETED OR COORDINATED BY THE G.C. UNLESS OTHERWISE NOTED.
- G.C. IS RESPONSIBLE FOR ALL PERMITS AND FEES. THE G.C. SHALL FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE G.C. SHALL PROVIDE TEMPORARY LIGHT, INTERNET, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PRIOR TO COMPLETION OF PROJECT. G.C. SHALL PROVIDE TEMPORARY BARRICADES/BARRIERS AS PER LANDLORD OR LOCAL REQUIREMENTS STANDARD OR LOCAL CODE REQUIREMENTS.
- THE G.C. SHALL KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE G.C. IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THE OWNER, ARCHITECT, OR ENGINEERS WILL NOT BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- ALL SCRAP FROM LUMBER, CRATING, PAPER, AND SIMILAR TYPES OF TRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH IS NOT TO BE PERMITTED TO ACCUMULATE.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS AS CALLED FOR.
- ALL MATERIALS, CONSTRUCTION, AND FINISHES TO BE FIRE RATED, FIREPROOFED, AND FIRE RETARDANT TO MEET LOCAL, STATE, AND APPLICABLE NATIONAL FIRE CODES. ALL MATERIALS TO BE (N) AND OF THE BEST QUALITY AVAILABLE AND SHALL BE ULFM RATED AS REQUIRED. NO COMBUSTIBLE MATERIALS ARE TO BE INSTALLED UNLESS PERMITTED BY CODE.
- G.C. SHALL VERIFY WITH THE CLIENT ALL FIXTURES BY OTHERS.
- THE G.C. SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEY IN A MARKED ENVELOPE. ALL KEYS TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE CLIENT WITH CERTIFICATE OF OCCUPANCY.
- IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO MAKE A CAREFUL INSPECTION OVER THE CONSTRUCTION AS A WHOLE, ASSURING HIMSELF THAT THE WORK ON THAT PART OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE CALLING UPON THE ARCHITECT AND OWNER TO MAKE A FINAL INSPECTION.
- G.C. SHALL RECORD AND PROVIDE A SET OF AS-BUILT DRAWINGS WHICH REFLECT ANY CHANGES, ADDITIONS, OR DELETIONS TO THE CLIENT, LANDLORD, AND/OR LOCAL AUTHORITY.
- PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
- PROVIDE WOOD TRIM OR CASING AT ALL EDGES OF PLASTER AND DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL, UNLESS NOTED OTHERWISE.
- PROVIDE METAL CORNER BEADS AT ALL OUTSIDE CORNERS OF PLASTER AND DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE WOOD BLOCKING BEHIND ALL TOILET ROOM ACCESSORIES, GRAB BARS HANDRAILS, WOOD TRIM AND WALL MOUNTED FIXTURES.
- INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL (UNLESS OTHERWISE INDICATED) WITH AN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
- PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLAGE, RAILINGS, MOLDINGS, FRAMES, CASTINGS, ETC., SHALL BE PAINTED.
- SEAL ALL TILE JOINTS WITH PENETRATING SILICONE SEALANT IN TWO APPLICATIONS AFTER THE GROUT HAS BEEN ALLOWED TO FULLY CURE. SEAL SHALL JOINTS WITH FLUSH CLEAR SILICONE SEALANT ONLY.
- PREPARE FLOORS FOR SMOOTH FINISH INSTALLATION WITH TELEGRAPHING. BRIDGE CRACKS IN CONCRETE FLOORS WITH ELASTOMERIC MEMBRANE PRIMED AND FULLY ADHERED TO FLOOR-USE.
- BACKFILL SHALL NOT BE STARTED UNTIL (N)LY INSTALLED UNDERGROUND PIPING IS TESTED AND INSPECTED. BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH THE RELEVANT STANDARDS IN 6 INCH COMPACTED LIFTS. KEEP DUST AND NOISE TO AN ABSOLUTE MINIMUM AND PROTECT THE ADJACENT SPACES FROM WATER PENETRATION DURING CUTTING AND CLEANING OPERATIONS. CLEAN UP AFTER COMPLETED WORK AT THE END OF EACH DAY AND KEEP THE JOBSITE FREE AND CLEAR OF ANY DEBRIS. STORE MATERIALS CAREFULLY AND IF REQUIRED OBTAIN AND PAY FOR OFF-SITE STORAGE.
- DISPOSAL OF AND STOCKPILING OF EXCESS MATERIAL, WITHIN THE PLANNING AREA SHALL BE DONE IN SUCH A WAY THAT IT WILL NOT CREATE A NUISANCE TO THE ONGOING WORKS IN GENERAL AND THE NEIGHBORING SURROUNDINGS.
- ANY DAMAGE ON PUBLIC AREA AND/OR ON THE CLIENT'S PREMISES CAUSED BY THE ONGOING PROJECT WORKS SHALL BE RESTORED IN ITS ORIGINAL CONDITION, WITH NO ADDITIONAL COST IMPLICATION TO THE OWNERS.
- LOCATE UTILITIES BEFORE CUTTING OR DIGGING-KNOW WHERE THEY ARE AND MARK THEM UNDERGROUND. UTILITIES SHOWN ON THE PLANS ARE SCHEMATIC ONLY. IF THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND AVOID INTERFERENCE WITH (E) LINES.
- GYPSUM WALL BOARD AND CEILINGS: PROVIDE U.S. MANUFACTURED MATERIALS AND FINISH IN ACCORDANCE WITH THE GYPSUM BOARD ASSOCIATION'S GUIDELINES AND INSTRUCTIONS. FOLLOW FIRE RATED ASSEMBLY CONSTRUCTION AND MARK WALL RATINGS IN 4" RED LETTERS ABOVE CEILING EVERY 10'. USE VERTICAL EXPANSION TRACK AT ALL DESKS OR FRAMING MEMBERS. 1/2" THICKNESS MAY BE USED BEHIND FRP IF RATING IS NOT REQUIRED. USE GREENBOARD IN ALL WET AREAS. PROVIDE FIRE RATED SEALANTS WHERE REQUIRED AND FLASH WALL TO FLOOR ALONG DEMISING WALLS. USE FIRE TREATED WOOD AND PLYWOOD FOR BACKING WHERE WOOD IS NOT ALLOWED. INSTALL CEILINGS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- METAL OR WOOD FRAMED WALLS: USE WOOD FRAMING ONLY WHERE ALLOWED AND METAL FRAMING WHERE THE BUILDING IS NOT ALLOWED TO HAVE COMBUSTIBLE MATERIALS. PROVIDE MATERIALS FROM A STEEL FRAMING INDUSTRY ASSOCIATION (SFI) MEMBER AND FOLLOW THE GUIDELINES AND INSTRUCTIONS SET FORTH BY SFI. 3 1/2" TRACK AND UTILITY STUD FRAMING 2X11.
- ALL WOOD EXPOSED TO THE WEATHER, IN CONTACT WITH THE GROUND OR ENTERING EXTERIOR MASONRY WALLS SHALL BE PRESERVATIVE TREATED (P.T.).
- ALL FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPED GALVANIZED OR STAINLESS STEEL.
- ALL STRUCTURAL CONNECTORS & HANGERS SHALL BE HOT-DIPPED GALVANIZED STEEL.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IF A DISCREPANCY IS DISCOVERED, COORDINATE WITH ARCHITECT TO RESOLVE THE ISSUE TO ACHIEVE THE INTENT OF THE DRAWINGS.
- COORDINATE WITH OWNER ALL ACTUAL FINISHES AND MATERIAL SAMPLES.
- ELECTRICAL SHALL BE DESIGN/BUILD PER LATEST NEC. COORDINATE FIXTURES, SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER. LIGHTING SHALL BE PROVIDED BY OWNER INSTALLED BY CONTRACTOR.
- DATA SHALL BE DESIGN/BUILD. COORDINATE SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER.
- VENTILATION AIR CONDITIONING SHALL BE DESIGN/BUILD PER LATEST CODES. COORDINATE SYSTEM TYPES AND PERFORMANCE SPECIFICATIONS WITH OWNER.
- PLUMBING SHALL BE DESIGN/BUILD PER LATEST CODES. COORDINATE SYSTEM TYPES AND PERFORMANCE TYPES WITH OWNER.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS (ROUGH FRAMING), FACE OF BRICK OR FACE OF SHEATHING, FACE OF EXISTING FINISHED WALLS TO REMAIN, CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. USE STATED DIMENSIONS ONLY.
- ALL WINDOWS WITH SILLS 24" OR LESS A.F.F. AND 6" OR MORE ABOVE EXTERIOR GRADE SHALL HAVE WINDOW OPENING DEVICES PER IRC S312.
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF MFC 14C5 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING AND BATTERY BACK-UP POWER.
- SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING w/UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE w/ IRC 14C5 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

STUD SPACING

SPACING SHALL BE IN ACCORDANCE WITH TABLE R802.3 (5).  
NOTE: ALIGN WALL STUDS WITH FLOOR JOISTS WHEN POSSIBLE

TOP PLATE:

WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES.

DRILLING AND NOTCHING WALL STUDS PERMITTED ONLY AS OUTLINED IN THIS SECTION.

GIRDERS AND HEADERS:

ALLOWABLE SPANS FOR GIRDER/HEADERS:

- T R802.7 (1) FOR EXTERIOR BEARING WALLS
- T R802.7 (2) FOR INTERIOR BEARING WALLS
- T R802.7 (3) FOR OPEN PORCHES

CUTTING, DRILLING AND NOTCHING OF STRUCTURAL MEMBERS MUST COMPLY WITH THE LIMITATIONS SPECIFIED IN THIS SECTION FOR SAWN LUMBER (R 802.7.1) OR ENGINEERED PRODUCTS (R 802.7.2). CANTILEVERED MEMBERS MUST MEET THE LIMITATIONS OF R 802.7.1.1.

ASPHALT SHINGLE UNDERLAYMENT

IS REQUIRED AND MUST BE ADHESIVE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION. MATERIALS AND ATTACHMENT MUST CONFORM TO SECTION R 905.1.1 (TABLES) R905.1.1 (1)(3).

ICE SHIELDS

THAT CONSIST OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

36" MIN. UP FROM ALL EAVES

UP ALL VALLEYS

AT ALL SLOPES LESS THAN 4:12 PITCH.

SHALL COMPLY WITH R905.1.2

FLASHING

FOR ASPHALT SHINGLES IS REQUIRED AT BASES AND CAPS, VALLEYS, VERTICAL SIDEWALLS AND AGAINST A VERTICAL FRONT WALL. SOIL STACK AND VENT PIPE IN ACCORDANCE WITH THIS SECTION AND SECTIONS R 703.4 AND R 903.2.

APPROVED CORROSION-RESISTANT FLASHING IS REQUIRED TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF THE STRUCTURAL FRAMING. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS:

- EXTERIOR WINDOW AND DOOR OPENINGS
- AT THE INTERSECTION OF CHIMNEYS WITH FRAME OR STUCCO WALLS
- UNDER AND AT THE ENDS OF COPINGS AND SILLS
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY
- AT WALL AND ROOF INTERSECTIONS
- AT BUILT-IN GUTTERS

ROOF DRIP EDGE:

A DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES

ROOF SHEATHING

THICKNESS MUST COMPLY WITH TABLE R 803.1

ANCHORS

SHALL COMPLY WITH R803.1.8

WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, WOOD SOLE PLATES OF BRACED WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET (1829 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND A MINIMUM OF 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318.

BEARING

THE ENDS OF JOISTS, BEAMS OR GIRDERS SHALL HAVE NOT LESS THAN 1.5 INCHES BEARING ON WOOD

COLUMNS AND POSTS

MUST BE RESTRAINED FROM LATERAL DISPLACEMENT AT THE BOTTOM ENDS

LOAD TRANSFER

PROVIDE SOLID BLOCKING BELOW ALL POSTS DOWN TO FOOTING

NOTE: DOUBLE OR LADDER JOISTS BELOW PARALLEL WALLS

FINISH GRADE

CONFIRM ALL FINISH GRADE AND FIN. FLOOR ELEVATIONS WITH APPROVED SITE ENGINEERING.

STEPPED FOOTINGS

PROVIDE STEPPED FOOTINGS AND LEDGES AS REQUIRED. CONFIRM LOCATIONS WITH G.C.

SLABS

SLABS SHALL BE CONSTRUCTED WITH CONTROL JOINTS HAVING A DEPTH OF AT LEAST 1/4 SLAB THICKNESS AND JOINTS SPACES @ INTERVALS NOT TO EXCEED 30'-0" IN EACH DIRECTION AND SLABS NOT RECTANGULAR IN SHAPE SHALL HAVE CONTROL JOINTS ACROSS SLAB @ POINTS OF OFFSET, IF OFFSET OVER 10'-0".

GARAGE SLABS SHALL BE SLOPED TO ADHERE TO R809.1

BEAMS

ALL STRUCTURAL STEEL BEAMS SHALL HAVE 2X4 TOP PLATE. SECURE PLATE TO BEAM WITH (2) ROWS OF 10'-0" IN ANCHORS @ 48" O.C. STAGGER ROWS.

INSULATION

ALL EXPOSED INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN THE FLOOR-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME-SPREAD RATING OF < 25 & SMOKE DENSITY < 450. EXCEPTION: WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME-SPREAD AND SMOKE DEVELOPMENT LIMITATIONS DO NOT APPLY TO THE FACINGS. PROVIDED THE FACINGS ARE INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

ATTIC ACCESS

SHALL ADHERE TO R807.1

EGRESS

OPENINGS SHALL ADHERE TO R310.1

LANDINGS SHALL COMPLY WITH R311.2

ROOF VENTILATION

SHALL COMPLY WITH R806.2

ROOF TIE DOWNS

SHALL ADHERE TO R802.11.1

RATERS

SPECIES AND SPANS SHALL COMPLY w/R802.4 & R802.5

FOUNDATIONS

FOUNDATION WALLS, FOOTINGS, AND REINFORCEMENTS SHALL COMPLY w/2015 MRC CHAPTER 4 AS DETERMINED BY THE EXISTING SOIL PROPERTIES. PROVIDE ENGINEERED SOILS WHERE REQUIRED.

MANUFACTURER'S INSTALLATION INSTRUCTIONS

SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.

TRUSS DESIGN DRAWINGS

IN CONFORMANCE WITH R 802.10.1 SHALL BE PROVIDED FOR ANY PRE-ENGINEERED ROOF TRUSSES. THE DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL. DRAWINGS MUST INCLUDE LOADS USED IN THE DESIGN. TRUSS DESIGN DRAWINGS MUST BE SUBMITTED AT THE TIME OF APPLICATION OR PRIOR TO TRUSS INSTALLATION. FLOORS, TRUSSES, AND ENGINEERED LUMBER, FLOOR MEMBERS SHALL BE DESIGNED BY A REGISTERED DESIGN PROFESSIONAL AND DESIGN SPECIFICATIONS AND DRAWINGS MUST BE SUBMITTED FOR APPROVAL.

ENERGY CODE COMPLIANCE

G.C. SHALL COMPLY WITH 2015 MRC REQUIREMENTS OF CHAPTER 11.

INSULATION CONTRACTOR/INSTALLER SHALL PROVIDE CERTIFICATION OF ENERGY COMPLIANCE @ INSTALLATION.

WINDOW SPECIFICATIONS SHALL BE PROVIDED FOR COMPLIANCE.

ACCESS DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE TO BE WEATHER STRIPPED AND INSULATED TO MATCH SURROUNDING SURFACE THEY PENETRATE.

G.C. TO PROVIDE PERMANENT CERTIFICATE POSTED ON OR IN ELECTRICAL PANEL, INDICATING THE INSTALLED R-VALUES OF INSULATION, WINDOWS VALUES, HEATING AND COOLING EQUIPMENT TYPES AND EFFICIENCIES.

PRESUMPTIVE INSULATION RATINGS (MIN.)

CLIMATE ZONE:	7
WINDOWS:	U-0.32
ATTIC:	R-49
EXTERIOR WALL:	R-20 OR 13+5
CRAWL:	R-15

DESIGN CRITERIA

THE STRUCTURE MUST COMPLY WITH THE FOLLOWING:

GROUND SNOW LOAD:	60 PSF
(VERIFY WITH LOCAL AUTHORITY)	

RISK CATEGORY:	1
BASIC WIND SPEED:	90MPH
EXPOSURE CATEGORY:	B
ULTIMATE WIND SPEED:	115 MPH
(VERIFY WITH LOCAL AUTHORITY)	

SEISMIC DESIGN CATEGORY:

WEATHERING PROBABILITY FOR CONCRETE:	A
TERMITES INFESTATION PROBABILITY:	SEVERE SLIGHT

REQUIRED LIVE LOADS: (MRC TABLE R301.5)

ALL ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
BALCONIES AND DECKS	40 PSF
SLEEPING ROOMS	30 PSF
HABITABLE ATTICS	30 PSF
ATTICS WITH FIXED STAIRS	30 PSF
UNHABITABLE ATTICS - LIMITED STORAGE	20 PSF
UNHABITABLE ATTICS WITHOUT STORAGE	10 PSF

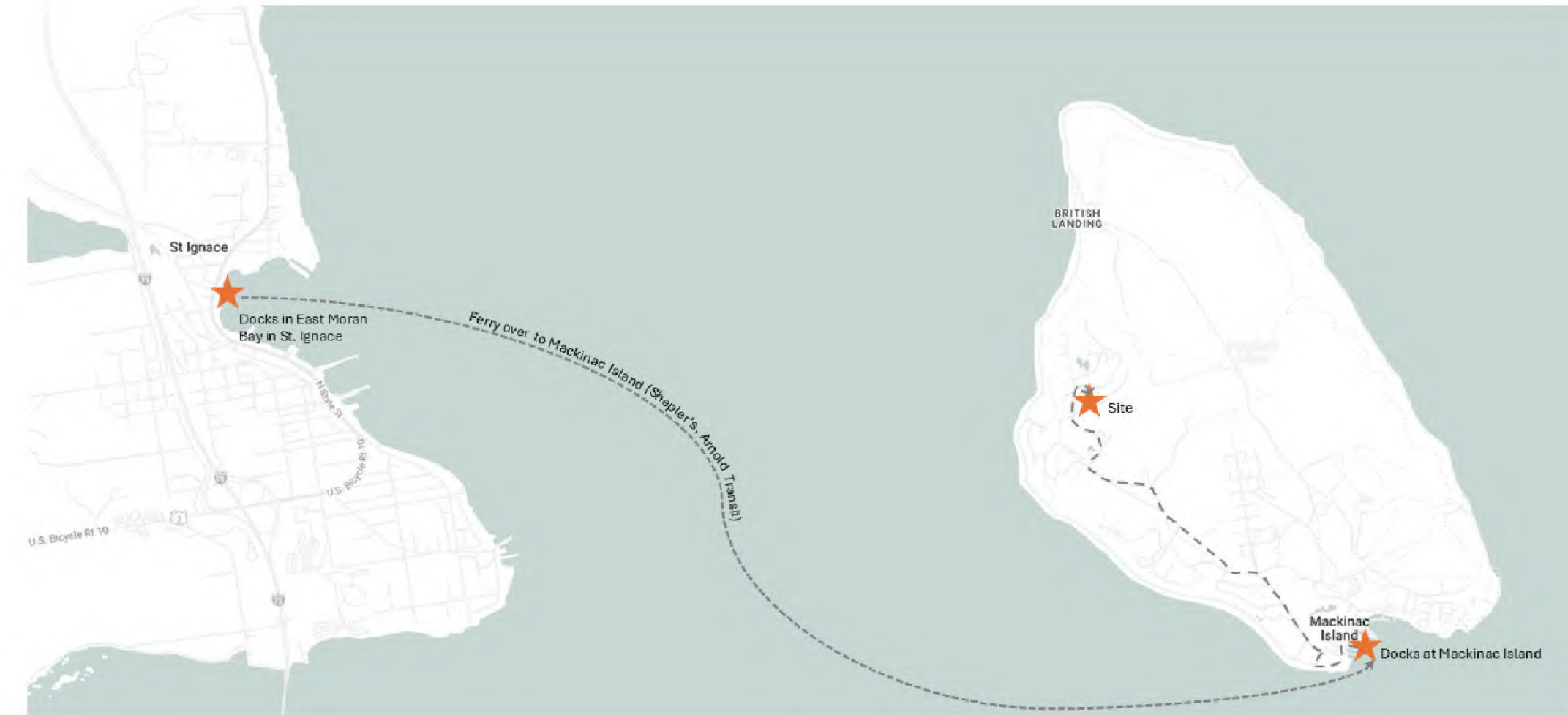
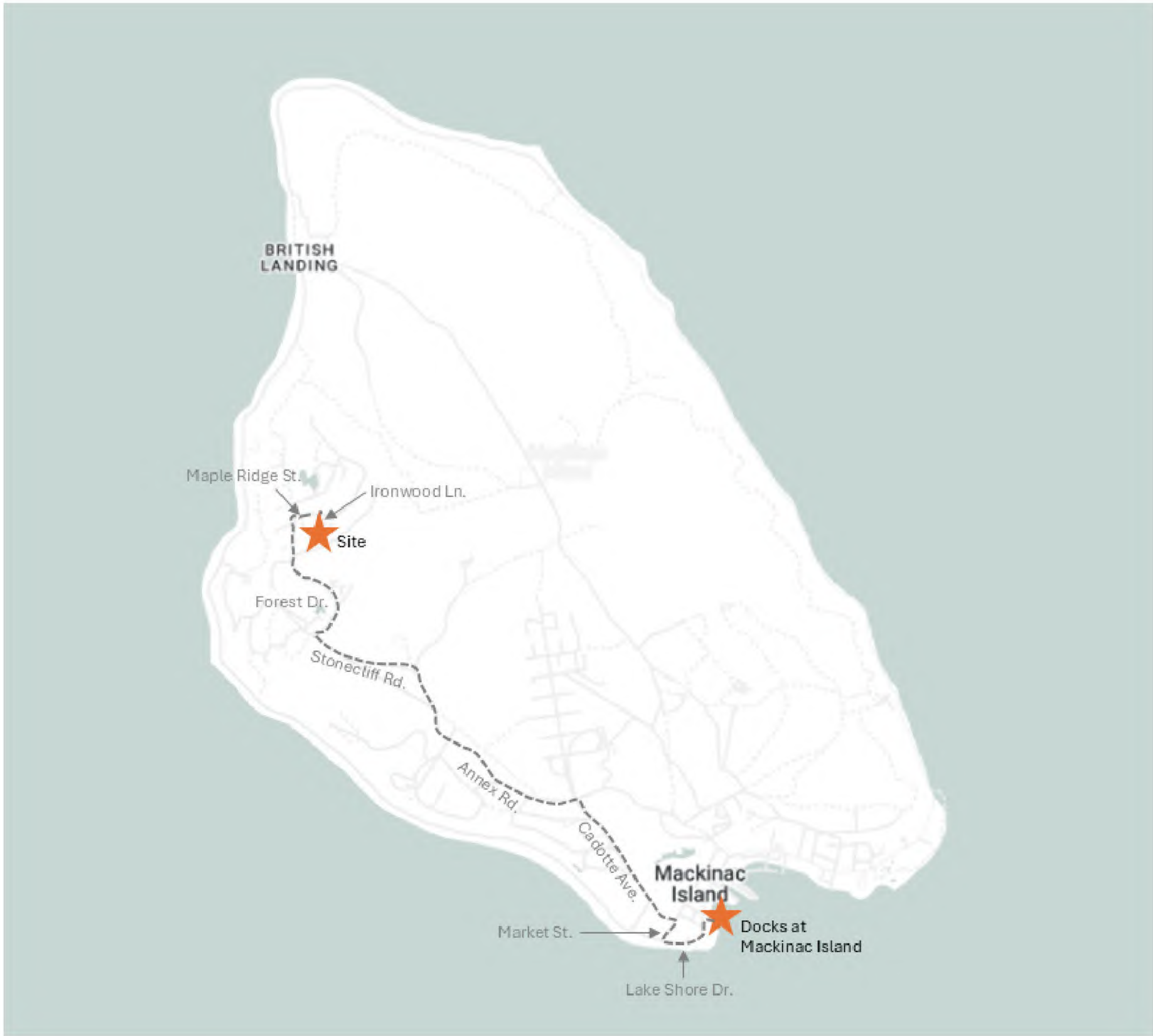
GUARDRAILS AND HANDRAILS:

200# CONCENTRATED LOAD APPLIED AT ANY DIRECTION AT ANY POINT ALONG TOP OF GUARDHANDRAIL	
50# HORIZONTAL LOAD AT INFL COMPONENTS	

PRESUMPTIVE SOIL BEARING

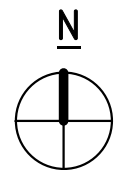
SANDY GRAVEL AND





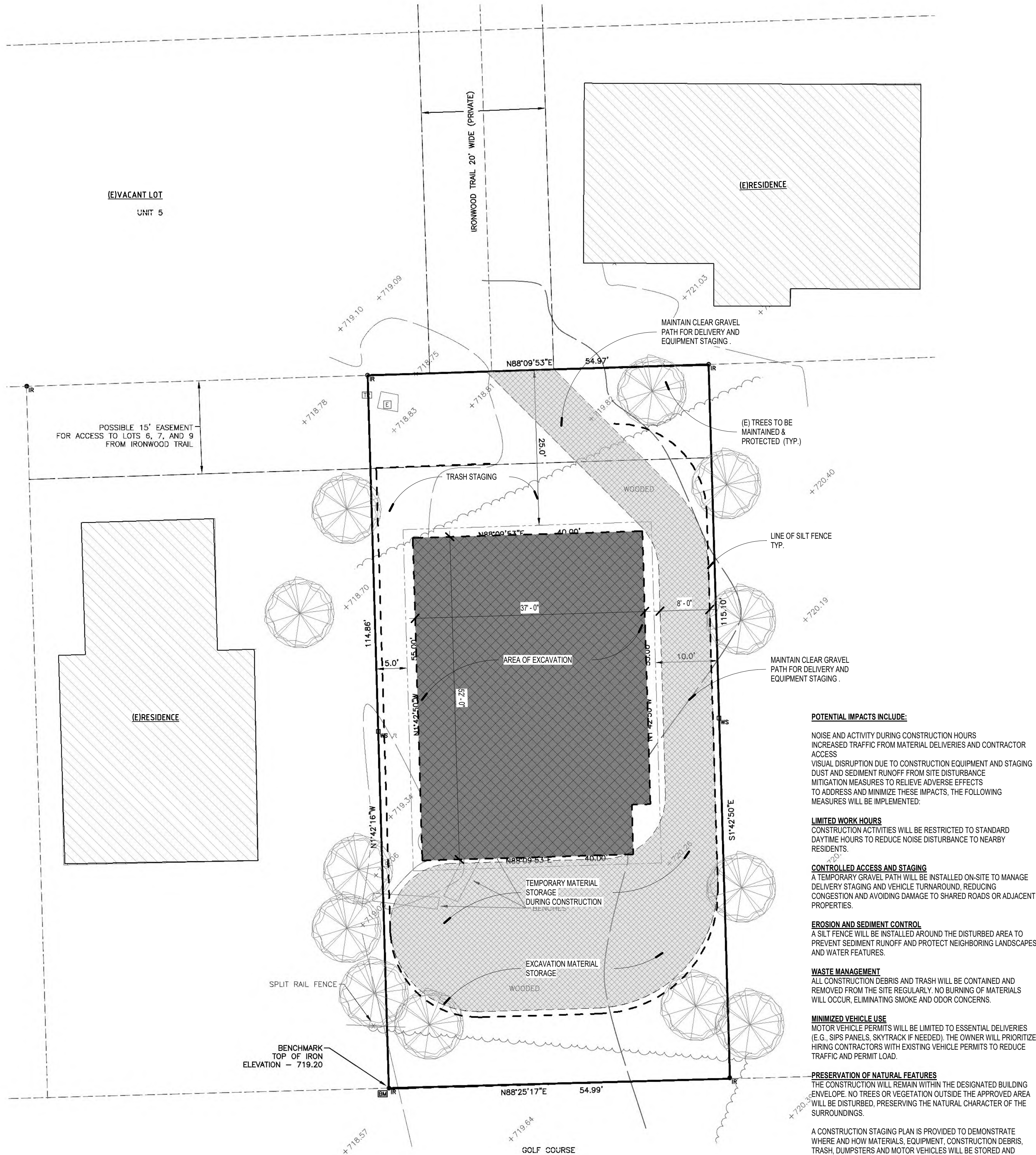
2 DELIVERY ROUTES

12" = 1'-0"



1 CONSTRUCTION & SOIL EROSION PLAN

1" = 10'-0"



POTENTIAL IMPACTS INCLUDE:

NOISE AND ACTIVITY DURING CONSTRUCTION HOURS  
INCREASED TRAFFIC FROM MATERIAL DELIVERIES AND CONTRACTOR ACCESS  
VISUAL DISRUPTION DUE TO CONSTRUCTION EQUIPMENT AND STAGING  
DUST AND SEDIMENT RUNOFF FROM SITE DISTURBANCE  
MITIGATION MEASURES TO RELIEVE ADVERSE EFFECTS TO ADDRESS AND MINIMIZE THESE IMPACTS, THE FOLLOWING MEASURES WILL BE IMPLEMENTED:

LIMITED WORK HOURS

CONSTRUCTION ACTIVITIES WILL BE RESTRICTED TO STANDARD DAYTIME HOURS TO REDUCE NOISE DISTURBANCE TO NEARBY RESIDENTS.

CONTROLLED ACCESS AND STAGING

A TEMPORARY GRAVEL PATH WILL BE INSTALLED ON-SITE TO MANAGE DELIVERY STAGING AND VEHICLE TURNAROUND, REDUCING CONGESTION AND AVOIDING DAMAGE TO SHARED ROADS OR ADJACENT PROPERTIES.

EROSION AND SEDIMENT CONTROL

A SILT FENCE WILL BE INSTALLED AROUND THE DISTURBED AREA TO PREVENT SEDIMENT RUNOFF AND PROTECT NEIGHBORING LANDSCAPES AND WATER FEATURES.

WASTE MANAGEMENT

ALL CONSTRUCTION DEBRIS AND TRASH WILL BE CONTAINED AND REMOVED FROM THE SITE REGULARLY. NO BURNING OF MATERIALS WILL OCCUR, ELIMINATING SMOKE AND ODOR CONCERNS.

MINIMIZED VEHICLE USE

MOTOR VEHICLE PERMITS WILL BE LIMITED TO ESSENTIAL DELIVERIES (E.G. SIPS PANELS, SKYTRACK IF NEEDED). THE OWNER WILL PRIORITIZE HIRING CONTRACTORS WITH EXISTING VEHICLE PERMITS TO REDUCE TRAFFIC AND PERMIT LOAD.

PRESERVATION OF NATURAL FEATURES

THE CONSTRUCTION WILL REMAIN WITHIN THE DESIGNATED BUILDING ENVELOPE. NO TREES OR VEGETATION OUTSIDE THE APPROVED AREA WILL BE DISTURBED, PRESERVING THE NATURAL CHARACTER OF THE SURROUNDINGS.

A CONSTRUCTION STAGING PLAN IS PROVIDED TO DEMONSTRATE WHERE AND HOW MATERIALS, EQUIPMENT, CONSTRUCTION DEBRIS, TRASH, DUMPSTERS AND MOTOR VEHICLES WILL BE STORED AND SECURED DURING CONSTRUCTION. THIS PLAN SHALL ENSURE THE SITE IS KEPT CLEAN, SHOW HOW CONSTRUCTION DEBRIS AND TRASH WILL BE CONTROLLED, AND HOW SAFETY ISSUES WILL BE SECURED INCLUDING ANY NECESSARY FENCING OR BARRIERS THAT WILL BE NEEDED.

NOTES

- DO NOT SCALE PLANS
- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- SEPARATION OF SHEETS IS NOT PERMITTED.
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURER'S SPECS FOR DURATION OF CONSTRUCTION.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2024 BIGGDESIGNS, LLC

REQUESTS FOR INFORMATION (RFI)

- ALL RFIs SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL. TEXT/CALL RFIs WILL NOT BE ACCEPTED.
- SUBSTITUTIONS/ALTERNATES MUST BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE/INSTALL AND MAY REQUIRE A MIN. \$150.00 REVIEW FEE UNLESS OTHERWISE APPROVED IN CLIENT'S SERVICE AGREEMENT.

DEFERRED SUBMITTALS

- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.



PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS

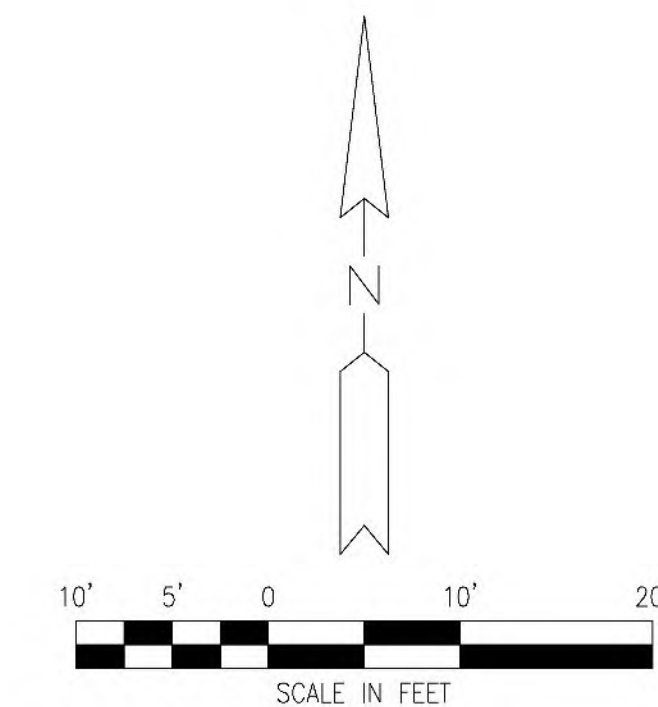
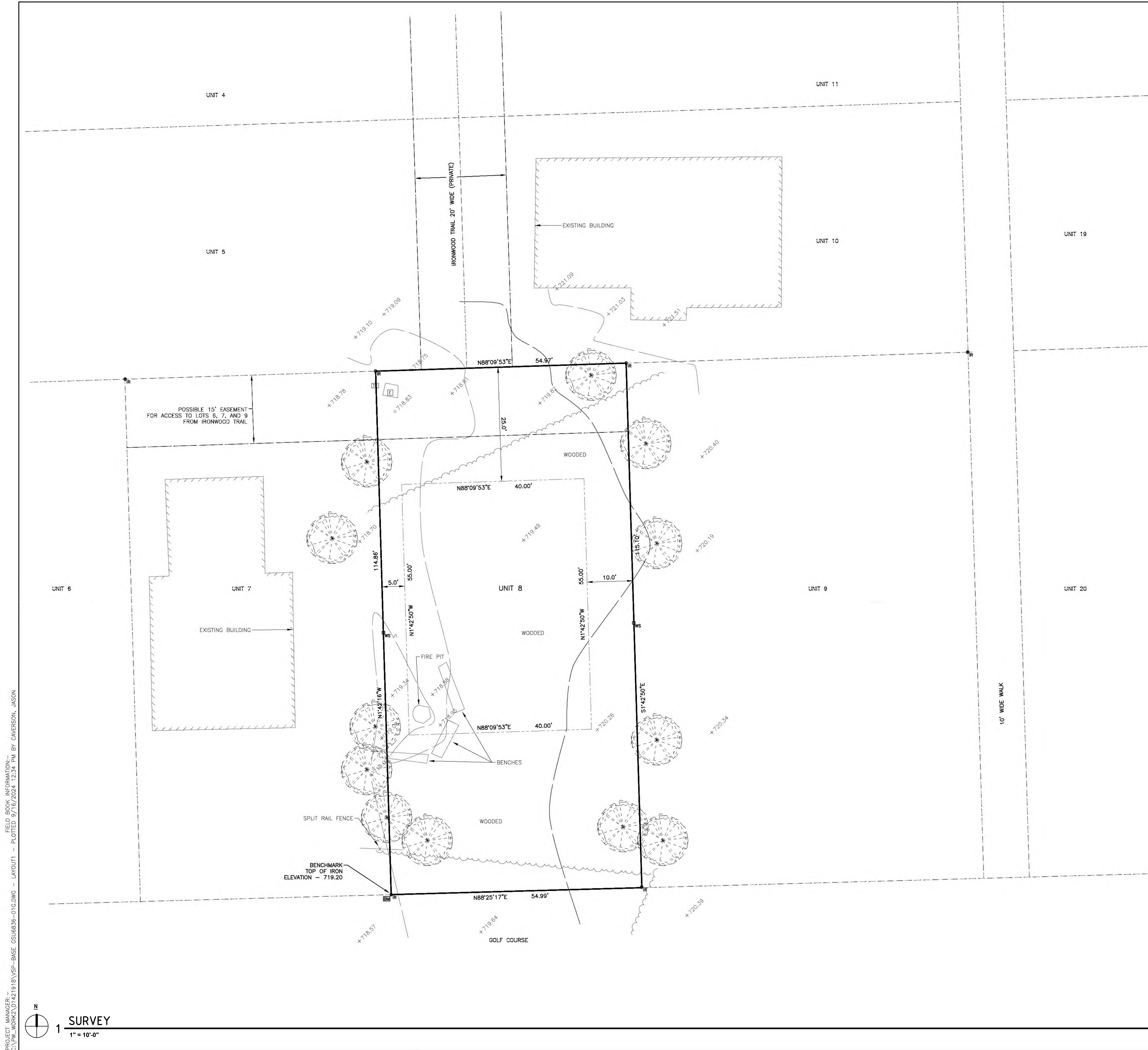
FREIGHT/HAULING PLAN  
08.20.2025

REV

REV NOTE DATE

T03





	EXISTING
PROPERTY CORNER (IRON SET)	⊙ <sub>R</sub>
PROPERTY CORNER (PK NAIL AS NOTED)	● <sub>IR</sub>
SET WOOD STAKE ON PARCEL LINES	⊞ <sub>WS</sub>
ELECTRIC TRANSFORMER	Ⓛ
TELEPHONE PEDESTAL	Ⓣ <sub>P</sub>
BOUNDARY LINE OF UNIT 8	_____
BUILDING ENVELOPE FOR UNIT 8	-----
OTHER UNIT LINES	-----
TREE LINE	~~~~~

DATUMS

The bearing basis shown hereon is based on the Michigan State Plane Coordinates, North Zone, International Feet.

The vertical datum is NAVD88 from GPS observation.

Setbacks (as shown)

Rear - 25 feet (North side)  
Sides - West 5 feet, East 10 feet  
Front - 35 feet (South side)

Boundary Notes -

The Exhibit B drawings of the Units show different dimensions for the depth of Unit 8. Based on scaling the Exhibit B drawings and comparing to other previous surveys performed in the development the dimensions shown herein, are correct.

The 15' easement for ingress and egress to Units 7 and Units 9, is not labeled on the Exhibit B page obtained for this survey. It is shown as an assumed easement, but has no impact on the development area of this Unit.

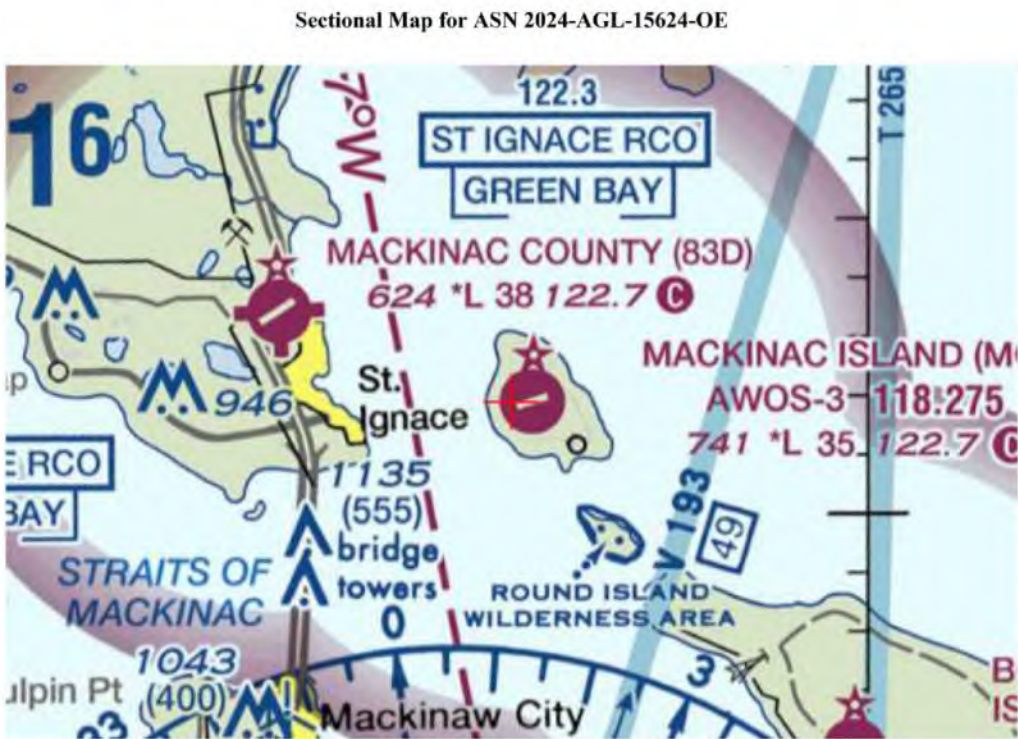
[illegible]

**WADE TRIM**

4241 Oak US 27 S., Suite 1  
Oxford, MI 48734  
989.732.3564  
[www.wadetrim.com](http://www.wadetrim.com)

<h1 style="margin: 0;">LESHON PIERSON</h1>		
<p>TOPOGRAPHIC SURVEY OF UNIT 8          STONECLIFFE MANOR CONDOMINIUM          MACKINAW ISLAND, MACKINAW COUNTY, MICHIGAN</p>		
<div style="display: flex; justify-content: space-between;"> <span>ISSUED FOR:</span> <span>DATE:</span> <span>BY:</span> </div>		
<div style="display: flex; justify-content: space-between;"> <span>JOB NO.</span> <span>GSU68836-01G</span> </div>		
<div style="display: flex; justify-content: space-between;"> <span>SHEET</span> <span>1 OF 1</span> </div>		





Verified Map for ASN 2024-AGL-15624-OE



TOPO Map for ASN 2024-AGL-15624-OE



Additional information for ASN 2024-AGL-15624-OE

A full list of acronyms and abbreviations is available at the FAA's public website at [https://oaaaa.faa.gov/oaaaa/downloads/external/content/FAA\\_Acronyms.pdf](https://oaaaa.faa.gov/oaaaa/downloads/external/content/FAA_Acronyms.pdf)

Part 77 - Title 14 CFR Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

Our study has disclosed that the proposed structure located approximately 472 feet northwest of Runway End 08 at Mackinac Island Airport (MCD), Mackinac Island, MI.

At the proposed height, the structure will penetrate protected airport surfaces:

1. 77.17 (a)(3) A height within a terminal obstacle clearance area, including an initial approach segment, a departure area, and a circling approach area, which would result in the vertical distance between any point on the object and an established minimum instrument flight altitude within that area or segment to be less than the required obstacle clearance.

At 753 AMSL, 4D, MACKINAC ISLAND (MCD) MACKINAC ISLAND, MI. Obstacle penetrates RWY 26 40:1 departure surface 21 feet. Qualifies as low, close-in penetration with climb gradient termination altitude 200 feet or less above DER, requiring TAKEOFF MINIMUMS AND (OBSTACLE) DEPARTURE PROCEDURES, AMDT 2, TAKEOFF OBSTACLE NOTES: RWY 26, Building 131 feet from departure end of runway, 453 feet right of centerline, 34 AGL, 753 AMSL, NEH 732 AMSL (4D/2C).

\*Part 77 obstruction standards are used to screen the many proposals submitted in order to identify those which warrant further aeronautical study. This study is conducted in order to determine if the proposal would have a significant adverse effect on aeronautical operations and airspace. While part 77 obstruction standards may trigger formal aeronautical study, including public circularization, these obstruction standards do not constitute absolute or arbitrary criteria for identification of hazards to air navigation. Accordingly, the fact that a proposed structure exceeds certain obstruction standards of part 77 is in itself not sufficient grounds for issuance of a determination of hazard to air navigation.

EFFECT ON AERONAUTICAL OPERATIONS

- a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR: None.
- b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR: None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR minimum flight altitudes.

AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
- > The proposed structure would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports.
- > The proposed structure would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

c. The impact on all planned public-use airports and aeronautical facilities: None.

The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures: Cumulative impact was not a deciding factor for this determination.

CIRCULARIZATION AND NEGOTIATIONS

The proposal was not circularized to the public for comment, as current FAA policy exempts from circularization those proposals which penetrate the 40:1 departure surface and do not raise minima. The penetration to the departure surface in the ICA will require a note in the TAKE-OFF MINIMUM AND (OBSTACLE) DEPARTURE PROCEDURES AND DIVERSE VECTOR AREA (RADAR VECTORS).

The cumulative impact of the proposed structure is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned public-use or military airport.

Therefore, it is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

Although the structure exceeds Part 77, 77.17 (a)(3), there would be no effects on any existing or proposed en route VFR operations. There are no physical or electromagnetic effects on the operation of air navigation and communications facilities. The study did not disclose any effects on any airspace and routes used by the military. It would impact MCD airport, but no other existing or planned public use of military airport would be impacted.

CONDITIONS

The incorporation of obstruction marking and lighting was considered but deemed not necessary to provide additional conspicuity for IFR and VFR pilots flying in this vicinity. The surrounding trees are taller than the structures in the area.

DETERMINATION - NO HAZARD TO AIR NAVIGATION



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2024-AGL-15624-OE

Issued Date: 12/10/2024

Michael Nachazel  
Wade Trim  
4241 Old Us 27 S  
Suite 1  
Gaylord, MI 49734

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	House House
Location:	Mackinac Island, MI
Latitude:	45-51-53.54N NAD 83
Longitude:	84-38-40.89W
Heights:	719 feet site elevation (SE)
	34 feet above ground level (AGL)
	753 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☐ At least 10 days prior to start of construction (7460-2, Part 1)
- ☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/10/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (817) 222-4244, or [ashley.m.wilson@faa.gov](mailto:ashley.m.wilson@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-15624-OE.

Signature Control No: 638978932-641468952

Ashley Wilson  
Specialist

( DNE )

Attachment(s)  
Additional Information  
Map(s)



• SCHEMATIC ONLY  
• NOT FOR CONSTRUCTION  
• COPYRIGHT 2024  
• BIGGDESIGNS, LLC

PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
APPROVAL LETTER  
12.10.2024

REV

REV	NOTE	DATE
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FAA



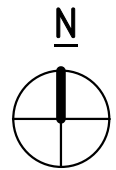
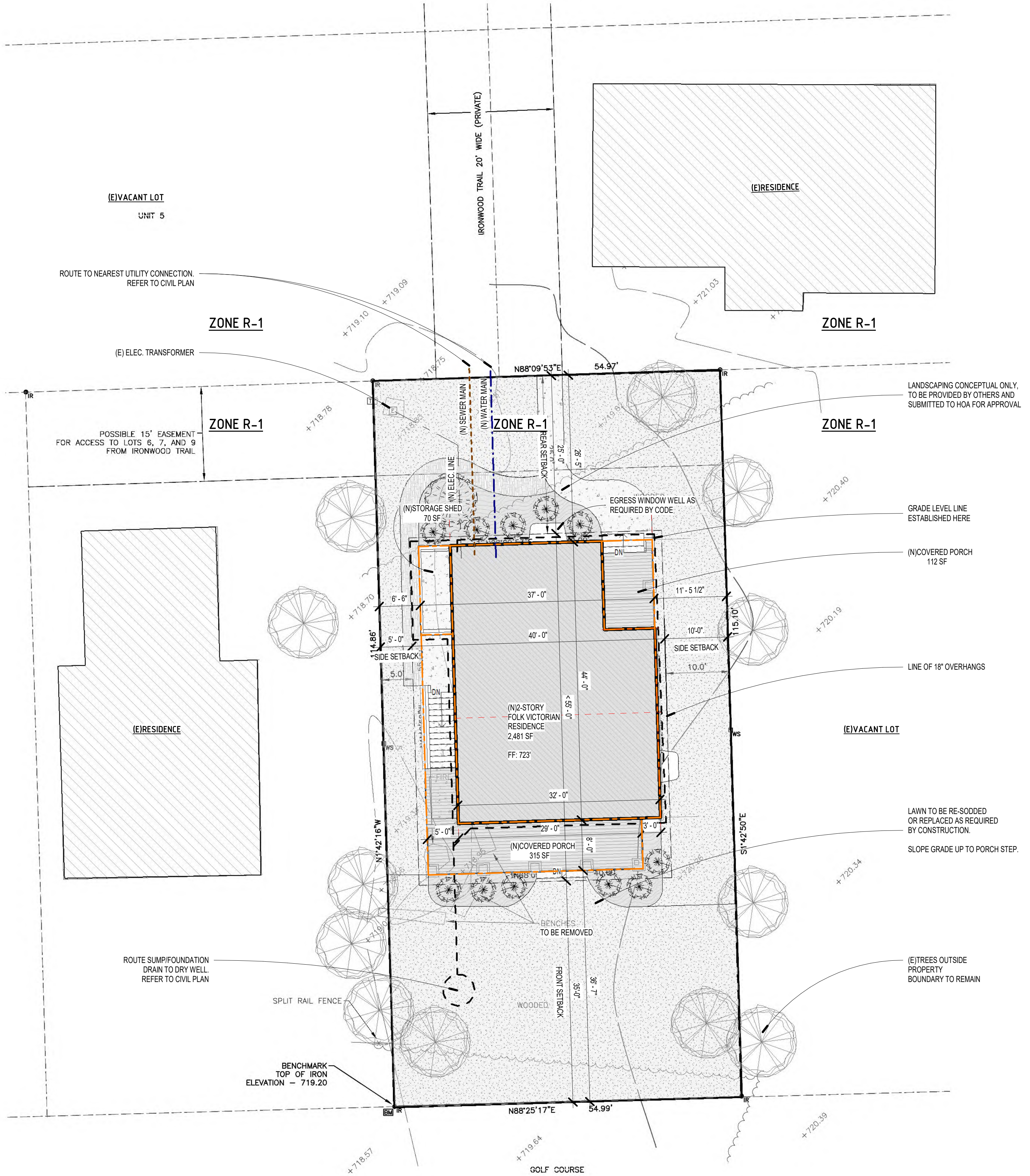
PROPERTY DESCRIPTION

PROJECT NARRATIVE: NEW 2-STORY VICTORIAN STYLE RESIDENCE

P.I.N.: 051-755-008-00  
LEGAL DESCRIPTION: 295/01.02 370/281-286 302/426 313/580 UNIT NO. 8 STONECLIFFE MANOR CONDOMINIUM  
ZONE: R-1  
SITE AREA: 0.145 AC

PROPOSED DEVELOPMENT OPERATIONS  
SINGLE FAMILY HOME FOR PRIVATE RESIDENCE

FREIGHT HAULING PLAN IS PROVIDED.



1 ARCHITECTURAL SITE PLAN  
1" = 10'-0"

THIS IS NOT A LEGAL SURVEY. NOR IS IT INTENDED TO BE OR REPLACE A LEGAL SURVEY.

NOTES

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
ARCHITECTURAL SITE PLAN  
08.20.2025

REV

REV	NOTE	DATE
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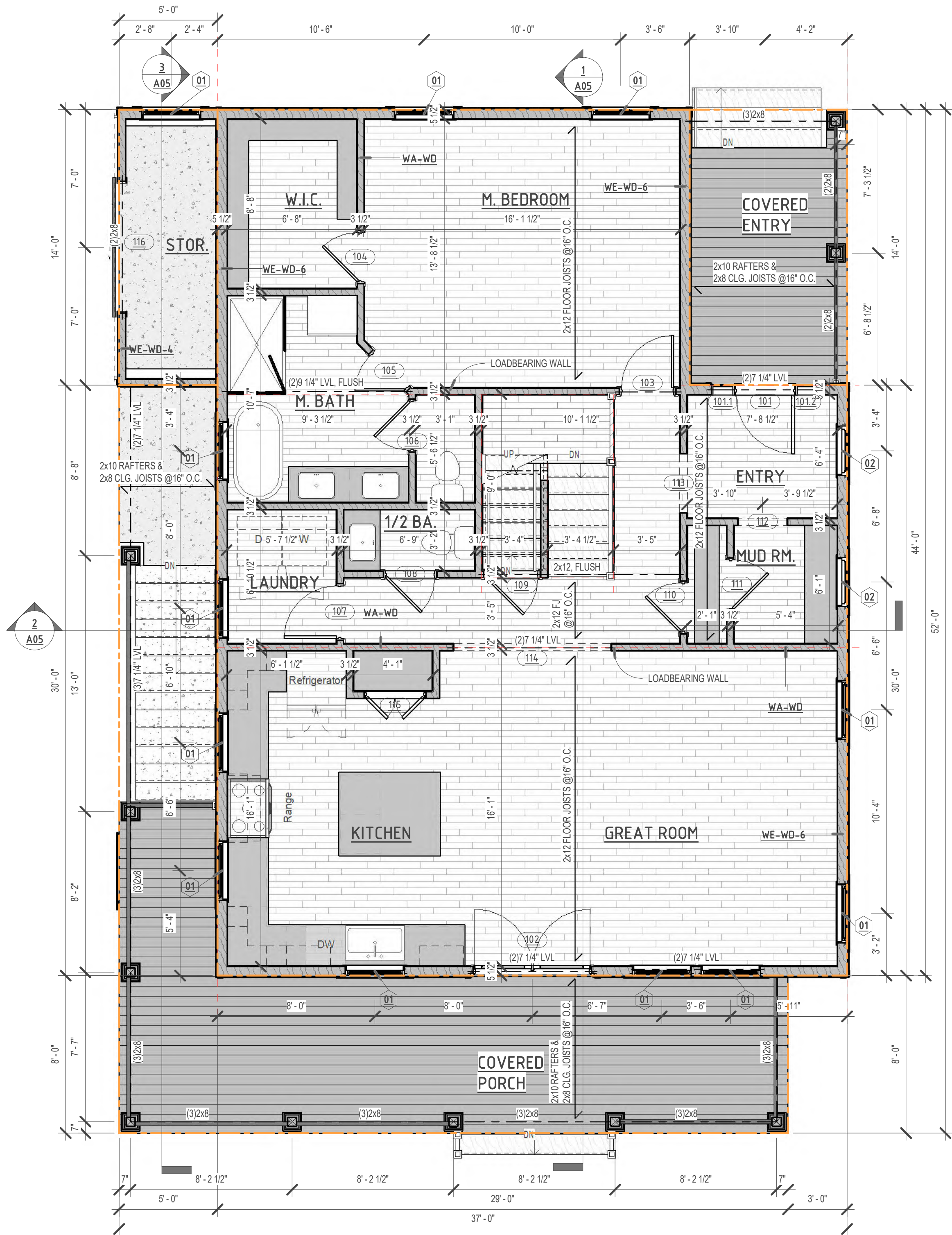
UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. PRIOR TO CONSTRUCTION, ALL LOCATION AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

A00

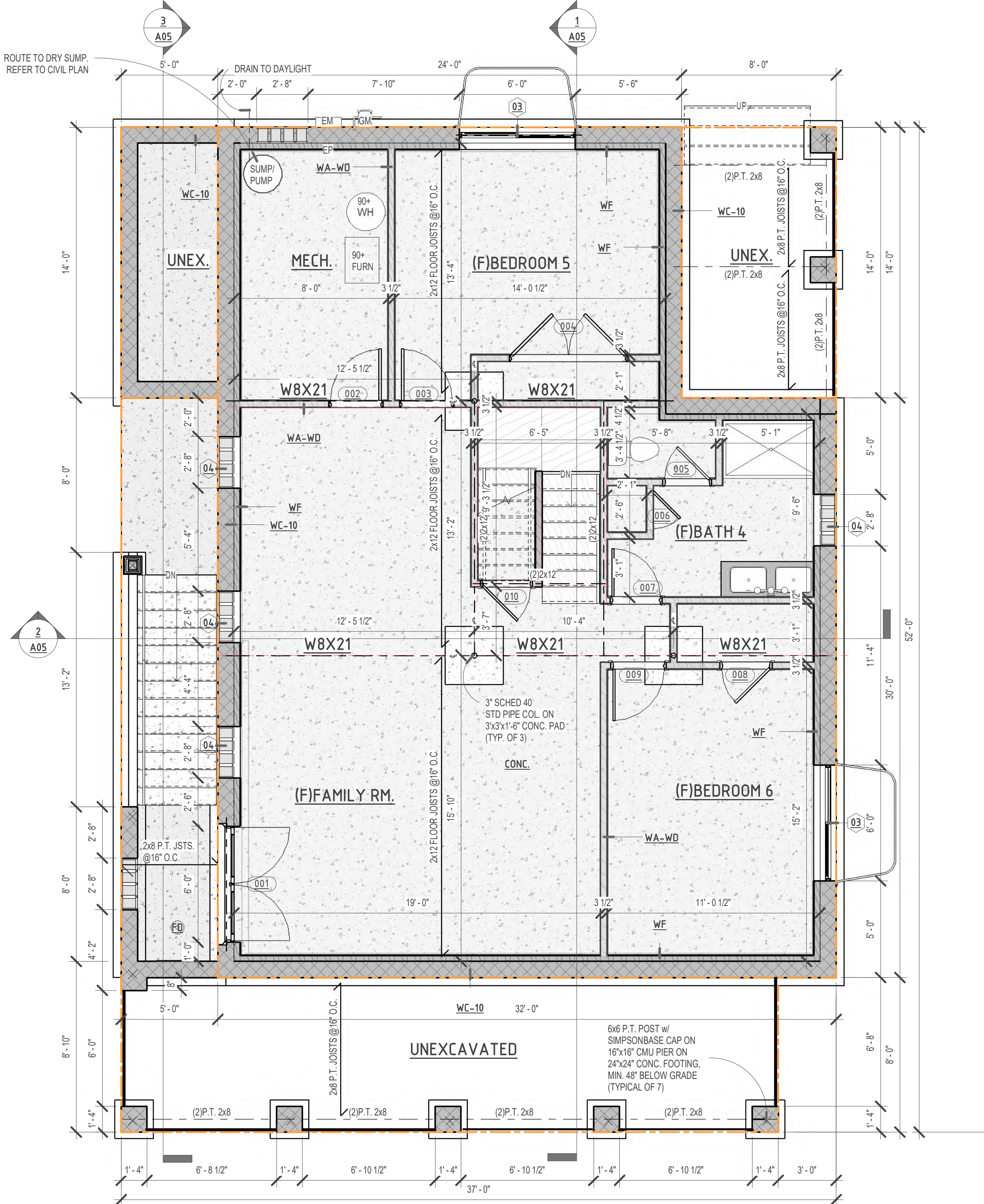


DOOR SCHEDULE

MARK	WIDTH	HT.	TYPE	NOTES
001	6'-0"	8'-0"	ENTRY	
002	2'-8"	8'-0"		
003	2'-8"	8'-0"		
004	6'-0"	8'-0"		
005	2'-4"	8'-0"		
006	2'-4"	6'-8"		
007	2'-6"	8'-0"		
008	2'-6"	8'-0"		
009	2'-8"	8'-0"		
010	2'-6"	8'-0"		
011	3'-0"	8'-0"	ENTRY	
101.1	1'-0"	8'-0"	SIDELITE	
101.2	1'-0"	8'-0"	SIDELITE	
102	6'-0"	8'-0"		
103	2'-8"	8'-0"		
104	2'-6"	8'-0"		
105	2'-6"	8'-0"		
106	2'-8"	8'-0"		
107	2'-8"	8'-0"		
108	2'-6"	8'-0"		
109	2'-8"	8'-0"		
110	2'-6"	8'-0"		
111	2'-6"	8'-0"		
112	2'-6"	8'-0"	CASED OPENING	
113	3'-0"	8'-0"	CASED OPENING	
114	8'-0"	8'-0"	CASED OPENING	
115	3'-0"	8'-0"		
116	6'-8"	9'-1"	DOUBLE SLIDER	
201	2'-8"	8'-0"		
202	2'-6"	8'-0"		
203	2'-6"	8'-0"		
204	1'-6"	8'-0"		
205	2'-6"	8'-0"		
206	2'-6"	8'-0"		
207	2'-8"	8'-0"		
208	5'-0"	8'-0"		
209	2'-8"	8'-0"		
210	2'-4"	8'-0"		



1 FIRST FLOOR  
1/4" = 1'-0"



2 BASEMENT  
1/4" = 1'-0"

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
BASEMENT & FIRST FLOOR  
PLANS  
08.20.2025

REV

REV NOTE DATE

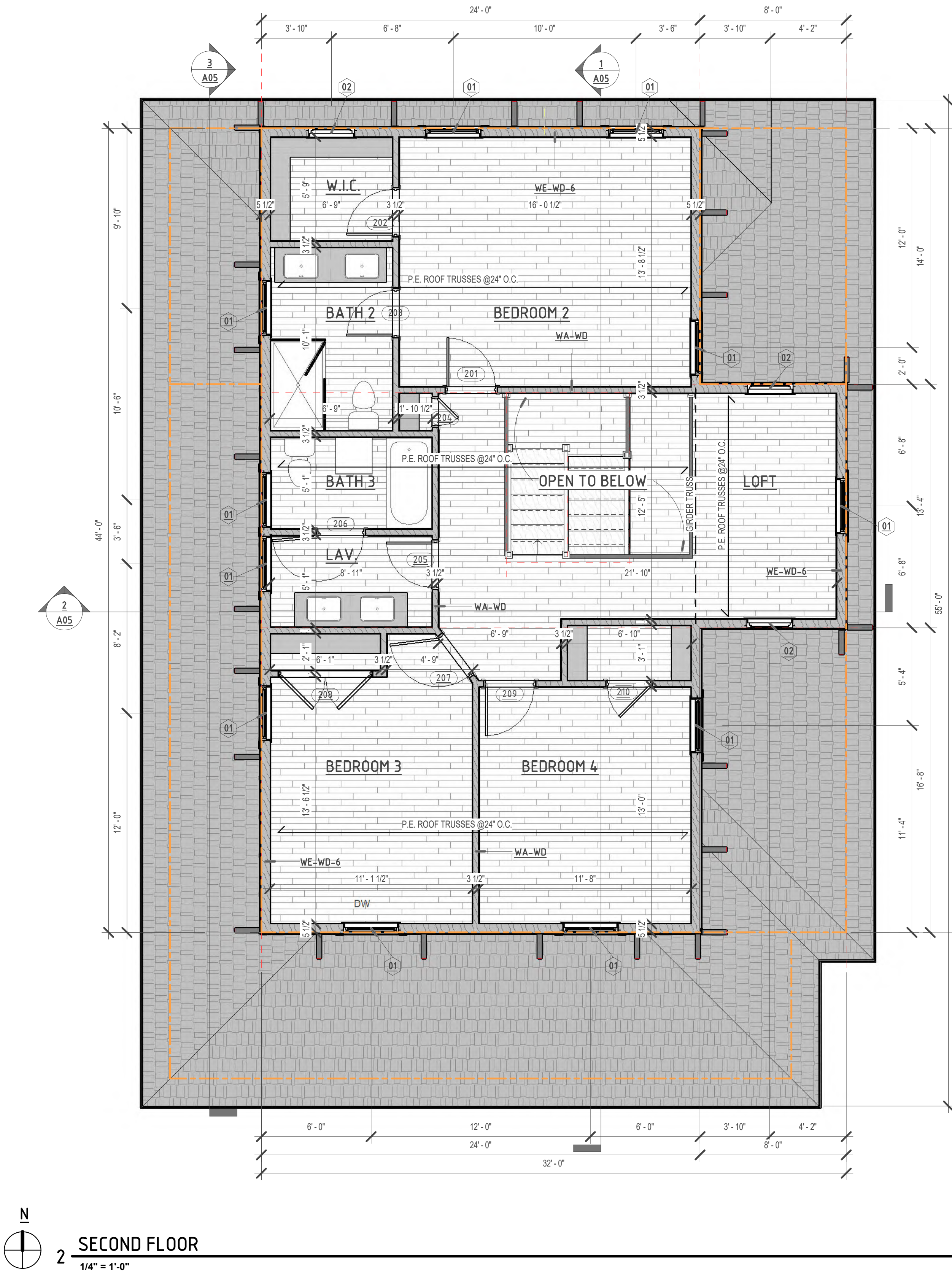
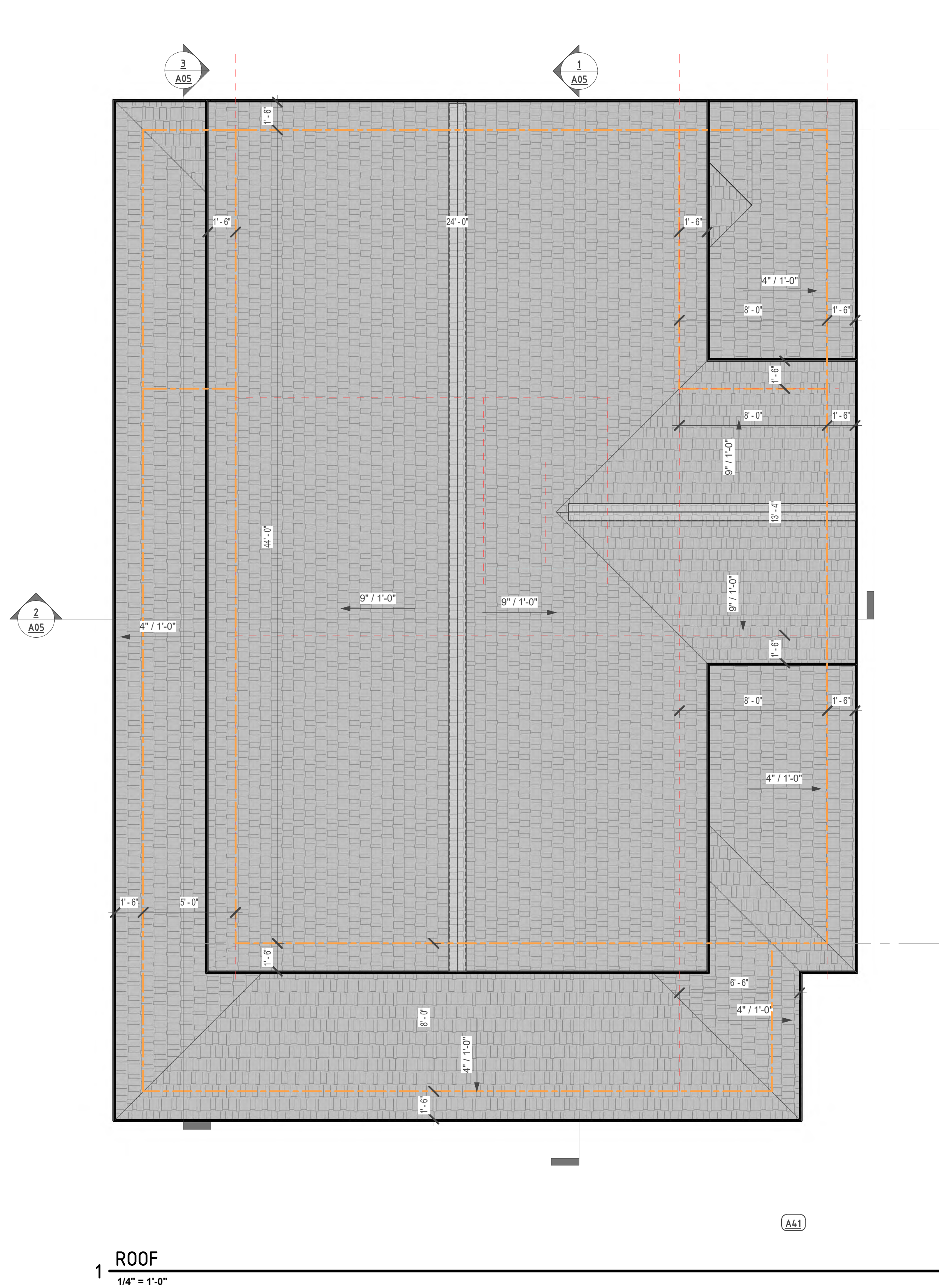


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## ROOF NOTES

TAG  
A41

**NOTE CONTENT**  
ROOF VENTILATION:  
AN AIRSPACE OF NOT LESS THAN 1 INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
THE NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL-SPACE AREA.



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WWW.BIGGARCHITECTURE.COM  
2537 UNION LAKE ROAD  
COMMERCE TWP, MI 48382  
248.886.4460

## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
SECOND FLOOR & ROOF PLAN  
08.20.2025

## REV

REV	NOTE	DATE
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A02

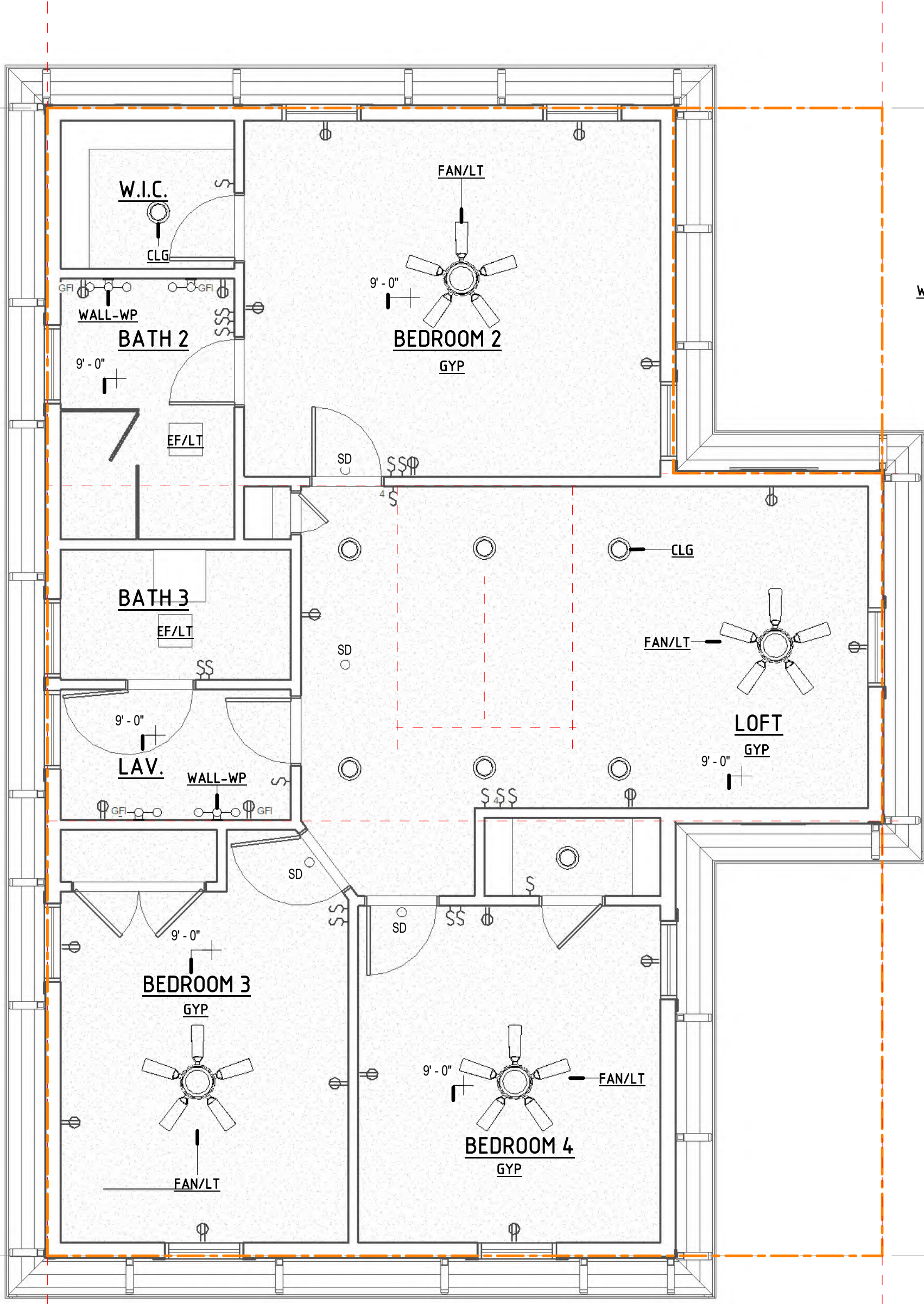


CEILING NOTES

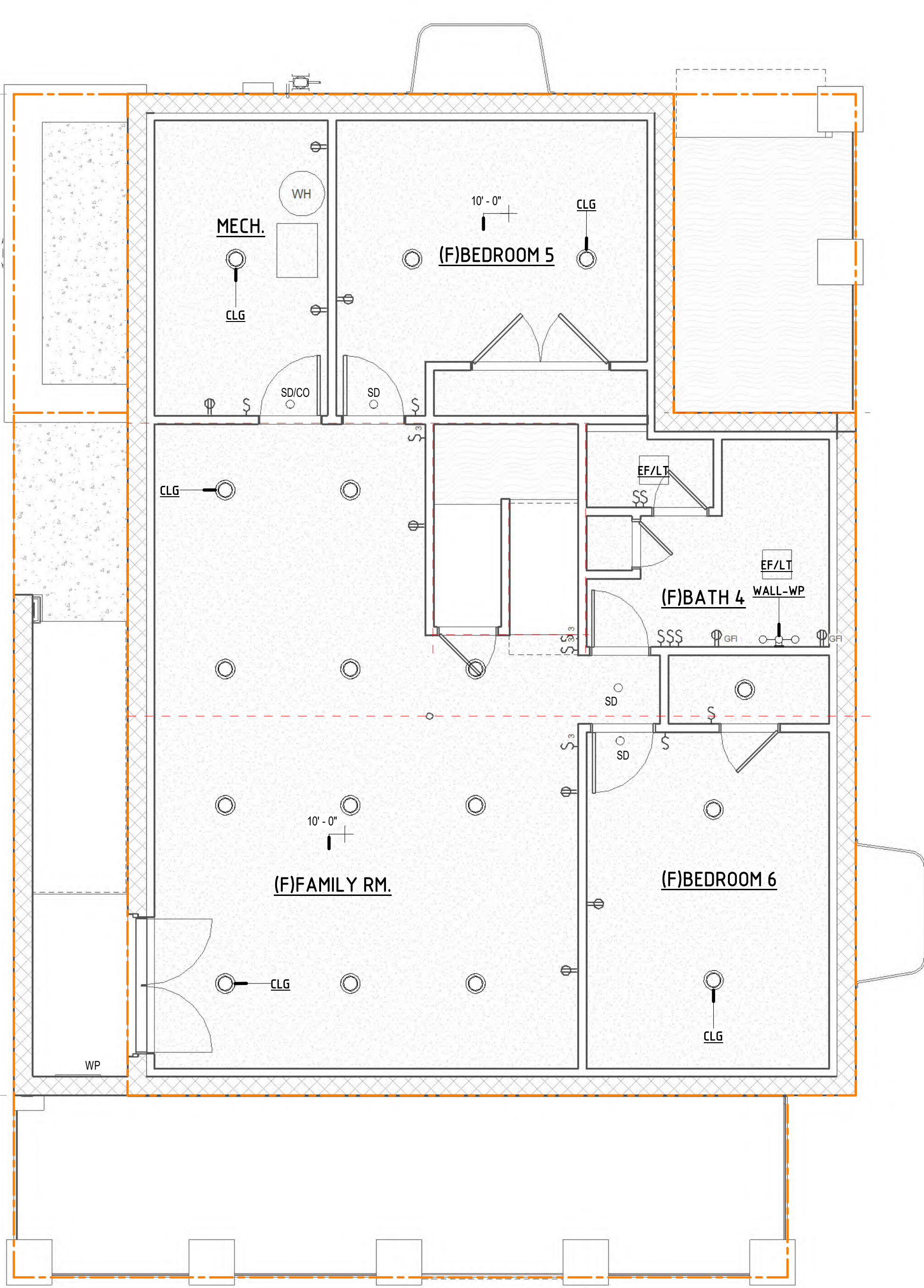
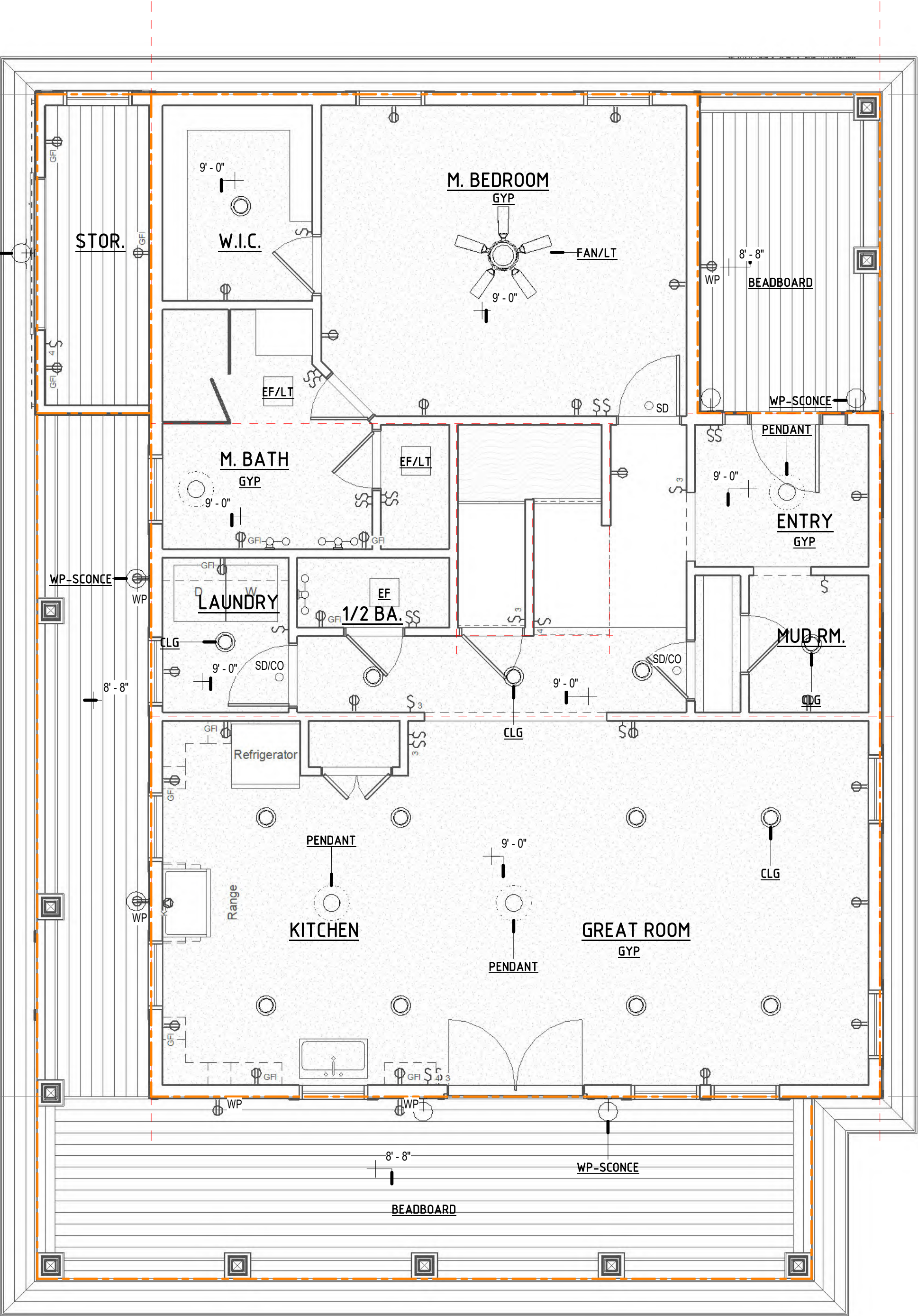
TAG	NOTE CONTENT
A21	NOTE: LIGHT FIXTURES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
A22	CEILING HEIGHT: OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES
A23	CEILING HEIGHT: BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET

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A21  
A22  
A23



PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

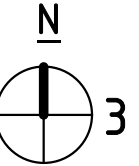
PERMITS

CEILING PLANS  
08.20.2025

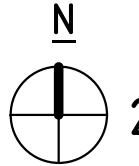
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REV	NOTE	DATE
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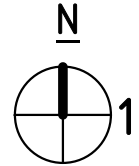
A03



REF. CEILING PLAN SECOND FLOOR



REF. CEILING PLAN FIRST FLOOR

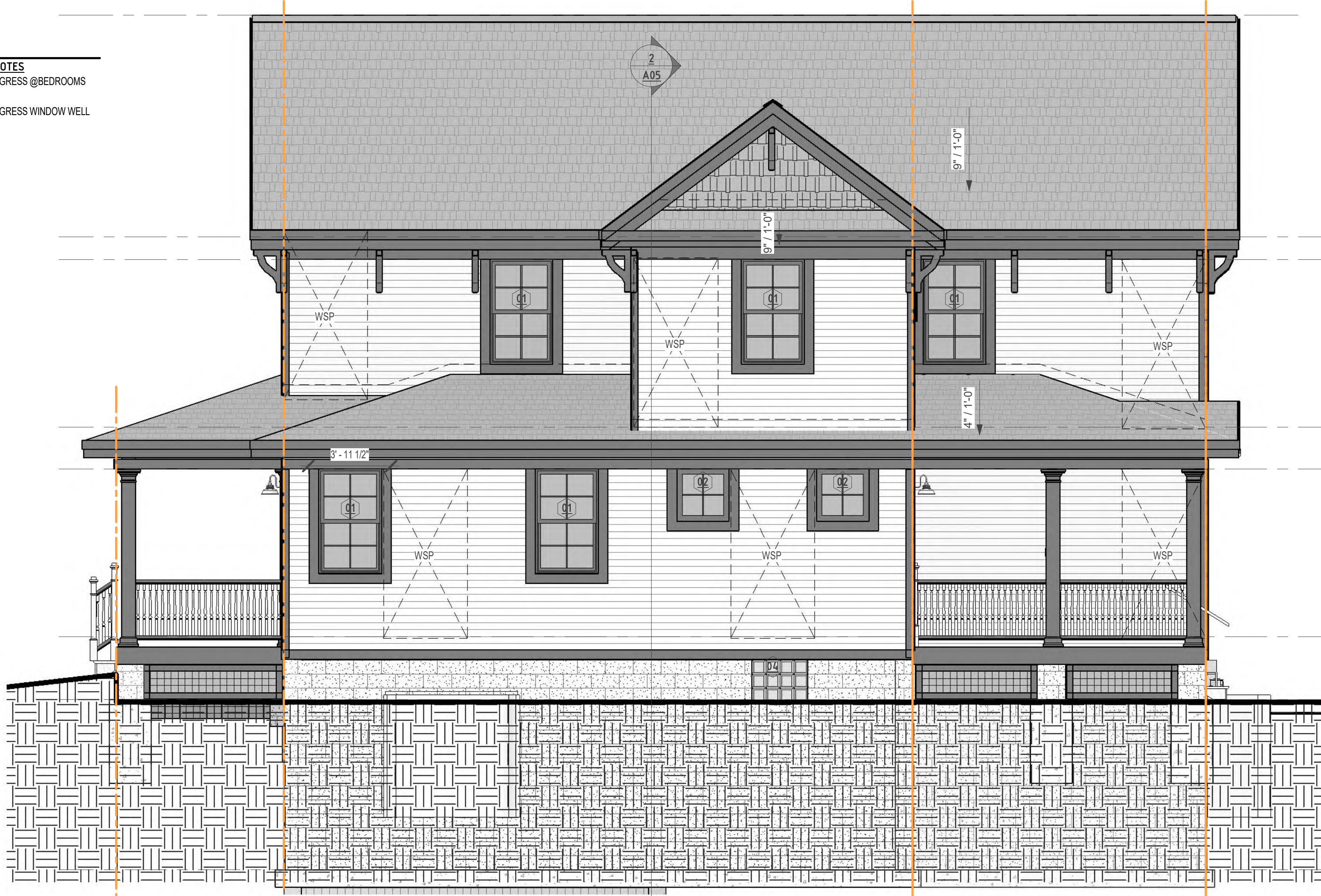


REF. CEILING PLAN BASEMENT



WINDOW SCHEDULE

MARK	COUNT	WIDTH	HEIGHT	TYPE	NOTES
01	23	3'-0"	5'-0"	DOUBLE HUNG	EGRESS @BEDROOMS
02	7	2'-6"	2'-6"	CASEMENT	
03	2	6'-0"	5'-0"	DOUBLE HUNG-DOUBLE	EGRESS WINDOW WELL
04	68	8"	8"	GLASS BLOCK	



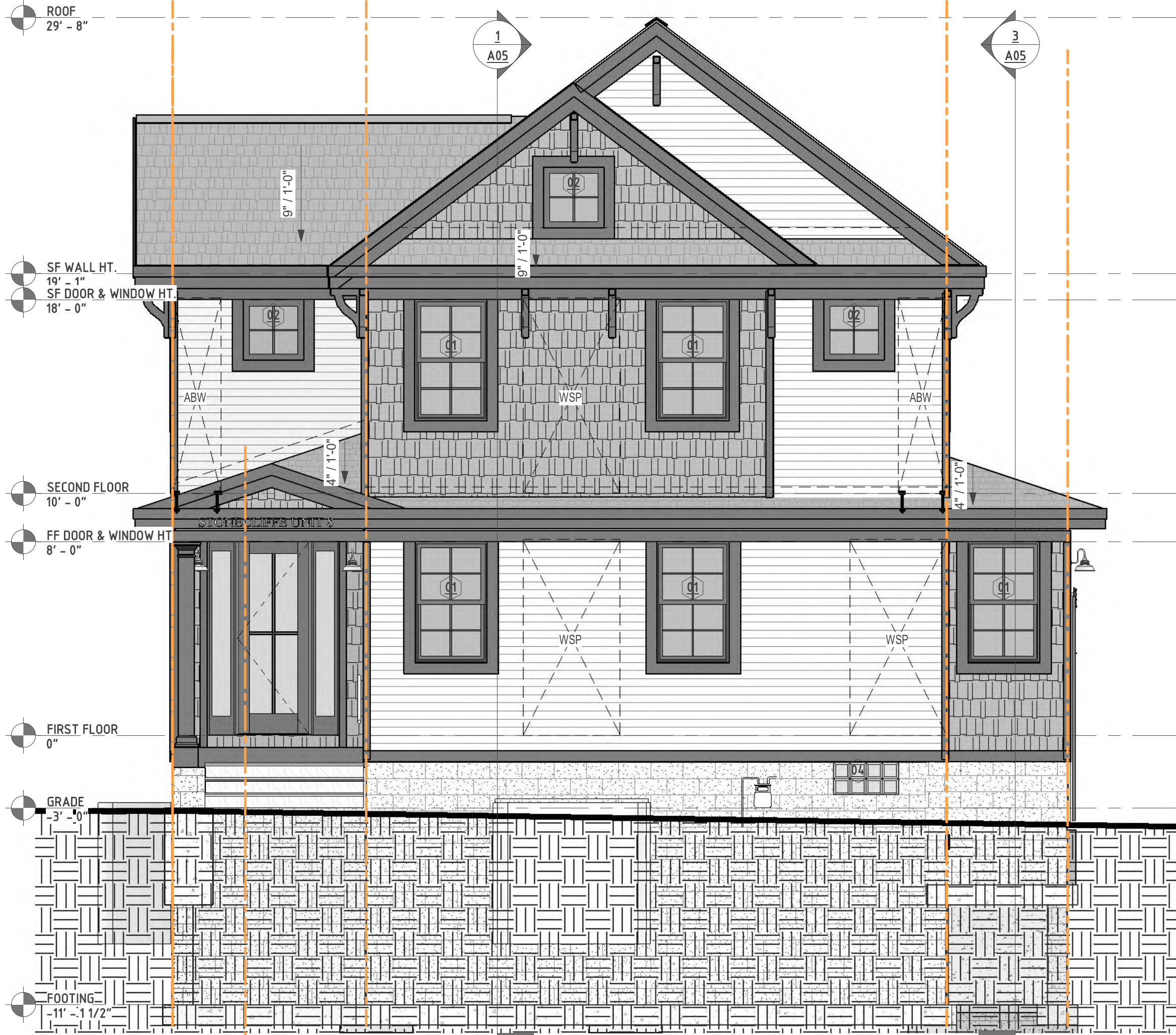
3 EAST ELEVATION

1/4" = 1'-0"



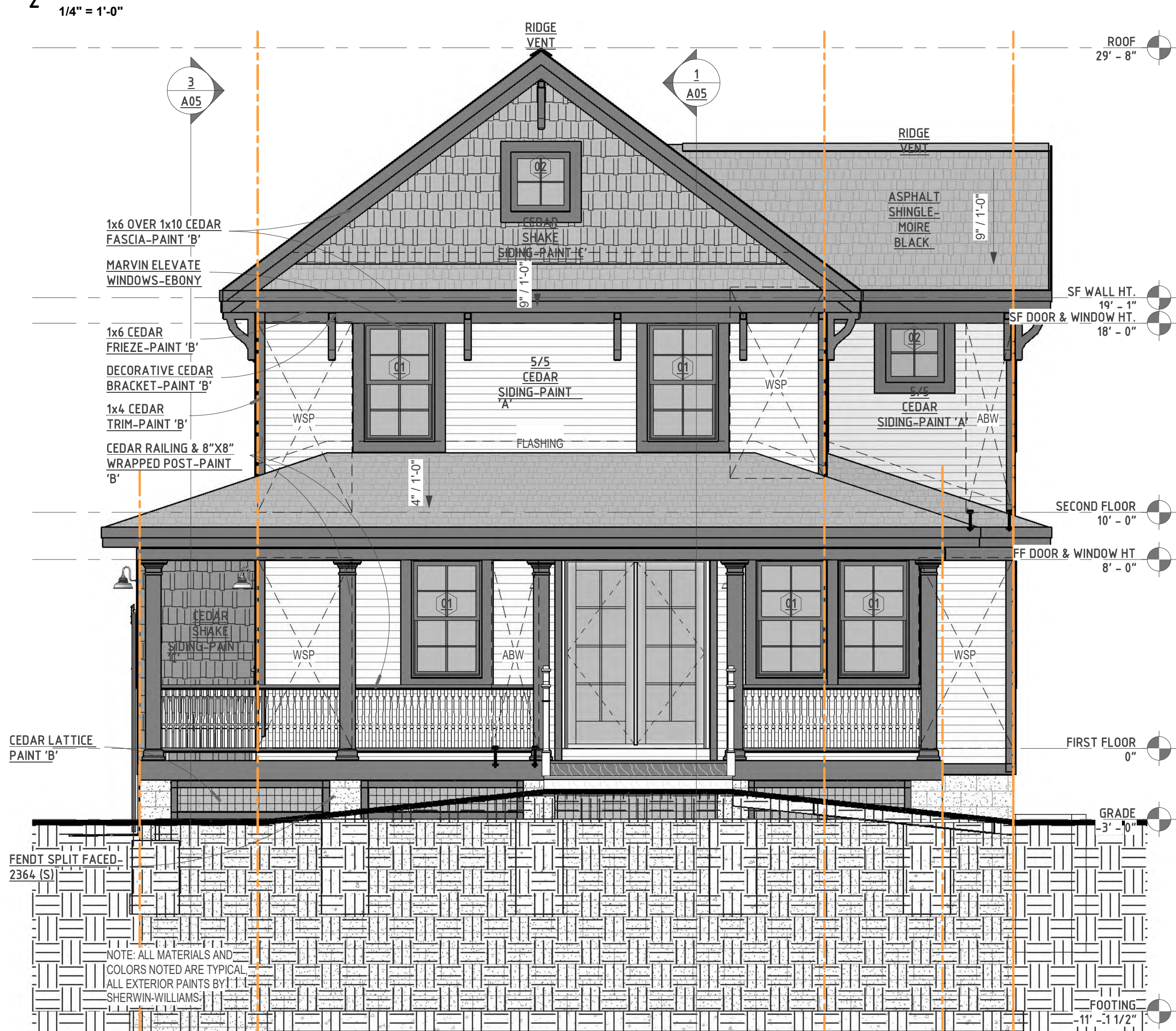
4 WEST ELEVATION

1/4" = 1'-0"



2 NORTH ELEVATION

1/4" = 1'-0"



1 SOUTH ELEVATION

1/4" = 1'-0"

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

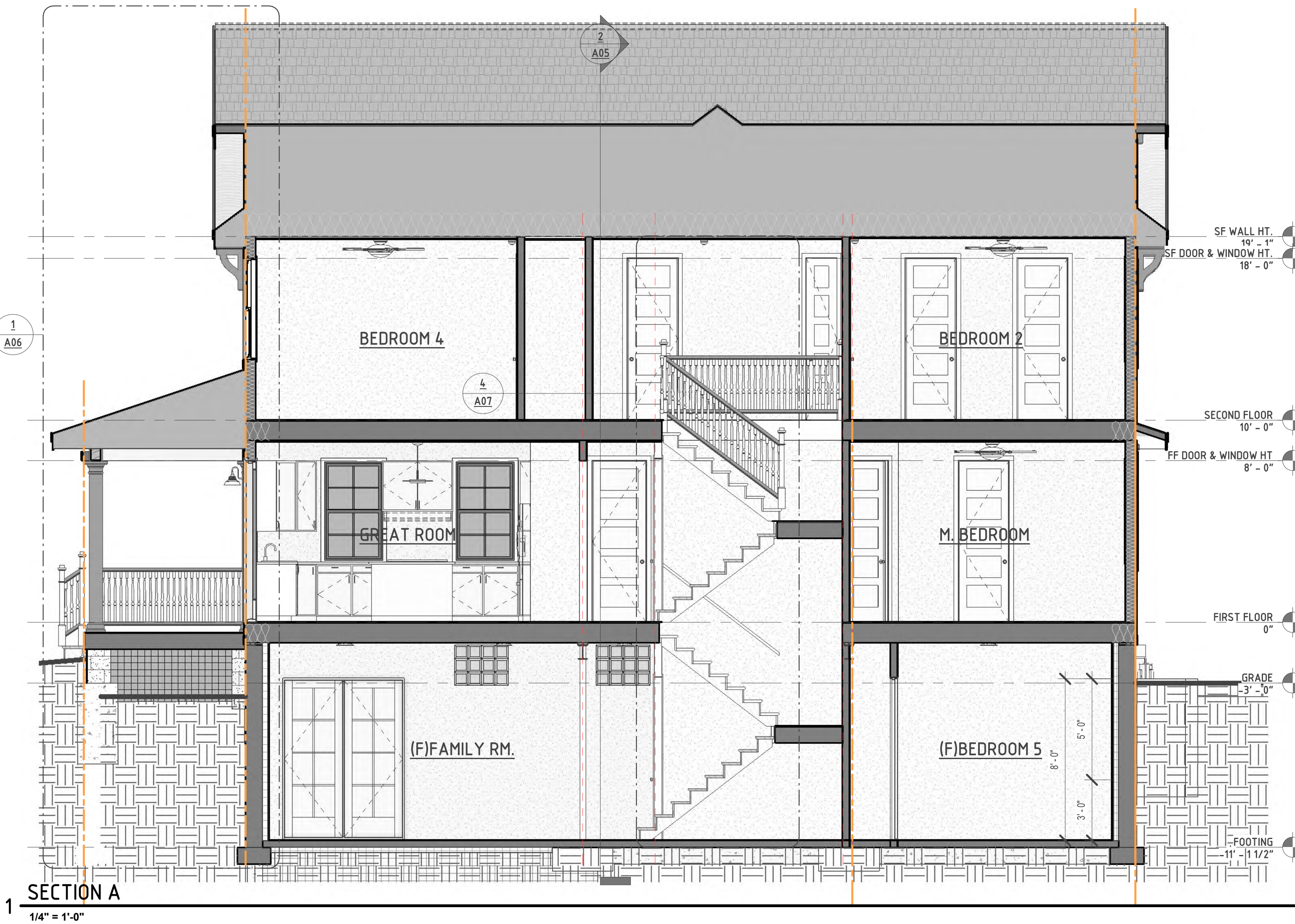
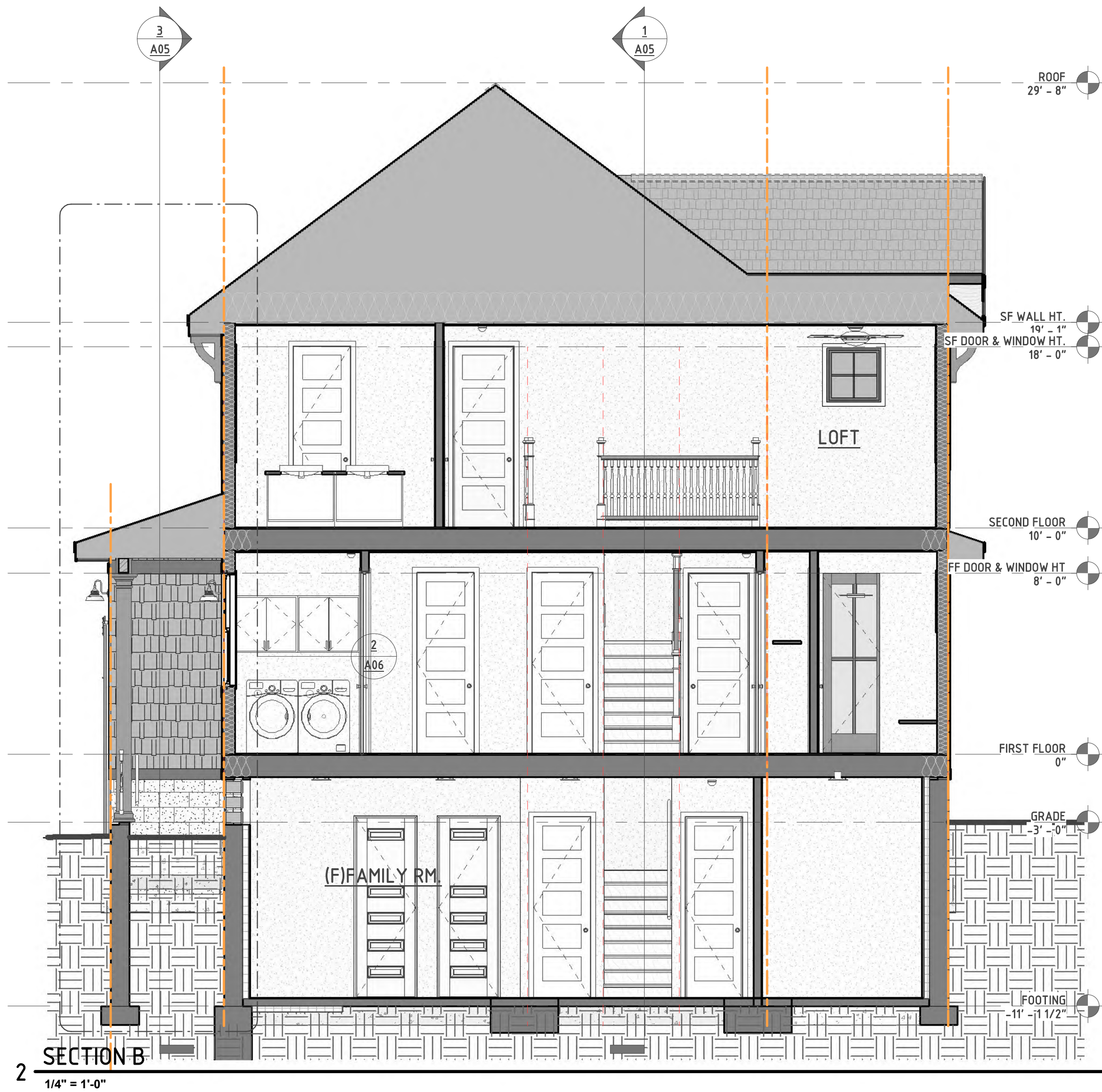
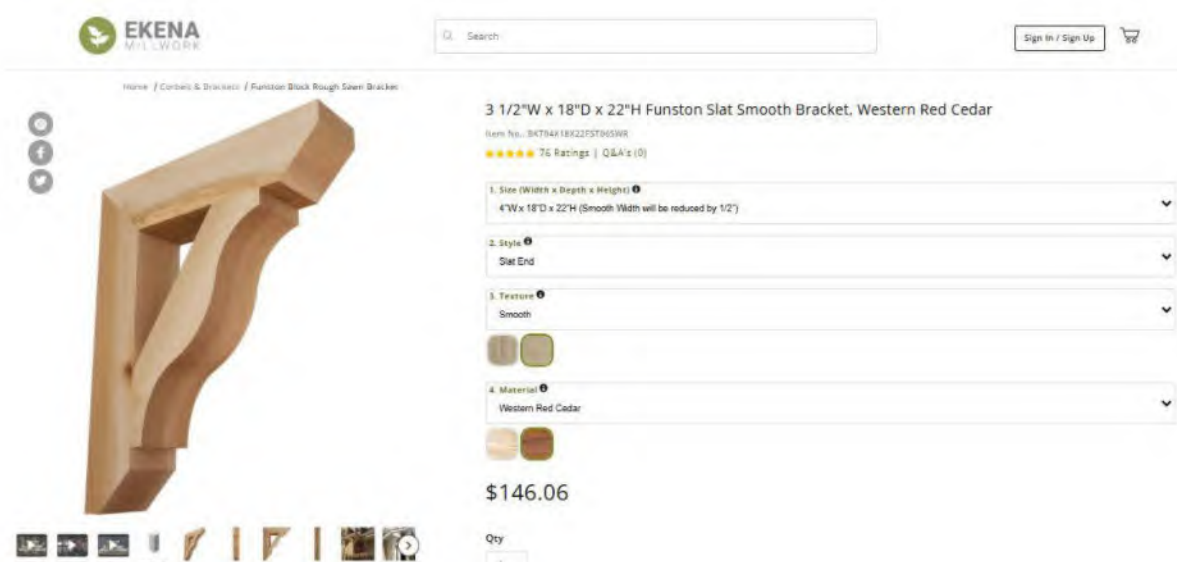
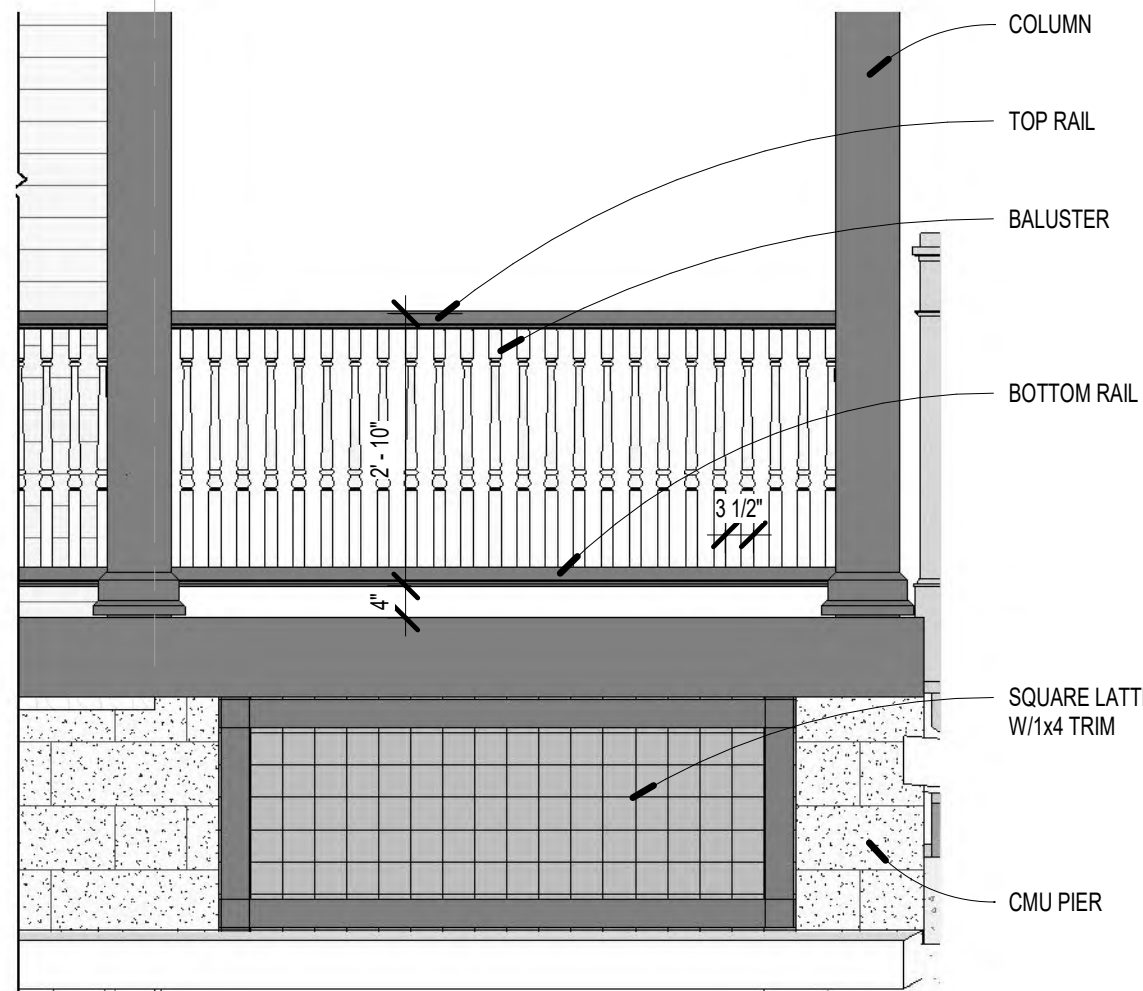
PERMITS  
EXTERIOR ELEVATIONS  
08.20.2025

REV

REV	NOTE	DATE
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A04





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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
BUILDING SECTIONS  
08.20.2025

## REV

REV	NOTE	DATE
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A05



8/20/2025 9:03:57 PM

4 STONE VENEER DETAIL  
1" = 1'-0"

3 WALL SECTION C  
1/2" = 1'-0"

2 WALL SECTION B  
1/2" = 1'-0"

1 WALL SECTION A  
1/2" = 1'-0"

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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
WALL SECTIONS  
08.20.2025

## REV

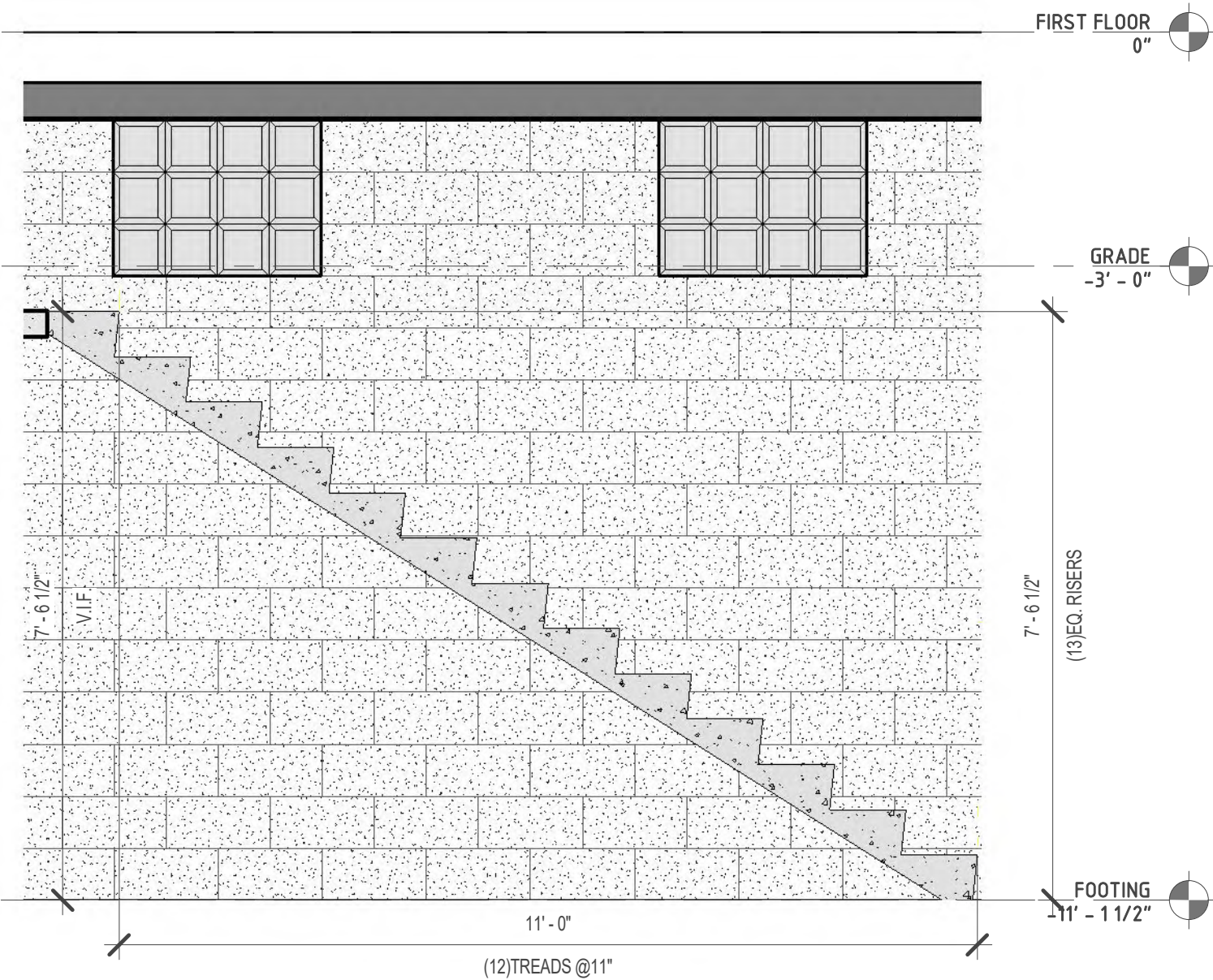
REV	NOTE	DATE
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A06

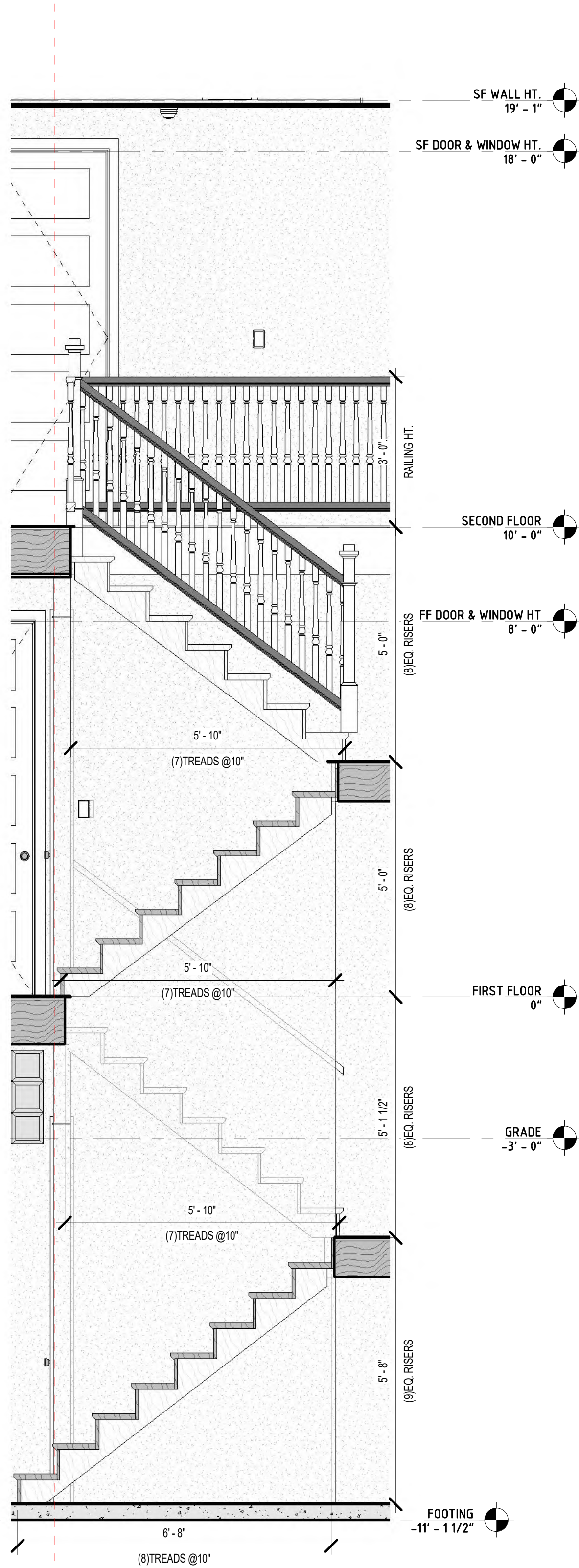


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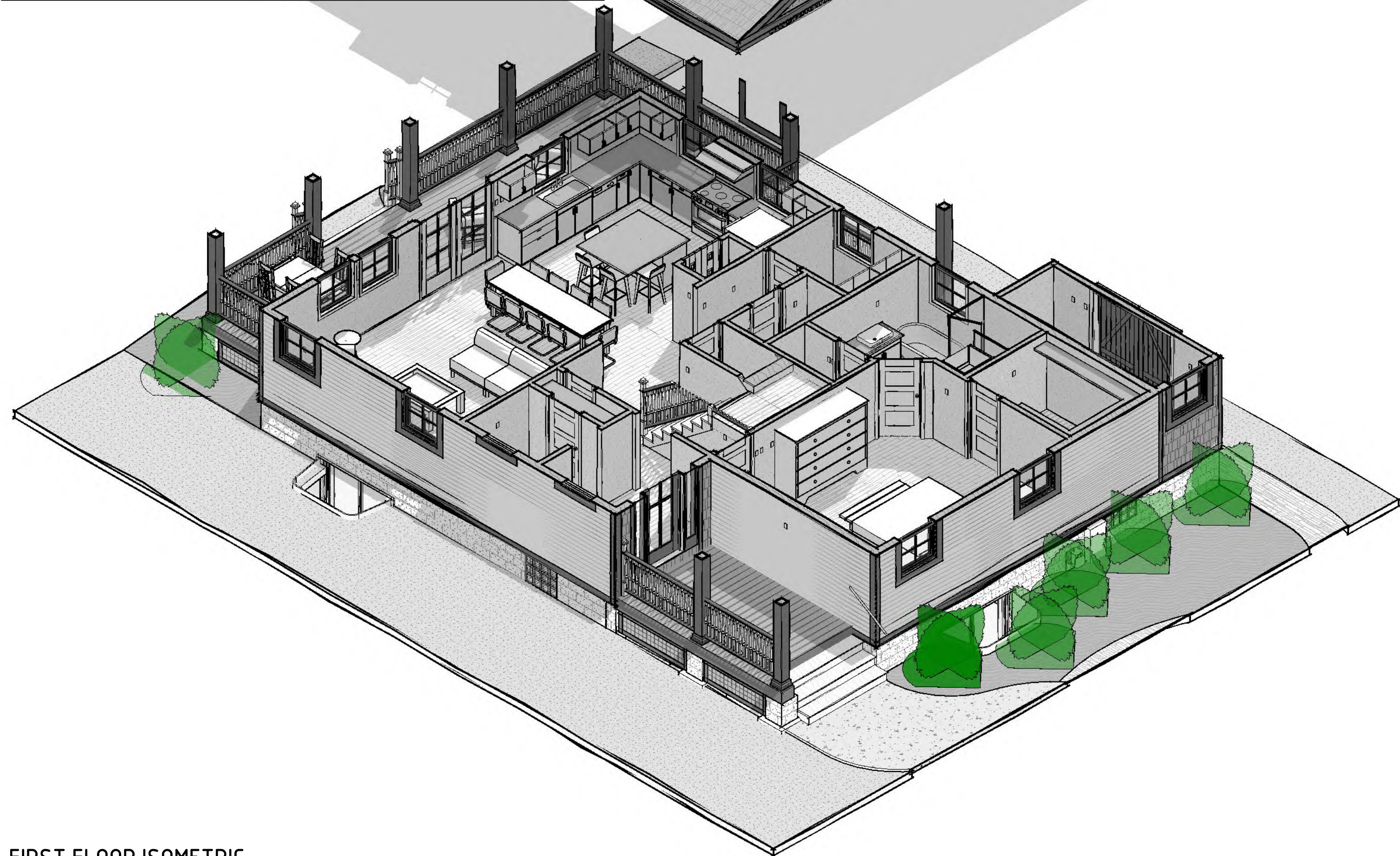
5 STAIR SECTION 2  
1/2" = 1'-0"



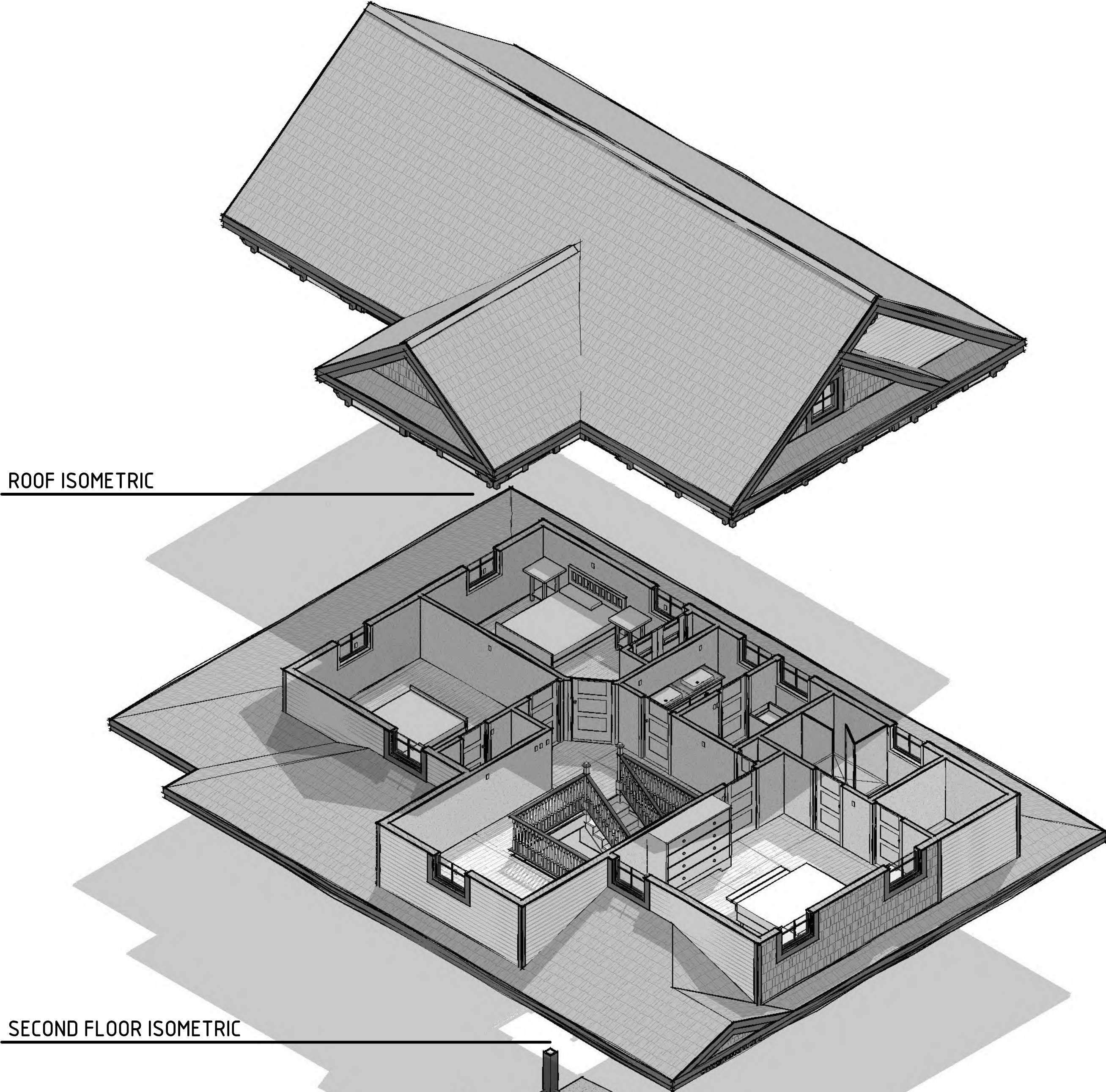
4 STAIR SECTION 1  
1/2" = 1'-0"



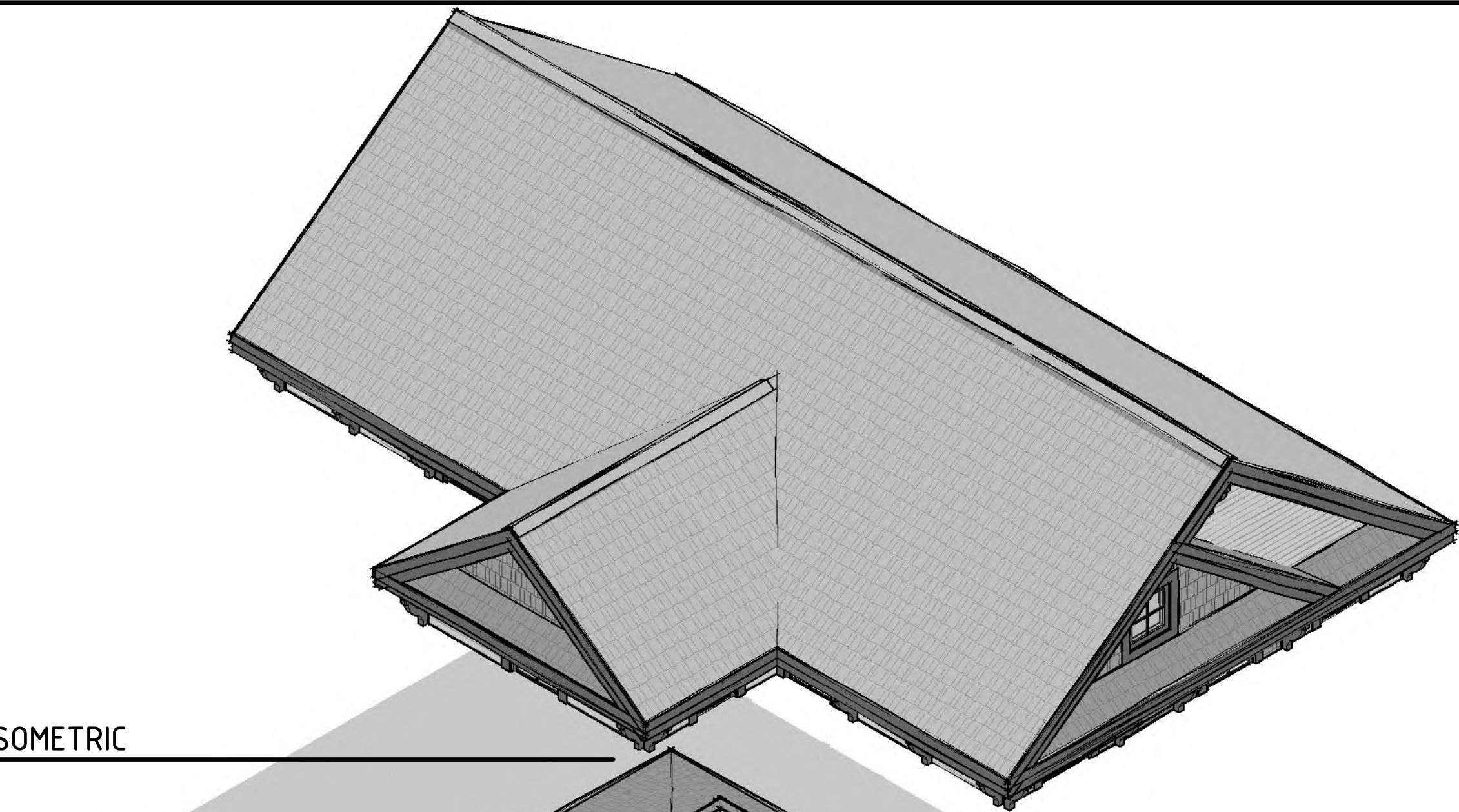
1 FIRST FLOOR ISOMETRIC



2 SECOND FLOOR ISOMETRIC



3 ROOF ISOMETRIC



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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
ISO-PERSPECTIVES & STAIR  
SECTIONS  
08.20.2025

REV

NOTE DATE

A07



ELECTRICAL LEGEND

LIGHTING					
NAME	FLOOR PLAN VIEW	ELEVATION VIEW	NAME	FLOOR PLAN VIEW	ELEVATION VIEW
2X4 RECESSED FIXTURE			DISCONNECT SWITCH		
2X2 RECESSED FIXTURE			SINGLE PHASE STARTER		
1X4 RECESSED FIXTURE			LIGHT FIXTURE TYPE		
STRIP/ INDUSTRIAL FIXTURE			ABOVE FINISH FLOOR		
LINEAR WALL MTD FIXTURE			WEATHER PROOF		
LINEAR LED FIXTURE			NIGHT LIGHT (WIRE AHEAD OF CONTROL DEVICES)		
WALL MTD SCONCE FIXTURE			POWER		
WALL MTD FIXTURE			SINGLE RECEPTACLE		
PENDANT FIXTURE			DUPLEX RECEPTACLE		
CEILING FAN			RECEPTACLE (GFI)		
RECESSED CAN/ SURFACE MTD FIXTURE			TRIPLE RECEPTACLE		
DOUBLE FACE CEILING MTD EXIT SIGN			RECEPTACLE (SPECIAL) REFER TO MANUFACTURE EQUIP. SPEC		
SINGLE FACE CEILING MTD EXIT SIGN			JUNCTION BOX		
EMERGENCY LIGHT (REFER TO PHOTOMETRIC PLAN)			RECEPTACLE (FLOOR)		
SINGLE FACE WALL MTD EXIT SIGN			RECEPTACLE DUPLEX (FLOOR)		
EXIT SIGN EGRESS DIRECTION ARROWS			GROUND FAULT INTERRUPTER		
REMOTE EGRESS HEAD			PANEL CIRCUIT		
TRACK HEAD			HYDRATION STATION		
SITE POLE MTD FIXTURE			SANITARY HOSE		
SITE GROUND MTD FIXTURE			STEP LIGHTING		
WALL SWITCH			SUPPLY GRILLE		
3-WAY SWITCH			RETURN GRILLE		
4-WAY SWITCH			DIMMER		
DIMMER			SWITCH (OCCUPANT SENSOR)		
SWITCH (OCCUPANT SENSOR)			SWITCH (DAYLIGHT SENSOR)		
SWITCH (DAYLIGHT SENSOR)					

NOTES

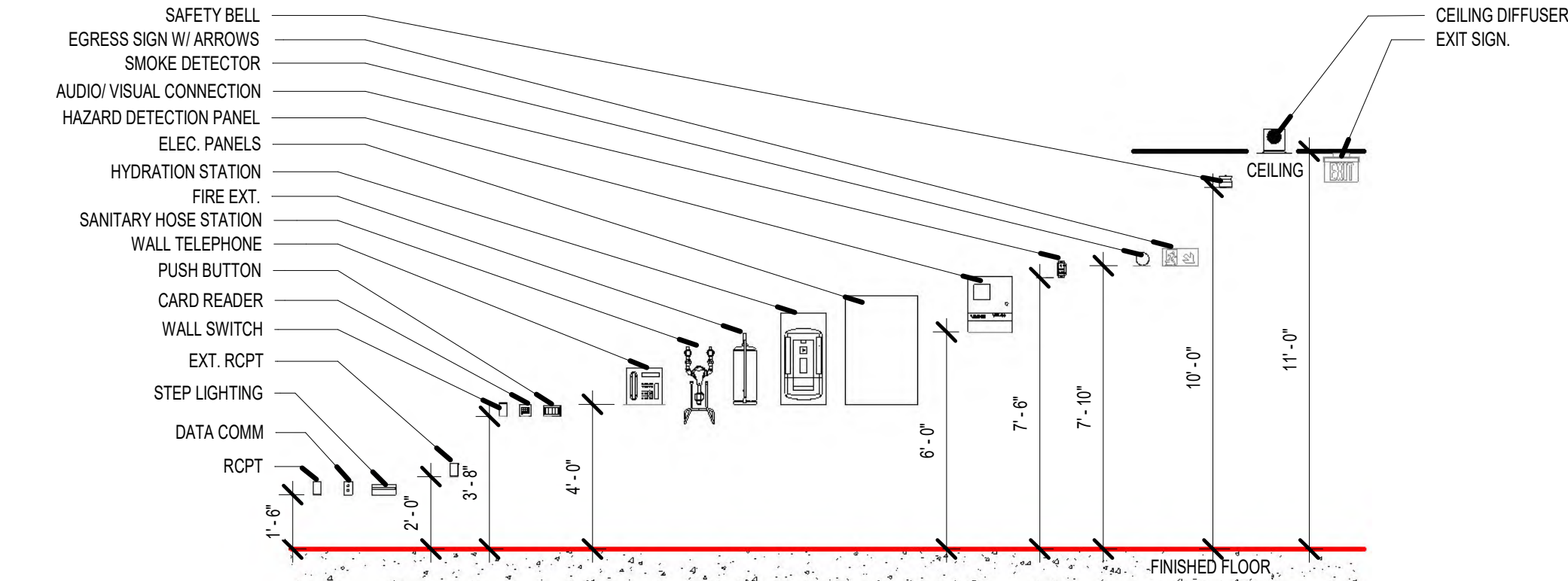
1. SOUND SYSTEM SPEAKERS SUPPLIED BY CUSTOMER/TENANTS AND WIRE PULLED BY HIS SOUND CONTRACTOR TO BREAKER ROOM AREA. OBTAIN SPEAKER BOXES FROM TENANTS SOUND SYSTEM SUPPLIER. PROVIDE CONDUIT STUBS INTO NEAREST ACCESSIBLE CEILING WITH PULL STRING.
2. MOTION SENSOR TO WATT-STOPPER #PN-100 WALL BOX MOUNTED.
3. REFER TO REFLECTED CEILING PLAN FOR FIXTURE SCHEDULE & KEY
4. NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED IN THIS PROJECT.
5. SYMBOLS THAT HAVE A DARK LINE WEIGHT REPRESENT NEW (N) SYMBOLS THAT HAVE A LIGHT LINE WEIGHT REPRESENT EXISTING (E) SYMBOLS THAT ARE DASHED REPRESENT ITEMS FOR DEMOLITION
6. EMERGENCY FIXTURES ARE INDICATED BY PARTIAL SHADING AS SHOWN BELOW

ABBREVIATIONS

A OR AMP	AMPERE
AC	ABOVE COUNTER
AFF	ABOVE FINISHED FLOOR
ATS	AUTOMATIC TRANSFER SWITCH
BMS	BUILDING MANAGEMENT SYSTEM
C	CIRCUIT
CB	CIRCUIT BREAKER
COMM	COMMUNICATIONS
CONC	CONCRETE
DA	DIAMETER
DISC	DISCONNECT
DWG	DRAWING
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EPO	EMERGENCY POWER OFF
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
F	FURNITURE
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATION PANEL
FACP	FIRE ALARM CONTROL PANEL
FIXT	FIXTURE
FLA	FULL LOAD AMPACITY
G	GROUND (WHEN USED ON CIRCUIT HOMERUN SYMBOL)
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
GC	GENERAL CONTRACTOR
HID	HIGH INTENSITY DISCHARGE
HP	HORSE POWER
IG	ISOLATED GROUND
JB	JUNCTION BOX
KA	KILOAMPERE
KV	KILOVOLT
KVA	KILOVOLT-AMPERE
KW	KILOWATT
LCP	LIGHTING CONTROL PANEL
LTS	LIGHTS
MAX	MAXIMUM
MCA	MINIMUM CIRCUIT AMPACITY
MCC	MOTOR CONTROL CENTER
MIN	MINIMUM
MOCP	MAXIMUM OVERCURRENT PROTECTION
MC	MECHANICAL CONTRACTOR
MTD	MOUNTED
N	NEUTRAL
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NORMALLY OPEN
OCP	OVERCURRENT PROTECTION
PA	PUBLIC ADDRESS
PC	PHOTOCELL
PDU	POWER DISTRIBUTION UNIT
PA	PUBLIC ADDRESS
PC	PHOTOCELL
PDU	POWER DISTRIBUTION UNIT
PEND	PENDANT
PH	PHASE
PNL	PANEL
PRI	PRIMARY
RCPT/RECEPT	RECEPTACLE
RLA	RUNNING LOAD AMPACITY
RM	ROOM
SEC	SECONDARY
SHT	SHEET
SURF	SURFACE
SW	SWITCH
SWBD	SWITCHBOARD
TSTAT	THERMOSTAT
TEL	TELEPHONE
TFA	TO FLOOR ABOVE
TFB	TO FLOOR BELOW
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
UPS	UNINTERRUPTIBLE POWER SUPPLY
V	VOLT
VFD	VARIABLE FREQUENCY DRIVE
W/	WITH
W/O	WITHOUT
W	WATT
WP	WEATHERPROOF
XFMR	TRANSFORMER

ELECTRICAL GENERAL SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL AUTHORITIES HAVING JURISDICTION.
2. SECURE AND PAY FOR ALL PERMITS AND FEES.
3. SWITCHBOARDS, PANELBOARDS, AND MOTOR CONTROL CENTERS SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS. PROVIDE APPROPRIATE WARNING SIGNS PER NEC 110.16.
4. LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING PER NEC 110.3(B). ELECTRICAL CONTRACTOR SHALL VERIFY ALL INSTALLATION REQUIREMENTS.
5. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL OVERCURRENT PROTECTIVE DEVICE INTERRUPT RATINGS EXCEED AVAILABLE FAULT CURRENTS PER NEC 110.9.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL ELECTRICAL EQUIPMENT SHORT CIRCUIT RATINGS EXCEED AVAILABLE SHORT CIRCUIT CURRENT.
7. ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT WORKING AND DEDICATED EQUIPMENT SPACE REQUIREMENTS FOR ALL ELECTRICAL EQUIPMENT ARE MET PER NEC 110.26.
8. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
9. ALL WIRING SHALL BE COPPER No.12 MINIMUM SIZE, TYPE THHN/THWN INSULATION. FOR ALL BRANCH CIRCUITS OVER 100 FEET LONG, CONDUCTOR SIZE SHALL BE No. 10 AWG MINIMUM SIZE.
10. ALL WIRING RUN WITHIN RETURN AIR PLENUMS SHALL BE U.L. LISTED FOR SUCH USE. REFER TO MECHANICAL DWGS.
11. ALL WIRING SHALL BE INSTALLED IN METALLIC CONDUIT SYSTEM (I.E. EMT, INTERMEDIATE, RIGID) UNLESS NOTED OTHERWISE ON THE DRAWING. ALL CONDUIT USED IN WET OR DAMP AREAS SHALL BE WATER TIGHT. PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO ALL MOTORS. PROVIDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR WITH ALL FLEXIBLE METAL CONDUIT CONCEALED WHERE POSSIBLE. WHERE EXISTING DOES NOT PERMIT CONCEALED, RUN EXPOSED. ALL CONDUIT RUN EXPOSED SHALL BE RUN SQUARE TO THE BUILDING AND PAINTED TO MATCH SURFACE MOUNTED ON.
12. ALL CONDUITS SHALL CONTAIN A GREEN COLORED EQUIPMENT GROUNDING CONDUCTOR TO PROVIDE ELECTRICAL CONTINUITY TO ALL BOXES, DEVICES, FIXTURES, AND NON-CURRENT-CARRYING METAL PARTS OF EQUIPMENT.
13. ALL BRANCH CIRCUITS SHALL BE 20A, 1P, C.B., (2W)12GND, 34°C UNLESS NOTED OTHERWISE. 12°C IS PERMITTED FOR SWITCH LEGS AND VERTICAL CONDUIT RUNS IN MASONRY WALLS TO A SINGLE DEVICE.
14. MAXIMUM LOAD FOR A 20 AMP BRANCH CIRCUIT SHALL BE 15 AMPS OR 1800 VOLT-AMPS AT 120 VAC.
15. ALL BRANCH CIRCUITS ARE ASSUMED TO HAVE THREE OR LESS CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE. WHERE THE NUMBER OR CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE EXCEEDS THREE, THE ELECTRICAL CONTRACTOR SHALL APPLY ADJUSTMENT FACTORS PER NEC TABLE 310.15 (B)(2)(a).
16. THE MAXIMUM VOLTAGE DROP ALLOWED FOR BRANCH CIRCUITS SHALL BE 3%. THE MAXIMUM VOLTAGE DROP FOR FEEDERS AND BRANCH CIRCUITS COMBINED SHALL BE 5%.
17. ALL RECEPTACLES SHALL BE 20AMP, 125V, SPECIFICATION GRADE, GROUNDING TYPE, IVORY COLOR WITH STAINLESS STEEL COVER PLATES. ORIENT RECEPTACLE SO GROUNDING PIN IS ON BOTTOM, PROVIDE WEATHERPROOF AND GFI RECEPTACLES WHERE SHOWN.
18. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, SPECIFICATION GRADE, 20 AMP, 27TV IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE THREE WAY, FOUR WAY, AND DIMMER SWITCHES WHERE SHOWN.
19. PROVIDED TEFLON BRUSHING ON ALL CONDUIT STUBS THROUGH WALLS AND ABOVE CEILINGS.
20. SEAL AROUND CONDUITS/SLEEVE PENETRATIONS THRU FIRE RATED WALLS, FLOORS, AND CEILINGS WITH U.L. LISTED FIRE RESISTANT SEALANT.
21. PROVIDE WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES FOR ALL ELECTRICAL PANELS WITH THE FOLLOWING INFORMATION: PANEL DESIGNATION, VOLTAGE, PHASE, WIRE, AMPERAGE, FEEDER SIZE (BREAKER AND WIRE), FEEDER LOCATION. FOR ALL SURFACE MOUNTED PANELS, LOCATE LABEL ON OUTSIDE OF COVER. FOR ALL FLUSH/RECESSED PANELS, LOCATE LABEL ON INSIDE OF COVER.
22. PROVIDE WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES FOR ALL FEEDERS WITH THE FOLLOWING INFORMATION: FEEDER DESCRIPTION, BREAKER SIZE, TRIP SIZE, WIRE SIZE.
23. PROVIDE UPDATED TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS.
24. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
25. PROVIDE ELECTRICAL DEMOLITION AS REQUIRED. FIELD VERIFY EXTENT OF ELECTRICAL DEMOLITION.
26. WHERE CONDUIT RUNS ARE ABOVE EXISTING SUSPENDED CEILINGS, CEILING PADS AND GRID SHALL BE LEFT IN LIKE NEW CONDITION.
27. ELECTRICAL CONTRACTOR SHALL REPLACE ALL EXISTING BURNT OUT LAMPS, DEFECTIVE BALLASTS, AND BROKE LENSES ON ALL FIXTURES THAT ARE TO REMAIN OR BE REUSED IN PROJECT AREA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY REQUIREMENTS.



ELECTRICAL HEIGHTS

1/4" = 1'-0"

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS

ELECTRICAL SPECS  
08.20.2025

REV

REV	NOTE	DATE
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E00

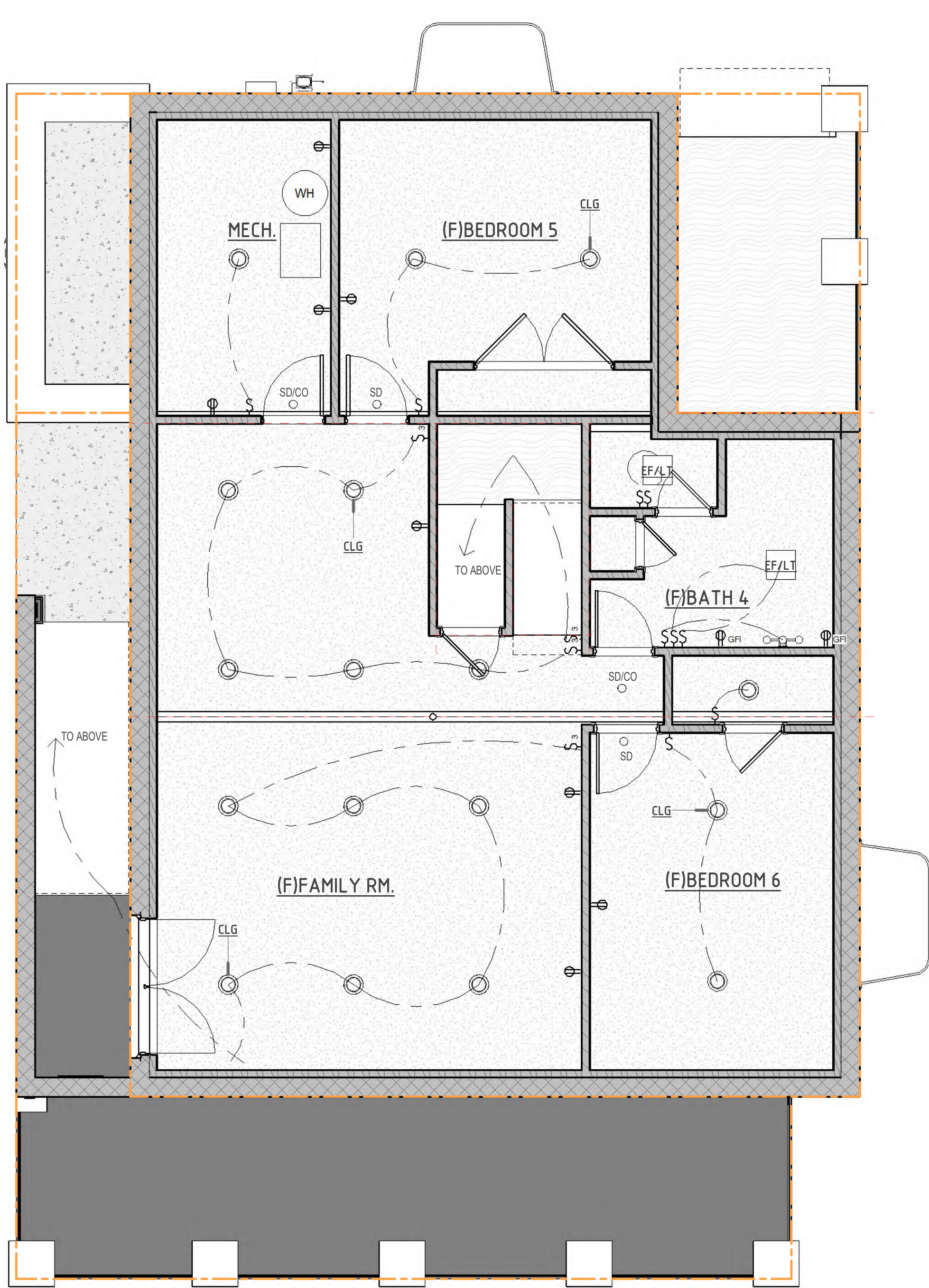
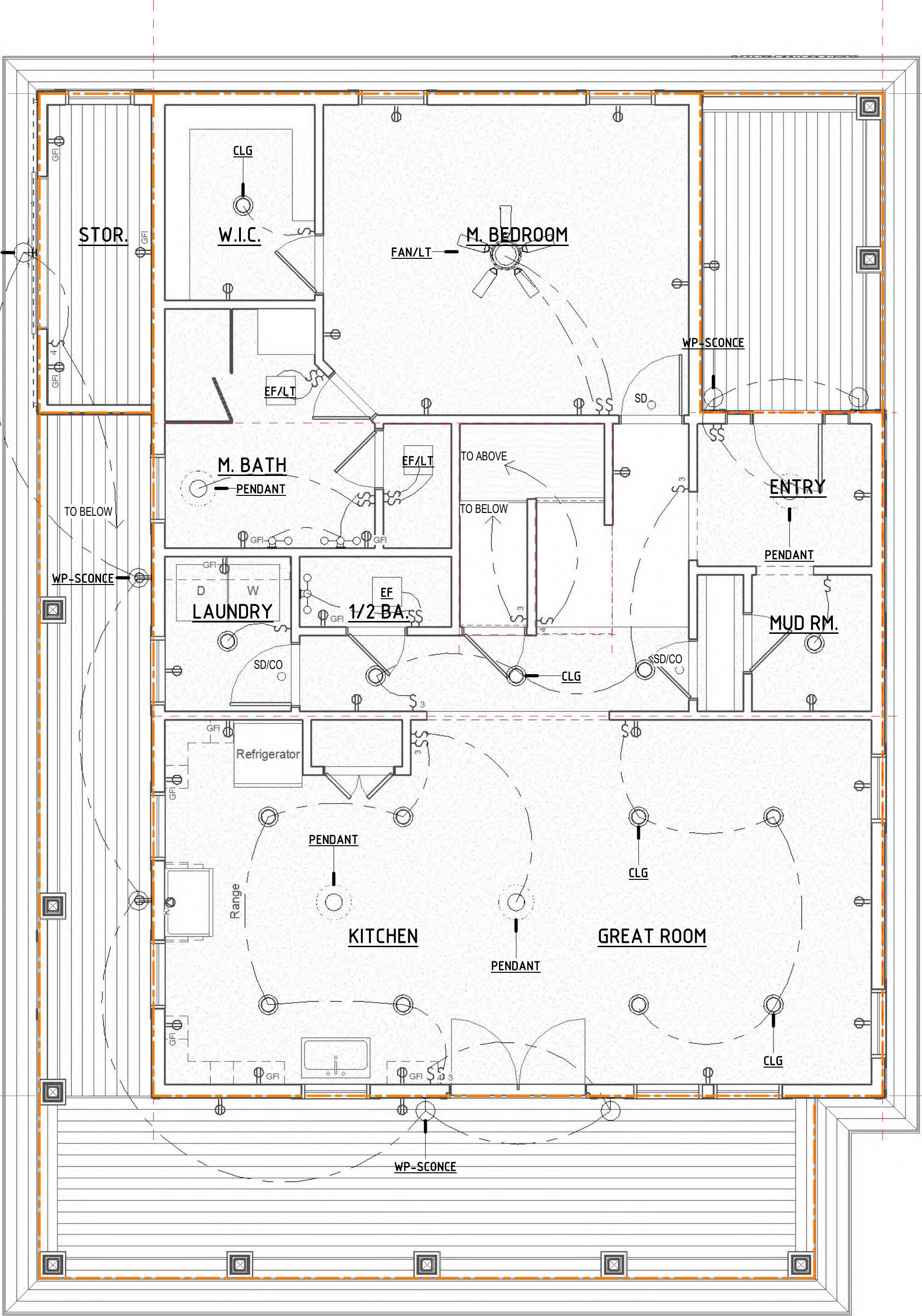
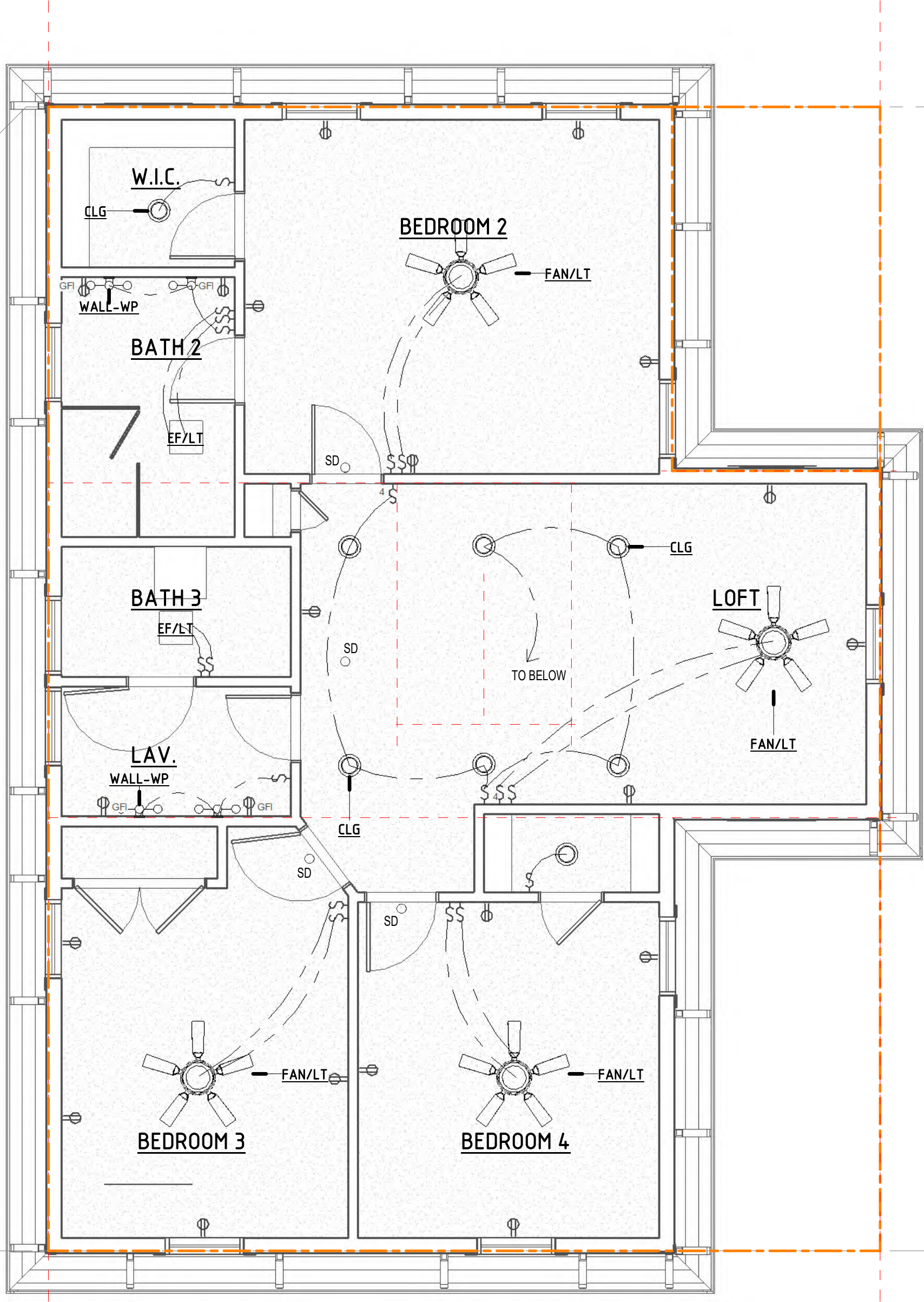


ELECTRICAL NOTES

TAG	NOTE CONTENT
E01	TRANSFORMER: VERIFY (E)LOCATION & SIZE IN FIELD
E02	ELECTRICAL METER: VERIFY (E)LOCATION & SIZE IN FIELD
E03	ELECTRICAL PANELS: VERIFY (E)LOCATION & SIZE IN FIELD REFER TO PANEL SCHEDULE. ELECTRICIAN MAY RE-ARRANGE PANEL AS REQUIRED IN THE FIELD. E.C. SHALL SUBMIT A FINAL PANEL SCHEDULE SHOWING ACTUAL PANEL AS INSTALLED.
E04	FEEDER CONDUITS: VERIFY (E)LOCATION & SIZE IN FIELD
E05	GROUNDING: ALL GROUNDING SHALL BE PER CURRENT NEC
E06	A/C: E.C. SHALL FIELD MARK ALL SERVICE EQUIPMENT WITH THE MAX. AVAILABLE FAULT CURRENT AND THE DATE. THE FAULT CURRENT CALCULATION WAS PERFORMED. FIELD MARKING SHALL COMPLY WITH NEC 110.24
E07	COORDINATION: E.C. TO FIELD LOCATE AND SIZE CONDUITS AND WIRING ACCORDING TO FIELD CONDITIONS. E.C. SHALL CO-ORDINATE WITH OTHER TRADES AND ADJUST PLANS ACCORDINGLY. REFER TO REFLECTED CEILING PLAN FOR FIXTURE SCHEDULE & KEY
E08	FIXTURE TYPE: UPPER CASE LETTER NEXT TO LIGHT FIXTURE DENOTES FIXTURE TYPE AND LOWER CASE LETTER DENOTES SWITCHING SCHEME
E09	RECEPTACLES(KITCHEN): ALL 120V, SINGLE PHASE, 15 AND 20-AMP RECEPTACLES INSTALLED IN THE KITCHEN AREA SHALL HAVE GROUND-FAULT INTERRUPTION. (NEC ART. 210.8(B))
E10	EQUIPMENT: E.C. TO VERIFY ALL ELECTRICAL WITH EQUIPMENT PLANS AND CORPORATE PROVIDED SPECIFICATIONS.

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
POWER & LIGHTING PLANS  
08.20.2025

REV

REV NOTE DATE

E01



3 SECOND FLOOR POWER & LIGHTING PLAN

1/4" = 1'-0"



2 FIRST FLOOR POWER & LIGHTING PLAN

1/4" = 1'-0"



1 BASEMENT POWER & LIGHTING PLAN (FUTURE)

1/4" = 1'-0"



Insulation Rating

R-Value

Above-Grade Wall

20.00

Below-Grade Wall

19.00

Floor

0.00

Ceiling / Roof

49.00

Ductwork (unconditioned spaces):

Glass & Door Rating

U-Factor

SHGC

Window

0.32

Door

0.32

Heating & Cooling Equipment

Efficiency

Heating System:

Cooling System:

Water Heater:

Name:

Date:

Comments

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2 [F11] <sup>2</sup>	Ceiling insulation R-value. Where > R-30 is required, R-30 can be used if insulation is not compressed at eaves. R-30 may be used for 500 ft² or 20% (whichever is less) where sufficient space is not available.	R- <div><div></div>Wood</div> <div><div></div>Steel</div>	R- <div><div></div>Wood</div> <div><div></div>Steel</div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [F12] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.2.3 [F13] <sup>1</sup>	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R- <div><div></div></div>	R- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.4.2, 402.4.2.1 [F117] <sup>1</sup>	Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during Insulation Inspection.	ACH 50 = <div><div></div></div>	ACH 50 = <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.2.2 [F14] <sup>1</sup>	Post construction duct tightness test result of ≤8 cfm to outdoors, or ≤12 cfm across systems. Or, rough-in test result of ≤6 cfm across systems or ≤4 cfm without air handler. Rough-in test verification may need to occur during Framing Inspection.	<div><div></div> cfm</div>	<div><div></div> cfm</div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.1.1 [F19] <sup>2</sup>	Programmable thermostats installed on forced air furnaces.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.1.2 [F110] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.4 [F111] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
404.1 [F16] <sup>1</sup>	50% of lamps in permanent fixtures are high efficacy lamps.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
401.3 [F17] <sup>2</sup>	Compliance certificate posted.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
303.3 [F118] <sup>1</sup>	Manufacturer manuals for mechanical and water heating equipment have been provided.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	

Additional Comments/Assumptions:

1

High Impact (Tier 1)

2

Medium Impact (Tier 2)

3

Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 7 of 7

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup>	All installed insulation is labeled or the installed R-values provided.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.1.1, 402.2.4, 402.2.5 [IN3] <sup>1</sup>	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies.	R- <div><div></div>Wood</div> <div><div></div>Mass</div> <div><div></div>Steel</div>	R- <div><div></div>Wood</div> <div><div></div>Mass</div> <div><div></div>Steel</div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	

Additional Comments/Assumptions:

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High Impact (Tier 1)

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Medium Impact (Tier 2)

3

Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 6 of 7

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup>	Glazing U-factor (area-weighted average).	U- <div><div></div></div>	U- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup>	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.4.4 [FR20] <sup>1</sup>	Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.4.5 [FR16] <sup>2</sup>	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.2.1 [FR12] <sup>1</sup>	Supply ducts in attics are insulated to ≥R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to ≥R-6.	R- <div><div></div></div>	R- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.2.2 [FR13] <sup>1</sup>	All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.2.3 [FR15] <sup>1</sup>	Building cavities are not used for supply ducts.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.3 [FR17] <sup>2</sup>	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R- <div><div></div></div>	R- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.4 [FR18] <sup>2</sup>	Circulating service hot water pipes are insulated to R-2.	R- <div><div></div></div>	R- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.5 [FR19] <sup>2</sup>	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	

Additional Comments/Assumptions:

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High Impact (Tier 1)

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Medium Impact (Tier 2)

3

Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 5 of 7

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 [FO4] <sup>1</sup>	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R- <div><div></div></div>	R- <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	See the Envelope Assemblies table for values.
303.2 [FO5] <sup>1</sup>	Conditioned basement wall insulation installed per manufacturer's instructions.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
402.2.7 [FO6] <sup>1</sup>	Conditioned basement wall insulation depth of burial or distance from top of wall.	<div><div></div> ft</div>	<div><div></div> ft</div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	See the Envelope Assemblies table for values.
303.2.1 [FO11] <sup>2</sup>	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.8 [FO12] <sup>2</sup>	Snow- and ice-melting system controls installed.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	

Additional Comments/Assumptions:

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High Impact (Tier 1)

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Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 4 of 7

Inspection Checklist

Energy Code: 2009 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.2 [PR1] <sup>1</sup>	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
103.2, 403.7 [PR3] <sup>1</sup>	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the commercial code.			<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	
403.6 [PR2] <sup>2</sup>	Heating and cooling equipment is sized per ACCA Manual S based on loads per ACCA Manual J or other approved methods.	Heating: Btu/hr. <div><div></div></div> Cooling: Btu/hr. <div><div></div></div>	Heating: Btu/hr. <div><div></div></div> Cooling: Btu/hr. <div><div></div></div>	<div><div></div>Complies</div> <div><div></div>Does Not</div> <div><div></div>Not Observable</div> <div><div></div>Not Applicable</div>	

Additional Comments/Assumptions:

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High Impact (Tier 1)

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Medium Impact (Tier 2)

3

Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 3 of 7

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Basement Wall- Insulated Concrete Forms Orientation: Unspecified Wall height: 10.0' Depth below grade: 8.0' Insulation depth: 10.0'	1,642		19.0	0.044	0.050	72	82

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title	Signature	Date
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Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 2 of 7

Compliance Certificate

Project 23187-PIERSON SUMMER HOME

Energy Code: 2009 IECC

Location: Mackinac Island, Michigan

Construction Type: Single-family

Project Type: New Construction

Project SubType: None

Orientation: Conditioned Floor Area: 2,312 ft2

Glazing Area: 17%

Climate Zone: 7 (8350 HDD)

Permit Date:

Permit Number:

All Electric: false

Is Renewable: false

Has Charger: false

Has Battery: false

Has Heat Pump: false

Owner/Agent:

Designer/Contractor: CHRISTOPHER BIGGERS  
BIGGDESIGNS, LLC  
131 E. COMMERCE ST.  
MILFORD, MI 48381  
248.886.4460  
DESIGN@BIGGDESIGNS.COM

Compliance: Passes using UA trade-off

Compliance: 6.8% Better Than Code  
Maximum UA: 413  
Your UA: 385  
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,163	0.0	49.0	0.020	0.026	23	30
Wall: Wood Frame, 16" o.c. Orientation: Unspecified	2,834	20.0	0.0	0.059	0.057	139	135
Door: Glass Door (over 50% glazing) Orientation: Unspecified	96			0.320	0.350	31	34
Window: Wood Frame Orientation: Unspecified	376			0.320	0.350	120	132

Project Title: 23187-PIERSON SUMMER HOME

Report date: 11/20/24

Data filename:

Page 1 of 7

NOTES

- DO NOT SCALE PLANS
- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- SEPARATION OF SHEETS IS NOT PERMITTED.
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURER'S SPECS FOR DURATION OF CONSTRUCTION.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2024 BIGGDESIGNS, LLC
- REQUESTS FOR INFORMATION (RFI)
- ALL RFIs SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL. TEXT/CALL RFIs WILL NOT BE ACCEPTED.
- SUBSTITUTIONS/ALTERNATES MUST BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE/INSTALL AND MAY REQUIRE A MIN. \$150.00 REVIEW FEE UNLESS OTHERWISE APPROVED IN CLIENT'S SERVICE AGREEMENT.
- DEFERRED SUBMITTALS
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS

ENERGY WORKSHEET  
08.20.2025

REV

REV	NOTE	DATE
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(R)NRG