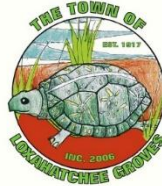


TOWN OF LOXAHATCHEE GROVES

155 F Road Loxahatchee Groves, FL 33470



AGENDA MEMO

TO: Town of Loxahatchee Groves Town Council
FROM: Planning and Zoning Department
DATE: January 24, 2024
SUBJECT: Groves at Town Center – Comprehensive Plan Text Amendment, Master Plan Amendment (Rezoning), Hotel Site Plan, and Park Site Plan

Background:

History: The 90 +/- acre Groves Town Center PUD, including a Statement of Use, Conceptual Master Plan and Conditions of Approval was approved by the Town Council (Ordinance 2013-010). Revisions to the PUD were most recently approved by the Town Council (Ordinance 2019-08).

Additional revisions to the PUD (i.e. PUD Amendment) must be approved by the Town Council. The Applicant is proposing the following:

- 1) Comprehensive plan text amendment to: (1) Permit up to 81 lodging units within the subject property (MLU) (2) Eliminate the allocation for a 128-bed congregate living facility (3) Establish an allowance for a public park (4) Establish intensity and density measurement standards for the hotel use, and (5) Exempt the subject site from Policy 1.2.1 of the comprehensive plan which restricts commercial uses to south of East Citrus Drive.
- 2) Master Plan, PUD amendment to: Establish Pod TC for hotel purposes, establish Pod G for park purposes, and amend existing conditions of approval.
- 3) Site Plan approval to: establish a three (3) story, 81-room hotel on Pod TC.
- 4) Site Plan approval to: establish an open space, to be utilized by the Town, on Pod G.

Problem Statement: The Town Council is to hear and approve, approve with conditions, or deny the comprehensive plan text amendment, master plan amendment, and two site plan applications. *NOTE: The proposed PUD Master Plan Amendment is a processed as a rezoning.*

Problem Solution: The Town Council will conduct a public hearing to consider a motion to approve, approve with conditions, or deny the Comprehensive Plan Text Amendment, Master Plan PUD Amendment, and two site plan applications.

2. CURRENT ACTIVITY

The Comprehensive Plan Text Amendment was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024 and August 29, 2024. The PZB recommended denial of the application. The Town Council voted to transmit the amendment on December 3, 2024.

The Master Plan PUD Amendment was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024 and August 29, 2024. The PZB recommended denial of the application. The Town Council made approved the ordinance on first reading on January 7, 2025.

The hotel site plan, located on Pod TC, was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024 and August 29, 2024. The PZB recommended denial of the application.

The park site plan, located on Pod G, was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024. August 29, 2024. The PZB recommended denial of the application.

3. ATTACHMENTS

1. Groves Town Center Staff Report: Comprehensive Plan Text Amendment, Master Plan Amendment, Hotel Site Plan, Park Site Plan

4. FINANCIAL IMPACT

Work on this project is funded by the Applicant's cost recovery deposit.

5. **RECOMMENDED ACTION:** Recommend that the Town Council approve the master plan amendment and two (2) site plan applications [hotel and public park]. The matter of the comprehensive plan text amendment is a legislative (policy) decision and therefore there is no staff recommendation on this item.

TO: TOWN OF LOXAHATCHEE GROVES, TOWN COUNCIL

FROM: PLANNING AND ZONING DEPARTMENT

RE: STAFF REPORT: LOXAHATCHEE EQUESTRIAN PARTNERS LLC/SOLAR SPORTSYSTEMS, INC./GROVES HOSPITALITY LLC, COMPREHENSIVE PLAN TEXT AMENDMENT, MASTER PLAN AMENDMENT, HOTEL SITE PLAN, PUBLIC PARK SITE PLAN.

DATE: January 22, 2025

I. GENERAL INFORMATION

A. Applicant: Solar Sportsystems, Inc., Loxahatchee Equestrian Partners, LLC, and Groves Hospitality, LLC. The applications are being represented by Matthew Barnes, of WGI.

B. Owner: Solar Sportsystems, Inc.

C. Location: The subject property is generally located at the northeast corner of Southern Boulevard and “B” Road, south of Collecting Canal, Loxahatchee Groves, Florida (Ref: Attachment 1, Map 1).

D. Legal Description: The property is legally described as shown in Attachment 2. All of the Groves Town Center PUD Amendment No. 1 Plat as recorded in Plat Book 134, Pages 134 – 138 of the Official Records of Palm Beach County. Together with Pod A of the Groves Town Center PUD Plat as recorded in Plat Book 66, Pages 66 – 70 of the Official Records of Palm Beach County,

E. Parcel Size: Approx. 90 acres (total Groves at Town Center development site)

F. Existing Future Land Use (FLU) Designation: The Multiple Land Use (MLU) future land use designation was assigned to the property by Future Land Use Amendment 11-1.3 (Ordinance 2011-017).

G. Existing Zoning: The Multiple Land Use, Planned Unit Development (MLU/PUD) zoning designation was assigned to the property by Rezoning REZ 2013-02 (Ordinance 2013-010) and most recently amended by Ordinance 2019-08.

H. Existing Use: The overall Groves at Town Center development includes a mix of non-residential uses and vacant land. The subject sites for the proposed hotel and the public park are vacant.

II. EXISTING AND PROPOSED DEVELOPMENT PROGRAM, REQUESTED COMPREHENSIVE PLAN TEXT AMENDMENT

To accommodate the proposed master plan revisions and site plan approval of both the hotel and public park, the applicant first proposes a text amendment to Special Policy 1.15.2 of the comprehensive plan as shown below and Attachment 3. The primary objective is to substitute a hotel for the currently approved congregate living use. As noted in Section III below, the applicant states the congregate living use is no longer economically viable. Further, providing a hotel would meet local demands.

Proposed Text Amendment to Special Policy 1.15.2

Changes are in strikethrough and underline format.

1.15.2 Special Policy:

- (1) Land Use and density/intensity of development on the property delineated as "Special Policy 1.15.2" on the Future Land Use Map, Map # FLU – 1.10, shall be regulated by the application of the Multiple Land Use (MLU) land use category, and the following criteria: Commercial Low (CL) – Maximum of 34.34 acres / 103,000 sq. ft. of retail commercial space and up to 81 lodging units; Commercial Low Office – Maximum of 16.0 acres / 44,000 sq. ft. of professional and medical office commercial space; and Institutional – Minimum of 40.0 acres / ~~Maximum of 128 congregate living beds~~ Public Park (Town Commons). Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.
- (2) A 300 foot wide buffer shall be incorporated in the master plan along that portion of the MLU adjacent to the Collecting Canal.
- ~~(2)~~(3) For the property delineated as "Special Policy 1.15.2" on the Future Land Use Map, Map # FLU – 1.10, Commercial Low and Commercial Low Office uses are restricted to being located on Parcel 1 and/or Parcel 2 and Commercial Low and Commercial Low Office uses are prohibited on Parcel 3. The aforementioned parcels are as shown on the Conceptual Master Plan dated October 12, 2023.

III. REQUESTED PUD AMENDMENTS: CONCEPTUAL MASTER PLAN REVISION

Supplementing the text amendment to the comprehensive plan, the applicant is seeking approval to amend the approved master plan that regulates the Groves at Town Center development. In summary, the applicant is seeking to establish Pod TC for a proposed hotel development and to establish Pod G for public park purposes.

The Property is subject to the Groves Town Center Conceptual Master Plan ("Conceptual Master Plan"), which was initially approved on February 17, 2015 and subsequently revised on November 6, 2018 via Ordinance 2018-08 and again amended via Ordinance 2019-08. The current approved Conceptual Master Plan is included as Attachment 4. The proposed amended Conceptual Master Plan is included as Attachment 5.

The applicant notes the impetus for the requested change to the PUD Master Plan is a shared desire by the Applicant and the Town to remove the congregate living facility land use and allow a lodging use and simultaneously move the Town Commons use within the Master Plan to Pod G, which is the Pod that the congregate living facility is currently allowed on. They further note, market conditions have changed since the PUD was first contemplated in 2011 and it no longer economically viable to build a congregate living facility. The applicant states demand for lodging along Southern Blvd in the Town has increased. Furthermore, the applicant indicates the location of the proposed lodging use is better situated in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel, which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. The applicant describes a strong need for a hotel in the western reaches of the County.

The other aspects of the PUD Conceptual Master Plan that were previously approved are not changing with this proposed PUD amendment. As such, the configuration of the PUD Conceptual Mater Plan in terms of the development pods and roads remains the same as the previously approved Conceptual Master Plan and Plat. The applicant noted the Conceptual Master Plan provides for natural areas, open space and landscape buffers that achieve the Town's Objectives and Policies and provide consistency with the Town's Rural Vista Guidelines. The Conceptual Master Plan maintains a twenty-five (25) foot wide landscape buffer adjacent to Southern Boulevard and it maintains the three hundred (300) foot buffer predominantly along the northern and eastern boundaries of the site and one hundred (100) foot buffer abutting the western and northern boundary. As per the previously approved site plan for the equestrian trail (Resolution 2018-84) a ten (10) foot wide equestrian trail has been constructed within the one hundred (100) foot and three hundred (300) foot buffers.

In conjunction with the amended plan drawing, the applicant also proposes to amend the existing conditions of approval outlined in Ord. 2019-08 as shown in Attachment 6. Generally, the amendments reflect revised approval dates, completed work, and the proposed master plan amendments.

SITE PLAN – HOTEL, POD TC (Attachment 7)

Site Location. The proposed hotel is located on Pod TC as shown in the conceptual master plan. Generally, located north of Southern Boulevard, south of Tangerine Drive, and approximately 1,000 feet east of B Road. Pod TC is proposed to be subdivided as permitted by Sec. 41-010.4.b. The subject site is approximately two (2) acres.

Proposed Use. The applicant proposes a hotel on the subject site, as permitted by Sec. 25-015. The subject site is zoned as a Multi-Land Use Planned Unit Development ('MLU-PUD') and has a commercial-low land use. Per Sec. 41-020.D.2, the subject site is governed by the commercial-low zoning regulations.

Site and Building Design. Generally, the building is located in the middle of the subject site, and exceeds the required setbacks. The 81-room hotel measures 34 feet to the roof deck where 35 feet is permitted. The building includes three (3) stories and approximately 41,318 square feet.

The main entrance is provided on the north side of the building and includes a porte cochere for check-ins. A fenced, outdoor amenity area including a pool and sitting areas are located along the southern façade.

Site Access, Circulation, and Parking. A two-way driveway provides access to the site along the western property line. A two-way circulation loop provides access to the main entrance and all parking spaces. A total of 82 parking spaces are required and 83 spaces are provided. Parking spaces include a mixture of full-sized spaces (min. 11'x22.5') and reduced sized parking spaces (9' x 19'). Reduced sized spaces are part of a waiver request. A dedicated loading space is provided, as required.

Full circulation is provided via a temporary driveway that extends across the new, internal lot line. This will allow fire rescue to access the site without backing up. Pedestrian connections are provided along the southern and western property lines via an existing sidewalk. A sidewalk is provided around the base of the building as well.

Mechanical Equipment and Waste Management. Mechanical equipment, except for the pool equipment, will be roof-mounted and screened by a sloped parapet. Pool equipment is in a fully enclosed structure along the southern façade. A dumpster enclosure is located at the northwest corner of the site, within the rear yard as required by Sec. 25-010.F.3. The dumpster enclosure includes a six-foot masonry wall and opaque swinging doors.

Landscaping. Perimeter landscaping is proposed along the north, south, and west property lines. Interior landscape islands are provided within the parking area, approximately every ten (10) spaces. The plan includes 36 percent pervious area where 30 percent is required.

Outdoor Lighting. Outdoor lighting is provided via 25-foot pole-mounted lamps. Poles are generally located around the perimeter of the parking lot.

Waivers Requested. Waivers from established regulations are permitted via Sec. 41-020.E. Per the established zoning standards, a waiver or waivers may be granted to a proposed PUD upon demonstration of significant contributions to implementing Town planning objectives and maintaining its rural character. The applicant provided a justification statement appended hereto. Waivers requested include the following, and are described by the applicant as noted below:

The first waiver is to provide a certain number of parking spaces that do not meet the minimum dimensional standards. The proposed project includes ten (10) parking spaces that meet the Town's standard size of 11' wide by 22.5' long and four (4) full sized ADA spaces. The site also includes four (4) "extra-long" spaces that measure 11' x36'. The remaining 65 spaces measure 9'x19', complying with the industry standard 9'x18' parking space, but less than the code required dimensions. Therefore, Developer is asking for a waiver of the minimum parking stall dimensions.

The second waiver allows outdoor lighting to remain on after 11 PM, to help prevent accidents, deter crime, and maintain an attractive community environment. The PUD Master Plan ordinance establishes that applicants within the PUD may apply for this waiver. The hotel, by the nature of it's use, will have customers who will be checking in or coming and going from the hotel after 11 PM and before dawn. Therefore, to ensure the parking lot is a secure place requests the waiver to extend the hours during which outdoor lighting may be provided.

IV. SITE PLAN – PUBLIC PARK, POD G (Attachment 8)

Site Location. The proposed public park is located in Pod G, as shown in the conceptual master plan. Generally, located north of Tangerine Drive and approximately 1,000 feet east of B Road. The subject site is approximately five (5) acres.

Proposed Use. The applicant proposes a public park on the subject site as permitted by Sec. 30-015. The subject site is zoned as a Multi-Land Use Planned Unit Development ('MLU-PUD') and has an institutional land use. Per Sec. 41-020.D.2, the subject site is governed by the institutional zoning regulations.

Site Access, Circulation, and Parking. Access to the site is granted via a two-way driveway along the southern property line. This stabilized, pervious drive connects to a stabilized parking area. This area can accommodate various vehicles including horse trailers. An equestrian culvert will connect the parking area and park to the existing perimeter trail system.

Site Design. No permanent structures are proposed on the subject site. A 3-rail wooden fence is proposed around the perimeter of the parking area, which is generally located along the western half of the property. The eastern portion of the site remains open for activities and events. A conservation easement is located at the northeast corner of the site where the applicant proposes bench seating, overlooking the wetland.

Waivers Requested. Waivers from established regulations are permitted via Sec. 41-020.E. Per the established zoning standards, a waiver or waivers may be granted to a proposed PUD upon demonstration of significant contributions to implementing Town planning objectives and maintaining its rural character. The applicant provided a justification statement appended hereto. Waivers requested include the following, as described by the applicant:

The waiver is to exceed the maximum plot size of five acres for an Institutional use per Sec. 30-035. Pod G is 5.43 acres. The Town Commons use is a low impact Institutional use, therefore exceeding the minimum lot size will not cause any issues. Further, if the conservation easement on Pod G that protects the existing wetland is excluded, the size of Pod G is reduced to 4.16 acres.

V. APPROVAL HISTORY

1. Ordinance 2011-017. Established MLU future land use designation for Property and a maximum of 103,000 square feet of commercial low retail, 44,000 square feet of commercial for professional and medical office, and a 128-bed congregate living facility.

2. Ordinance 2013-010. Established MLU/PUD zoning designation for Property and approved a conceptual master plan for 103,000 square feet of commercial low retail, 44,000 square feet of commercial for professional and medical office, and a 128-bed congregate living facility.

3. Ordinance 2018-08. Amended the conceptual master plan approved via Ord. 2013-010 to reconfigure Pod A.

4. Resolution 2018-84. Approved site plan for equestrian trail in the Conservation Tract of the conceptual master plan.

5. Resolution 2019-027. Approved plat for Groves Town Center PUD. Plat recorded in Plat Book 128, Page 66.

6. Resolution 2019-028. Approved Restrictive Covenant and Limited Access and Conservation Easement. Document recorded in Official Records Book 30616, Page 1289.

7. Ordinance 2019 -008. Modified master plan and revised conditions of approval.

VI. PLANNING AND ZONING BOARD (PZB) RECOMMENDATION

The Planning and Zoning Board held public hearings on July 22, 2024 and August 29, 2024 to consider all applications, including the comprehensive plan text amendment, master plan amendment, hotel site plan, and park site plan. The Board voted to recommend denial of all applications.

NOTE: After the August 29, 2024, PZB meeting, the hotel site plan was revised to reduce the number of waivers requested by reducing the total room count to 81-rooms, and by reducing the building height, amongst other revisions.

VII. STAFF FINDING AND RECOMMENDATION

The proposed comprehensive plan text amendment is a legislative (policy) decision and therefore there is no staff recommendation on this item.

Comprehensive Plan Text Amendment, Conditions of Approval:

- A. Applicant shall pay to the Town of Loxahatchee Groves an amount equal to the total expenses incurred by the Town in the processing and finalizing of the subject applications prior to issuance of any building permit. This includes, but may not be

limited to, expenses for planning, legal, advertising, and landscape review, and any related expenses that the Town has or will incur as a direct cost of the application.

Master Plan Amendment (Rezoning), Conditions of Approval:

Staff recommends the Town Council approve the master plan amendment subject to the following conditions of approval:

- A. Within ninety (90) days of any site plan approval for a hotel use, Solar Sportsystems, Inc. (including its successors and assigns) shall design and install a “pork-chop” median within the B Road right-of-way, at the intersection of Avocado Road, to preclude cross-traffic movements and left-out movements from Avocado Road. The median modification, at the discretion of the Town, may be constructed using bollards, flexible delineators, or similar. For a period of two (2) years, Solar Sportsystems shall assume all maintenance obligations of the median improvement. Upon mutual agreement between Solar Sportsystems and the Town, the median improvement may be removed if deemed to be ineffective or unnecessary.
- B. Prior to the issuance of the final building permit for the approved Groves at Town Center master planned area, the Town may notify Solar Sportsystems, Inc. (including its successors and assigns) in writing to require an alternative design to the pork chop median described in condition of approval (A). The alternative design shall be designed as a permanent installation and improvement within B Road, and shall generally be designed as a median with a mountable curb, if applicable. The median design shall be coordinated with the Town; however, Solar Sportsystems shall be responsible for the design and installation of the median.
- C. Within ninety (90) days of any site plan approval for a hotel use, Solar Sportsystems, Inc. (including its successors and assigns) shall design and install paint striping within B Road right-of-way to depict a “do not block the box” area at the intersection of Avocado Road.
- D. In recognition of existing circulation issues along B Road adjacent to the Groves Town Center master planned site (“Site”) and the projected increase in traffic and impact on traffic circulation based on the conversion to the hotel use at the Site, changes to the configuration of traffic patterns in the B Road right-of-way, are necessary. Prior to the issuance of the final certificate of occupancy for the hotel use on the Site, the applicant, or its successors or assigns, shall contact the Town in writing to evaluate the proportionate fair share contribution of such changes that is applicable based on the projected increased traffic and impact on traffic circulation generated as a result of the conversion to the hotel use.
- E. All previous conditions of approval shall remain in effect unless otherwise modified by Ordinance 2024-10.
- F. Applicant shall pay to the Town of Loxahatchee Groves an amount equal to the total expenses incurred by the Town in the processing and finalizing of the subject

applications prior to issuance of any building permit. This includes, but may not be limited to, expenses for planning, legal, advertising, and landscape review, and any related expenses that the Town has or will incur as a direct cost of the application.

Hotel Site Plan, Conditions of Approval:

Staff recommends approval of the hotel site plan subject to the following conditions of approval:

- A. Prior to issuance of a vegetation removal permit, the applicant shall coordinate with the Town’s arborist to determine the health of the existing oak hammock, generally located at the northwest corner of the subject site. If deemed to be viable for relocation by the Town’s arborist, the applicant shall act in good faith to relocate identified oak trees to Pod G within the Groves at Town Center master planned site. If the Town arborist identifies oaks within the hammock that are not viable for relocation, the applicant shall revise the landscape plan for the park (Pod G) to provide additional oak trees at an inch-per-inch rate for any demolished oak trees within the hammock on Pod TC. If sufficient room is not available within the park for relocation, other sites within the master planned area may be utilized for planting. The relocation and/or replacement of trees shall occur prior to issuance of a building permit for the hotel.
- B. Prior to any land clearing activities, the property owner shall comply with the permit approval requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87). Compliance with this condition requires an initial application and approval of a Vegetation Removal Permit (VRP) including a tree removal mitigation plan consisting of the following components: mitigation requirements; mitigation plant cost estimate; mitigation plan description; landscape plan (if a component of the mitigation plan); description of the planting and maintenance schedule; and projected date of completion of the mitigation plan. The approved landscape plan may be amended administratively in order to comply with the approved VRP.
- C. The Town shall inspect all landscaping on a periodic basis to ensure that it is being properly maintained and is growing in at a normal rate. The Town may require the Owner to add additional landscaping material if planted material is not growing at a normal rate as would be expected based upon the professional judgement of the Town arborist or landscape consultant retained by the Town.
- D. Prior to issuance of a land development permit, the applicant shall address the following conditions of approval:
 - 1. **CIVIL PLANS: 8 sheets, revised 4-15-24, signed and sealed 10-1-24, by EA3 Civil Engineering, Inc.**
 - i. Update exfiltration calculations per the revised length.
 - ii. Clearly label all swales.
 - iii. Provide control structure detail.
 - 2. **DRAINAGE CALCULATIONS: 35 sheets, dated September 2024, by EA3 Civil Engineering, Inc.**

- i. Update exfiltration calculations per the revised length.
- ii. Include all swales from the Sheet C200 in the proposed stage storage table.
- iii. Cascade structure information does not appear to match Sheet C200.

3. **OTHER:**

- i. Provide permits from applicable agencies including, but not limited to, SFWMD, PBCWUD, Palm Beach Fire Rescue, etc.
 - ii. Additional comments may be provided during Site Development review.
- E. Applicant shall pay to the Town of Loxahatchee Groves an amount equal to the total expenses incurred by the Town in the processing and finalizing of the subject applications prior to issuance of any building permit. This includes, but may not be limited to, expenses for planning, legal, advertising, and landscape review, and any related expenses that the Town has or will incur as a direct cost of the application.
- F. Failure to comply with all requirements as set forth herein shall constitute a violation of the site plan and the land development code and shall be enforceable as such.

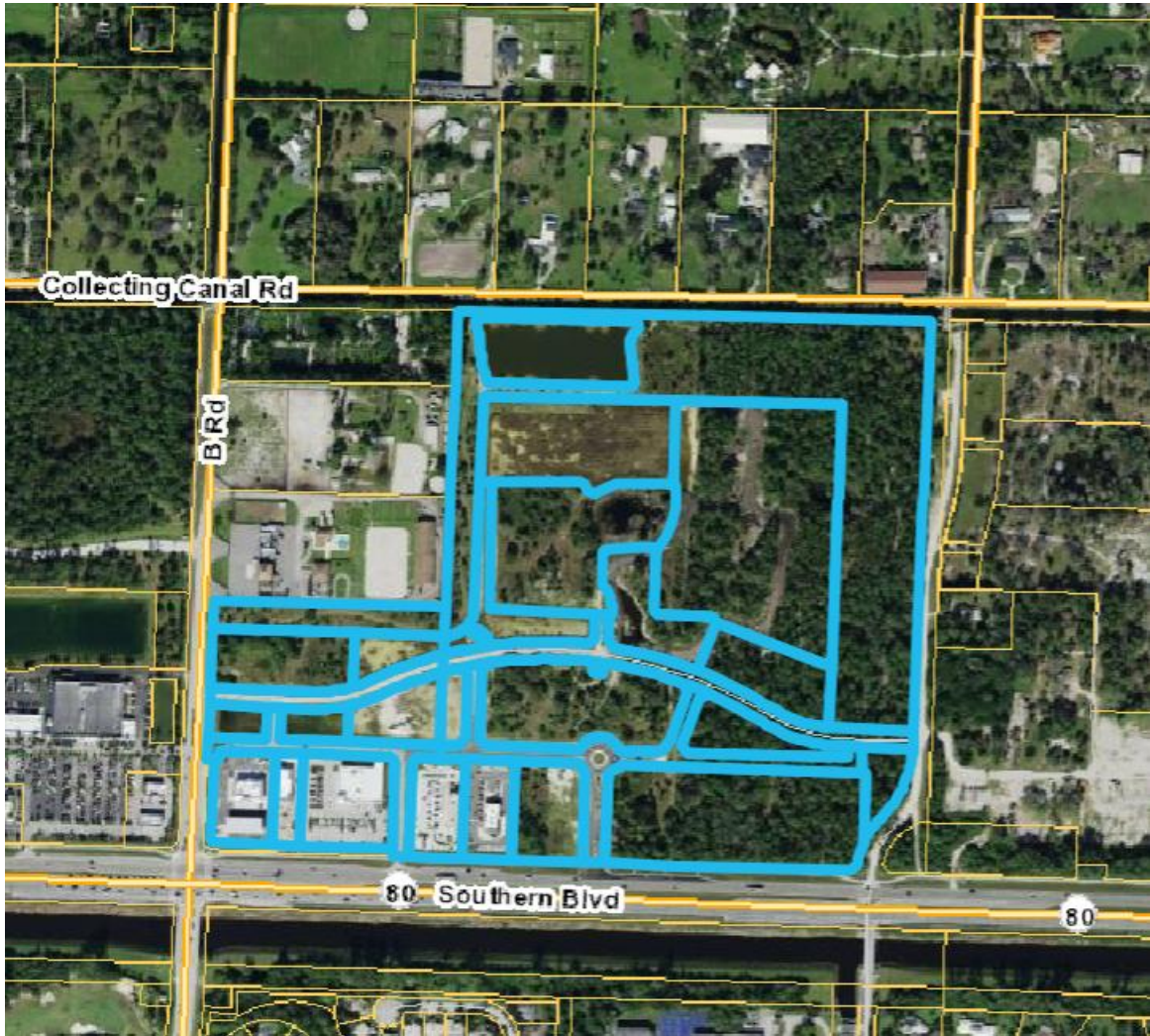
Park Site Plan, Conditions of Approval:

Staff recommends approval of the park site plan subject to the following conditions of approval:

- A. Prior to any land clearing activities, the property owner shall comply with the permit approval requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87). Compliance with this condition requires an initial application and approval of a Vegetation Removal Permit (VRP) including a tree removal mitigation plan consisting of the following components: mitigation requirements; mitigation plant cost estimate; mitigation plan description; landscape plan (if a component of the mitigation plan); description of the planting and maintenance schedule; and projected date of completion of the mitigation plan. The approved landscape plan may be amended administratively in order to comply with the approved VRP.
- B. The Town shall inspect all landscaping on a periodic basis to ensure that it is being properly maintained and is growing in at a normal rate. The Town may require the Owner to add additional landscaping material if planted material is not growing at a normal rate as would be expected based upon the professional judgement of the Town arborist or landscape consultant retained by the Town.
- C. Applicant shall pay to the Town of Loxahatchee Groves an amount equal to the total expenses incurred by the Town in the processing and finalizing of the subject applications prior to issuance of any building permit. This includes, but may not be limited to, expenses for planning, legal, advertising, and landscape review, and any related expenses that the Town has or will incur as a direct cost of the application.

D. Failure to comply with all requirements as set forth herein shall constitute a violation of the site plan and the land development code and shall be enforceable as such.

ATTACHMENT 1 – Subject Site Map (Map 1)



ATTACHMENT 2 – Legal Description

THE SOUTH 1000 FEET OF TRACT 4, BLOCK "I", LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 29; SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA AND LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) AS ESTABLISHED BY RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORD BOOK 1005, PAGE 577, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOT 5, BLOCK "I" LOXAHATCHEE GROVES, LYING NORTH OF STATE ROAD 80, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 12, PAGE 29, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA LESS AND EXCEPT THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN THE ORDER OF TAKING IN O.R. BOOK 5463, PAGE 1126, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

TRACT 6, BLOCK "I", OF LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT:

THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 5463, PAGE 1126, AND THAT PORTION OF THE RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 1005, PAGE 577, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

AND

THAT PORTION OF TRACT 6, BLOCK "I" RE-CONVEYED TO GASPAR MORELLO AND ELIZABETH MORELLO, HUSBAND AND WIFE, IN QUIT-CLAIM DEED RECORDED JANUARY 25, 2002, IN OFFICIAL RECORD BOOK 13344, PAGE 953, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE PLATTED EAST LINE OF TRACT 6, BLOCK "I" ACCORDING TO THE PLAT OF LOXAHATCHEE GROVES, AS RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, SECTION 93120-3528, SHEET 5 OF 13, DATED 1986, THENCE, NORTH 88 DEGREES 26 MINUTES 32 SECONDS WEST ALONG THE NORTHERLY RIGHT-OF-WAY OF SOUTHERN BOULEVARD, 66.16 FEET; THENCE, NORTH 39 DEGREES 58 MINUTES 31 SECONDS WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF "C" ROAD, ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, 33.14 FEET, TO A POINT OF CURVATURE; THENCE, NORTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 202.00 FEET AND A CENTRAL ANGLE OF 46 DEGREES 54 MINUTES 52 SECONDS, AN ARC LENGTH OF 165.40 FEET TO THE PLATTED EASTERLY LINE OF TRACT 6, BLOCK "I"; THENCE, SOUTH 02 DEGREES 09 MINUTES 47 SECONDS WEST, ALONG THE PLATTED EAST LINE OF TRACT 6, BLOCK "I", 158.23 FEET TO THE POINT OF BEGINNING.

ATTACHMENT 3 – Proposed Comprehensive Plan Text Amendment

Attachment 1

Proposed Text Amendment to Special Policy 1.15.2

Changes are in strikethrough and underline format.

1.15.2 Special Policy:

- (1) Land Use and density/intensity of development on the property delineated as “Special Policy 1.15.2” on the Future Land Use Map, Map # FLU – 1.10, shall be regulated by the application of the Multiple Land Use (MLU) land use category, and the following criteria: Commercial Low (CL) – Maximum of 34.34 acres / 103,000 sq. ft. of retail commercial space and up to 81 lodging units; Commercial Low Office – Maximum of 16.0 acres / 44,000 sq. ft. of professional and medical office commercial space; and Institutional – Minimum of 40.0 acres / ~~Maximum of 128 congregate living beds~~ Public Park (Town Commons). Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.
- (2) A 300 foot wide buffer shall be incorporated in the master plan along that portion of the MLU adjacent to the Collecting Canal.
- ~~(2)~~(3) For the property delineated as “Special Policy 1.15.2” on the Future Land Use Map, Map # FLU – 1.10, Commercial Low and Commercial Low Office uses are restricted to being located on Parcel 1 and/or Parcel 2 and Commercial Low and Commercial Low Office uses are prohibited on Parcel 3. The aforementioned parcels are as shown on the Conceptual Master Plan dated October 12, 2023.

ATTACHMENT C

STATEMENT OF USE GROVES TOWN CENTER PUD

The proposed Conceptual Master Plan, same as the approved Conceptual Master Plan, establishes a commercial center along Southern Boulevard, providing convenient shopping and access to professional services to the Town's residents. It is designed to complement the rural character of the area and to encourage economic development and job creation. The Conceptual Master Plan is consistent with and implements the Town's approval of Applicant's previous request for a Large Scale Land Use Amendment for the subject property (Ordinance Number 2011-017), which amended the site's Future Land Use designation from Rural Residential to Multiple Land Use, and the most recent PUD modification approved via Ordinance 2019-08.

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. The Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.

The impetus for the requested change to the PUD Master Plan is a shared desire by the Applicant and the Town to remove the congregate living facility land use and allow a lodging use and simultaneously move the Town Commons use within the Master Plan to Pod G, which is the Pod that the congregate living facility is currently allowed on. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel (rated as a 2-star hotel by Google) which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. There is a strong need for a hotel in the western reaches of the County.

The proposed swap of the congregate living facility land use for a lodging land use requires a Text Amendment to Special Policy 1.15.2 of the Future Land Use Element of the Comprehensive Plan because Special Policy 1.15.2 specifically enumerates that the Institutional Land Use category only allows a 128-bed congregate living facility and lodging uses are not mentioned. The other uses allowed in the PUD are not changing.

The proposed Master Plan is still divided into commercial, office and institutional pods consistent with Special Policy 1.15.2 and consistent with the provisions of the Town's Planned Unit Development Ordinance. It provides for interconnectivity among the various parcels within the site.

The other aspects of the PUD Conceptual Master Plan that were previously approved are not changing with this proposed PUD amendment. In other words, the configuration of the PUD Conceptual Master Plan in terms of the development pods and roads remains the same as the previously approved Conceptual Master Plan and Plat. The Conceptual Master Plan provides for natural areas, open space and landscape buffers that achieve the Town's Objectives and Policies and provide consistency with the Town's Rural Vista Guidelines. The Conceptual Master Plan maintains a twenty-five (25) foot wide landscape buffer adjacent to Southern Boulevard and it maintains the three hundred (300) foot buffer predominantly along the northern and eastern boundaries of the site and one hundred (100) foot buffer abutting the western and northern boundary. As per the previously approved site plan for the equestrian trail (Resolution 2018-84) a ten (10) foot wide equestrian trail has been constructed within the one hundred (100) foot and three hundred (300) foot buffers.

A site plan for the Town Commons use on Pod G has also been submitted. Parking for the Town Commons is proposed to occur on stabilized grass or gravel areas. The revised Master Plan provides a connection from the equestrian trail to the Town Commons so that people could ride their horses to events in the Town Commons.

Same as before, each proposed Pod within the project will be subject to individual site plan approval processes for individual users, allowing the Applicant and the Town to achieve further compliance with the Town's Rural Vista Guidelines and Land Development Regulations. This will assure that the appropriate setbacks, buffers, building designs, architectural treatments, pedestrian amenities, and other such features are incorporated within the site to further preserve, promote and reflect the Town's rural character.

The Applicant acknowledges that the project is subject to the permitting requirements of the Town's Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal Ordinance and intends, to the fullest extent possible, to plan the project around the existing tree canopy, which shall preserve the natural beauty of the existing eco-system, consistent with the Town's objectives and the Rural Vista Guidelines.

The total proposed floor area of the uses in the proposed Conceptual Master Plan is the same as the approved Master Plan, which is 103,000 square feet of commercial low retail and 44,000 square feet of commercial low professional and medical office.

Nothing in the proposed revisions to the Conceptual Master Plan affects what was previously approved for Pod A via Resolution 2018-83.

Existing Uses of Adjacent Lands

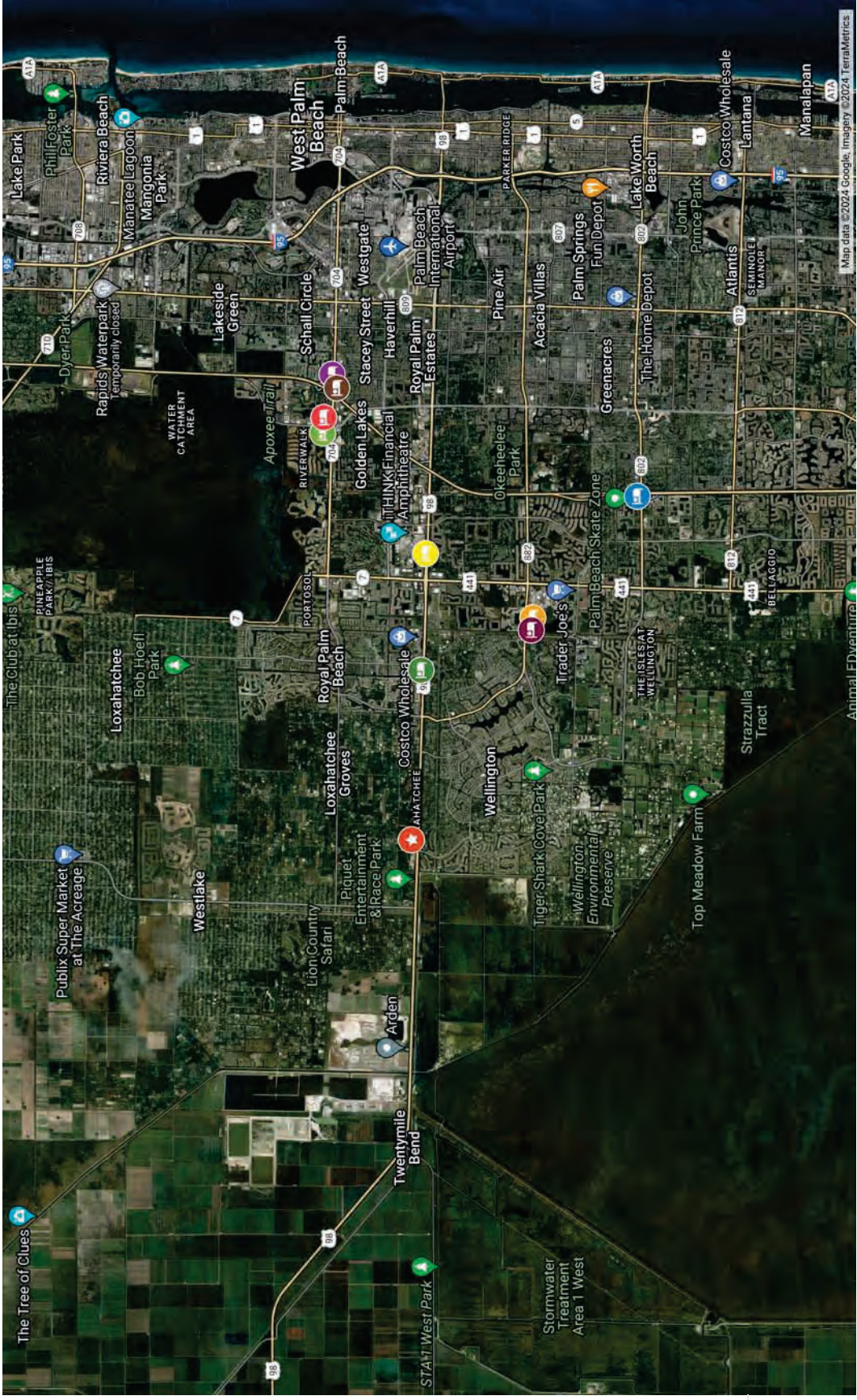
To the south of the Groves Town Center is property within the Village of Wellington that is used as an elementary school and single-family residential.

To the west of the Groves Town Center, on the west side of B Road is a shopping center and on the east side of B Road are three properties whose uses range from Ag Equestrian to Miscellaneous Ag.

To the north of the Groves Town Center are six single-family homes.

To the east of the Groves Town Center is one single-family home and numerous vacant, undeveloped parcels.

Hotels Near Loxahatchee FL



- Hotels**
- 📍 (122 Rooms)
Hampton Inn & Suites Wellington
 - 📍 (104 Rooms)
Hampton Inn West Palm Beach-Lake Worth-Tumpike
 - 📍 (107 Rooms)
Fairfield Inn & Suites by Marriott Wellington-West Palm Beach
 - 📍 (60 Rooms)
Pioneer Inn
 - 📍 (103 Rooms)
Royal Inn Hotel
 - 📍 (125 Rooms)
Fairfield Inn & Suites by Marriott West Palm Beach
 - 📍 (122 Rooms)
WoodSpring Suites West Palm Beach
 - 📍 (114 Rooms)
La Quinta Inn by Wyndham West Palm Beach - Florida Tumpike
 - 📍 (110 Rooms)
Hampton Inn West Palm Beach Florida Tumpike
 - 📍 (91 Rooms)
Groves Town Center Hotel

**JUSTIFICATION STATEMENT
GROVES TOWN CENTER
PUD Amendment, Rezoning, and Comprehensive Plan Text Amendment**

REQUEST

On behalf of the Applicant, WGI is requesting the following:

- **Rezoning and PUD Amendment** to change the 128-bed congregate living facility use to a 81-room hotel, to relocate the Town Commons from Pod TC to Pod G, change the uses in Pod TC to lodging and commercial, reflect supplemental changes to the master plan in order to match the plat and other issued permits and amend conditions of approval of the Master Plan Ordinance; and
- **Comprehensive Plan Text Amendment** to change Special Policy 1.15.2 to reflect the change of permitted uses from a 128-bed congregate living facility to a 81-bedroom hotel.

SITE CHARACTERISTICS

Groves Town Center PUD is a 90-acre planned unit development with a future land use designation of Multiple Land Use (MLU) and a Zoning classification of Multiple Use Planned Development (MUPD). It is on the northeast corner of southern Boulevard and “B” Road and fronts three roads – Southern Boulevard, “B” Road, and “C” Road. It is comprised of 29 parcels listed in Table 1. The majority of the PUD is vacant with the exception of the southwest corner, where construction has begun on the first two commercial pods.

Figure 1. Aerial of the subject site





Table 1. Parcel IDs	
Tract/Pod*	PCN
Pod A	41-41-43-31-12-001-0010
	41-41-43-31-12-001-0020
	41-41-43-31-12-001-0030
Tract LB3	41-41-43-31-12-012-0031
	41-41-43-31-12-012-0032
	41-41-43-31-12-012-0033
Tract AE	41-41-43-31-13-001-0010
	41-41-43-31-13-001-0020
Tract Pod B-2	41-41-43-31-13-002-0020
Tract Pod B-1	41-41-43-31-13-002-0010
	41-41-43-31-13-002-0030
Tract Pod D	41-41-43-31-13-004-0000
Tract SWM 10	41-41-43-31-13-019-0020
Tract SWM 2	
Tract Pod C	41-41-43-31-13-000-0031
	41-41-43-31-13-000-0032
Tract Pod TC	41-41-43-31-13-020-0000
Tract LS	41-41-43-31-13-012-0000
Tract SWM 6	41-41-43-31-13-019-0010
Tract SWM 7	
Tract SWM 9	
Tract SWM 4	
Tract SWM 1	
Tract Pod E	41-41-43-31-13-005-0000
Tract SWM 3	41-41-43-31-13-019-0031
	41-41-43-31-13-019-0032
Pod I	41-41-43-31-13-009-0000
Tract C-1	41-41-43-31-13-003-0010
	41-41-43-31-13-003-0020
Tract SWM 5	41-41-43-31-13-019-0010
Tract Pod F	41-41-43-31-13-006-0000
Tract Pod G	41-41-43-31-13-007-0000
Tract SWM 8	41-41-43-31-13-019-0010

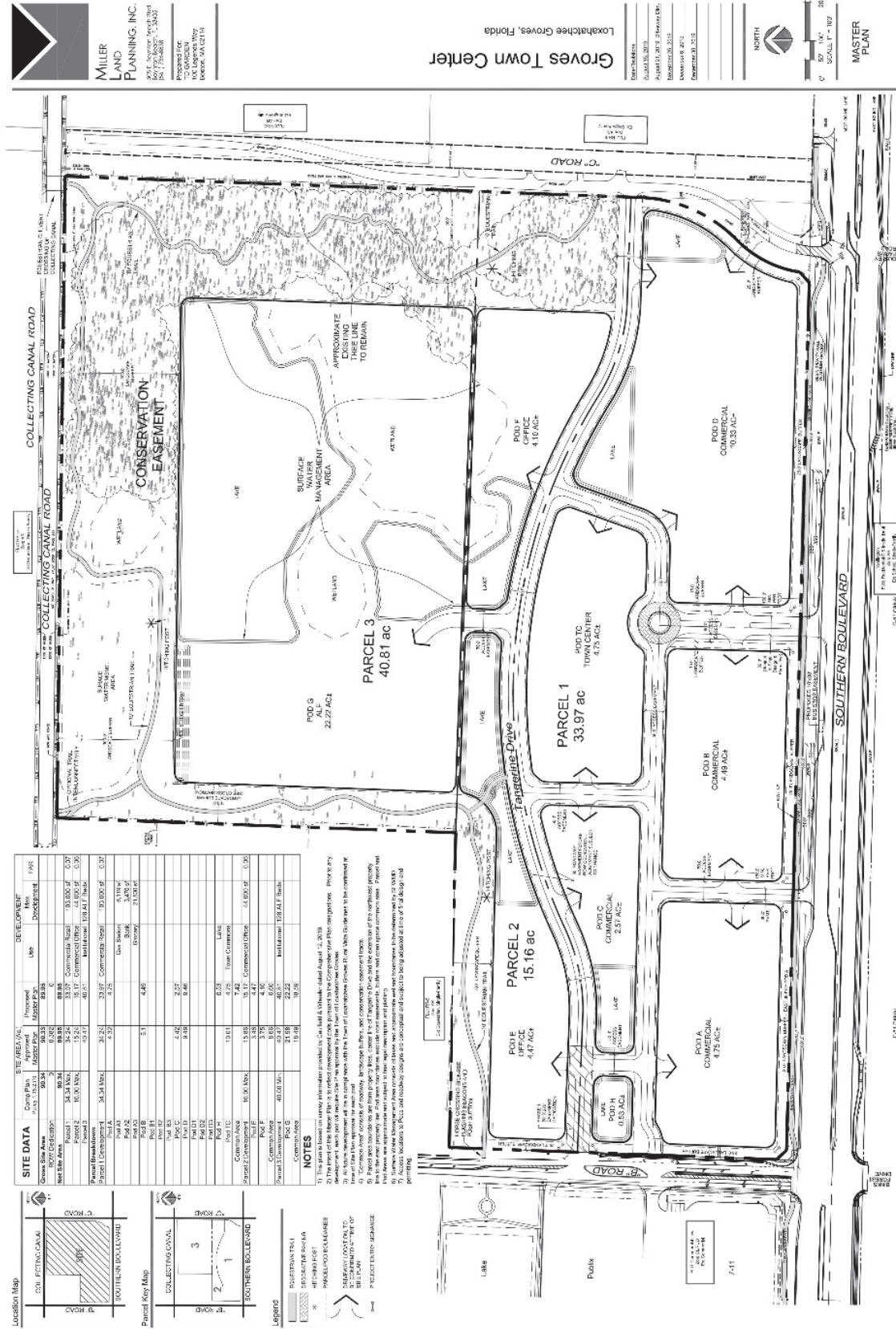
*Tract/Pod names are as provided in the *Groves Town Center PUD Plat* and the *Groves Town Center Amendment No. 1 Plat*

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. Figure 2. is the most recently approved Master Plan. Per Ord. 2019-08 and *Special Policy 1.15.2* of the Town of Loxahatchee Groves Comprehensive Plan, the Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.



Figure 2. Existing Groves Town Center Master Plan





The proposed amendment removes the 128-bed congregate living facility from Pod G and replaces it with a 81-room hotel in Pod TC and relocates the Town Commons use from Pod TC to Pod G as shown in Figure 3. The proposed amendment will also amend *Special Policy 1.15.2* of the Town's Comprehensive Plan to remove the 128-bed congregate living facility and add a 81-room hotel to the criteria of the Policy.

The change of use from congregate living facility to hotel and relocation of the Town Commons is consistent with the original Future Land Use Amendment approved via Ord. 2011-017 to change the Future Land Use of Groves Town Center from Rural Residential to Multiple Land Use, the Town's objectives and policies, Rural Vista Guidelines, and PUD's intent of establishing a commercial center along Southern Boulevard. The hotel will provide lodging for visitors with access to surrounding commercial uses along Southern Boulevard and equestrian facilities in the Town and neighboring communities. Its location in Pod TC means that visitors can easily access commercial uses in surrounding commercial pods, which will promote commercial and economic growth along the Southern Blvd corridor where such growth is directed. By continuing to direct commercial growth along Southern Blvd, the Town's agricultural and rural character away from Southern Blvd will be protected. Data has been collected and submitted that shows on a per room basis a hotel is a smaller building than a congregate living facility. Therefore, a 81-room hotel compared to a 128-bed congregate living facility would typically be a smaller building.

The following are the proposed changes to the conditions of approval for the PUD Master Plan ordinance:

- A.2 Insert new date of Master Plan and new application number
- A.3 Insert new date of Master Plan
- B.1 Change 128-bed assisted living facility to 81-room hotel and insert new date of Master Plan
- B.2 Delete condition because a site plan for the equestrian trails was approved
- B.4 Delete condition because the plat was recorded
- B.7 Delete condition because the improvement agreement was approved
- B.9 Change Pod TC to Pod G and insert new date of the Town Commons site plan
- B.10 Delete condition because Town Council approved the Stormwater Management Area
- C.1 Change the buildout date to reflect the most recent extension of the buildout date
- C.2 Note two items as having been completed
- C.6.a Delete condition because the item has been completed
- C.6.b Delete condition because the item has been completed
- C.8 Insert new date of Master Plan
- C.9 Noting that the conceptual drainage plan for the entire PUD as been completed
- C.10 Delete the condition because it has been completed
- C.11 Delete the condition because it has been completed
- D.6 Delete the condition because it has been completed
- E.1 Delete the condition because it has been completed
- E.2 Delete the condition because it has been completed
- E.3 Delete the condition because it has been completed
- E.4 Delete the condition because it has been completed
- E.5 Delete the condition because it has been completed
- E.6 Remove reference to assisted living facility
- G. Delete the condition because a master sign plan is not being contemplated any longer



- H.3 Add waiver to allow the hotel to have parking spaces that are 9' wide and 19' long and to have ADA accessible parking spaces that meet the federal requirements for size in lieu of the Town's larger dimensions for ADA spaces
- H.4 Add waiver to allow the Institutional use of the Town Commons on Pod G to exceed the maximum plot size of five acres



CONSISTENCY WITH REZONING CRITERIA

Per Sec. 160-020 of Loxahatchee Grove’s Unified Land Development Code, the following criteria have been met:

- **The request is consistent with the Town's Comprehensive Plan:**

- *Goal 1: Loxahatchee Groves will continue to protect its natural environment and rural character in the midst of an urbanizing region. The Town will continue to be a rural residential and agricultural community that has a great respect for lifestyle choices balanced with historical community needs.*

The requests for a change of use and relocation of the Town Center maintains the protection of the Town’s natural environment and rural character by putting the commercial lodging use closer to Southern Blvd and putting the institutional use of the Town Commons in Pod G, which is closer to the back of the PUD.

- *Objective 1.1: The Town shall designate future land uses with appropriate uses, densities and intensities that will protect residential and agricultural land uses and encourage limited economic development.*

The requests propose appropriate uses and intensities. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

- *Objective 1.2: The Town shall support development of rural-style commercial center along the Southern Boulevard Corridor.*

The requests support a rural-style commercial center along the Southern Boulevard Corridor. As with all development within the Groves Town Center PUD, the hotel will follow the Town’s Rural Vista Design Guidelines.

- *Policy 1.12.3: The Town shall encourage development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, and employment opportunities for Loxahatchee Groves’ residents.*

The requests further the development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, employment and now lodging opportunities for the Town’s residents and visitors.

- ***The request would not give privileges not generally extended to similarly situated property in the area, or result in an isolated district unrelated to adjacent or nearby districts:***

The requests do not give privileges not generally extended to similarly situated property in the area or result in an isolated district unrelated to adjacent or nearby districts.



- ***An error or ambiguity must be corrected:***

The congregate living facility use was not favored by the Town or the Applicant, therefore, the request for a change of use from congregate living facility to hotel addresses this ambiguity.

- ***That there exists changed or changing conditions which make approval of the request appropriate:***

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased.

- ***That substantial reasons exist why the property cannot be used in accordance with the existing zoning:***

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Neither the Town nor the Applicant desire to have a congregate living facility in the PUD.

- ***That the rezoning is appropriate for the orderly development of the Town and is compatible with existing and conforming adjacent land uses and planned adjacent land uses:***

The location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

CONCLUSION

The proposed PUD amendment, Rezoning, and Comprehensive Plan Text Amendment are all consistent with the Town of Loxahatchee Groves Comprehensive Plan and Rezoning criteria. The change of use from a 128-bed congregate living facility to 81-room hotel and relocation of the Town Commons to Pod G and transformation of Pod TC into Lodging and Commercial uses will continue to establish a rural commercial center along Southern Boulevard while protecting the rural and agricultural character of the Town. Based on this justification, Applicant respectfully requests approval of a **Rezoning** and **PUD Amendment** to change the congregate living facility use to a lodging use and to relocate the Town Commons use to Pod G and change the uses in Pod TC to lodging and commercial and a **Comprehensive Plan Text Amendment** to amend *Special Policy 1.15.2* to reflect the change of use from the 128-bed congregate living facility to a 81-room hotel.

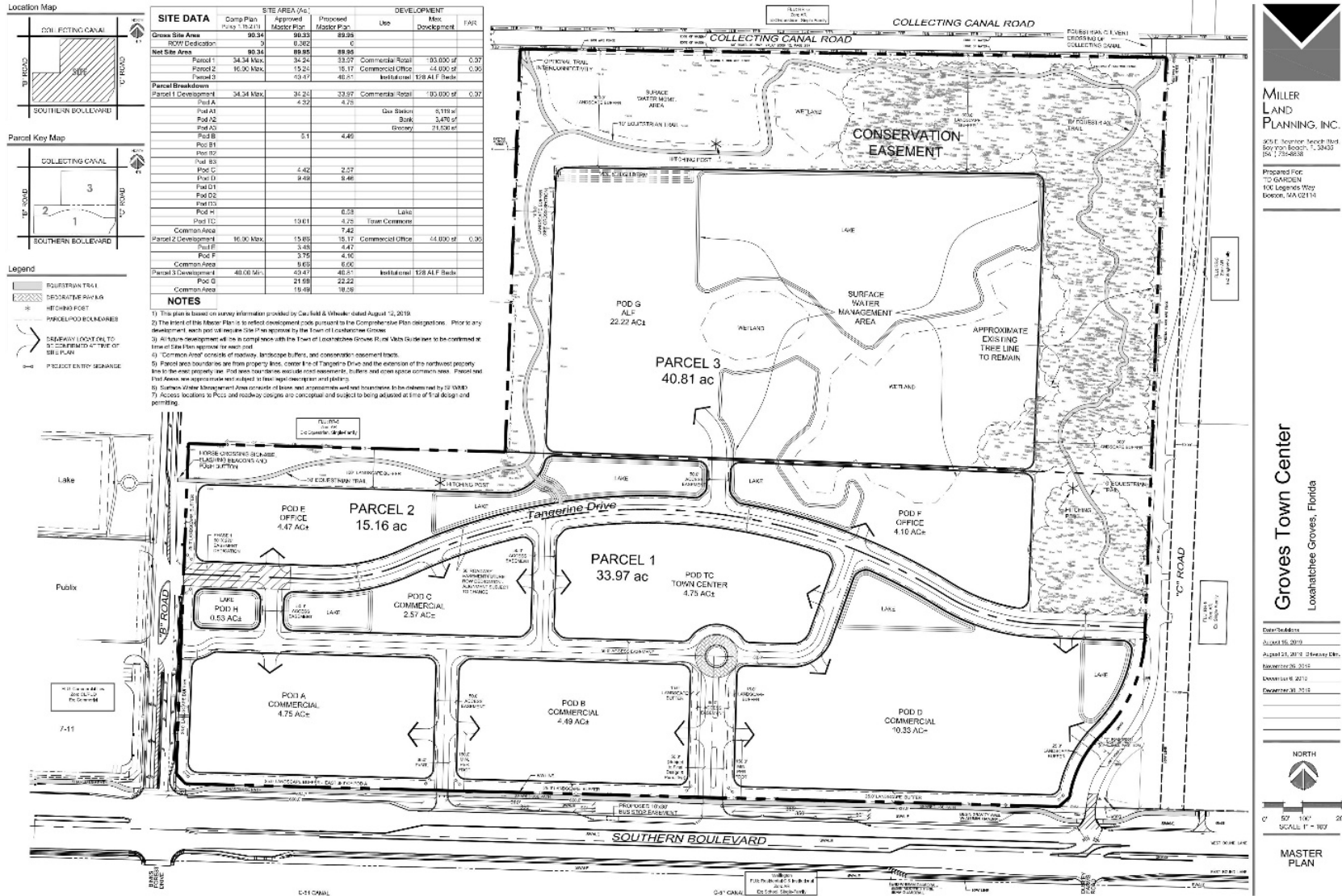
Sincerely,

Matthew Barnes, AICP
Senior Project Manager

ATTACHMENT 4 – Existing Master Plan



Figure 2. Existing Groves Town Center Master Plan

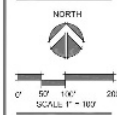


MILLER LAND PLANNING, INC.
 905 E. Johnson Street, 3rd
 Boca Raton, FL 33433
 (561) 731-4638

Prepared For:
TOWN OF GROVES
 100 Legends Way
 Boca Raton, FL 33414

Groves Town Center
 Lovelock Grove, Florida

Date/Revision:
 08/15/2019
 Approved: 08/15/2019
 Approved: 08/15/2019
 Approved: 08/15/2019
 Approved: 08/15/2019

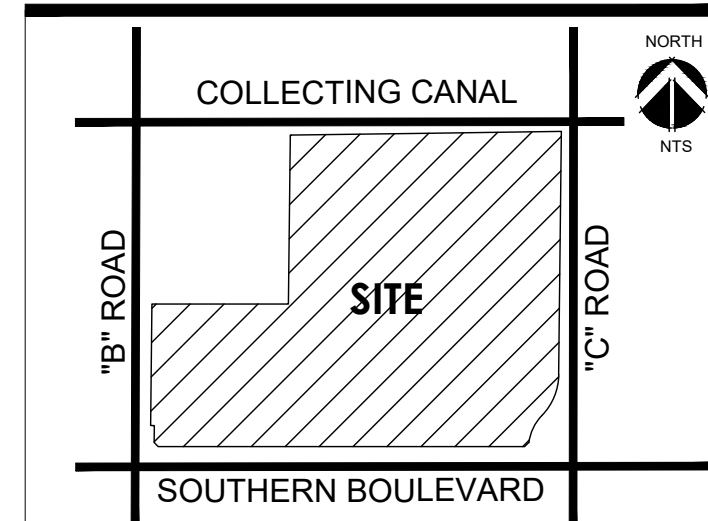


MASTER PLAN

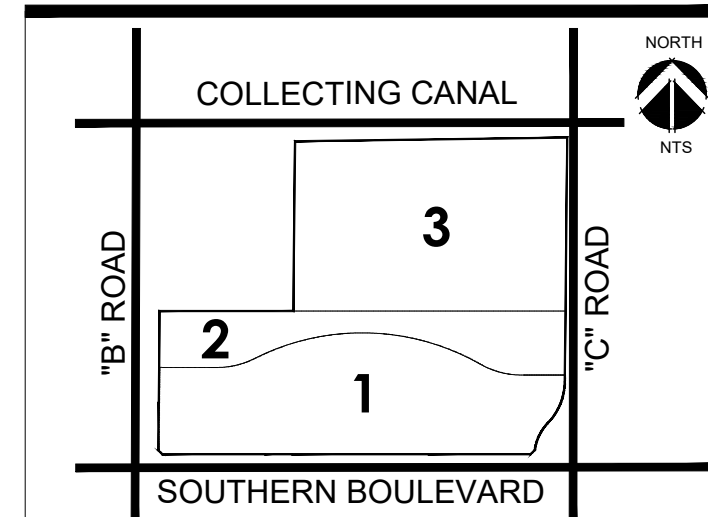
ATTACHMENT 5 – Proposed Master Plan



Location Map



Parcel Key Map



NOTES:

- THIS PLAN IS BASED ON SURVEY INFORMATION BY CAULFIELD & WHEELER DATED AUGUST 12 2019.
 - THE INTENT OF THIS MASTER PLAN IS TO REFLECT DEVELOPMENT PODS PURSUANT TO THE COMPREHENSIVE PLAN DESIGNATIONS. PRIOR TO ANY DEVELOPMENT, EACH POD WILL REQUIRE SITE PLAN APPROVAL BY THE TOWN OF LOXAHATCHEE GROVES.
 - ALL FUTURE DEVELOPMENT WILL BE IN COMPLIANCE WITH THE TOWN OF LOXAHATCHEE GROVES RURAL VISTA GUIDELINES TO BE CONFIRMED AT TIME OF SITE PLAN APPROVAL FOR EACH POD. BOUNDARIES EXCLUDE ROAD EASEMENTS, BUFFERS AND OPEN SPACE COMMON AREA. PARCEL AND POD AREAS ARE APPROXIMATE AND SUBJECT TO FINAL LEGAL DESCRIPTION AND PLATTING. ACCESS LOCATIONS TO PODS AND ROADWAY DESIGN ARE CONCEPTUAL AND SUBJECT TO BEING ADJUSTED AT TIME OF FINAL DESIGN AND PERMITTING.
 - "COMMON AREA" CONSISTS OF ROADWAY, LANDSCAPE BUFFERS, AND CONSERVATION EASEMENT TRACTS.
 - PARCEL AREA BOUNDARIES ARE FROM PROPERTY LINES, CENTER LINE OF TANGERINE DRIVE AND THE EXTENSION OF THE NORTHWEST PROPERTY LINE TO THE EAST PROPERTY LINE. POD AREA BOUNDARIES EXCLUDE ROAD EASEMENTS, BUFFERS AND OPEN SPACE COMMON AREA. PARCEL AND POD AREAS ARE APPROXIMATE AND SUBJECT TO FINAL LEGAL DESCRIPTION AND PLATTING. ACCESS LOCATIONS TO PODS AND ROADWAY DESIGN ARE CONCEPTUAL AND SUBJECT TO BEING ADJUSTED AT TIME OF FINAL DESIGN AND PERMITTING.
- * BECAUSE THESE USES ARE MEDICAL AND DENTAL OFFICES, THEY COUNT AGAINST THE PARCEL 2 MAXIMUM ALLOWABLE DEVELOPMENT.
 ** THE TOTALS REFLECT THAT THE DENTAL OFFICE IN POD B4 AND MEDICAL OFFICE IN POD C COUNT AGAINST THE PARCEL 2 MAXIMUM ALLOWABLE DEVELOPMENT.

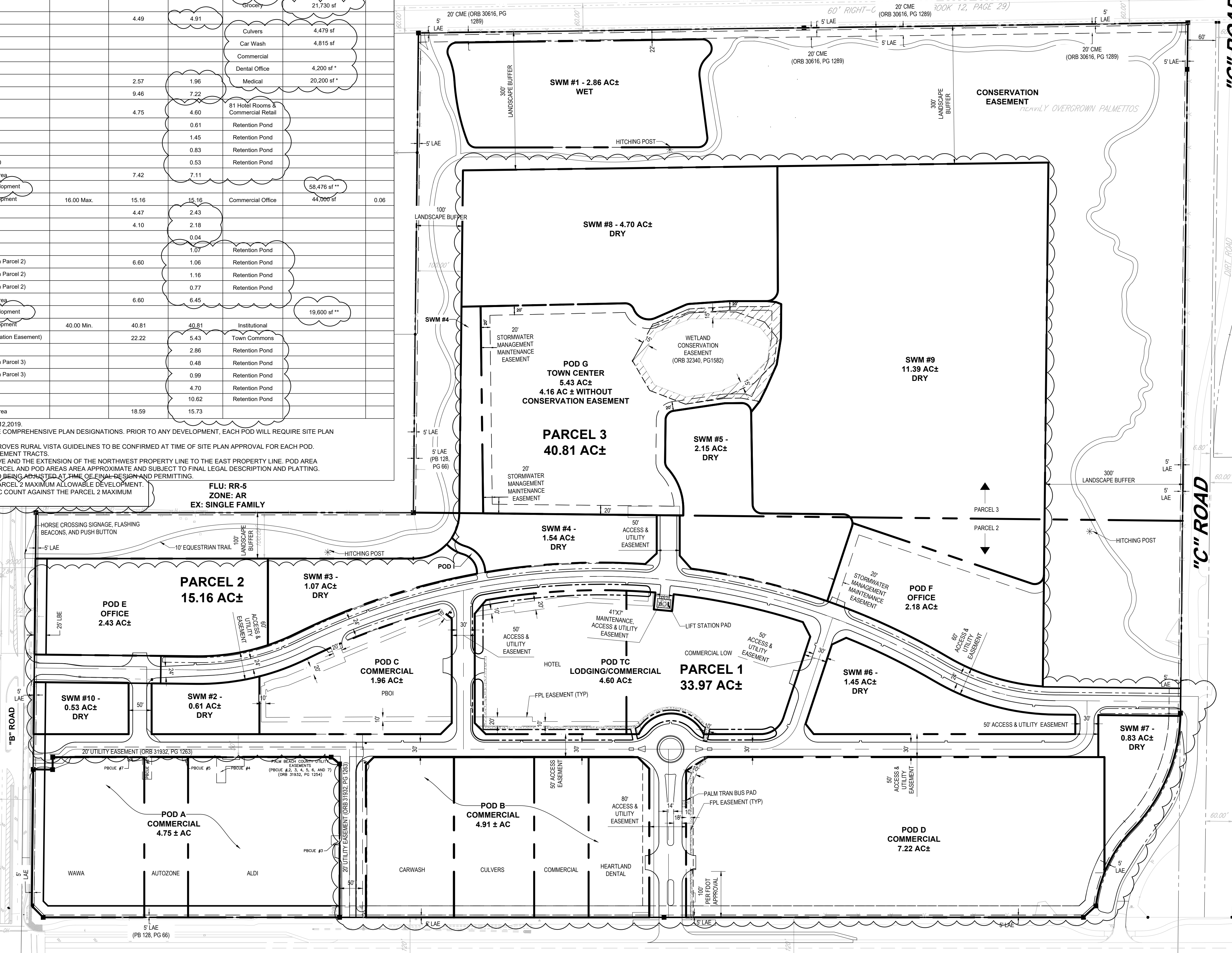
Site Data	SITE AREA (Ac)			DEVELOPMENT		
	Comp Plan Policy 1.15.2(1)	Approved Master Plan	Proposed Master Plan	Use	Max. Development	FAR
Gross Site Area	90.34	89.95	89.95			
ROW Dedication	0	0.383	0			
Net Site Area	90.34	89.95	89.95			
Parcel 1	34.34 Max.	33.97	33.97	Commercial Retail	103,000 sf & 81 Hotel Rooms	0.07
Parcel 2	16.00 Max.	15.17	15.17	Commercial Office	44,000 sf	0.06
Parcel 3		40.81	40.81	Institutional		
Parcel Breakdown						
Parcel 1 Development	34.34 Max.	33.97	33.97	Commercial Retail	103,000 sf	0.07
Pod A		4.75	4.75			
Pod A1				Gas Station	6,119 sf	
Pod A2				Autozone	7,381 sf	
Pod A3				Grocery	21,730 sf	
Pod B	4.49	4.91	4.91			
Pod B1				Culvers	4,479 sf	
Pod B2				Car Wash	4,815 sf	
Pod B3				Commercial		
Pod B4				Dental Office	4,200 sf *	
Pod C	2.57	1.96	1.96	Medical	20,200 sf *	
Pod D	9.46	7.22	7.22			
Pod TC	4.75	4.60	4.60	81 Hotel Rooms & Commercial Retail		
SWM #2				Retention Pond		
SWM #6				Retention Pond		
SWM #7				Retention Pond		
SWM #10				Retention Pond		
Common Area		7.42	7.11			
Remaining Development					58,476 sf **	
Parcel 2 Development	16.00 Max.	15.16	15.16	Commercial Office	44,000 sf	0.06
Pod E		4.47	2.43			
Pod F		4.10	2.18			
Pod I			0.04			
SWM #3			1.07	Retention Pond		
SWM #4 (portion in Parcel 2)		6.60	1.06	Retention Pond		
SWM #5 (portion in Parcel 2)			1.16	Retention Pond		
SWM #9 (portion in Parcel 2)			0.77	Retention Pond		
Common Area		6.60	6.45			
Remaining Development					19,600 sf **	
Parcel 3 Development	40.00 Min.	40.81	40.81	Institutional		
Pod G (Includes Conservation Easement)		22.22	5.43	Town Commons		
SWM #1			2.86	Retention Pond		
SWM #4 (portion in Parcel 3)			0.48	Retention Pond		
SWM #5 (portion in Parcel 3)			0.99	Retention Pond		
SWM #8			4.70	Retention Pond		
SWM #9			10.62	Retention Pond		
Common Area		18.59	15.73			

WETLAND W-KAA-1B

WETLAND AREA: 0.82 ACRES = 35,869 SF
 WETLAND PERIMETER: 718 FT
 PROPOSED BUFFER AREA: 19,755 SF
 BUFFER AVERAGE: 19,755 SF / 718 FT = 27.51 FT

FLU: RR-5
 ZONE: AR
 EX: EQUESTRIAN, SINGLE FAMILY

**COLLECTING CANAL
 LOXAHATCHEE GROVES**



FLU: COMMERCIAL LOW
 ZONE: CL/PUD
 EX: COMMERCIAL

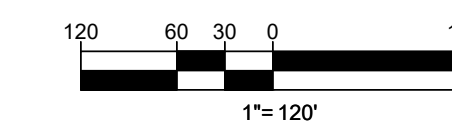
FLU: RR-5
 ZONE: AR
 EX: SINGLE FAMILY

FLU: RR-5
 ZONE: AR
 EX: SINGLE-FAMILY

SOUTHERN BLVD./STATE ROAD 80

FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY
 MAP SECTION 93120-2538 (DATED 7/29/86) (ROAD PLAT
 BOOK 2, PAGE 11) (DEED BOOK 1005, PAGE 577) (O.R.B.
 5463, PAGE 1126)

WELLINGTON
 FLU: RESIDENTIAL C & INSTITUTIONAL
 ZONE: AR
 EX: SCHOOL, SINGLE-FAMILY



BOHLER
 CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

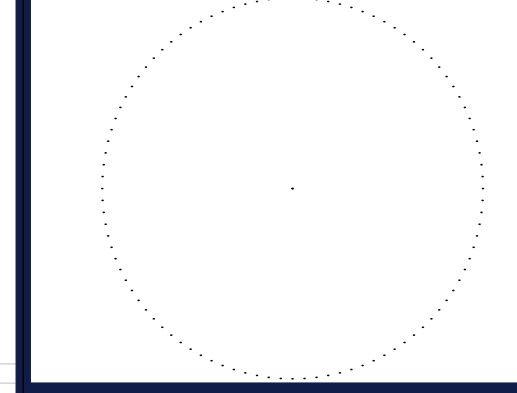
REV	DATE	COMMENT	BY

Sunshine811
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

SITE PLAN AMENDMENT
 PROJECT No.: FLD200011
 DRAWN BY: AH
 CHECKED BY: SHM
 DATE: 09/29/23
 CAD ID: FLD200011-SPP-NEW-0

**GROVES TOWN
 CENTER MASTER
 INFRASTRUCTURE**
 FOR
 SOLAR
 SPORTSYSTEM, INC.
 LOCATION OF SITE:
 N.E. CORNER OF SOUTHERN BLVD.
 AND B ROAD
 TOWN OF LOXAHATCHEE GROVES
 PALM BEACH COUNTY, FL
 SEC 31, TWP 43S, RGE 41E

BOHLER
 1 SE 3rd AVENUE
 SUITE 2700
 MIAMI, FLORIDA 33131
 Phone: (786) 681-0800



**MASTER SITE
 PLAN**

SHEET NUMBER:
EX-1

ORG. DATE - 10/12/2023

ATTACHMENT 6 – Proposed Amendments, Conditions of Approval (est. via Ord. 2019-008)

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_ - __

**GROVES TOWN CENTER
CONDITIONS OF APPROVAL**

The conditions of approval included in Ordinance 2019-08 are hereby rescinded and replaced by the following conditions of approval. Text underlined are additions to Ordinance 2019-08 and text ~~struck through~~ are deletions to Ordinance 2019-08.

A. GENERAL

1. The conditions of approval herein shall apply to the Owner, Applicant and their successors and assigns.

2. Final site plans shall conform to the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE] and the PUD Justification Narrative included in Attachment 9 of the ~~MLU/PUD General Application REZ 2019-01~~, included by reference herein. Any modifications to the approved Conceptual Master Plan or PUD Justification Narrative must be approved by the Town Council unless the proposed changes are required to meet conditions of approval or are required for compliance with the ULDC.

3. Any subdivision by fee title conveyance of an internal lot which is subject to a final site plan approval shall have received prior written approval by the Town Manager based upon the application of criteria contained in Section 41.1.E.4.b of the Town Unified Land Development Code. Provided, however, that any subdivision by fee title conveyance of an internal lot shall reflect the Pod uses and boundaries depicted on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE]. Any revision of a Pod use and/or boundary, as depicted on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE], shall require a PUD Amendment prior to subdivision by fee title conveyance.

4. Prior to submitting the initial site plan approval application and all subsequent site plan applications, the Applicant shall contact Palm Tran to obtain written confirmation regarding the need for a bus stop on Southern Boulevard. Palm Tran's response shall be included in the site plan application.

B. LAND USE AND SITE PLANNING

1. Development of the site shall be limited to ~~a maximum of: Commercial Low (CL) — maximum of 34.34 acres and 103,000 sq. ft. of retail commercial space low uses and 81 lodging units; Commercial Low Office — maximum of 16.0 acres and 44,000 sq. ft. of commercial low professional office and medical office commercial space uses; and Institutional — minimum of 40.0 acres a 128-bed assisted living facility and institutional uses consisting of a Public Park (Town Commons), consistent with the Conceptual Master Plan dated December 30, 2019~~ [INSERT NEW DATE]. Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_ - __

~~2. A separate site plan pursuant to ULDC Article 155 for the 100-foot and 300-foot wide buffer areas along the northern and eastern property boundaries, including the location of equestrian trails, was approved by the Town Council via Resolution 2018-84. [COMPLETED]~~

3. The Restrictive Covenant and Limited Access Easement, recorded with the Palm Beach County Clerk of Courts in Official Records Book 30616, Page 1289 shall limit the use and management of the 300-foot wide buffer areas along the northern and eastern property lines and the 100-foot wide buffer areas along the western and northern property lines, as described therein.

~~4. A boundary plat was recorded in Plat Book 128, Page 66 of the Official Records of Palm Beach County depicting the following four geographies: (1) The entirety of the Groves Town Center property; (2) the area included within the 300-foot and 100-foot buffer areas, (3) the area included within Commercial Pod A; and (4) the area included within that portion of Groves Town Center not included within areas (2) and (3). Another plat depicting the remainder of the Pods and all road tracts and/or easements shall be recorded prior to the issuance of the first building permit for any development in a Pod other than Pod A. [COMPLETED]~~

5. Potentially objectionable features (e.g. mechanical equipment, loading/delivery areas, storage areas, dumpsters, and compactors, etc.) shall be indicated on project site plans and screened from public view.

6. All on-site deliveries during construction shall be made from project entrances off of Southern Boulevard.

~~7. An Improvement Agreement, pursuant to ULDC Section 100-060 (C), to address all required roadway, drainage and equestrian trail improvements lying within or adjacent to the Groves Town Center PUD shall be approved by the Town Council prior to issuance of the initial building permit of the first phase of development. [COMPLETED]~~

8. The following perimeter landscaped buffers shall be provided: a 25-foot buffer, including a berm, along Southern Boulevard; a 25-foot buffer, including a berm, along "C" Road south of Tangerine Drive; and a 25-foot buffer, including a berm, along "B" Road.

9. The Town Commons (Pod ~~TC~~ G) shown on the Conceptual Master Plan dated ~~November 26, 2019~~ [INSERT NEW DATE] will remain owned by the Applicant and their successors and assigns and maintenance of the Town Commons is the responsibility of the Applicant. Scheduling uses for the Town Commons is the responsibility of the Town. The Town may use the Town Commons at any time the Town sees fit, subject to compliance with the ULDC. The Town Commons may be rented or leased to any individual person(s) and/or business(es) for temporary uses, subject to compliance with the ULDC and any Town permitting requirements. Any party that uses the Town Commons is responsible for cleaning up after the event and returning the Town Commons to the same condition the Town Commons was in before the party used the Town Commons.

~~10. The Stormwater Management Area (SMA) located in the conservation easement as shown on the Conceptual Master Plan dated December 30, 2019 is subject to further review and~~

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~~approval by the Town Engineer to confirm that the proposed stormwater management facilities provide water quality and stormwater recharge improvements to the Town. The Town Council approval of the Conceptual Master Plan dated December 30, 2019 serves as Town Council consent to construct the SMA pursuant to Section 3.a.(ii) and 3.d of the Restrictive Covenant and Limited Access and Conservation Easement recorded in ORB 30616, PG 1289 of the Official Records of Palm Beach County. Prior to the issuance of a permit by the Town for construction of the SMA, the Town Engineer shall review the plans and confirm that the SMA provides for the intended stormwater improvements for the Town and will make a recommendation for Town Council approval. [COMPLETED]~~

C. ENGINEERING

1. In order to comply with the Mandatory Traffic Performance Standards in place at the time of this approval, no building permits for the site shall be issued after ~~December 31, 2022~~ November 29, 2029. Additional time extensions for this condition may be approved by the Palm Beach County Engineer based upon an approved traffic study which complies with Mandatory Traffic Performance Standards in place at the time of the request, or upon a request based upon a Declaration of Emergency by the Governor of Florida.

2. In order to comply with the Mandatory Traffic Performance Standards Review dated August 30, 2018, no building permits for development generating more than 282 peak hour directional trips shall be issued until the developer provides an additional southbound left-turn lane [~~has been built and only needs to be un-stripped, which will commence in August of 2024~~] and an additional eastbound left-turn lane [~~under construction with widening of Southern Blvd~~ COMPLETED] and appropriate receiving lane [~~already built~~ COMPLETED] at the intersection of Southern Boulevard and Binks Forest Drive/B Road. Any signal modifications required to accommodate these changes will also be the responsibility of the property owner, including, but not limited to design plans, any required utility relocation, right-of-way or easement acquisition, etc. Note these changes will also require FDOT consent.

3. Any future modification of Condition C.2 shall be based upon a Traffic Study approved by the Palm Beach County Traffic Division which complies with Mandatory TPS in place at the time of the modification. Modifications to Conditions of Approval based upon such future TPS Review shall be submitted to the Town pursuant to ULDC Section 155-025 *Site plan modification*.

4. The property owner shall obtain a conceptual approval letter from FDOT for any proposed driveway on Southern Boulevard when submitting a site plan to the Town. FDOT approval of driveways onto Southern Boulevard shall be obtained when individual site plan applications are made to the Town.

5. Acceptable surety for the design, right of way acquisition, construction engineering and inspection costs, as well as the construction for the offsite road improvements as outlined in Condition No. 2 shall be posted with the County Traffic Division prior to or within six months of Development Order Approval. Surety in the amount of 110% shall be based upon a Certified Cost

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Estimate provided by the Developer's Engineer and approved by the County Engineer. At any time during the duration of the surety the County Engineer shall have the authority to determine that sufficient progress has not been made for any and all required work. In the event such a determination is made, Palm Beach County shall have the right to request funds be drawn for the surety (surety drawn) and Palm Beach County may then complete all required work. The County Engineer shall also have the authority to require that the surety amount be updated to reflect current anticipated costs at any time during the duration of the surety.

6. As per the expected turning movement volumes at the driveways, the following exclusive turn lanes are required:

a. ~~Northbound right turn lane at the southern driveway on B Road. This improvement has been completed~~ COMPLETED.

b. ~~Southbound left turn lane at the northern driveway on B Road. This improvement has been completed~~ COMPLETED.

c. Westbound right-turn lanes at all driveways on Southern Boulevard. Though the amount of turning volumes by itself may not meet the threshold for a right-turn lane on Southern Boulevard driveways, they must be provided due to high speed of traffic at this location.

7. C Road shall be constructed as a continuous 2-lane paved roadway between Southern Boulevard and Tangerine Drive in conjunction with the development of Pod D or F, whichever occurs first. Stormwater attenuation and water quality treatment shall be provided for C Road (Adjacent to the project site) and Tangerine Drive (Within the site) within the onsite stormwater management system. The Town shall be given the right, but not the obligation, to maintain Tangerine Drive and associated drainage facilities.

8. Any future realignment of either or both of the "B" Road access drives, as indicated on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE], shall require approval by the Town's Consulting and Transportation Engineers.

9. ~~A conceptual drainage plan for the entirety of the Groves Town Center PUD, including the provision of legal positive outfall for the Pod A development and the existing temporary drainage pond shall be prepared and approved by the Town Engineer prior to the first certificate of occupancy for Pod A (COMPLETED).~~ Legal positive outfall for future phases or pods of development shall be provided prior to the first certificate of occupancy for each future phase or pod.

10. ~~Prior to issuance of the first building permit, the necessary easements and agreements for legal positive outfall and stormwater attenuation (temporary or permanent) shall be recorded.~~ COMPLETED

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11. ~~Prior to the first CO for any building, legal positive outfall shall be constructed and certified by the engineer of record allowing discharge from the previously installed temporary drainage area for B Road, as well as all future development. COMPLETED~~

12. All drainage improvements shall be completed and certified by the engineer of record.

D. LAND CLEARING AND LANDSCAPING

1. Prior to any land clearing activities within any phase or pod, the property owner shall comply with the permit requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87).

2. In conjunction with an initial site plan application for any development phase or pod, the property owner shall submit a Landscape Plan application to the Town for review and approval pursuant to ULDC Article 85 for that phase or pod.

3. Prior to any land clearing activities for any phase or pod, a wetlands determination shall be procured from the South Florida Water Management District and/or U.S. Army Corps of Engineers for that phase or pod. Any proposed impacts upon jurisdictional wetlands shall require permits or authorizations from the South Florida Water Management district or U.S. Army Corps of Engineers.

4. Prior to the permitting of any land clearing, development or earthmoving activities for any phase or pod, a Phase 1 Archaeological Survey of the property shall be completed for that phase or pod.

5. Native plants shall be identified, pursuant to the requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87), and retained to the extent possible.

6. ~~Clearing of Collecting Canal Easement—The Owner shall clear 20 feet along the south side of Collecting Canal in conjunction with construction of the equestrian trail per Condition E.4. COMPLETED~~

E. ROADWAY EQUESTRIAN TRAILS AND GREENWAYS

1. ~~The equestrian trails depicted on the Conceptual Master Plan dated December 30, 2019 are conceptual. Final trail locations shall be determined during the site plan approval process required in Condition B.2, and shall include a trail segment parallel to Collecting Canal to facilitate Town-wide east-west connectivity. This condition has been complied with. COMPLETED~~

2. ~~Existing fencing on the west side of “C” Road shall be removed to allow access to the trail within the 300 foot buffer areas depicted on the Conceptual Master Plan dated December 30, 2019. COMPLETED~~

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3. ~~The equestrian trail depicted on the Conceptual Master Plan dated December 30, 2019 shall include an equestrian bridge over Collecting Canal at “C” Road to facilitate Town-wide north-south connectivity. Bridge details shall be determined during the site plan approval process required in Condition B.2. This condition has been complied with. COMPLETED~~

4. ~~Construction of the equestrian trail shall be completed prior to the issuance of the initial Certificate of Occupancy of the first phase of development of Groves Town Center. Construction of the equestrian bridge or culvert over Collecting Canal shall be completed by December 31, 2020. COMPLETED~~

5. ~~Coincident with construction of the equestrian trail equestrian traffic control devices shall be installed at points where trails cross “B” Road, “C” Road and Collecting Canal. COMPLETED~~

6. Fencing shall be incorporated on the site plan for any phase of development necessary to separate the equestrian trail from ~~assisted living facility~~ buildings, internal or perimeter roads, and/or parking areas of any other phase of development, as necessary.

7. Equestrian trails shall comply with the Town design and sign guidelines.

8. “Local traffic only” signage, as shall be placed on “B” Road north of the Palm Beach State College entrance. The type and locations of such signage shall be addressed by Conditions of Approval in the site plan for the initial phase of development.

F. ARCHITECTURAL

Architectural elevations for buildings included in a particular phase or pod shall be submitted with the application for site plan approval for that particular phase or pod. A theme from the Town’s Rural Vista Guidelines for the entire Groves Town Center development shall be provided with the application for site plan approval for the initial phase or pod. Elevations shall be designed to be consistent with the Town’s Rural Vista Guidelines. Architecture in all development phases or pods shall be consistent with the Town’s Rural Vista Guidelines.

~~G. SIGNAGE~~

~~The initial site plan submittal for any development parcel or pod shall include a master sign program detailing the location, number, colors and size of proposed signage.~~

H. PUD WAIVERS

The Applicant may propose, and the Town Council may consider the following waivers during the site plan approval process for a specific development parcel or pod:

1. Relief from ULDC Section 50-030(D) *Outdoor lighting standards*, Section (5) to allow well-planned outdoor lighting, which meets the intent of the ULDC, between 11:00 p.m. and dawn to help prevent accidents, deter crime and maintain an attractive community environment.

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2. Relief from ULDC Section 95-100(E) *Wheel stops and curbing* to allow the use of bollards in lieu of wheel stops and/or continuous curbing in certain parking areas to help prevent accidental human injury or property damage.

3. Relief from ULDC Section 95-025 *Size of parking spaces*. To allow the hotel property in the TC Pod to have parking spaces that are 9' wide and 19' long.

4. Relief from ULDC Section 30-035 *Maximum plot size*. To allow the Institutional use of the Town Commons on Pod G to be over the five-acre maximum plot size.

ATTACHMENT 7 – Proposed Site Plan, Hotel (Pod TC)



September 25, 2024

Francine Ramaglia
Town Manager
Town of Loxahatchee Groves
155 F Road
Loxahatchee Groves, FL 33470

RE: Request Summary for Site Plan application for 80-room hotel use in a portion of Pod TC in Groves Town Center

Dear Ms. Ramaglia,

WGI, Inc. represents Solar Sportsystems, Inc., ("Owner") who is the property owner of the Groves Town Center PUD project (the "PUD") located on Southern Boulevard between B and C Roads. WGI also represents Groves Hospitality, LLC ("Developer"), who is the contract purchaser of a portion of Tract Pod TC (the "Property") in the PUD. Developer is proposing to build a 81-room hotel on the Property. The PUD last received conceptual master plan approval from the Town Council on January 7, 2020 via Ordinance No. 2019-08.

Owner is currently in the process of modifying the PUD conceptual master plan in order to move the Town Commons use from Pod TC to Pod G and to allow the proposed lodging use on Pod TC.

The hotel is proposed at the west end of the TC Pod with an access driveway connecting to Mango Street. The building is situated roughly in the middle of the development site from north to south. Twenty-five-foot landscape buffers surround the development site on the three sides that abut roads. The fourth side (the east side) faces the remaining portion of the TC Pod and the Developer is proposing to build stub out connections to the east half of the TC Pod and a temporary connection from one stub out to the other until such time as the east half of the TC Pod is developed.

The hotel amenities consist of an outdoor pool and outdoor grilling patio and seating area located on the south side of the building. By being on the south side of the building, any noise coming from the outdoor amenities will be shielded from the residential neighborhood to the north by the building. The hotel will not have a restaurant or bar.

The hotel was significantly reduced in height after the Planning and Zoning Committee reviewed and commented on the height of the building, which was first proposed at four stories tall and 43' to the roof deck and 68' to the highest architectural element. The hotel as currently proposed is 3-stories and 34' to the roof deck and 39' to the highest architectural element, which is the top of the parapet.

Waivers

The site plan for the hotel requires two (2) waivers from the Unified Land Development Code ("ULDC"). Along with the redesign of the hotel building to reduce height, the site plan was changed slightly in order to eliminate three other waivers previously requested. The two requested waivers are described below.

The first waiver is to provide some parking spaces that do not meet the dimensional standards. The proposed project also has 10 parking spaces that meet the Town's standard size of 11' wide by 22.5' long and 65 parking spaces that are 9' wide by 19' long. There are also four spaces that are extra long and 4 handicapped parking spaces, for a total of 83 parking spaces. Therefore, Developer is asking for a waiver of the minimum parking stall dimensions in order to provide a mixture of the Town's larger than normal parking spaces (11' x 22.5') and smaller (9' x 19') parking spaces.

The second waiver is to allow well-planned outdoor lighting, which meets the intent of the ULDC, between 11:00 p.m. and dawn to help prevent accidents, deter crime and maintain an attractive community environment. The PUD Master Plan ordinance already establishes that applicants within the PUD may apply for this waiver. The hotel, by the nature of its use, will have customers who will be checking in or coming and going from the hotel after 11 PM and before dawn and therefore to ensure the parking lot is a secure place there needs to be lighting in the parking lot during the overnight hours.

ULDC Sec. 41-020(E)(2) establishes items that waivers for a PUD should address in order to determine the significance of the proposed waiver. The items in the ULDC are listed below in *italic text* and the Applicant's response is listed after the item in regular text.

- a. *Identification, protection and enhancement of natural areas.* None of the waivers have any effect on natural areas. The natural areas in the Groves Town Center PUD are located in the perimeter buffers and in the preserved wetland in Pod G.
- b. *Provision of open space and landscaping in excess of Code requirements.* Having some of the parking spaces be smaller than the large vehicle parking space dimensions contribute to a more compact site design.
- c. *Provision of pervious area in excess of Code requirements.* Same as b. above.
- d. *Preservation of native vegetation.* None of the waivers have any effect on native vegetation. The natural areas in the Groves Town Center PUD are located in the perimeter buffers and in the preserved wetland in Pod G.
- e. *Joint use of driveways.* The site plan for the hotel has been designed to have a cross connection to the east half of Pod TC.
- f. *Cross-access opportunities.* The site plan for the hotel has been designed to have a cross connection to the east half of Pod TC.
- g. *Additional specific Comprehensive Plan or other Town planning directives.* The Town has desired to remove the congregate living facility use from the Master Plan and replace it with a hotel use for several years. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel (rated as a 2-star hotel by Google) which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. There is a strong need for a hotel in the western reaches of the County.

Statement of intent to subdivide

Per ULDC Section 41-010(E)(4)b., the Applicant intends to subdivide the property according to the provisions of Section 41-010(E)(4)b and the bearings and distances of the proposed subdivision are included on the site plan and survey. Both lots that will be created in Pod TC will have legal access to the surrounding road network and they will share an internal cross access connection. Pod TC is delineated on the Groves Town Center Amendment No. 1 plat recorded in Plat Book 132, Page 134 and the entirety of the property included within the PUD Master Plan is depicted on the same plat.

The proposed site plan is consistent with the Master Roadway, Equestrian and Greenway Plan (MREG) and the SR-80/Southern Boulevard Conceptual Access Management Plan. The hotel site plan does not interrupt or interfere with the existing equestrian trail in the perimeter buffer of the PUD and the hotel site plan, which does not front onto Southern Blvd, does not change the PUD's relationship to Southern Blvd. The PUD Master Plan will continue to have the same connections to and frontage along Southern Blvd. The site plan and architecture of the hotel are consistent with the Rural Vista Guidelines, see separately enclosed analysis of the Rural Vista Guidelines.

The hotel will provide a much-needed lodging use for the Town and the western end of the County, especially in the peak equestrian season. The hotel will also bring in property tax and sales tax revenue for Town without bringing in permanent residents.

We respectfully request your favorable review and recommendation of the proposed site plan for a hotel on a portion of Pod TC and we look forward to working with your staff and presenting to the Town Council.

Sincerely,



Matthew Barnes, AICP
Senior Project Manager

TREE TABLE

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
599	PALM 19	12	855337	888763
600	OKM 5		855337	888869
601	PALM 8	8	855378	888867
602	PALM 9	21	855381	888920
603	PALM 10	21	855384	888920
604	PALM 11	22	855384	888927
605	PALM 11	26	855384	888942
606	PALM 15	6	855341	888970
607	PALM 15	9	855351	888970
608	OKM 5		855351	888984
609	OKM 5		855351	888984
610	OKM 12		855351	888984
611	OKM 6		855358	888981
612	OKM 5		855358	888986
613	OKM 5		855358	888986
614	OKM 5		855358	888986
615	OKM 5		855358	888986
616	PALM 6	5	855358	888976
617	PALM 10	4	855351	888978
618	FIOS 4		855351	888978
619	PALM 9	10	855358	888974
620	PALM 13	15	855357	888975
621	PALM 13	12	855357	888975
622	PALM 8	4	855357	888975
623	PALM 12	4	855357	888975
624	PALM 10	4	855351	888971
625	PALM 7	7	855351	888975
626	FIOS 6		855351	888975
627	PALM 10	8	855351	888975
628	PALM 15	5	855347	888970

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
596	PALM 20	12	855384	888966
597	PALM 10	6	855377	888966
598	FIOS 5		855377	888966
599	FIOS 5	17	855377	888966
600	FIOS 5		855377	888966
601	OKM 2		855377	888966
602	OKM 2		855377	888966
603	OKM 2		855377	888966
604	OKM 2		855377	888966
605	OKM 2		855377	888966
606	OKM 2		855377	888966
607	OKM 2		855377	888966
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616	OKM 2		855377	888966
617	OKM 2		855377	888966
618	OKM 2		855377	888966
619	OKM 2		855377	888966
620	OKM 2		855377	888966
621	OKM 2		855377	888966
622	OKM 2		855377	888966
623	OKM 2		855377	888966
624	OKM 2		855377	888966
625	OKM 2		855377	888966
626	OKM 2		855377	888966
627	OKM 2		855377	888966
628	OKM 2		855377	888966

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
533	PINE 12		855340	888787
534	PINE 11		855340	888784
535	PINE 11		855340	888784
536	PINE 11		855340	888784
537	PINE 11		855340	888784
538	PINE 11		855340	888784
539	PINE 11		855340	888784
540	PINE 11		855340	888784
541	PINE 11		855340	888784
542	PINE 11		855340	888784
543	PINE 11		855340	888784
544	PINE 11		855340	888784
545	PINE 11		855340	888784
546	PINE 11		855340	888784
547	PINE 11		855340	888784
548	PINE 11		855340	888784
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561	PINE 11		855340	888784
562	PINE 11		855340	888784
563	PINE 11		855340	888784
564	PINE 11		855340	888784
565	PINE 11		855340	888784

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
500	OKM 5		855356	888970
501	OKM 5		855356	888977
502	OKM 5		855356	888977
503	PALM 13	17	855372	888725
504	PALM 13	14	855388	888742
505	OKM 5		855374	888725
506	OKM 5		855374	888725
507	OKM 5		855374	888725
508	OKM 5		855374	888725
509	OKM 5		855374	888725
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562	OKM 5		855374	888725
563	OKM 5		855374	888725
564	OKM 5		855374	888725
565	OKM 5		855374	888725

TREE TABLE

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
500	OKM 5		855356	888970
501	OKM 5		855356	888977
502	OKM 5		855356	888977
503	PALM 13	17	855372	888725
504	PALM 13	14	855388	888742
505	OKM 5		855374	888725
506	OKM 5		855374	888725
507	OKM 5		855374	888725
508	OKM 5		855374	888725
509	OKM 5		855374	888725
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523	OKM 5		855374	888725
524	OKM 5		855374	888725
525	OKM 5		855374	888725
526	OKM 5		855374	888725
527	OKM 5		855374	888725
528	OKM 5		855374	888725
529	OKM 5		855374	888725
530	OKM 5		855374	888725
531	OKM 5		855374	888725
532	OKM 5		855374	888725
533	OKM 5		855374	888725
534	OKM 5		855374	888725
535	OKM 5		855374	888725
536	OKM 5		855374	888725
537	OKM 5		855374	888725
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539	OKM 5		855374	888725
540	OKM 5		855374	888725
541	OKM 5		855374	888725
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545	OKM 5		855374	888725
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562	OKM 5		855374	888725
563	OKM 5		855374	888725
564	OKM 5		855374	888725
565	OKM 5		855374	888725

TREE TABLE

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
500	OKM 5		855356	888970
501	OKM 5		855356	888977
502	OKM 5		855356	888977
503	PALM 13			

Date: 10/12/2023
 Project #: 2310223026
 Drawn: GFV
 ARC. LIC. Reg. #AR000931

Revisions:
 ▲ 10/12/23 Revised parking
 ▲ 10/25/23 Revised to 3100'

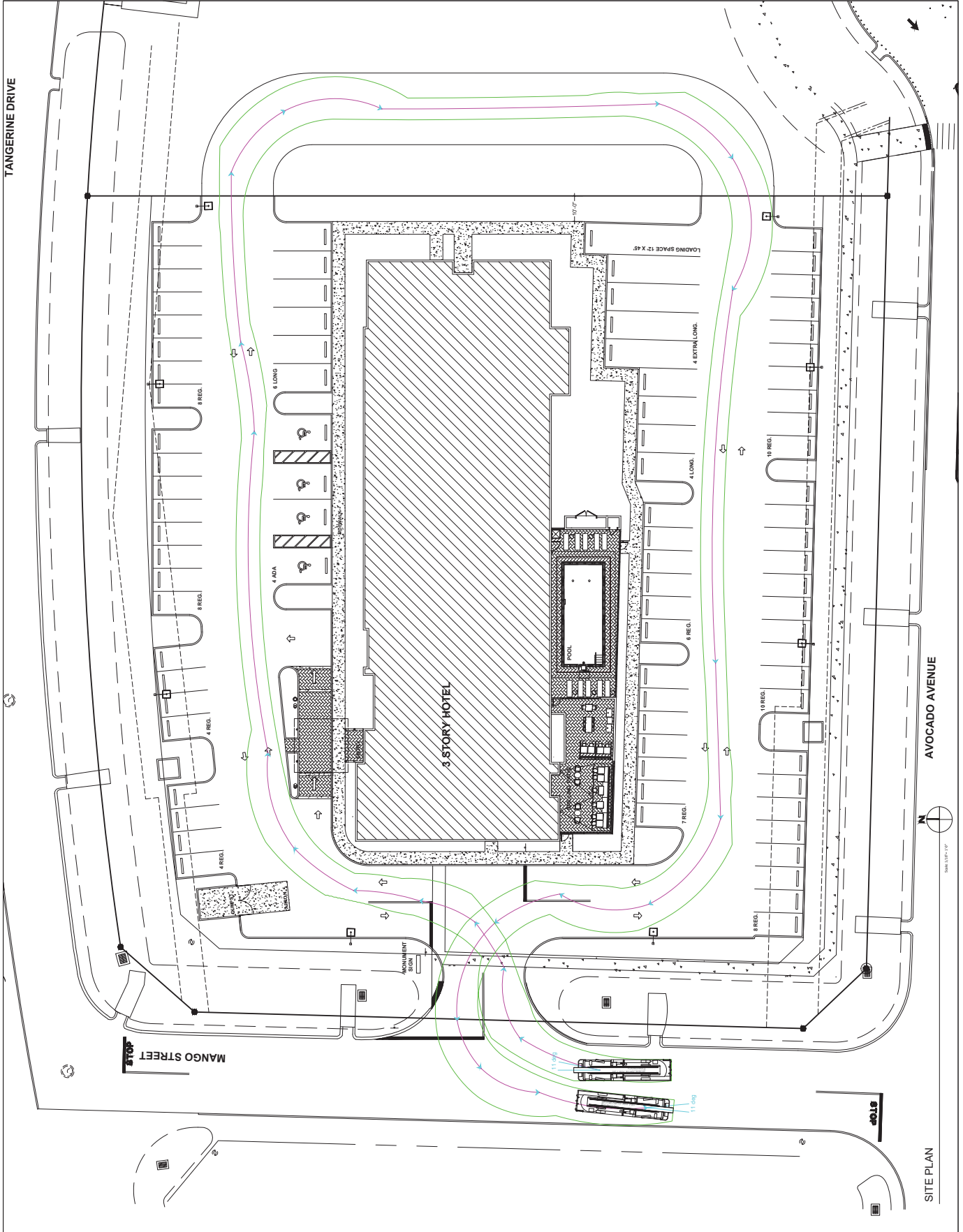


George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754



SITE PLAN
 AUTOTURN
 FIRE TRUCK

A-002



SITE PLAN

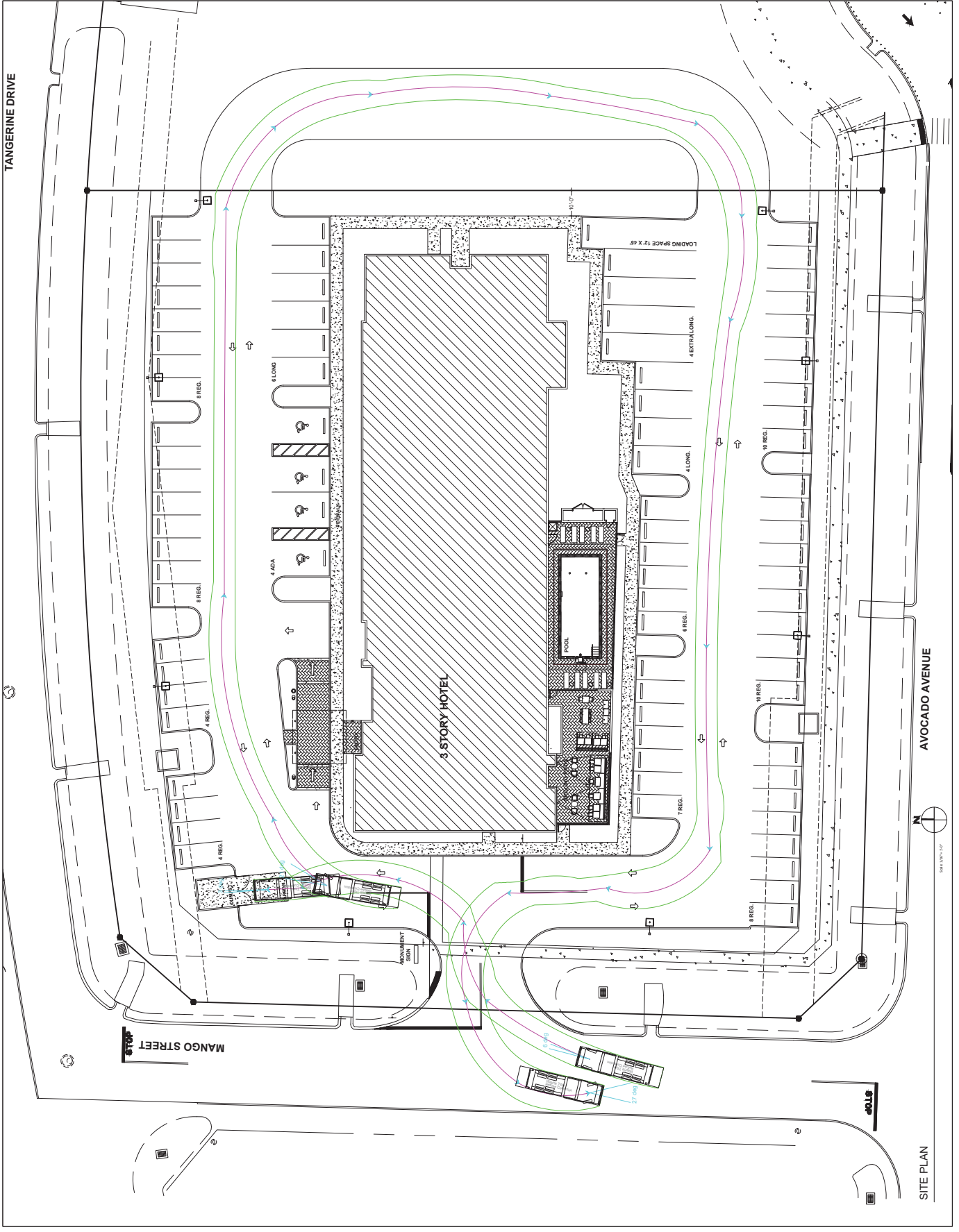
Date: 10/12/2023
 Project #: 231020006
 Client: GWV
 ARC. LISC. Reg. #WAD009531
 Revisions:
 ▲ 4/1/24 Revised parking
 ▲ 4/1/24 Revised site
 ▲ 4/1/24 Revised to 31006



6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754
George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA

HOME 2 SUITES
 SITE PLAN
 AUTOTURN
 REFUSE TRUCK

A-003



SITE PLAN

Date: 10/12/2023
 Project #: GW2023006
 Drawn: GFW
 Checked: GFW
 #AAR009551

Revisions:
 Δ HIGH RISE COMMENTS
 Δ VISIBOAR REVISID TO STOOD



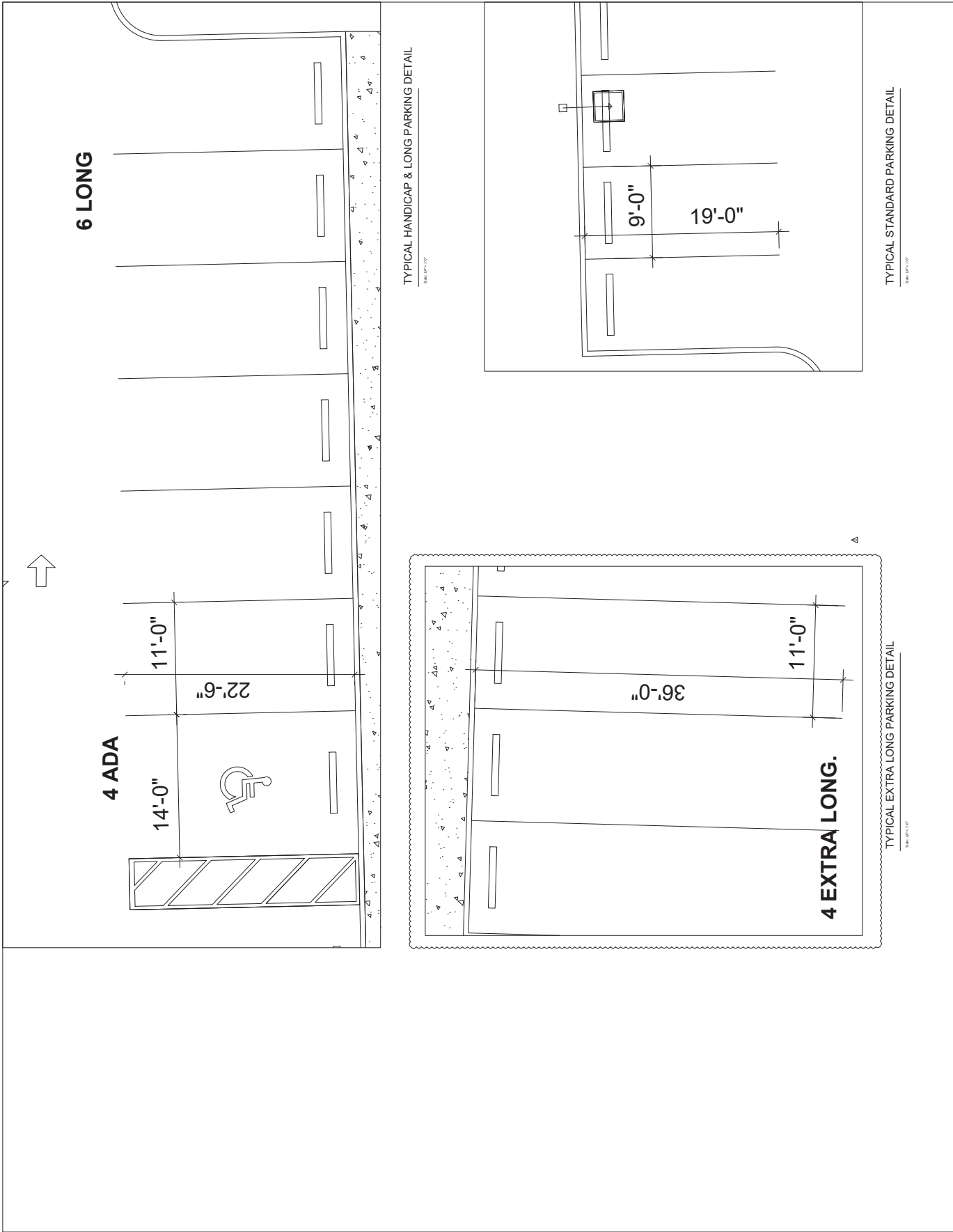
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA



SITE DETAILS

A-005



Date: 10/12/2023
 Project #: CV6203006
 APC: LSC Reg.
 MARC009531

Revisions:
 Δ 4/16/24 CITY COMMENTS
 Δ 4/26/24 TRC COMMENTS
 Δ ADDED DMC
 Δ 9/25/2024 REVISED TO 3 STORY

561-289-6754

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT



EXTERIOR POOL
 ELEVATIONS & GRILLING
 PLAN

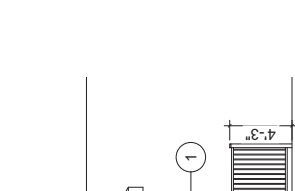
A-006.1

KEYED NOTES

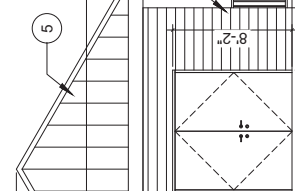
1. CMU EXTERIOR WALLS WITH PAINTED STUCCO
2. METAL PAN RAIN SEAM ROOF OVER BRIDGE BD. ON METAL TRUSSES OVER CONCRETE DECK
3. SCORED STUCCO FACIA BOARD PAINTED P1 C1 WHITE
4. ENTRY PORTE COCHERE CMU CLAD WITH CONCRETE PLANK SYSTEM FINISH TO MATCH BUILDING
5. METAL TRUSSES WITH STANDING SEAM METAL ROOFING
6. ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLOPING METAL ROOF
7. CAST CONCRETE FOUNDATION
8. ALUMINUM FRED WIND HURRICANE IMPACT RESISTANT KYNAR FINISH ALUMINUM WINDOW SYSTEM WITH GLAZING SEPARATED ALUMINUM LOWER AT P/AC UNITS
9. ALUMINUM STOREFRONT SYSTEM, HURRICANE IMPACT RESISTANT COLOR KYNAR P/CT FINISH WITH LAMINATED CLEAR LOW E GLAZING
10. ALUMINUM FRED WIND HURRICANE IMPACT RESISTANT KYNAR COLOR P/TC LAMINATED CLEAR GLAZING WITH LOW E GLAZING
11. LAUNDRY CHUTE OVERHANG BEHIND STANDING SEAM METAL ROOF
12. LAUNDRY CHUTE OVERHANG BEHIND STANDING SEAM METAL ROOF
13. HOME 2 BUILDING SIGN
14. OVERFLOW SCUPPER
15. TAMPRESS INT. RECESSED HOSE BBB - MOUNT TOP AT 1'-12"
16. 1'-12"
17. KYNAR FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
18. ADJACENT METAL
19. ADJACENT METAL ALUMINUM FACIA - COLOR TO MATCH ADJACENT MATERIAL
20. LIGHT FIXTURE
21. SCORED STUCCO
22. STAR TOWER TO ROOF
23. MATCHING ADJACENT WALL
24. MATCHING ADJACENT WALL
25. SURFACE
26. ALUMINUM AUTOMATIC SLIDING DOOR ENTRY
27. ALUMINUM GUTTER AND IS. COLOR TO MATCH ADJ. MATERIAL
28. ALUMINUM GUTTER AND IS. COLOR TO MATCH ADJ. MATERIAL
29. DOOR - TOP OF BEAMER AT 6" WAX HEIGHT
30. STEEL TRUSSES, CHANGS WITH WOOD FINISHED SIGHT
31. KYNAR FINISH ALUMINUM FACIA 4" P/AC
32. LED EXTERIOR LIGHTS

LEGEND

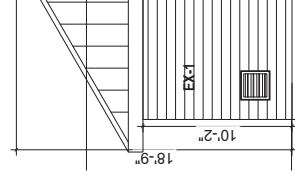
EX-1	8" SCORED STUCCO
EX-2	COOL GRAY 6XP
EX-3	8" SCORED STUCCO
EX-4	COOL GRAY 4XP
EX-5	8" SCORED STUCCO
EX-6	COOL GRAY 3XP
EX-7	STAINING SEAM SHEET METAL ROOF SYSTEM
EX-8	CLEAR ANODIZED
EX-9	ACCENT BAND
EX-10	STUCCO BAND
EX-11	P/TC WHITE
EX-12	STUCCO BAND
EX-13	P/TC WHITE



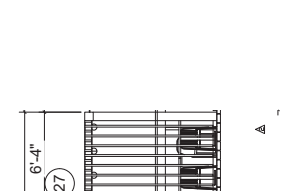
1 EXTERIOR ELEVATION - EXT POOL
 1/4" = 1'-0"



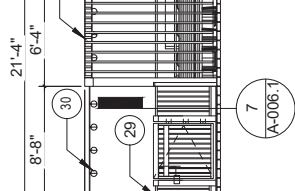
2 EXTERIOR SECTION - EXT POOL
 3/16" = 1'-0"



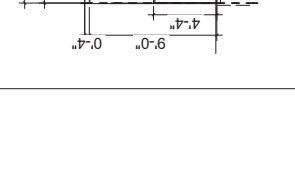
3 EXTERIOR ELEVATION - EXT POOL
 1/4" = 1'-0"



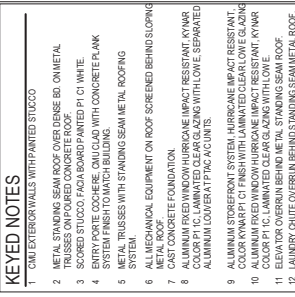
4 POOL GATE
 1/2" = 1'-0"



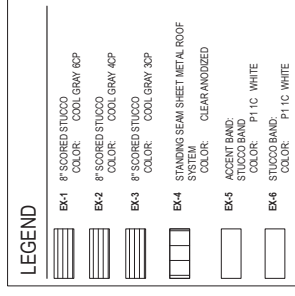
5 CMU POOL WALL
 1/2" = 1'-0"



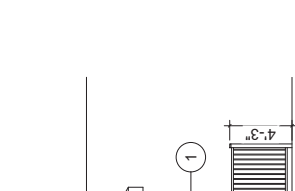
6 EXTERIOR ELEVATION - POOL
 3/16" = 1'-0"



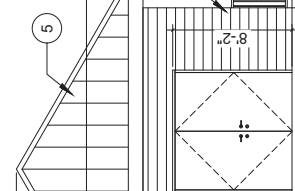
7 POOL FENCE
 1/2" = 1'-0"



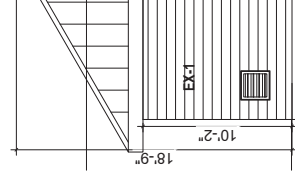
8 EXTERIOR SECTION - EXT POOL
 3/16" = 1'-0"



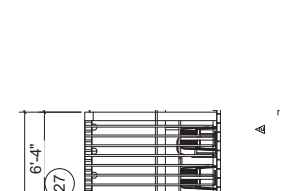
9 EXTERIOR ELEVATION - POOL
 3/16" = 1'-0"



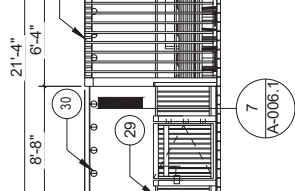
10 POOL GATE
 1/2" = 1'-0"



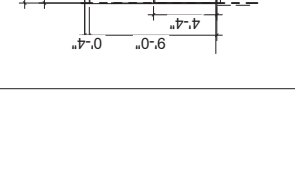
11 EXTERIOR ELEVATION - EXT POOL
 1/4" = 1'-0"



12 EXTERIOR SECTION - EXT POOL
 3/16" = 1'-0"



13 EXTERIOR ELEVATION - POOL
 3/16" = 1'-0"



14 POOL GATE
 1/2" = 1'-0"

ENGLERT

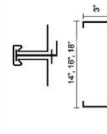


METAL ROOF PANEL COLOR

18" WIDE ROOF PANEL



ENGLERT 18" 1-SEAM Mechanically Seamed panel



Panel (Ribs optional)
ENGLERT'S SPECIAL SEAM SYSTEM is a nominal 1/2" deep structural roofing system. The system is designed for use on a variety of structural members including steel, aluminum, copper, and wood. The system is designed to provide a watertight, wind-resistant, and fire-resistant roof system. The system is designed to be installed on a variety of building slopes.



SAMPLE ROOF

Date: 10/12/2023
Project #: GW2023006
Client: GEW
Contract #: ARC_LISC_Reg
#AAR009531
Revisions:



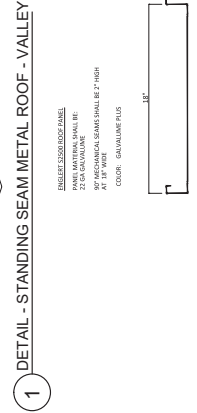
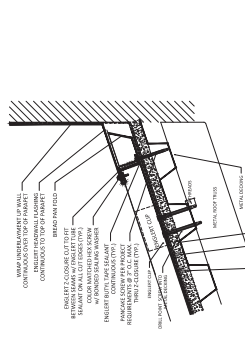
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

George White
LOXAHATCHEE GROVES, FLORIDA
ARCHITECT



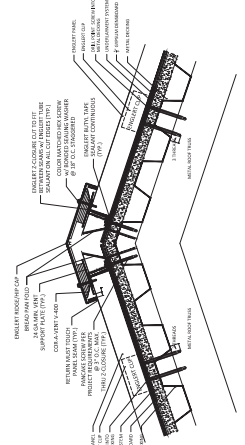
METAL STANDING SEAM ROOF

A-007

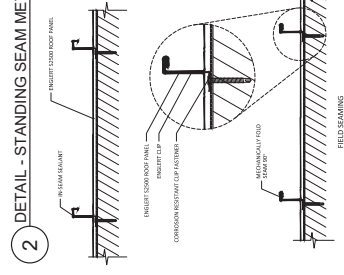


1 DETAIL - STANDING SEAM METAL ROOF - VALLEY

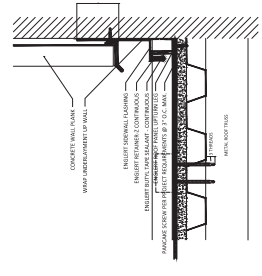
5 DETAIL - STANDING SEAM METAL ROOF - PANEL



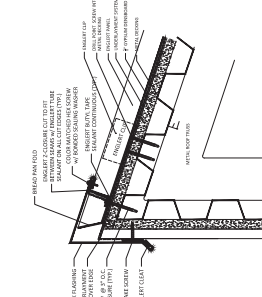
2 DETAIL - STANDING SEAM METAL ROOF - TYPICAL



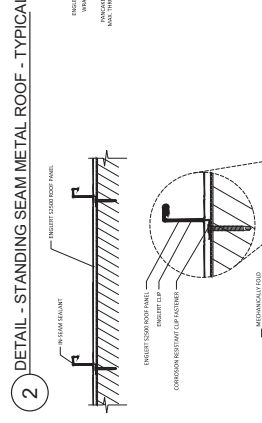
3 DETAIL - STANDING SEAM METAL ROOF - RIDGE



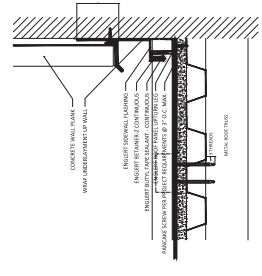
4 DETAIL - STANDING SEAM METAL ROOF @ WALL



6 DETAIL - STANDING SEAM METAL ROOF - SEAM @ WALL



7 DETAIL - STANDING SEAM METAL ROOF - TOP OF MANSARD



8 DETAIL - STANDING SEAM METAL ROOF @ WALL

Date: 10/12/2023
 Project: #GVE023006
 Drawn: J. GFFV
 ARC. LIC. REG. #AR0009531

Revisions:
 4/16/24 revised SIGN/DMA
 4/26/24 DRC COMMENTS
 7/25/24 TOWERS, LOWESED
 9/25/24 REVISED TO 3 STORY

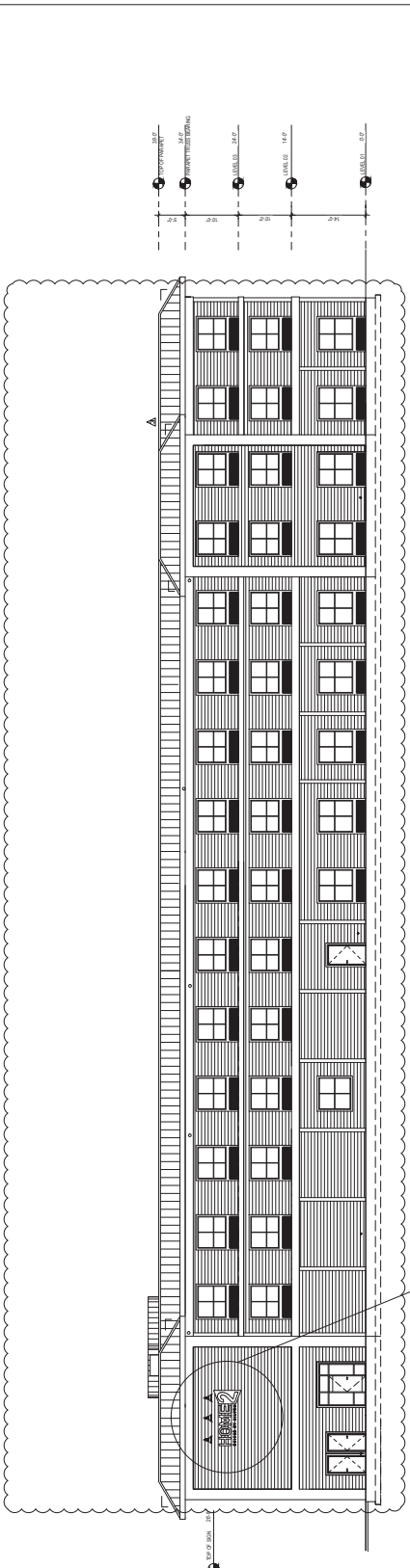


George White
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 561-289-6754

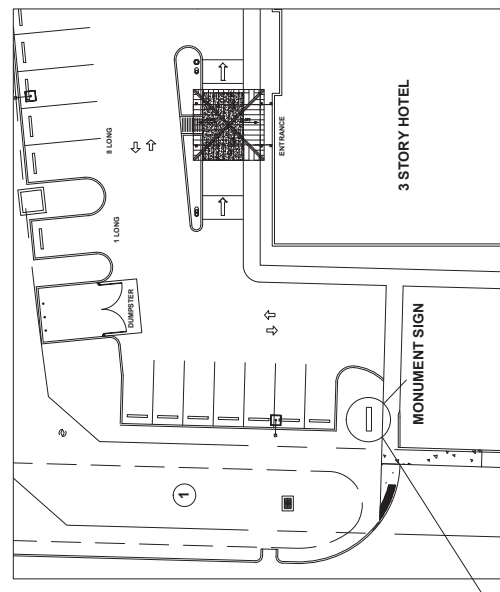
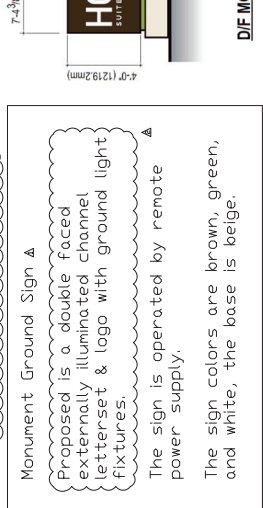
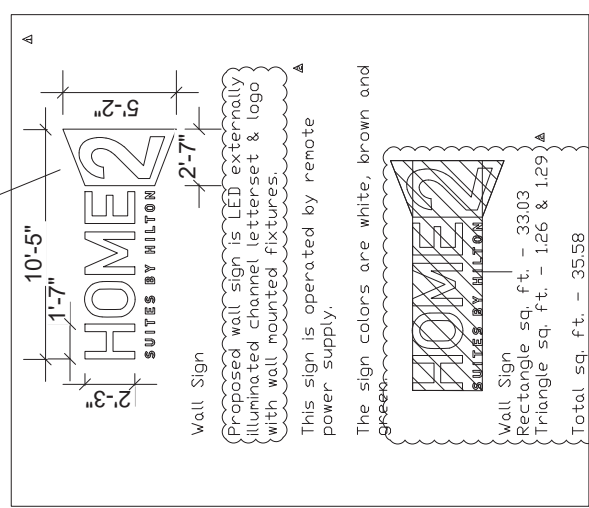


MASTER
 SIGNAGE

A-008

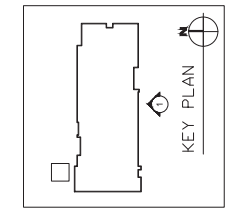


1 SOUTH EXTERIOR ELEVATION
 332' x 110'



2 PARTIAL SITE PLAN
 18" HIGH BASE

HOME 2 LOXAHATCHEE GROVES, FLORIDA	ALLOWED	PROVIDED
A BUILDING WALL SIGN SIGNAGE AREA (MAXIMUM) Building coverage is 30% of building footprint (2,224 sq. ft.)	38 SQ. FT.	38 SQ. FT.
B SIGN DIMENSION	1	1
OTHER RESTRICTIONS A MINIMUM OF TEN PERCENT OF THE BUILDING ON EITHER END OF THE SIGN 15% of 157' = 23.55' minimum required	2' minimum required	15' x 2'
C ATTACHED FIRE STANDING OR BOTH	ATTACHED	ATTACHED
D NON-ILLUMINATED SIGN SIGNAGE AREA (MAXIMUM) 4' x 73' = 292 sq. ft. x 2 faces = 584 sq. ft. NUMBER OF SIGN (TYPICAL SIGN) SIGN DIMENSIONS	68 SQ. FT.	68 SQ. FT.
E ATTACHED FIRE STANDING OR BOTH	ATTACHED	ATTACHED
F WALL SIGN SIGNAGE AREA (MAXIMUM) 4' x 73' = 292 sq. ft. x 2 faces = 584 sq. ft. NUMBER OF SIGN (TYPICAL SIGN) SIGN DIMENSIONS	68 SQ. FT.	68 SQ. FT.
G ATTACHED FIRE STANDING OR BOTH	ATTACHED	ATTACHED



VALUES:
 Sec. 84.30 - Outdoor Lighting: Open air parking shall be controlled by automatic devices
 Sec. 84.30 - Outdoor Lighting: Enclosed parking shall be controlled by automatic devices
 * Motorist for Guest parking shall be as required but the open air parking area lighting remains on town deck to dawn.

Date: 10/12/2023
 Project: #GV2023006
 Drawn: GFW
 ARC. LIC. REG. #AR0009531

Revisions:
 4/16/24: REVISIONS
 9/25/2024: REVISED TO 3 STORY

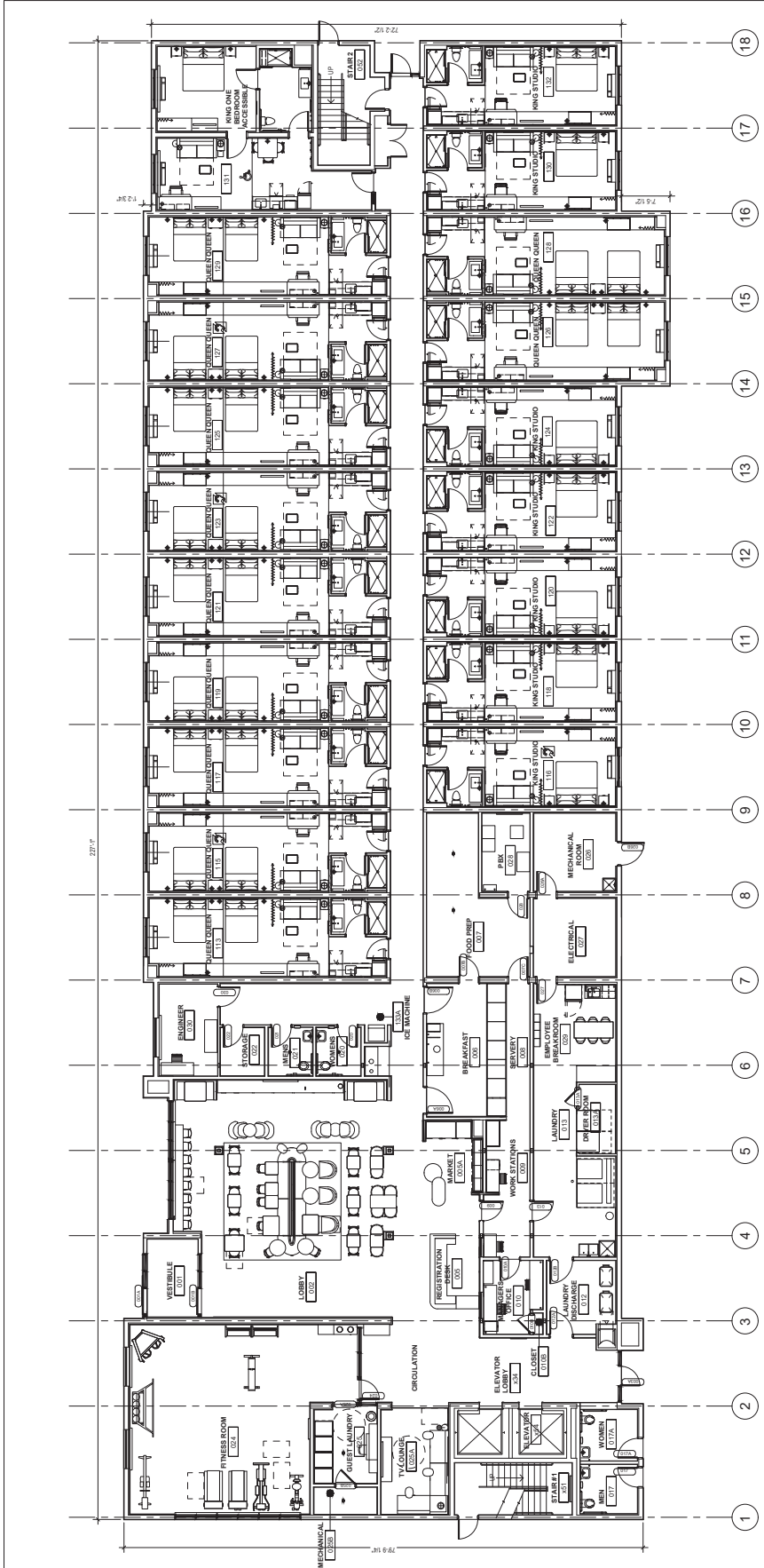


6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 LOXAHATCHEE GROVES, FLORIDA
 George White ARCHITECT



1st FL PLAN

A-101



1 FIRST FLOOR PLAN
 1/8" = 1'-0"

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
119	S	S		
115	S	S		
116	S	S		
117	S	S		
118	S	S		
119	S	S		
120	S	S		
121	S	S		
122	S	S		
123	S	S		
124	S	S		
125	S	S		
126	S	S		
127	S	S		
128	S	S		
129	S	S		
130	S	S		
131	RS	RS		
132	S	S		

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
116	S	S		
126	S	S		
127	S	S		
203	S	S		
206	S	S		
212	S	S		
316	S	S		
320	S	S		
328	S	S		

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
131	RS	RS		
201	S	S		
231	S	S		
301	T	T		
331	S	S		

RM #	ACCESSIBLE ROOM TYPE	5 REQUIRED	1 REQUIRED
131	KING ONE BEDROOM - ACC.		
201	KING STUDIO SUITE - ACC.		
301	OO STUDIO SUITE - ACC.		
331	KING ONE BEDROOM - ACC.		

RM #	FEELING WARMED ROOM TYPE	9 REQUIRED
116	OO STUDIO SUITE	
126	OO STUDIO SUITE	
127	OO STUDIO SUITE	
203	OO STUDIO SUITE - CONN.	
206	KING STUDIO SUITE - CONN.	
212	KING STUDIO SUITE	
316	KING STUDIO SUITE	
320	KING STUDIO SUITE	
328	OO STUDIO SUITE	

RM #	1st FLOOR GUEST ROOMS	1st FLOOR CORRS SQ. FT. - 4,318
119	OO STUDIO SUITE	
115	OO STUDIO SUITE	
116	OO STUDIO SUITE	
117	OO STUDIO SUITE	
118	OO STUDIO SUITE	
119	OO STUDIO SUITE	
120	OO STUDIO SUITE	
121	OO STUDIO SUITE	
122	OO STUDIO SUITE	
123	OO STUDIO SUITE	
124	OO STUDIO SUITE	
125	OO STUDIO SUITE	
126	OO STUDIO SUITE	
127	OO STUDIO SUITE	
128	OO STUDIO SUITE	
129	OO STUDIO SUITE	
130	OO STUDIO SUITE	
131	KING ONE BEDROOM - ACC.	
132	OO STUDIO SUITE	

18 GUEST ROOMS
 18 KING #PARED ROOM TYPE
 ACCESSIBLE ROOM TYPE

Date: 10/12/2023
 Project: #GV2023006
 Drawn: GFW
 ARC. LISC. REG.
 #AR0009531

Revisions:
 4/16/24 GUEST ROOMS
 4/25/2024 REVISED TO 3 STUDY



561-289-6754

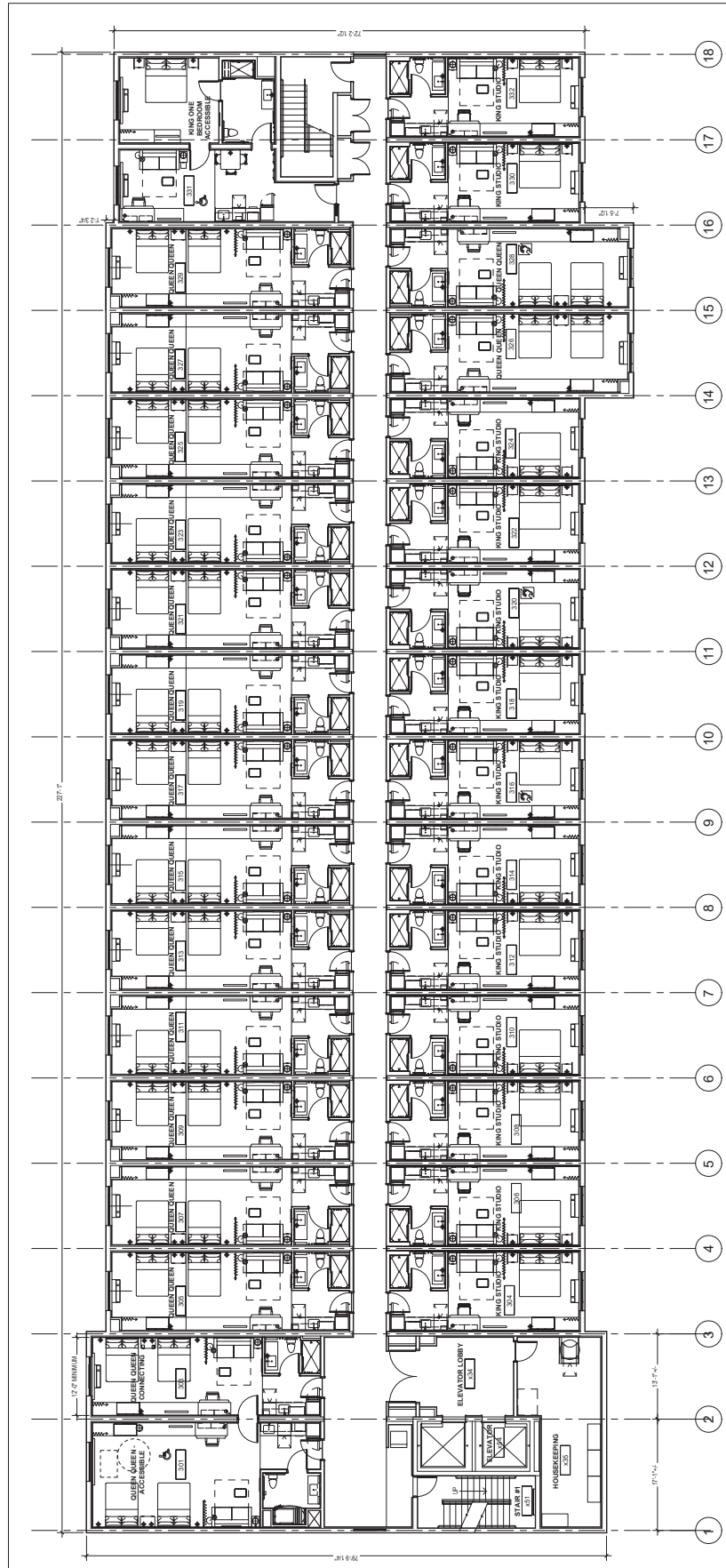
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

George White
 Loxahatchee Groves, Florida
 ARCHITECT



3RD FL PLAN

A-103



1 THIRD FLOOR PLAN
 1/8" = 1'-0"



RM #	TUB/SH.	R/SHOWER	H. IMP.	ADA
316	S			
318	S			
320	S			
321	S			
322	S			
323	S			
324	S			
326	S			
327	S			
328	S			
329	S			
330	S			
331	S			
332	S			

RM #	TUB/SH.	R/SHOWER	H. IMP.	ADA
301	T			
303	S			
304	S			
305	S			
306	S			
307	S			
308	S			
309	S			
310	S			
311	S			
313	S			
314	S			
315	S			
316	S			
317	S			

31 GUEST ROOMS
 31 GUEST ROOM TYPE
 31 ACCESSIBLE ROOM TYPE

31 GUEST ROOMS
 31 GUEST ROOM TYPE
 31 ACCESSIBLE ROOM TYPE

Date: 10/12/2023
 Project #: GVM2023006
 Drawn: GFV
 ARC. LISC. Reg. #AR0009531

Revisions:
 A 4/16/24 GUEST ROOMS
 B 7/25/2024 REVISED TO 3 STORY

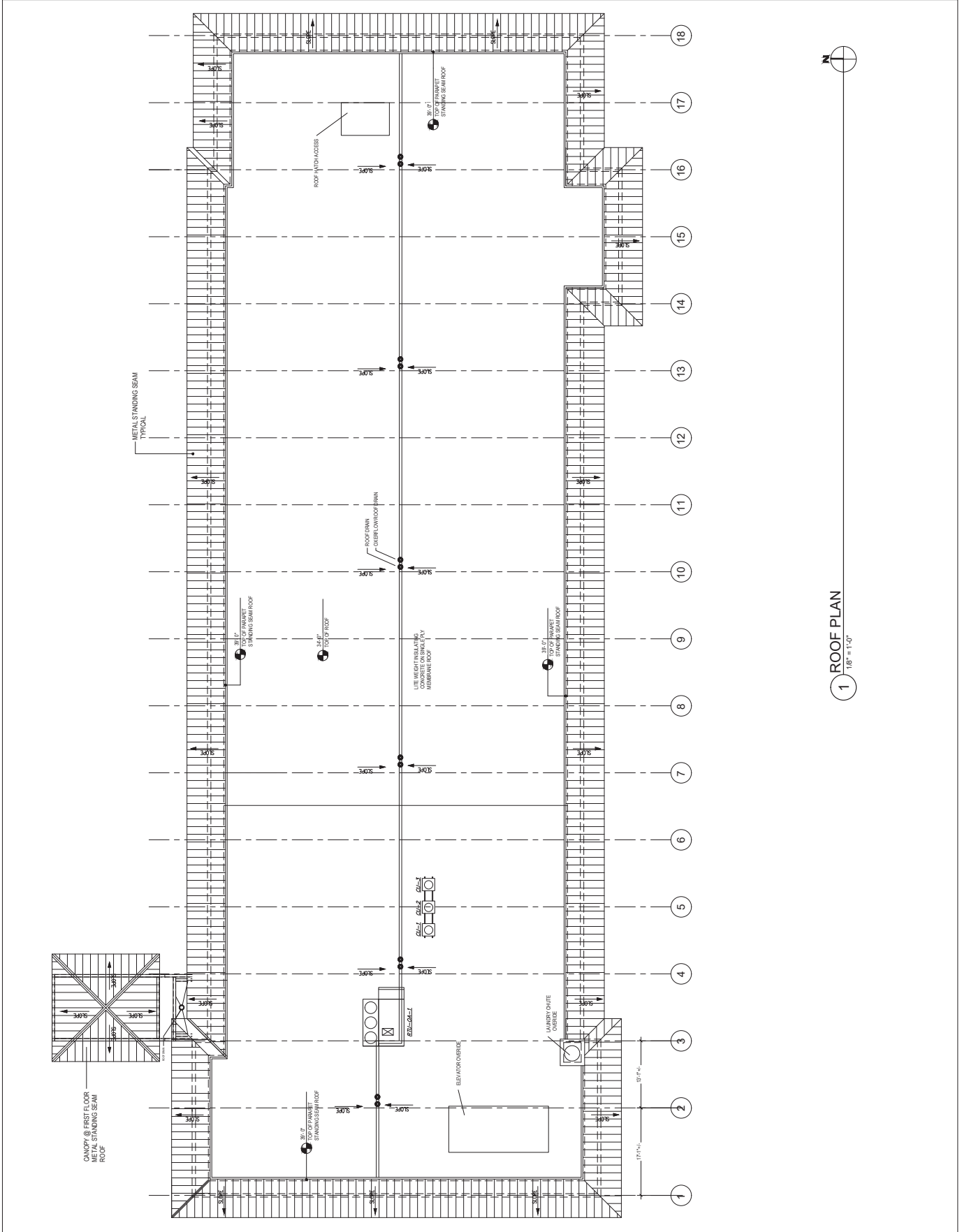


561-289-6754

George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

ROOF PLAN

A-104



1 ROOF PLAN
 1" = 1'-0"

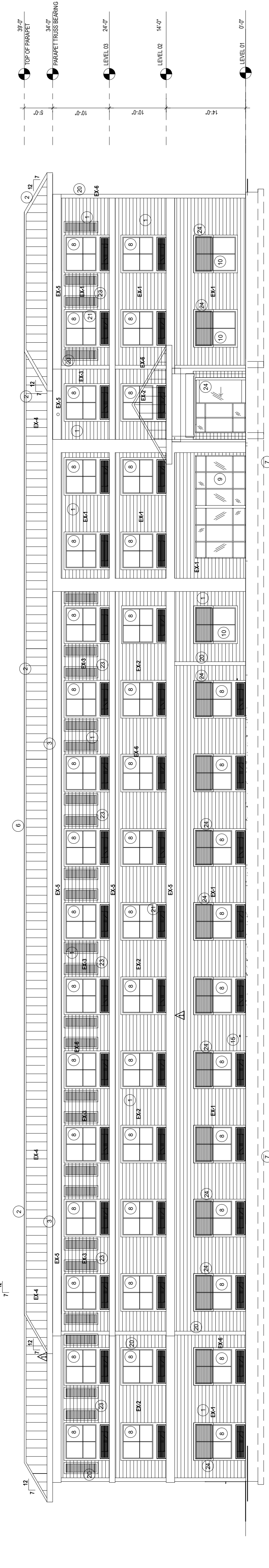
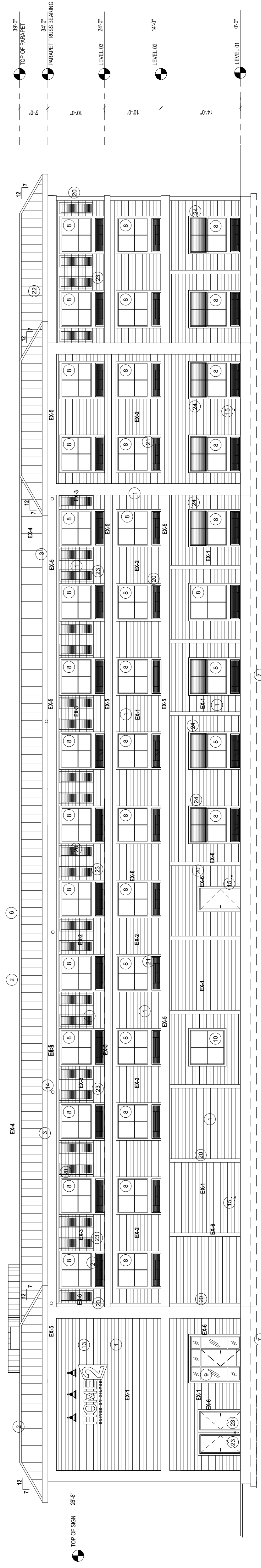
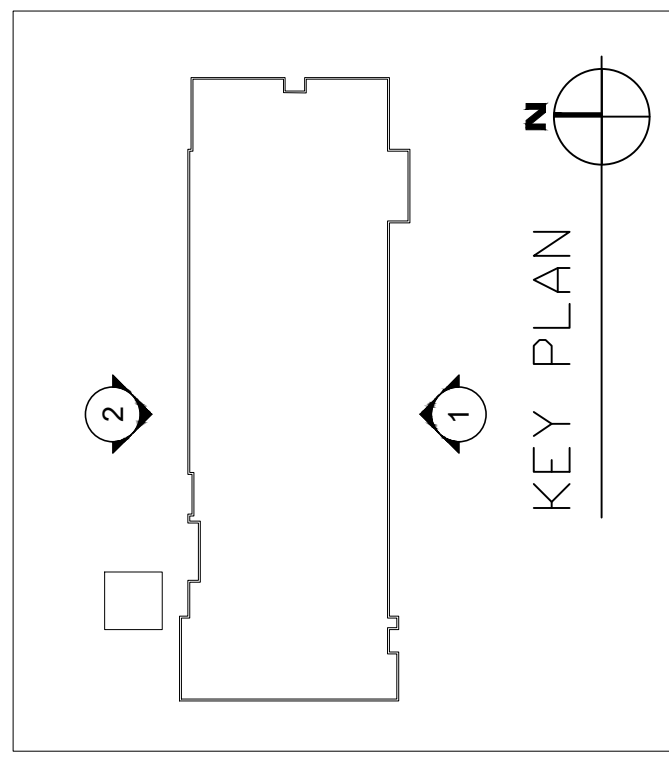
LEGEND

	E41 1/2" X 1/2" X 1/2" METAL ROOF SYSTEM COLOR: COOL GRAY 6 CP
	E42 8" SOUNDED PUCCO COLOR: COOL GRAY 4 CP
	E43 8" SOUNDED PUCCO COLOR: COOL GRAY 3 CP
	E44 STANDING SEAM SHEET METAL ROOF SYSTEM COLOR: CLEAR ANODIZED
	E45 ACENT BAND COLOR: P11C WHITE
	E46 STUCCO BAND COLOR: P11C WHITE

- KEYED NOTES**
1. METAL FINISHING SYSTEM SHALL BE MOUNTED ON METAL TRUSSES ON POURED CONCRETE ROOF.
 2. SOUNDED PUCCO SHALL BE MOUNTED ON CONCRETE TANK SYSTEM FINISH TO MATCH BALCONY.
 3. METAL TRUSSES WITH STANDING SEAM METAL ROOFING.
 4. ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLUING METAL.
 5. COST CONCRETE FOUNDATION.
 6. ALUMINUM WINDOW-HURRICANE IMPACT RESISTANT, KYNAR COLOR COATED FINISH, 1 1/2" X 1 1/2" WITH SEPARATE ALUMINUM COVER AT FINISH LINE.
 7. ALUMINUM WINDOW-HURRICANE IMPACT RESISTANT, KYNAR COLOR COATED FINISH WITH ANTI-UV COATING.
 8. ALUMINUM WINDOW-HURRICANE IMPACT RESISTANT, KYNAR COLOR COATED FINISH WITH ANTI-UV COATING.
 9. ELEVATOR OVERHEAD METAL FINISHING SYSTEM ROOF.
 10. ELEVATOR OVERHEAD METAL FINISHING SYSTEM ROOF.
 11. ELEVATOR OVERHEAD METAL FINISHING SYSTEM ROOF.
 12. LAUNDRY CHUTE OVERHEAD METAL FINISHING SYSTEM ROOF.
 13. OVERFLOW SCUPPER.
 14. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 15. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 16. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 17. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 18. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 19. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 20. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 21. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 22. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 23. WATER RESISTANT ACCESSIBLE ROSE - MOUNT TOP AT 1'-0"
 24. ALUMINUM SHAMMUS SHUTTER, COLOR: WHITE

MAT. COLORS

	PANTONE® Cool Gray 4 CP
	PANTONE® Cool Gray 3 CP
	PANTONE® P11-C
	PANTONE® Cool Gray 6 CP



Date: 10/12/2023
 Project #IGW2023006
 Drawn:GFW
 ARC, LISC, Reg.
 #AR0009531

Revisions:
 4/16/24 REVISED GUEST ROOMS
 ADDED WINDOW MUNTINS
 HANSARD MEAN ROOF ELEVATION
 ADDED
 8/27/24 REVISED
 RECOVERED TOWERS, LOWERED
 ROOF 3'.
 9/25/2024 REVISED TO 3 STORY

561-289-6754



6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

LOXAHATCHEE GROVES, FLORIDA
George White
 ARCHITECT

**EAST & WEST
 EXTERIOR
 ELEVATIONS**

A-202

LEGEND

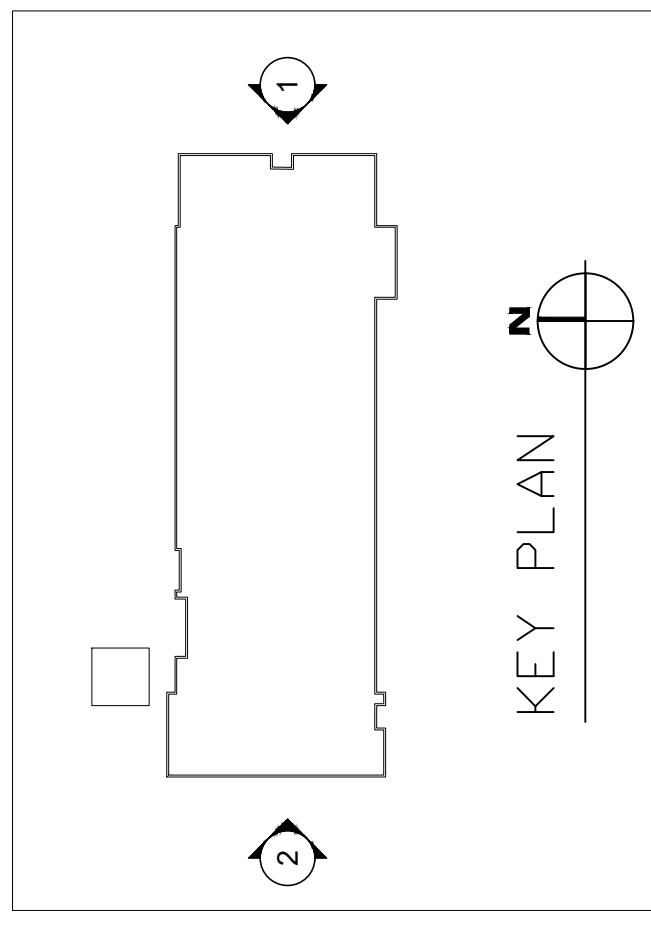
- E4 8" SCORED STUCCO
 COLOR: COOL GRAY CP
- E4 9" SCORED STUCCO
 COLOR: COOL GRAY CP
- E4 8" SCORED STUCCO
 COLOR: COOL GRAY CP
- E4 8" SCORED STUCCO
 COLOR: COOL GRAY CP
- E4 FINISH SEAM SHEET METAL ROOF
 SYSTEM
 COLOR: CLEAR ANODIZED
- E45 ACENT BAND
 STUCCO BAND
 COLOR: P 1 C WHITE
- E4 STUCCO BAND
 COLOR: P 1 C WHITE

KEYED NOTES

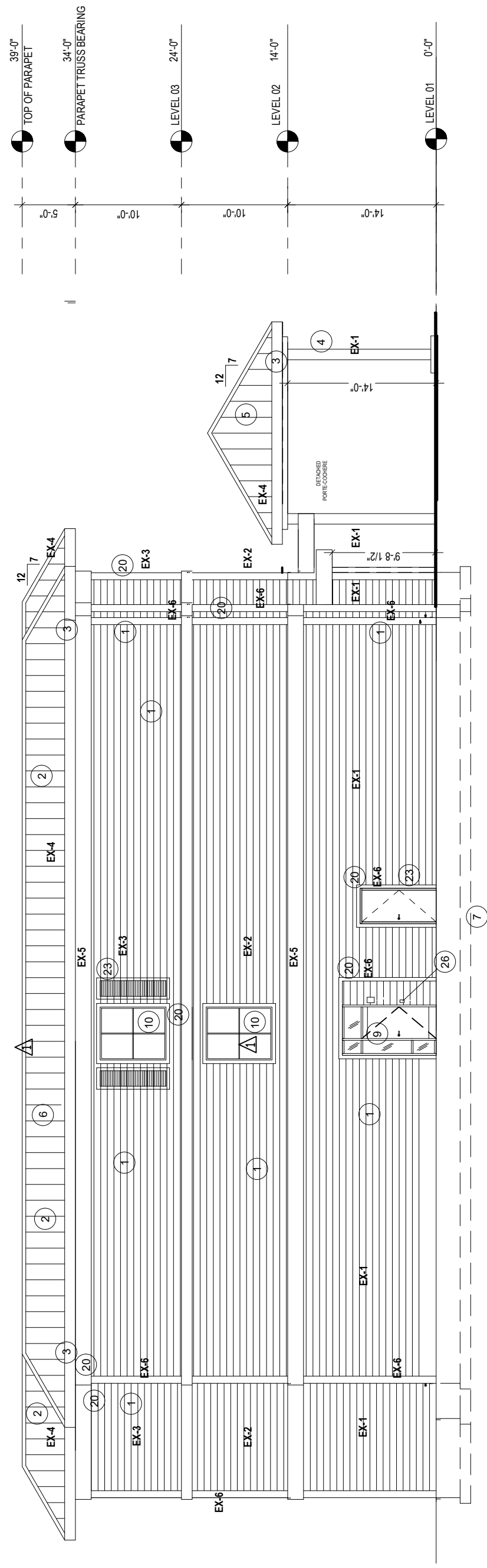
1. CURTAIN WALL PANELS FINISHED STUCCO
2. FINISH SEAM SHEET METAL ROOF SYSTEM TO MATCH EXISTING ON METAL
3. SCORED STUCCO FACIA BOARD PAINTED P 1 C WHITE
4. FINISH SEAM SHEET METAL ROOF SYSTEM TO MATCH EXISTING ON METAL
5. METAL TRUSSES WITH STANDING SEAM METAL ROOFING
6. ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLIP METAL ROOF
7. CONCRETE FORMATION
8. ALUMINUM FINISH WINDOW HURRICANE IMPACT RESISTANT VYBAR COLOR P 1 C LAMINATED CLEAR GLAZING WITH LOW E WITH SEPARATE ALUMINUM ALUMINUM FOREFRONT SYSTEM HURRICANE IMPACT RESISTANT VYBAR COLOR P 1 C LAMINATED CLEAR GLAZING WITH LOW E SEAM ROOF
9. ALUMINUM FINISH WINDOW HURRICANE IMPACT RESISTANT VYBAR COLOR P 1 C LAMINATED CLEAR GLAZING WITH LOW E SEAM ROOF
10. ALUMINUM FINISH WINDOW HURRICANE IMPACT RESISTANT VYBAR COLOR P 1 C LAMINATED CLEAR GLAZING WITH LOW E SEAM ROOF
11. LAUNDRY WHITE OVERBURN BEHIND STANDING SEAM METAL ROOF
12. WHITE BUILDING SKIN
13. TAMPER RESISTANT RECESSED HOSE MOUNT TOP AT -12'
14. TAMPER RESISTANT RECESSED HOSE MOUNT TOP AT -12'
15. TAMPER RESISTANT RECESSED HOSE MOUNT TOP AT -12'
16. TAMPER RESISTANT RECESSED HOSE MOUNT TOP AT -12'
17. VYBAR FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH
18. VYBAR FINISH ALUMINUM FACIA - COLOR TO MATCH ADJACENT LIGHT FIXTURE
19. LIGHT FIXTURE
20. SCORED STUCCO
21. MATCHING ADJACENT WALL
22. EXTERIOR VYBAR METAL DOOR PAINT TO MATCH ADJACENT
23. ALUMINUM AUTOMATIC SLIDING DOOR ENTRY
24. ALUMINUM BUTTER ANDRE COLOR TO MATCH ADJ. MATERIAL
25. ALUMINUM BUTTER ANDRE COLOR TO MATCH ADJ. MATERIAL
26. DOOR, TOP OF READER AT 4' MAX. HEIGHT
27. ALUMINUM BUTTER ANDRE COLOR TO MATCH ADJ. MATERIAL
28. ALUMINUM BUTTER ANDRE COLOR TO MATCH ADJ. MATERIAL

MAT. COLORS

	PANTONE® Cool Gray 4 CP
	PANTONE® Cool Gray 3 CP
	PANTONE® P 1 C
	PANTONE® Cool Gray 6 CP

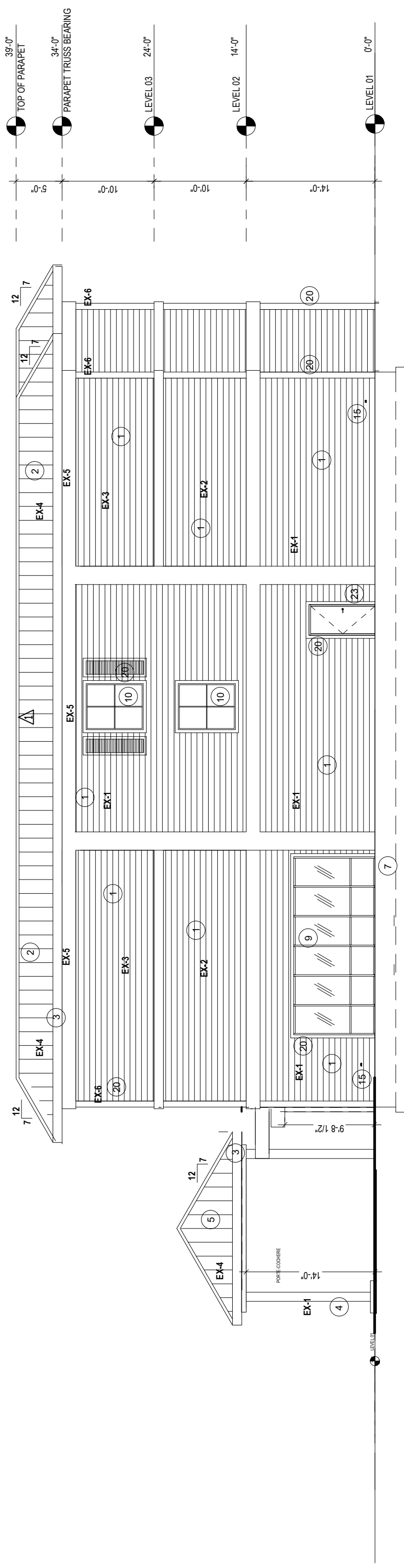


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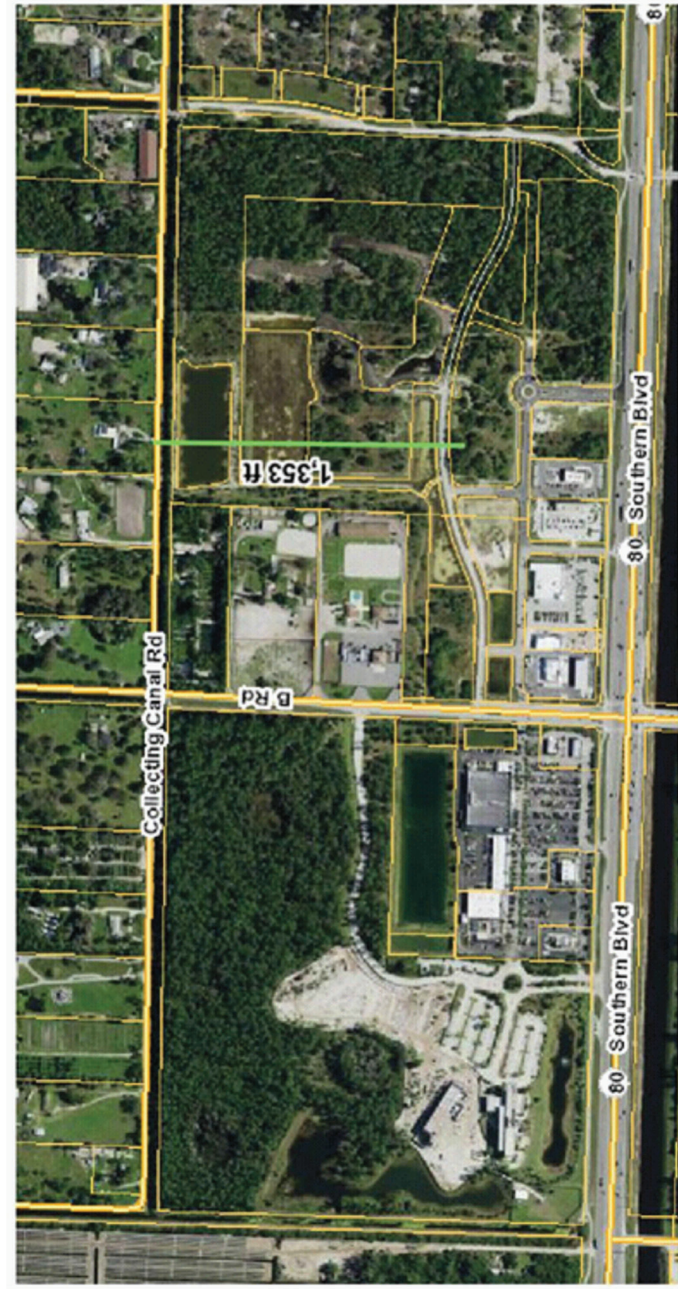


1 EAST EXTERIOR ELEVATION
 3/32" = 1'-0"

A

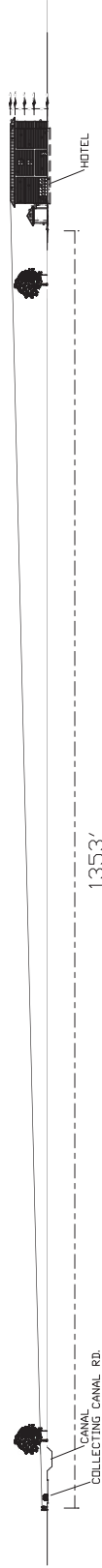


2 WEST EXTERIOR ELEVATION
 3/32" = 1'-0"



1 AREA MAP
/ NONE

2 SECTION
/ NONE



SITE DISTANCE

Date: 10/15/2023
 Project #: HGW2023006
 Drawing Title: SITE PLAN
 App. Title: LISC - Reg
 App. No.: MAR0009531

Revisions:
 7/11/24
 7/23/24 TOWERS, LANCED
 ROAD 2:
 9/25/24 REVISED TO 3 STORY



561-289-6754

HOME 2 SUITES
 LOXAHATCHEE GROVES, FLORIDA
 George White ARCHITECT
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

Date: 10/12/2023
 Project: #GVR023006
 Drawn: GFV
 ARC. LISC. Reg.
 #AR0009531

Revisions:
 Δ 7/25/24 TOWERS, LDCS/ROOF 3'
 Δ 9/25/2024 REVISED TO 3 STORY

561-289-6754

33467

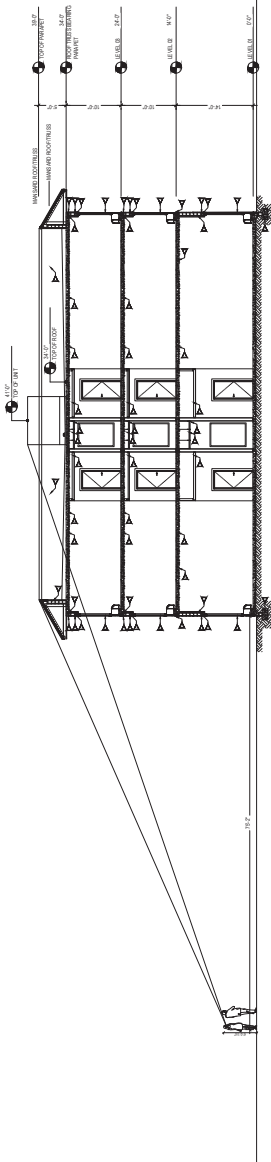
George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA



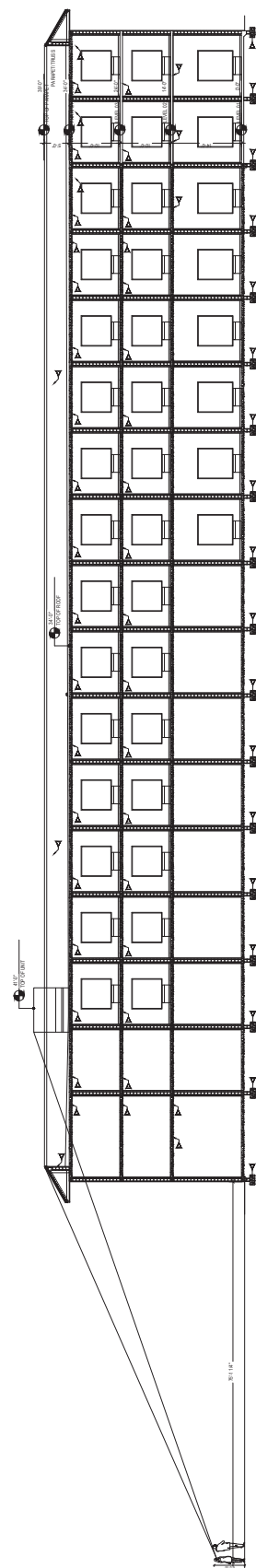
BUILDING SECTION - SIGHT TRIANGLE

A221

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2	REVISIONS	DATE	BY	DESCRIPTION
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100	REVISIONS	DATE	BY	DESCRIPTION



1 BUILDING SECTION - SIGHT TRIANGLE
 1/8" = 1'-0"



1 BUILDING SECTION - SIGHT TRIANGLE
 3/32" = 1'-0"

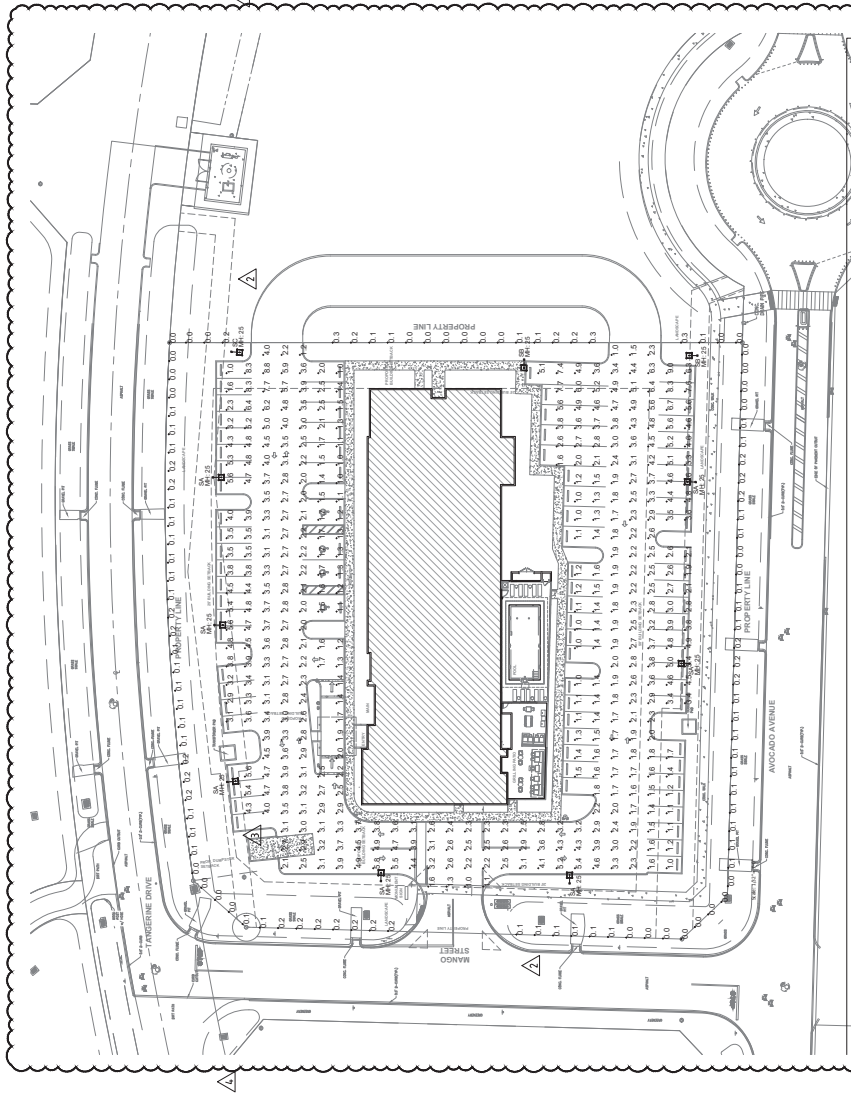
Date: 11/20/2023
 Project #: GW2020068CE20165
 Drawn: DJM
 ARC LSC Reg. #480002671

Revisions:
 1. 4/26/2024
 2. 4/26/2024
 3. 4/26/2024
 4. 4/26/2024
 5. 4/26/2024



George White
 LOXAHATCHEE GROVES, FLORIDA
 ARCHITECT
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-997-6698

E1.0a



ELECTRICAL SITE PLAN - PHOTOMETRIC VALUES

Scale: 1/2" = 1'-0"

Symbol	Qty	Label	Manufacturer	Description	Avg Lum Lumen	LF	Lum Watts	Total Watts
□	7	SA	GARDCO	EF2-644-UNIVAGARE	21089	6300	2085	14113
□	2	SB	GARDCO	EF2-644-ROUNVAGLOL	10953	6300	125	300
□	1	SC	GARDCO	EF2-644-ROUNVAGLOL	10951	6300	122	131

Label	Unit	Avg	Min	Max	Angle	Mount
PROPERTY LINE	FC	0.10	0.0	N/A	N/A	N/A
SEE DRAWING SHEET	FC	3.05	0.0	0.0	0.0	0.00

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ALL ASPECTS AND SECTION 403 OF THE FLORIDA STATUTES.



Beacon Consulting Engineers
 6700 Cass Lane, Suite 300
 Boynton Beach, FL 33435
 561-424-3700
 jvalerius@beaconeng.com
 Electrical & Fire Protection
 Consulting Engineering

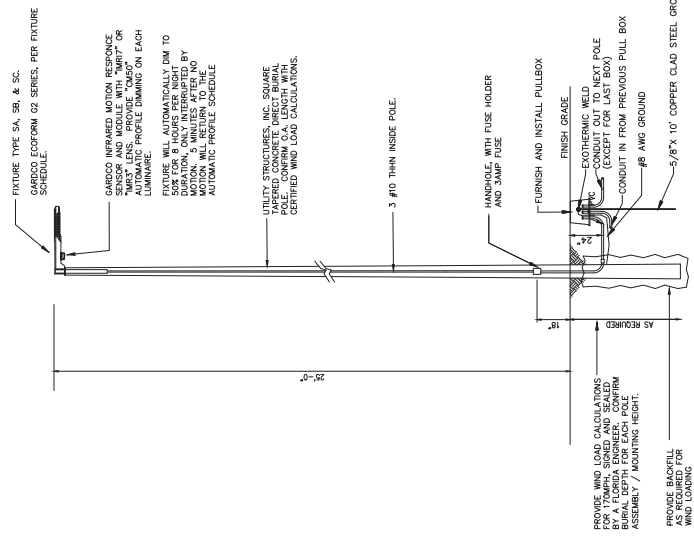
Date: 11/20/2023
 Project #: GW20230606RCE230165
 Drawn: DJM
 ARC LSC Reg. #400002671

Revisions:
 1. 4/26/2024
 2. 4/26/2024
 3. 4/26/2024



George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 561-997-6698

E1.0b



LIGHT POLE DETAIL
 Scale: NONE

Site & Area
Ecoform
ECP-3, 3000 area light

Ordering guide

Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code
ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3

1. All items are subject to change without notice.
 2. All items are subject to change without notice.
 3. All items are subject to change without notice.
 4. All items are subject to change without notice.
 5. All items are subject to change without notice.
 6. All items are subject to change without notice.
 7. All items are subject to change without notice.
 8. All items are subject to change without notice.
 9. All items are subject to change without notice.
 10. All items are subject to change without notice.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS ARE PREPARED IN ACCORDANCE WITH THE BUILDING CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE 2020 IBC BUILDING CODE, AND ALL REQUIREMENTS AND SECTION 03.05 OF THE BUILDING CODE.



Beacon Consulting Engineers
 6000 Cass Lane, Suite 100
 Boynton Beach, FL 33435
 561-424-3700
 Mechanical/Electrical/Plumbing/Fire Protection
 Consulting Engineering

Joseph M. Valerius, P.E.
 Florida Reg. No. 60287



- LEGEND**
1. Building
 2. Parking Lot
 3. Arrival Drop off area
 4. Sidewalk
 5. Dumpster Enclosure
 6. Monument Sign
 7. Pool
 8. Pool Deck
 9. Grilling Patio
 10. FPL Transformer
 11. Medium Tree
 12. Small Palm
 13. Existing Tree
 14. Existing Palm
 15. Shrubs & Groundcovers
 16. Screening Hedge
 17. Sod



LANDSCAPE ARCHITECTURE
 ANDRES MONTERO
 200 E. OAK AND PALM BLVD. SUITE 300
 FORT LAUDERDALE, FL 33304 USA
 www.amrbb.com

Rev	Date	Description

Sheet Title:
**ILLUSTRATIVE
 SITE PLAN**

Project Name:
HOME 2 SUITES HOTEL
 Lovelockville Groves, FL 33470

Digitally signed by
 Andres E Montero
 Date: 2024.09.30
 18:14:43 -0400

GRAPHIC SCALE
 NORTH

**Sunshine State
 One Call**

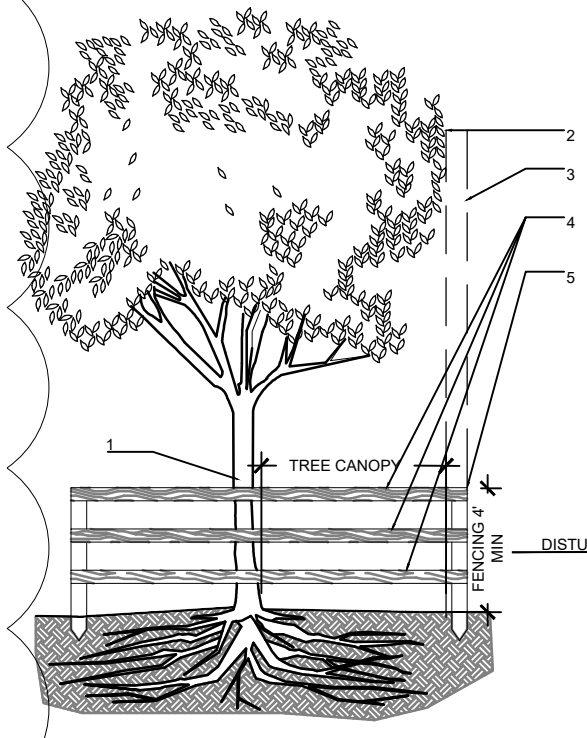
Know what's below.
 Call before you dig.

Date: DECEMBER 8, 2023
 Scale: 1" = 20'-0"
 Drawn By: AEM/MEP
 Approved By: AEM
 Project No: 202333

Sheet Number:
L-00

PERMIT SET - NOT FOR CONSTRUCTION

TREE #	BOTANICAL NAME	COMMON NAME	DBH (in)	HEIGHT (ft)	SPREAD (ft)	STATUS	COMMENTS
1	Quercus virginiana	Live Oak	5	25	25	REMAIN	
2	Quercus virginiana	Live Oak	6	25	25	REMAIN	
3	Quercus virginiana	Live Oak	6	25	25	REMAIN	
4	Sabal palmetto	Sabal Palm	13	17	14	REMAIN	
5	Sabal palmetto	Sabal Palm	13	14	14	REMAIN	
6	Sabal palmetto	Sabal Palm	11	14	14	REMAIN	
7	Quercus virginiana	Live Oak	5	25	25	REMAIN	
8	Quercus virginiana	Live Oak	5	25	25	REMAIN	
9	Quercus virginiana	Live Oak	5	25	25	REMAIN	
10	Sabal palmetto	Sabal Palm	12	15	14	REMAIN	
11	Sabal palmetto	Sabal Palm	12	14	14	REMAIN	
12	Sabal palmetto	Sabal Palm	12	16	14	REMAIN	
13	Quercus virginiana	Live Oak	5	25	25	REMAIN	
14	Quercus virginiana	Live Oak	5	25	25	REMAIN	
15	Quercus virginiana	Live Oak	5	25	25	REMAIN	
16	Sabal palmetto	Sabal Palm	14	15	14	REMAIN	
17	Sabal palmetto	Sabal Palm	11	17	14	REMAIN	
18	Sabal palmetto	Sabal Palm	11	14	14	REMAIN	
19	Quercus laurifolia	Laurel Oak	49	44.9	44	REMOVE	See Arborist Report
20	Quercus laurifolia	Laurel Oak	19	41.7	24	REMOVE	See Arborist Report
21	Quercus laurifolia	Laurel Oak	14	35.4	14	REMOVE	See Arborist Report
22	Sabal palmetto	Sabal Palm	17	16	14	REMOVE	
23	Pinus elliotii	Slash Pine	11	16	16	REMOVE	
24	Sabal palmetto	Sabal Palm	15	18	14	REMOVE	
25	Sabal palmetto	Sabal Palm	10	17	14	REMOVE	
26	Sabal palmetto	Sabal Palm	12	7	14	REMOVE	
27	Sabal palmetto	Sabal Palm	15	4	14	REMOVE	
28	Pinus elliotii	Slash Pine	11	31	16	REMOVE	
29	Quercus laurifolia	Laurel Oak	10	31	16	REMOVE	See Arborist Report
30	Quercus laurifolia	Laurel Oak	17.5	44.5	20	REMOVE	See Arborist Report
31	Quercus laurifolia	Laurel Oak	12	40.3	15	REMOVE	See Arborist Report
32	Quercus laurifolia	Laurel Oak	18	41.2	22	REMOVE	See Arborist Report
33	Pinus elliotii	Slash Pine	8	16	16	REMOVE	
34	Pinus elliotii	Slash Pine	9	16	16	REMOVE	
35	Pinus elliotii	Slash Pine	12	16	16	REMOVE	
36	Pinus elliotii	Slash Pine	11	16	16	REMOVE	
37	Pinus elliotii	Slash Pine	11	16	16	REMOVE	
38	Quercus laurifolia	Laurel Oak	20	41.5	26	REMOVE	See Arborist Report
39	Pinus elliotii	Slash Pine	14	16	16	REMOVE	
40	Sabal palmetto	Sabal Palm	17	6	14	REMOVE	
41	Sabal palmetto	Sabal Palm	15	14	14	REMOVE	
42	Pinus elliotii	Slash Pine	8	16	16	REMOVE	
43	Pinus elliotii	Slash Pine	11	16	16	REMOVE	
44	Pinus elliotii	Slash Pine	7	16	16	REMOVE	
45	Quercus laurifolia	Laurel Oak	16.25	36.9	28	REMOVE	See Arborist Report
46	Pinus elliotii	Slash Pine	9	16	16	REMOVE	
47	Quercus laurifolia	Laurel Oak	14.5	33	15	REMOVE	See Arborist Report
48	Sabal palmetto	Sabal Palm	16	19	14	REMOVE	
49	Sabal palmetto	Sabal Palm	16	5	14	REMOVE	
50	Quercus virginiana	Live Oak	5	25	25	REMAIN	
51	Quercus virginiana	Live Oak	5	25	25	REMAIN	
52	Quercus virginiana	Live Oak	5	25	25	REMAIN	
53	Sabal palmetto	Sabal Palm	13	23	14	REMAIN	
54	Sabal palmetto	Sabal Palm	13	16	14	REMOVE	
55	Quercus laurifolia	Laurel Oak	18.25	36.5	28	REMOVE	See Arborist Report
56	Pinus elliotii	Slash Pine	9	16	16	REMOVE	
57	Sabal palmetto	Sabal Palm	14	6	14	REMOVE	
58	Sabal palmetto	Sabal Palm	16	6	14	REMOVE	
59	Quercus laurifolia	Laurel Oak	29	48.4	46	REMOVE	See Arborist Report
60	Acacia auriculiformis	Earleaf acacia	10	14	14	REMOVE	Category I - Invasive exotics
61	Pinus elliotii	Slash Pine	13	16	16	REMOVE	
62	Pinus elliotii	Slash Pine	10	16	16	REMOVE	
63	Sabal palmetto	Sabal Palm	13	4	14	REMOVE	
64	Acacia auriculiformis	Earleaf acacia	11	14	14	REMOVE	Category I - Invasive exotics
65	Sabal palmetto	Sabal Palm	19	12	14	REMOVE	
66	Sabal palmetto	Sabal Palm	14	19	14	REMOVE	
67	Sabal palmetto	Sabal Palm	20	12	14	REMOVE	
68	Sabal palmetto	Sabal Palm	10	6	14	REMOVE	
69	Sabal palmetto	Sabal Palm	12	17	14	REMOVE	
70	Schinus terebinthifolius	Brazilian Pepper	9	14	14	REMOVE	Category I - Invasive exotics
71	Schinus terebinthifolius	Brazilian Pepper	9	14	14	REMOVE	Category I - Invasive exotics
72	Schinus terebinthifolius	Brazilian Pepper	12	14	14	REMOVE	Category I - Invasive exotics
73	Quercus laurifolia	Laurel Oak	29	44.5	46	REMOVE	See Arborist Report
74	Sabal palmetto	Sabal Palm	15	9	14	REMOVE	
75	Sabal palmetto	Sabal Palm	13	13	14	REMOVE	
76	Quercus laurifolia	Laurel Oak	24	41	38	REMOVE	See Arborist Report
77	Sabal palmetto	Sabal Palm	15	25	14	REMOVE	
78	Sabal palmetto	Sabal Palm	13	16	14	REMOVE	
79	Sabal palmetto	Sabal Palm	16	23	14	REMOVE	
80	Sabal palmetto	Sabal Palm	15	22	14	REMOVE	
81	Sabal palmetto	Sabal Palm	19	20	14	REMOVE	
82	Quercus laurifolia	Laurel Oak	17	34.3	24	REMOVE	See Arborist Report
83	Quercus laurifolia	Laurel Oak	24.5	37.3	36	REMOVE	See Arborist Report
84	Sabal palmetto	Sabal Palm	19	10	14	REMOVE	
85	Sabal palmetto	Sabal Palm	9	19	14	REMOVE	
86	Quercus laurifolia	Laurel Oak	31.5	37.9	42	REMOVE	See Arborist Report
87	Sabal palmetto	Sabal Palm	13	5	14	REMOVE	
88	Sabal palmetto	Sabal Palm	14	8	14	REMOVE	
89	Sabal palmetto	Sabal Palm	15	5	14	REMOVE	
90	Sabal palmetto	Sabal Palm	13	13	14	REMOVE	
91	Sabal palmetto	Sabal Palm	14	6	14	REMOVE	
92	Sabal palmetto	Sabal Palm	16	12	14	REMOVE	
93	Sabal palmetto	Sabal Palm	15	5	14	REMOVE	
94	Sabal palmetto	Sabal Palm	10	4	14	REMOVE	
95	Sabal palmetto	Sabal Palm	13	15	14	REMOVE	
96	Sabal palmetto	Sabal Palm	18	9	14	REMOVE	
97	Sabal palmetto	Sabal Palm	19	11	14	REMOVE	
98	Sabal palmetto	Sabal Palm	18	11	14	REMOVE	
99	Sabal palmetto	Sabal Palm	21	12	14	REMOVE	
100	Sabal palmetto	Sabal Palm	19	12	14	REMOVE	
101	Quercus virginiana	Live Oak	5	12	12	RELOCATE	
102	Sabal palmetto	Sabal Palm	8	8	14	REMOVE	
103	Sabal palmetto	Sabal Palm	9	21	14	REMOVE	
104	Sabal palmetto	Sabal Palm	10	21	14	REMOVE	
105	Sabal palmetto	Sabal Palm	11	19	14	REMOVE	
106	Sabal palmetto	Sabal Palm	11	27	14	REMOVE	
107	Sabal palmetto	Sabal Palm	11	26	14	REMOVE	
108	Sabal palmetto	Sabal Palm	15	6	14	REMOVE	
109	Sabal palmetto	Sabal Palm	18	9	14	REMOVE	
110	Quercus virginiana	Live Oak	5	12	12	RELOCATE	
111	Quercus virginiana	Live Oak	12	12	12	RELOCATE	
112	Quercus virginiana	Live Oak	6	12	12	RELOCATE	
113	Quercus virginiana	Live Oak	5	12	12	RELOCATE	
114	Quercus virginiana	Live Oak	4	12	12	RELOCATE	
115	Quercus virginiana	Live Oak	5	12	12	RELOCATE	
116	Quercus virginiana	Live Oak	5	12	12	RELOCATE	
117	Sabal palmetto	Sabal Palm	8	5	14	REMOVE	
118	Sabal palmetto	Sabal Palm	10	4	14	REMOVE	
119	Acacia auriculiformis	Earleaf acacia	4	14	14	REMOVE	Category I - Invasive exotics
120	Sabal palmetto	Sabal Palm	9	10	14	REMOVE	
121	Sabal palmetto	Sabal Palm	13	15	14	REMOVE	
122	Sabal palmetto	Sabal Palm	13	15	14	REMOVE	
123	Sabal palmetto	Sabal Palm	8	4	14	REMOVE	
124	Sabal palmetto	Sabal Palm	12	4	14	REMOVE	
125	Sabal palmetto	Sabal Palm	10	4	14	REMOVE	
126	Sabal palmetto	Sabal Palm	7	7	14	REMOVE	
127	Acacia auriculiformis	Earleaf acacia	6	14	14	REMOVE	Category I - Invasive exotics
128	Sabal palmetto	Sabal Palm	10	6	14	REMOVE	
129	Sabal palmetto	Sabal Palm	15	5	14	REMOVE	



NOTES:
 A ALL EXPOSED ROOTS WITHIN ROOT PROTECTION ZONE SHALL BE HAND PRUNED TO HAVE A SMOOTH, CLEAN CUT WITHOUT TEARING OR SPLITTING.
 B BARRIER TO FORM A CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES.
 C CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.
 D CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

1 EXISTING TREE PROTECTION FENCE SECTION SCALE: N.T.S.

LEGEND

- TREE PROTECTION FENCE
- TREE NUMBER
- EXISTING TREE TO REMAIN
- EXISTING SABAL TO REMAIN
- EXISTING TREE TO BE RELOCATED
- EXISTING PALM TO BE REMOVED
- EXISTING TREE TO BE REMOVED

NOTES:
 1. BOUNDARY SURVEY, APPROXIMATE LOCATION, SIZE AND CONDITIONS OF THE EXISTING TREES WITHIN THE PROJECT LIMITS HAS BEEN COLLECTED FROM THE EXISTING TREE SURVEY PREPARED BY:
CAULFIELD & WHEELER, INC.
 7900 GLADES ROAD - SUITE 100
 BOCA RATON, FLORIDA 33434
 ph: 561.392.1991
 2. EXISTING TREES TO REMAIN TO BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL # 1- SHEET L-01
 CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT FOR TREES/PALMS PROPOSED TO BE REMOVED, PRIOR TO DEVELOPMENT OF THE SITE.



GRAPHIC SCALE
 NORTH 0' 20' 40' 80'
 Scale: 1" = 20'-0"
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 811



LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 2300 E. OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33308 USA
 www.andresmo.com

By:	REVISIONS	DATE	DESCRIPTION
1	1	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024
2	2	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024
3	3	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024
4	4	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024
5	5	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024
6	6	4/24/24	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024

Project Name:
HOME 2 SUITES HOTEL
 Loxahatchee Groves, FL 33470

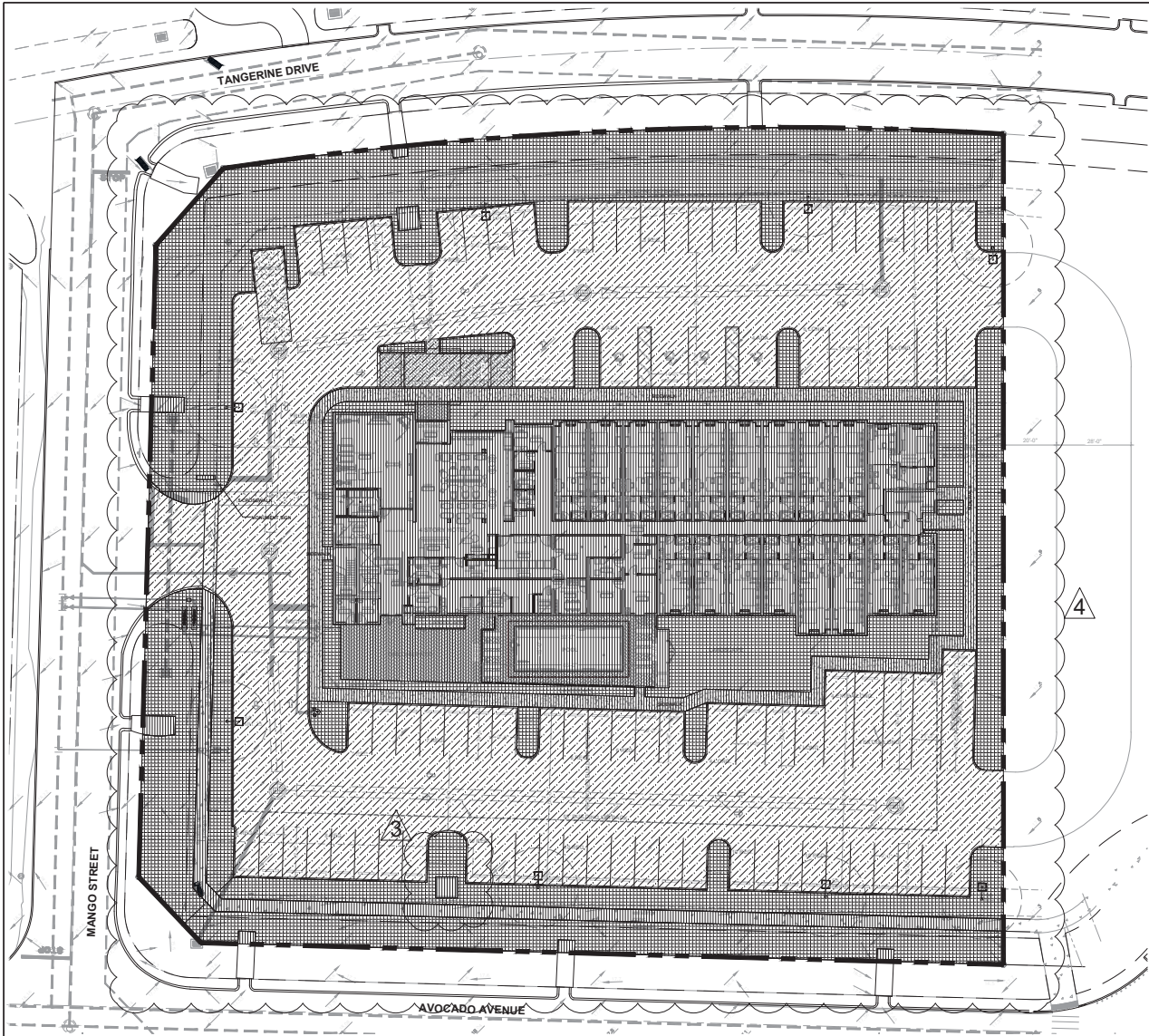
Project Name:
HOME 2 SUITES HOTEL
 Loxahatchee Groves, FL 33470

SEAL / SIGNATURE

Date: DECEMBER 8, 2023
 Scale: 1" = 20'-0"
 Drawn By: AEM/MEP
 Approved By: AEM
 Project No: 202333

Sheet Number:
L-01

PERMIT SET - NOT FOR CONSTRUCTION



AREAS CALCULATION DIAGRAM

- 41,603 SF
VEHICULAR USE AREA
- 29,951 SF
INTERIOR OPEN SPACE/PERVIOUS AREA
- 26,201 SF
IMPERVIOUS AREA



LANDSCAPE ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 200 E. OAK AND PALM BLVD. SUITE 300
 FORT LAUDERDALE, FL 33301 USA
 www.andresmontero.com

Rev	Date	Description	By
1	12/08/2024	ISSUED FOR PERMITS	AEM/MP
2	12/08/2024	REVISED CITY COMMENTS	AEM/MP
3	12/08/2024	REVISED CITY COMMENTS	AEM/MP
4	12/08/2024	REVISED CITY COMMENTS	AEM/MP
5	12/08/2024	REVISED CITY COMMENTS	AEM/MP
6	12/08/2024	REVISED CITY COMMENTS	AEM/MP
7	12/08/2024	REVISED CITY COMMENTS	AEM/MP
8	12/08/2024	REVISED CITY COMMENTS	AEM/MP
9	12/08/2024	REVISED CITY COMMENTS	AEM/MP
10	12/08/2024	REVISED CITY COMMENTS	AEM/MP

Sheet Title:
**AREAS CALCULATION
 DIAGRAM**

Project Name:
HOME 2 SUITES HOTEL
 Location: Groves, FL 33470

Digitally signed by:
 Andres Montero
 Date: 2024.09.30
 18:15:52
 -04'00'

Date: DECEMBER 8, 2023
 Scale: 1" = 20'-0"
 Drawn By: AEM/MP
 Approved By: AEM
 Project No: 202333

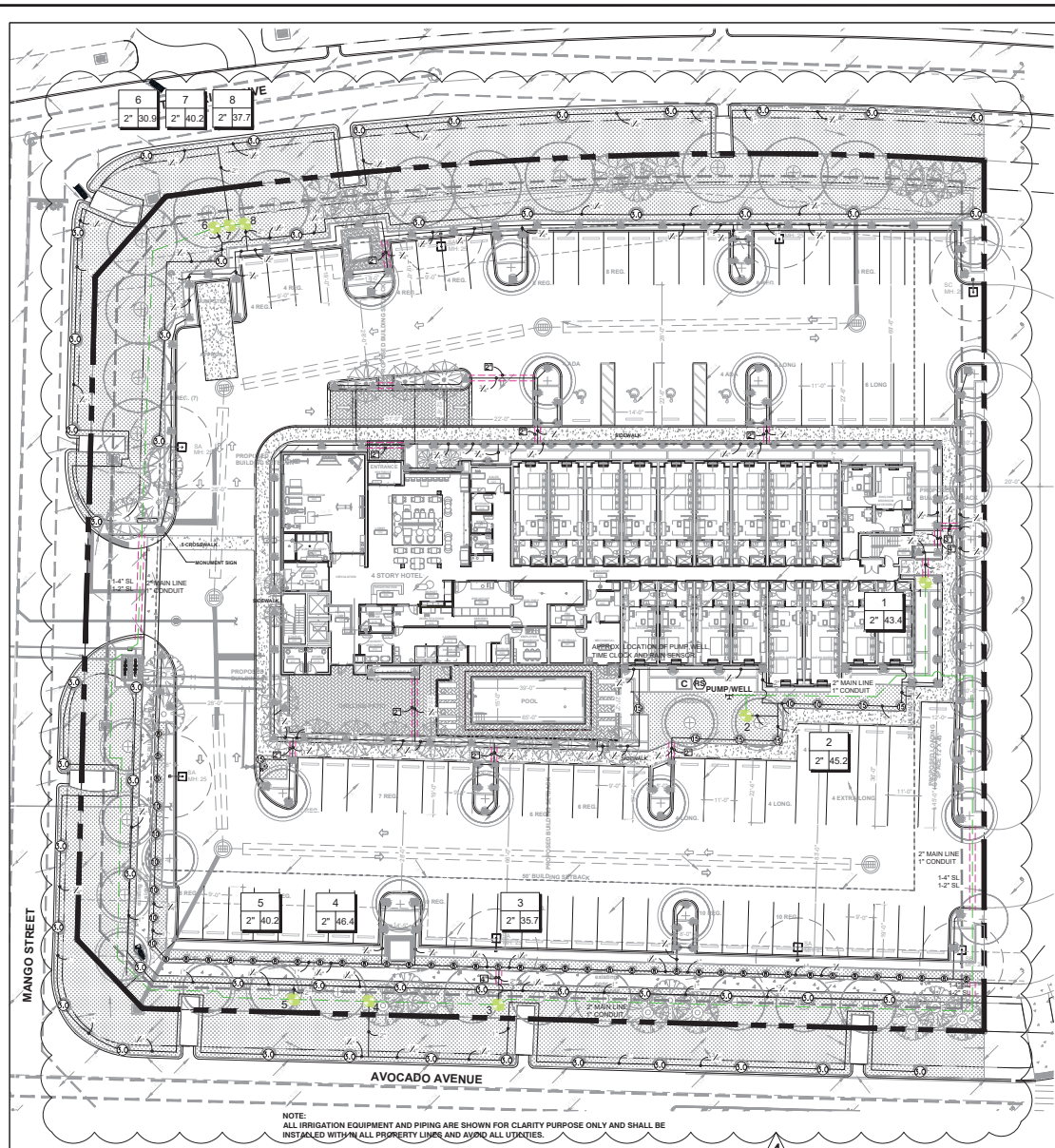
Sheet Number:
L-03

GRAPHIC SCALE
 NORTH

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NOTE:
ALL IRRIGATION EQUIPMENT AND PIPING ARE SHOWN FOR CLARITY PURPOSE ONLY AND SHALL BE
INSTALLED WITHIN ALL PROPERTY LINES AND AVOID ALL UTILITIES.

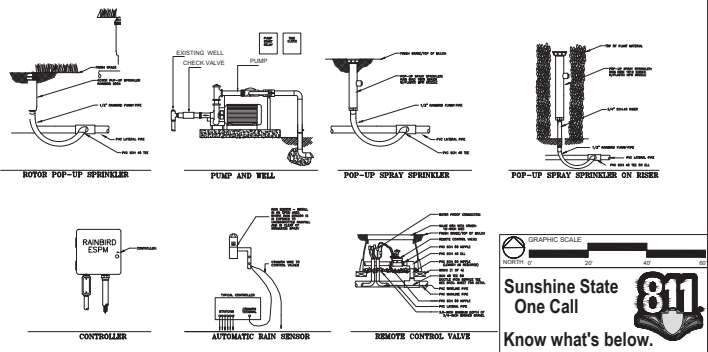
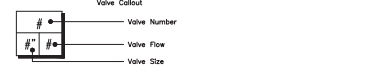
4

IRRIGATION SCHEDULE OR EQUIVILENT.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊙ ⊙ ⊙ ⊙	Rain Bird 180G 8 Series MPR Turf Spray 6.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.
⊙ ⊙ ⊙ ⊙ ⊙ ⊙	Rain Bird 180G 15 Series MPR Turf Spray 6.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.
⊙ ⊙ ⊙ ⊙ ⊙ ⊙	Rain Bird 1812 15 Strip Series Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.
⊙ ⊙ ⊙ ⊙ ⊙ ⊙	Rain Bird 1812 8 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.
⊙ ⊙ ⊙ ⊙ ⊙ ⊙	Rain Bird 1812 12 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.
⊙ ⊙ ⊙ ⊙ ⊙ ⊙	Rain Bird 1812 15 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet.

SYMBOL	MANUFACTURER/MODEL	GPM
⊙	Rain Bird 5004-PC 3.0	3.09

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊙	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.
⊙	Rain Bird ESP4ME3 with (2) ESP-5M3 1/0 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK, WFR Module and Flow Sensor Ready.
⊙	Rain Bird RSD-BEX Rain Sensor, with metal latching bracket, extension wire.
⊙	3 Horse Power Centrifugal Pump with 3" Well



GENERAL NOTES

- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2x) the diameter of the pipe to be sleeved. Main Line shall be installed in with lateral pipe where possible.
- Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
- 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
- All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas whenever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and zoning, etc.
- Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering, such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- All control wires shall be installed in PVC conduit.
- All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.
- The installation devices are to be guaranteed for the period of (1) year from the date of final acceptance.

ANDRES MONTERO
ARCHITECTURE, URBAN DESIGN,
LANDSCAPE ARCHITECTURE

200 E. OAK AND AVALON BLVD. SUITE 300
FORT LAUDERDALE, FL 33301 USA
WWW.AMDESIGN.COM

By	Description
AM	DESIGN DEVELOPMENT BY OWNER CITY CONTRACT
AM	PERMITTING BY OWNER CITY CONTRACT
AM	CONSTRUCTION BY OWNER CITY CONTRACT
AM	OPERATION BY OWNER CITY CONTRACT
AM	MAINTENANCE BY OWNER CITY CONTRACT
AM	REPAIRS BY OWNER CITY CONTRACT
AM	REPLACEMENTS BY OWNER CITY CONTRACT
AM	RENOVATIONS BY OWNER CITY CONTRACT
AM	DEMOLITION BY OWNER CITY CONTRACT
AM	RECONSTRUCTION BY OWNER CITY CONTRACT
AM	REPAIRS BY OWNER CITY CONTRACT
AM	REPLACEMENTS BY OWNER CITY CONTRACT
AM	RENOVATIONS BY OWNER CITY CONTRACT
AM	DEMOLITION BY OWNER CITY CONTRACT
AM	RECONSTRUCTION BY OWNER CITY CONTRACT

IRRIGATION PLAN
DETAILS &
GENERAL NOTES

Project Name:
HOME 2 SUITES HOTEL
Lounsbathree Groves, FL 33470

Digitally signed by
Andres E. Montero
Date: 2024.09.30
18:16:27
SEAL: 04/00

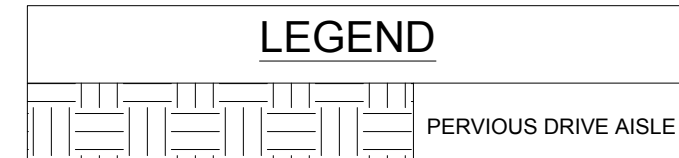
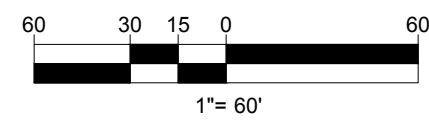
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Scale: 1" = 20'-0"
Drawn By: AEM/MP
Approved By: AEM
Project No: 202333

Sheet Number:
L-05

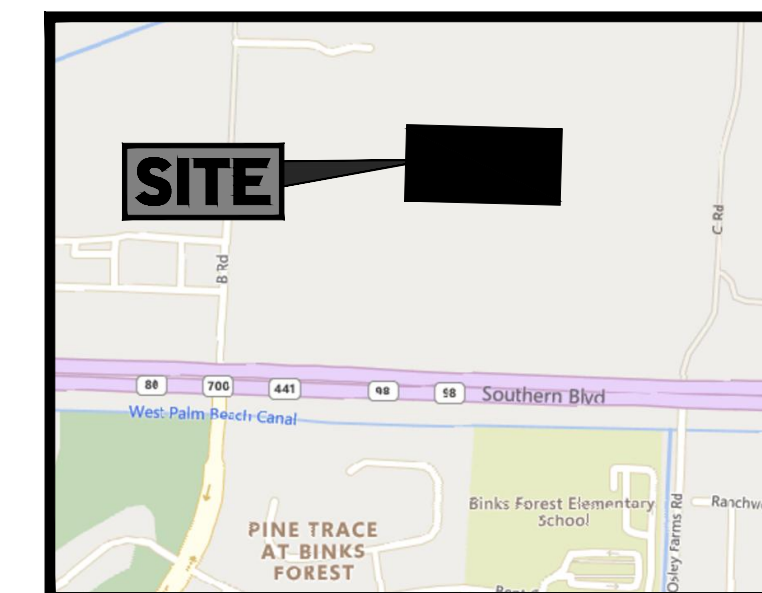
PERMIT SET - NOT FOR CONSTRUCTION

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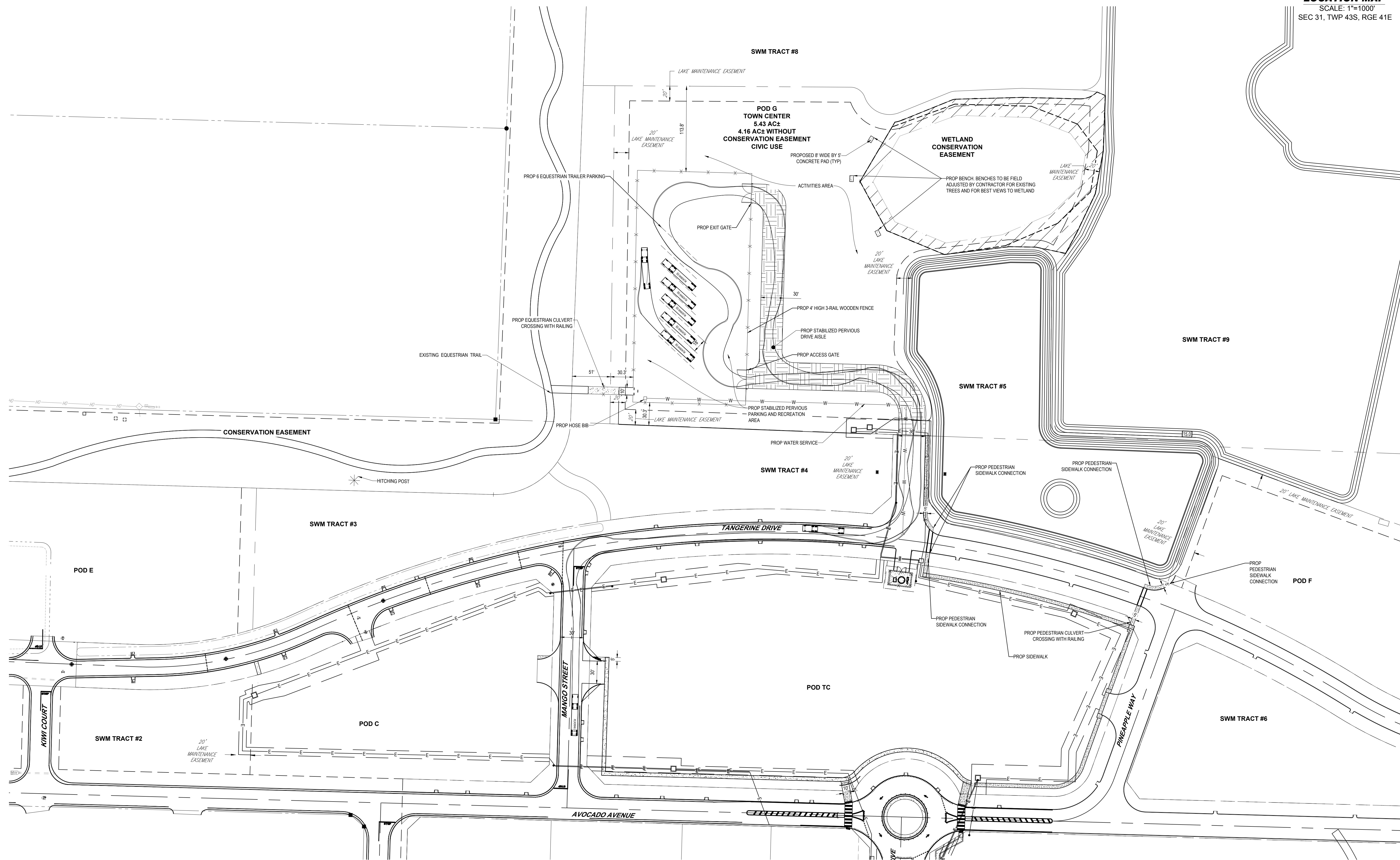
ATTACHMENT 8– Proposed Site Plan, Public Park (Pod G)



SITE DATA TABLE	
TOTAL AREA (EXCLUDING CONSERVATION EASEMENT)	4.16 AC
IMPERVIOUS AREA	0 AC
PERVIOUS AREA	4.16 AC



LOCATION MAP
SCALE: 1"=1000'
SEC 31, TWP 43S, RGE 41E



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

Sunshine 811
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SITE PLAN APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLC220010
DRAWN BY: TB
CHECKED BY: SWM
DATE: 01/07/24
CAD ID: FLC220010.00-SITE-TC-0

TOWN COMMONS SITE PLAN
FOR
SOLAR SPORTSYSTEM, INC.
LOCATION OF SITE:
N.E. CORNER OF SOUTHERN BLVD. AND B ROAD
TOWN OF LOXAHATCHEE GROVES
PALM BEACH COUNTY, FL
SEC 31, TWP 43S, RGE 41E

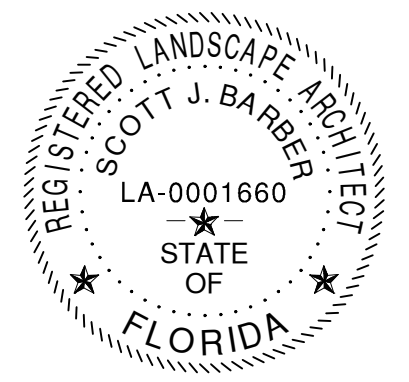
BOHLER
1 SE 3RD AVE.
SUITE 2700
MIAMI, FLORIDA 33131
Phone: (786) 681-0800
FLORIDA BUSINESS CERT. OF AUTH. No. 30789

POD G TOWN COMMONS SITE PLAN

SHEET NUMBER:
EX-2

ORG. DATE - 08/06/2024

H:\2024\FL220010\00\AD\DRAWINGS\SUBMIT\POD G\TOWN COMMONS SITE PLAN - AVOCADO, POD G.TC



REVISIONS

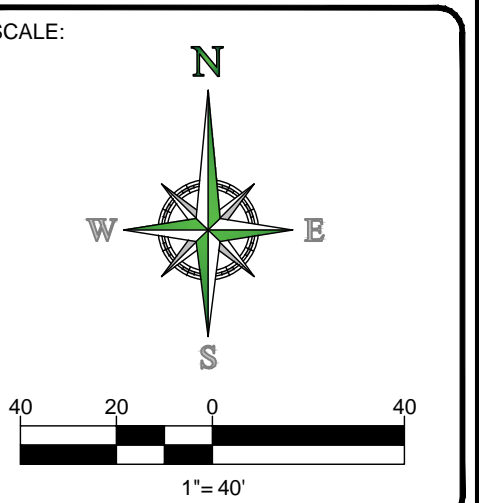
REV	DATE	COMMENT	BY
1	1/8/25	TREE DISPOSITION UPDATE	SB



NOT APPROVED FOR CONSTRUCTION

PROJECT No.: 20-010.09
DRAWN BY: SJB
CHECKED BY: SM
DATE: 3/8/24
SCALE: AS NOTED
CAD I.D.: LD_3/8/24.DWG

PROJECT:
GROVES TOWN CENTER POD 'G'
FOR
SOLAR SPORTSYSTEM, INC.
LOCATION OF SITE
NE. CORNER OF SOUTHERN BLVD. AND B' ROAD
LOXAHATCHEE GROVES
PALM BEACH COUNTY



SHEET TITLE:
POD 'G' LANDSCAPE PLAN
SHEET NUMBER:
LP-1

LEGEND:

- EXISTING TREE OR PALM TO REMAIN
- FPL SWITCH BOX

UTILITY EQUIPMENT NOTE:

- SEE CIVIL DRAWINGS FOR FENCING, SWITCH BOX, AND HOSE BIB DETAILS.

LANDSCAPE AND ROOT BARRIER NOTES:

- TREE LOCATION AND SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THIS PLAN ATTEMPT TO ACCOMPLISH SPACING REQUIREMENTS WHILE MAINTAINING THE REQUIRED SETBACKS FROM PUBLIC UTILITIES. IN ANY CASE THE TREES SHALL BE PLANTED IN ACCORDANCE WITH THE PLANT DETAILS SHOW HEREIN.
- TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY PAVING OR PUBLIC WATER, SEWER MAIN SERVICE, OR LIFT STATIONS. IF A TEN FOOT (10') CLEARANCE CANNOT BE ACHIEVED, SPACING CAN BE REDUCED TO SEVEN FOOT (7') IF INSTALLED WITH A 24" DEEP CONTINUOUS APPROVED ROOT BARRIER SYSTEM. HOWEVER, IN NO CASE SHALL A TREE ENDOACH INTO AN EASEMENT WITHOUT PRIOR APPROVAL, AND ONLY SOD CAN BE INSTALLED WITHIN 7.5 FEET OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.

IRRIGATION PERFORMANCE NOTES:

- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING WATER AND HAND WATERING TREES BASED ON THE FOLLOWING SCHEDULE:
MONTH 1 - WATER DAILY WITH 3 GALLONS PER INCH CALIPER
MONTH 2 THRU 4 - WATER EVERY OTHER DAY WITH 3 GALLONS PER INCH CALIPER
MONTH 5 THRU 7 - WATER ONCE A WEEK WITH 3 GALLONS PER INCH CALIPER

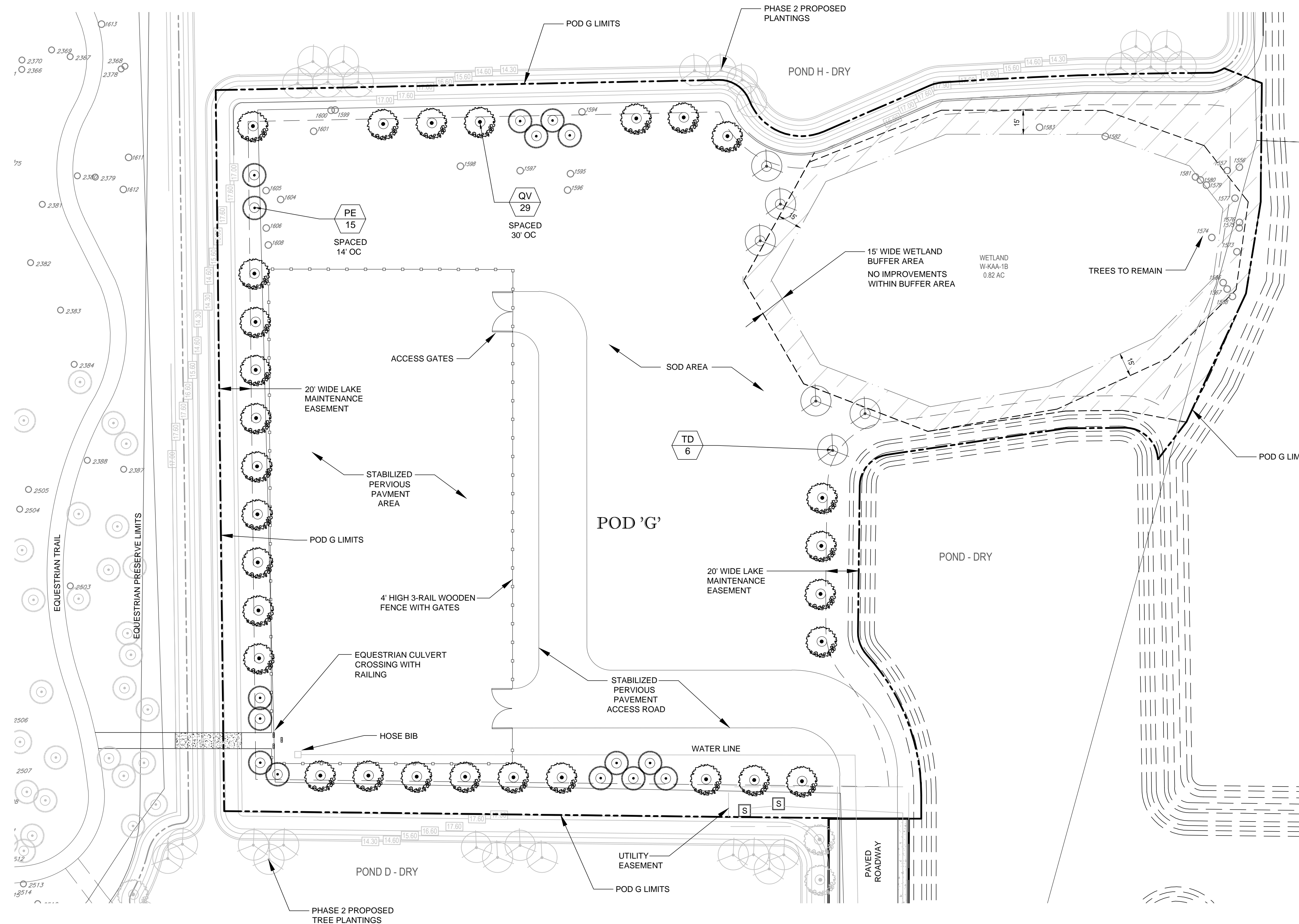
GENERAL LANDSCAPE NOTES:

- THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE COMMON AREA LANDSCAPE TRACTS. FUTURE LANDSCAPE WITHIN THE PARCEL WILL BE MAINTAINED BY THE OWNER OR LESSEE.
- ALL UNPAVED DISTURBED SURFACES SHALL BE GRADED AND SODDED WITH ARGENTINE BAHIA GRASS. GRASS AREAS SHALL BE WATERED UNTIL ESTABLISHED, AND RE-SEEDED OR SODDED IF NECESSARY TO OBTAIN A HEALTHY STAND OF GRASS PRIOR TO FINAL ACCEPTANCE. THE BANKS OF DRY RETENTION AREAS SHALL BE SODDED WITHIN THE SITE LIMITS AND ANY DAMAGED SOD AREAS OUTSIDE OF THE PROJECT LIMITS WITH ARGENTINE BAHIA GRASS.
- ALL TREES WILL BE MULCHED WITH A 4" DIAMETER x 3" LAYER OF SHREDDED HARDWOOD.
- NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS SHEET. SHEET(S) ARE FOR LANDSCAPE REFERENCE ONLY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND WRITTEN SPECIFICATIONS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE OWNER'S REP.
- THE LANDSCAPE PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH EXISTING CODES AND APPLICABLE DEED RESTRICTIONS OR REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIALS AND QUANTITIES PRIOR TO BIDDING, AND NOTIFY OWNER'S REP OF ANY PLAN DISCREPANCIES PRIOR TO CONSTRUCTION. RESOLUTION OF DISCREPANCIES FOUND DURING CONSTRUCTION SHALL BE IN FAVOR OF THE OWNER.
- ANY DEVIATION FROM PLANT QUANTITY, SIZE OR GRADE MAY JEOPARDIZE THE CERTIFICATE OF OCCUPANCY.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE MINIMUMS ONLY. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. OWNER'S REP SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA, INC AT 800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- THE HEALTHY, NEAT, AND ORDERLY APPEARANCE OF ALL REQUIRED LANDSCAPING MATERIALS IS THE CONTINUAL RESPONSIBILITY OF THE PROPERTY OWNER AFTER FINAL ACCEPTANCE.

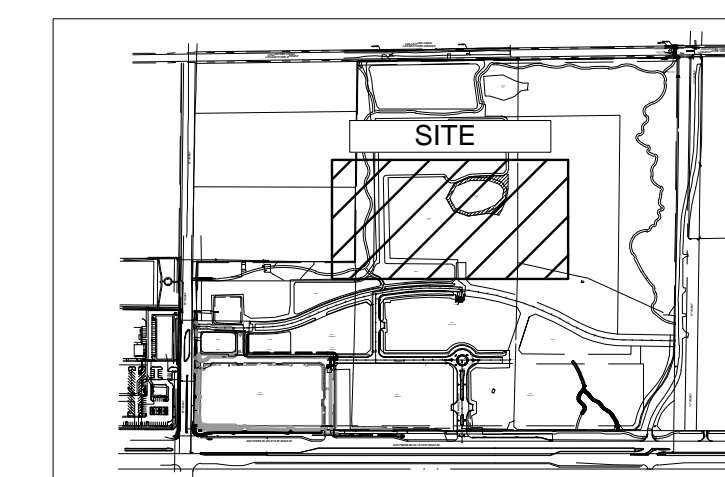
PLANT SCHEDULE:

SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SPECIFICATIONS (MINIMUMS)
TREE CREDITS PLANTED				
MITIGATION	QV	29	Quercus virginiana	Southern Live Oak 16' Ht, 4"-6" DBH
MITIGATION	PE	15	Pinus elliottii var. densa	Densa Slash Pine 16' Ht, 4"-6" DBH
MITIGATION	TD	6	Taxodium distichum	Bald Cypress 16' Ht, 4"-6" DBH
SOD				
*	**		Argentine Bahia	Sod - Tight Joints, Clean Cut In

- * SEE GENERAL LANDSCAPE NOTE 2
- ** CONTRACTOR TO VERIFY BEFORE BIDDING

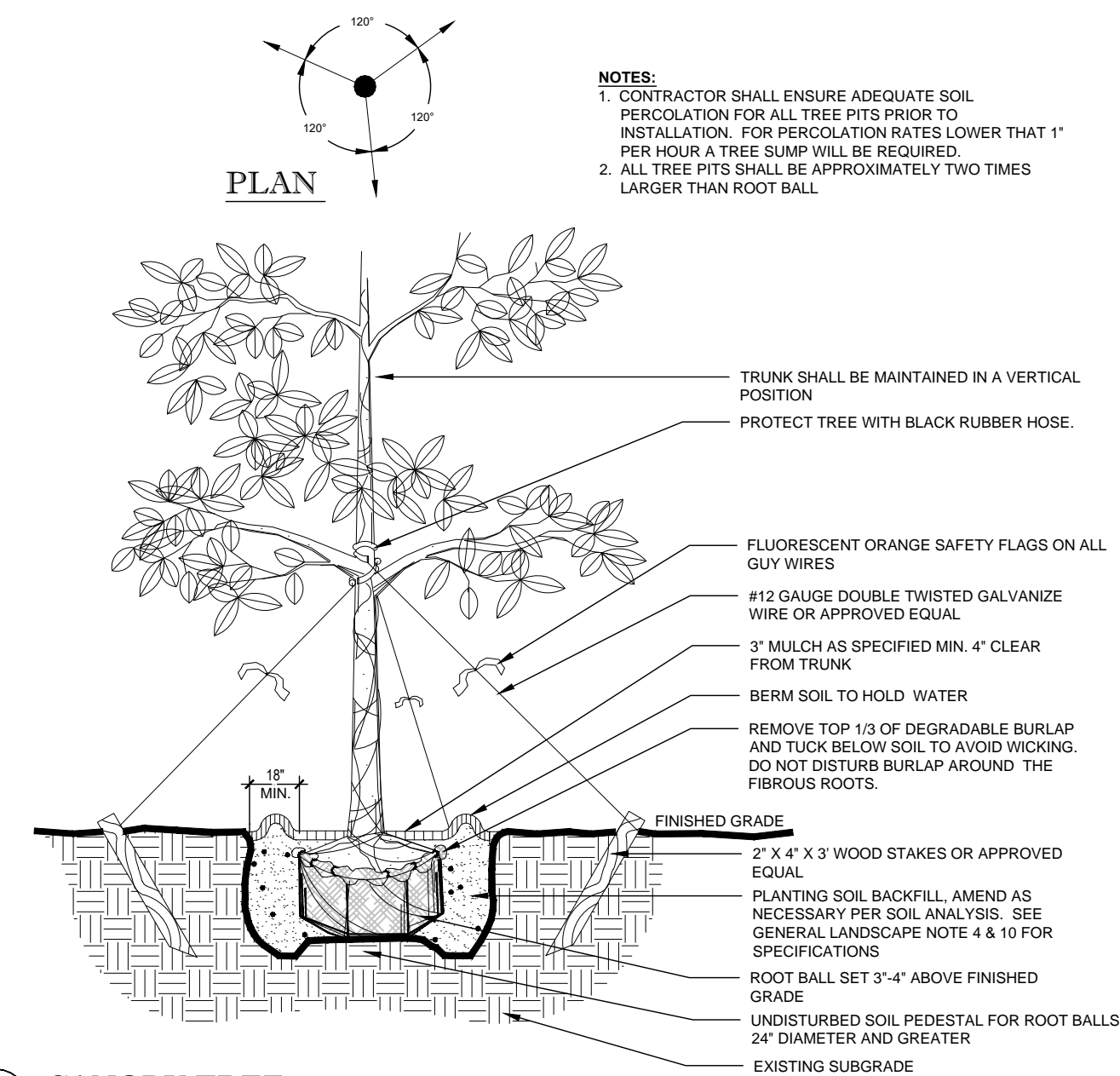


KEY MAP:

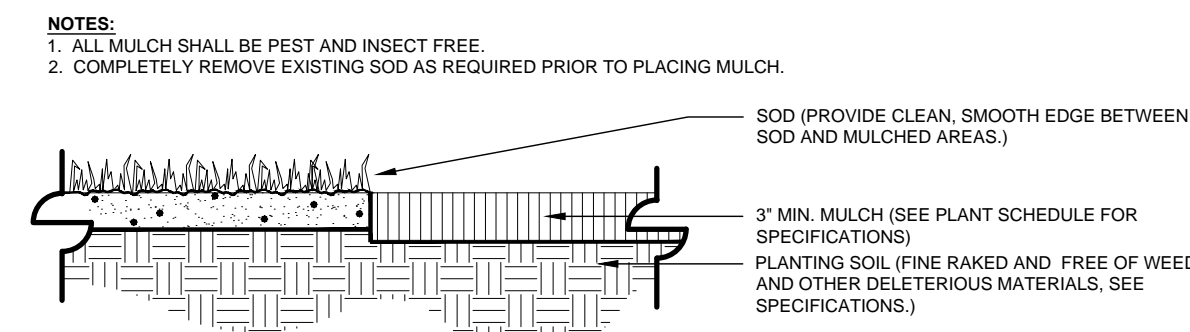


CANOPY TREE PLANTING NOTES:

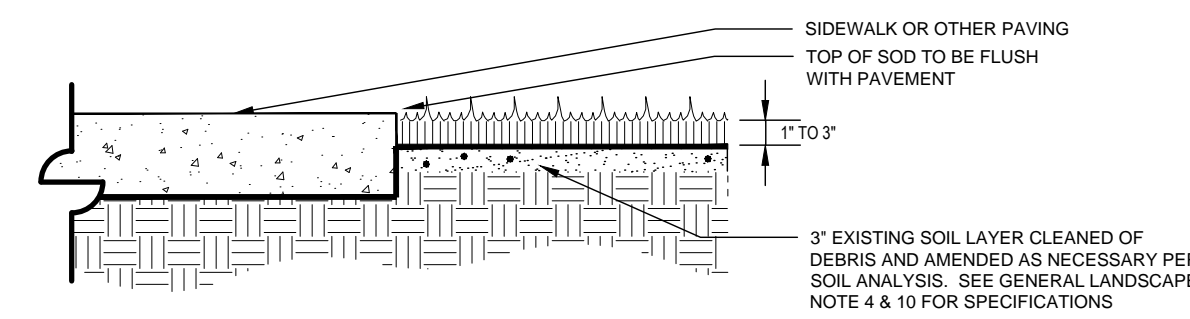
- EACH TREE SHALL RECEIVE SIX "AGRIFORM" 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- ALL TREES SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM LIGHT POLES, AND SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN.
- ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)A-300 PRUNING STANDARDS.



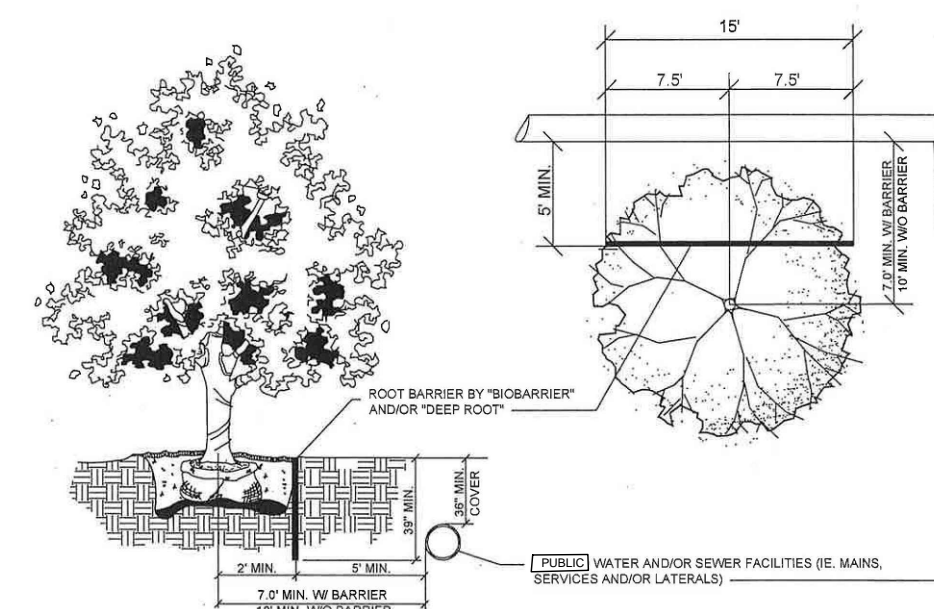
1 CANOPY TREE
SCALE: NTS



2 MULCH APPLICATION
SCALE: NTS



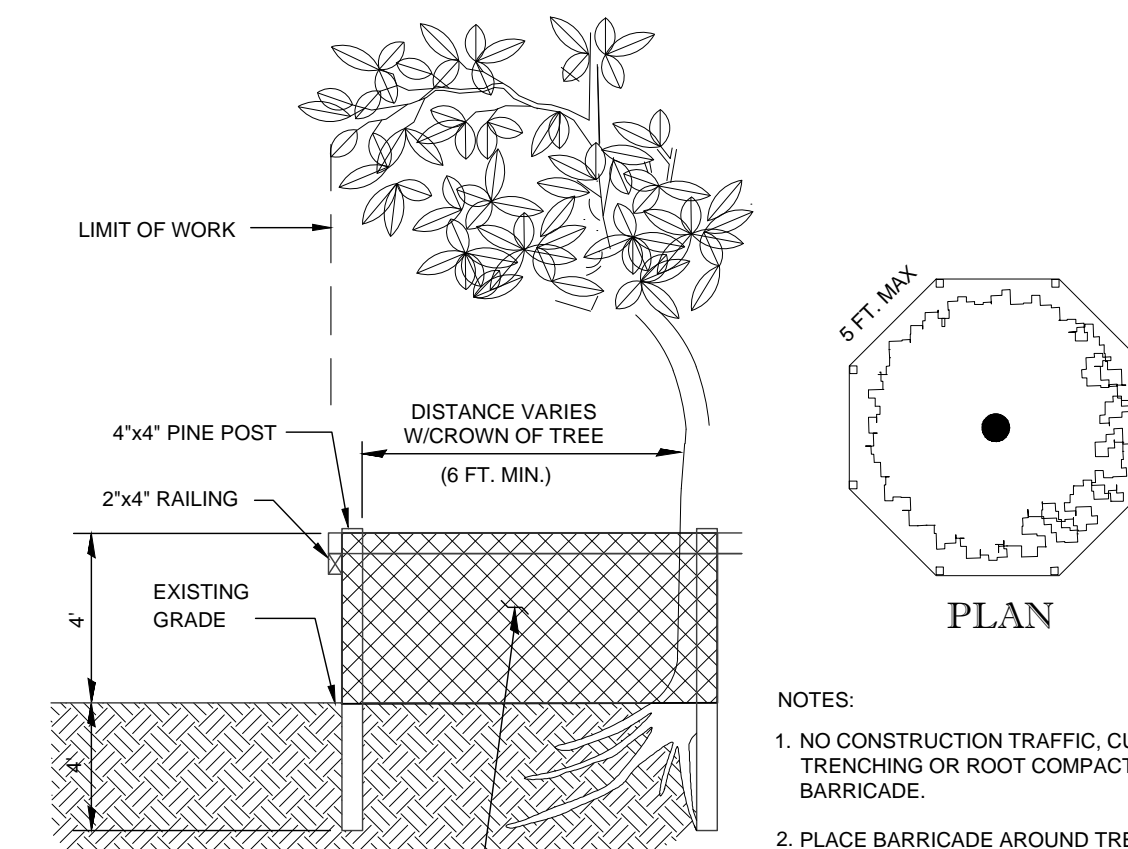
3 SOD APPLICATION
SCALE: NTS



4 LANDSCAPE ROOT BARRIER DETAIL
SCALE: NTS

GENERAL PLANTING NOTES:

- NUISANCE, EXOTIC PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, GUIDELINES AND STANDARDS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES AND STANDARDS.
- PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TOPSOIL / PLANTING SOIL ANALYSIS REPORT WITH FERTILIZER RECOMMENDATIONS, FOR ORNAMENTAL PLANTINGS, PRIOR TO INSTALLATION OF THE PLANTING SOIL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WETNESS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER RECOMMENDED BY THE SOIL ANALYSIS REPORT FOR HEALTHY, VIGOROUS PLANT GROWTH. SEE NOTE 10.
- ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES, EXISTING TREE ROOTS, OR PROJECT IMPROVEMENTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE ELEMENTS UNTIL FINAL ACCEPTANCE BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT MAY NOT BE LIMITED TO MOWING, EDGING AND TRIMMING GRASS, KEEPING PLANTING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, WATERING OF PLANT MATERIALS, AND MAINTAINING MULCH.
- ALL SHRUB / GROUND COVER MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS, AND ALL TREES / PALMS FOR 1 YEAR, FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER'S REP.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS WITHOUT A ROOT BARRIER. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST 15 FEET FROM LIGHT POLES AND SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORM WATER INLETS.
- NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDER-STORY TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
- PLANTING SOIL SHALL CONSIST OF NATURAL, FRIABLE, FINE LOAM SOIL WITH A pH OF 5.5 TO 7.0, AND 3-5% ORGANIC MATTER. IT SHALL BE FREE OF WEED SEEDS, PATHOGENS, LITTER, SOD, CLAY, ROAD BASE, STONES, ROOTS AND STUMPS TO A DEPTH OF 2 FEET. ALL PLANTING AREAS SHALL HAVE POSITIVE DRAINAGE. TOP SOIL THAT DOES NOT MEET THIS SPECIFICATION SHALL BE SUBSTITUTED WITH PROPER BORROW SOIL OF 50/50 MIXTURE OF MUCK AND CLEAN SAND OR APPROVED EQUAL. SEE NOTE 4.
- BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ANY DEBRIS. RE-GRADE THE BED TO ITS ORIGINAL GRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8 DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATIONS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3" DEPTH OF APPROVED ORGANIC MULCH, ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.
- ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. SEE GENERAL LANDSCAPE NOTES FOR TYPE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM PAVED AREAS INTO TURF AREAS, PONDS OR OTHER DRAINAGE WAYS.
- SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING IS REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1.
- IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED, THE INSTALLED MATERIAL MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.
- SOD SHALL BE INSTALLED IN ALL DISTURBED LANDSCAPE AREAS THAT ARE NOT PLANTED OR HARDSCAPED. CONTRACTOR SHALL VERIFY SOD QUANTITY.
- LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY CONSTRUCTION DAMAGED OR REMOVED LANDSCAPE MATERIALS, ON OR OFF SITE, THAT ARE NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.

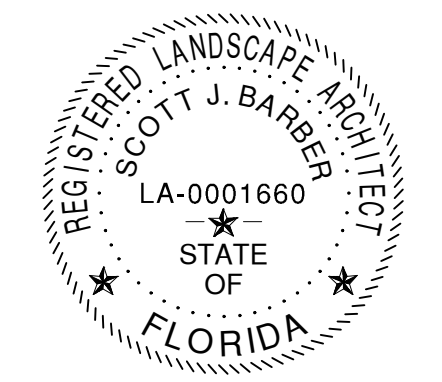


5 TREE BARRICADE DETAIL
SCALE: NTS



LANDSCAPE ARCHITECTURE & PLANNING
 I.C.-26000593

1551 WYNDCLIFF DRIVE
 WELLINGTON, FL 33414
 (561) 309-7263



REVISIONS			
REV	DATE	COMMENT	BY
1	1/6/25	TREE DISPOSITION UPDATE	SB



NOT APPROVED FOR CONSTRUCTION

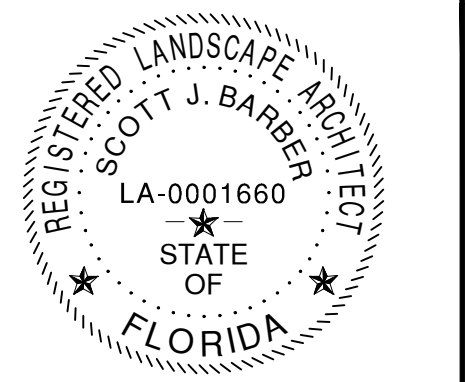
PROJECT No.: 20-010.09
 DRAWN BY: SJB
 CHECKED BY: SM
 DATE: 3/8/24
 SCALE: NOTED
 CAD I.D.: LD_3/8/24.DWG

PROJECT:
GROVES TOWN CENTER POD 'G'
 FOR
SOLAR SPORTSYSTEM, INC.
 LOCATION OF SITE
 NE CORNER OF SOUTHERN BLVD. AND 'B' ROAD
 LOXAHATCHEE GROVES PALM BEACH COUNTY

SCALE:

SHEET TITLE:
POD 'G' LANDSCAPE NOTES & DETAILS

SHEET NUMBER:
LP-2



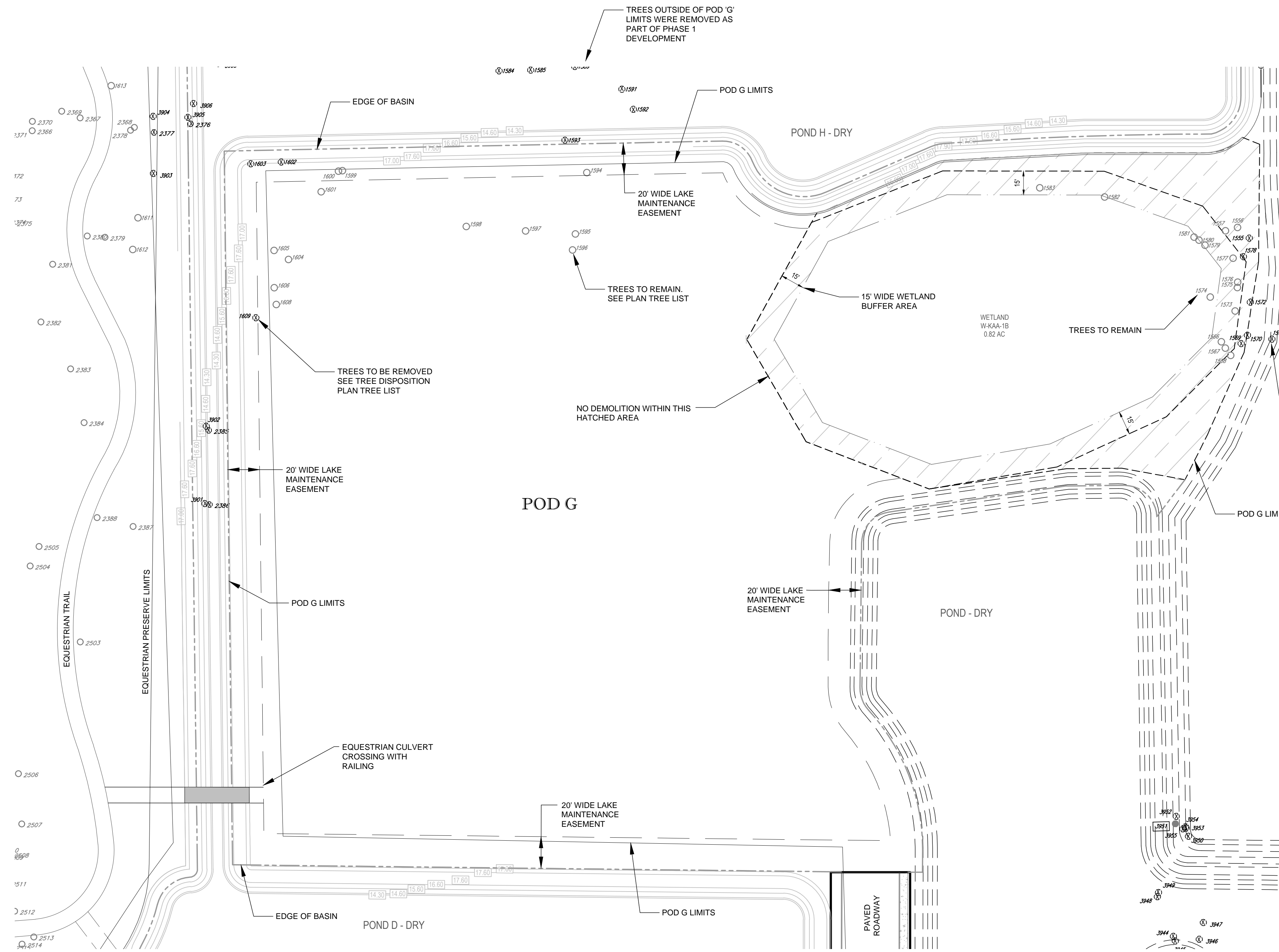
LEGEND:

○ EXISTING TREE OR PALM TO REMAIN

⊗ EXISTING TREE OR PALM TO REMOVE (4" DBH AND GREATER)

TREE DISPOSITION NOTES:

1. NO TREES WILL BE REMOVED IN POD 'G'
2. ALL TREES WITHIN THE WETLAND BUFFER AREA WILL BE PRESERVED. NO VEGETATION DEMOLITION WILL OCCUR WITHIN THE WETLAND BUFFER AREA.
3. SEE POD 'G' LANDSCAPE PLANS FOR PHASE 2 MITIGATION TREE INSTALLATION LOCATIONS.



REVISIONS

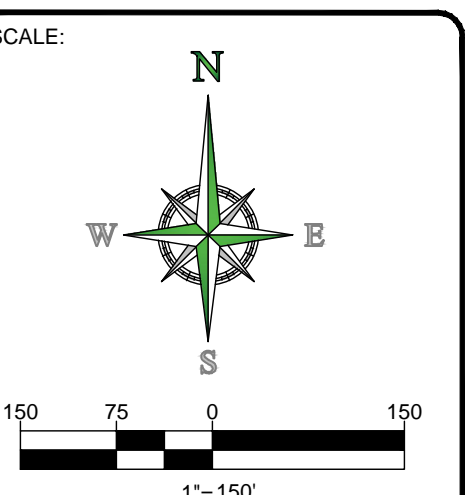
REV	DATE	COMMENT	BY
1	1/6/25	TREE DISPOSITION UPDATE	SB



NOT APPROVED FOR CONSTRUCTION

PROJECT No.:	20-010.08
DRAWN BY:	SJB
CHECKED BY:	SM
DATE:	3/8/24
SCALE:	AS NOTED
CAD I.D.:	TD_3/8/24.DWG

PROJECT:
GROVES TOWN CENTER MASTER INFRASTRUCTURE
FOR
SOLAR SPORTSYSTEM, INC.
LOCATION OF SITE
NE CORNER OF SOUTHERN BLVD. AND B' ROAD
LOXAHATCHEE GROVES
PALM BEACH COUNTY



SHEET TITLE:
POD 'G' TREE DISPOSITION PLAN

SHEET NUMBER:
TD-1