

2018 REMODEL BUILDING
MRP 2.0 – LOW VOLUME
CORE 16 VERSION
PAC SIERRA REGION

BUILDING INFORMATION

ADDRESS:

STATE SITE CODE: 004–0582
ADDRESS: 15475 LOS GATOS BLVD
CITY: LOS GATOS
STATE: CA
ZIP CODE: 95032
COUNTY: SANTA CLARA COUNTY
AHJ: TOWN OF LOS GATOS

PLANNING NOTES

- SITE AREA – 1.33 ACRES
- ZONING – CH

SCOPE OF WORK

- EXTERIOR:
- SITE ACCESSIBILITY REMEDIATION
 - NEW DRIVE THRU LANE
 - NEW DRIVE THRU WINDOW
 - RELOCATED ENTRANCE DOOR

STRUCTURE:

EXISTING MASONRY WALL CONSTRUCTION AND WOOD ROOF TRUSSES

UTILITIES:

EXISTING TO REMAIN, VERIFY IN FIELD

BUILDING DATA:

OCCUPANCY: EXISTING USE GROUP – A2
GROSS WORK AREA: 2,033/4,267 = 48% BUILDING FOOTPRINT
CONSTRUCTION TYPE: EXISTING CONSTRUCTION TYPE – 5B
NUMBER OF STORIES: 1 WITH BASEMENT
BUILDING HEIGHT: 16'-1" EXISTING MANSARD ROOF

	EXISTING	NEW	PROPOSED
GROUND FLOOR GROSS BUILDING AREA:	3,159 SF	0 SF	3,159 SF
GROUND FLOOR NET BUILDING AREA:	2,992 SF	0 SF	2,992 SF

BASEMENT GROSS BUILDING AREA:	1,108 SF	0 SF	1,108 SF
BASEMENT NET BUILDING AREA:	1,030 SF	0 SF	1,030 SF
TOTAL GROSS BUILDING AREA:		0	4,267 SF
TOTAL NET BUILDING AREA:		0	4,022 SF

MCDONALD'S CONSTRUCTION PROJECT MANAGER

NAME:	CONTACT:	PHONE:
-------	----------	--------

KEVIN MCAULEY	kevin.mcauley@us.mcd.com	(858) 342–3536
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CORE STATES GROUP PROJECT MANAGER

(ALL CORRESPONDENCE TO REFER TO CORE STATES GROUP PROJECT MANAGER)

NAME:	ADDRESS:	PHONE/EMAIL
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MIKE YAO	4240 E JURUPA STREET SUITE 402 ONTARIO, CA 91761	(909) 467–8937 myao@core–eng.com
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DESIGNER OF RECORD

NAME:	ADDRESS:	LICENSE #
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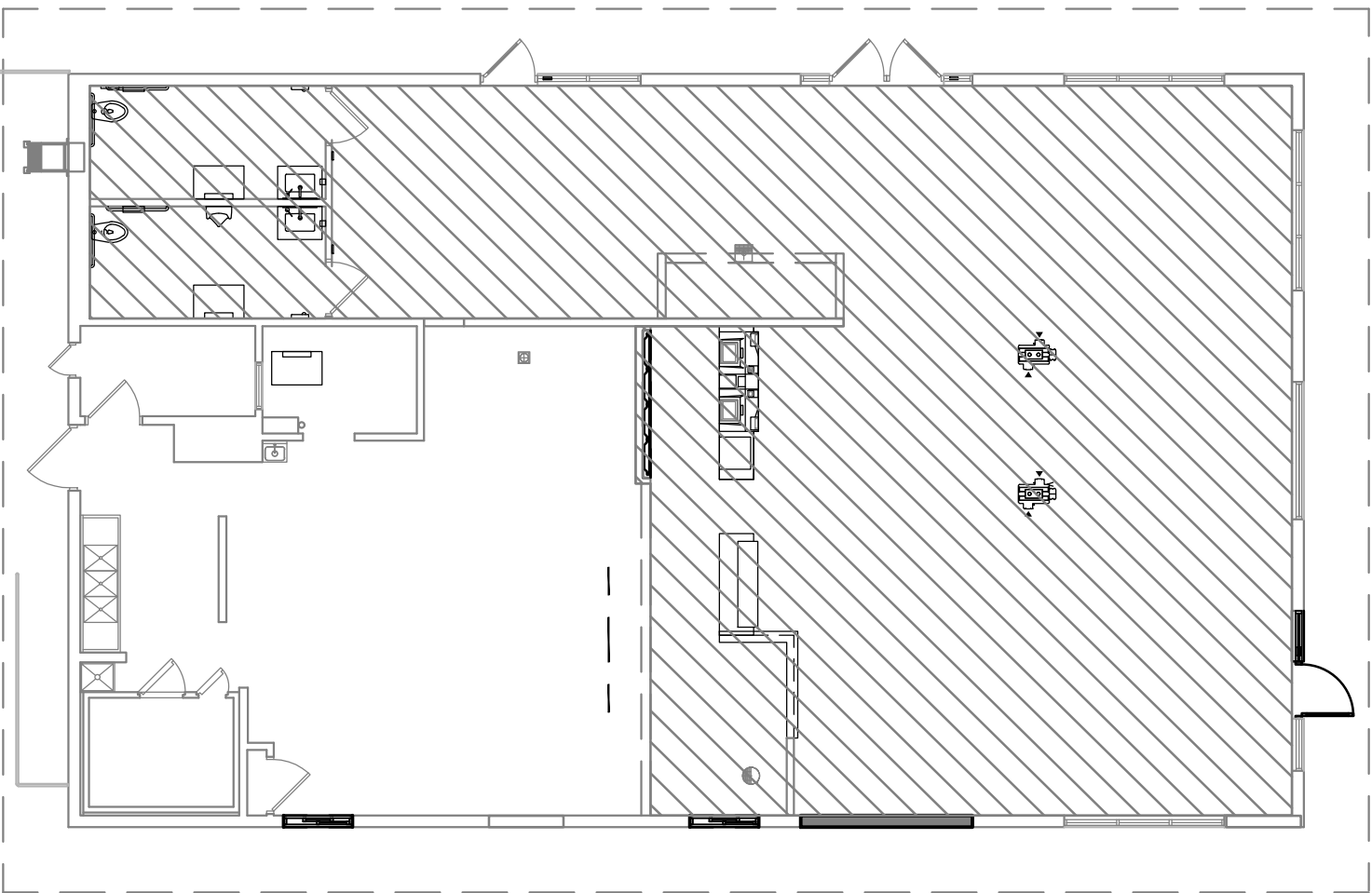
ARCHITECT OF RECORD: PATRICK BLEES, AIA	111 3RD AVENUE S, SUITE 400 MINNEAPOLIS, MN 55401	C–31531
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STRUCTURAL: DAVID BALMA, PE	201 S MAPLE AVENUE, SUITE 300 AMBLER, PA 19002	85276
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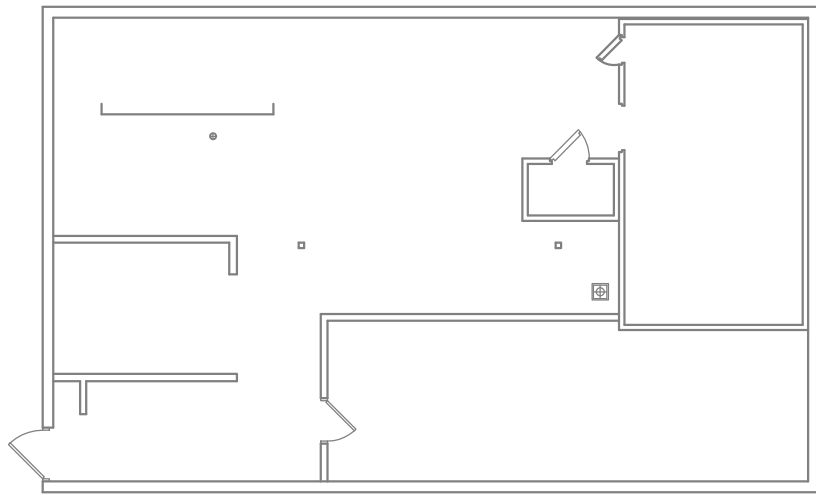
MECHANICAL/PLUMBING: DAVID LEIFFER, PE	1700 W INDUSTRIAL DRIVE, SUITE B ROGERS, AR 72756	34319
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ELECTRICAL: JOHN FERGUSON, PE	1700 W INDUSTRIAL DRIVE, SUITE B ROGERS, AR 72756	18497
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CIVIL: TRAVIS VINCENT JR., PE	4240 EAST JURUPA STREET, SUITE 402 ONTARIO, CA 91761	C37356
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FIRST FLOOR PLAN



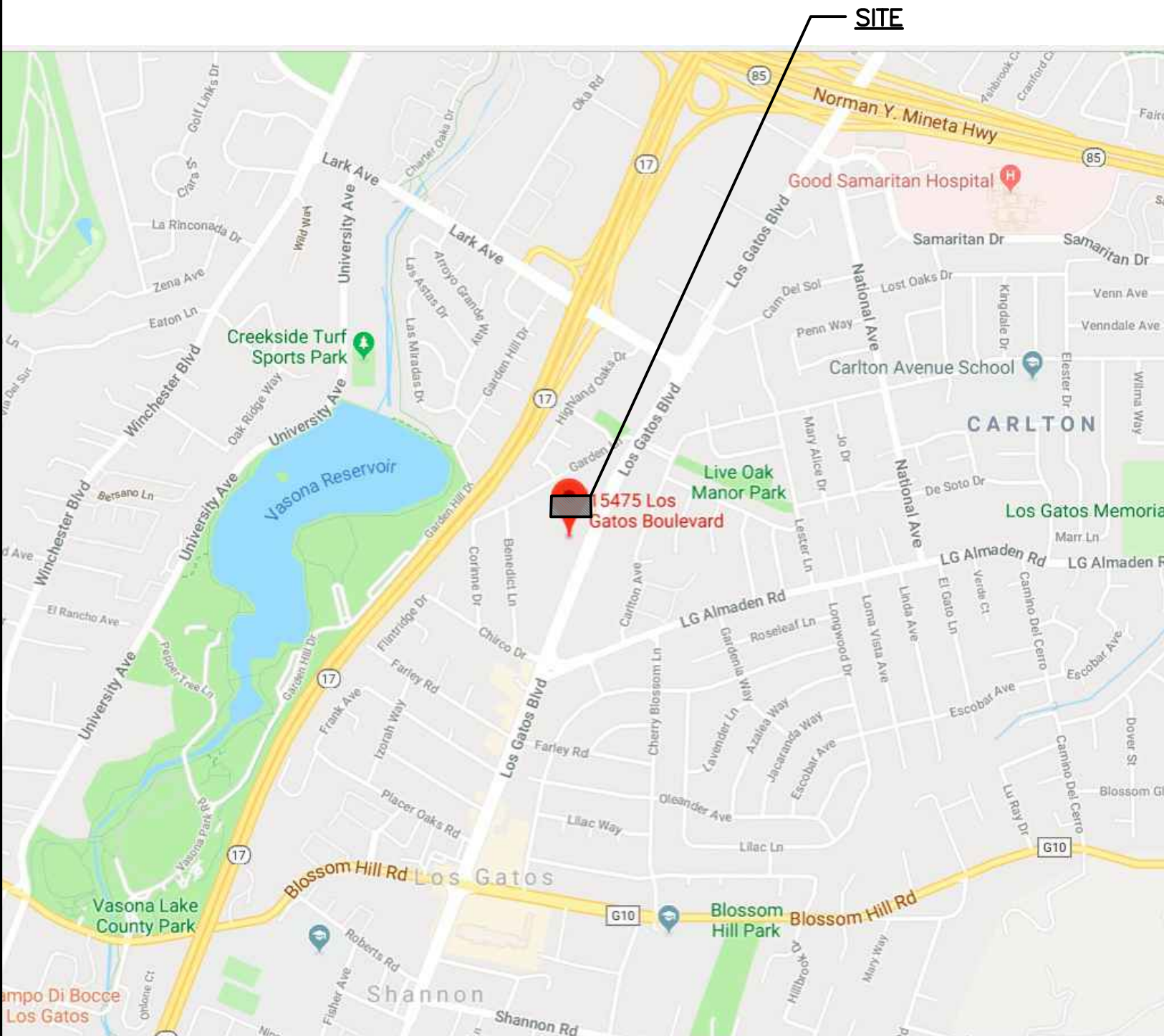
BASEMENT PLAN
(NOT IN SCOPE)

AFFECTED AREA = 48% BUILDING FOOTPRINT

KEY PLAN

N.T.S.

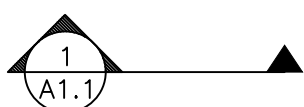
THIS DRAWING IS FOR REFERENCE ONLY.



VICINITY MAP



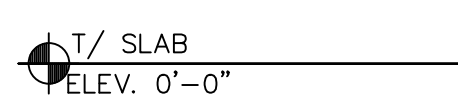
SYMBOL LEGEND:



SECTION TAG



DETAIL TAG



ELEVATION TAG

4

DOOR TAG

DINING ROOM

103

ROOM NAME & NUMBER

A

PARTITION TAG

DRAWING INDEX

CV COVER SHEET

EXISTING

EX–1	EXHIBIT
EX–2	EXISTING SITE PLAN
EX–3	EXISTING UTILITY PLAN
EX–EFP	EXISTING FLOOR PLAN
EX–EE1	EXISTING ELEVATION
EX–EE2	EXISTING ELEVATION

PROPOSED

PSP–A	PRELIMINARY SITE PLAN
A1.1	FLOOR PLAN
A2.1	ELEVATIONS
L1.0	PLANTING PLAN
L2.0	IRRIGATION PLAN
L3.0	DETAILS
L4.0	SPECIFICATION
T1.0	EXISTING TREE INVENTORY
T1.1	TREE NOTES & DETAILS

CAL GREEN ENVIRONMENTAL QUALITY
REQUIREMENTS NOTES:

- A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 5.504.4.3.2
- B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 5.504."

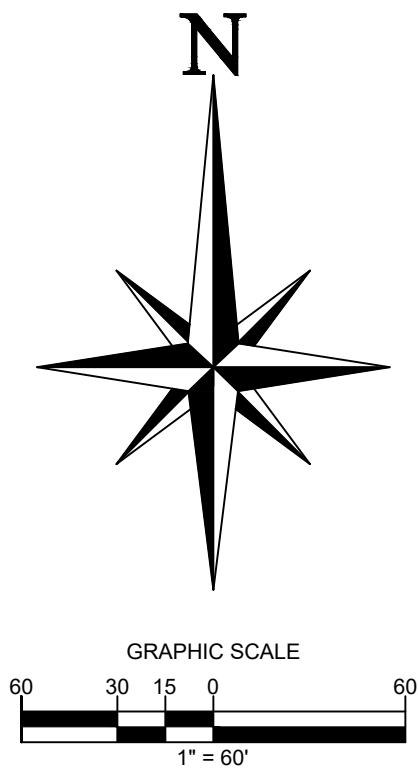


PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY: H-BAUTISTA
STD ISSUE DATE: JAN 2022
REVIEWED BY: -- --
DATE ISSUED: 01/17/2022
C.S.G. PROJECT #: MCD–30686

TITLE: MRP 2.0 PROGRAM LOW VOLUME
CORE 16 VERSION
DESCRIPTION: EXISTING CMU WALL CONSTRUCTION
EXISTING WOOD ROOF TRUSSES
STUCCO ARCADES – FRONT ENTRY
SITE ADDRESS: 15475 LOS GATOS BLVD, LOS GATOS, CA 95032

SHEET NO. 004–0582
CV
COVER



CORE STATES GROUP

4240 LURIPA STREET, SUITE 402
ONTARIO, CA 91761
PHONE (909) 467-8940
TVINCEN@CORE-STATES.COM

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MCDonald's USA, LLC

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811

Know what's below. Call before you dig.

REV

DATE

COMMENT

BY

DOCUMENT

PRELIMINARY SITE PLANS FOR MCDONALDS AT LOS GATOS, CA

SITE LOCATION

15475 LOS GATOS BLVD, LOS GATOS, CA 95032 (004-0582)

ENGINEER SEAL

SHEET TITLE

EXHIBIT

JOB #:

MCD.30686

DATE:

10/13/2021

SCALE:

1" = 60'

DRAWN BY:

KC

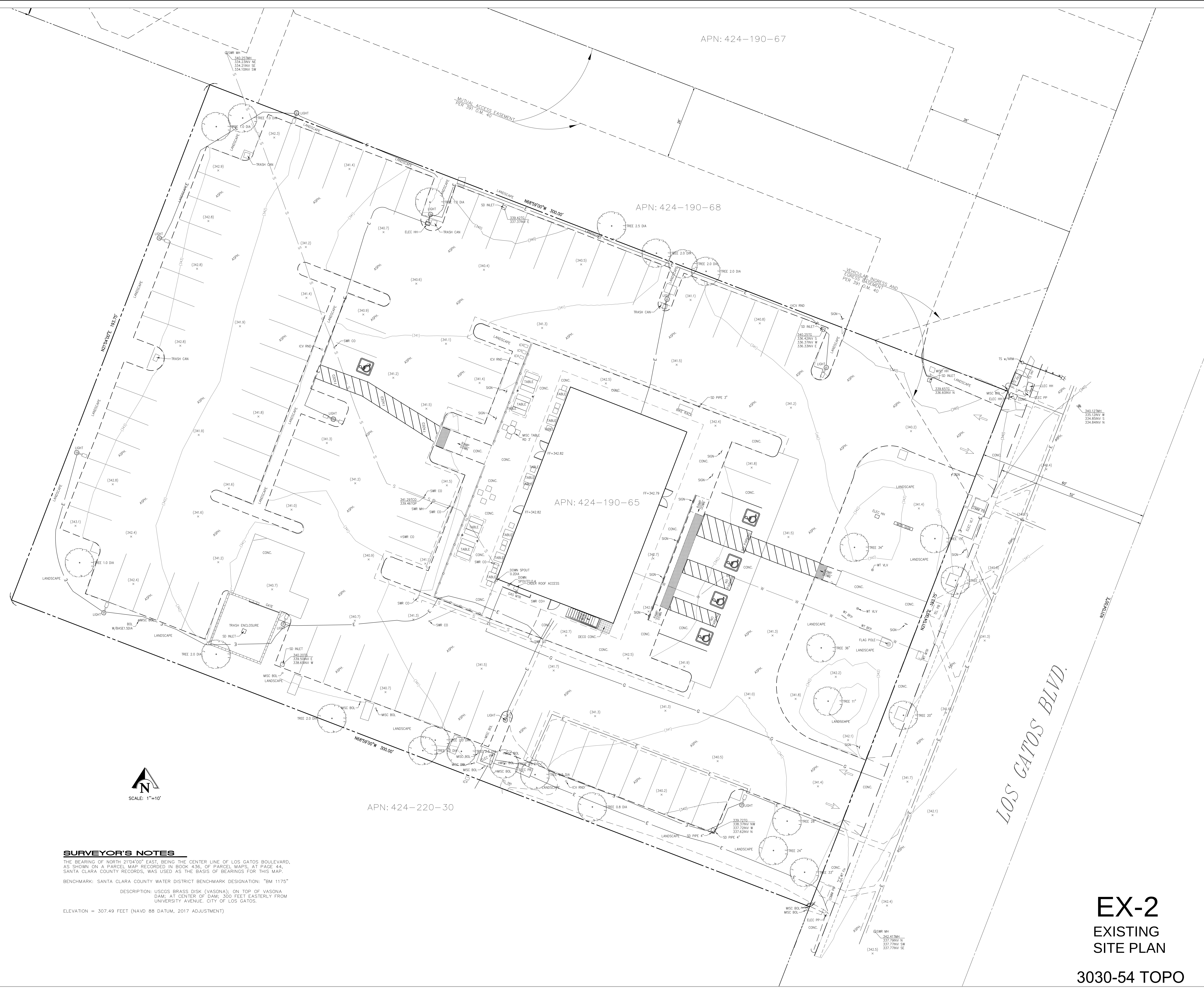
CHECKED BY:

ZM

SHEET NO.

EX-1

User: ZMCHLS Plot Date/Time: Dec. 06, 21 14:59:52 Drawing: P:\McDonalds\MRP\Los Gatos, CA (15475 Los Gatos Blvd) 004-0582-MCD.30686\CIVIL Drawings\Presentation\MCD-30686-P-SITE.dwg Exhibit



SURVEYOR'S NOTES

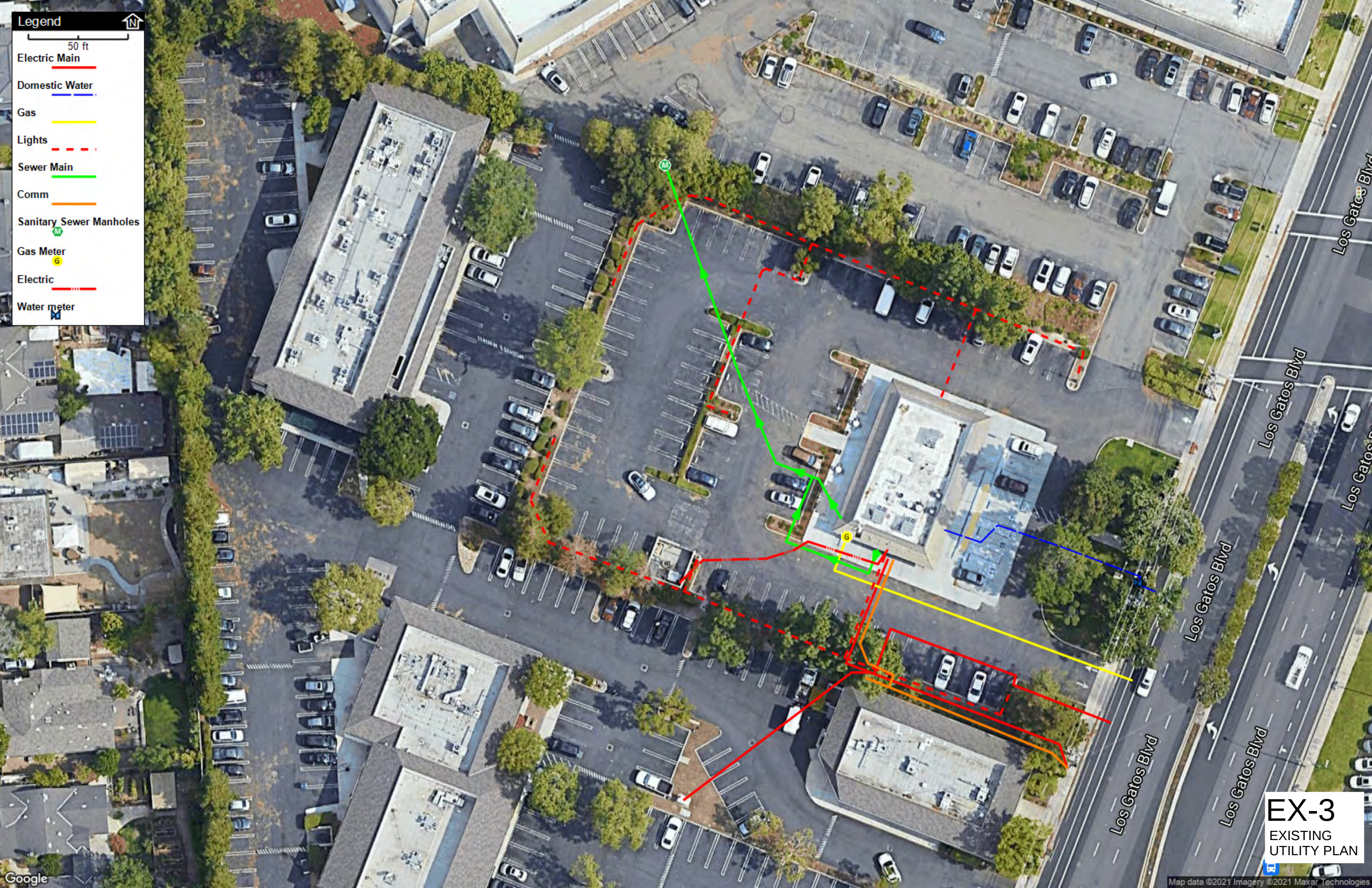
THE BEARING OF NORTH 21°04'00" EAST, BEING THE CENTER LINE OF LOS GATOS BOULEVARD, AS SHOWN ON A PARCEL MAP RECORDED IN BOOK 436, OF PARCEL MAPS, AT PAGE 44, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

BENCHMARK: SANTA CLARA COUNTY WATER DISTRICT BENCHMARK DESIGNATION: "BM 1175"

DESCRIPTION: USGS BRASS DISK (VASONA), ON TOP OF VASONA DAM, AT CENTER OF DAM, 300 FEET EASTERLY FROM UNIVERSITY AVENUE, CITY OF LOS GATOS.

ELEVATION = 307.49 FEET (NAVD 88 DATUM, 2017 ADJUSTMENT)

EX-2
EXISTING
SITE PLAN
3030-54 TOPO



Legend

50 ft

Electric Main

Domestic Water

Gas

Lights

Sewer Main

Comm

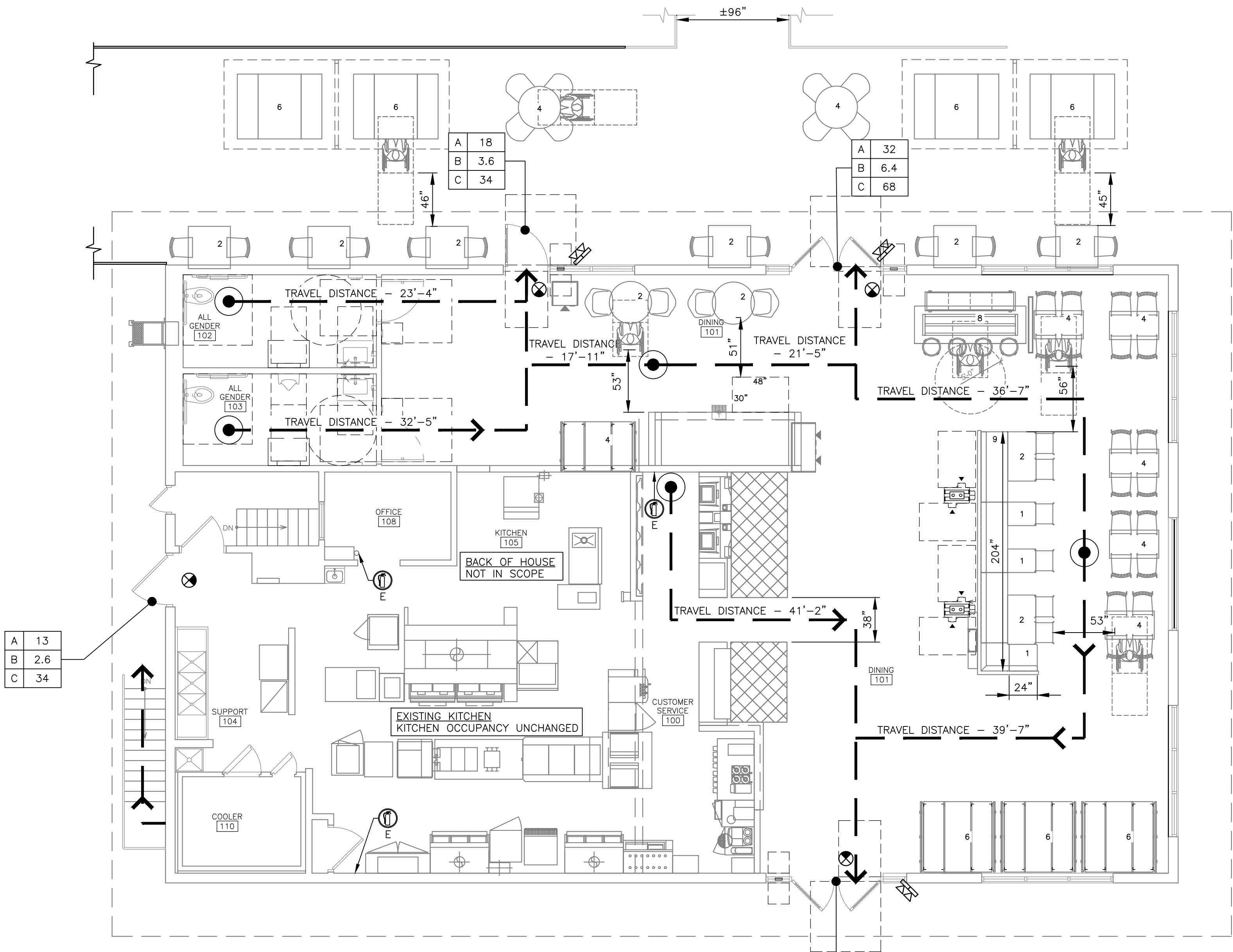
Sanitary Sewer Manholes

Gas Meter

Electric

Water meter

EX-3
EXISTING
UTILITY PLAN



EXISTING FIRST FLOOR PLAN

NOTE:
• FOR INDOOR AND OUTDOOR ACCESSIBLE SEATING, THE REQUIRED ACCESSIBLE SEAT SHALL BE PROVIDED WITH A TABLE OR COUNTER HEIGHT OF 28" TO 34" ABOVE THE FINISH FLOOR WITH A 27" HIGH X 30" WIDE X 9" DEEP KNEE SPACE UNDERNEATH.

FIXED SEATING CALCS:

INDOOR SEATING

TABLE TYPE	QUANTITY	SEATS
1 TOP	2	2
2 TOP	4	8
4 TOP	6	24
6 TOP	3	18
8 TOP	1	8
BENCH	228÷24	10

TOTAL SEATS 70

ACCESSIBLE SEATS REQUIRED 4

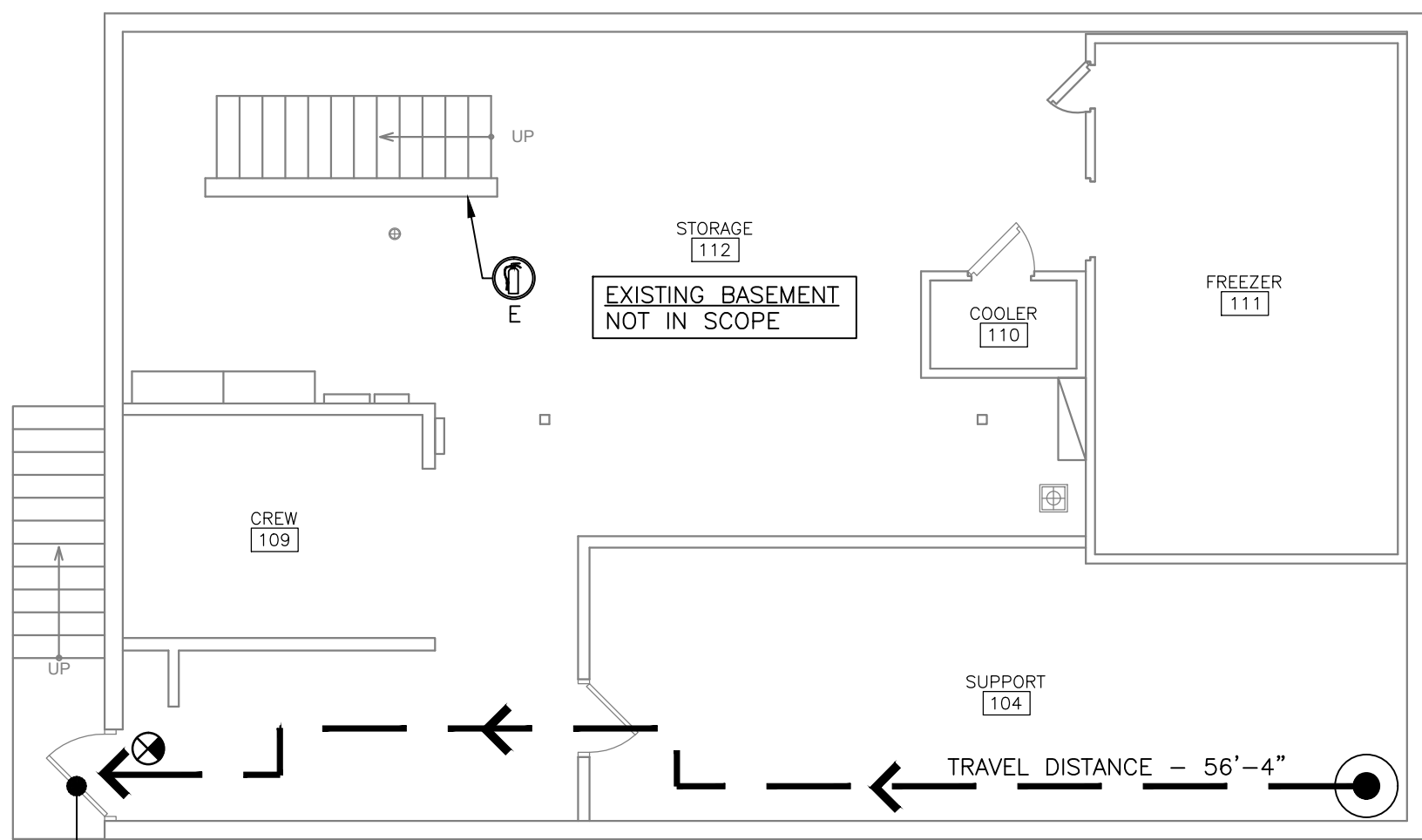
FIXED SEATING CALCS:

OUTDOOR SEATING

TABLE TYPE	QUANTITY	SEATS
2 TOP	6	12
4 TOP	2	8
6 TOP	4	24

TOTAL SEATS 44

ACCESSIBLE SEATS REQUIRED 3



EXISTING BASEMENT PLAN

NOTE:
MAXIMUM LENGTH OF EXIT ACCESS TRAVEL DISTANCE ALLOWED: 200'-0"

1 EX-EFP
EXISTING FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES

- THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES.
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL EGRESS DOORS TO HAVE PANIC HARDWARE.
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
- THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL.
- GC TO PROVIDE ACCESSIBLE SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 www.forrestpermasigns.com NEW ROCHELLE, NY 10802
- ALL EXISTING LIFE SAFETY ACCESSORIES (EXIT LIGHTS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, PANIC HARDWARE, ETC.) TO REMAIN OR BE REPLACED IN KIND AS DIRECTED BY THE ACM.
- REFER TO SEPARATE DECOR PACKAGE FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL LIGHTING PLAN FOR EMERGENCY LIGHTS AND EGRESS ILLUMINATION.

* EXISTING OCCUPANCY UNCHANGED

OCCUPANCY ALLOWANCE

TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT			
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS
ACCESSORY STORE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	708	3
ASSEMBLY WITH FIXED SEATS/TABLES	SEE PLAN	—	70
ASSEMBLY WITHOUT FIXED SEATS (STANDING SPACE)	5 NET	59	12
BUSINESS AREAS	100 GROSS	124	2
KITCHENS, COMMERCIAL (BASED ON FULL KITCHEN STAFF)	200 GROSS	1,101	10

LIFE SAFETY LEGEND

- TRAVEL PATH
- START OF TRAVEL
- DIRECTION OF TRAVEL
- EMERGENCY LIGHT
- EXIT SIGN
- FIRE EXTINGUISHER
- EXISTING
- RELOCATED

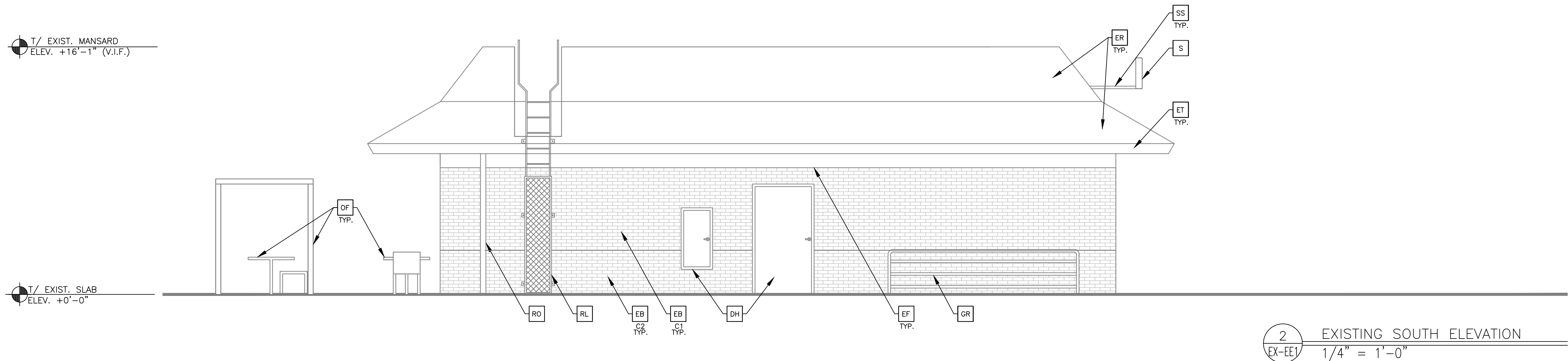
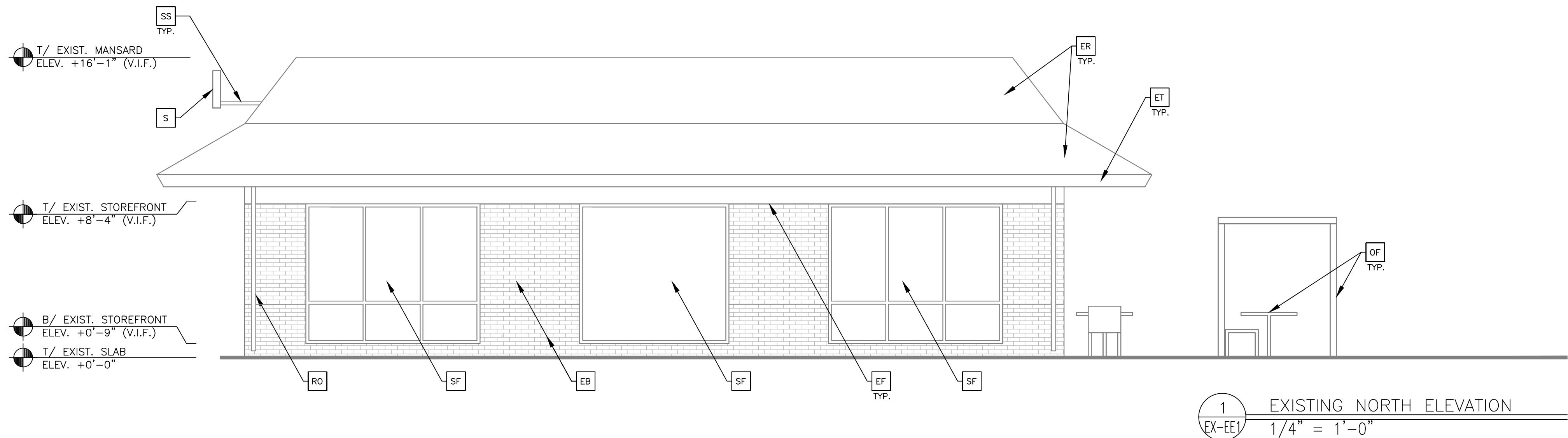
EGRESS LEGEND

- A OCCUPANT LOAD AT THIS EXIT
- B REQUIRED EXIT WIDTH
- C PROVIDED EXIT WIDTH



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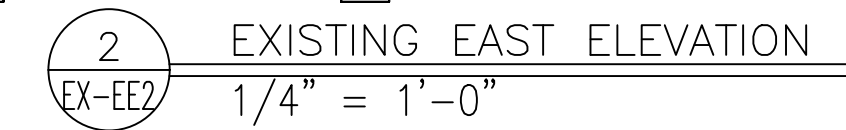
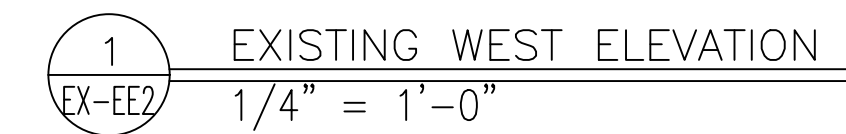
TITLE: MRP 2.0 PROGRAM LOW VOLUME
SHEET NO.: EX-EFP
DESCRIPTION: EXISTING CMU WALL CONSTRUCTION
EXISTING WOOD ROOF TRUSSES
STUCCO ARCADES - FRONT ENTRY
SITE ADDRESS: 15475 LOS GATOS BLVD, LOS GATOS, CA 95032
C.S.G. PROJECT # MCD-30686
DATE: 01/17/2022
REVIEWED BY: JAN 2022
STD ISSUE DATE: JAN 2022
DRAWN BY: H-BAUTISTA
PREPARED FOR: McDonald's USA, LLC
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KEYNOTES

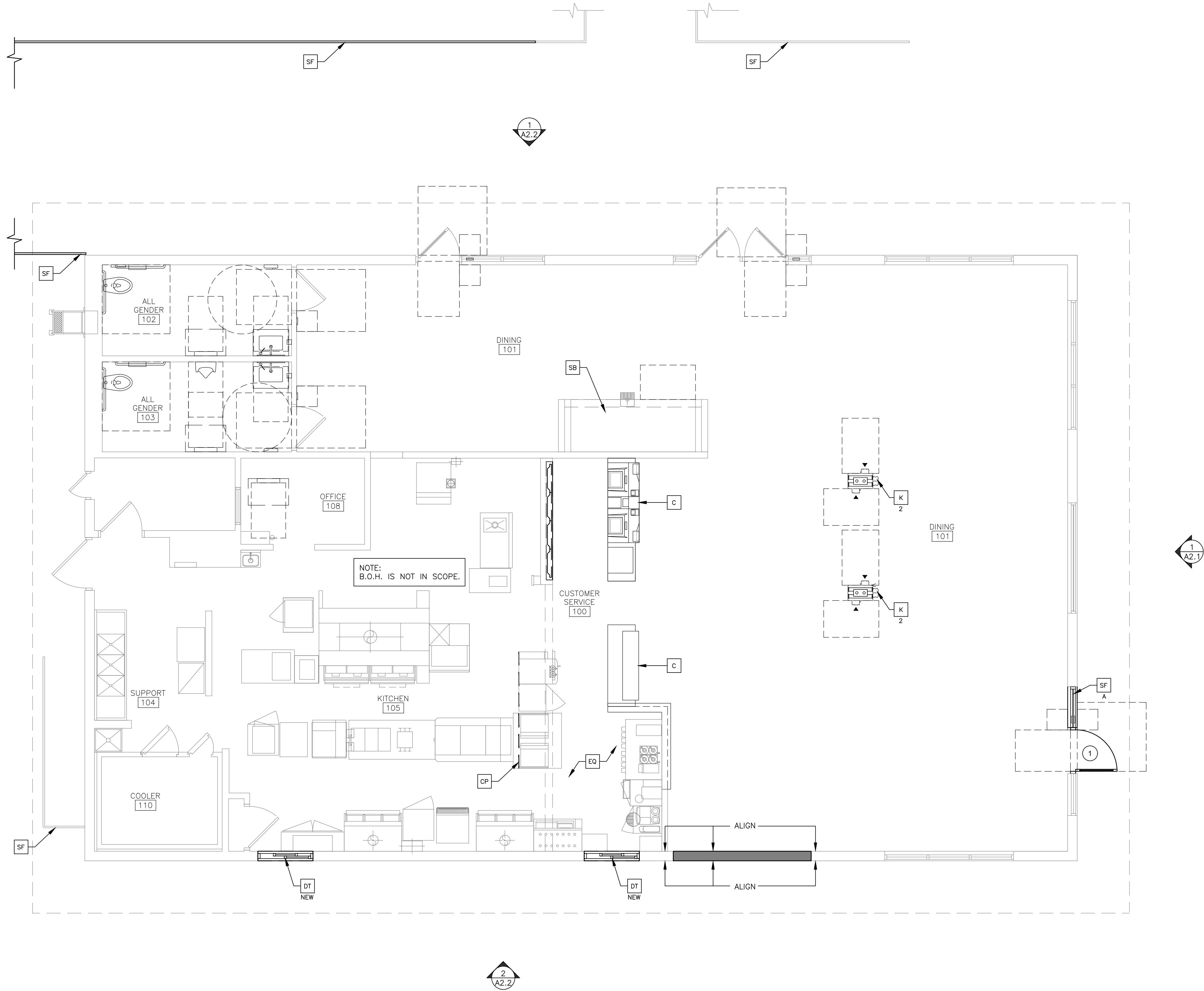
- DE EXISTING ALUMINUM DOOR
- DH EXISTING HOLLOW METAL DOOR
- EB EXISTING BRICK
- EF EXISTING FRIEZE BOARD TO REMAIN
- ER EXISTING MANSARD ROOF TO REMAIN
- ET EXISTING MANSARD TRIM
- GR EXISTING GUARDRAIL TO REMAIN
- OF EXISTING OUTDOOR FURNITURE
- RL EXISTING ROOF LADDER
- S EXISTING McDONALD'S SIGNAGE
- SF EXISTING STOREFRONT SYSTEM AND GLAZING
- SS EXISTING STRUCTURAL SUPPORT FOR SIGNAGE

TITLE	MRP 2.0 PROGRAM LOW VOLUME	DRAWN BY	H.BAUTISTA	PREPARED FOR	© 2019 McDonald's Corporation	PREPARED BY	CORE STATES GROUP
SHEET NO.	EX-EE1	STD	JAN 2022	McDonald's USA, LLC	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project without the written consent of McDonald's USA, LLC. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. Use of the contract documents for reuse on another project is not authorized.	REV	DATE
DESCRIPTION	EXISTING CMU WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES STUCCO ARCADES - FRONT, ENTRY	REVIEWED BY	---	McDonald's USA, LLC	440 East Juana St., Suite 402 Anaheim, CA 92807 Phone (909) 427-9907 Core-eng.com		
SITE ID	004-0582	DATE ISSUED	01/17/2022	McDonald's USA, LLC			
SITE ADDRESS	15475 LOS GATOS BLVD, LOS GATOS, CA 95032	C.S.G. PROJECT #	MCD-30686	McDonald's USA, LLC			



DE	EXISTING ALUMINUM DOOR
DH	EXISTING HOLLOW METAL DOOR
EB	EXISTING BRICK
EF	EXISTING FRIEZE BOARD TO REMAIN
ER	EXISTING MANSARD ROOF TO REMAIN
ET	EXISTING MANSARD TRIM
GR	EXISTING GUARDRAIL TO REMAIN
OF	EXISTING OUTDOOR FURNITURE
RL	EXISTING ROOF LADDER
S	EXISTING McDONALD'S SIGNAGE
SF	EXISTING STOREFRONT SYSTEM AND GLAZING
SS	EXISTING STRUCTURAL SUPPORT FOR SIGNAGE

SHEET NO.		TITLE		DRAWN BY		PREPARED FOR		PREPARED BY					
004-0582		MRP: 2.0 PROGRAM LOW VOLUME CORE: 16 VERSION		H.BAUTISTA		©2018 McDonald's Corporation		MCDONALD'S USA, LLC					
EX-EE2		DESCRIPTION		STD. ISSUE DATE		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without the written consent of McDonald's USA, LLC. Use of the drawings on this specific site in conjunction with its issuer date and are not suitable for use on a different site or at a later time.		4246 East Jambou St., Suite 402 Phoenix (PHX) 467-8907 Core-States.com					
EXISTING ELEVATIONS		EXISTING CMU WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES STUCCO ROOFS - FRONT, ENTRY		JAN. 2022		REVIEWED BY		The contract documents for reuse on another project is not authorized.					
		DATE ISSUED 01/17/2022		---									
		C.S.G. PROJECT # MCD-30686											
		SITE ID SITE ADDRESS 004-0582 19479 LOS GARDOS BLVD, LOS GARDOS, CA 95032										REV DATE	
												DESCRIPTION	
												BY	



1 FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

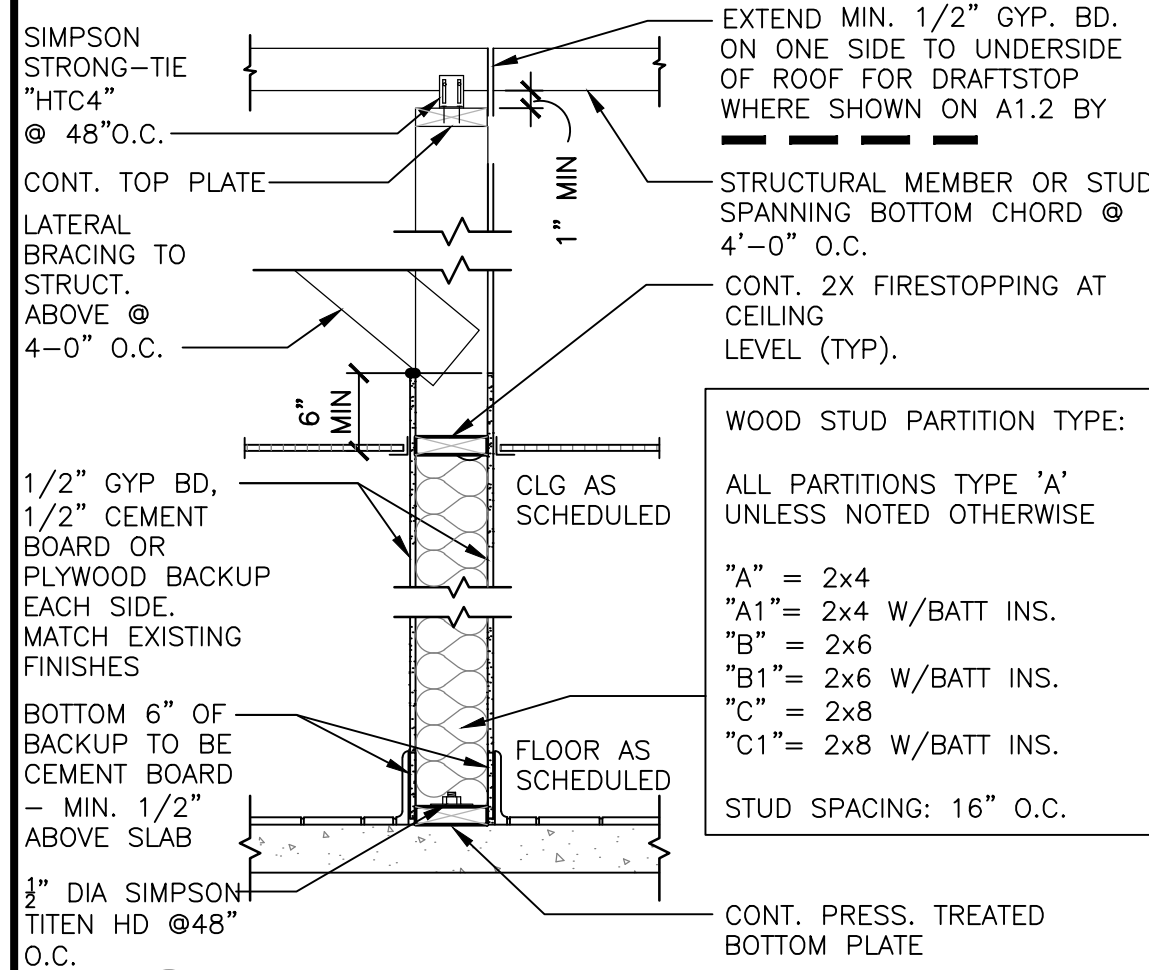
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF SUBSTRATE OR MASONRY UNLESS OTHERWISE NOTED (FIN = FINISHED DIMENSION). INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN
9292 1ST STREET, BOX 588
NEW ROCHELLE, NY 10802
WWW.FORRESTPERMASIGNS.COM
(800)214-8765
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR
- ALL FRAMING LUMBER (SILL PLATES) IN CONTACT WITH CONCRETE SLAB SHALL BE PRESSURE TREATED IN ACCORDANCE WITH IBC
- ADJUST ALL PEDESTRIAN ENTRY/EXIT DOOR CLOSERS TO A MAXIMUM OF 5lbs. OPENING/CLOSING FORCE. IN ADDITION, ADJUST CLOSERS TO ACHIEVE A CLOSING TIME OF 5 SECONDS FROM 90 DEGREES TO 12 DEGREES. IF NOT ACHIEVABLE, REPLACE DOOR CLOSER
- GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, ETC. FOR PROPER INSTALLATION HEIGHTS
- ALL KITCHEN EQUIPMENT IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL HAND SINKS, VEGETABLE AND 3 COMP SINK ARE EXISTING TO REMAIN U.N.O.
- GC TO COORDINATE THE REMOVAL AND RELOCATION OF THE KITCHEN EQUIPMENT WITH THE KES AND ACM.
- REFERENCE THE KITCHEN PLANS FOR FINAL LOCATION OF THE KITCHEN EQUIPMENT.
- GC TO COORDINATE ALL FINISHES WITH THE ACM.
- PREPARE ALL EXPOSED SURFACES AND STRUCTURE FOR APPLICATION OF FINISH SUBSTRATE.
- REMOVE ALL DEBRIS FROM BUILDING & SITE DISPOSE OF IN ACCORDANCE W/ STATE & LOCAL CODES.
- PROVIDE TEMPORARY SUPPORT & BRACING AT ALL WALLS DURING DEMOLITION.
- ALL NEW HAND SINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- COORDINATE EXISTING AND NEW POWER PANEL LOCATIONS WITH ELECTRICAL DRAWINGS AND ACM.
- ALL PLYWOOD SHALL BE FIRE RETARDANT TREATED.
- CONTRACTOR TO COORDINATE WITH ACM, OWNER/OPERATOR AND KES REGARDING FINAL LOCATION OF RELOCATED AND NEW KITCHEN EQUIPMENT

KEYNOTES

- C EXISTING MODULAR FRONT COUNTER
 - CP EXISTING CURATED WALL PANEL
 - DT NEW DRIVE-THRU WINDOW. REFER TO SHEET A5.1 FOR NEW WINDOW TYPE
 - EQ EXISTING KITCHEN EQUIPMENT, G.C. TO CONFIRM WITH ACM, OWNER OPERATOR AND KES FOR FINAL EQUIPMENT LOCATION.
 - K EXISTING ORDERING KIOSK
 - SB EXISTING SELF SERVE BEVERAGE BAR TO BE RELOCATED TO NEW LOCATION PER PLAN.
 - SF STOREFRONT SYSTEM; SEE A2 SERIES FOR EXTERIOR ELEVATIONS & A5.1 FOR WINDOW TYPES.
 - FN EXISTING FENCE TO MATCH EXISTING - SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 2 DENOTES NUMBER OF KIOSKS

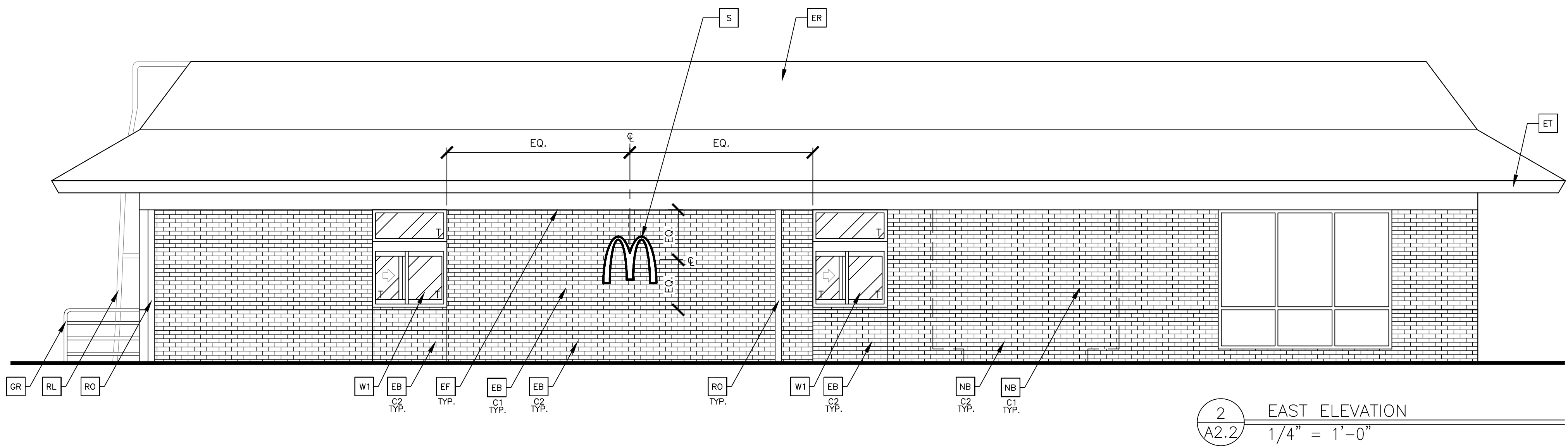
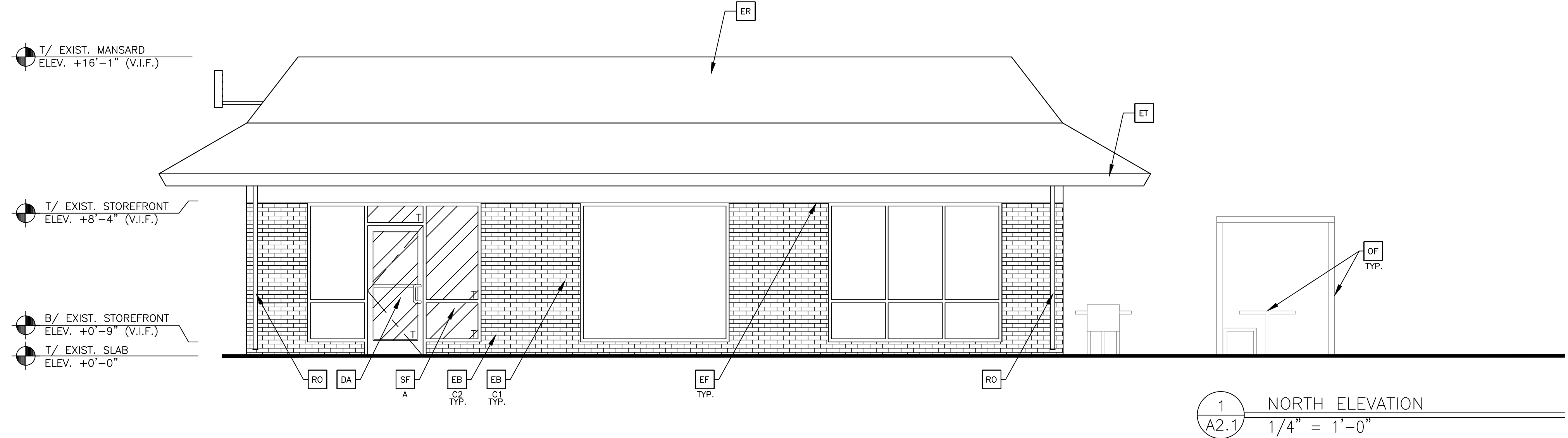
LEGEND

- B PARTITION TYPE TAG SEE 2/A1.1
- 7 DOOR TAG - SEE DOOR & HARDWARE SCHEDULE ON A5.1
- X KEY NOTE
- WOOD FRAMING
- EXISTING CONSTRUCTION



2 INTERIOR PARTITION
3/4" = 1'-0" WOOD FRAMING

PREPARED BY: CORE STATES GROUP 440 East Juana St., Suite 402 Phoenix, AZ 85004 Phone (602) 447-9907 Core-eng.com		PREPARED FOR: McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Core States Group, Inc. and shall remain the property of Core States Group, Inc. Use of these drawings for reference or example on another project requires the written consent of Core States Group, Inc. Use of the contract documents for reuse on another project is not authorized.		DRAWN BY: N.G. LUKHOMAN STD ISSUE DATE: JUNE 2018 REVIEWED BY: C. BLUME DATE ISSUED: 12/04/2018 C.S.G. PROJECT # MCD-23759	
TITLE: MRP 2.0 PROGRAM LOW VOLUME CORE 16 VERSION		DESCRIPTION: EXISTING CMU WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES STUCCO ARCADES - FRONT ENTRY		SITE ADDRESS: 15475 LOS GATOS BLVD, LOS GATOS, CA 95032	
SHEET NO. 004-0582 A1.1 FLOOR PLAN					



COLOR SCHEME: 'MODERN'
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES

- DA NEW ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
- EB EXISTING BRICK
 - XX - COLOR:
 - C1 = MATCH EXISTING BASE BUILDING COLOR
 - C2 = MATCH EXISTING BUILDING WAINSCOT ACCENT COLOR
- EF EXISTING FRIEZE BOARD
- ER EXISTING MANSARD ROOF
- ET EXISTING MANSARD TRIM
- GR EXISTING GUARDRAIL
- NB NEW BRICK TO BE PAINTED
 - XX - COLOR:
 - C1 = MATCH EXISTING BASE BUILDING COLOR
 - C2 = MATCH EXISTING BUILDING WAINSCOT ACCENT COLOR
- OF EXISTING OUTDOOR FURNITURE

- RL EXISTING ROOF LADDER
- S EXISTING McDONALD'S SIGNAGE
- SF STOREFRONT SYSTEM AND GLAZING; SEE A1.1 FOR PLAN LOCATION & A5.1 FOR WINDOW TYPES
 - A - WINDOW TYPE
- T TEMPERED GLASS
- W1 NEW DRIVE-THRU WINDOW. REFER TO SHEET A5.1 FOR NEW WINDOW TYPE

LEGEND



NOTES
GC TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER AND LEGAL SUBMISSION
COLOR RENDERING PRIOR TO CONSTRUCTION.
SEE CV SHEET FOR CONTACT INFO.

SHEET NO.	TITLE	DRAWN BY	PREPARED FOR:	©2018 McDonald's Corporation	PREPARED BY:	CORE STATES GROUP	4440 East Juniper St., Suite 402 Phoenix, AZ 85018 Phone: (602) 442-9907 Core-eng.com	REV	DATE	BY	
A2.1 ELEVATIONS	MRP 2.0 PROGRAM LOW VOLUME CORE 16 VERSION	N.GLUKHOMAN	STD ISSUE DATE	JUNE 2018	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of this project only and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the project manager. The contract documents for reuse on another project is not authorized.		4440 East Juniper St., Suite 402 Phoenix, AZ 85018 Phone: (602) 442-9907 Core-eng.com				
		REVIEWED BY	C.BLUME	DATE ISSUED				12/04/2018			
		DESCRIPTION	EXISTING CMU WALL CONSTRUCTION								
		STUCCO ARCADES – FRONT, ENTRY									
		SITE ID	SITE ADDRESS	C.S.G. PROJECT #				MCD-23759			



M. McDonald's USA, LLC

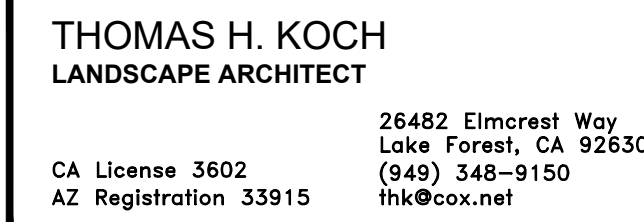
[illegible]

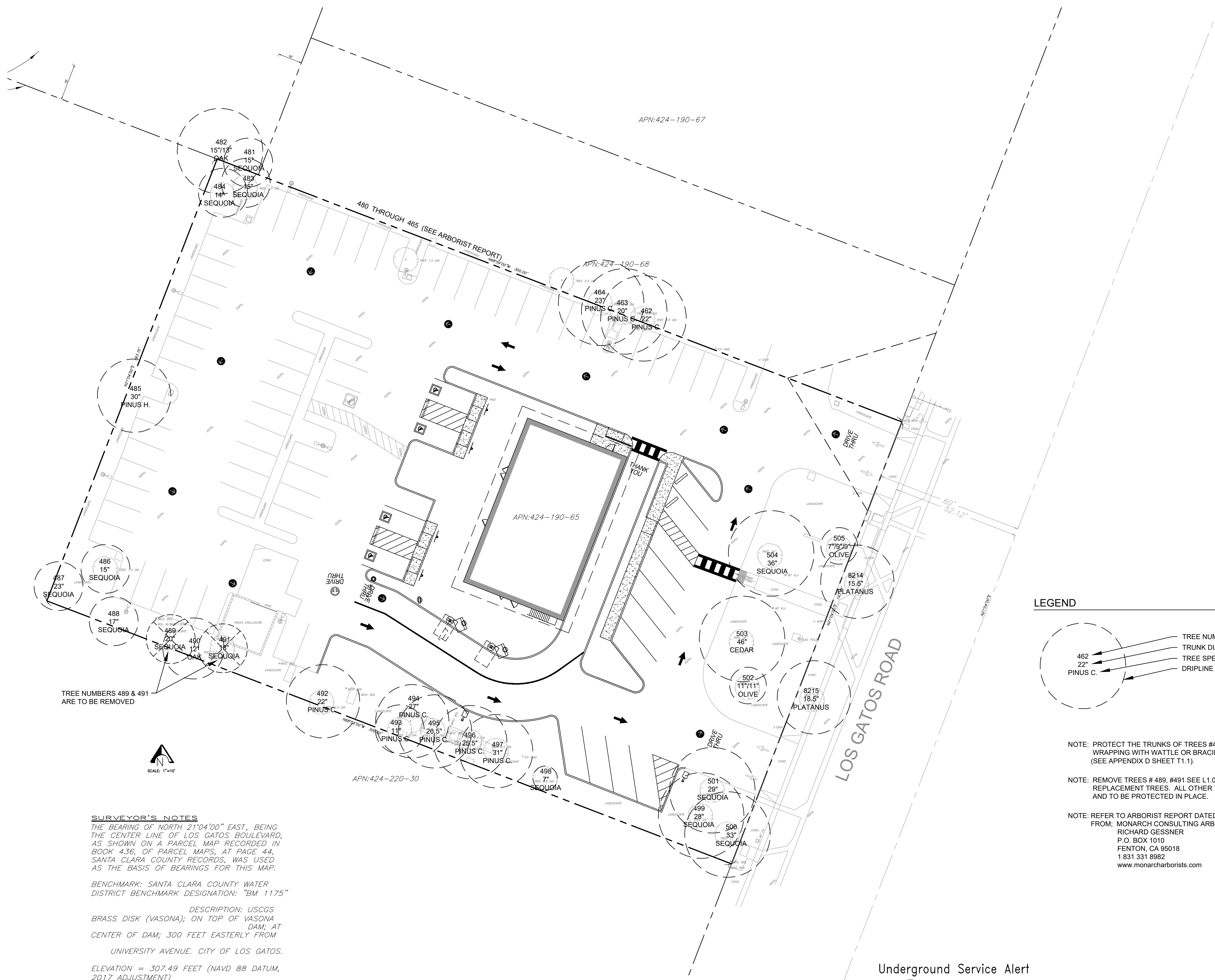
SITE LOCATION
15475 LOS GATOS
BLVD,
LOS GATOS, CA 95032
(004-0582)

JOB #:	MCD.30686
DATE:	10/13/2021
SCALE:	
DRAWN BY:	KC
CHECKED BY:	ZM

SHEET NO.

L3.0





ELEVATION = 307.49 FEET (NAVD 88 DATUM,
2017 ADJUSTMENT)

NOTE: REFER TO ARBORIST REPORT DATED APRIL 28, 2021
FROM: MONARCH CONSULTING ARBORIST

P.O. BOX 1010
FENTON, CA 95018
1 831 331 8982
www.monarchborists.com

THOMAS H. KOCH
LANDSCAPE ARCHITECT

26482 Elmcrest Way
Lake Forest, CA 92630
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AZ Registration 33915

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Know what's below. Call before you dig.

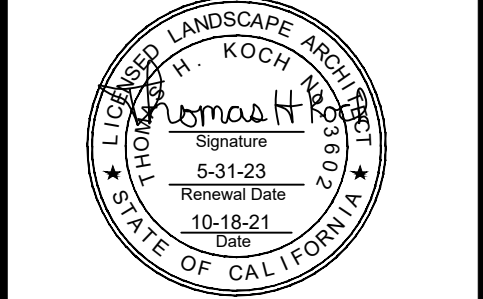
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/or DEPTH OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS ARE BASED ON DESIGN EXAMINATIONS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. SOME STAKE INFO. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT BURIAL LOCATIONS OF UTILITY.

DOCUMENT
PRELIMINARY SITE
PLANS
FOR MCDONALDS AT
LOS GATOS, CA

SITE LOCATION
15475 LOS GATOS
BLVD,
LOS GATOS, CA 95032

(004-0582)

ENGINEER SEAL



SHEET TITLE
EXISTING TREE
INVENTORY

JOB #:	MCD.30686
DATE:	10/13/2021
SCALE:	
DRAWN BY:	KC
CHECKED BY:	ZM

SHEET NO.

T1.0

T1.1