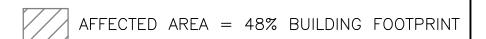


BASEMENT PLAN (NOT IN SCOPE)



KEY PLAN

THIS DRAWING IS FOR REFERENCE ONLY.

BUILDING CODE:

BUILDING CODE EDITION: 2019 CALIFORNIA EXISTING BUILDING CODE MECHANICAL CODE EDITION: 2019 CALIFORNIA MECHANICAL CODE

PLUMBING CODE EDITION: 2019 CALIFORNIA PLUMBING CODE ELECTRICAL CODE EDITION: 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE **ENERGY:**

2019 CALIFORNIA GREEN BUILDING STANDARDS

ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE (CHAPTER 11B ACCESSIBILITY)

SANTA CLARA COUNTY HEALTH CODE HEALTH CODE:

LIFE SAFETY SYSTEM:

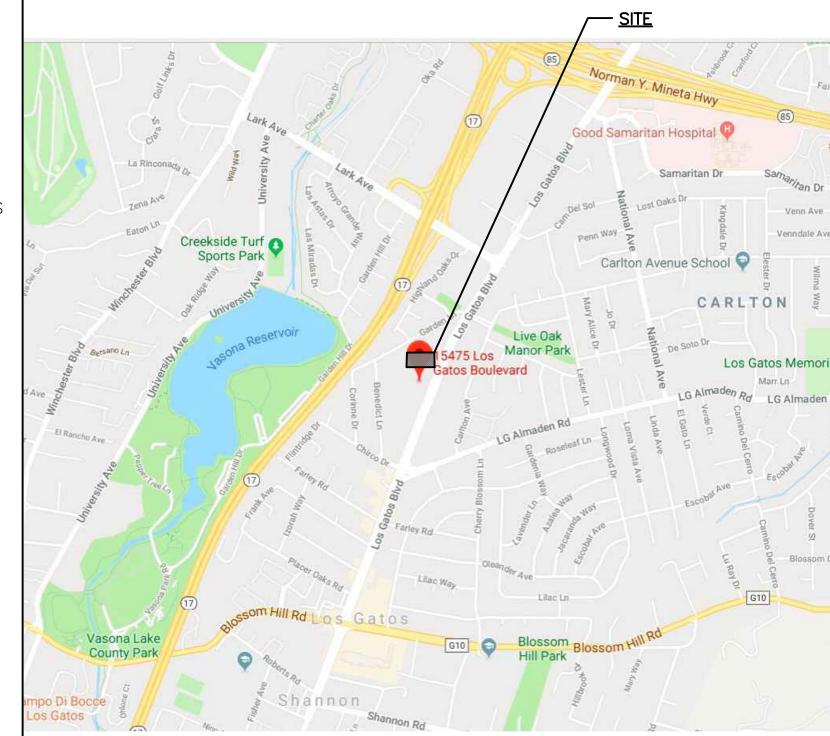
EMERGENCY LIGHTING: <u>YES</u> EXIT SIGNS: FIRE ALARM & SMOKE DETECTION SYSTEM: PANIC HARDWARE: FIRE SPRINKLERS:

- ALL EXISTING LIFE SAFETY ACCESSORIES (EXIT LIGHTS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, PANIC HARDWARE, ETC.) TO REMAIN OR BE REPLACED IN KIND AS DIRECTED BY THE ACM.
- REFER TO SEPARATE DECOR PACKAGE FOR ADDITIONAL INFORMATION.

STRUCTURAL LOADS:

GROUND SNOW LOAD: 0 PSF BASIC WIND SPEED: 110 MPH (3-SECOND GUSTULTIMATE),

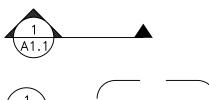
EXPOSURE B SEISMIC RISK CATEGORY: II SEISMIC DESIGN CATEGORY: E



VICINITY MAP

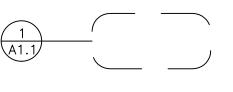
NORTH

SYMBOL LEGEND:



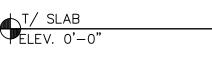
SECTION TAG

DOOR TAG



DETAIL TAG

ROOM NAME & NUMBER



ELEVATION TAG

PARTITION TAG

2018 REMODEL BUILDING MRP 2.0 - LOW VOLUME CORE 16 VERSION PAC SIERRA REGION

BUILDING INFORMATION

ADDRESS:

004-0582 STATE SITE CODE: ADDRESS: 15475 LOS GATOS BLVD CITY: LOS GATOS STATE: ZIP CODE: SANTA CLARA COUNTY COUNTY: TOWN OF LOS GATOS

PLANNING NOTES

• SITE AREA - 1.33 ACRES • ZONING - CH

SCOPE OF WORK

- SITE ACCESSIBILITY REMEDIATION
- NEW DRIVE THRU LANE NEW DRIVE THRU WINDOW
- RELOCATED ENTRANCE DOOR

STRUCTURE:

EXISTING MASONRY WALL CONSTRUCTION AND WOOD ROOF TRUSSES

UTILITIES:

EXISTING TO REMAIN, VERIFY IN FIELD

BUILDING DATA:

OCCUPANCY: EXISTING USE GROUP - A2 **GROSS WORK AREA:** 2,033/4,267 = 48% BUILDING FOOTPRINT CONSTRUCTION TYPE: EXISTING CONSTRUCTION TYPE - 5B NUMBER OF STORIES: 1 WITH BASEMENT 16'-1" EXISTING MANSARD ROOF BUILDING HEIGHT:

GROUND FLOOR GROSS BUILDING AREA: GROUND FLOOR NET BUILDING AREA:	<u>EXISTING</u> 3,159 SF 2,992 SF	NEW O SF O SF	<u>PROPOSED</u> 3,159 SF 2,992 SF
BASEMENT GROSS BUILDING AREA: BASEMENT NET BUILDING AREA: TOTAL GROSS BUILDING AREA: TOTAL NET BUILDING AREA:	1,108 SF 1,030 SF	0 SF 0 SF 0 0	1,108 SF 1,030 SF 4,267 SF 4,022 SF

MCDONALD'S CONSTRUCTION PROJECT MANAGER NAME: CONTACT: PHONE:

KEVIN MCAULEY kevin.mcauley@us.mcd.com

(858) 342-3536

<u>myao@core-eng.com</u>

CORE STATES GROUP PROJECT MANAGER (ALL CORRESPONDENCE TO REFER TO CORE STATES GROUP PROJECT MANAGER)

ADDRESS: PHONE/EMAIL NAME: (909) 467-8937 MIKE YAO 4240 E JURUPA STREET SUITE 402

ONTARIO, CA 91761

DESIGNER OF RECORD

NAME:	ADDRESS:	LICENSE #
ARCHITECT OF RECORD: PATRICK BLEES, AIA	111 3RD AVENUE S, SUITE 400 MINNEAPOLIS, MN 55401	C-31531
<u>STRUCTURAL:</u> DAVID BALMA, PE	201 S MAPLE AVENUE, SUITE 300 AMBLER, PA 19002	85276
MECHANICAL/PLUMBING: DAVID LEIFFER, PE	1700 W INDUSTRIAL DRIVE, SUITE B ROGERS, AR 72756	34319
<u>ELECTRICAL:</u> JOHN FERGUSON, PE	1700 W INDUSTRIAL DRIVE, SUITE B ROGERS, AR 72756	18497
<u>CIVIL :</u> TRAVIS VINCENT JR., PE	4240 EAST JURUPA STREET, SUITE 402	C37356

ONTARIO, CA 91761

DRAWING INDEX

COVER SHEET

EXISTING

REVISIONS

EX-1EXHIBIT EXISTING SITE PLAN EXISTING UTILITY PLAN EX-EFP EXISTING FLOOR PLAN EX-EE1 EXISTING ELEVATION EX-EE2 EXISTING ELEVATION

PROPOSED PSP-A PRELIMINARY SITE PLAN FLOOR PLAN ELEVATIONS PLANTING PLAN IRRIGATION PLAN DETAILS SPECIFICATION EXISTING TREE INVENTORY

TREE NOTES & DETAILS

CAL GREEN ENVIRONMENTAL QUALITY

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS,

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE

GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY

TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT

ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS,

AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS

PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 5.504."

(INCLUDING CARPETING, CUSHION AND ADHESIVE),

RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD

OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE

SITE FOR FIELD VERIFICATION BY THE BUILDING

INSPECTOR. CGBSC SECTION 5.504.4.3.2

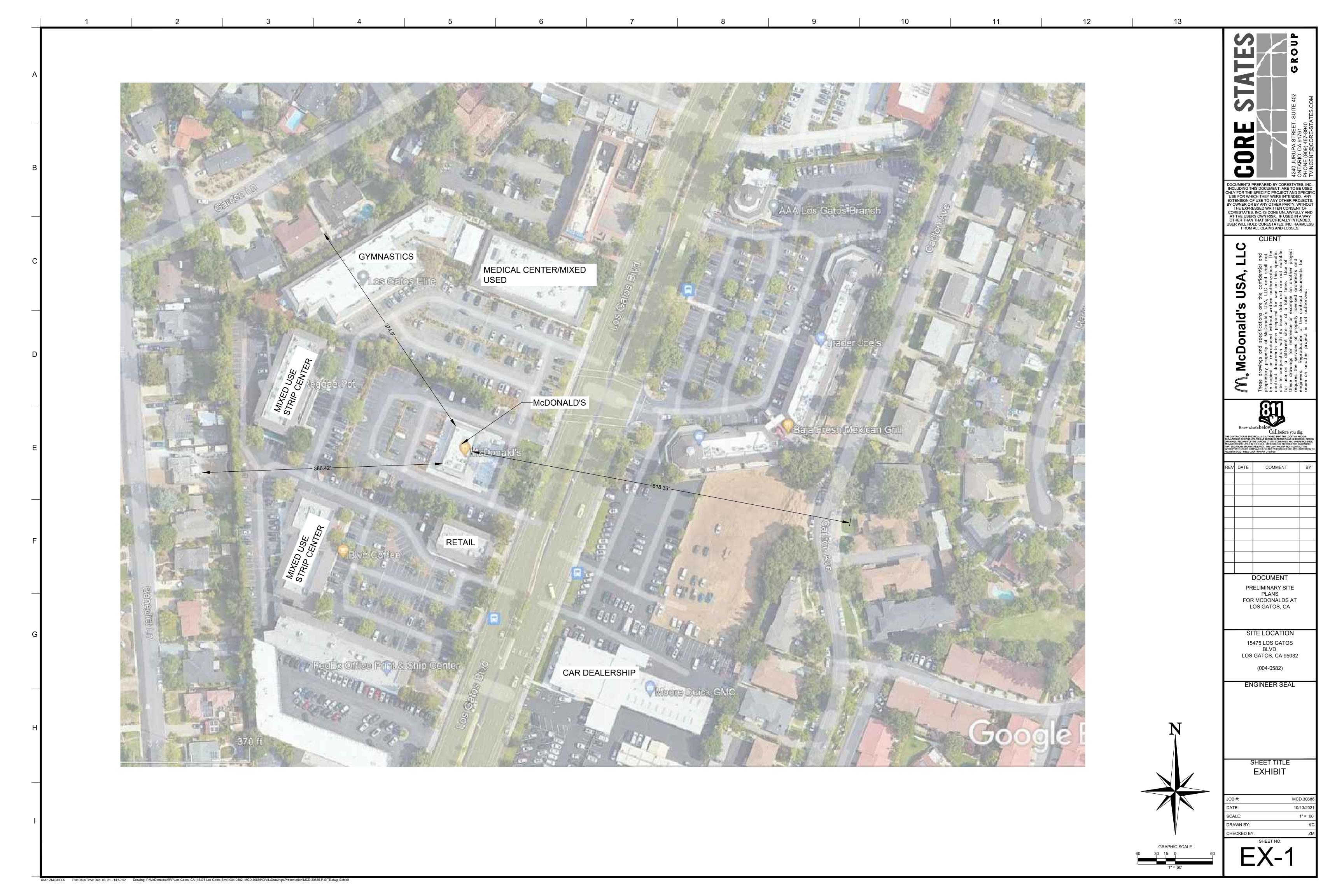
AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE

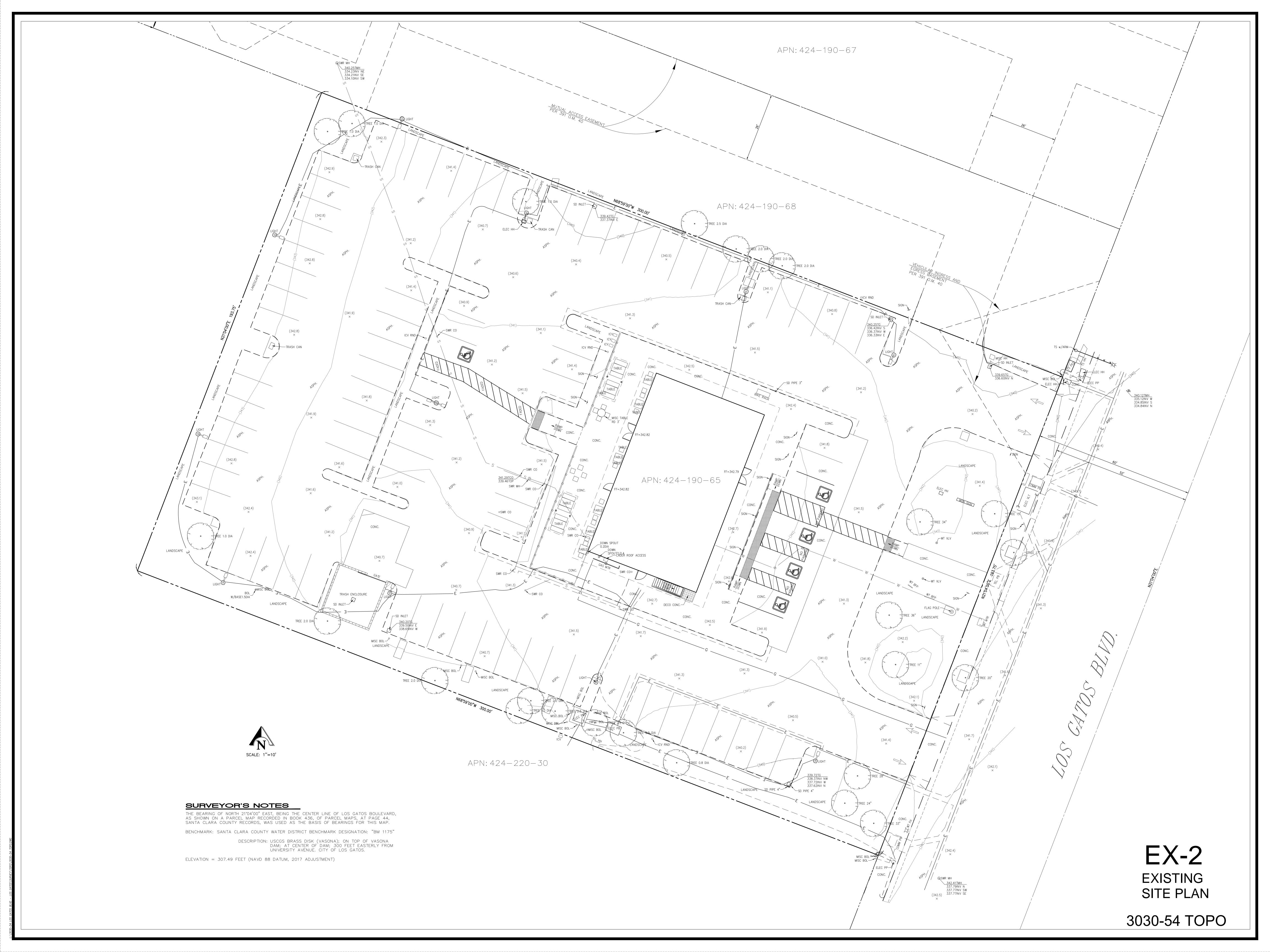
REQUIREMENTS NOTES:

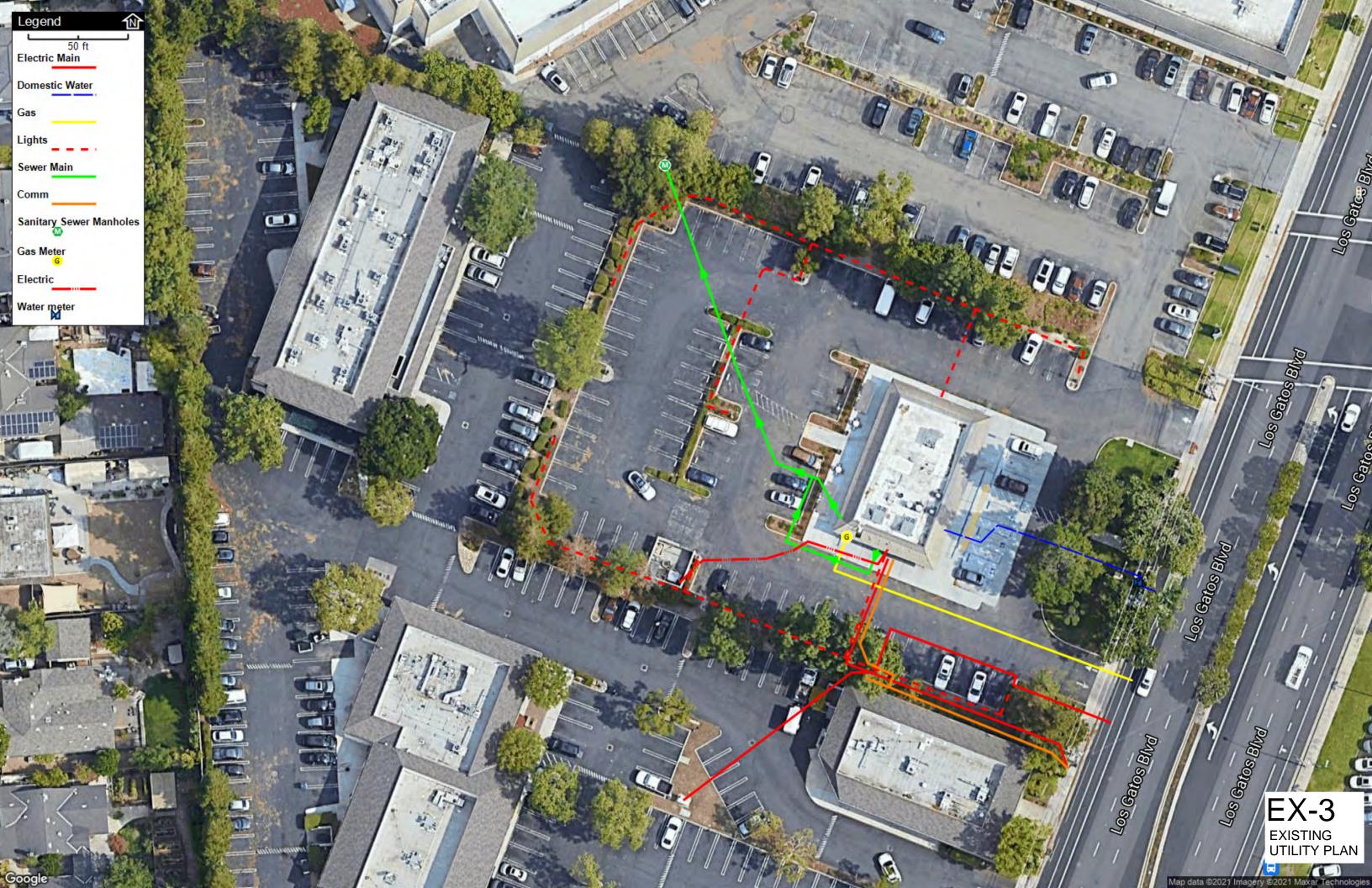


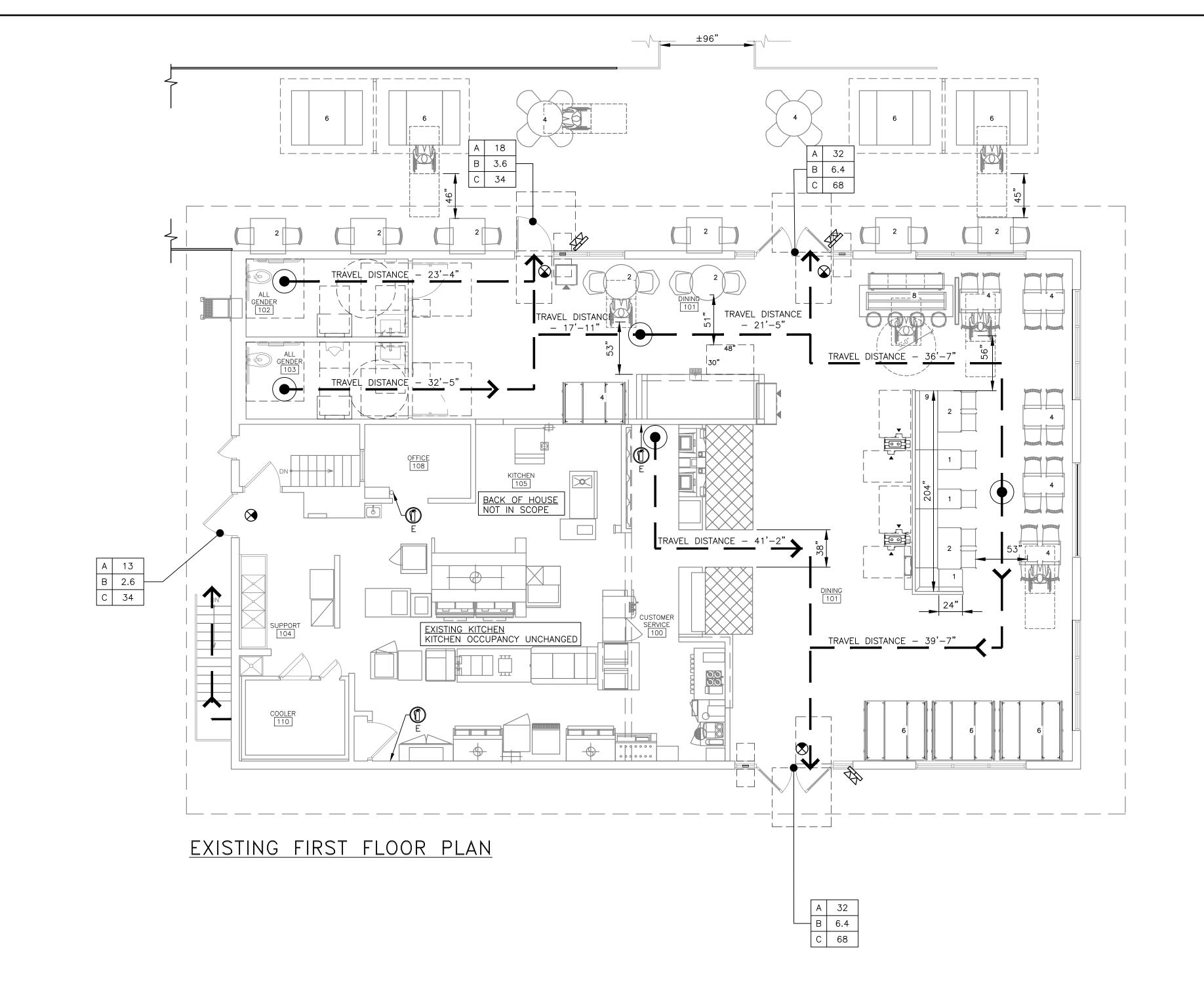
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VERSION	JAN
	REVIEWE
WALL CONSTRUCTION	
) ROOF TRUSSES	DATE 18
JES – FRONT, ENTRY	01/17/
'E ADDRESS	C.S.G. PR
475 LOS GATOS BLVD, LOS GATOS, CA 95032	MCD-3









NOTE:

• FOR INDOOR AND OUTDOOR ACCESSIBLE SEATING, THE REQUIRED ACCESSIBLE SEAT SHALL BE PROVIDED WITH A TABLE OR COUNTER HEIGHT OF 28" TO 34" ABOVE THE FINISH FLOOR WITH A 27" HIGH X 30" WIDE X 9" DEEP KNEE SPACE UNDERNEATH.

	INDOOR SE	<u>ATING</u>		
	TABLE TYPE	QUANTITY	<u>SEATS</u>	
:R	1 TOP 2 TOP 4 TOP 6 TOP 8 TOP BENCH	2 4 6 3 1 228÷24	2 8 24 18 8 10	
GH	TOTAL SEATS		70	
	ACCESSIBLE SE	EATS REQUIRED	4	

FIXED SEATING CALCS:

FIXED SEATING

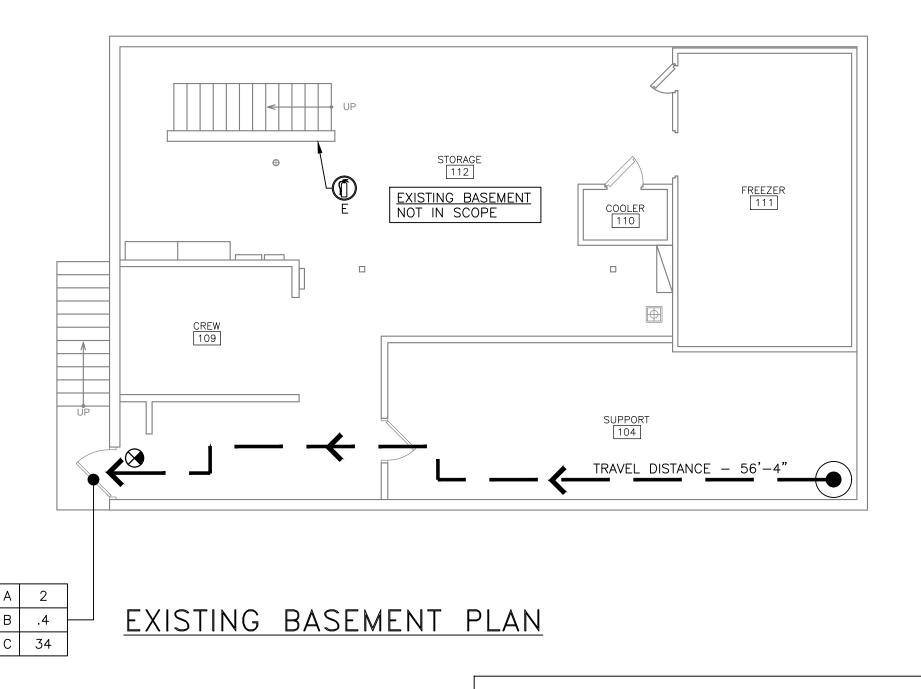
OUTDOOR SEATING

TABLE TYPE QUANTITY SEATS

2 TOP 6 12
4 TOP 2 8
6 TOP 4 24

TOTAL SEATS 44

ACCESSIBLE SEATS REQUIRED 3



<u>NOTE</u>:
MAXIMUM LENGTH OF EXIT ACCESS TRAVEL DISTANCE ALLOWED: 200'-0"

McDonald's

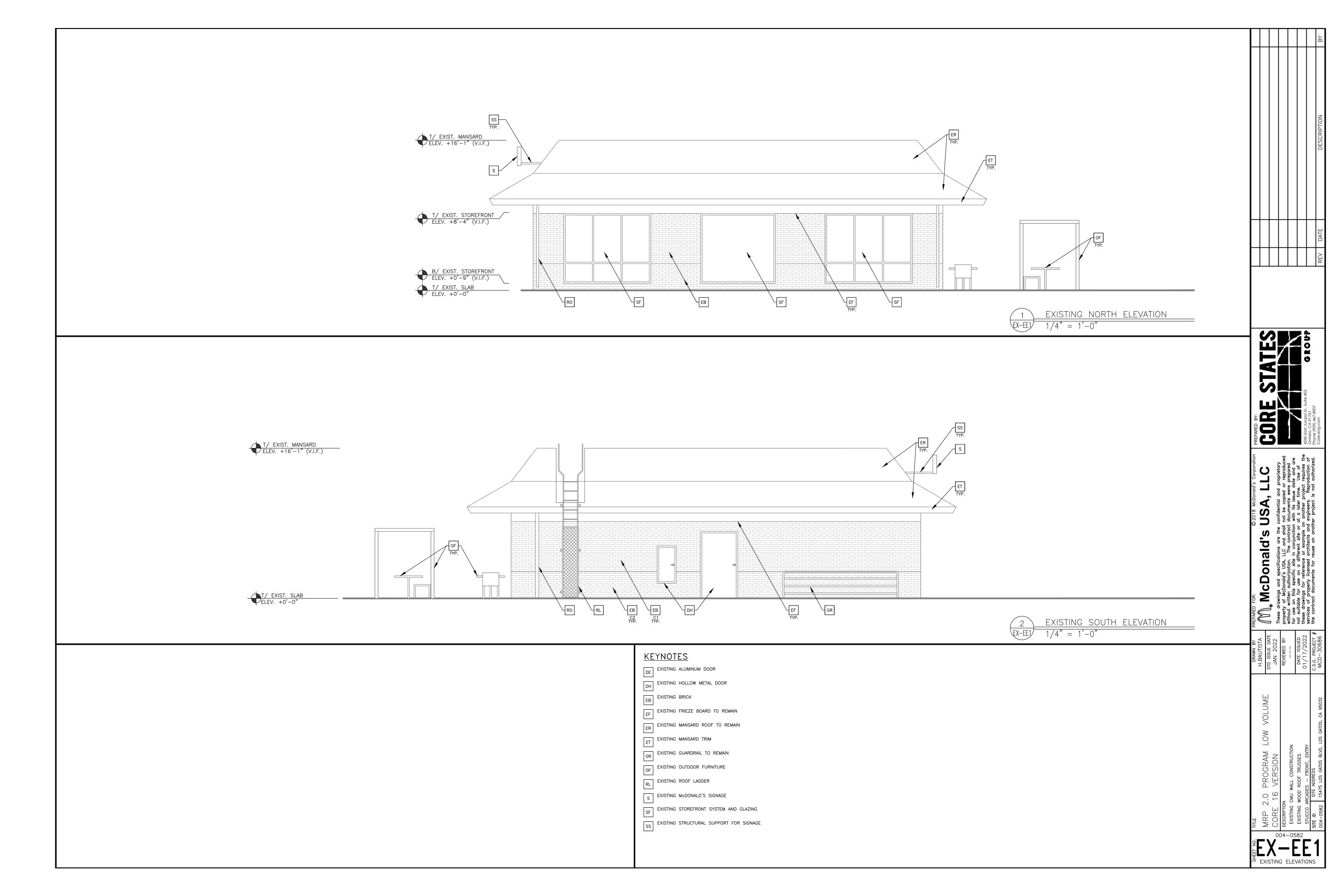
EXISTING FLOOR PLAN EX-EFP = 3/16" = 1'-0"

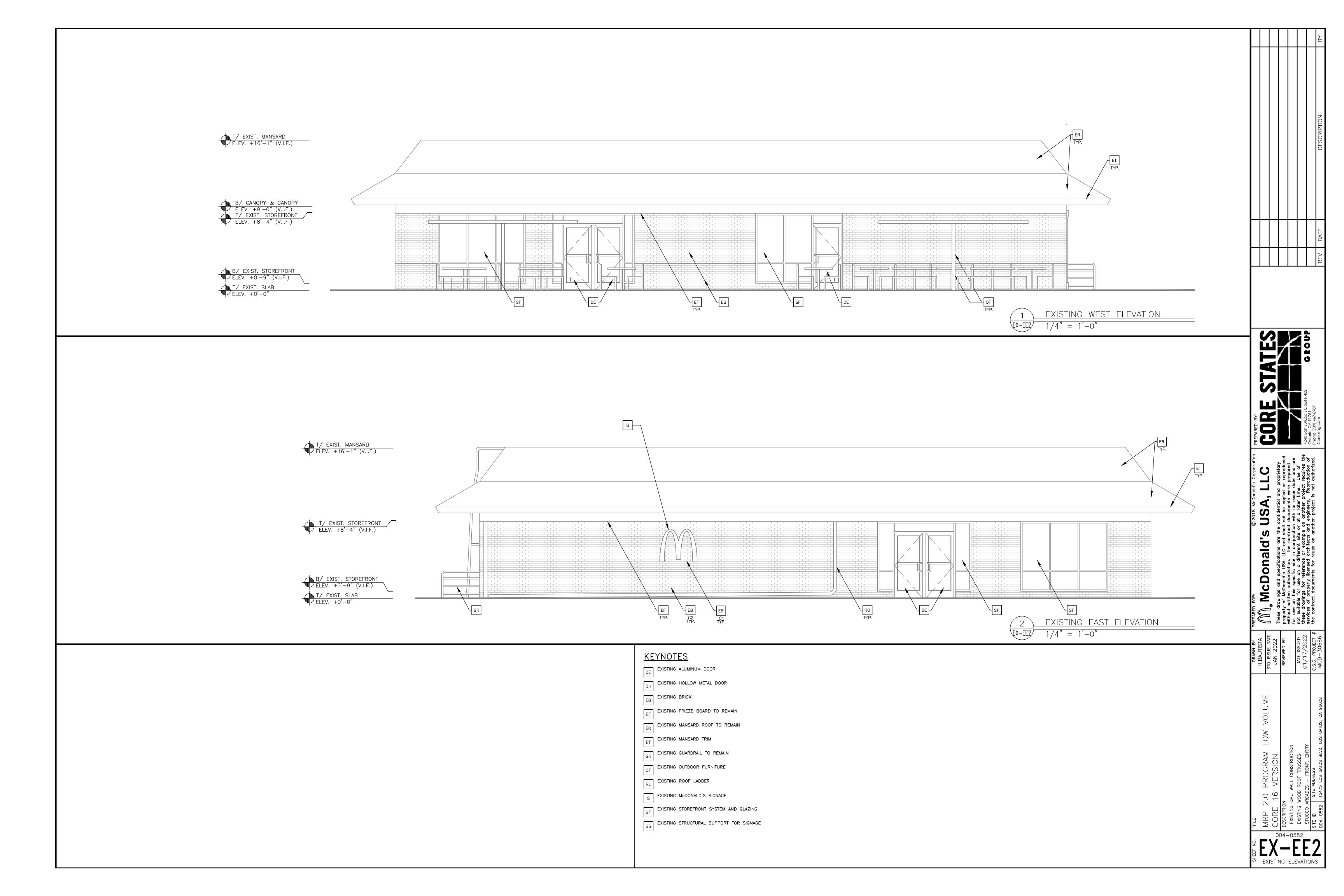
GENERAL NOTES

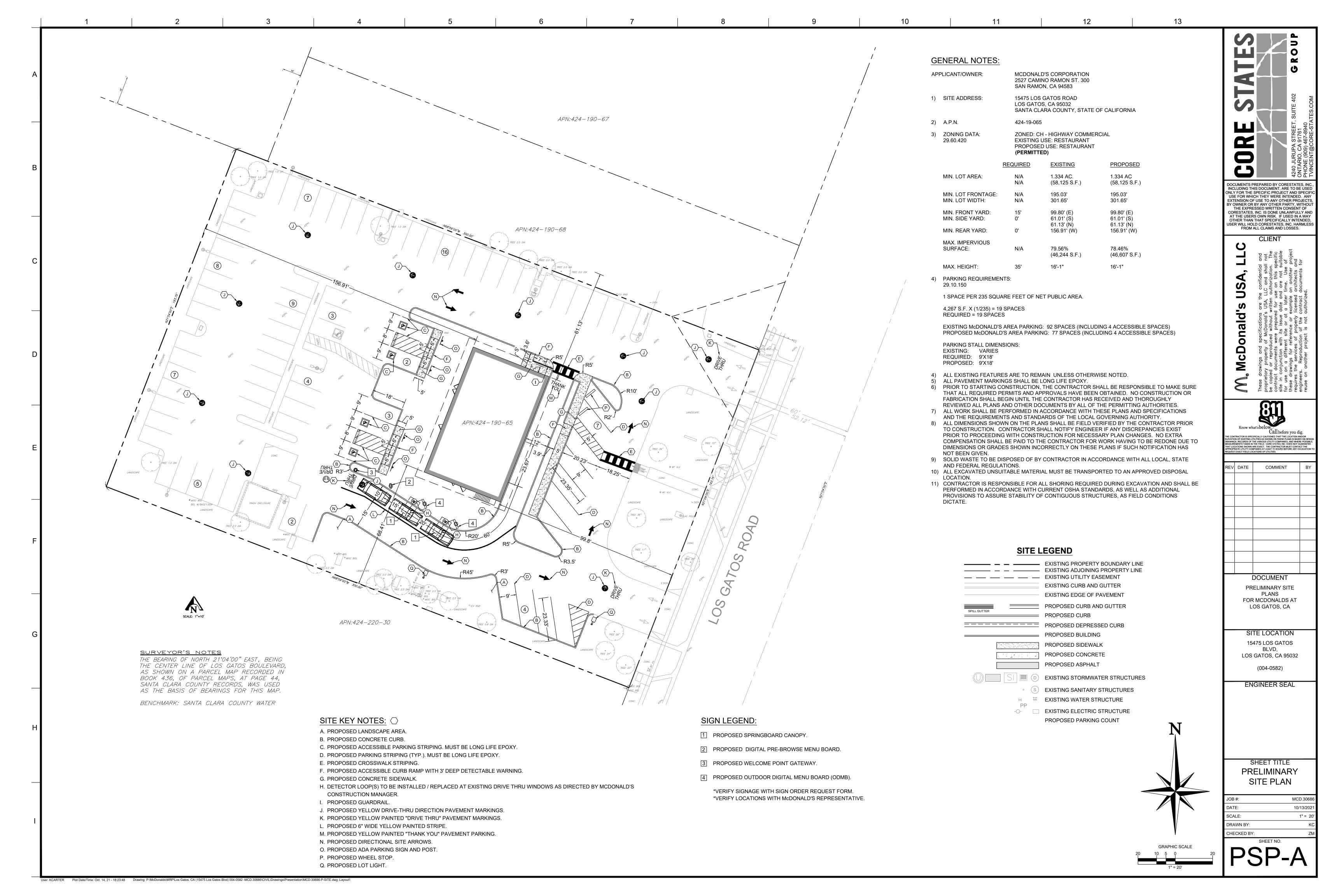
- 1. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES.
- 2. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL EGRESS DOORS TO HAVE PANIC HARDWARE.
- 3. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
- 4. THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT—CANDLE AT THE WALKING SURFACE LEVEL.
- 5. GC TO PROVIDE ACCESSIBLE SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA—SIGN 1—800—214—8765 9292 1ST ST., BOX 588 www.forrestpermasigns.com NEW ROCHELLE, NY 10802
- 6. ALL EXISTING LIFE SAFETY ACCESSORIES (EXIT LIGHTS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, PANIC HARDWARE, ETC.) TO REMAIN OR BE REPLACED IN KIND AS DIRECTED BY THE ACM.
- 7. REFER TO SEPARATE DECOR PACKAGE FOR ADDITIONAL INFORMATION.

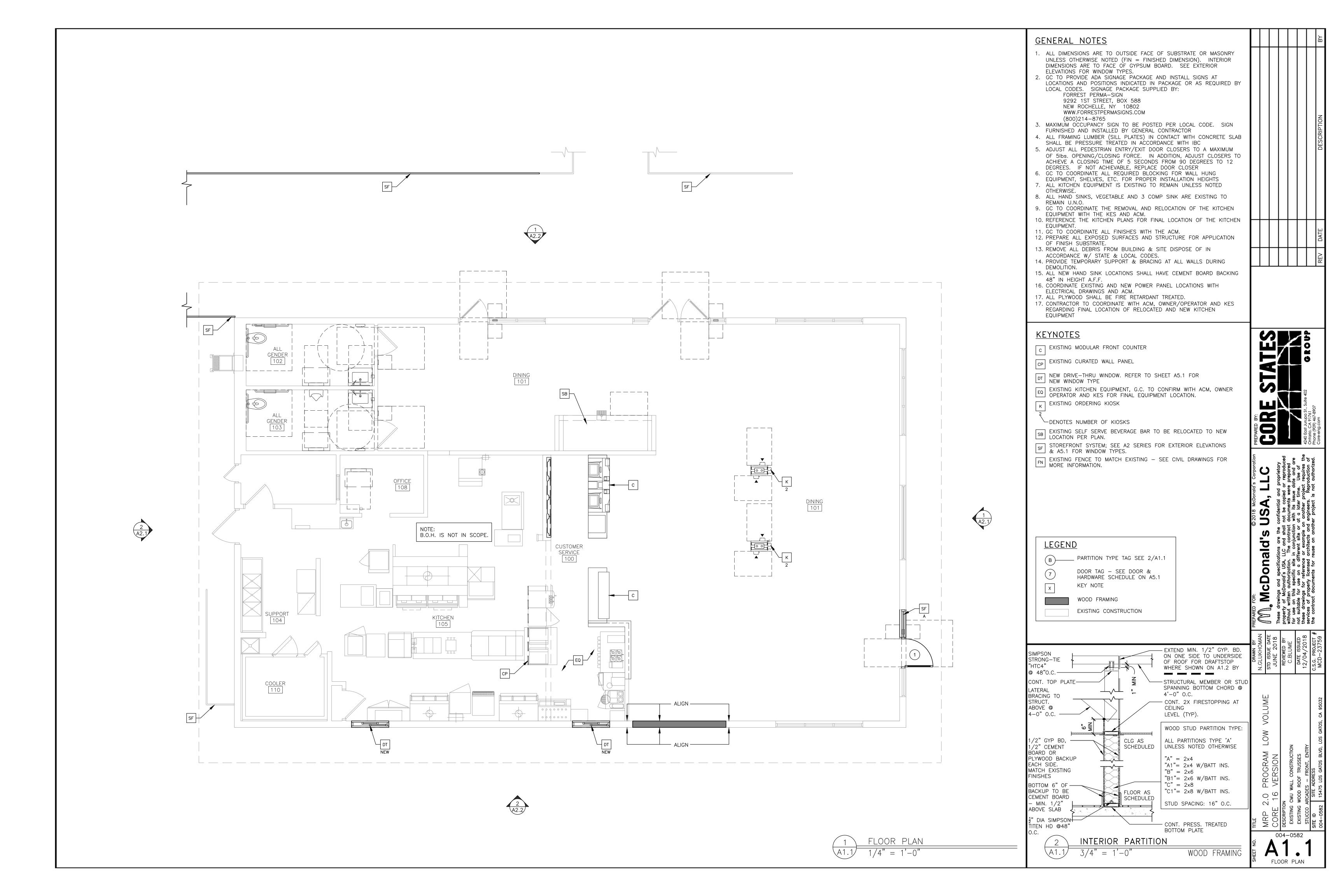
- 8. REFER TO ELECTRICAL LIGHTING PLAN FOR EMERGENCY LIGHTS AND EGRESS ILLUMINATION.
- * EXISTING OCCUPANCY UNCHANGED

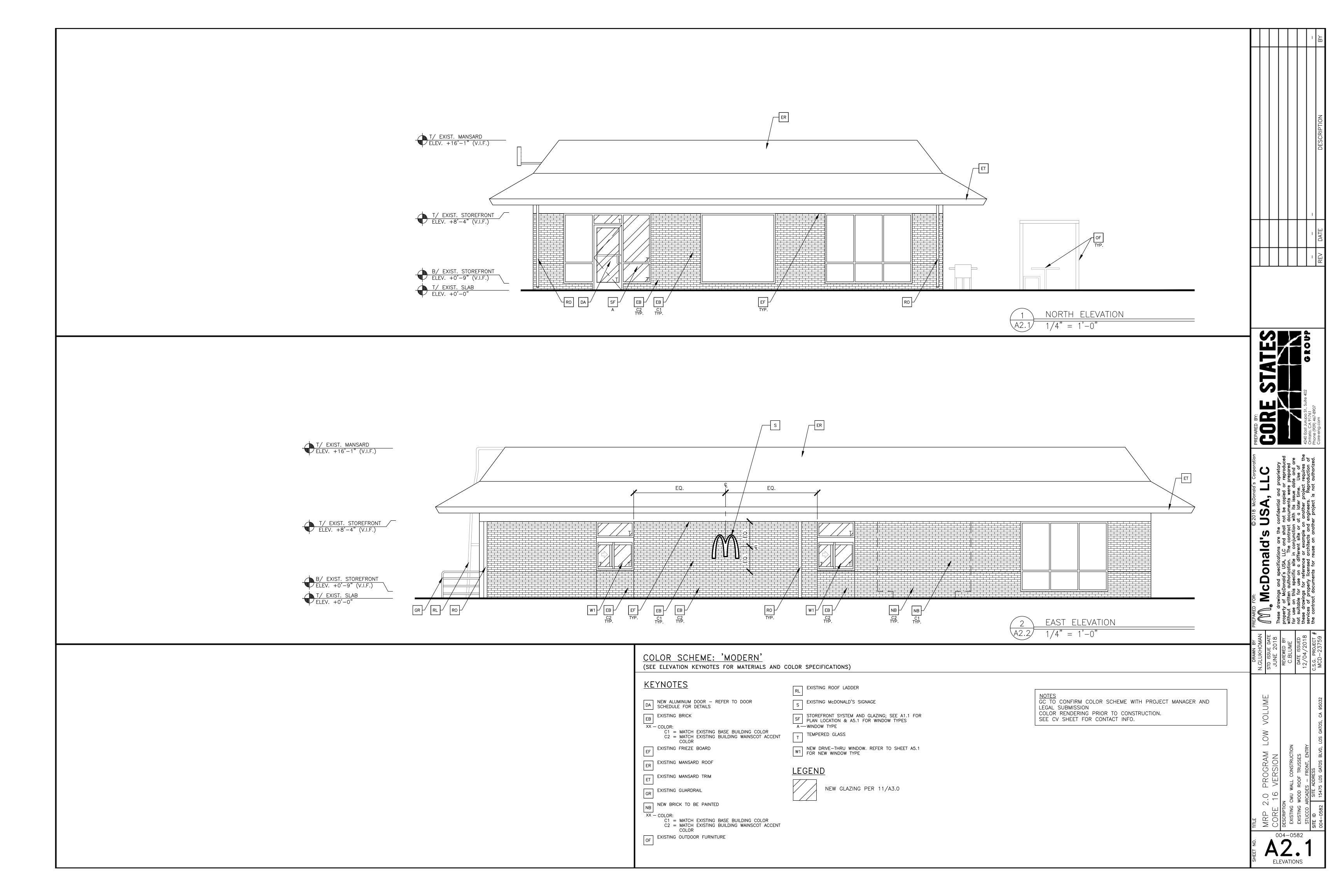
										J ARE]	se pert nout	se se	8
	OCCUPANCY	ALLOWA	ANC	<u>E</u>		<u> </u>	LIFE	SAFETY LE	GEND	PREP		wit Fo	the ser	the
	TABLE 10 MAXIMUM FLOOR AREA ALLC		OCCUP	PANT	_		<u> </u>	RAVEL PATH		DRAWN BY H.BAUTISTA	STD ISSUE DATE JAN 2022	REVIEWED BY	DATE ISSUED 01/17/2022	C.S.G. PROJECT # MCD-30686
	FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS			S	START OF TRAVEL		H H	STD I	REV	DA1	C.S.G. MC
	ACCESSORY STORE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	708	3	_		> [RECTION OF TRAN	/EL		ıl			
-	ASSEMBLY WITH FIXED SEATS/TABLES	SEE PLAN	_	70		\square		MERGENCY LIGHT		-	VOLUME VOLUME			CA 95032
	ASSEMBLY WITHOUT FIXED SEATS (STANDING SPACE)	5 NET	59	12				XIT SIGN TRE EXTINGUISHER) MO]			BLVD, LOS GATOS,
1	BUSINESS AREAS	100 GROSS	124	2		E — RL —	—— Е	XISTING ELOCATED				UCTION	ES ENTRY	
	KITCHENS, COMMERCIAL BASED ON FULL KITCHEN STAFF)	200 GROSS	1,101	10			<u>E</u>	GRESS LEGEN	<u>1D</u>		VERSION	. CONSTRUCTION	WOOD ROOF TRUSSES ARCADES - FRONT, EN	SITE ADDRESS 15475 LOS GATOS
					А	occi	UPANT	LOAD AT THIS EX	IT		9	\ \	WOOD ROCARCADES -	SITE ADI 15475 L
	TOTAL O	CCUPANCY ALL	OWANCE	97	В	REQU	UIRED	EXIT WIDTH			MAT A CORE	[을 일		SITE ID 004-0582
	TOTAL ACCESS	SIBLE SEATS RE	EQUIRED	4	С	PROV	VIDED	EXIT WIDTH		. —		留 04-05		SITE 004
										SHEET NO.	X NITRIX	IG FLO	OOR F	PLAN

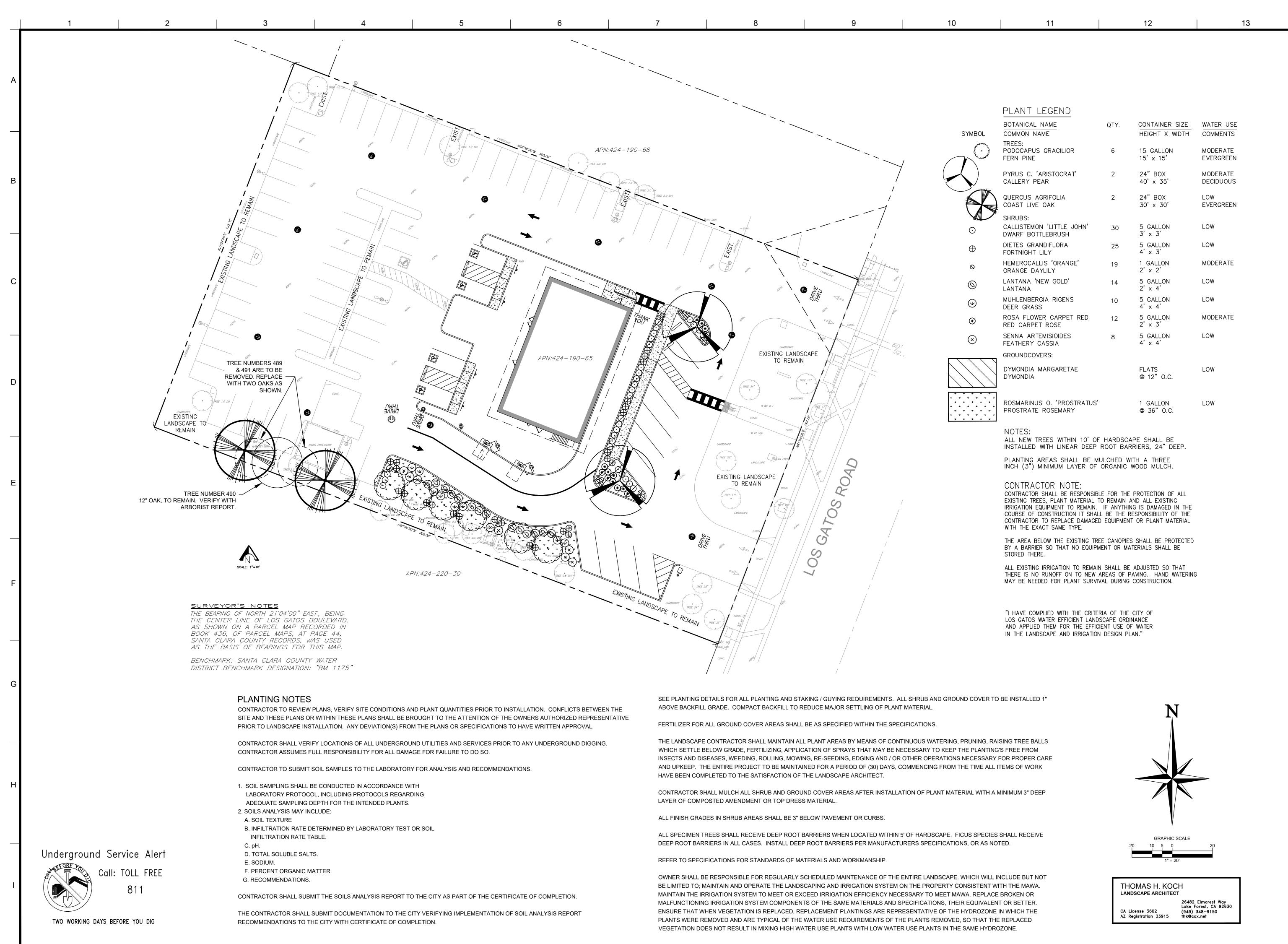












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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DES DRAWNINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIS MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

DOCUMENT

PRELIMINARY SITE

SITE LOCATION 15475 LOS GATOS BLVD,

PLANS

FOR MCDONALDS AT LOS GATOS, CA

LOS GATOS, CA 95032 (004-0582)

ENGINEER SEAL

ANDSCAPE
KOCH
Signature
Signature
Signature
The Seal Si

SHEET TITLE
PLANTING PLAN

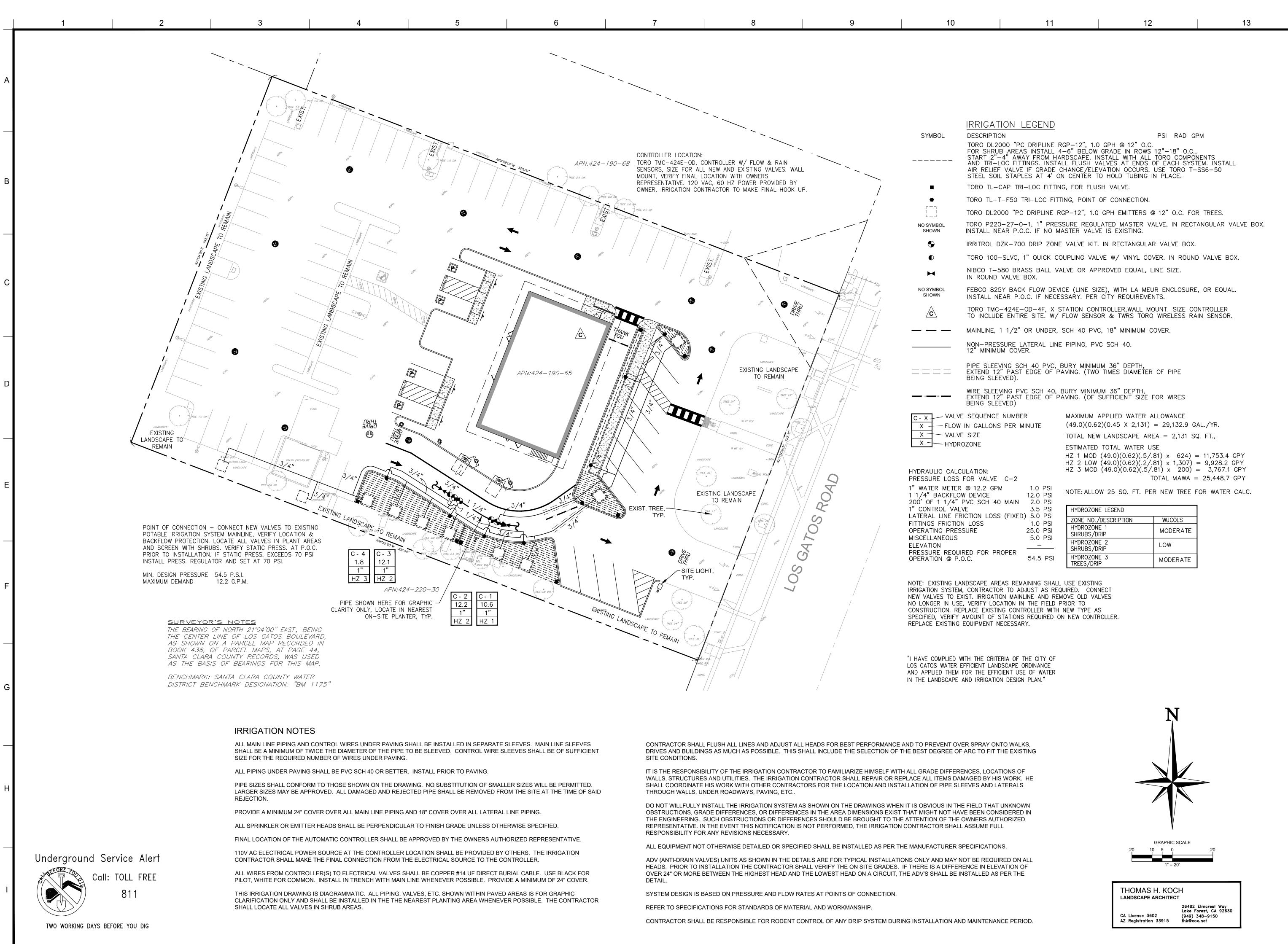
JOB #: MCD.30686

DATE: 10/13/2021

SCALE:

DRAWN BY: KC

L1.0



ORE STATES

JURUPA STREET, SUITE 402

GROUP

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HAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE
PPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO
EQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REV	DATE	COMMENT	BY			
DOCUMENT						
PRELIMINIARY SITE						

PRELIMINARY SITE
PLANS
FOR MCDONALDS AT
LOS GATOS, CA

SITE LOCATION

15475 LOS GATOS
BLVD,
LOS GATOS, CA 95032

(004-0582)

ENGINEER SEAL

ANDSCAPE

KOCH

Signature

Signature

5-31-23

Renewal Date

10-18-21

Date

OF CAN FORM

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Renewal Park

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SHEET TITLE
IRRIGATION PLAN

INTOATION LAN

JOB #: MCD.30686

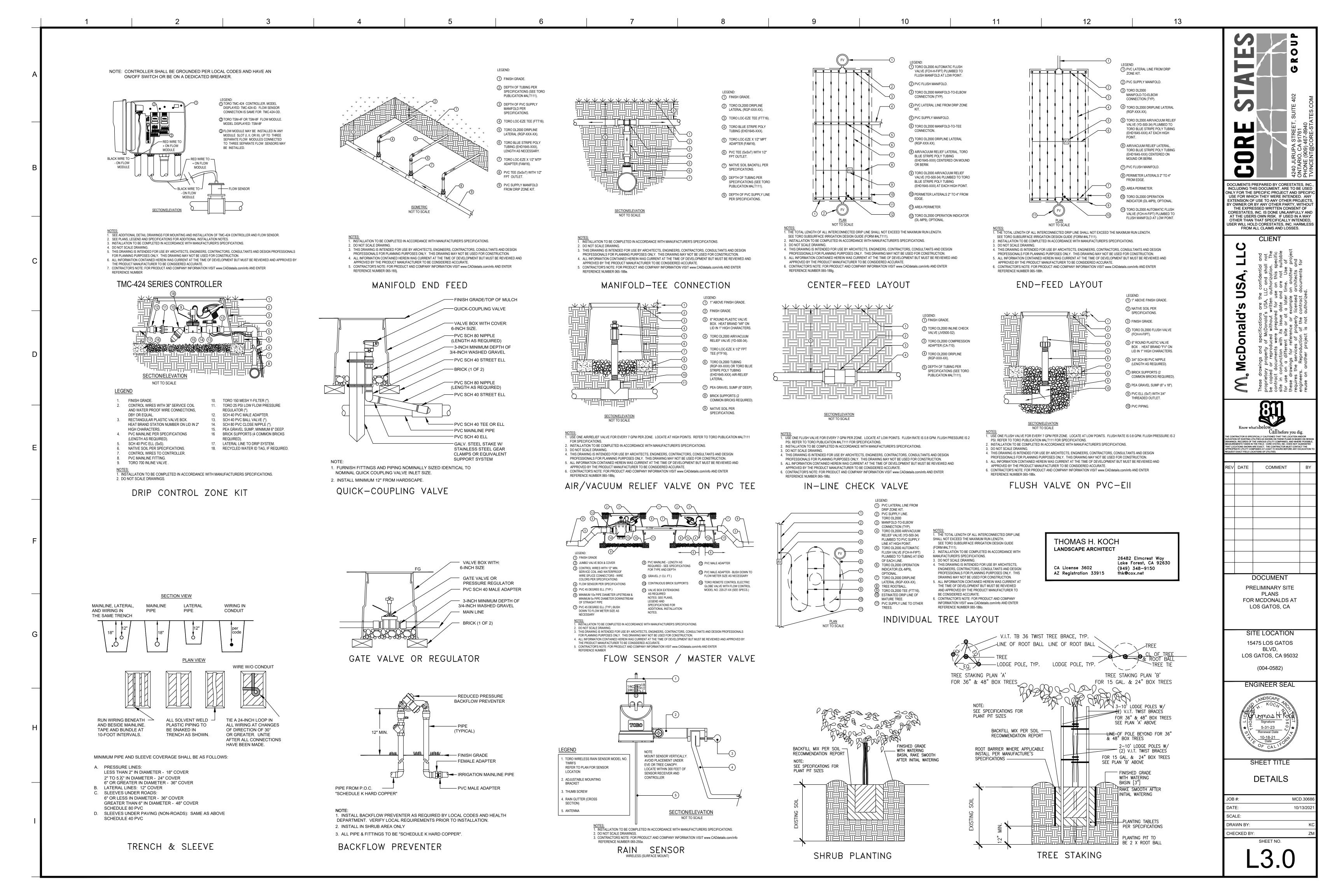
DATE: 10/13/2021

SCALE:

DRAWN BY: KC

CHECKED BY: ZM

L2.0



PLANTING SPECIFICATIONS GENERAL REQUIREMENTS

A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS

SECTION AS FULLY AS IF REPEATED HERE. B. SCOPE: FURNISH AND INSTALL ALL LANDSCAPE PLANTING COMPLETE AS INDICATED ON THE DRAWINGS AS SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

PERFORM ALL FINISHED GRADING AND REMOVAL OF EXISTING WEEDS.

PROVIDE AND PLACE ALL SOIL ADDITIVES.

FURNISH AND PLACE ALL SOIL MIXES. 4. FURNISH AND INSTALL PLANT MATERIALS.

5. FURNISH AND INSTALL ALL STAKING AND GUYING.

6. PROVIDE SIXTY (60) DAY MAINTENANCE OF PLANTING

GUARANTEES. CLEANUP.

C. QUALITY CONTROL

SAMPLES AND DELIVERY OF MATERIALS:

SAMPLES OF PREPARED PLANTING MIXTURE AND SOIL ADDITIVES, SHALL BE SUBMITTED TO OWNER FOR ACCEPTANCE.

B. SUBSTITUTIONS WILL NOT BE PERMITTED, EXCEPT IF PROOF IS SUBMITTED THAT ANY MATERIAL SPECIFIED IS NOT OBTAINABLE, THEN A PROPOSAL WILL BE CONSIDERED FOR THE USE OF THE NEAREST EQUIVALENT, WITH AN EQUITABLE ADJUSTMENT OF CONTRACT PRICE. ALL SUBSTITUTIONS ARE SUBJECT TO APPROVAL OF THE OWNER OR HIS AGENT.

2. GUARANTEE: ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AND ALL OTHER PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF SIX (6) MONTHS, UPON FINAL ACCEPTANCE OF PLANTING BY THE OWNER OR HIS AGENT.

3. MAINTENANCE PERIOD: CONTRACTOR SHALL MAINTAIN ALL PLANTING AND PLANT MATERIAL FOR A PERIOD OF SIXTY (60) DAYS, AFTER COMPLETION AND FINAL ACCEPTANCE OF WORK BY OWNER.

4. INSPECTIONS: ALL INSPECTIONS HEREIN SPECIFIED SHALL BE MADE BY THE OWNER OR HIS AGENT. THE CONTRACTOR SHALL REQUEST INSPECTIONS AT LEAST THREE WORKING DAYS IN ADVANCE OF THE TIME INSPECTION IS REQUIRED. INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK:

A. WHEN FINE GRADING AND SOIL PREPARATION ARE COMPLETED.

B. PLANT MATERIAL AFTER DELIVERY TO SITE, FOR FIELD SPOTTING BY OWNER OR HIS AGENT. SPECIMEN TREES AT SOURCE, FOR TAGGING BY OWNER OR HIS AGENT.

FINAL INSPECTION OF COMPLETED PLANTING BY OWNER OR HIS AGENT.

A. SOIL AMENDMENTS:

COMMERCIAL FERTILIZER SHALL CONSIST OF THE FOLLOWING GUARANTEED PERCENTAGES DELIVERED IN SACKS WITH MANUFACTURER'S LABEL SHOWING WEIGHT AND ANALYSIS ON EACH SACK: 6(N)-20(P)-20(K). ORGANIC AMENDMENTS SHALL BE DERIVED FROM NITROGEN STABILIZED ORGANIC RESIDUES AND SHALL BE AERATED, FREE OF OBJECTIONABLE ODOR AND OF VIABLE WEED SEED.

SOIL SULFUR OF STANDARD COMMERCIAL GRADE.

GYPSUM OF STANDARD AGRICULTURAL GRADE.

BROUGHT TO THE OWNER, BEFORE SUBMITTING BID.

B. PLANT MATERIALS:

PLANTS SHALL BE NURSERY GROWN AND TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL BE OF NORMAL GROWTH HABITS. PLANTS SHALL BE HEALTHY, VIGOROUS AND WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.

PLANTS SHALL CONFORM IN AT LEAST THE MINIMUM REQUIREMENTS NOTED ON THE PLAN, LEGEND OR PALETTE. THE ROOT BALL SHALL BE INTACT AND SHOW EVIDENCE OF A WELL DEVELOPED ROOT WITHOUT BEING ROOT BOUND. PLANTS SHALL HAVE GROWN IN THE DELIVERED CONTAINER SYSTEM FOR AT LEAST ONE YEAR.

PLANTS SHALL BE FREE OF DISEASES, INSECTS, PESTS, EGGS OR LARVAE.

PLANTS SHALL NOT BE PRUNED, EXCEPT AT THE DIRECTION OF THE OWNER OR OWNER'S AGENT.

TREES SHALL HAVE STURDY TRUNKS AND NORMAL BRANCHING, WHICH ARE INTACT AND WITHOUT CUTS OR ABRASIONS.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO YEARS.

QUANTITIES NECESSARY TO COMPLETE THE WORK SHOWN ON PLANS SHALL BE FURNISHED BY THE CONTRACTOR. ANY DISCREPANCY IN THE QUANTITIES GIVEN ON PLAN OR LEGEND SHALL BE

QUANTITIES GIVEN IN THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. QUANTITIES SHOWN ON PLAN ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE SUBMITTING BID.

EXECUTION

A. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITY LINES, IRRIGATION LINES, ETC. SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. IN THE EVENT OF CONFLICT BETWEEN UTILITIES, ETC. AND PLANT LOCATIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER, WHO SHALL ARRANGE FOR THE RELOCATION OF PLANT MATERIAL. FAILING TO FOLLOW THIS PROCEDURE, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, MAKE ANY AND ALL REPAIRS FOR DAMAGE RESULTING FROM HIS WORK.

REMOVE ROCK AND/OR OTHER OBSTRUCTIONS, TO PERMIT PROPER INSTALLATION OF PLANTING MATERIAL

B. GRADING AND SOIL PREPARATION:

FINISHED GRADES: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO + .10 PERCENT IN LANDSCAPE AREAS.

SCARIFY ALL SOIL WITH THE EXCEPTION OF SLOPES OVER 3:1, TO A MINIMUM DEPTH OF 4".

SOIL CONDITIONING: APPLY SOIL CONDITIONERS IN THE FOLLOWING AMOUNTS TO ALL AREAS UNLESS NOTED OTHERWISE BY LANDSCAPE SOILS REPORT:

1. 8 CUBIC YARDS OF NITROGEN STABILIZED MULCH PER 1000 SQUARE FEET.

2. 30 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER, PER 1000 SQUARE FEET.

3. 100 POUNDS OF AGRICULTURAL GYPSUM PER 1000 SQUARE FEET.

4. REMOVAL OF ALL ROCKS AND FOREIGN MATTER OVER 1" IN DIAMETER, FROM TILLED AREAS.

C. TURF AND PLANTINGS

FIELD SPOT PLANTS PER PLAN AND SECURE APPROVAL FROM OWNER OR OWNER'S AGENT BEFORE DIGGING PITS. MAKE NECESSARY ADJUSTMENTS IN LOCATIONS AND EXCAVATE PITS AS FOLLOWS:

PLANT SIZE: PIT WIDTH: PIT DEPTH 24" BOX 36" BOX 48" BOX 7.5' 1 GALLON 10.5" 20.5" 5 GALLON 15 GALLON

THE BOTTOMS OF ALL PLANT PITS SHALL BE LOOSENED AN ADDITIONAL 5" BELOW DEPTHS NOTED AND DUSTED WITH GYPSUM AT THE RATE OF ONE CUP PER 5 GALLON PLANT, WITH A EQUAL RATIO MORE FOR LARGER SIZED PLANT MATERIAL. CANS AND BOXES SHALL BE REMOVED CAREFULLY TO AVOID BREAKING AT THE ROOTBALL. REMOVE CANS OR BOXES AFTER PLACEMENT, INCLUDING BOTTOMS OF BOXED SPECIMENS.

ALL BACKFILL FOR TREES, SHRUBS AND VINES SHALL BE AS PER FOLLOWS PER 10 CUBIC YARDS:

7 CUBIC YARDS OF NATIVE TOP SOIL. 3 CUBIC YARDS OF NITROGEN STABILIZED MULCH. 20 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER. 100 POUNDS OF AGRICULTURAL GYPSUM.

10 POUNDS OF FERRIC SULFATE.

ADJUST DEPTH OF PLANT SO IT'S CROWN SHALL STAND AT FINISHED GRADE. ALL PLANTS SHALL BE SET IN A WATERING BASIN.

ALL TREES AND SHRUBS SHALL INCLUDE 21 GRAM AGRIFORM FERTILIZER TABLETS AS FOLLOWS:

6 TABLETS FOR 24" BOX OR LARGER 4 TABLETS PER 15 GALLON PLANT

3 TABLETS PER 5 GALLON PLANT. 1 TABLET PER 1 GALLON PLANT.

D. GROUND COVER PLANTING:

PLANTING PITS FOR GROUND COVER SHALL BE 4" MINIMUM IN DEPTH. PLANTS SHALL BE SPACED AS INDICATED ON DRAWINGS AND LEGENDS. SOIL SHALL BE FIRMLY PRESSED AROUND EACH PLANT AND EXCESS SOIL

EACH SECTION OF GROUND COVER SHALL BE THOROUGHLY WATERED, IMMEDIATELY UPON COMPLETION OF PLANTING.

STAKE TREES AT TIME OF PLANTING. ALL 15 GALLON TREES SHALL BE STAKED USING LODGE POLE STAKES PER DETAIL AND/OR LOCAL REQUIREMENTS. LOCAL REQUIREMENTS TAKE PRECEDENCE..

F. CLEAN UP:

DURING THE COURSE OF THE WORK, REMOVE SURPLUS MATERIALS FROM THE SITE AND LEAVE PREMISES, SIDEWALKS AND ROADS IN A NEAT AND CLEAN CONDITION. EXCESS TOP SOIL IS TO BE REMOVED FROM SITE.

CLEAN UP AND REMOVE ALL DEBRIS AND SURPLUS MATERIALS UPON COMPLETION OF WORK, LEAVING THE PREMISES IN A NEAT AND CLEAN CONDITION, SATISFACTORY TO THE OWNER. REMOVE ALL TAGS, LABELS, TIES AND NURSERY STAKES FROM ALL PLANTS, UNLESS DIRECTED OTHERWISE.

G. GUARANTEE AND REPLACEMENT:

ALL BOXED AND CONTAINER SPECIMEN PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD HEALTHY AND FLOURISHING CONDITION, OF ACTIVE GROWTH, AT THE END OF ONE YEAR, FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GALLON CONTAINERS SHALL BE GUARANTEED FOR 6 MONTHS FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GUARANTEES SHALL BE IN WRITING AND A PART OF THE CONTRACT DOCUMENTS.

MAINTENANCE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR MAINTAINING MOISTURE REQUIREMENTS HAND WATERING OF NEWLY PLANTED TREES AND SHRUBS SHALL BE REQUIRED ONCE A WEEK, FO THREE WEEKS. CULTIVATE, WEED AND WATER AS REQUIRED DURING MAINTENANCE PERIOD. ALL PLANTING AREAS SHALL BE FREE OF WEEDS AT CONCLUSION OF MAINTENANCE PERIOD.

FINAL INSPECTION:

FINAL INSPECTION OF LAWNS AND PLANTING AREAS WILL BE MADE ONE WEEK PRIOR TO THE CONCLUSION OF THE MAINTENANCE PERIOD. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S AGENT, 3 WORKING DAYS PRIOR TO INSPECTION.

IRRIGATION SPECIFICATIONS

GENERAL REQUIREMENTS

A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS SECTION, AS IF FULLY REPEATED HERE.

B. SCOPE

1. WORK SPECIFIED IN THIS SECTION: FURNISH ALL LABOR, TOOLS, MATERIALS, APPLIANCES, TEXTS, PERMITS, TAXES, ETC., NECESSARY FOR THE INSTALLATION OF A COMPLETE IRRIGATION SYSTEM AS SPECIFIED AND SHOWN ON THE DRAWINGS, LEGENDS AND DETAILS. REMOVAL OF DEBRIS, ROCKS, SOIL, ETC., AS A RESULT OF CONTRACTOR'S WORK, FROM THE SITE.

THE SYSTEM SHALL EFFICIENTLY AND EVENLY IRRIGATE ALL PLANTED AREAS WITH A MINIMUM OF OVER SPRAY, COMPLETE IN EVERY RESPECT AND SHALL BE LEFT READY FOR OPERATION, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.

3. ALL WORK SHALL BE PER LOCAL, COUNTY AND STATE CODES AND, PERFORMED IN A WORKMANSHIP LIKE MANNER, STANDARD TO THE INDUSTRY, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.

C. QUALITY CONTROL

1. MATERIAL LIST: A COMPLETE MATERIAL LIST SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO PERFORMING WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBERS AND DESCRIPTION OF ALL MATERIAL, AND EQUIPMENT TO BE USED ON PROJECT.

2. AS BUILT DRAWINGS: AFTER COMPLETION OF IRRIGATION SYSTEM, THE CONTRACTOR SHALL SUBMIT TO THE OWNER, ON REPRODUCIBLE MEDIA OR DISK THE FOLLOWING DIMENSIONED FROM TWO PERMANENT POINTS OF REFERENCE:

A. POINT OF CONNECTION. B. CONNECTION TO EXISTING ELECTRICAL POWER.

C. ROUTING OF MAIN LINES.

D. GATE VALVES

E. ROUTING OF CONTROL WIRING. F. QUICK COUPLING VALVES.

G. CONTROLLER AND WATER SENSORS. H. BACKFLOW PREVENTER.

3. OPERATION AND MAINTENANCE MANUALS:

A. PREPARE AND DELIVER TO THE OWNER WITHIN 10 CALENDAR DAYS PRIOR TO THE COMPLETION OF CONSTRUCTION, TWO HARD COVER BINDERS CONTAINING THE FOLLOWING INFORMATION:

1. INDEX SHEET, STATING CONTRACTOR'S PHONE NUMBER, ADDRESS, LIST OF EQUIPMENT

MANUFACTURERS AND THEIR ADDRESSEES, AND THEIR PHONE NUMBERS.

GUARANTEE STATEMENTS. 3. COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT.

A. GENERAL: USE ONLY NEW MATERIAL AS NOTED ON DRAWINGS, LEGENDS AND SPECIFIED HEREIN.

B. PVC PRESSURE MAINLINE PIPE AND FITTINGS:

1. PIPE SHALL BE MADE FROM AN NSF APPROVED TYPE I, GRADE I, PVC, CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN FEDERAL SPECIFICATION PS-22-70.

2. ALL FITTINGS SHALL BE SCH. 40, UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.

SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELDED PIPE AND FITTINGS SHALL

BE OF TYPE PRESCRIBED BY MANUFACTURER. 4. ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:

MANUFACTURER'S NAME.

NOMINAL PIPE SIZE. C. SIZE, CLASS AND PRESSURE RATING.

C. PVC NON-PRESSURE LATERAL LINE PIPING:

1. NON-PRESSURE LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT

WELDED JOINTS UNLESS NOTED OTHERWISE ON PLANS OR LEGENDS. 2. PIPE SHALL BE MADE FROM NSF APPROVED TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS SET FORTH IN FEDERAL SPECIFICATIONS PS-22-70

D. QUICK COUPLING VALVES:

1. QUICK COUPLING VALVE SHALL HAVE A BRASS BODY DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI.

E, GATE VALVES:

1. GATE VALVES SHALL BE BRONZE BODY PER IRRIGATION LEGEND.

F. BACKFLOW PREVENTION UNIT: THE BACKFLOW PREVENTER SHALL OPERATE ON A REDUCED PRESSURE PRINCIPAL AS PER IRRIGATION LEGEND.

G. CONTROL WIRING

1, CONNECTION BETWEEN THE AUTOMATIC CONTROLLERS AND THE ELECTRIC CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL COPPER WIRE. CONTROL WIRE SHALL BE WHITE WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC VALVE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FIELD SPLICES BETWEEN VALVE AND CONTROLLER WILL NOT BE ALLOWED UNLESS WRITTEN PERMISSION IS OBTAINED FROM OWNER. ALL WIRING

SHALL BE #14 UNLESS SPECIFIED OTHERWISE. WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME

ROUTE AS THE PRESSURE SUPPLY LINE WHENEVER POSSIBLE. WIRING SHALL BE TAPED TOGETHER AT INTERVALS OF TEN FEET.

EXPANSION COILS SHALL BE PROVIDED EVERY 100' OF WIRING.

H. AUTOMATIC CONTROLLER:

1. THE AUTOMATIC CONTROLLER SHALL BE AS NOTED IN IRRIGATION LEGEND

ALL SPLICES SHALL BE MADE WITH 3M WATERPROOF SPLICES OR EQUAL.

I. ELECTRIC CONTROL VALVE:

1. THE ELECTRIC CONTROL VALVE SHALL BE A NORMALLY CLOSED, 24 VOLT, 60

CYCLE VALVE AS NOTED IN IRRIGATION LEGEND. 2. ALL VALVES TO BE AS NOTED IN IRRIGATION LEGEND.

J. CONTROL VALVE BOXES

1. ALL VALVES TO BE IN BROOKS PLASTIC BOXES WITH COVERS, OR EQUAL.

K. DRIPLINE

ALL DRIPLINE SHALL BE AS NOTED IN IRRIGATION LEGEND.

DL2000® SERIES MICROLINE WITH ROOTGUARD® The drip tubing have two opposing discharge ports on each side of the tubing at each emitter. The drip tubing shall be black in color, and consist of nominal-sized, 1/4" polyethylene with an outside diameter (O.D.) of approximately .250" (6.35mm) and an inside diameter (I.D.) of approximately .170" (4.32mm).

The tubing shall have the emitters spaced every ____ (6" or 12") inches and with nominal flow rates of 0.53 gallons per hour (GPH). The emitters shall be continuously self-flushing and non-pressure-compensating.

The drip tubing shall be model number and shall be manufactured by The Toro Company, Irrigation Division, based in Riverside, California, USA.

Performance Specifications

Maximum length of run

T-MCRG-206

19' @ 15 psi (.5m @ 1.03 Bar) - T-MCRG-212

33' @ 15 psi (10m @ 1.03 Bar) L. EQUIPMENT TO BE FURNISHED:

1. SUPPLY AS A PART OF THE CONTRACT THE FOLLOWING:

A. TWO VALVES KEYS FOR GATE VALVES.

QUICK COUPLING VALVE INSTALLED.

B. TWO KEYS FOR EACH AUTOMATIC CONTROLLER. C. TWO QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS, FOR EACH TYPE OF

EXECUTION

A. PRODUCT DELIVERY, STORAGE AND HANDLING:

1. ALL PVC PIPE SHALL BE TRANSPORTED IN A VEHICLE WHICH ALLOWS THE LENGTHS OF PIPE TO LAY FLAT SO AS NOT TO SUBJECT THE PIPE TO BINDING, BENDING, OR CONCENTRATED

EXTERNAL LOADS AT ANY POINT. 2. ANY SECTION OF PIPE THAT HAS BEEN DENTED OR DAMAGED WILL BE DISCARDED AND IF INSTALLED, SHALL BE REPLACED WITH NEW PIPING AT NO ADDITIONAL COST TO THE OWNER. B. LAYOUT:

1. IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE WORK TO BE INSTALLED. DUE TO THE SCALE OF THE DRAWINGS. IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS. FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. ALL SCALED DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE SUBMITTING BID TO OWNER AND PRIOR TO STARTING ANY WORK

EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS WORK OR NEGLECT. CHECK EXISTING UTILITIES DRAWINGS, CIVIL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR NEW AND EXISTING UTILITY LOCATIONS BEFORE ANY START OF WORK. 3. PRIOR TO INSTALLATION. THE CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LOCATIONS, VALVES, HEADS AND CONTROLLERS.

C. INSTALLATION:

WATER SUPPLY:

A. CONNECT IRRIGATION SYSTEM TO GATE VALVE OR METER, AS SUPPLIED BY OWNER. CONFIRM WATER SUPPLY BEFORE SUBMITTING BID AND START OF WORK.

ELECTRICAL SUPPLY:

A. CONNECT ELECTRICAL CONNECTIONS FOR AUTOMATIC CONTROLLER TO NEAREST 120 VOLT SOURCE, AS SUPPLIED BY OWNER. CONFIRM LOCATION BEFORE SUBMITTING BID.

TRENCHING

A. DIG TRENCHES STRAIGHT AND TRUE. SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN EVEN GRADE. TRENCHING EXCAVATION SHALL FOLLOW APPROXIMATE LAYOUT AS INDICATED ON PLAN.

B. PROVIDE MINIMUM COVER OF 18" FOR ALL PRESSURE BEARING LINES.

PROVIDE MINIMUM COVER OF 12" FOR ALL LATERAL LINES D. PROVIDE MINIMUM COVER OF 18" FOR ALL CONTROL WIRING.

BACK FILLING:

TRENCHES SHALL NOT BE BACK FILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED TRENCHES SHALL BE CAREFULLY BACK FILLED WITH THE EXCAVATED MATERIAL, FREE FROM LARGE CLODS OF EARTH OR STONES EXCEEDING 1/2" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.

B. FLOODING OF TRENCHES SHALL NOT BE PERMITTED. C. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENT IN PIPE, VALVES, SPRINKLER HEADS, LAWNS, PLANTING, ETC., ARE NECESSARY, THE CONTRACTOR SHALL

MAKE ALL REQUIRED ADJUSTMENTS, AT ON COST TO THE OWNER

TRENCHING AND BACK FILLING UNDER PAVING:

TRENCHES LOCATED UNDER AREAS OF PAVING, ASPHALT, CONCRETE OR FOUNDATIONS SHALL BE BACK FILLED WITH SAND, 6" MINIMUM BELOW PIPE AND 3" MINIMUM ABOVE PIPE. FIELD COMPACT TO 95% COMPACTED. ALL TRENCHES SHALL BE LEFT FLUSH WITH ADJOINING GRADE. CONTRACTOR SHALL SET IN PLACE ALL PIPING

AND CAP AS REQUIRED, AND PRESSURE TEST ALL PIPING PRIOR TO PAVING. B. WHERE ANY CUTTING OR BREAKING OF CONCRETE OR PAVING IS NECESSARY, IT SHALL BE DONE AND REPLACED BY THE CONTRACTOR AS PART OF CONTRACT COST. PERMISSION TO CUT OR BREAK CONCRETE OR PAVING SHALL BE OBTAINED FROM THE OWNER, IN WRITING, PRIOR TO WORK.

LINE CLEARANCE:

A. ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM LINES OF OTHER TRADES. PARALLEL IRRIGATION LINES SHALL NOT BE INSTALLED DIRECTLY OVER EACH OTHER.

INSTALL PER MANUFACTURER'S SPECIFICATIONS. REMOTE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE, AS PER PLAN.

8. HIGH VOLTAGE WIRING FOR AUTOMATIC CONTROLLER:

A. 120 VOLT POWER CONNECTION TO AUTOMATIC CONTROLLER SHALL BE PROVIDED

B. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL, CITY AND COUNTY CODE. 9. REMOTE CONTROL VALVES:

AUTOMATIC CONTROLLER:

A. INSTALL PER PLAN AND IRRIGATION DETAILS. WHEN VALVES ARE GROUPED TOGETHER ALLOW AT LEAST TWELVE INCHES BETWEEN VALVES. INSTALL EACH CONTROL VALVE IN A SEPARATE VALVE BOX.

10. IRRIGATION HEADS:

INSTALL IRRIGATION HEADS AS PER PLAN AND IRRIGATION DETAILS. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON DRAWINGS. CONTRACTOR TO PROVIDE FULL COVERAGE IN ALL PLANTED AREAS, WITH A MINIMUM OF OVER SPRAY.

A. AFTER ALL IRRIGATION LINES AND RISERS ARE IN PLACE AND FULLY CONNECTED,

PRIOR TO INSTALLATION OF IRRIGATION HEADS, THE CONTROL VALVES SHALL BE OPENED AND SYSTEM FULLY FLUSHED.

IRRIGATION HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN COMPLETED AND INSPECTED BY OWNER OR OWNER'S AGENT.

11. FLUSHING OF IRRIGATION SYSTEM:

12. ADJUSTMENT OF IRRIGATION SYSTEM:

A. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL IRRIGATION HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON WALKS, ROADWAYS AND BUILDINGS. B. IF IT IS DETERMINED THAT ADJUSTMENTS OF THE IRRIGATION EQUIPMENT WILL PROVIDE MORE ADEQUATE COVERAGE, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS PRIOR TO PLANTING. ADJUSTMENTS MAY ALSO INCLUDE CHANGES IN NOZZLE SIZES

AND DEGREES OF ARC AS REQUIRED, AT NO ADDITIONAL COST TO OWNER.

ALL IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADES UNLESS

OTHERWISE INDICATED ON PLAN. 13. TESTING, MAINTENANCE AND GUARANTEES

A. TEST ALL PRESSURE LINES AND ALL PIPING UNDER PAVING WITH HYDROSTATIC PRESSURE OF 150 PSI FOR 24 HOURS. AFTER TESTING, IF LEAKS DEVELOP, REPLACE JOINTS, PIPE, ETC., AS REQUIRED AND RETEST AT NO ADDITIONAL COST TO OWNER.

B. WHEN IRRIGATION SYSTEM IS COMPLETED, PERFORM TEST COVERAGE IN PRESENCE OF OWNER. AREAS THAT ARE NOT FULLY COVERED SHALL BE ADJUSTED AS REQUIRED UNTIL FULL COVERAGE IS OBTAINED, AT NO ADDITIONAL COST TO OWNER. MAINTENANCE PERIOD FOR IRRIGATION SYSTEM SHALL BE 60 DAYS FROM DATE OF ACCEPTANCE.

D. CONTRACTOR SHALL GUARANTEE IRRIGATION SYSTEM AND EQUIPMENT FOR A PERIOD OF ONE

CALENDAR YEAR FROM DATE OF ACCEPTANCE BY OWNER.

THOMAS H. KOCH LANDSCAPE ARCHITECT

26482 Elmcrest Way Lake Forest, CA 92630 CA License 3602 (949) 348-9150 AZ Registration 33915 thk@cox.net

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OCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT TH PRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVA COMMEN

DOCUMENT

PRELIMINARY SITE

PLANS

FOR MCDONALDS AT

LOS GATOS, CA SITE LOCATION 15475 LOS GATOS

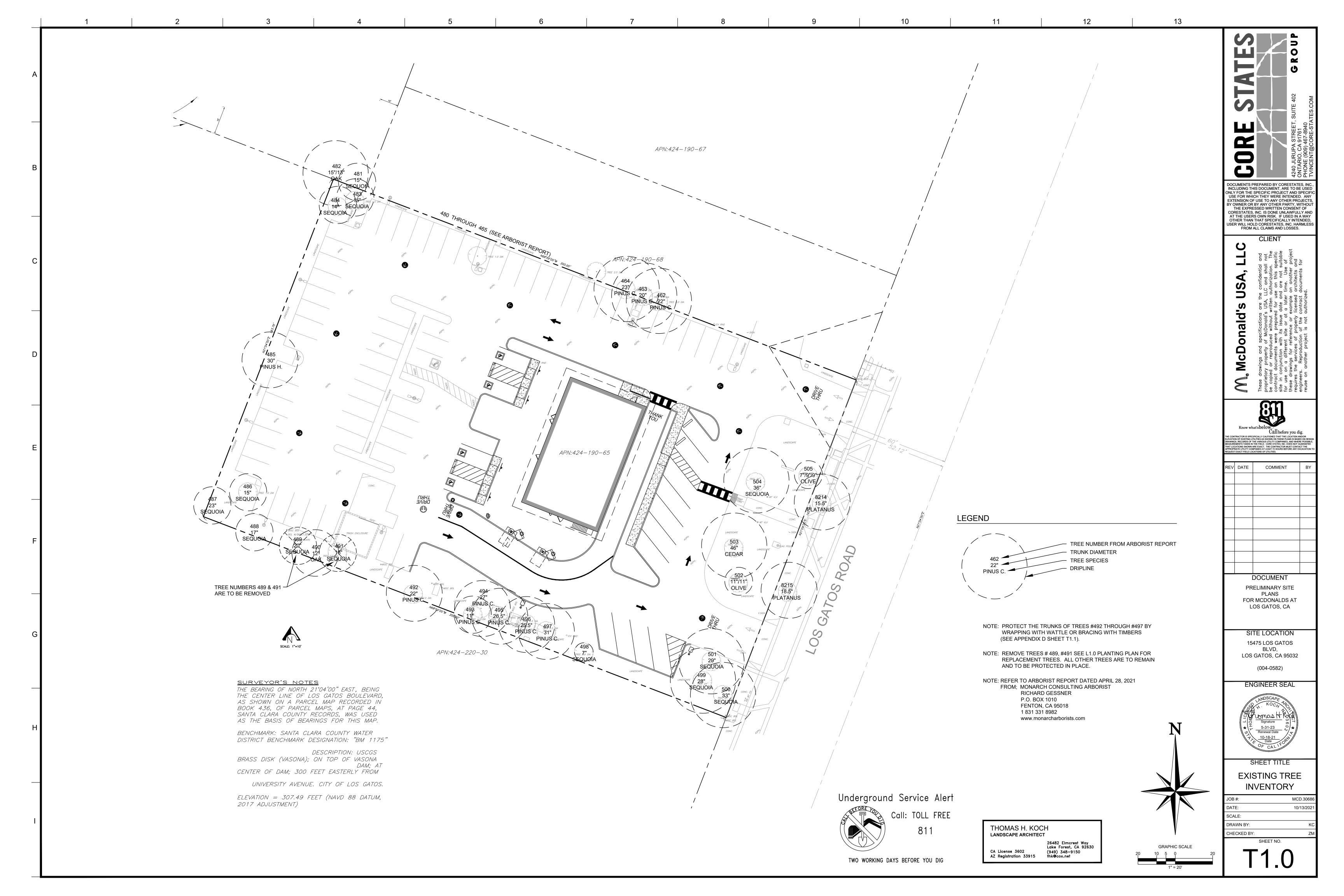
(004-0582)**ENGINEER SEAL** omas H Kotal

BLVD,

LOS GATOS, CA 95032

SHEET TITLE **SPECIFICATIONS**

MCD.3068 SCALE: DRAWN BY: CHECKED BY: SHEET NO.



Appendix D: Tree Protection Guidelines D1: Plan Sheet Detail S-X (Type I) performed by a qualified arborist with a (TPZ) may vary in radius from the trunk and may or the drip line distance. See arborist's report and specifications of TPZ Practices parts 1 through 10 and adhere **Appendix E: Tree Protection Signs** according to ISA Best Management E1: English foot high chain link diameter galvanized Warning plastic spaced every 50' along the Minimun thick mulch layer **Tree Protection Zone** This Fence Shall Not Be Removed D2: Plan Sheet Detail S-Y (Type III) And Is Subject To Penalty According To Town Code 29.10.1025 E2: Spanish Cuidado Zona De Arbol Pretejido S-Y TRUNK PROTECTION WITH WATTLE TREE PROTECTION

Esta valla no podrán ser sacados Y está sujeta a sanción en función de Código Ciudad del 29.101025

> NOTE: REFER TO ARBORIST REPORT DATED APRIL 28, 2021 FROM; MONARCH CONSULTING ARBORIST RICHARD GESSNER P.O. BOX 1010 FENTON, CA 95018 1 831 331 8982 www.monarcharborists.com

IMAGE 2: BRACING WITH TIMBERS

D3: Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

- . Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- 2. Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- 4. Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning —Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

Underground Service Alert



Call: TOLL FREE

TWO WORKING DAYS BEFORE YOU DIG

THOMAS H. KOCH LANDSCAPE ARCHITECT

> 26482 Elmcrest Way Lake Forest, CA 92630 CA License 3602 (949) 348-9150 thk@cox.net AZ Registration 33915

DOCUMENT PRELIMINARY SITE FOR MCDONALDS AT LOS GATOS, CA SITE LOCATION 15475 LOS GATOS BLVD, LOS GATOS, CA 95032 (004-0582)**ENGINEER SEAL** TREE NOTES & DETAILS SCALE: RAWN BY: CHECKED BY:

ONLY FOR THE SPECIFIC PROJECT AND SPEC