



ARTIST CONCEPTION. PLEASE SEE PLANS FOR PROJECT SPECIFICATIONS.

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DEVELOPER

SUMMERHILL HOMES LLC
3000 EXECUTIVE PARKWAY, SUITE 450
SAN RAMON, CA 94583
PH: (925) 244-7500

JOHN HICKEY
JHickey@shhomes.com

JARED BROTMAN
jbrotman@shhomes.com
(650) 842-2421

ARCHITECT

SDG ARCHITECTS, INC.
3361 WALNUT BLVD., SUITE 120
BRENTWOOD, CA 94513
PH: (925) 634-7000

JENNIFER MASTRO
jmastro@sdgarchitectsinc.com

CIVIL ENGINEER

CARLSON BARBEE & GIBSON
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
PH: (925) 866-0322

RYAN HANSEN
rhansen@cbandg.com

LANDSCAPE ARCHITECT

Van Dorn Abed, Landscape Architects, Inc.
81 14th STREET
SAN FRANCISCO, CA 94103
PH: (415) 864-1921

ZEKI ABED
Zeki@valainc.com

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NOTE:

THIS MULTI-FAMILY RESIDENTIAL PROJECT WILL COMPLY WITH THE TOWN'S ALL ELECTRIC CONSTRUCTION REQUIREMENTS OF TOWN CODE SECTION 6.120.070.

NOTE:

THIS PROJECT IS NOT PUBLIC HOUSING, AS DEFINED BY CBC CHAPTER 2.

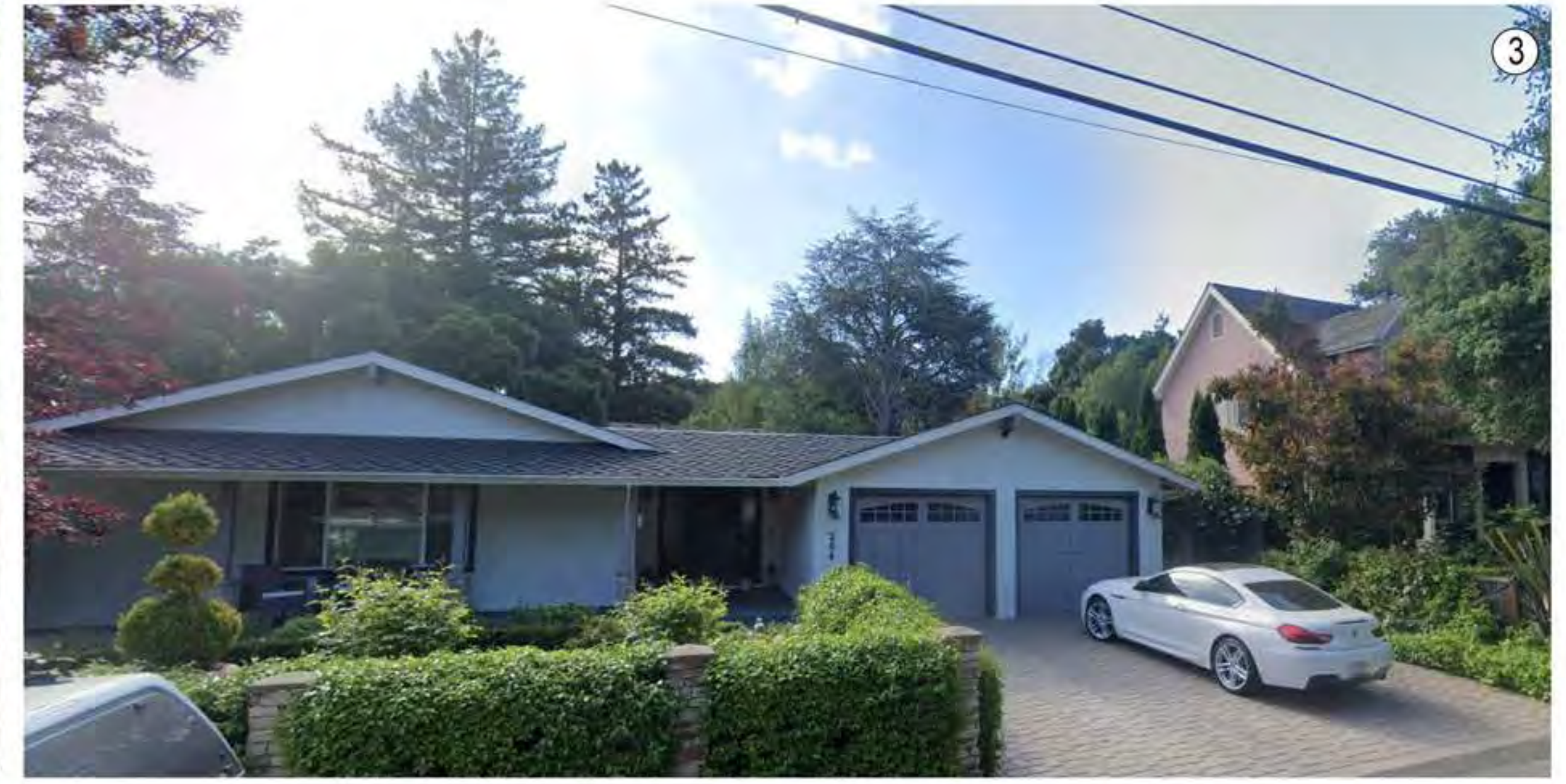
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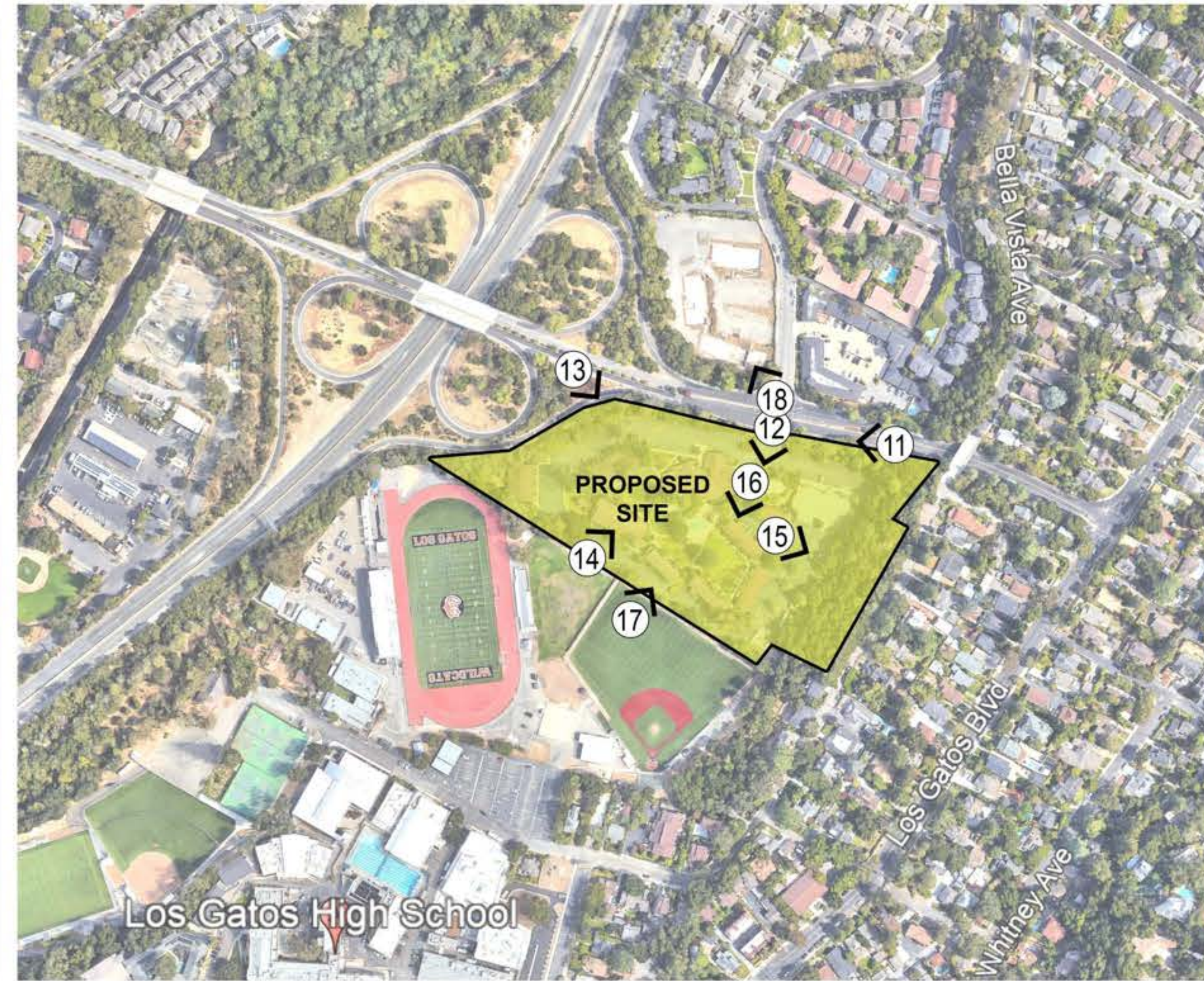
NEIGHBORHOOD CONTEXT
 A02





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EXISTING SITE & SURROUNDING CONTEXT
A04



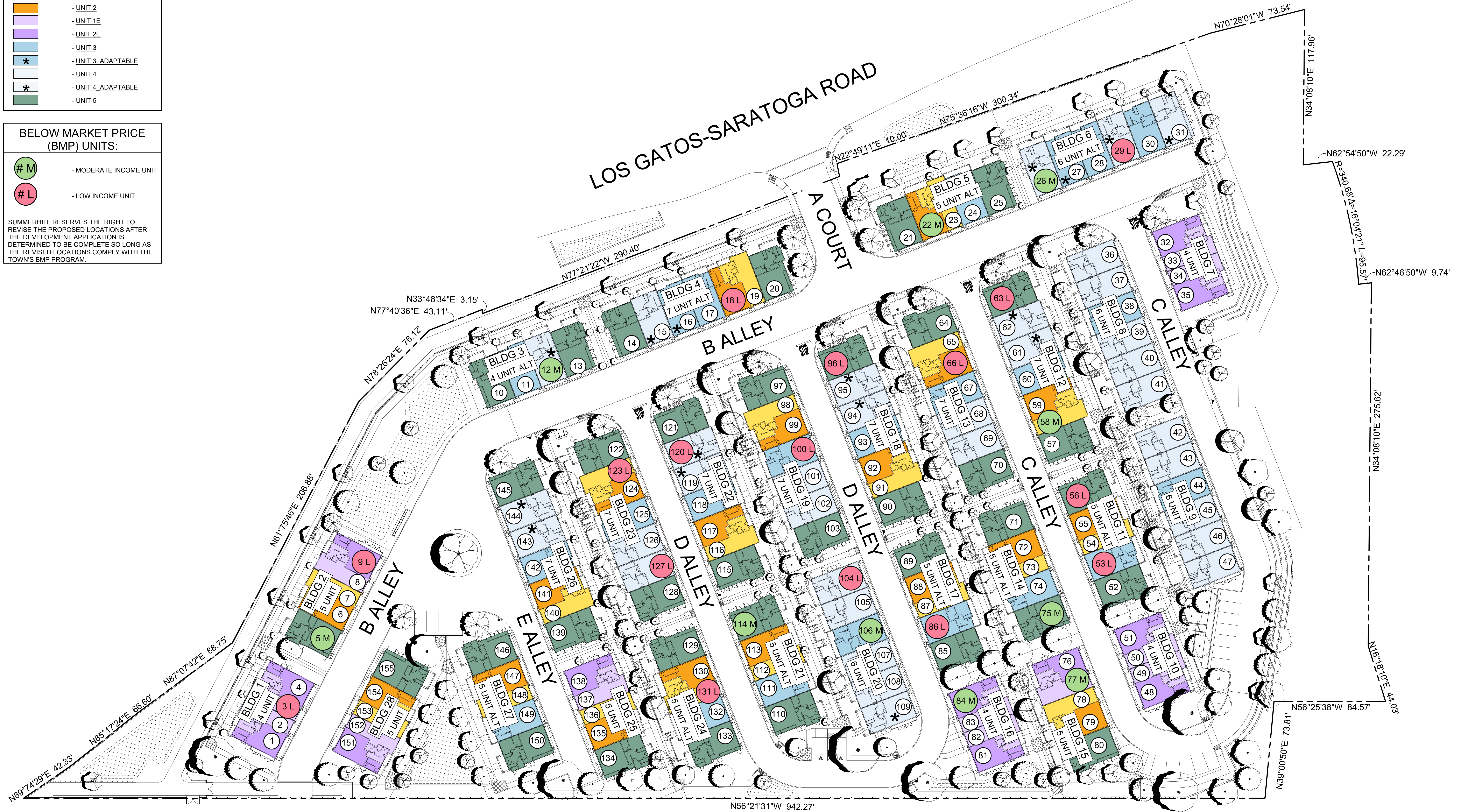
SITE KEY:

#	- UNIT NUMBER
[Yellow Box]	- UNIT 1
[Orange Box]	- UNIT 2
[Light Blue Box]	- UNIT 1E
[Purple Box]	- UNIT 2E
[Light Green Box]	- UNIT 3
[Blue Box with *]	- UNIT 3 ADAPTABLE
[White Box]	- UNIT 4
[White Box with *]	- UNIT 4 ADAPTABLE
[Dark Green Box]	- UNIT 5

BELOW MARKET PRICE (BMP) UNITS:

# M	- MODERATE INCOME UNIT
# L	- LOW INCOME UNIT

SUMMERHILL RESERVES THE RIGHT TO REVISE THE PROPOSED LOCATIONS AFTER THE DEVELOPMENT APPLICATION IS DETERMINED TO BE COMPLETE SO LONG AS THE REVISED LOCATIONS COMPLY WITH THE TOWN'S BMP PROGRAM.



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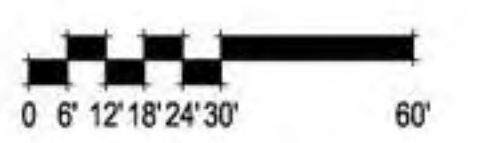
SCALE: 1" = 30'-0"
 0' 15' 30' 60' 90'

RENDERED SITE PLAN
 A05.1



SITE KEY:

	WALKWAY
	PUBLIC SIDEWALK
	VEHICLE CIRCULATION
	PUBLIC ACCESS EASEMENT



CIRCULATION PLAN
A06

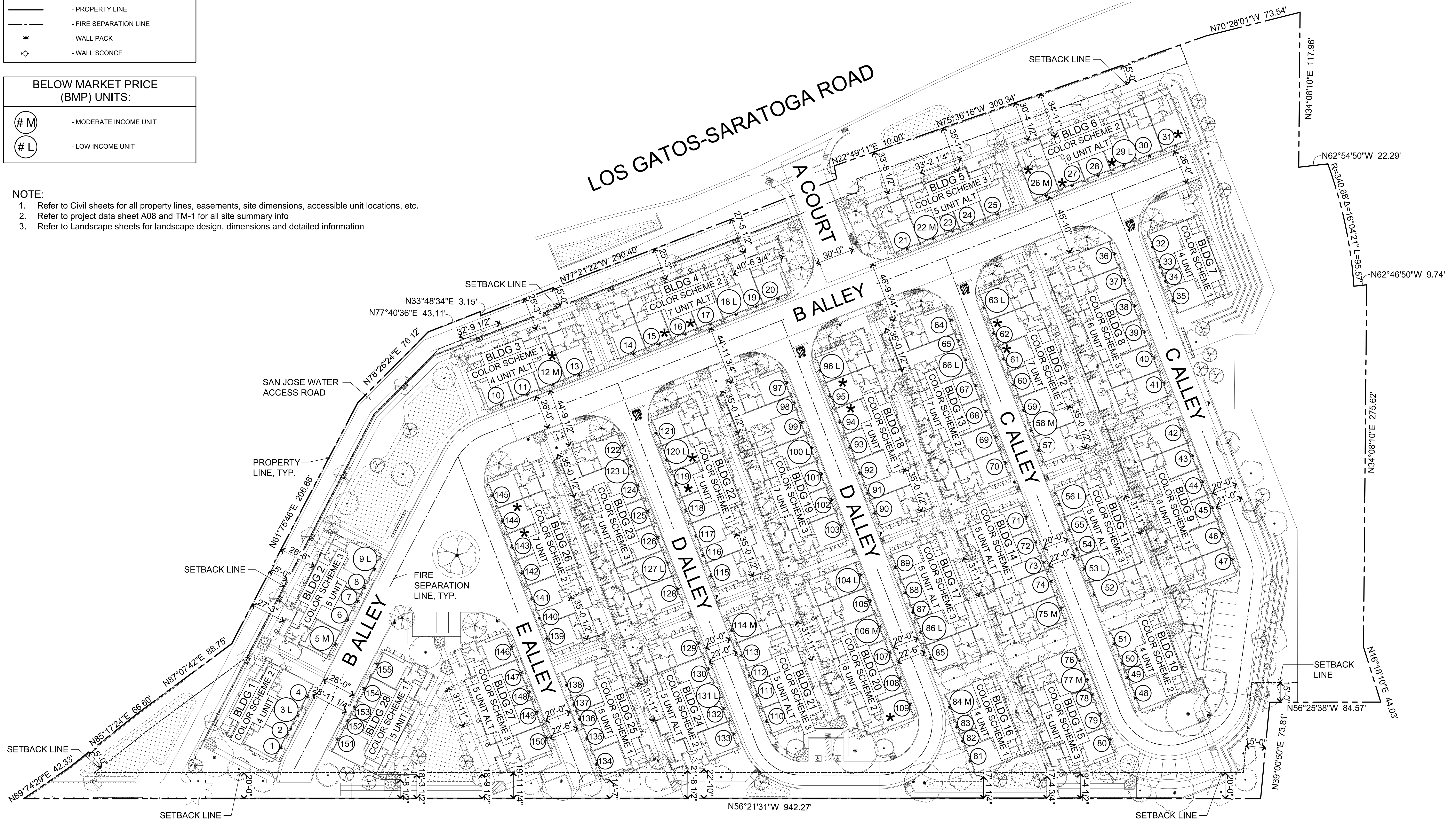
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November 15, 2024

SITE KEY:	
#	- UNIT NUMBER
*	- ADAPTABLE 'ADP' UNITS (12 TOTAL)
---	- PROPERTY LINE
- - -	- FIRE SEPARATION LINE
⬤	- WALL PACK
⊕	- WALL SCIENCE

BELOW MARKET PRICE (BMP) UNITS:	
# M	- MODERATE INCOME UNIT
# L	- LOW INCOME UNIT

NOTE:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A08 and TM-1 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information



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SITE INFORMATION

APN:	529-024-003; 529-24-032; 529-24-001	
SITE AREA (gross):	8.82 ACRES (384,221 SF)	
SITE AREA (net):	384,221 SF (Gross Site Area) - 70,725 SF (Private Street Area - including parking spaces) = 36,317 SF (Designated Remainder) = 6.36 ACRES / 277,179 SF (net site area)	
PROPOSED NUMBER OF UNITS:	155 UNITS	
DENSITY RANGE (CH Zone)	10-20 DU/AC	
DENSITY (net) - Proposed	20.28 DU/AC (155 total units less 26 BMP units = 129 units) / 6.36 Acres Net	
	NOTE: For reference, density is calculated per Housing Element	

GENERAL PLAN & ZONING DESIGNATIONS

	Existing/Allowed	Proposed
GENERAL PLAN:	Mixed Use Commercial	No Change
ZONING:	Highway Commercial (CH)	No Change

SETBACKS

	Required	Proposed
FRONT:	15'	15'
SIDE (abutting a street)	15'	15'
SIDE (interior)	none required	varies across site plan - see Architectural and Civil Site Plans
Additional Yard Setbacks (below) applying to those property lines of a lot in the Highway Commercial (CH) zone which abut or are across the street from a lot in a residential zone.		
	Required	Proposed
Front	25' *	25'
Side	15' *	15'
Rear	20' *	20'

*plus 1' for each foot in excess of 20' height

SITE COVERAGE

	Required / Allowed	Proposed
SITE COVERAGE:	50% Maximum	46.6% = (Buildings: 129,165 SF**) divided by Net Site Area: 277,179 SF)
COMMUNITY RECREATION SPACE:	100 SF per Unit Minimum = (15,500 SF)	17,700 SF
PRIVATE OPEN SPACE:	200 SF per Unit Minimum = (31,000 SF)	162 SF average per unit (25,110 SF) *

* Waiver or reduction of Development Standards requested pursuant to Gov. Code sec. 65915(e).
** See Sheet A09 for Lot Coverage diagrams and calculations.

PARKING

Parking requirements pursuant to Gov. Code Sec. 65915(p).		
	Required	Proposed
RESIDENTIAL SPACES:	1.5 spaces per two (2) or three (3) bedroom unit = 128 spaces 2.5 spaces per four (4) bedroom unit = 175 spaces = 303 total spaces required (tandem spaces are allowed)	31 (tandem garage spaces) 279 (standard garage spaces) TOTAL = 310 spaces
GUEST SPACES:	No additional spaces required	Standard: 11 spaces EV Charging: 8 spaces ADA: 1 space TOTAL: 20 spaces Note: Two (2) ADA spaces are provided, one (1) of which is for EV charging
TOTAL PARKING SPACES:	303 spaces	310 residential spaces (covered) 20 guest spaces (uncovered) 330 spaces (total)
SHORT TERM BIKE PARKING SPACES:	155 spaces *	16 spaces (8 bike racks)

* Waiver or reduction of Development Standards requested pursuant to Gov. Code sec. 65915(e).

BUILDING HEIGHT

	Maximum	Proposed
HEIGHT:	35' (CH zone)	3 stories; Main Ridge Maximum Height = 37'-4 1/2" *

* Waiver or reduction of Development Standards requested pursuant to Gov. Code Sec. 65915(e).

BUILDING CODE SUMMARY

CODE REFERENCES:	2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA BUILDING CODE (CBC) CHAPTER 11A SECTION 1102A.3 (for accessible route provisions for Multistory Dwellings). 2022 CALIFORNIA FIRE CODE (CFC), as adopted by the TOWN OF LOS GATOS CODE (LGTC), CALIFORNIA CODE OF REGULATIONS (CCR), AND HEALTH & SAFETY CODE.
OCCUPANCY:	R2 PER 2022 CBC
FIRE SPRINKLER SYSTEM:	NFPA 13
TYPE OF CONSTRUCTION:	VB NON-RATED
ALLOWABLE HEIGHT:	3 STORIES
ACCESSIBILITY:	PER 2022 CBC, CHAPTER 11A

BELOW MARKET PRICE (BMP) SUMMARY

BMP UNITS REQUIRED:	26
BMP UNITS PROPOSED:	16 Low Income Household Units 10 Moderate Income Household Units 26 Total Below Market Price Units

These units are made affordable in accordance with the Town's Below Market Price Housing Program Guidelines.

NOTE:
BMP units will be provided proportionately in the same unit type mix as the market rate units and the units will be dispersed throughout the development, to the extent feasible.

NOTE:
BMP units will be constructed and eligible for occupancy at a rate approximately proportional to the market rate units. Summerhill homes will submit a phasing plan for the BMP units prior to issuance of building permits. All units, market rate, and BMP will be sold to homebuyers.



SUMMERHILL SALES CALCULATION

NOTE:

AREA CALCULATIONS PER SUMMERHILL HOMES SALES METHOD ARE TAKEN TO OUTSIDE FACE OF WALL STUD

UNIT TYPES AND SIZES									
Unit Name	Description	Garage Type	Quantity	%	Unit Net SF*	Garage SF (1,000 sf Max)	Unit Gross SF**	Porch/Deck SF	Total Net Living Space SF
Unit 1	3 Bedroom + 2.5 Bath	2-Car Tandem	19	12.3%	1,345	500	1,845	67 - 72	25,555
Unit 1E	3 Bedroom + 2.5 Bath	2-Car Tandem	12	7.7%	1,339	500	1,839	72	16,068
Unit 2	2 Bedroom + 2.5 Bath	Std 2 Car	19	12.3%	1,527	473	2,000	59 - 77	29,013
Unit 2E	3 Bedroom + 2.5 Bath	Std 2 Car	12	7.7%	1,523	485	2,008	59	18,276
Unit 3	3 Bedroom + 3.5 Bath	Std 2 Car	23	14.8%	1,941	480	2,421	223 - 288	44,643
Unit 4	4 Bedroom + 3.5 Bath	Std 2 Car	34	21.9%	1,988	471	2,459	208 - 245	67,592
Unit 5	4 Bedroom + 3.5 Bath	Std 2 Car	36	23.2%	2,260	448	2,708	134 - 390	81,360
Avg. Unit Square Footage					1,823	474	2,297		
Total Units			155	100.0%					282,507
Garage % Tandem				10.0					

*Net SF: Measured to outside face of stud, excludes garage area, deck and porches. Includes center line of air gap at unit party walls.
 **Gross SF: Measured to outside face of stud, includes garage area. Includes air gap per unit.

BUILDING CONFIGURATIONS AND SIZES														
	Units	Net Living Space SF (per Bldg)	Garage SF (per Bldg)	Gross SF (per Bldg)	Porch SF (per Bldg)	Deck SF (per Bldg)	Gross SF (per Bldg) with Porches/Decks	Number of Buildings	Total Net Living Space SF	Total Garage SF	Total Gross SF	Total Porch SF	Total Deck SF	Total Gross SF with Porches/Decks
4 Unit Bldg	2E-1E-1E-2E	5,724	1,970	7,694	134	128	7,956	4	22,896	7,880	30,776	536	512	31,824
4 Unit Bldg-ALT	5-4-3-5	8,449	1,847	10,296	308	391	10,995	1	8,449	1,847	10,296	308	391	10,995
5 Unit Bldg	2E-1E-1-2-5	7,994	2,406	10,400	208	188	10,796	4	31,976	9,624	41,600	832	752	43,184
5 Unit Bldg-ALT	5-3-1-2-5	9,333	2,349	11,682	332	317	12,331	6	55,998	14,094	70,092	1,992	1,902	73,986
5 Unit Bldg-ALT WRAPPED PORCH	5-3-1-2-5	NO CHANGE FROM BLDG 5 ALT	NO CHANGE FROM BLDG 5 ALT	NO CHANGE FROM BLDG 5 ALT	418	393	12,493	1	9,333	2,349	11,682	418	393	12,493
6 Unit Bldg	4-4-3-4-4-4	11,881	2,835	14,716	505	833	16,054	2	23,762	5,670	29,432	1,010	1,666	32,108
6 Unit Bldg WRAPPED PORCH	4-4-3-4-4-4	NO CHANGE FROM BLDG 6	NO CHANGE FROM BLDG 6	NO CHANGE FROM BLDG 6	562	889	1,451	1	11,881	2,835	14,716	562	889	16,167
6 Unit Bldg-ALT	4-3-3-4-3-4	11,787	2,853	14,640	552	883	16,075	1	11,787	2,853	14,640	552	883	16,075
7 Unit Bldg	5-1-2-3-4-4-5	13,309	3,291	16,600	448	592	17,640	2	26,618	6,582	33,200	896	1,184	35,280
7 Unit Bldg WRAPPED PORCH 'A'	5-1-2-3-4-4-5	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	534	668	1,202	3	39,927	9,873	49,800	1,602	2,004	53,406
7 Unit Bldg WRAPPED PORCH 'B'	5-1-2-3-4-4-5	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	583	713	1,296	2	26,618	6,582	33,200	1,166	1,426	35,792
7 Unit Bldg-ALT	5-1-2-3-3-4-5	13,262	3,300	16,562	611	752	17,925	1	13,262	3,300	16,562	611	752	17,925
Totals								28	282,507	73,489	355,996	10,485	12,754	379,235

TOWN CODE CALCULATION

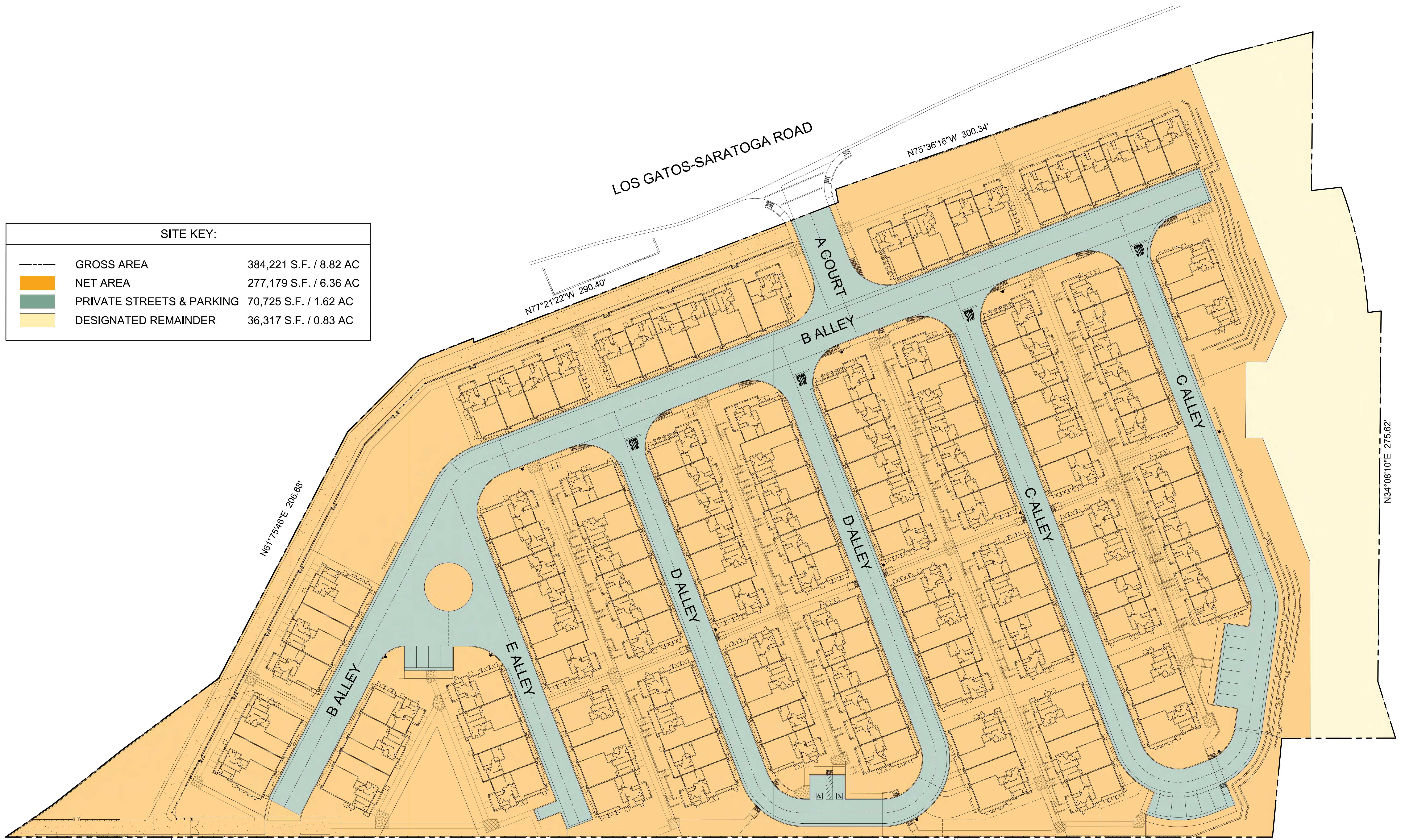
NOTE:

AREA CALCULATIONS PER TOWN CODE METHOD ARE TAKEN TO OUTSIDE FACE OF EXTERIOR WALL FINISH

UNIT TYPES AND SIZES									
Unit Name	Description	Garage Type	Quantity	%	Unit Net SF*	Garage SF (1,000 sf Max)	Unit Gross SF**	Porch/Deck SF	Total Net Living Space SF
Unit 1	3 Bedroom + 2.5 Bath	2-Car Tandem	19	12.3%	1,366	505	1,871	74 - 77	25,954
Unit 1E	3 Bedroom + 2.5 Bath	2-Car Tandem	12	7.7%	1,405	505	1,910	61	16,860
Unit 2	2 Bedroom + 2.5 Bath	Std 2 Car	19	12.3%	1,606	478	2,084	62 - 83	30,514
Unit 2E	3 Bedroom + 2.5 Bath	Std 2 Car	12	7.7%	1,615	493	2,108	74	19,380
Unit 3	3 Bedroom + 3.5 Bath	Std 2 Car	23	14.8%	1,944	490	2,434	241 - 306	44,712
Unit 4	4 Bedroom + 3.5 Bath	Std 2 Car	34	21.9%	2,047	477	2,524	222 - 266	69,598
Unit 5	4 Bedroom + 3.5 Bath	Std 2 Car	36	23.2%	2,342	495	2,837	149 - 424	84,312
Avg. Unit Square Footage					1,880	490	2,370		
Total Units			155	87.7%					291,330
Garage % Tandem		10.0							

*Net SF: Measured to outside face of exterior finish, excludes garage area, deck and porches. Includes air gap per unit
 **Gross SF: Measured to outside face of exterior finish, includes garage area. Includes air gap per unit.
 ***Gross SF: Includes utility cabinet area.

BUILDING CONFIGURATIONS AND SIZES														
	Units	Net Living Space SF (per Bldg)	Garage SF (per Bldg)	Gross SF (per Bldg)	Porch SF (per Bldg)	Deck SF (per Bldg)	Gross SF (per Bldg) with Porches/Decks	Number of Buildings	Total Net Living Space SF	Total Garage SF	Total Gross SF	Total Porch SF	Total Deck SF	Total Gross SF with Porches/Decks
4 Unit Bldg	2E-1E-1E-2E	6,040	1,996	8,036	137	135	8,308	4	24,160	7,984	32,144	548	540	33,232
4 Unit Bldg-ALT	5-4-3-5	8,675	1,957	10,632	317	455	11,404	1	8,675	1,957	10,632	317	455	11,404
5 Unit Bldg	2E-1E-1-2-5	8,334	2,476	10,810	213	207	11,230	4	33,336	9,904	43,240	852	828	44,920
5 Unit Bldg-ALT	5-3-1-2-5	9,600	2,463	12,063	347	378	12,788	6	57,600	14,778	72,378	2,082	2,268	76,728
5 Unit Bldg-ALT WRAPPED PORCH	5-3-1-2-5	NO CHANGE FROM BLDG 5 ALT	NO CHANGE FROM BLDG 5 ALT	NO CHANGE FROM BLDG 5 ALT	432	466	898	1	9,600	2,463	12,063	432	466	12,961
6 Unit Bldg	4-4-3-4-4-4	12,179	2,875	15,054	518	926	16,498	2	24,358	5,750	30,108	1,036	1,852	32,996
6 Unit Bldg WRAPPED PORCH	4-4-3-4-4-4	NO CHANGE FROM BLDG 6	NO CHANGE FROM BLDG 6	NO CHANGE FROM BLDG 6	576	984	1,560	1	12,179	2,875	15,054	576	984	16,614
6 Unit Bldg-ALT	4-3-3-4-3-4	11,973	2,901	14,874	554	825	16,253	1	11,973	2,901	14,874	554	825	16,253
7 Unit Bldg	5-1-2-3-4-4-5	13,694	3,417	17,111	459	629	18,199	2	27,388	6,834	34,222	918	1,258	36,398
7 Unit Bldg WRAPPED PORCH 'A'	5-1-2-3-4-4-5	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	548	717	1,265	3	41,082	10,251	51,333	1,644	2,151	55,128
7 Unit Bldg WRAPPED PORCH 'B'	5-1-2-3-4-4-5	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	NO CHANGE FROM BLDG 7	597	766	1,363	2	27,388	6,834	34,222	1,194	1,532	36,948
7 Unit Bldg-ALT	5-1-2-3-3-4-5	13,591	3,430	17,021	624	852	18,497	1	13,591	3,430	17,021	624	852	18,497
Totals								28	291,330	75,961	367,291	10,777	14,011	392,079



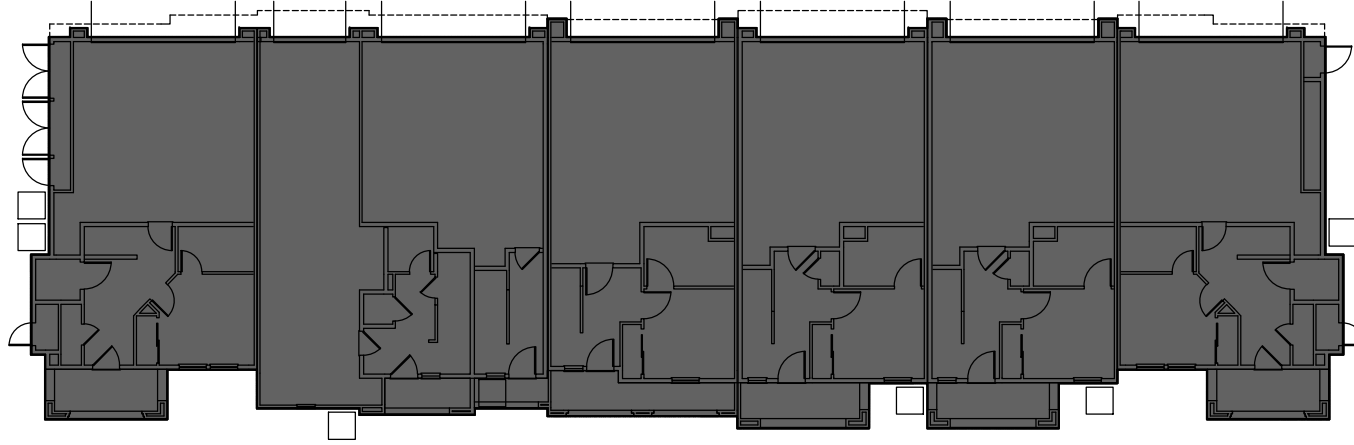
SITE KEY:		
---	GROSS AREA	384,221 S.F. / 8.82 AC
■	NET AREA	277,179 S.F. / 6.36 AC
■	PRIVATE STREETS & PARKING	70,725 S.F. / 1.62 AC
■	DESIGNATED REMAINDER	36,317 S.F. / 0.83 AC

- NOTE:**
1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
 2. Refer to project data sheet A08 and TM-1 for all site summary info
 3. Refer to Landscape sheets for landscape design, dimensions and detailed information

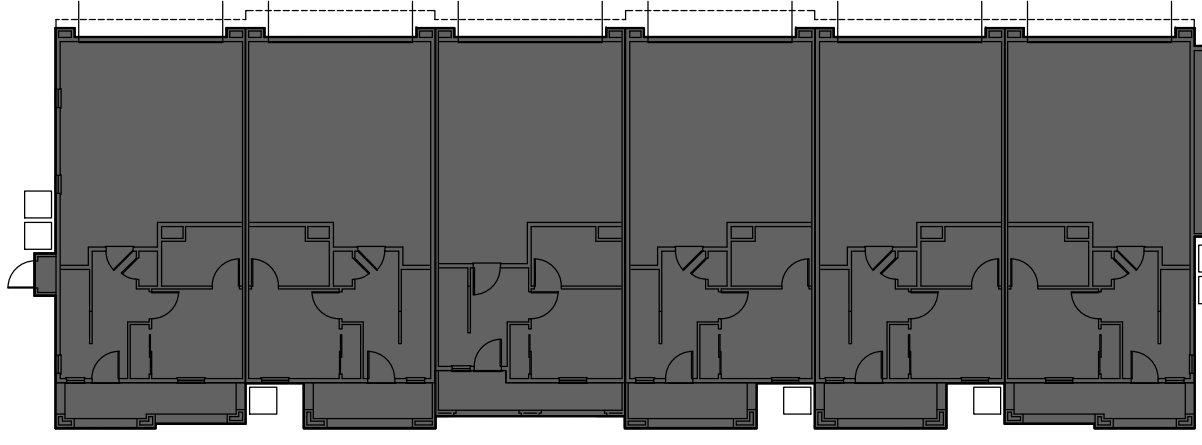


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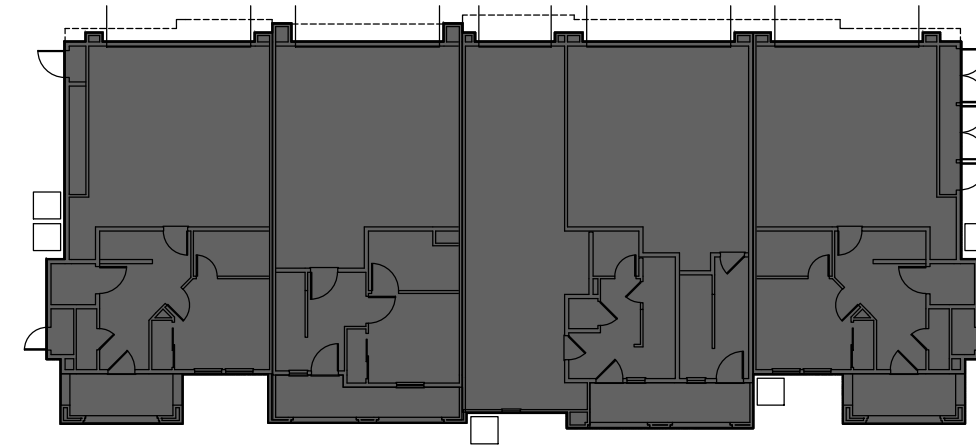
SITE DENSITY DIAGRAM
 A08.3



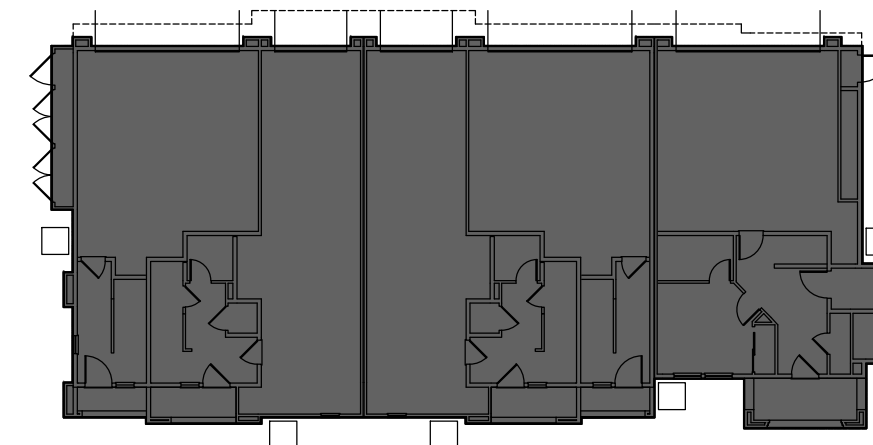
7 UNIT BUILDING
(2 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 5,940.66 SQ. FT. + 5,945.00 SQ. FT. = 11,886 SQ. FT.



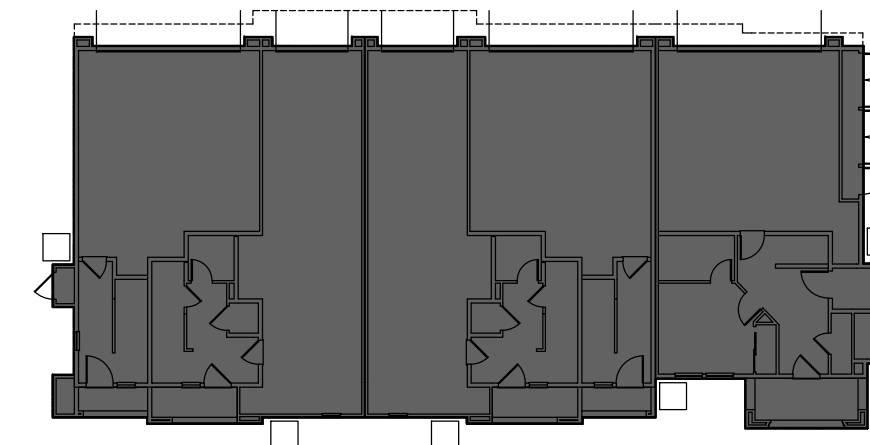
6 UNIT BUILDING
(2 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 5,458.33 SQ. FT. x 2 BUILDINGS = 10,917 SQ. FT.



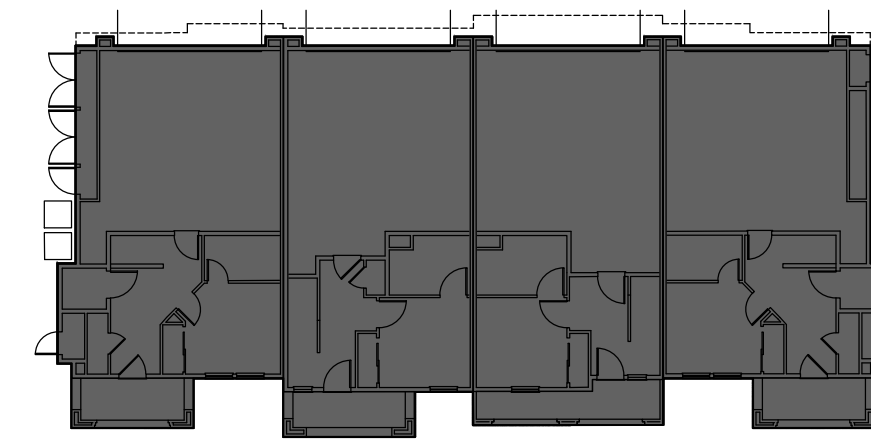
5 UNIT ALT BUILDING
(6 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 4,197.00 SQ. FT. x 6 BUILDINGS = 25,182 SQ. FT.



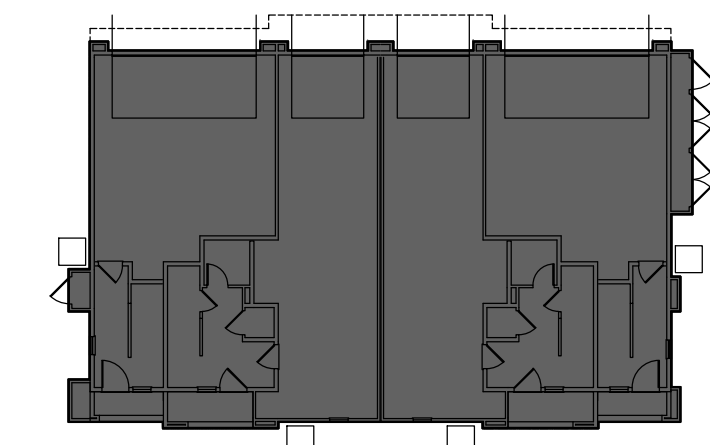
5 UNIT BUILDING
(3 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 3,679.97 SQ. FT. x 3 BUILDINGS = 11,040 SQ. FT.



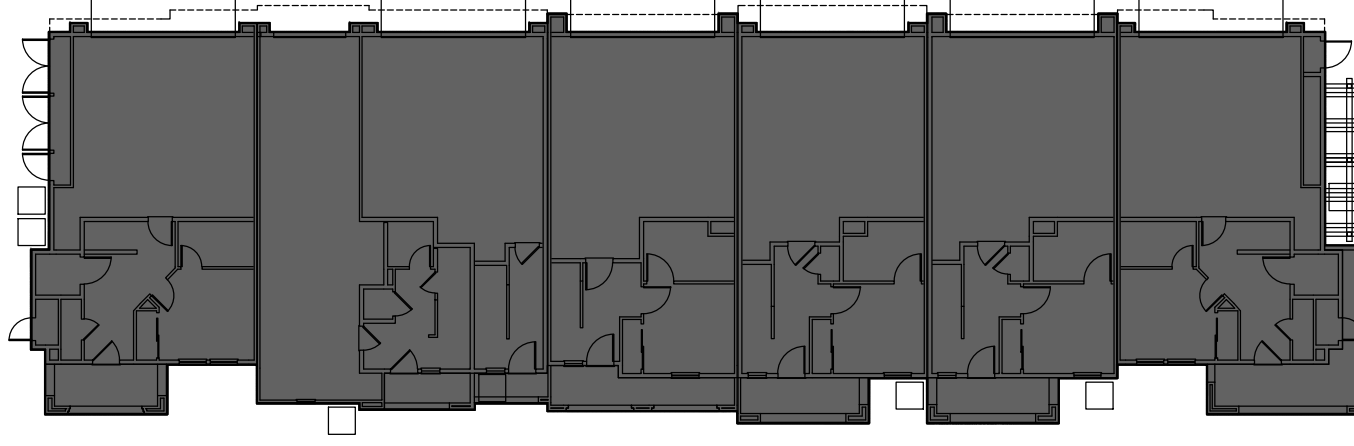
5 UNIT BUILDING @ BLDG 2
(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 3,708.22 SQ. FT. x 1 BUILDING = 3,708 SQ. FT.



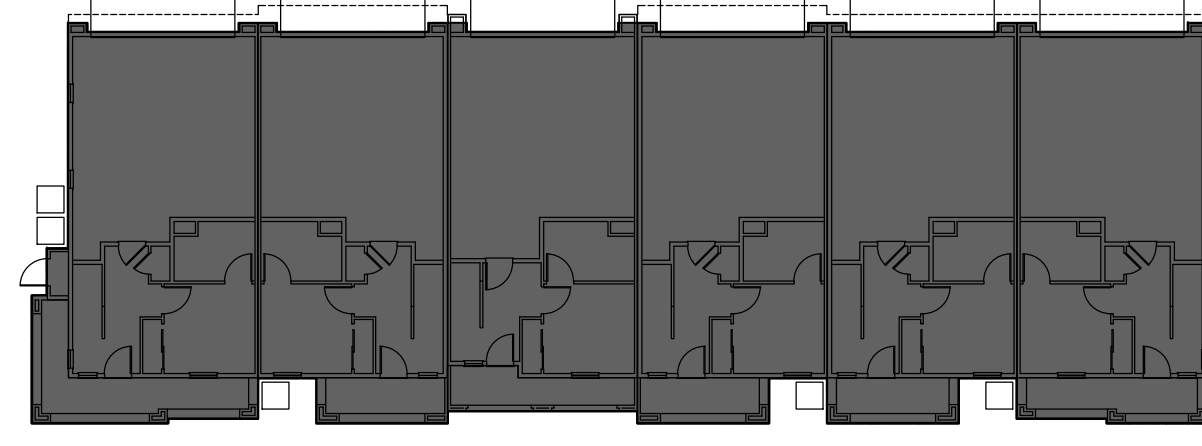
4 UNIT ALT BUILDING
(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 3,697.80 SQ. FT. x 1 BUILDING = 3,698 SQ. FT.



4 UNIT BUILDING
(4 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 2,774.35 SQ. FT. x 4 BUILDINGS = 11,097 SQ. FT.



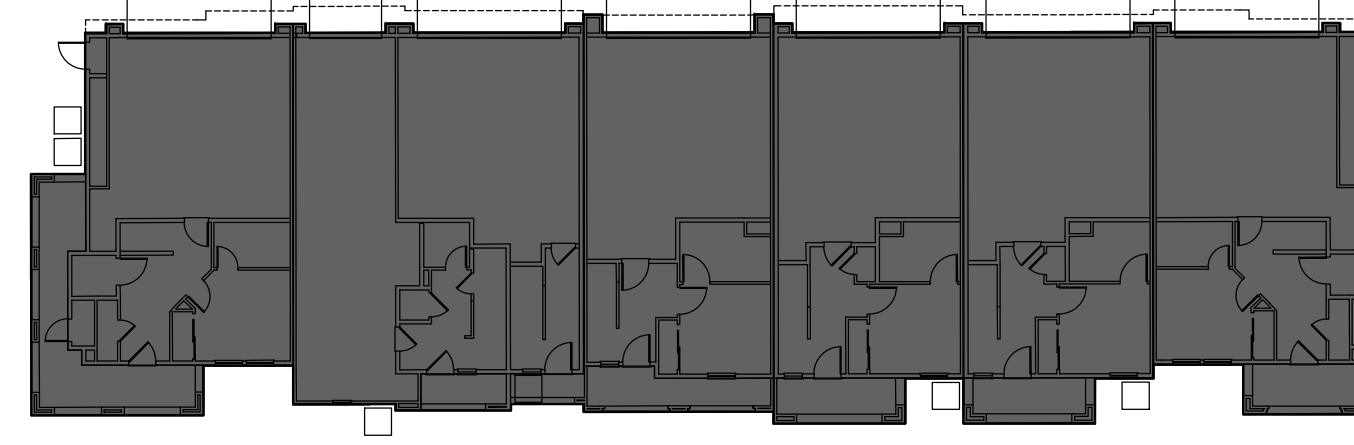
7 UNIT BUILDING WRAPPED PORCH 'A'
(3 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 6,032.13 SQ. FT. x 3 BUILDINGS = 18,097 SQ. FT.



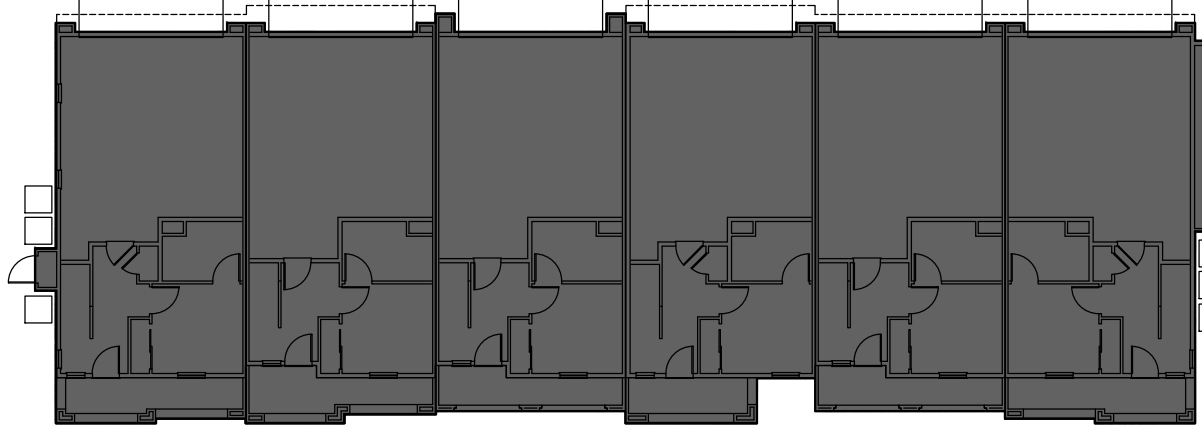
6 UNIT BUILDING-WRAPPED PORCH
(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 5,516.40 SQ. FT. x 1 BUILDING = 5,516 SQ. FT.



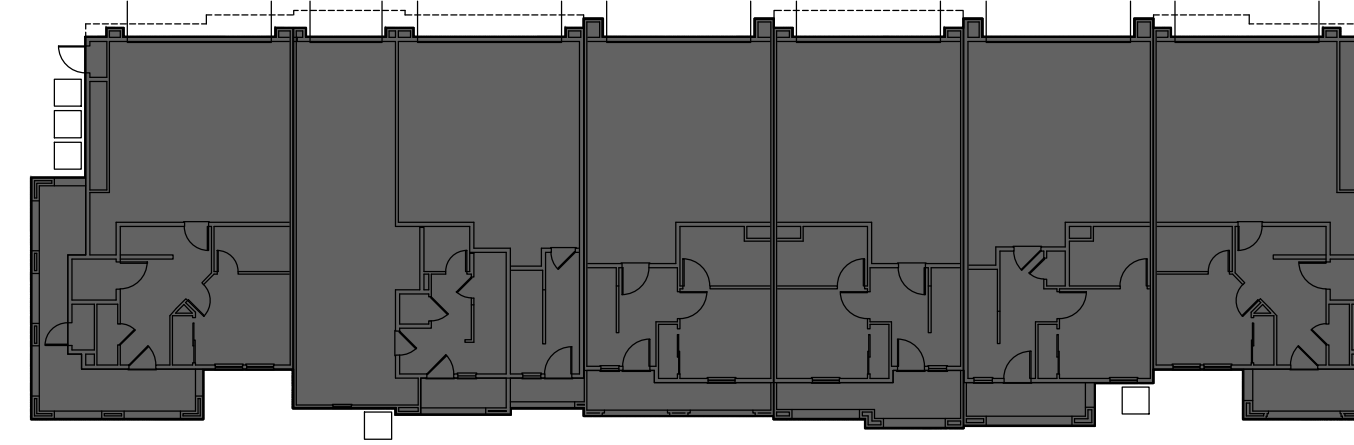
5 UNIT ALT BUILDING-WRAPPED PORCH
(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 4,284.14 SQ. FT. x 1 BUILDING = 4,284 SQ. FT.



7 UNIT BUILDING WRAPPED PORCH 'B'
(2 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 6,076.17 SQ. FT. x 2 BUILDINGS = 12,152 SQ. FT.

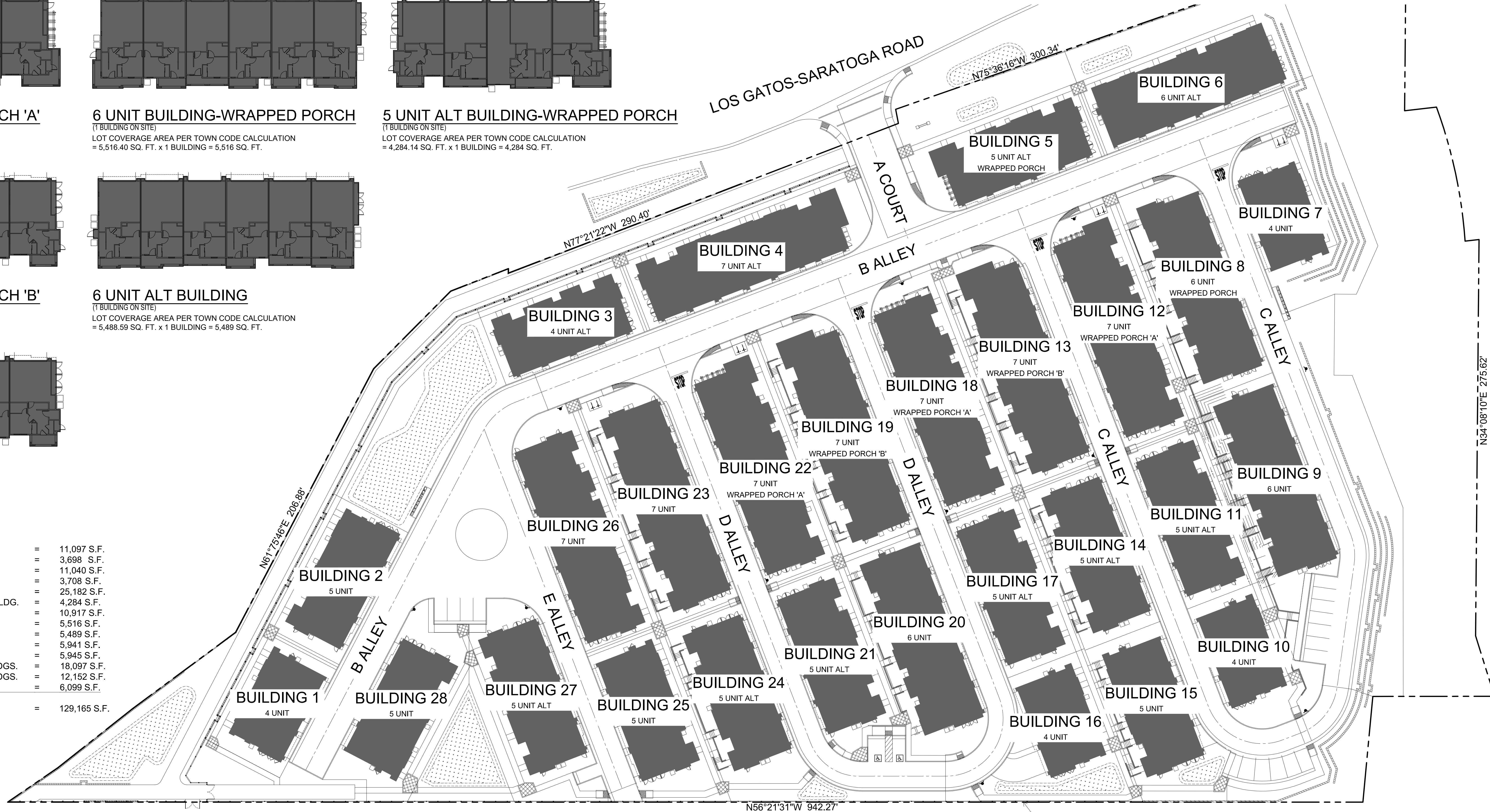


6 UNIT ALT BUILDING
(1 BUILDING ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 5,488.59 SQ. FT. x 1 BUILDING = 5,489 SQ. FT.



7 UNIT ALT BUILDING
(2 BUILDINGS ON SITE)
LOT COVERAGE AREA PER TOWN CODE CALCULATION
= 6,098.77 SQ. FT. x 1 BUILDING = 6,099 SQ. FT.

BUILDING COVERAGE:	
BUILDING TYPE 4 = 2,774.35 S.F. EA. x 4 BLDGS.	= 11,097 S.F.
BUILDING TYPE 4 ALT = 3,697.80 S.F. x 1 BLDG.	= 3,698 S.F.
BUILDING TYPE 5 = 3,679.97 S.F. EA. x 3 BLDGS.	= 11,040 S.F.
BUILDING TYPE 5 @ BLDG. 2 = 3,708.22 S.F. x 1 BLDG.	= 3,708 S.F.
BUILDING TYPE 5 ALT = 4,197.00 S.F. EA. x 6 BLDGS.	= 25,182 S.F.
BUILDING TYPE 5 ALT WRAP PORCH = 4,284.14 S.F. x 1 BLDG.	= 4,284 S.F.
BUILDING TYPE 6 = 5,458.33 S.F. EA. x 2 BLDGS.	= 10,917 S.F.
BUILDING TYPE 6 WRAP PORCH = 5,516.40 S.F. x 1 BLDG.	= 5,516 S.F.
BUILDING TYPE 6 ALT = 5,488.59 S.F. x 1 BLDG.	= 5,489 S.F.
BUILDING TYPE 7 @ BLDG 23 = 5,940.66 S.F. x 1 BLDG.	= 5,941 S.F.
BUILDING TYPE 7 @ BLDG 26 = 5,945.00 S.F. x 1 BLDG.	= 5,945 S.F.
BUILDING TYPE 7 WRAP PORCH 'A' = 6,032.13 S.F. x 3 BLDGS.	= 18,097 S.F.
BUILDING TYPE 7 WRAP PORCH 'B' = 6,076.17 S.F. x 2 BLDGS.	= 12,152 S.F.
BUILDING TYPE 7 ALT = 6,098.77 S.F. x 1 BLDG.	= 6,099 S.F.
TOTAL COVERAGE OF LOT	= 129,165 S.F.



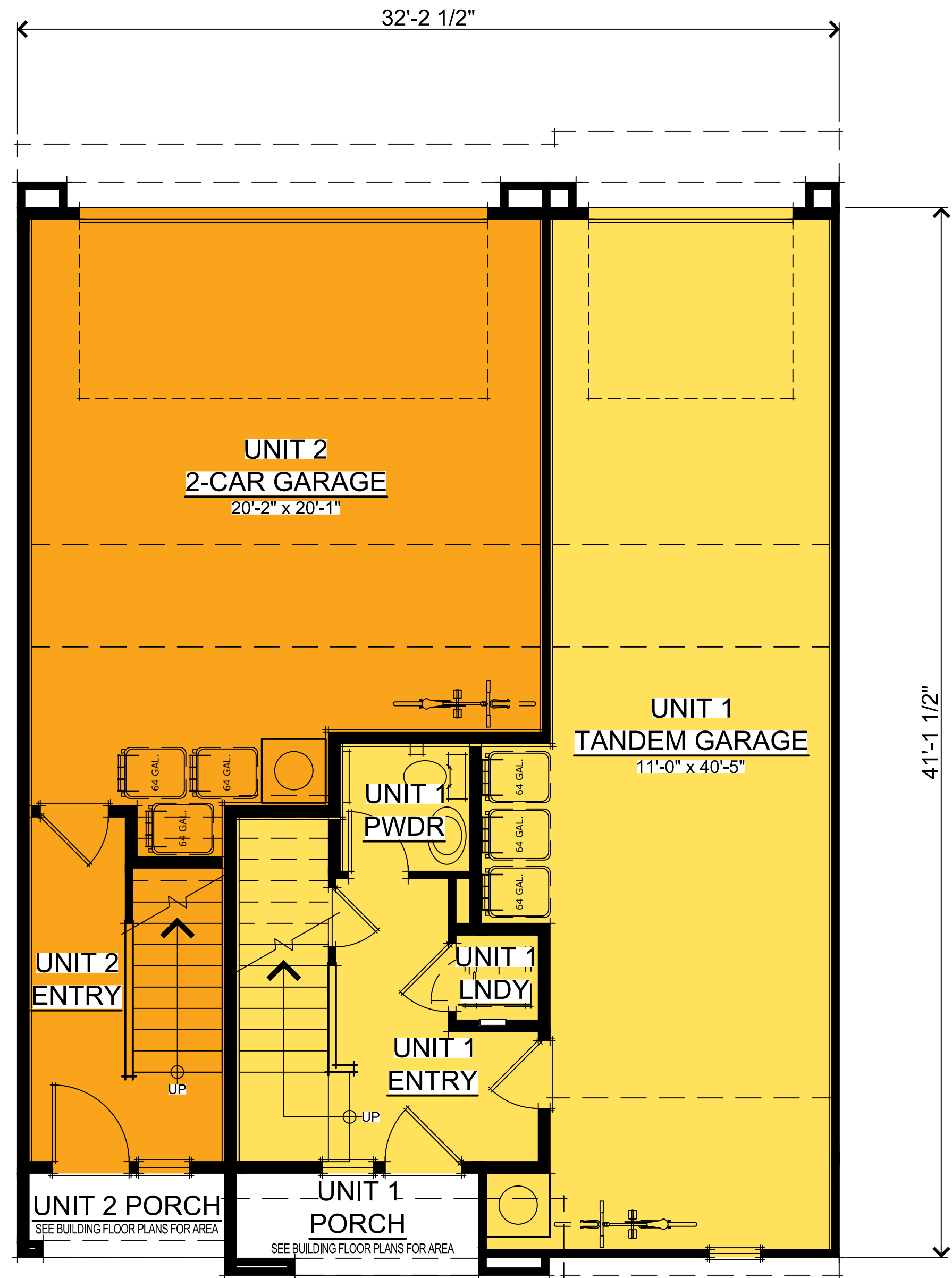
PRELIMINARY SITE PLAN

NOTE:

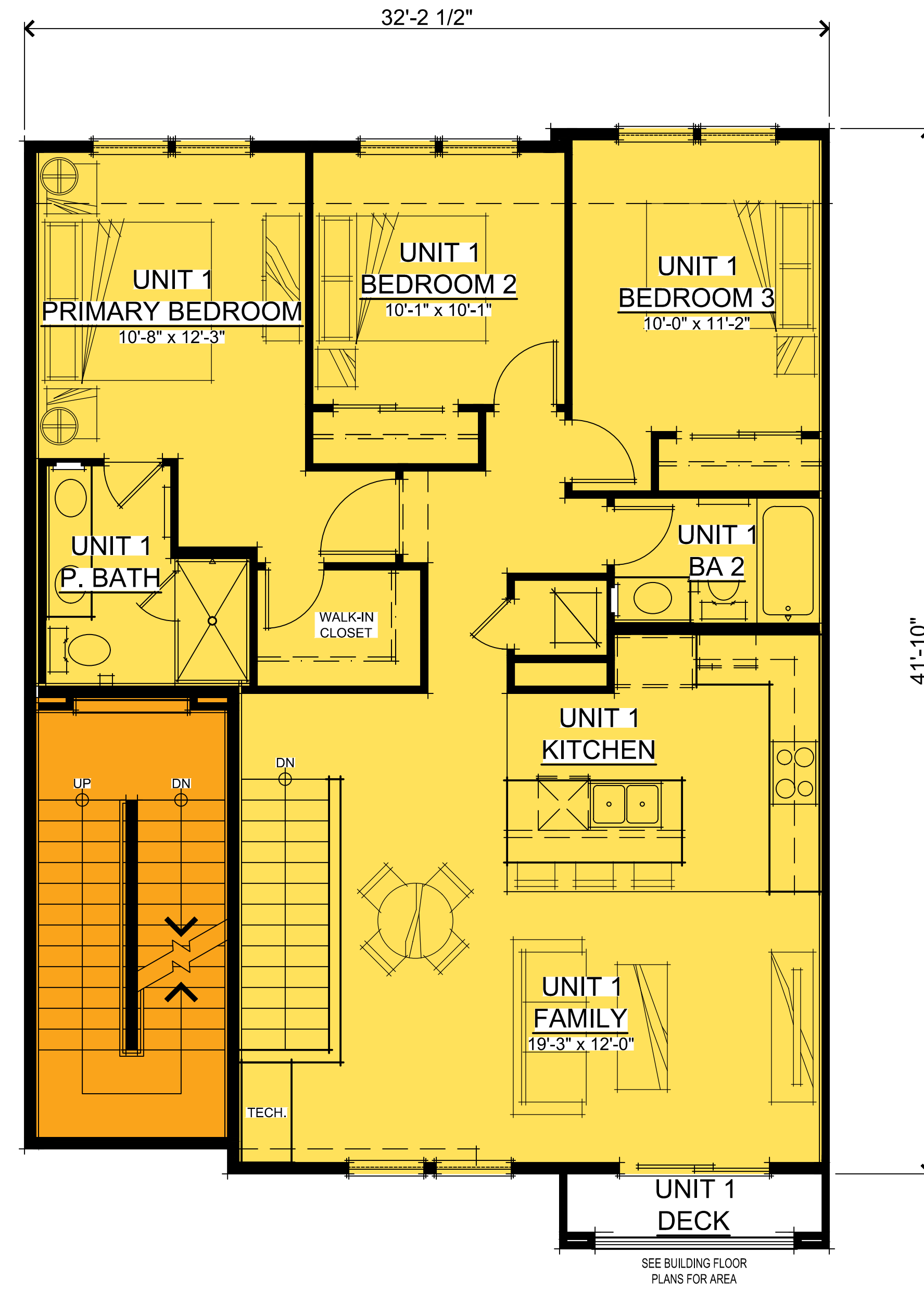
1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to project data sheet A08 and TM-1 for all site summary info
3. Refer to Landscape sheets for landscape design, dimensions and detailed information



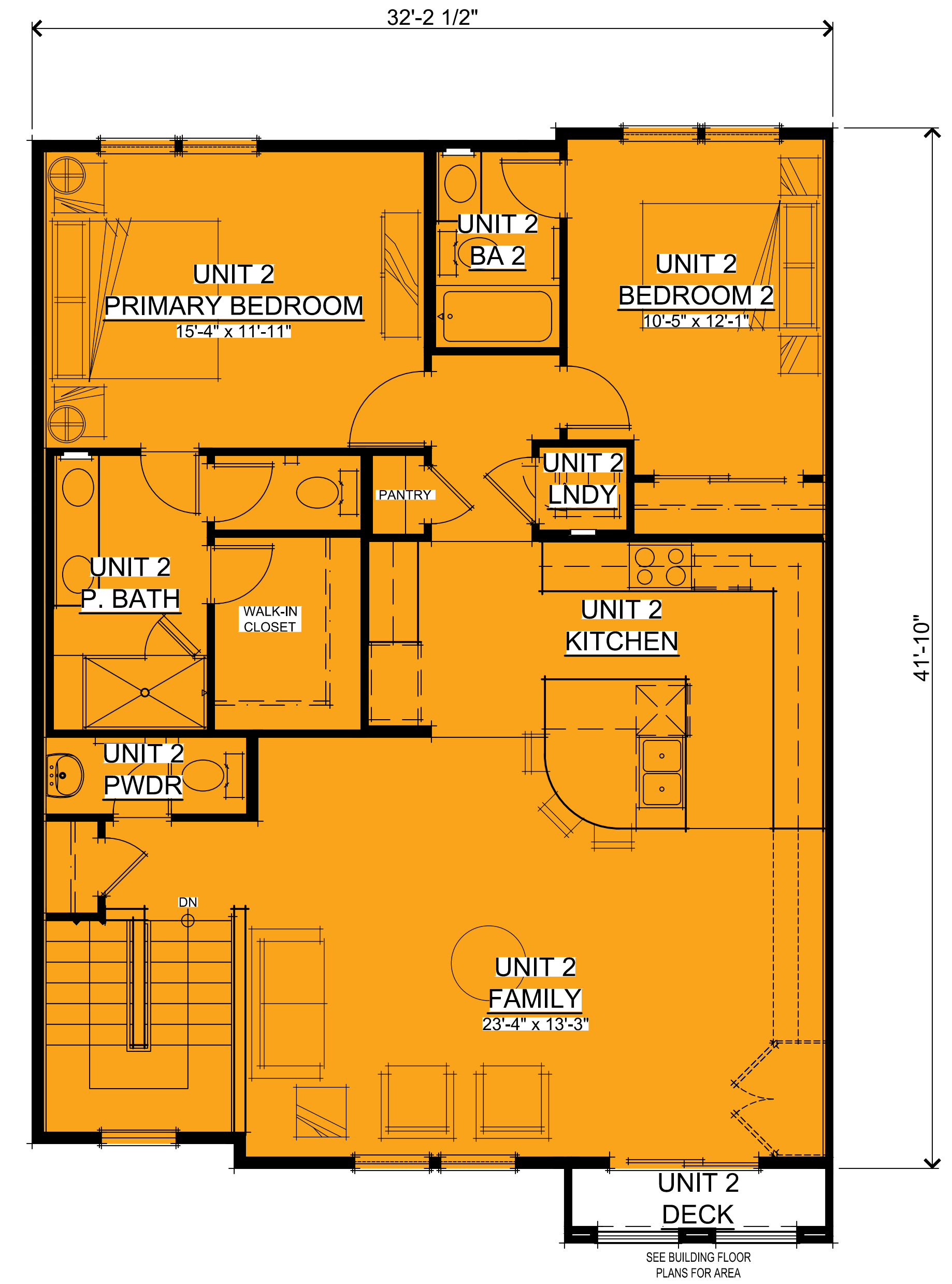
381,072 50 Los Gatos-Saratoga Road
Los Gatos, CA
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FIRST FLOOR PLAN

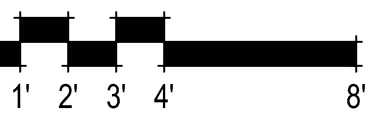


SECOND FLOOR PLAN



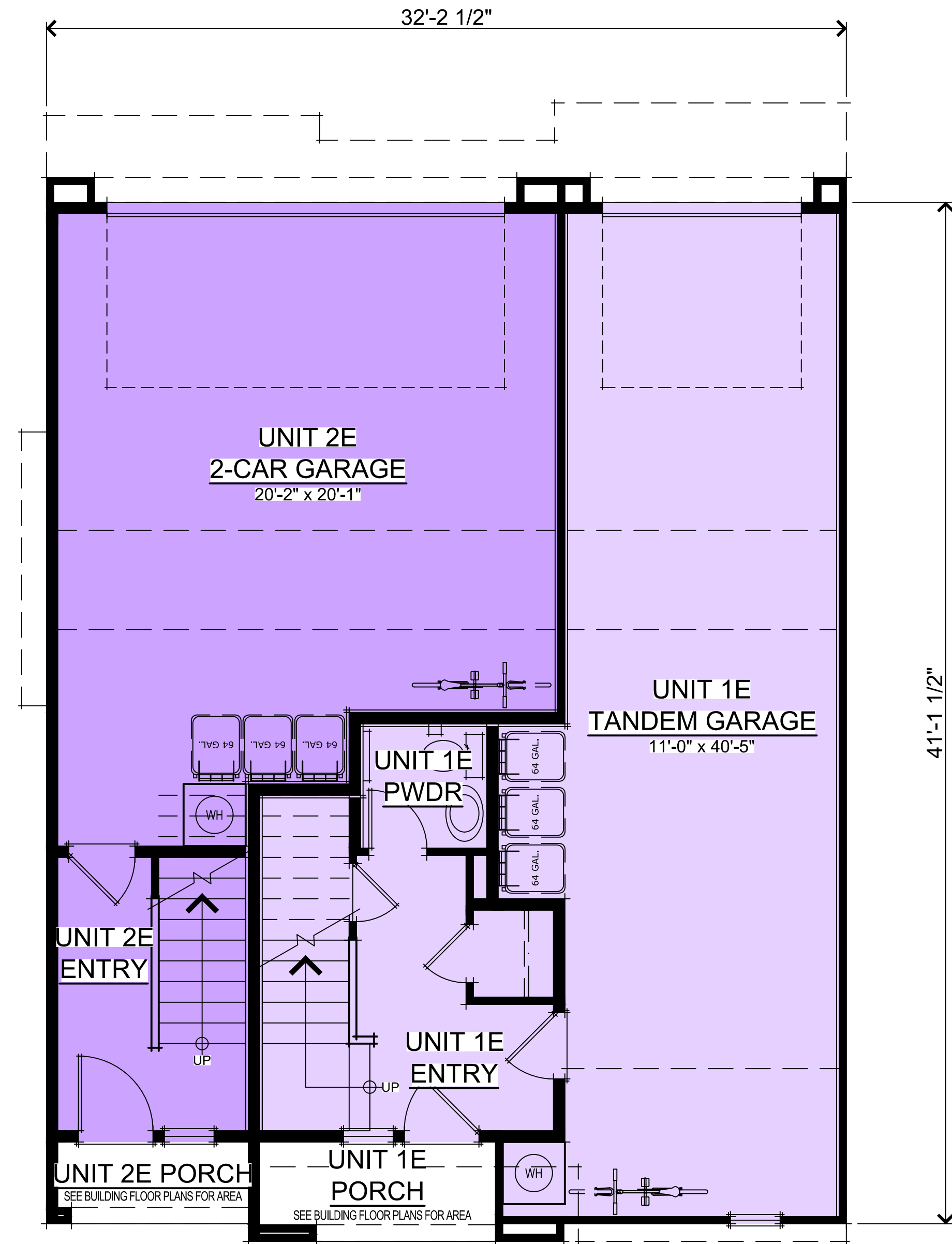
THIRD FLOOR PLAN

UNIT 1 SQUARE FOOTAGES		UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	182 SQ. FT.	FIRST FLOOR	114 SQ. FT.
SECOND FLOOR	1163 SQ. FT.	SECOND FLOOR (STAIRS)	154 SQ. FT.
TOTAL LIVING	1345 SQ. FT.	THIRD FLOOR	1259 SQ. FT.
TANDEM GARAGE	500 SQ. FT.	TOTAL LIVING	1527 SQ. FT.
		2-CAR GARAGE	473 SQ. FT.

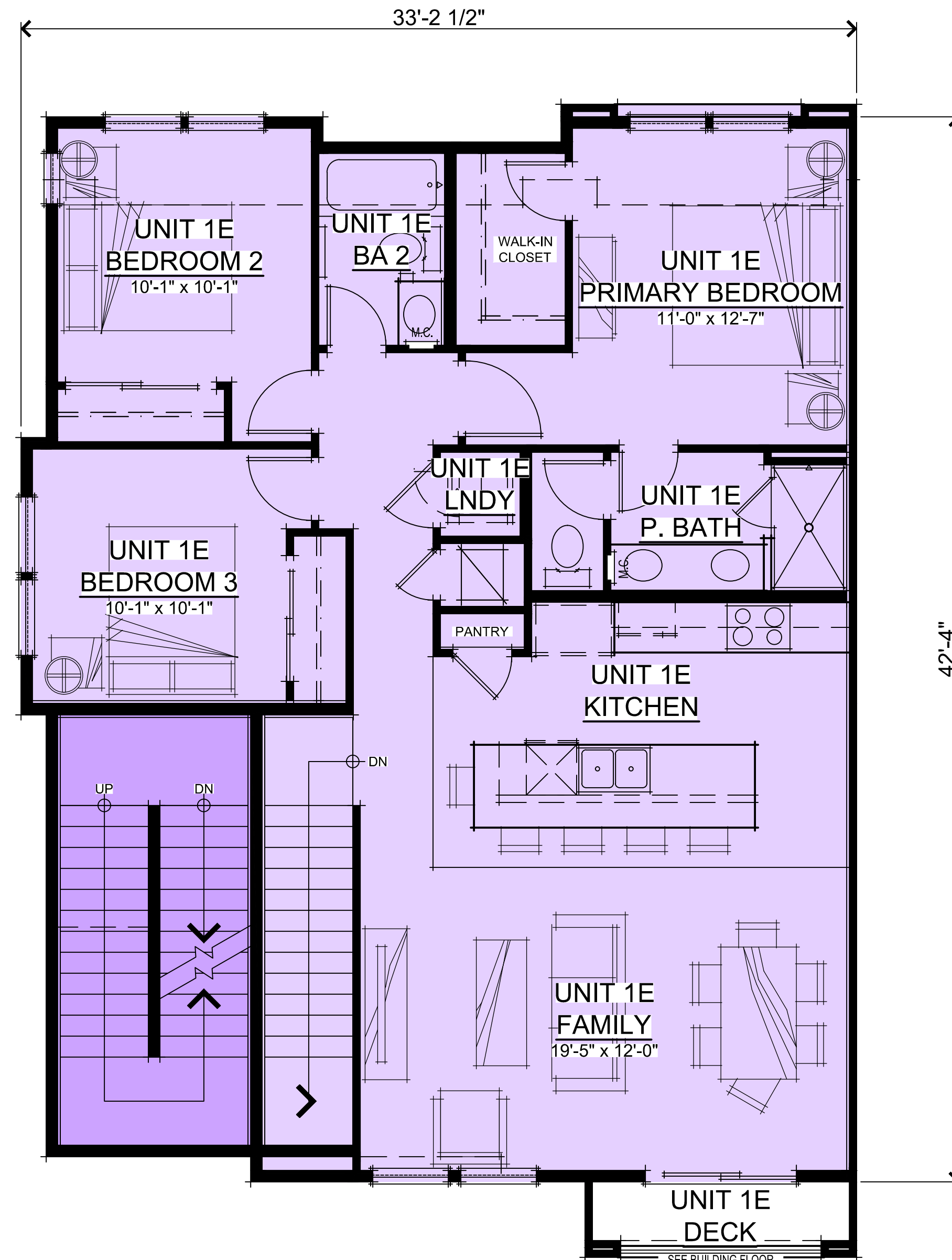


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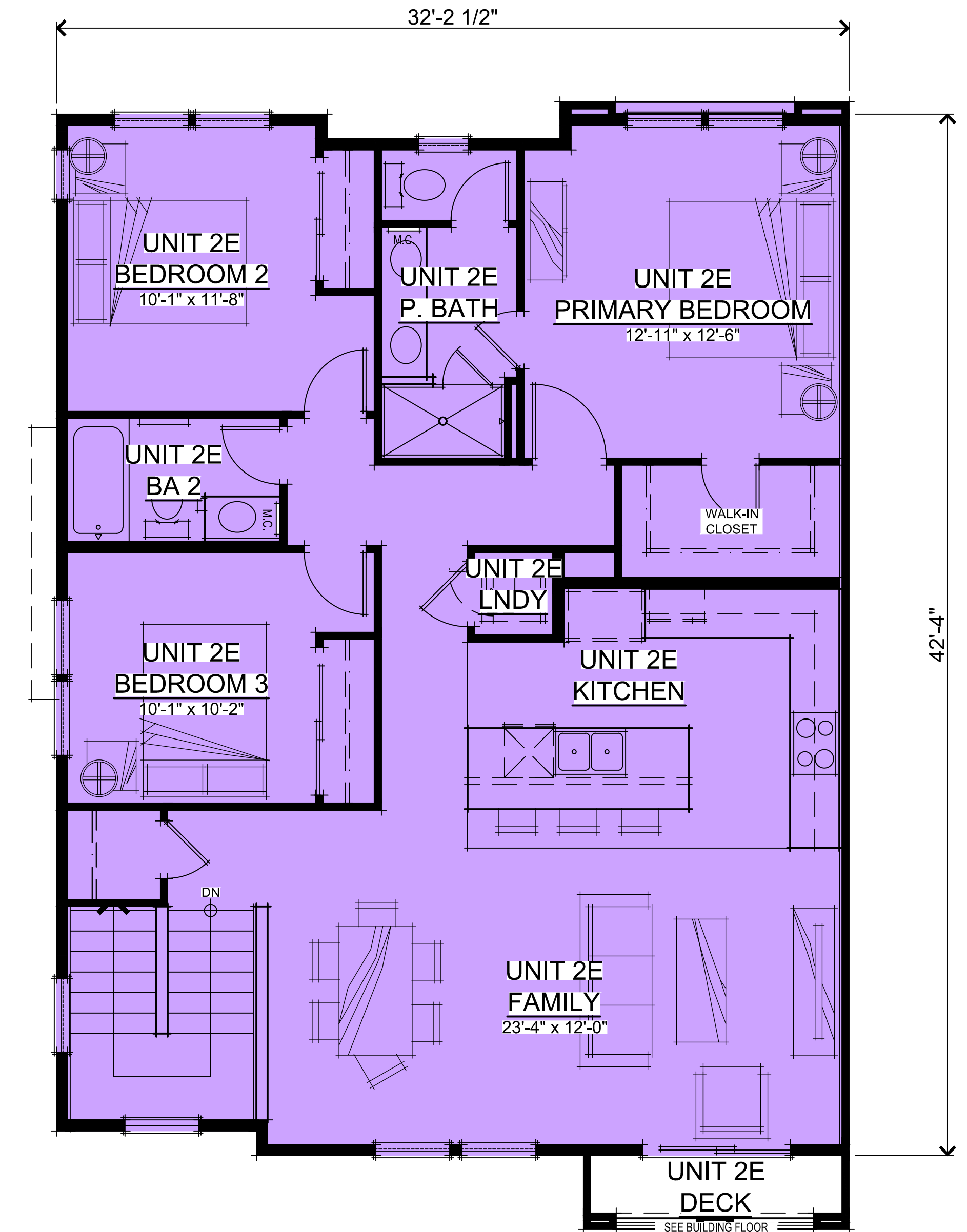
UNIT 1 & 2 FLOOR PLANS
A10



FIRST FLOOR PLAN

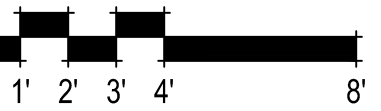


SECOND FLOOR PLAN

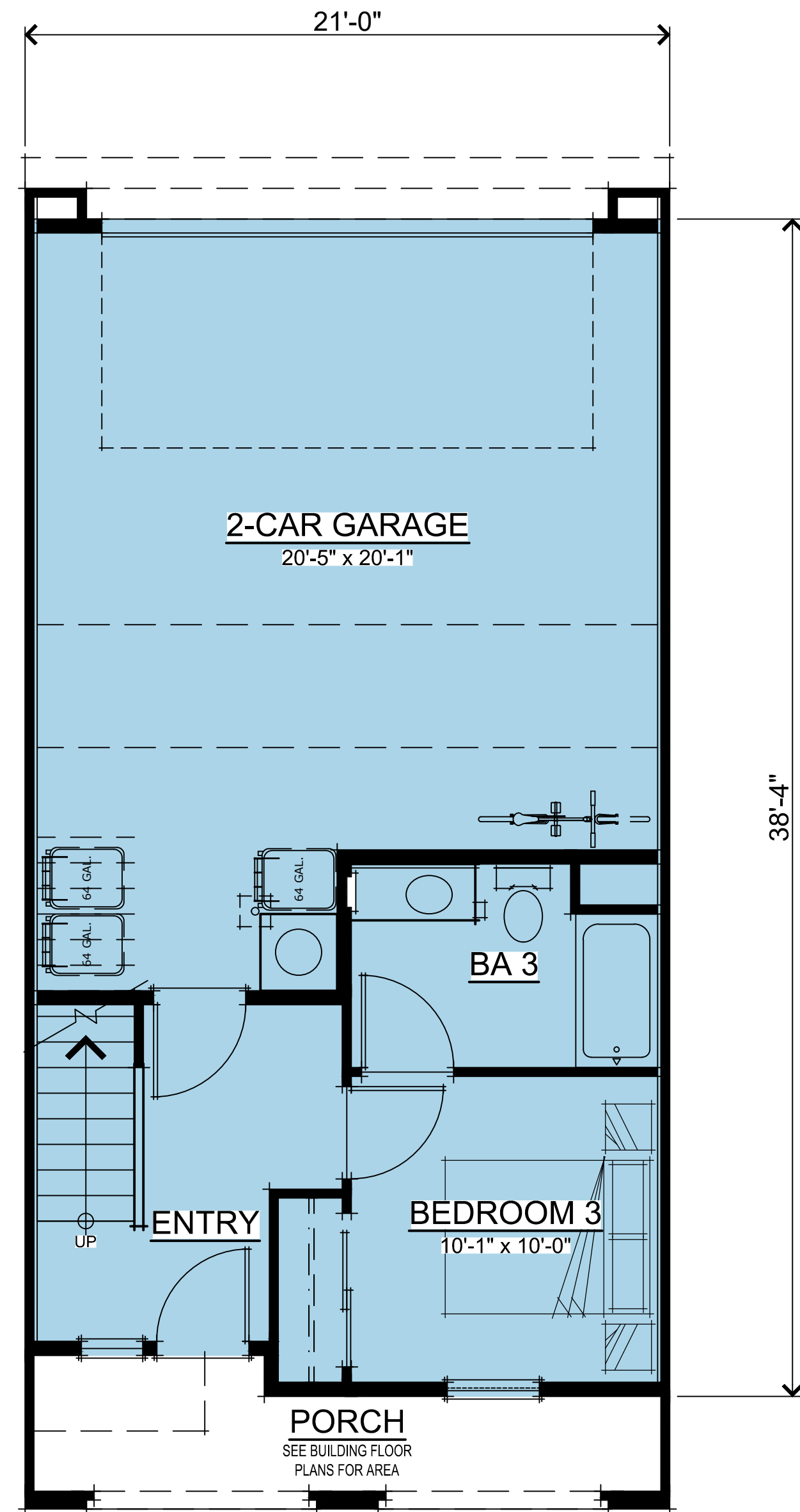


THIRD FLOOR PLAN

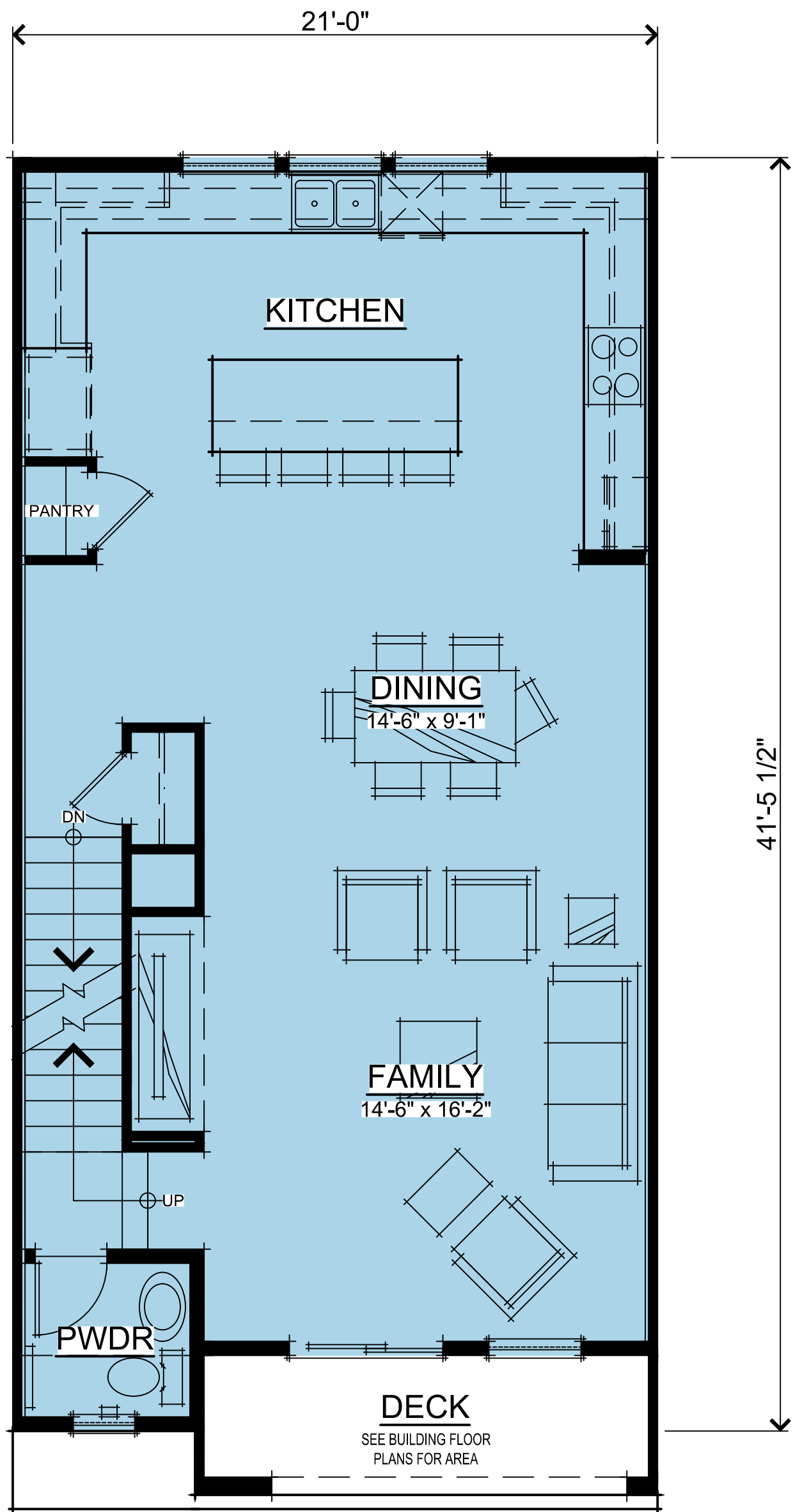
UNIT 1E SQUARE FOOTAGES		UNIT 2E SQUARE FOOTAGES	
FIRST FLOOR	182 SQ. FT.	FIRST FLOOR	100 SQ. FT.
SECOND FLOOR	1157 SQ. FT.	SECOND FLOOR (STAIRS)	149 SQ. FT.
TOTAL LIVING	1339 SQ. FT.	THIRD FLOOR	1274 SQ. FT.
TANDEM GARAGE	500 SQ. FT.	TOTAL LIVING	1523 SQ. FT.
		2-CAR GARAGE	485 SQ. FT.



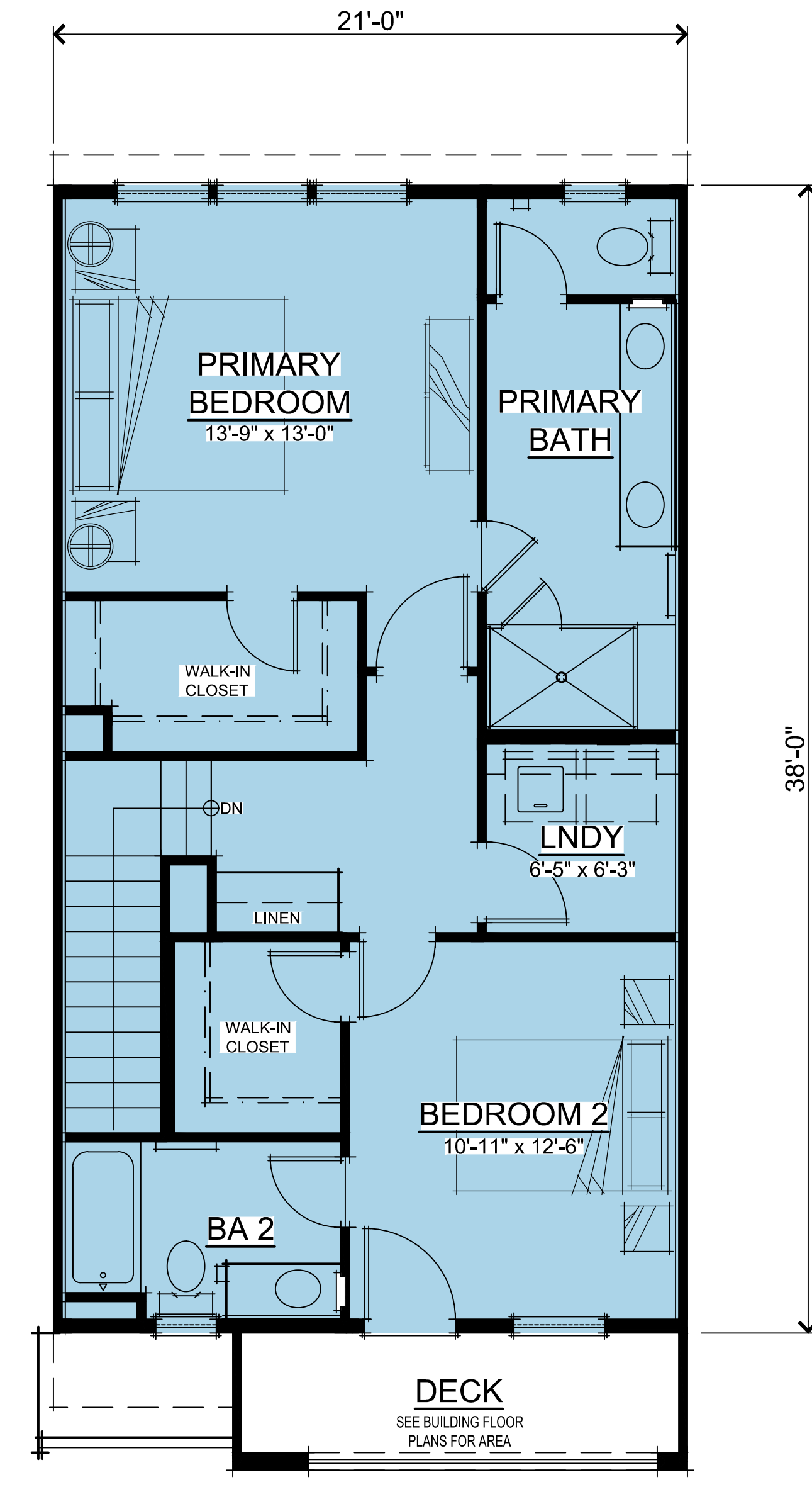
381.072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024



FIRST FLOOR PLAN

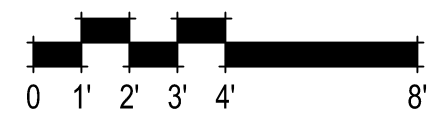


SECOND FLOOR PLAN



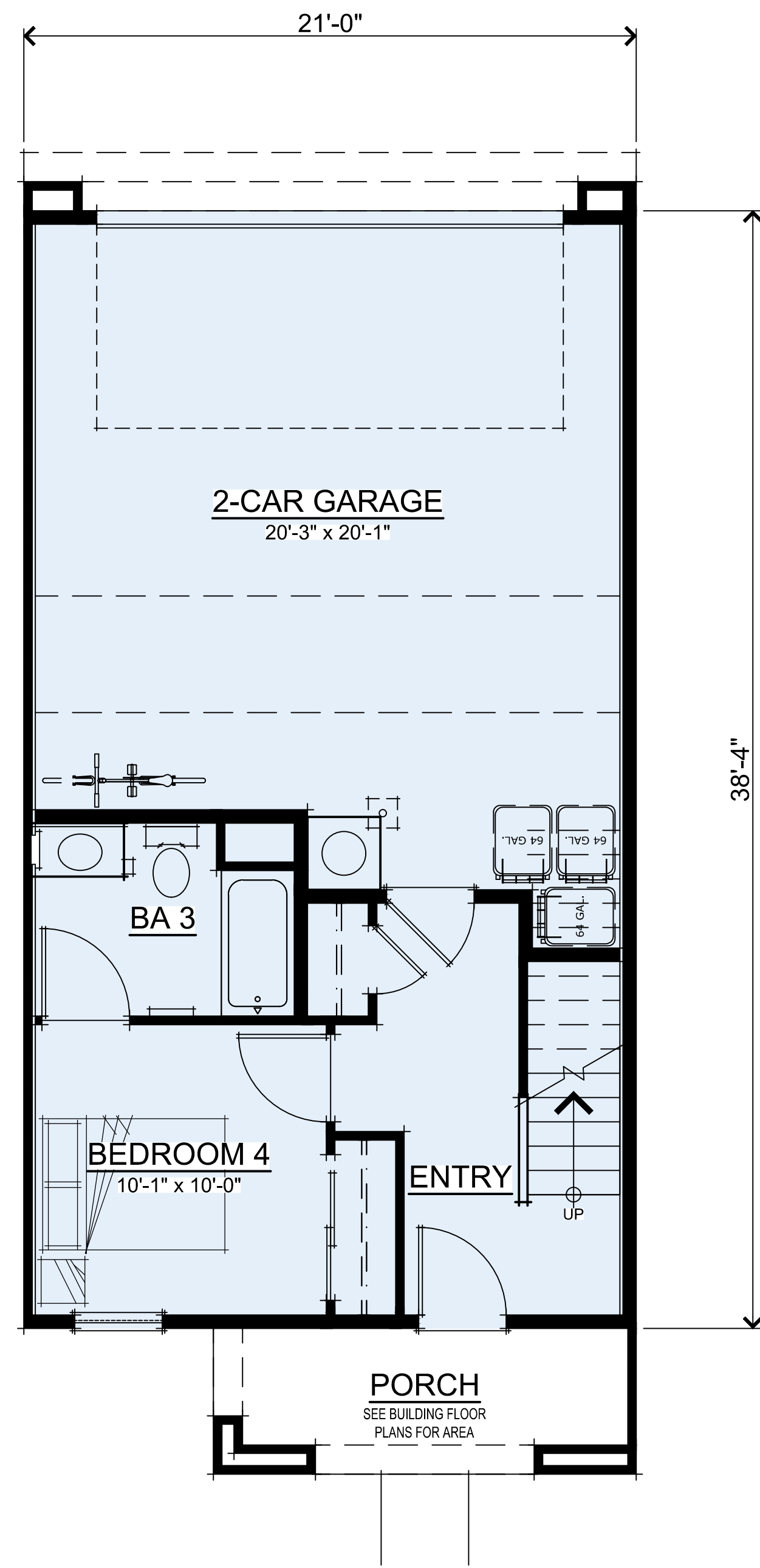
THIRD FLOOR PLAN

UNIT 3 SQUARE FOOTAGES	
FIRST FLOOR	318 SQ. FT.
SECOND FLOOR	838 SQ. FT.
THIRD FLOOR	785 SQ. FT.
TOTAL LIVING	1941 SQ. FT.
2-CAR GARAGE	480 SQ. FT.

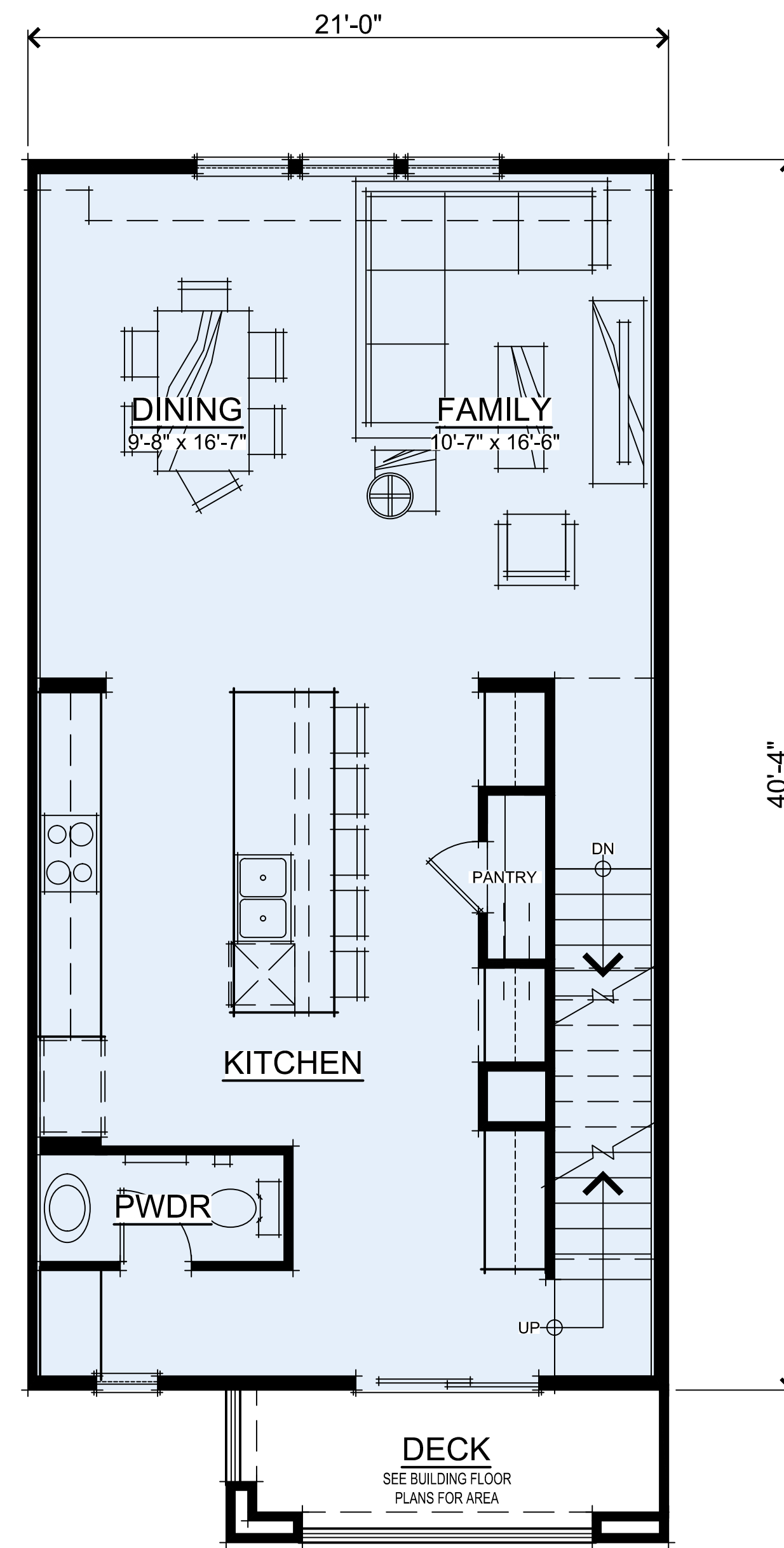


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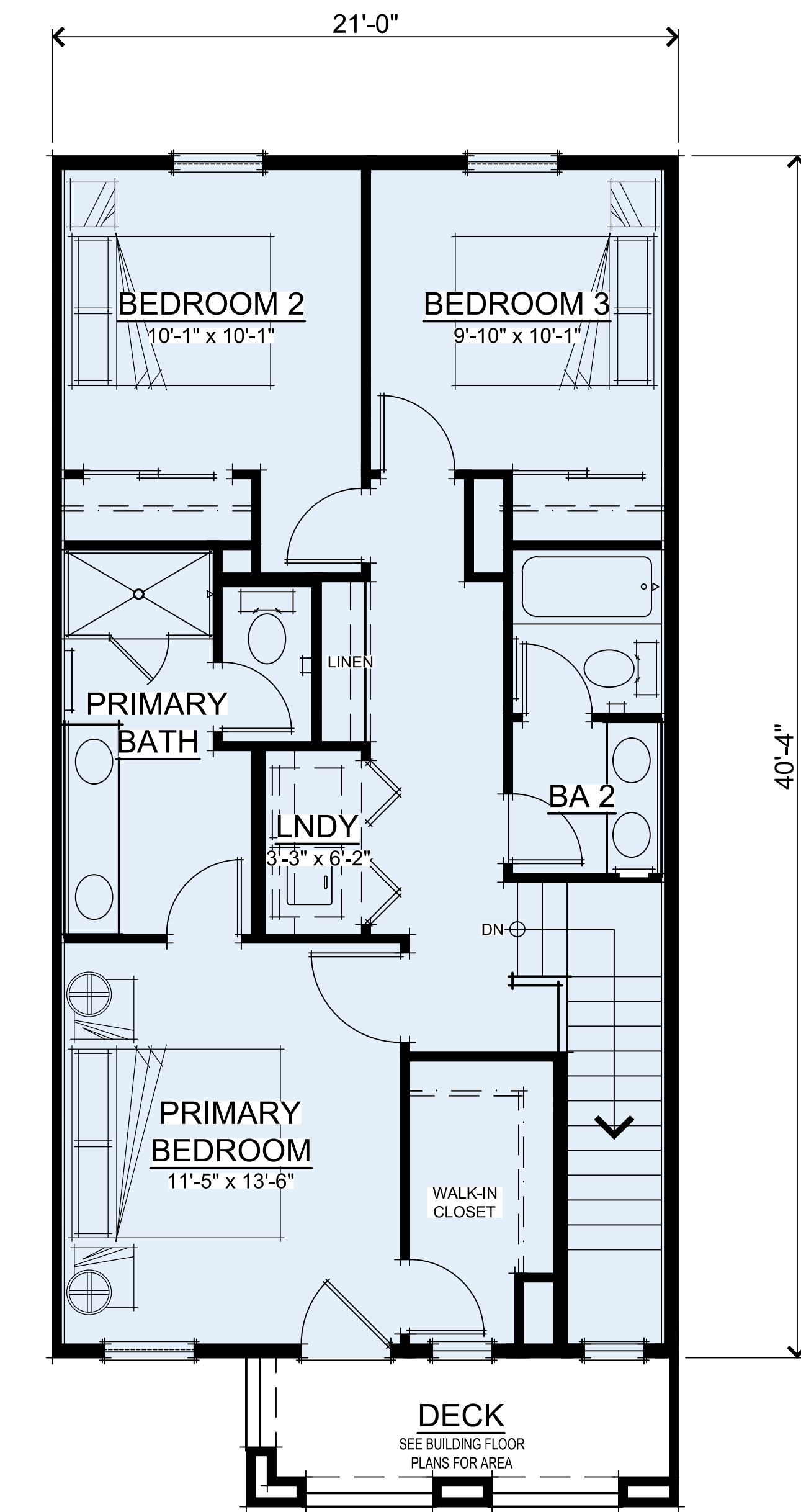
UNIT 3 FLOOR PLANS
 A11



FIRST FLOOR PLAN

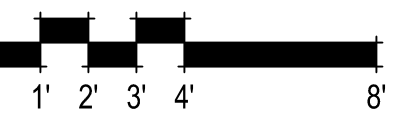


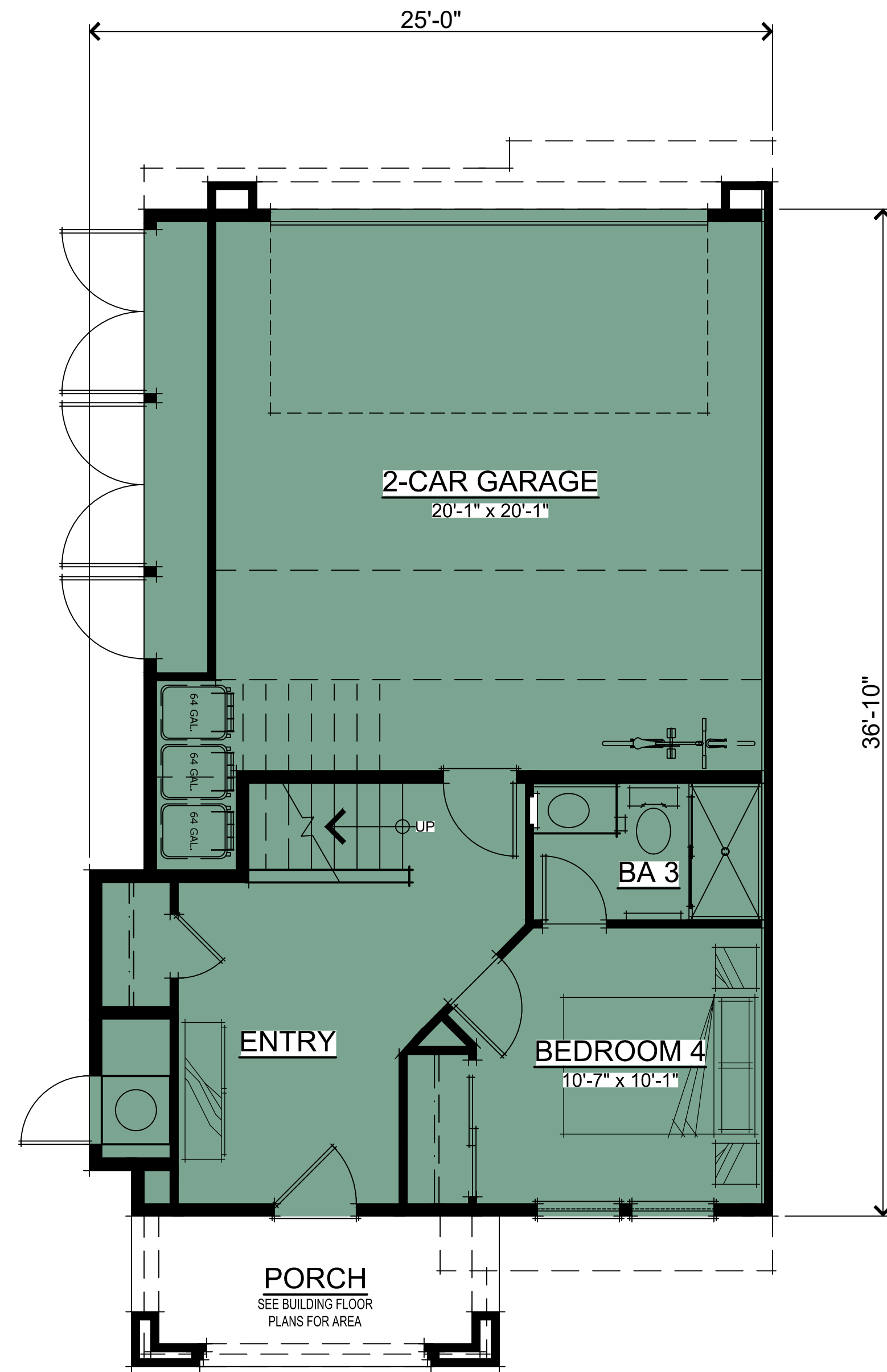
SECOND FLOOR PLAN



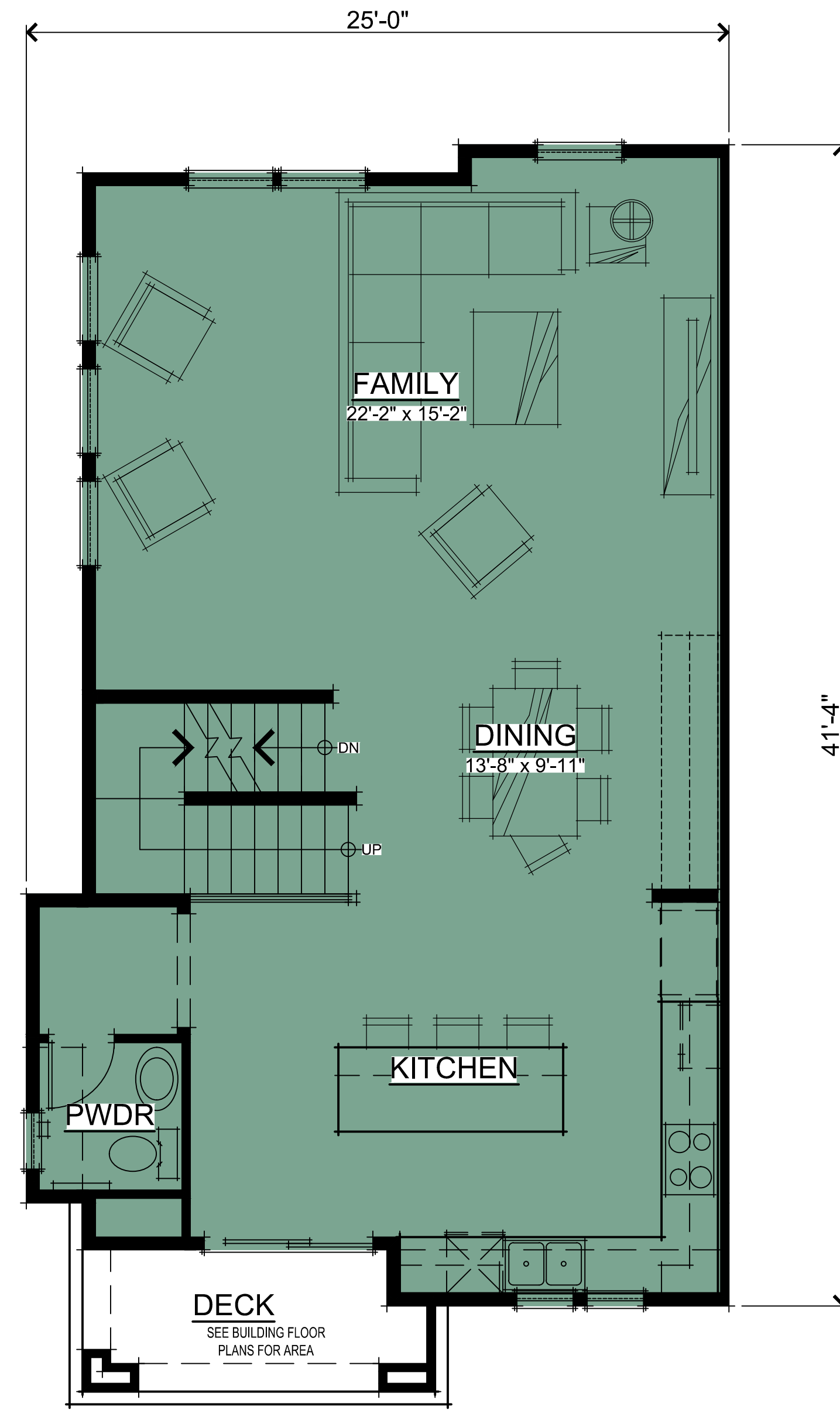
THIRD FLOOR PLAN

UNIT 4 SQUARE FOOTAGES	
FIRST FLOOR	337 SQ. FT.
SECOND FLOOR	850 SQ. FT.
THIRD FLOOR	801 SQ. FT.
TOTAL LIVING	1988 SQ. FT.
2-CAR GARAGE	471 SQ. FT.

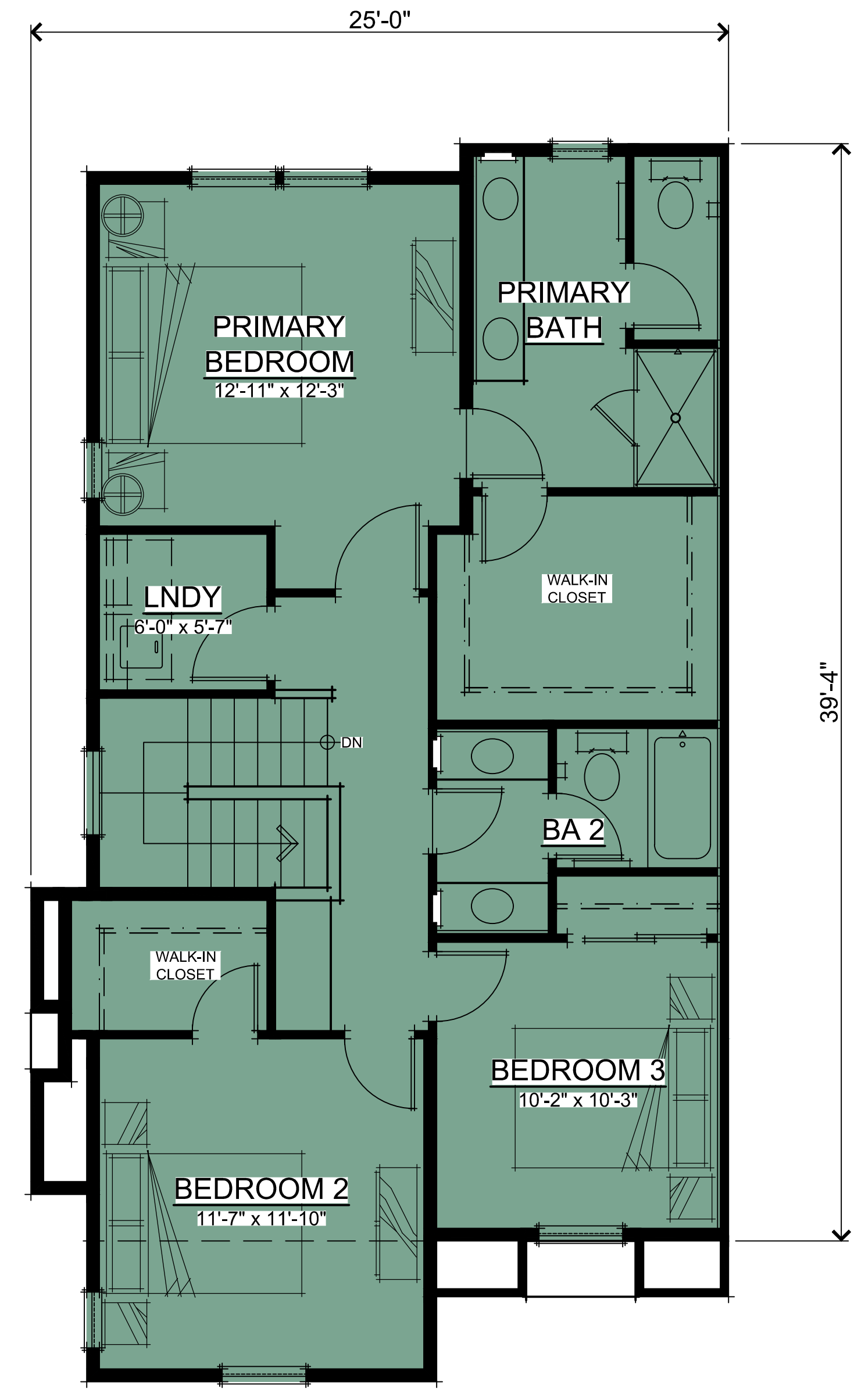




FIRST FLOOR PLAN

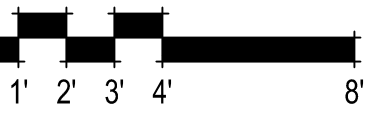


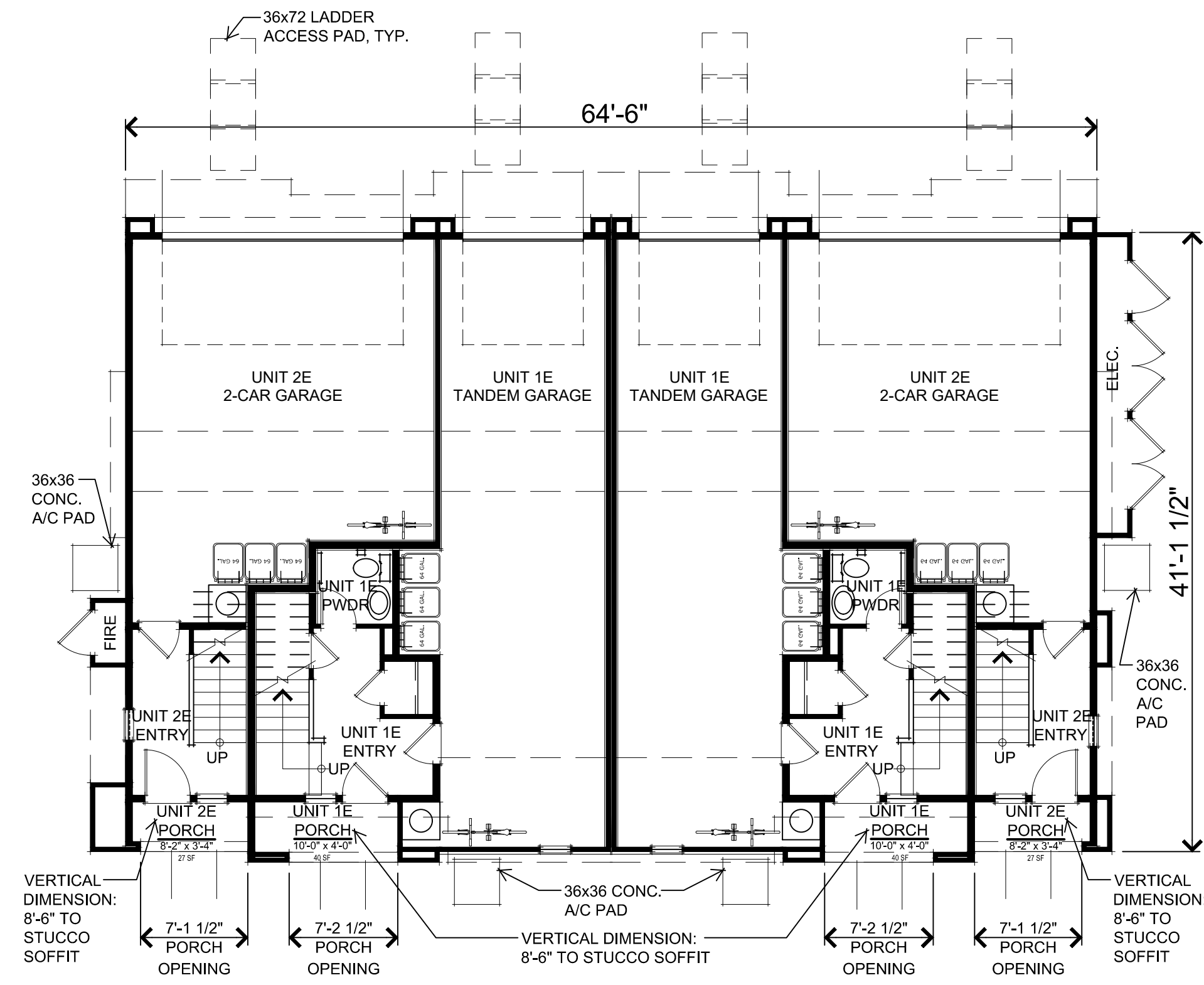
SECOND FLOOR PLAN



THIRD FLOOR PLAN

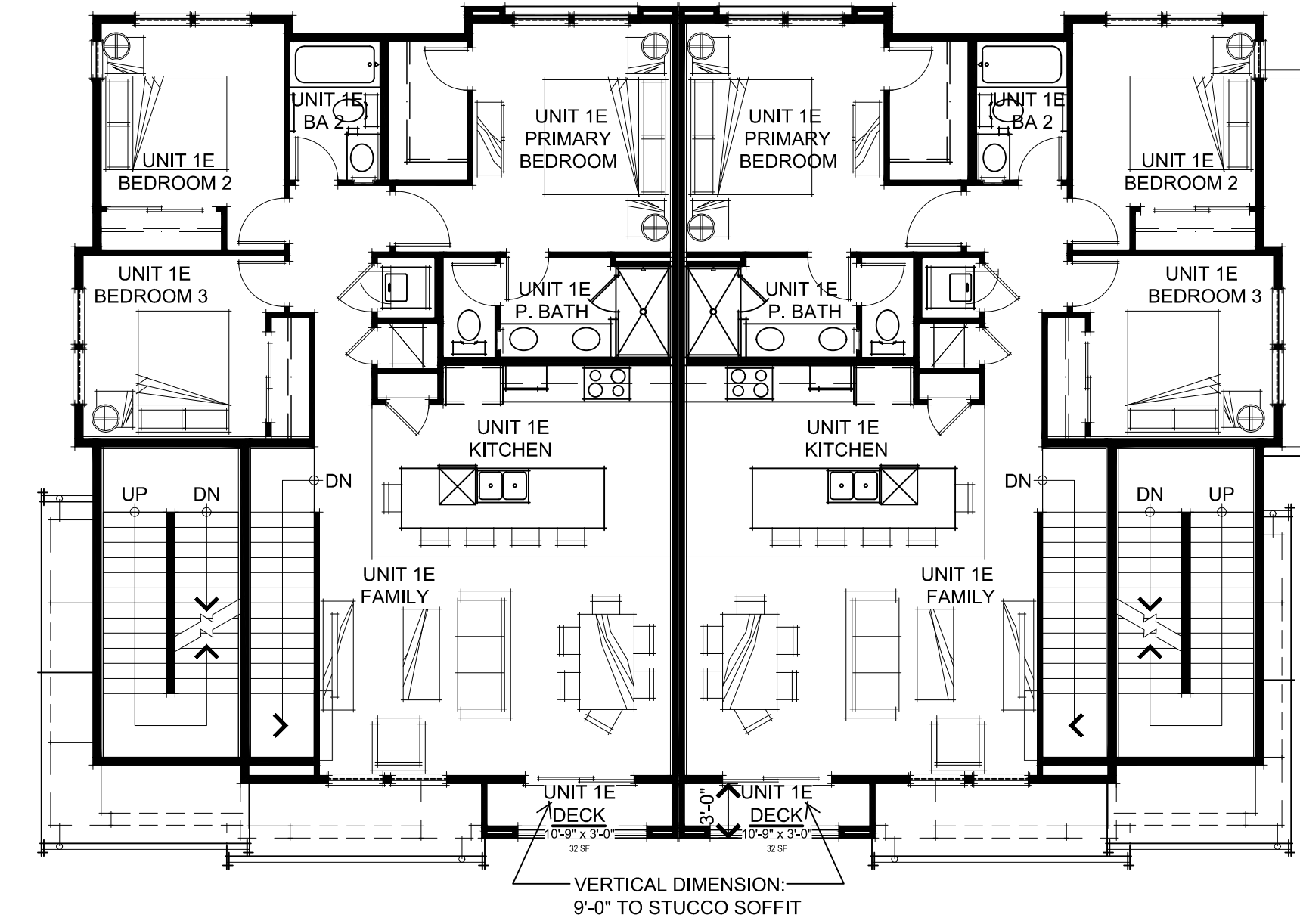
UNIT 5 SQUARE FOOTAGES	
FIRST FLOOR	369 SQ. FT.
SECOND FLOOR	939 SQ. FT.
THIRD FLOOR	952 SQ. FT.
TOTAL LIVING	2260 SQ. FT.
2-CAR GARAGE	448 SQ. FT.





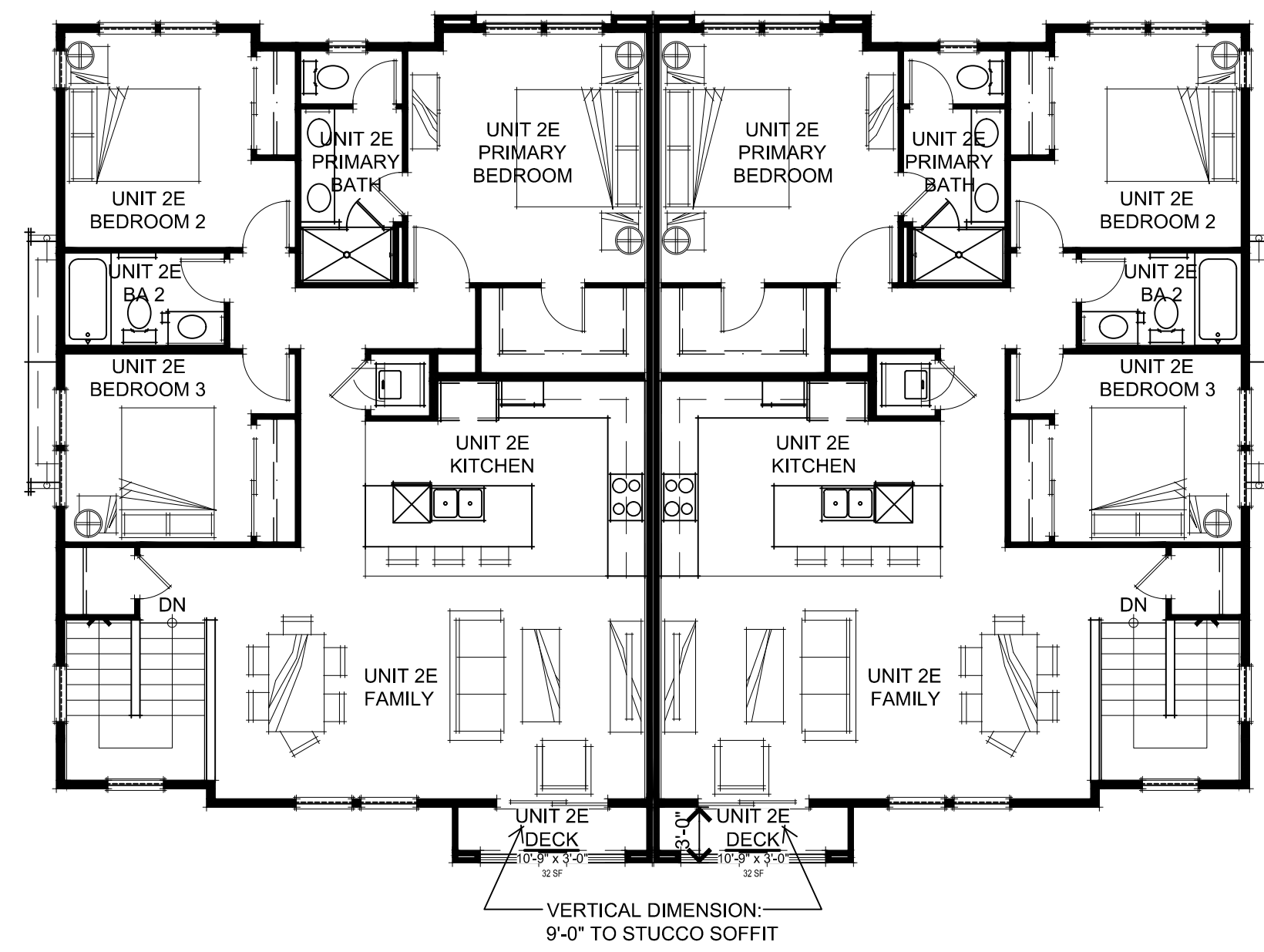
UNIT 2E UNIT 1E UNIT 1ER UNIT 2ER

FIRST FLOOR PLAN



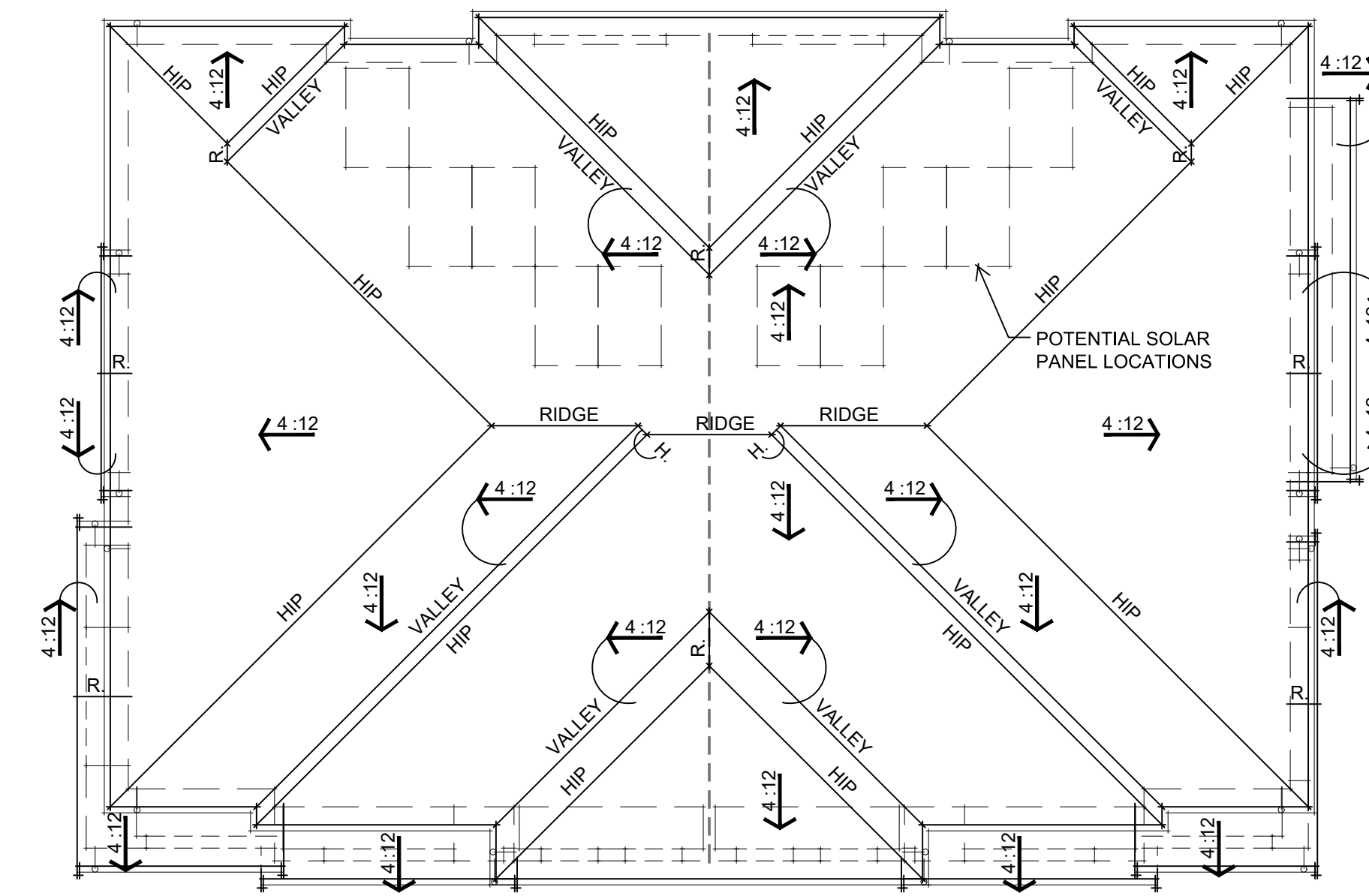
UNIT 2E UNIT 1E UNIT 1ER UNIT 2ER

SECOND FLOOR PLAN



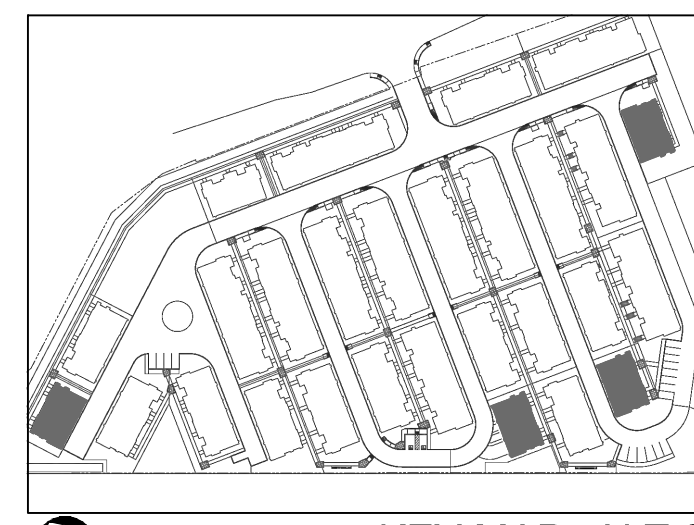
UNIT 2E UNIT 2ER

THIRD FLOOR PLAN

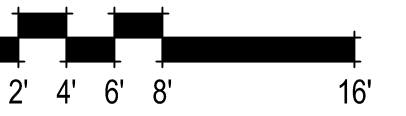


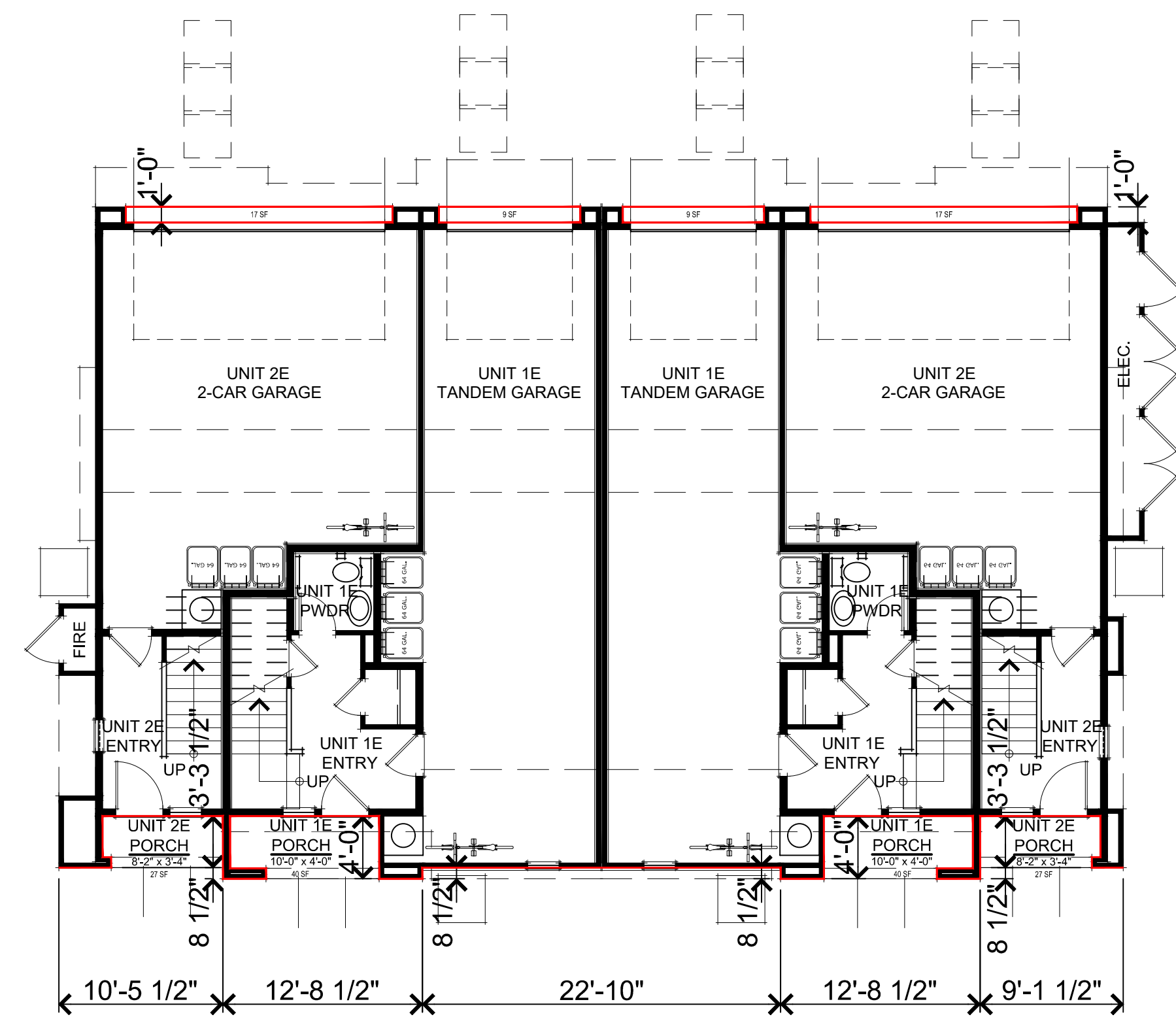
UNIT 2E UNIT 2ER

ROOF PLAN



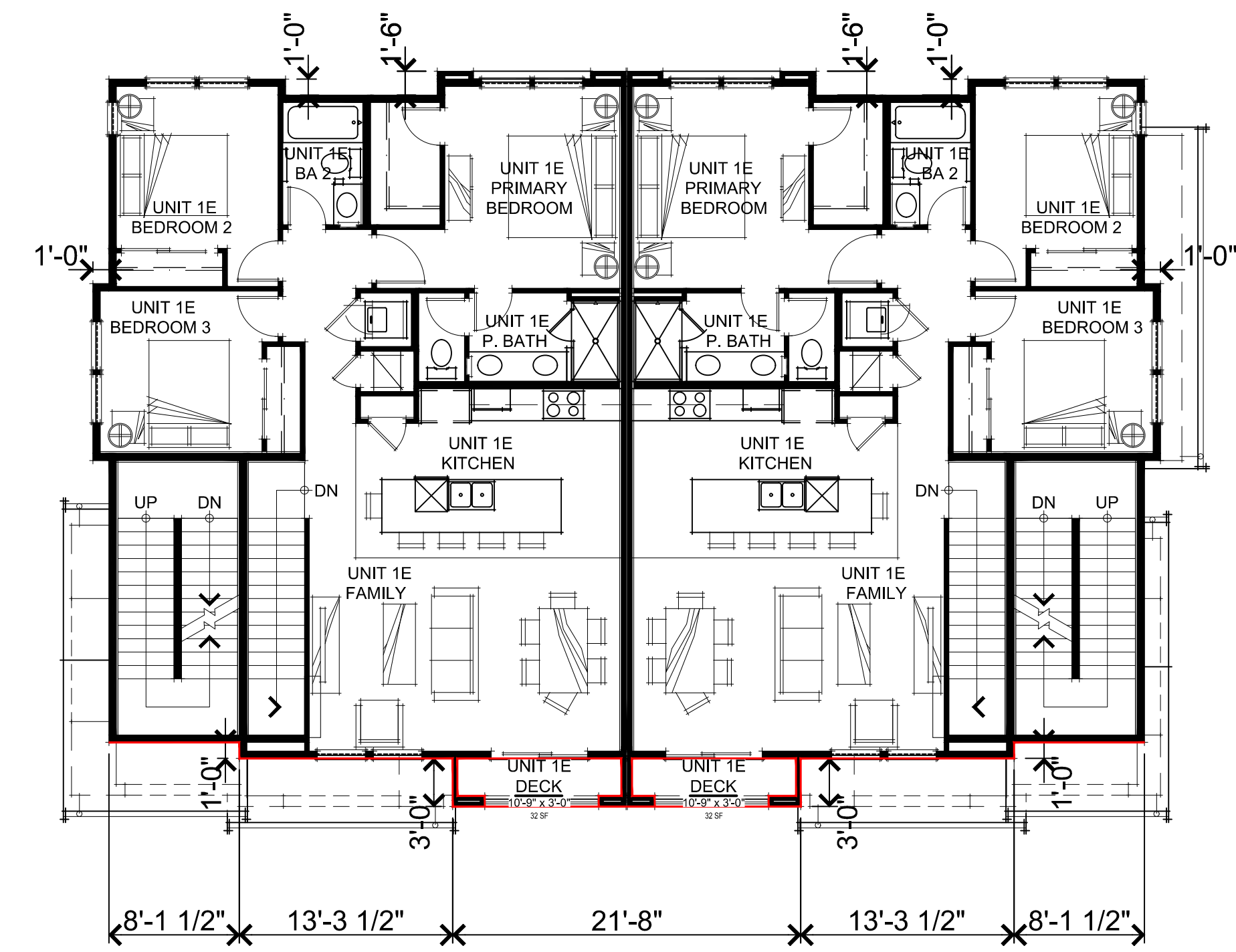
KEY MAP - N.T.S.





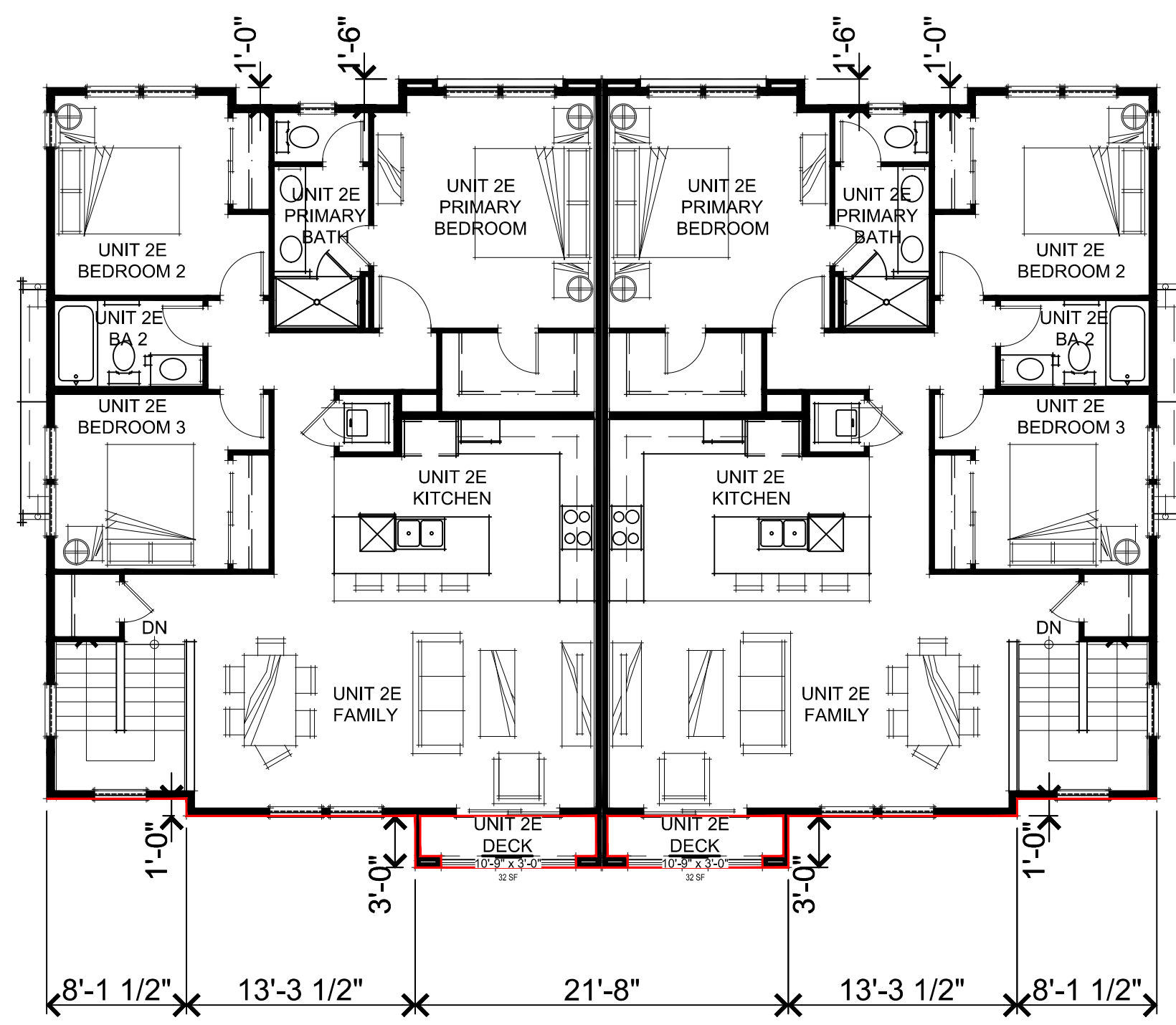
UNIT 2E UNIT 1E UNIT 1ER UNIT 2ER

FIRST FLOOR PLAN



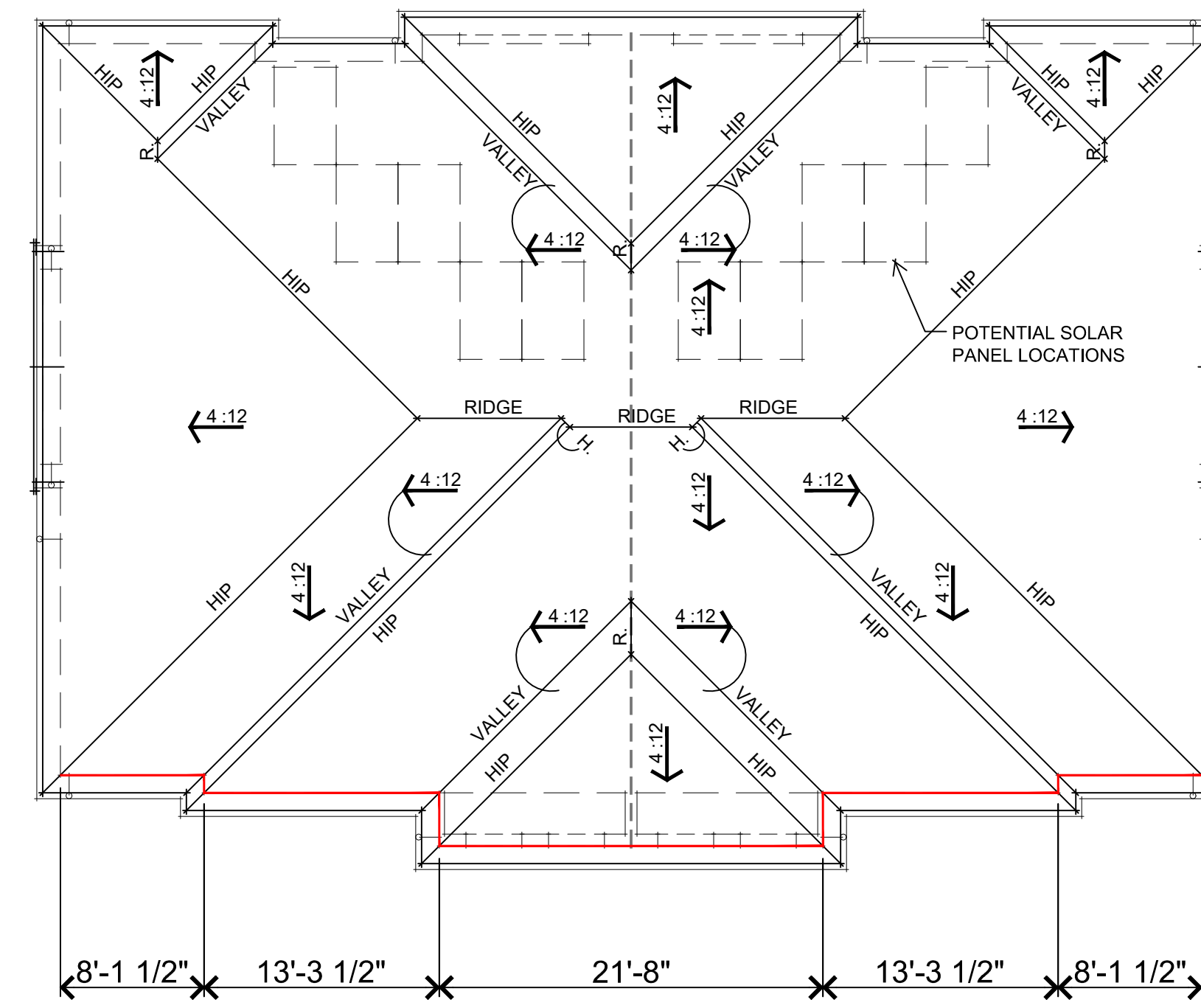
UNIT 2E UNIT 1E UNIT 1ER UNIT 2ER

SECOND FLOOR PLAN



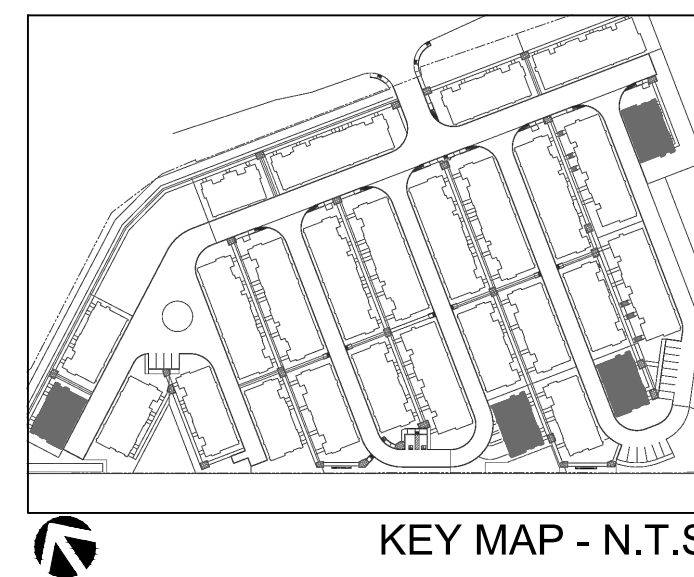
UNIT 2E UNIT 2ER

THIRD FLOOR PLAN

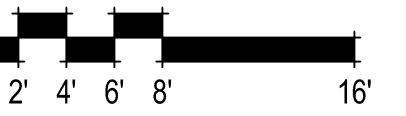


UNIT 2E UNIT 2ER

ROOF PLAN



KEY MAP - N.T.S.



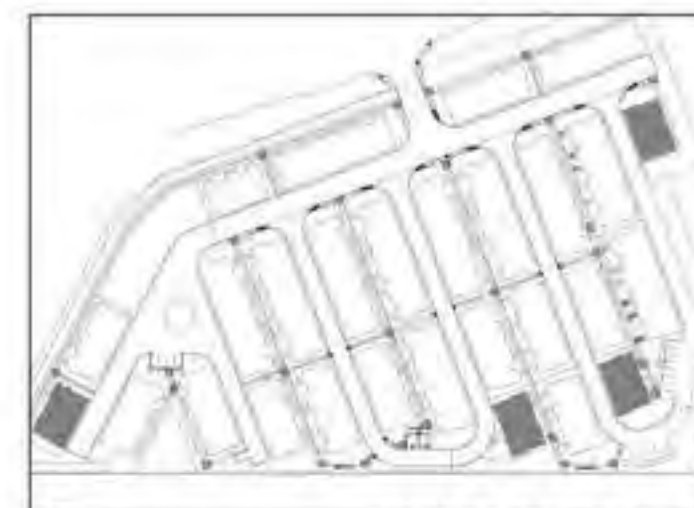


UNIT 2E

UNIT 1E

UNIT 1ER

UNIT 2ER



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 774"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 58 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 58 1/4 / 774 = 7.5%



4-UNIT BUILDING FRONT ELEVATION
 A15

- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
 - 7 INSULATED VINYL WINDOW
 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL
 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 65% OF REAR FACADE



UNIT 2ER

RIGHT ELEVATION

TOTAL BUILDING FACADE LENGTH = 774"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 113 1/2"
 CONTINUOUS LENGTH / TOTAL LENGTH = 113 1/2 / 774 = 14.7%



UNIT 2ER

UNIT 1ER

UNIT 1E

UNIT 2E

REAR ELEVATION

TOTAL FACADE LENGTH = 774"
 TOTAL LANDSCAPED TRELLIS LENGTH = 502 1/2"
 TRELLIS LENGTH / TOTAL LENGTH = 502 1/2 / 774 = 65%



UNIT 2E

LEFT ELEVATION



UNIT 2E

UNIT 1E

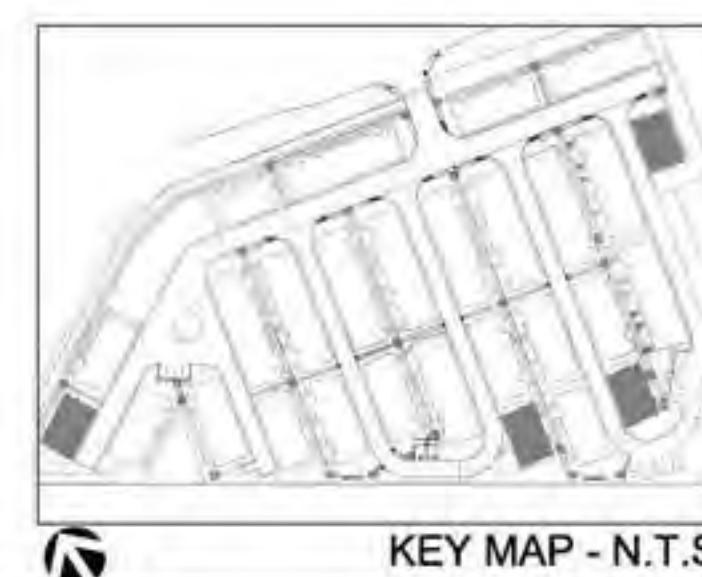
UNIT 1ER

UNIT 2ER

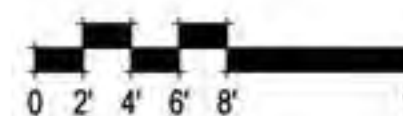
FRONT ELEVATION

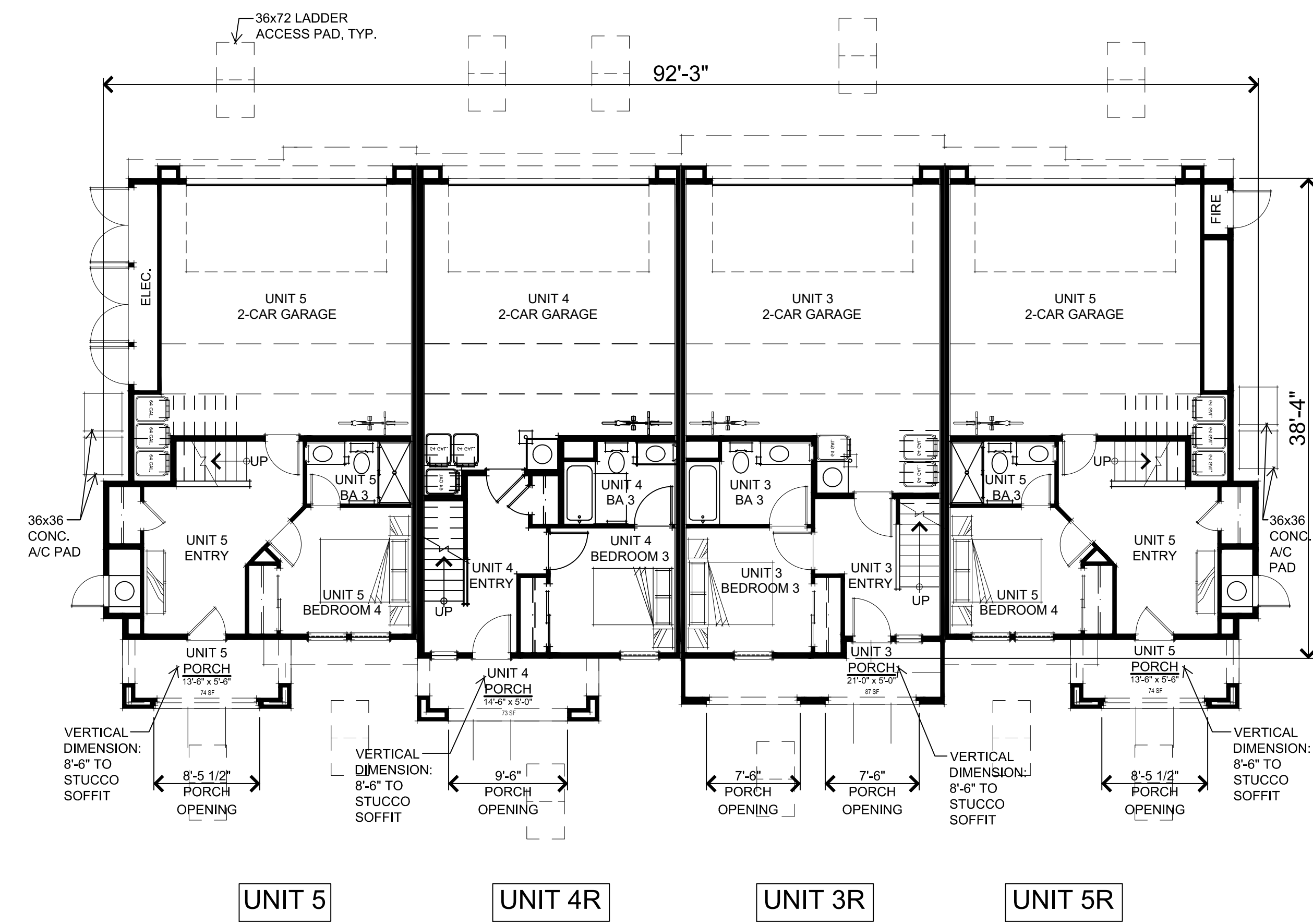
MAX. HT. 37'-3 1/2"
 T.O. PL. 29'-2 1/2" THIRD FLOOR
 T.O. PL. 18'-10 3/4" SECOND FLOOR
 T.O. PL. 8'-7" FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)

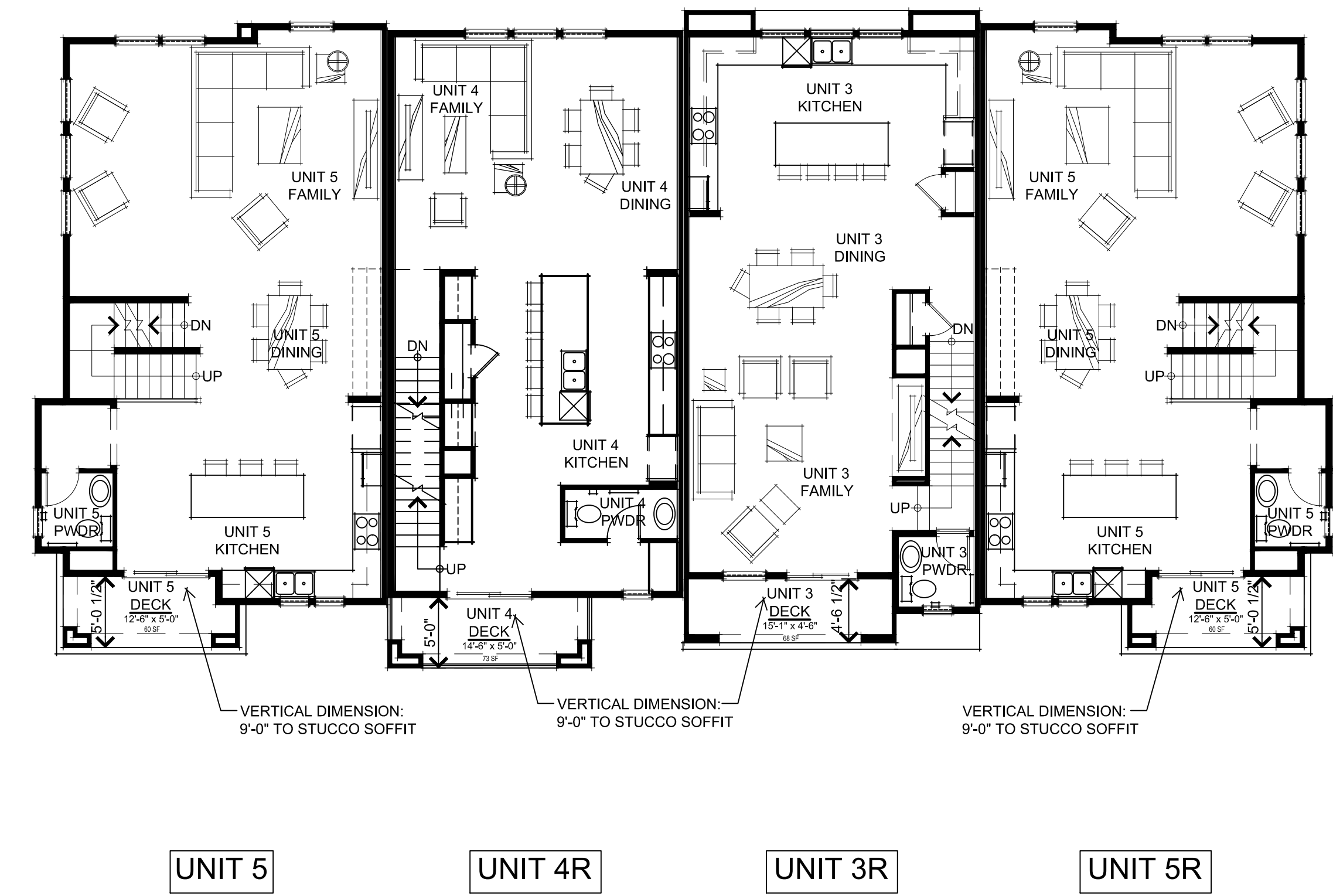


KEY MAP - N.T.S.

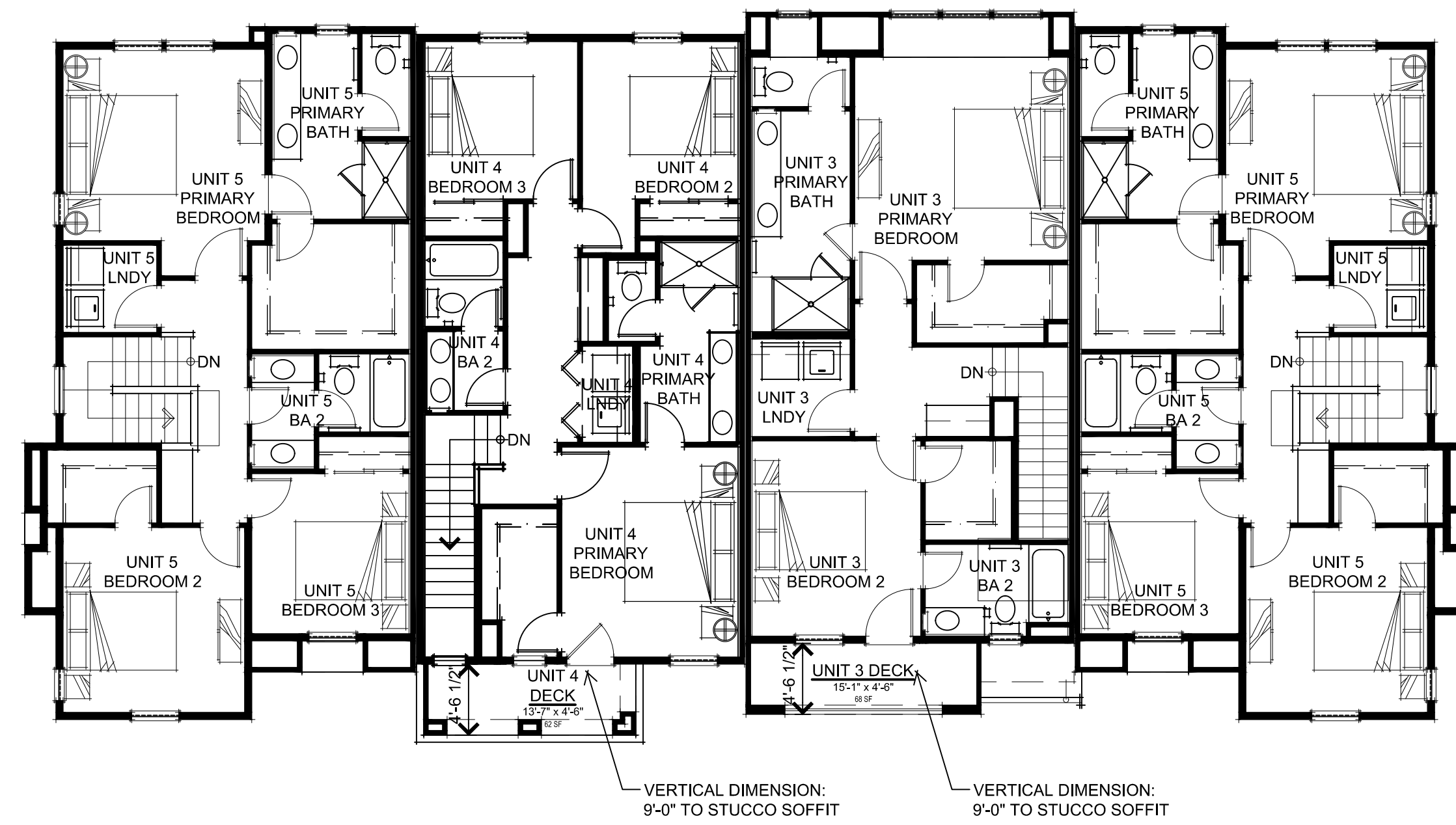




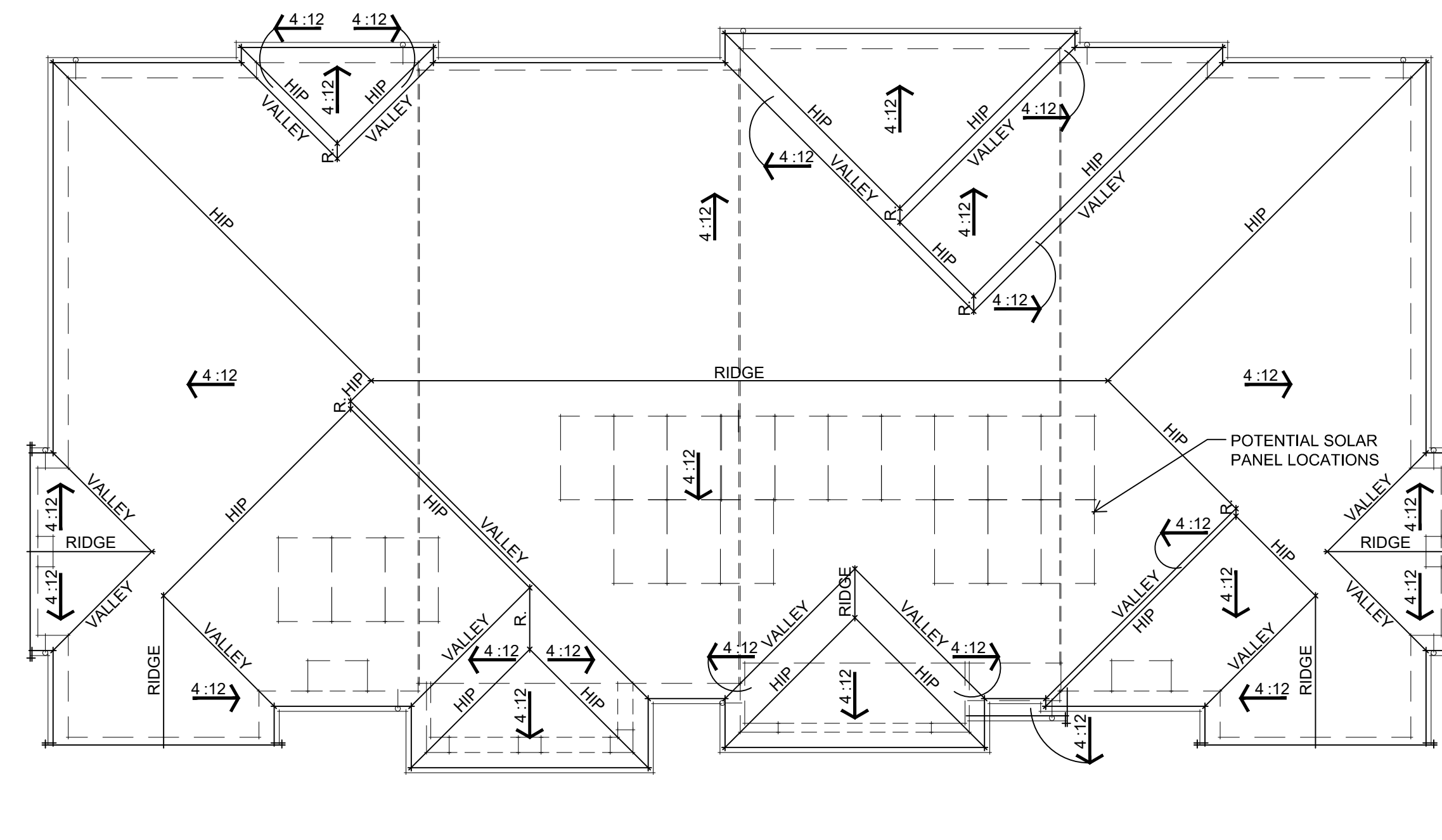
FIRST FLOOR PLAN



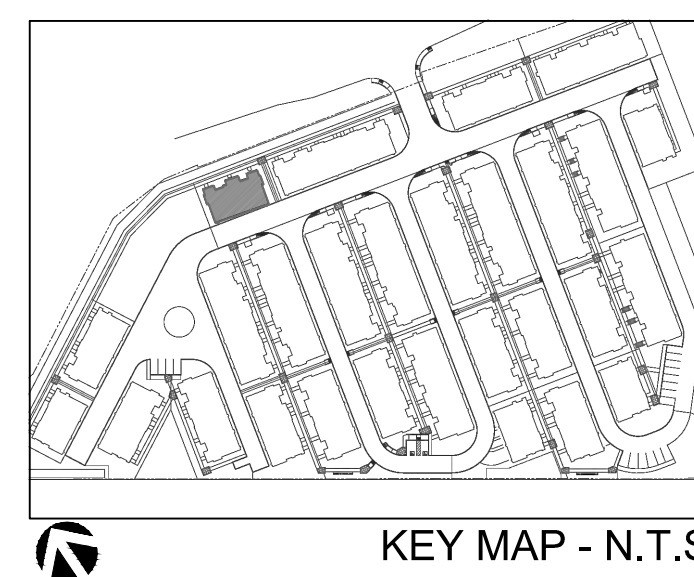
SECOND FLOOR PLAN



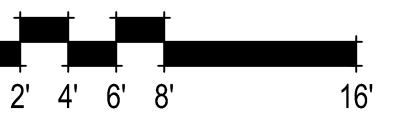
THIRD FLOOR PLAN

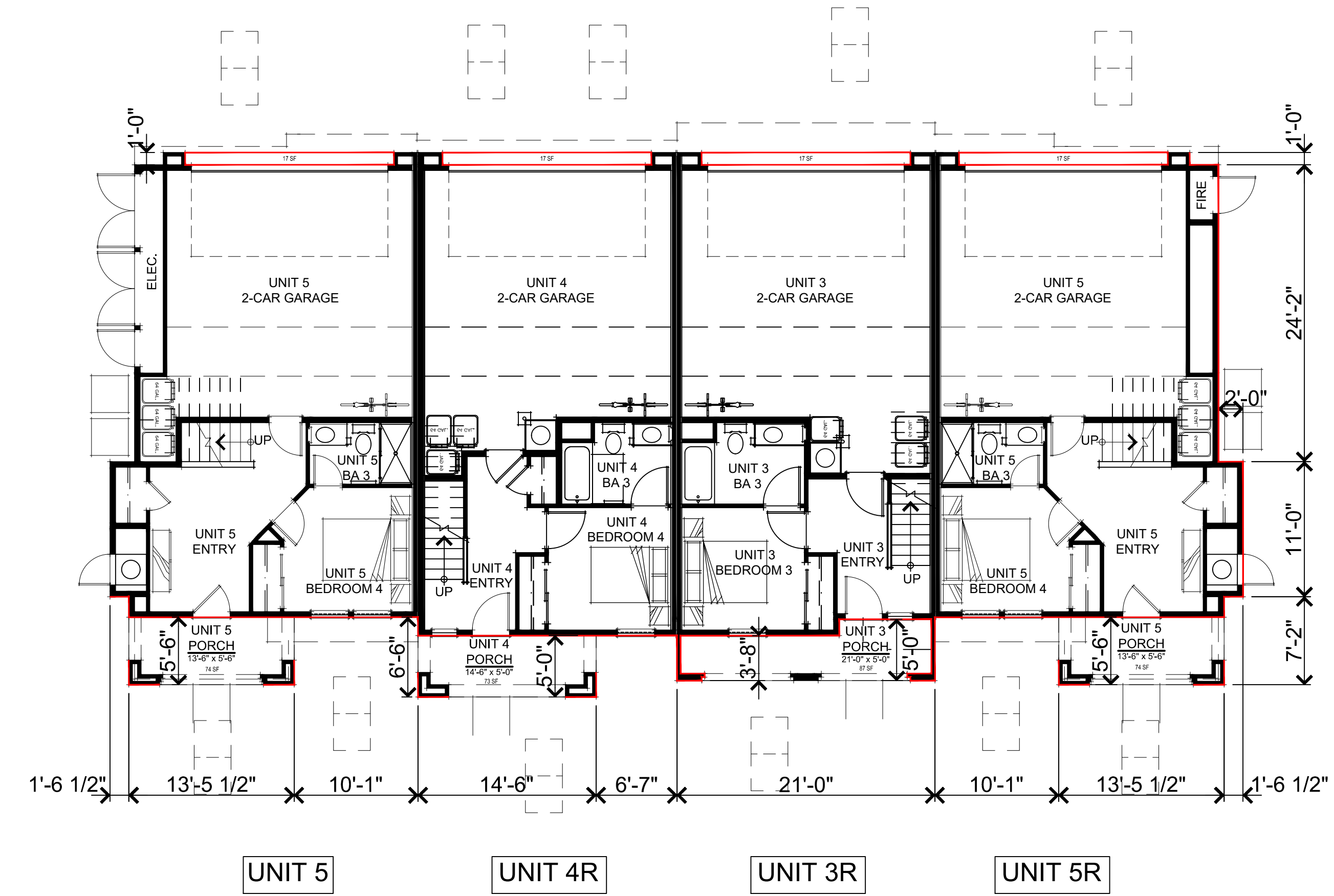


ROOF PLAN

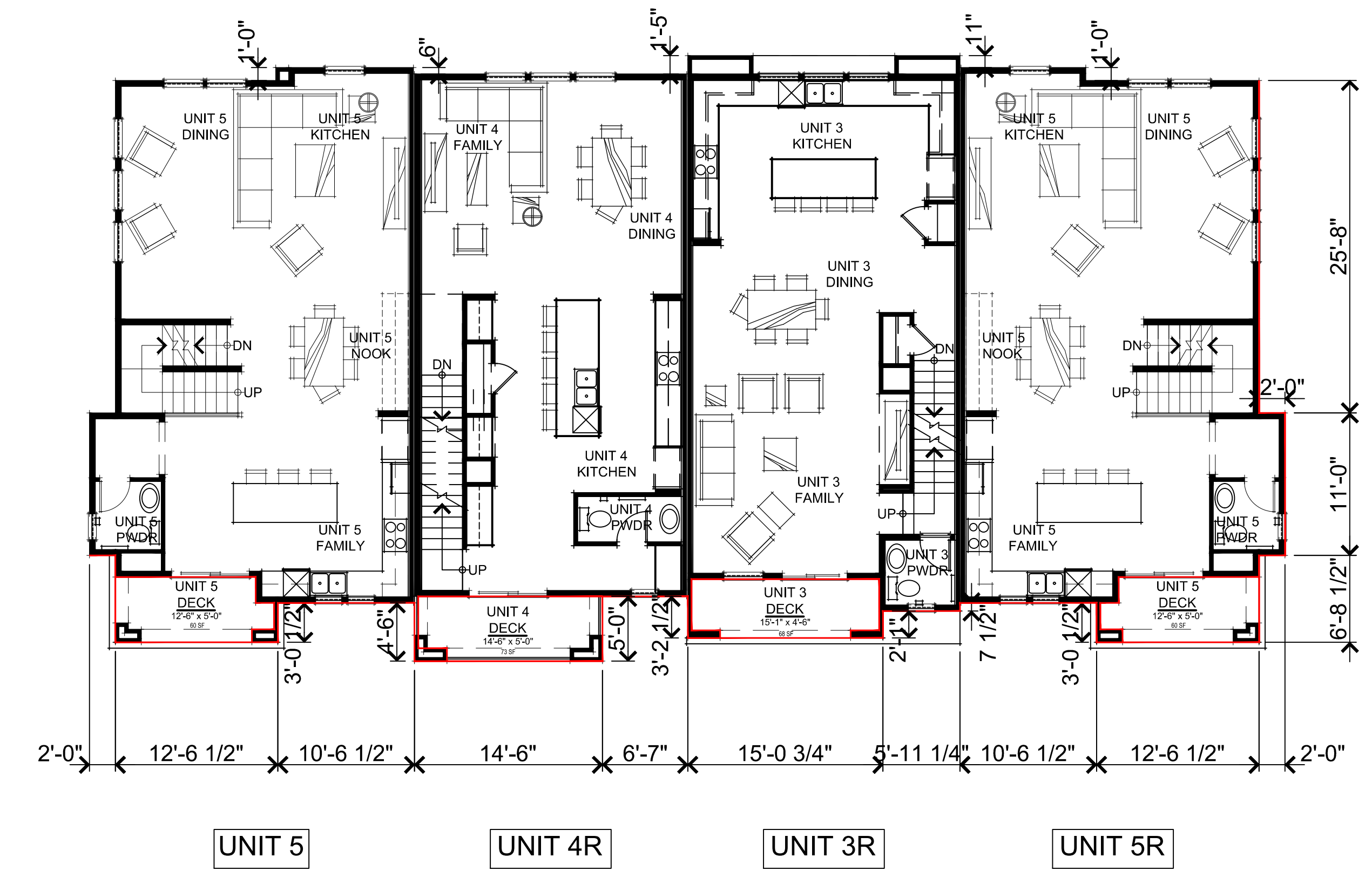


KEY MAP - N.T.S.

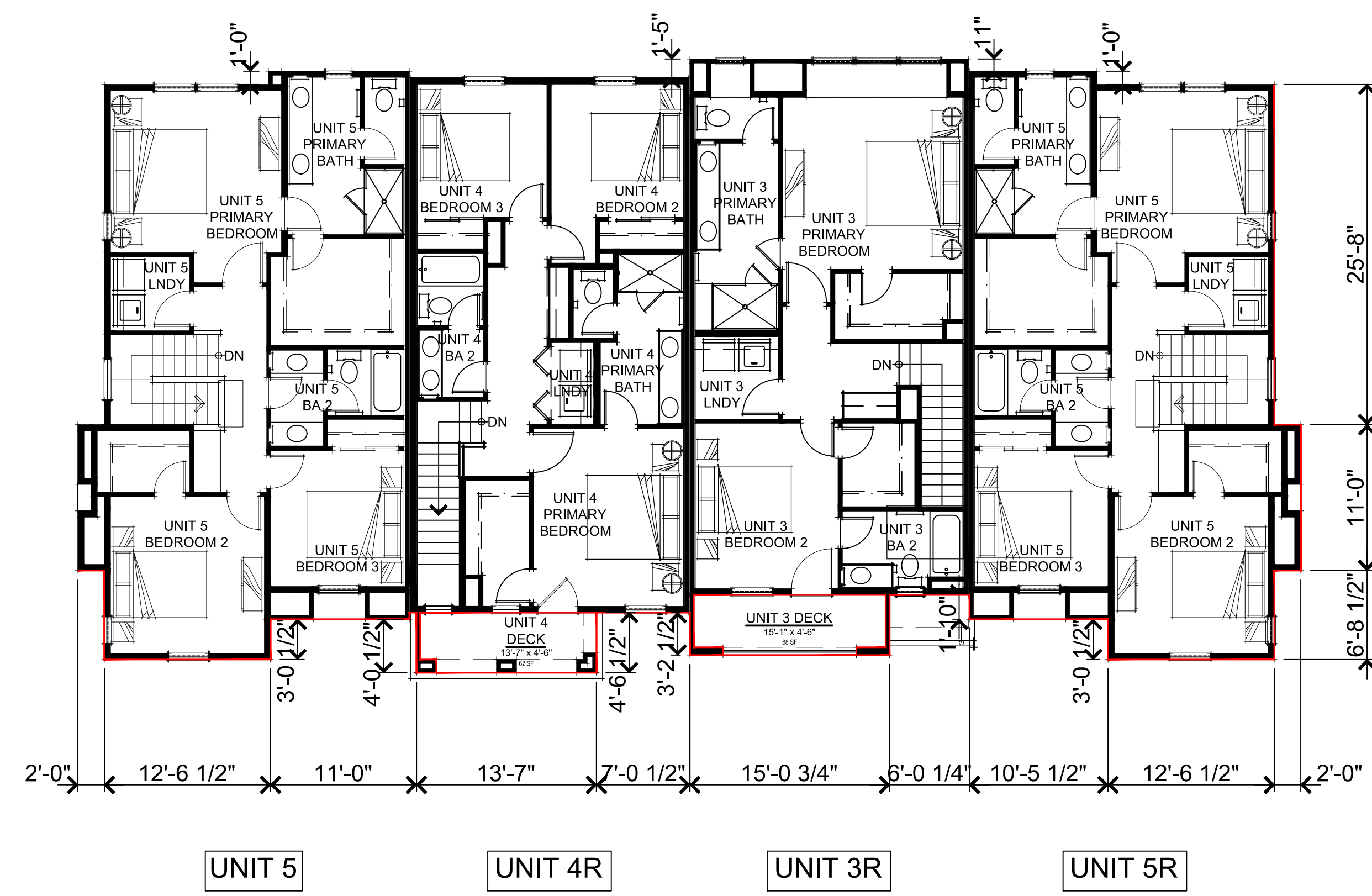




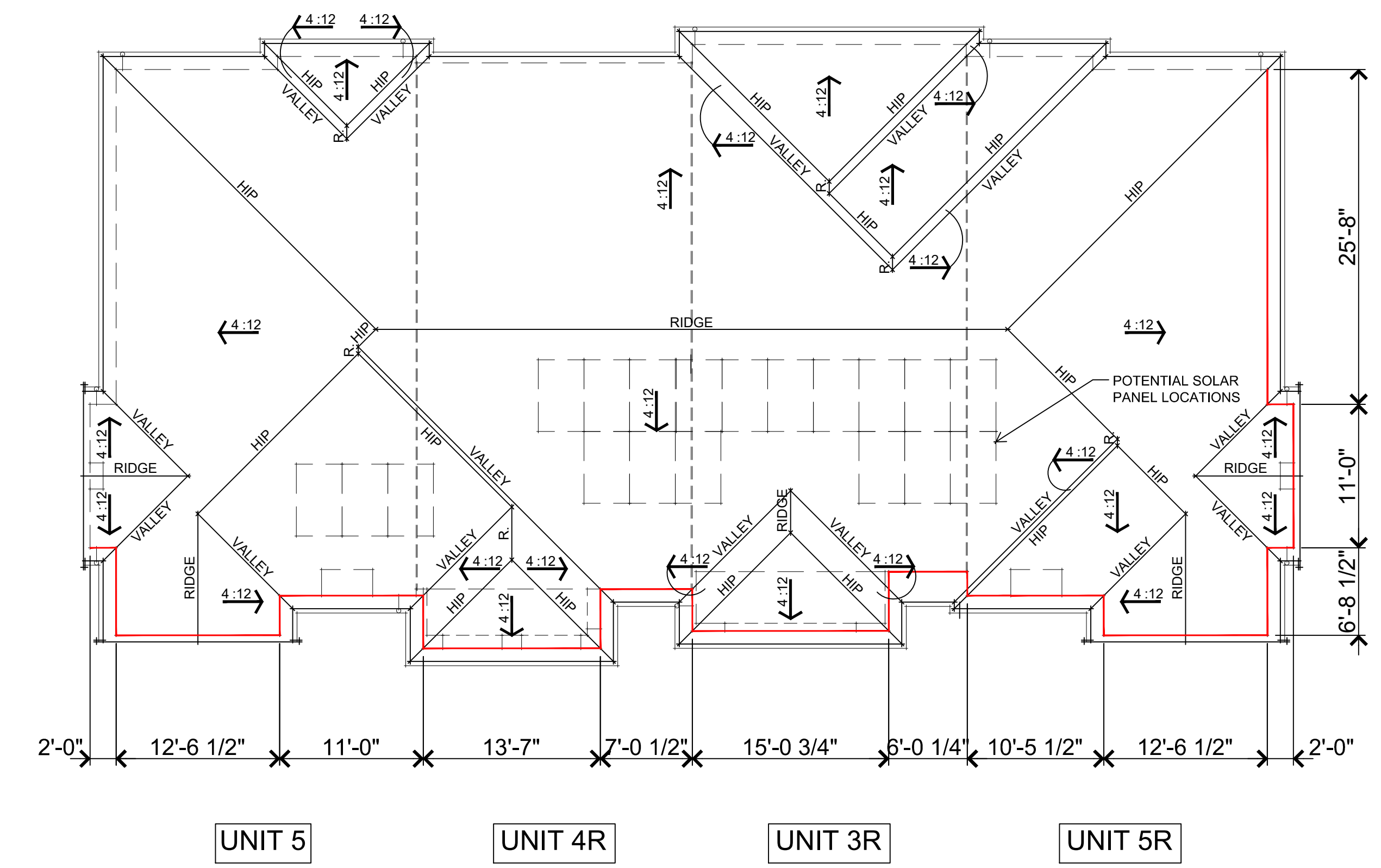
FIRST FLOOR PLAN



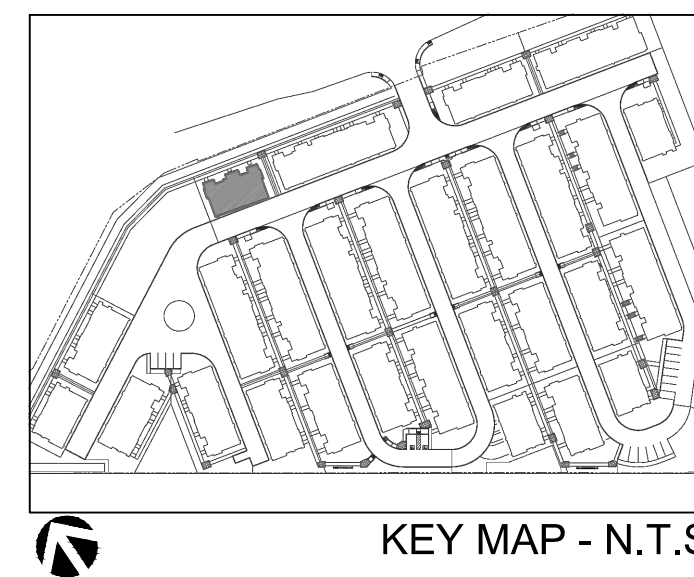
SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF PLAN



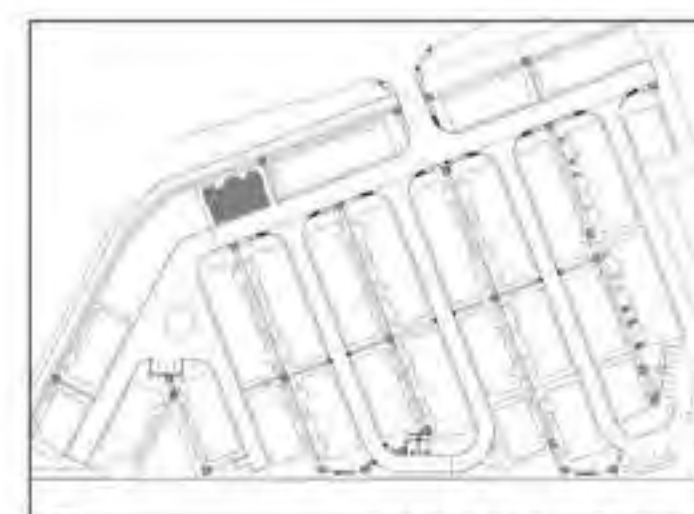


UNIT 5

UNIT 4R

UNIT 3R

UNIT 5R



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1059"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 51 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 51 1/4 / 1059 = 4.8%



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 November 15, 2024

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 COMMUNITIES OF DISTINCTION 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
 650-857-0122

4-UNIT ALT BUILDING FRONT ELEVATION
 A18

SDG Architects, Inc.
 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitects.com



- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
 - 7 INSULATED VINYL WINDOW
 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 71% OF REAR FACADE

TOTAL BUILDING FACADE LENGTH = 1059"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 67 1/2"
 CONTINUOUS LENGTH / TOTAL LENGTH = 67 1/2 / 1059 = 6.4%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 3R

UNIT 4R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1059"
 TOTAL LANDSCAPED TRELLIS LENGTH = 752"
 TRELLIS LENGTH / TOTAL LENGTH = 752 / 1059 = 71%



UNIT 5

LEFT ELEVATION



UNIT 5

UNIT 4R

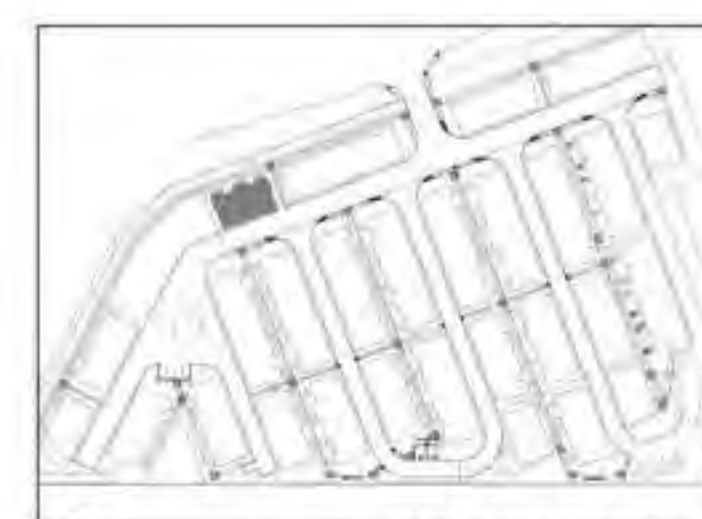
UNIT 3R

UNIT 5R

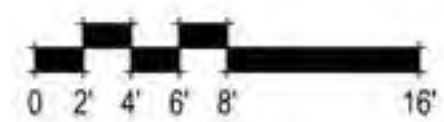
FRONT ELEVATION

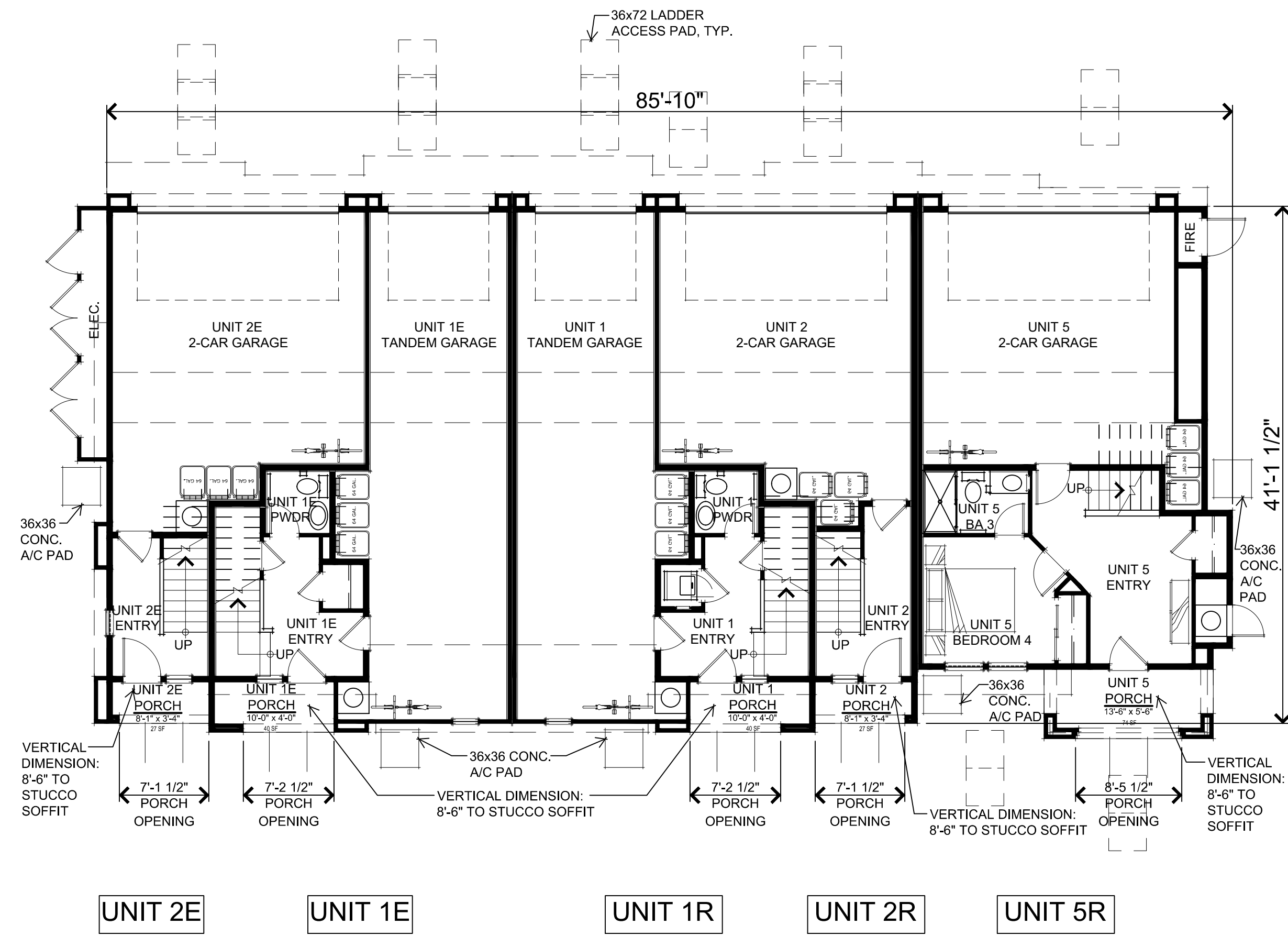
EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)

- MAX. HT. 37'-0 1/2"
- T.O. PL. 29'-2 1/2"
THIRD FLOOR
- T.O. PL. 18'-10 3/4"
SECOND FLOOR
- T.O. PL. 8'-7"
FIRST FLOOR
- T.O. TYP. GRADE 0'-0"

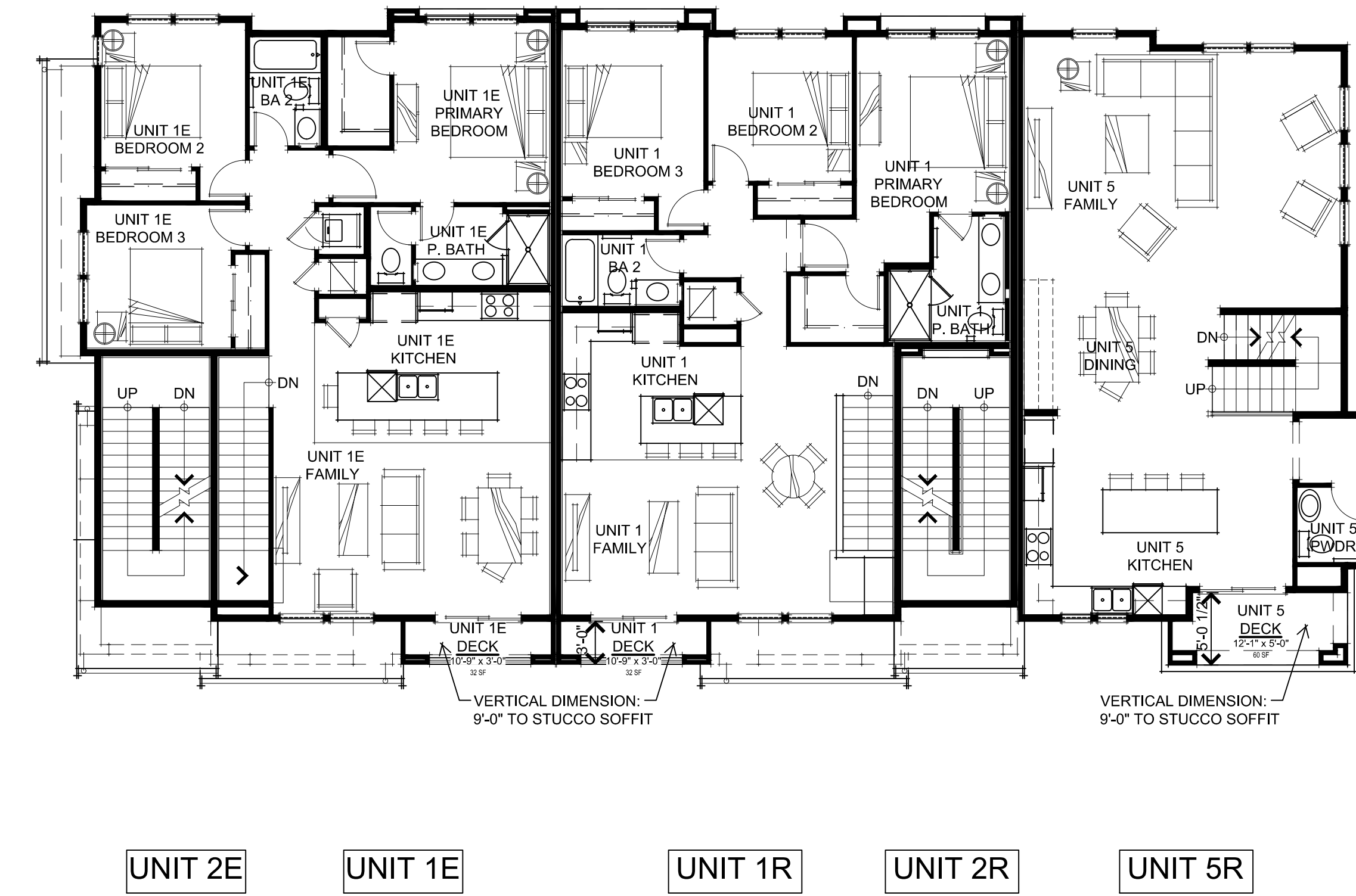


KEY MAP - N.T.S.

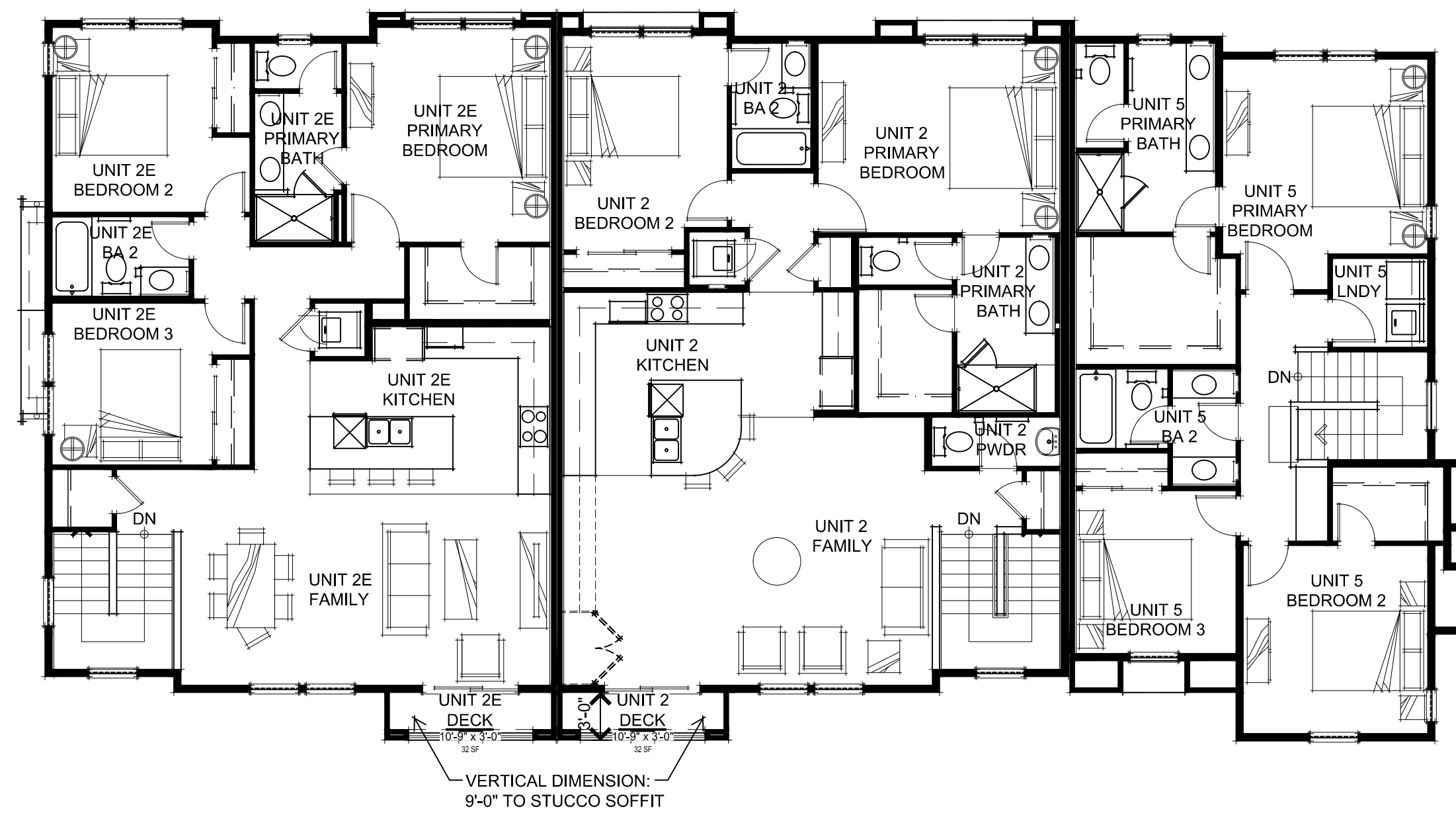




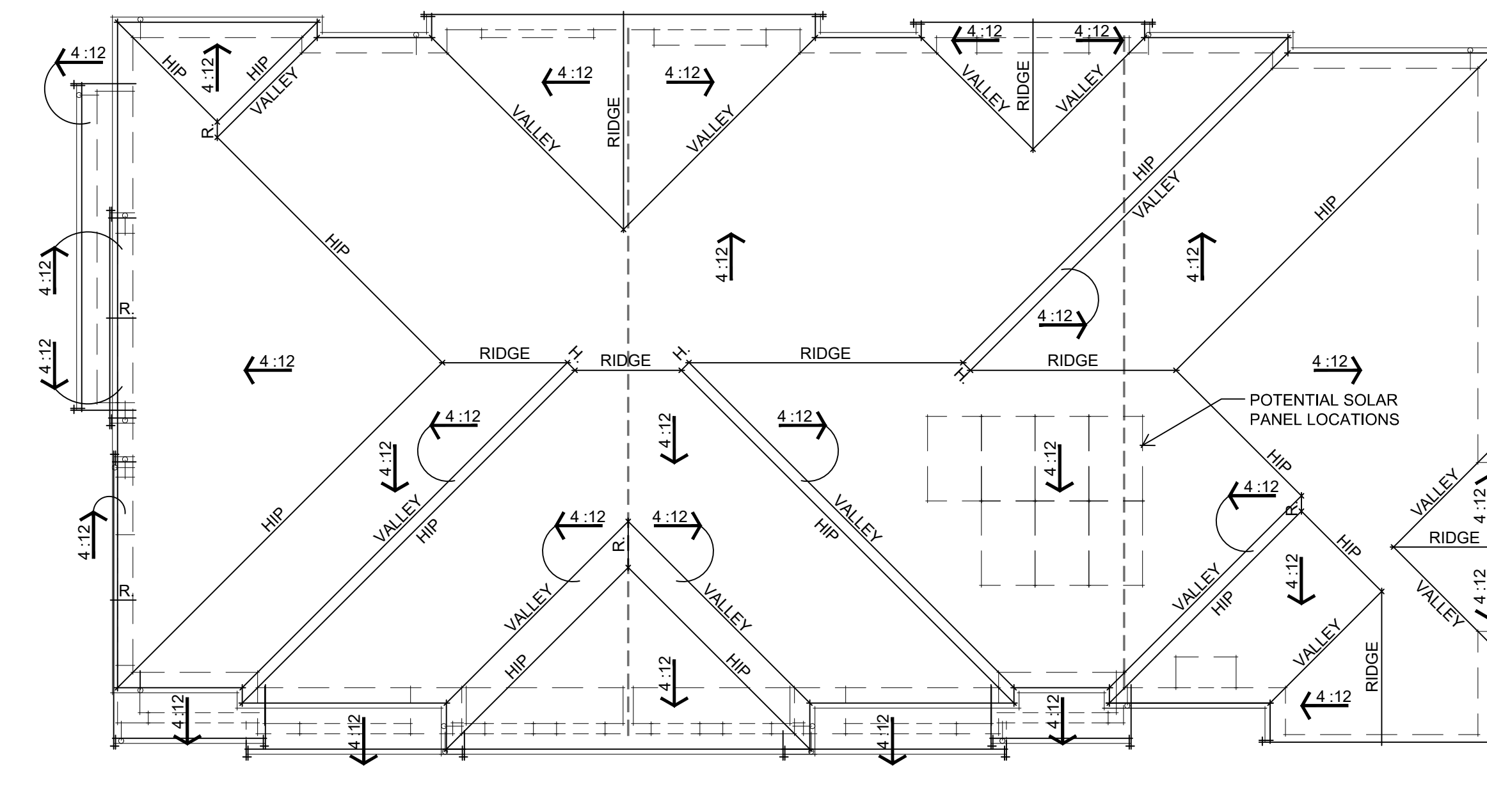
FIRST FLOOR PLAN



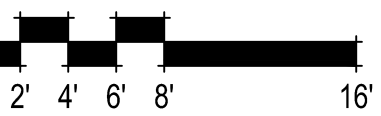
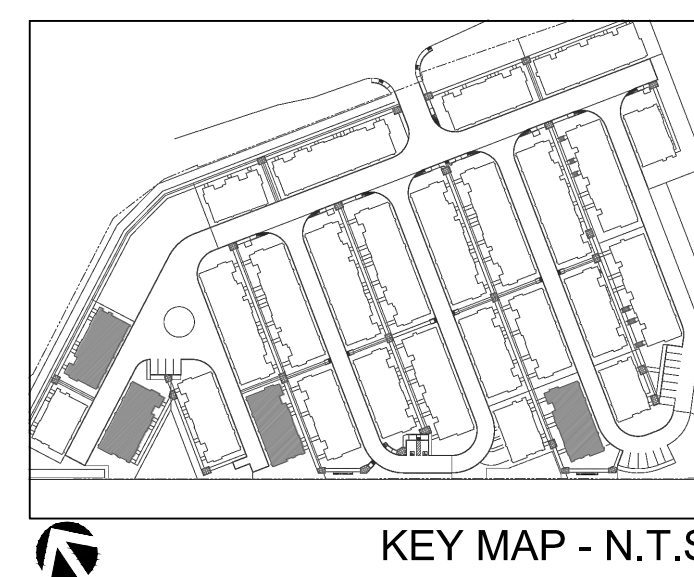
SECOND FLOOR PLAN

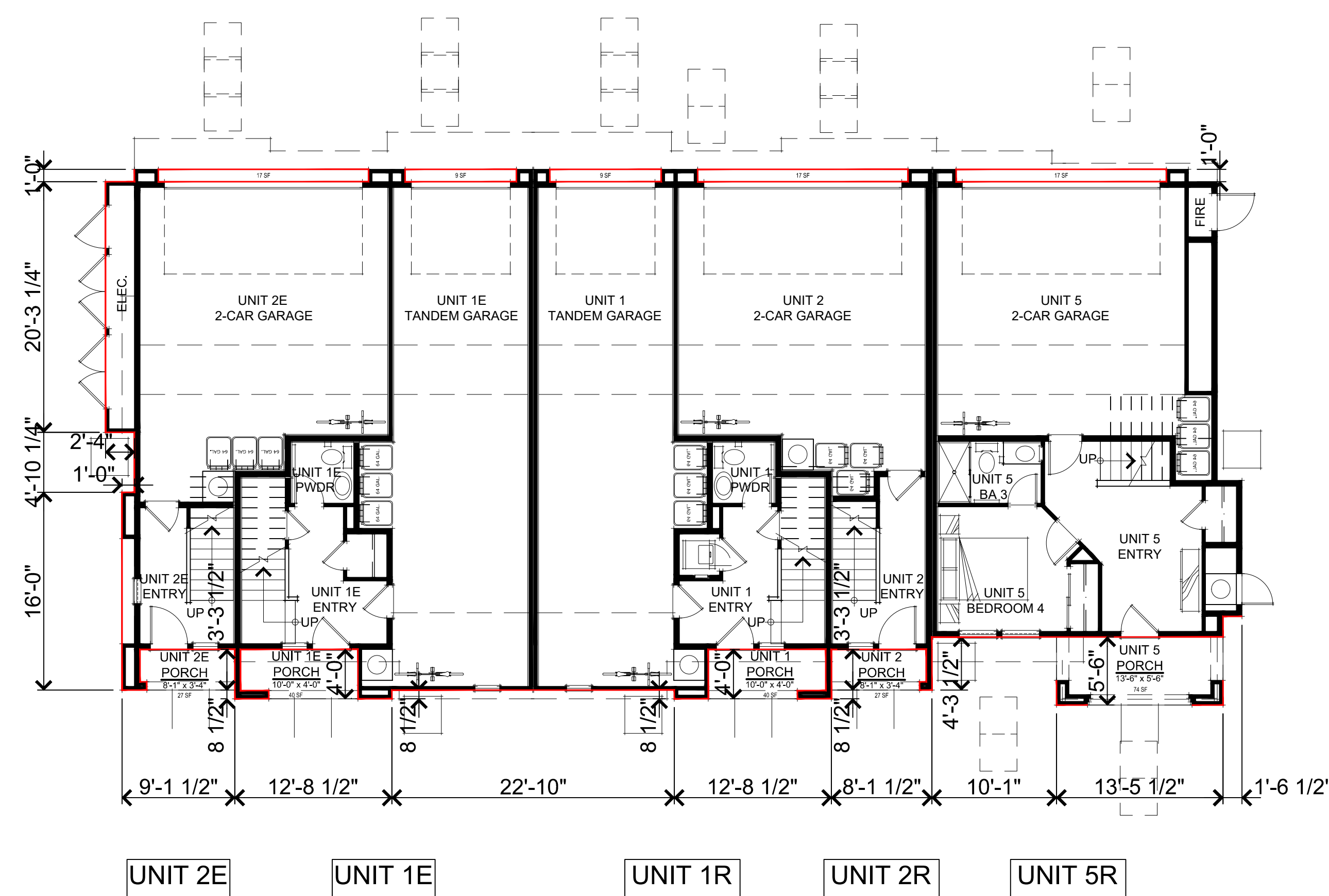


THIRD FLOOR PLAN

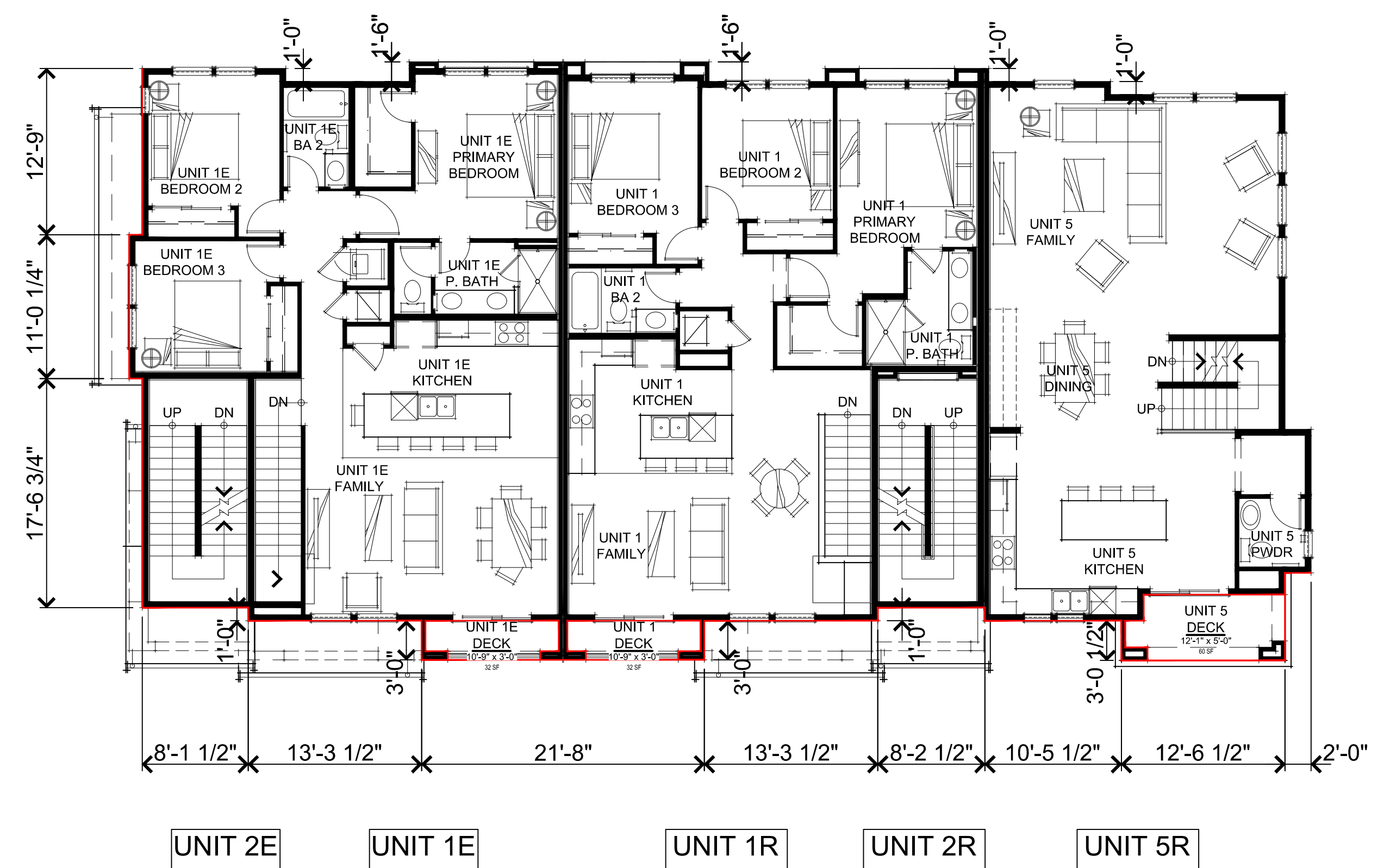


ROOF PLAN

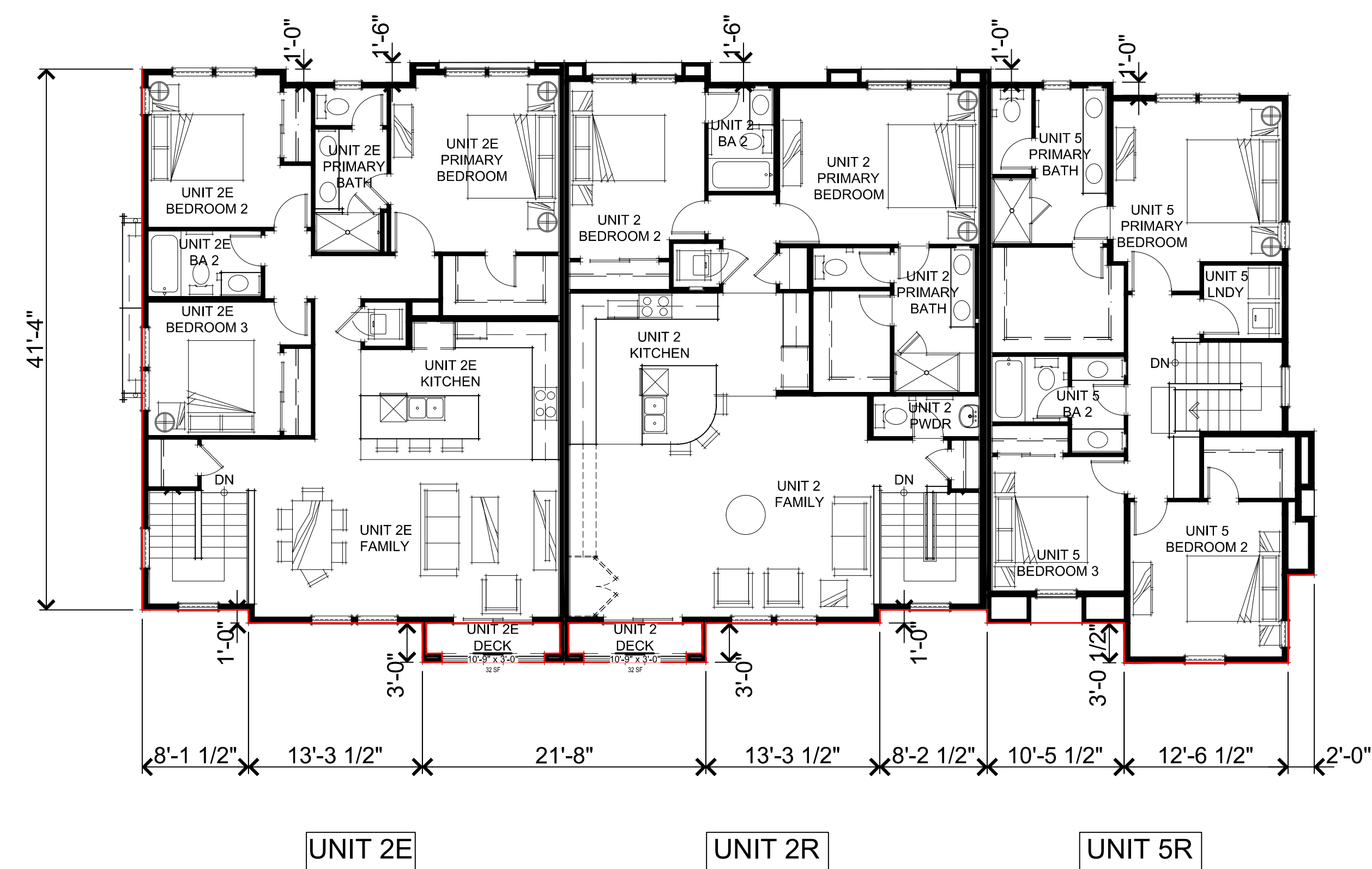




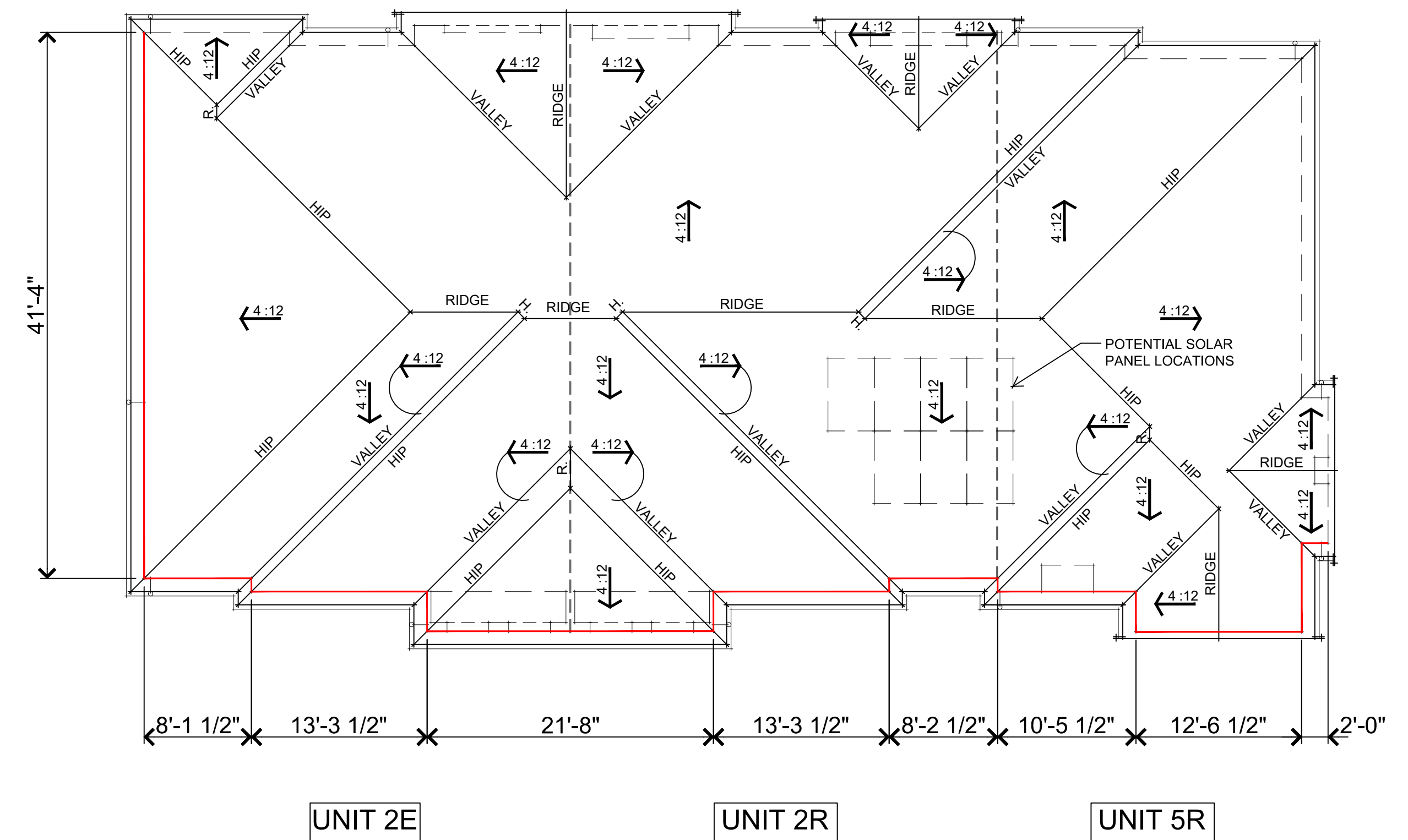
FIRST FLOOR PLAN



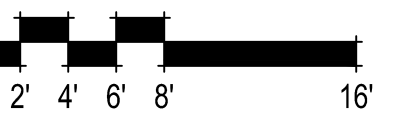
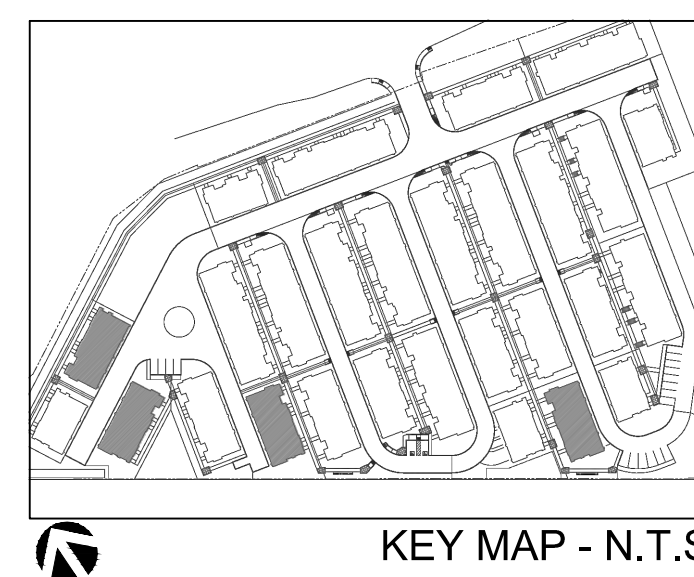
SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF PLAN





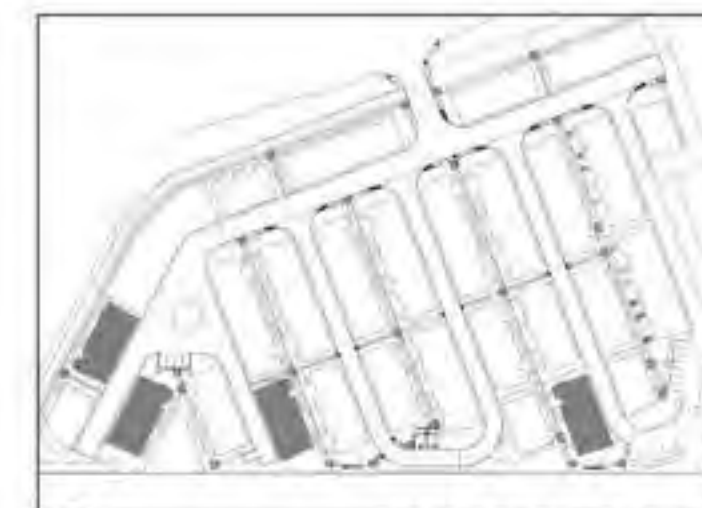
UNIT 2E

UNIT 1E

UNIT 1R

UNIT 2R

UNIT 5R



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1051"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 58 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 58 1/4 / 1051 = 5.5%



5-UNIT BUILDING FRONT ELEVATION
 A21

- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
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 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
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 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 65% OF REAR FACADE

TOTAL BUILDING FACADE LENGTH = 1051"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 113 1/2"
 CONTINUOUS LENGTH / TOTAL LENGTH = 113 1/2 / 1051 = 10.8%



UNIT 5R
 RIGHT ELEVATION



TOTAL FACADE LENGTH = 1051"
 TOTAL LANDSCAPED TRELLIS LENGTH = 680 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 680 3/4 / 1051 = 65%

UNIT 5R UNIT 2R UNIT 1R UNIT 1E UNIT 2E
 REAR ELEVATION



UNIT 2E
 LEFT ELEVATION



MAX. HT. 37'-3 1/2"
 T.O. PL. 29'-2 1/2" THIRD FLOOR
 T.O. PL. 18'-10 3/4" SECOND FLOOR
 T.O. PL. 8'-7" FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

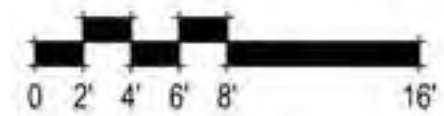
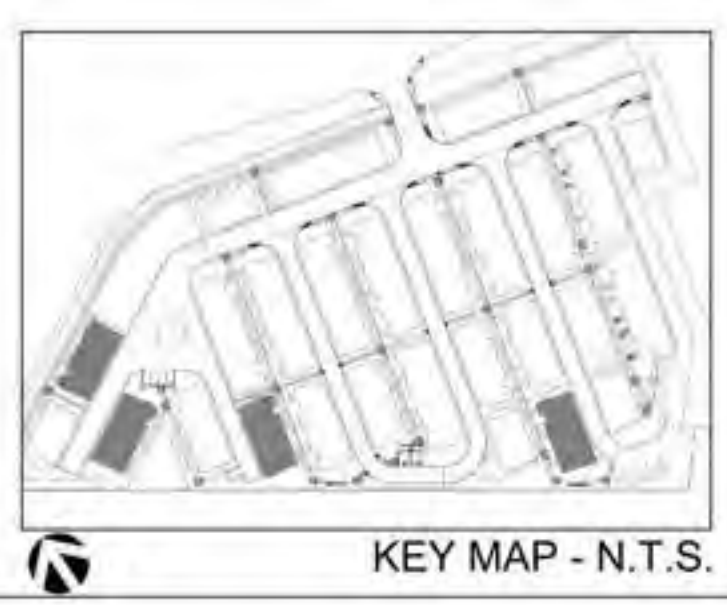
EAVE HT. 29'-10 1/2" (INTERSECTION OF ROOF TO EXTERIOR WALL)

LINE OF DAYLIGHT PLANE @ BLDG 28

LINE OF DAYLIGHT PLANE @ BLDG 15

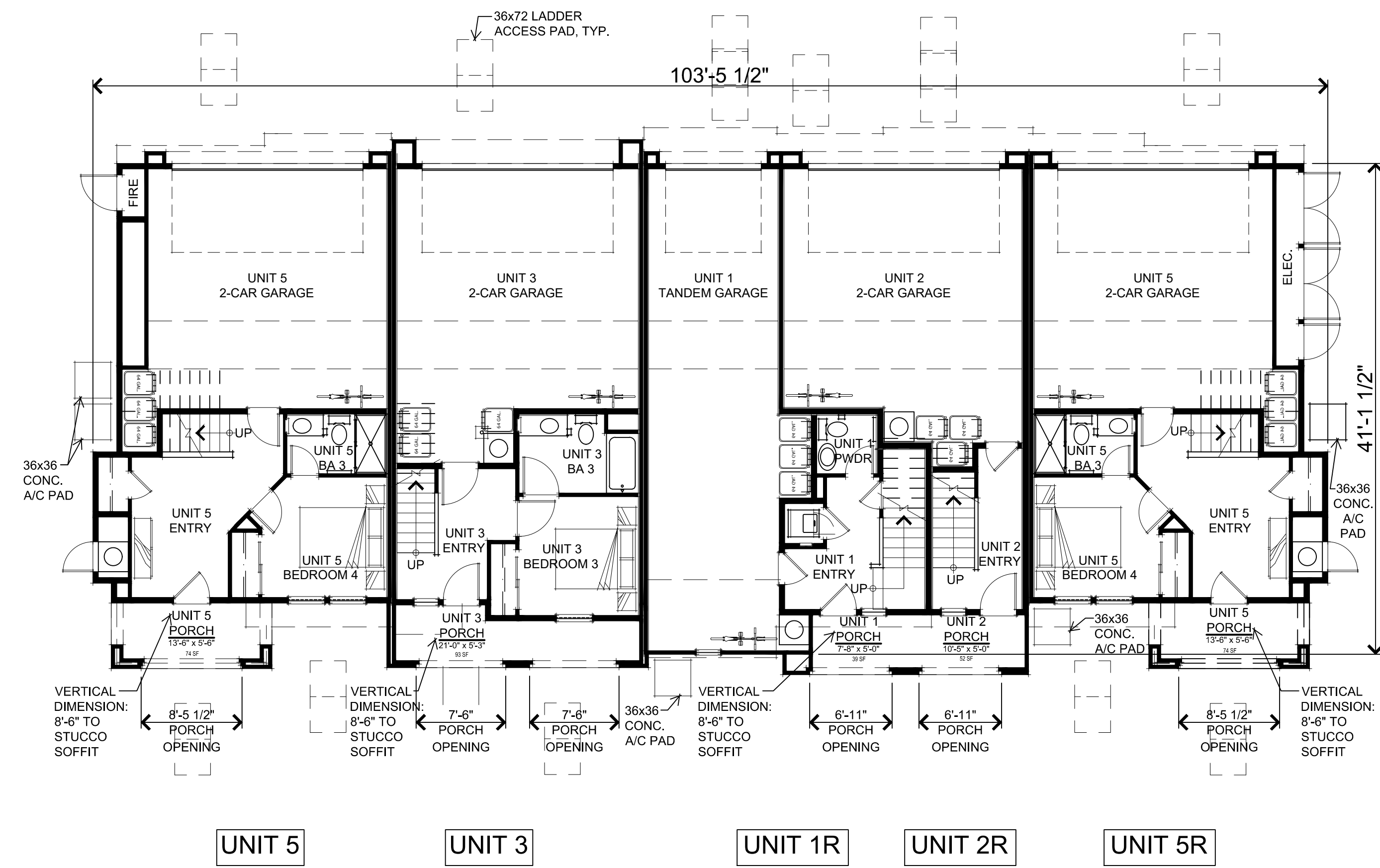
PROPERTY LINE @ HIGH SCHOOL

UNIT 2E UNIT 1E UNIT 1R UNIT 2R UNIT 5R
 FRONT ELEVATION

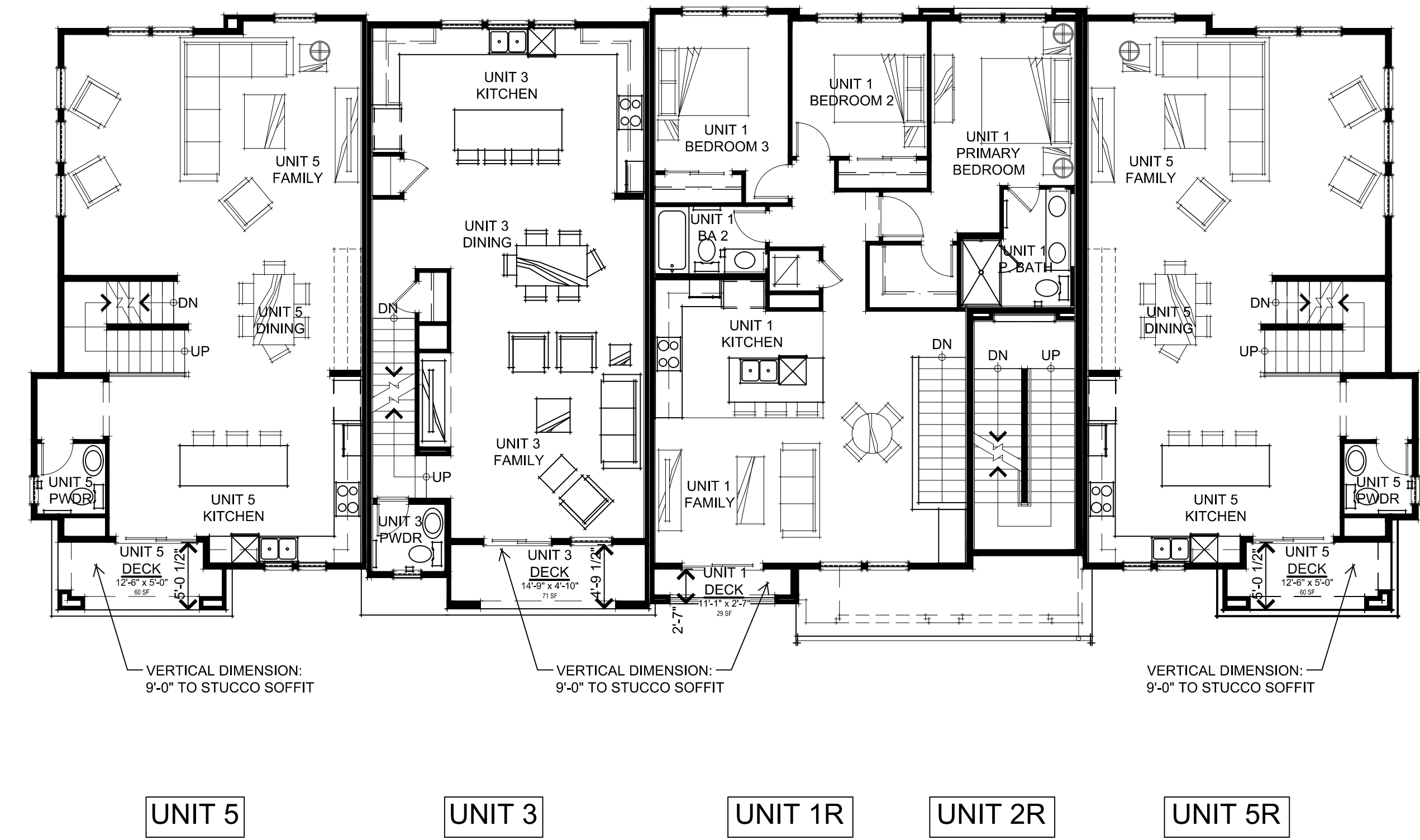


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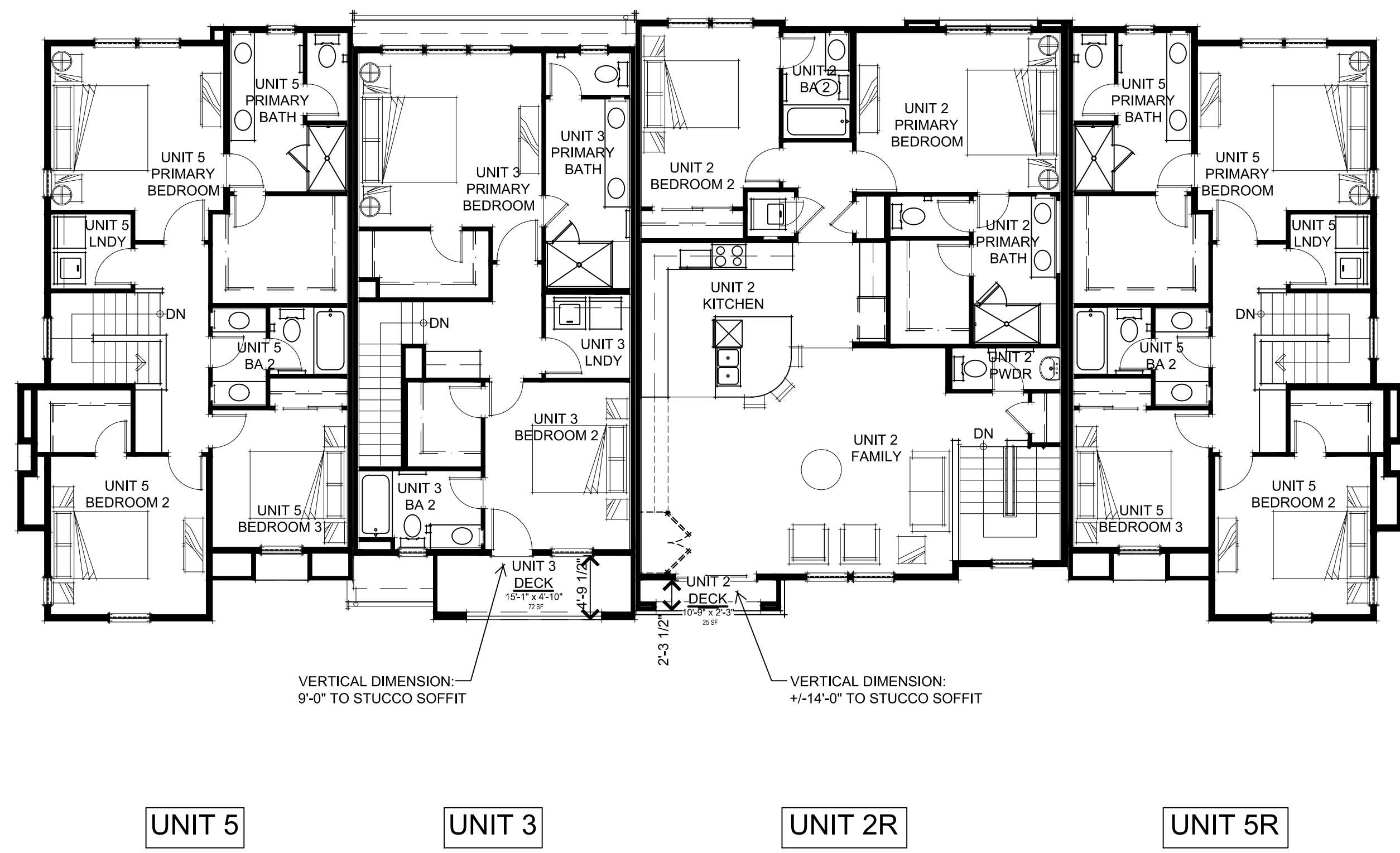
5-UNIT BUILDING ELEVATIONS
 A22



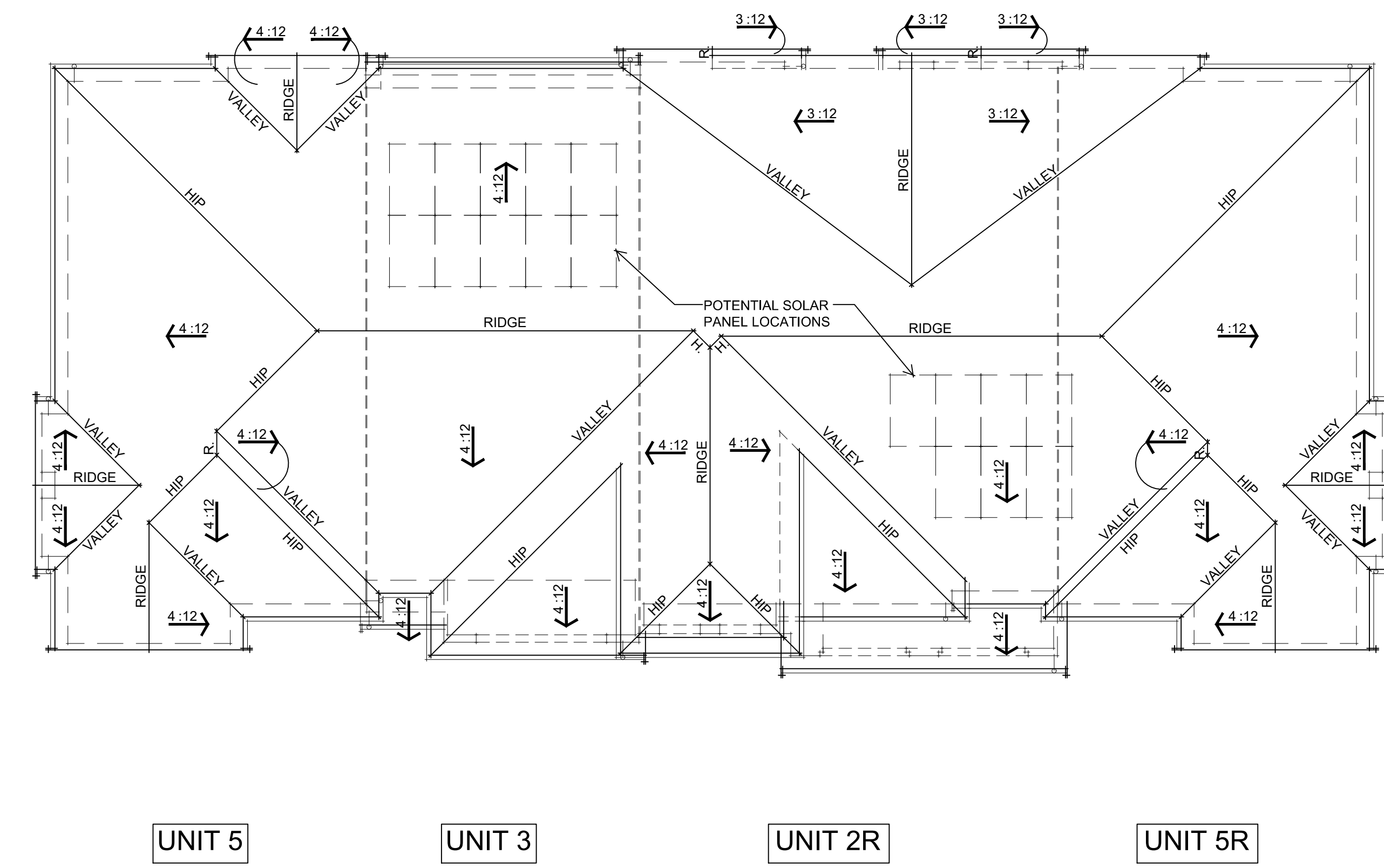
FIRST FLOOR PLAN



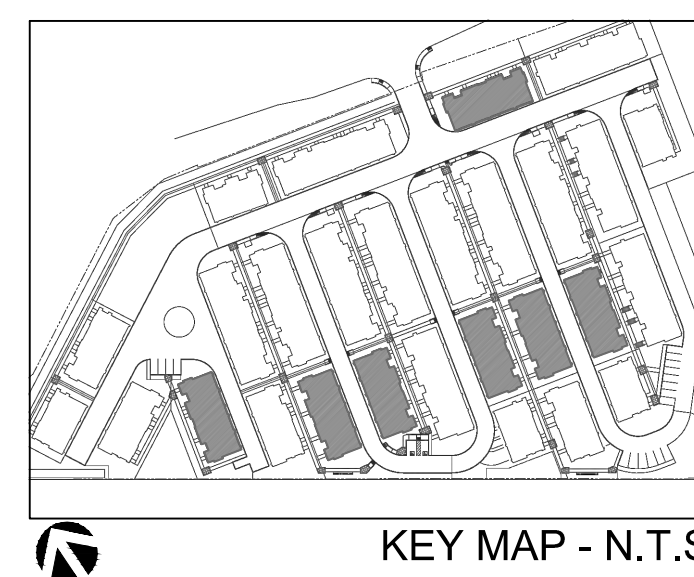
SECOND FLOOR PLAN

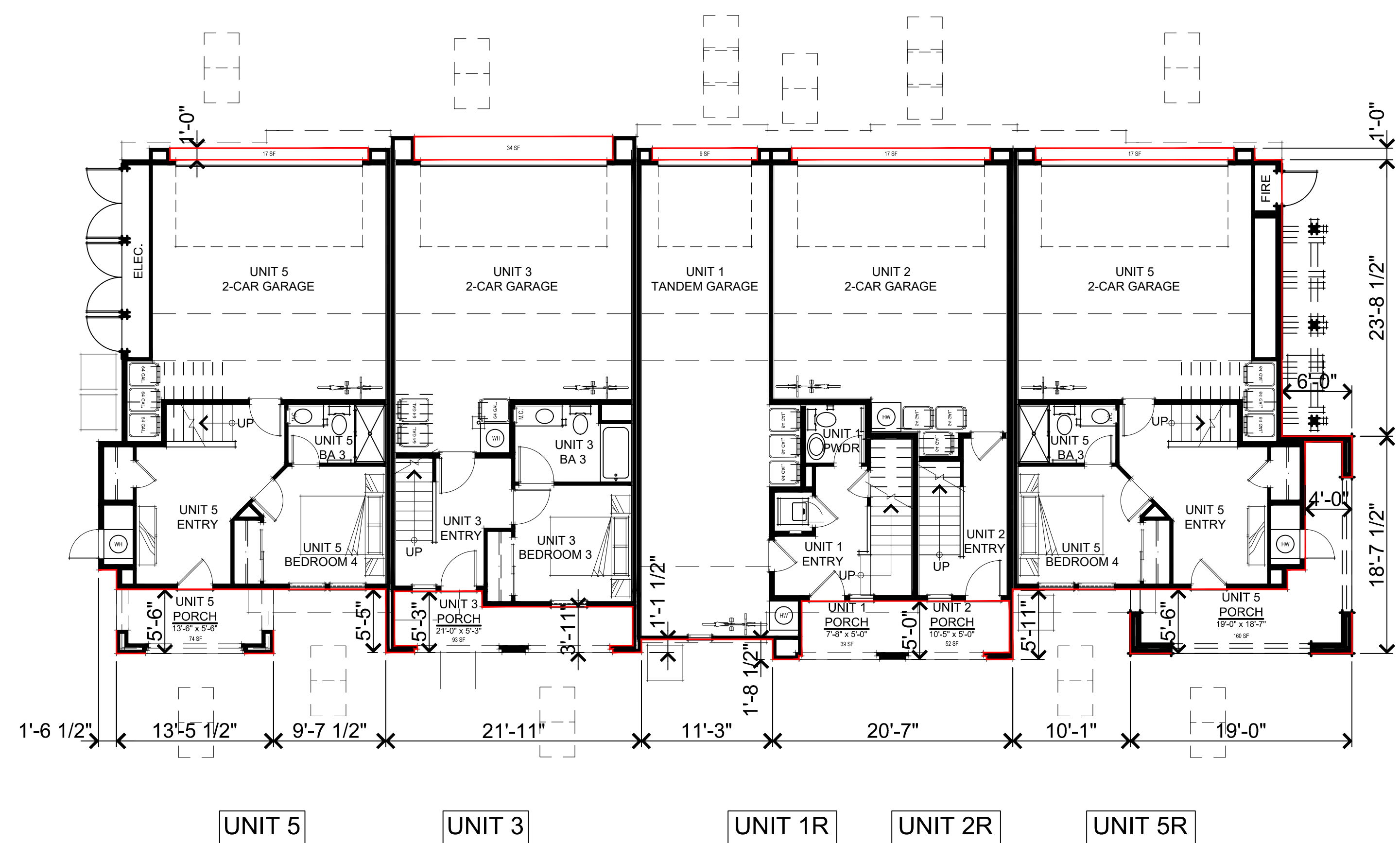


THIRD FLOOR PLAN

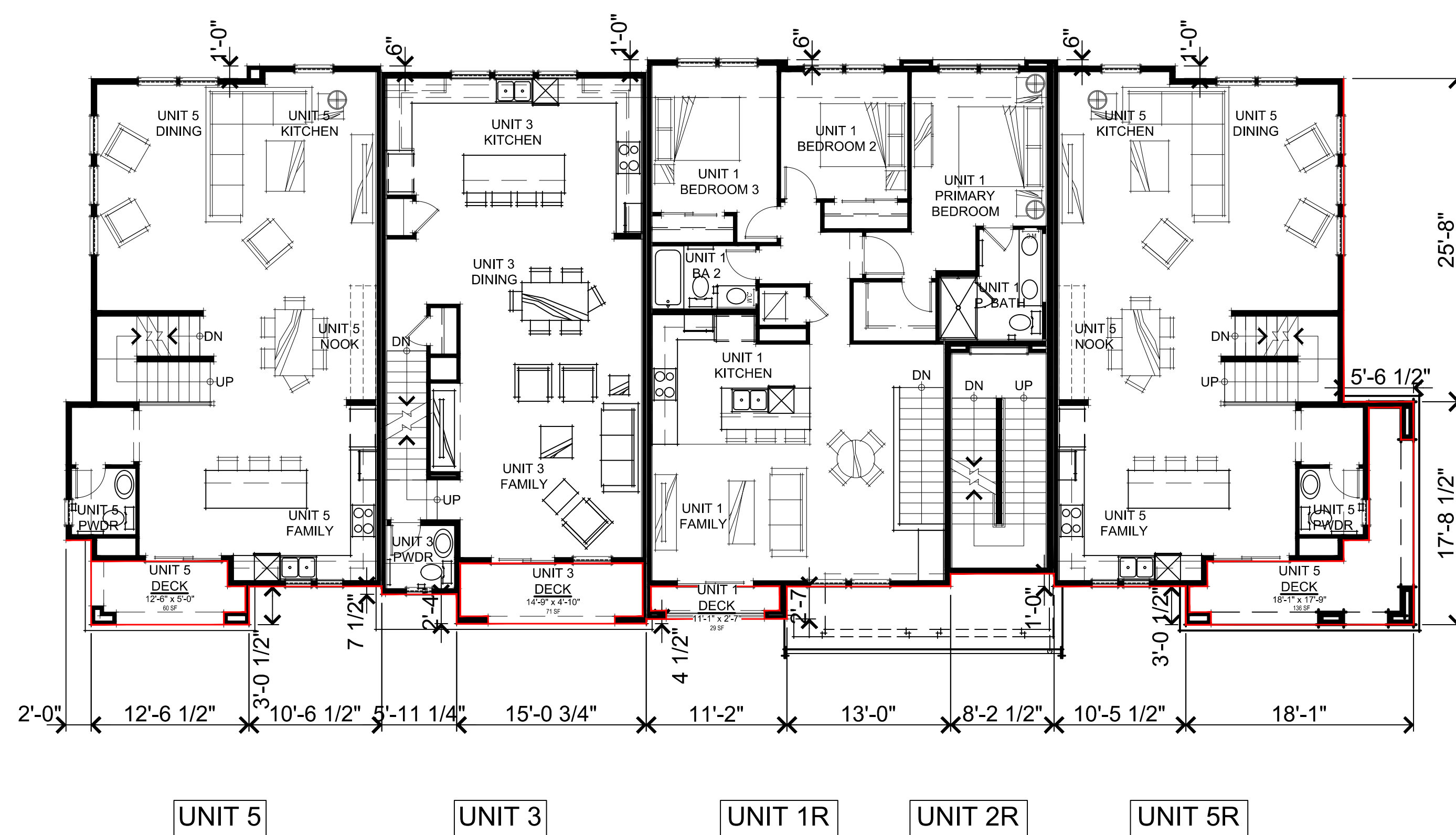


ROOF PLAN

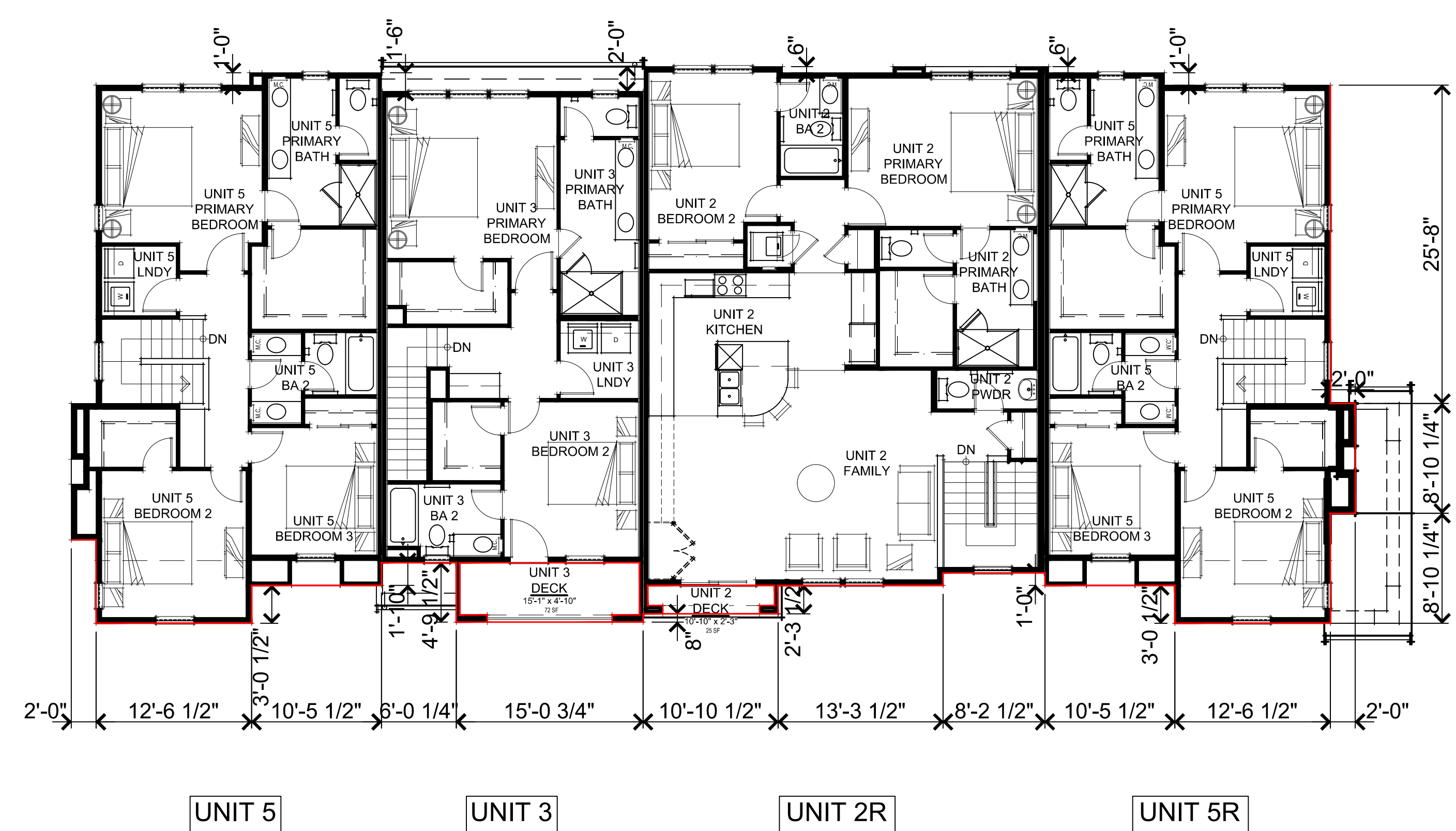




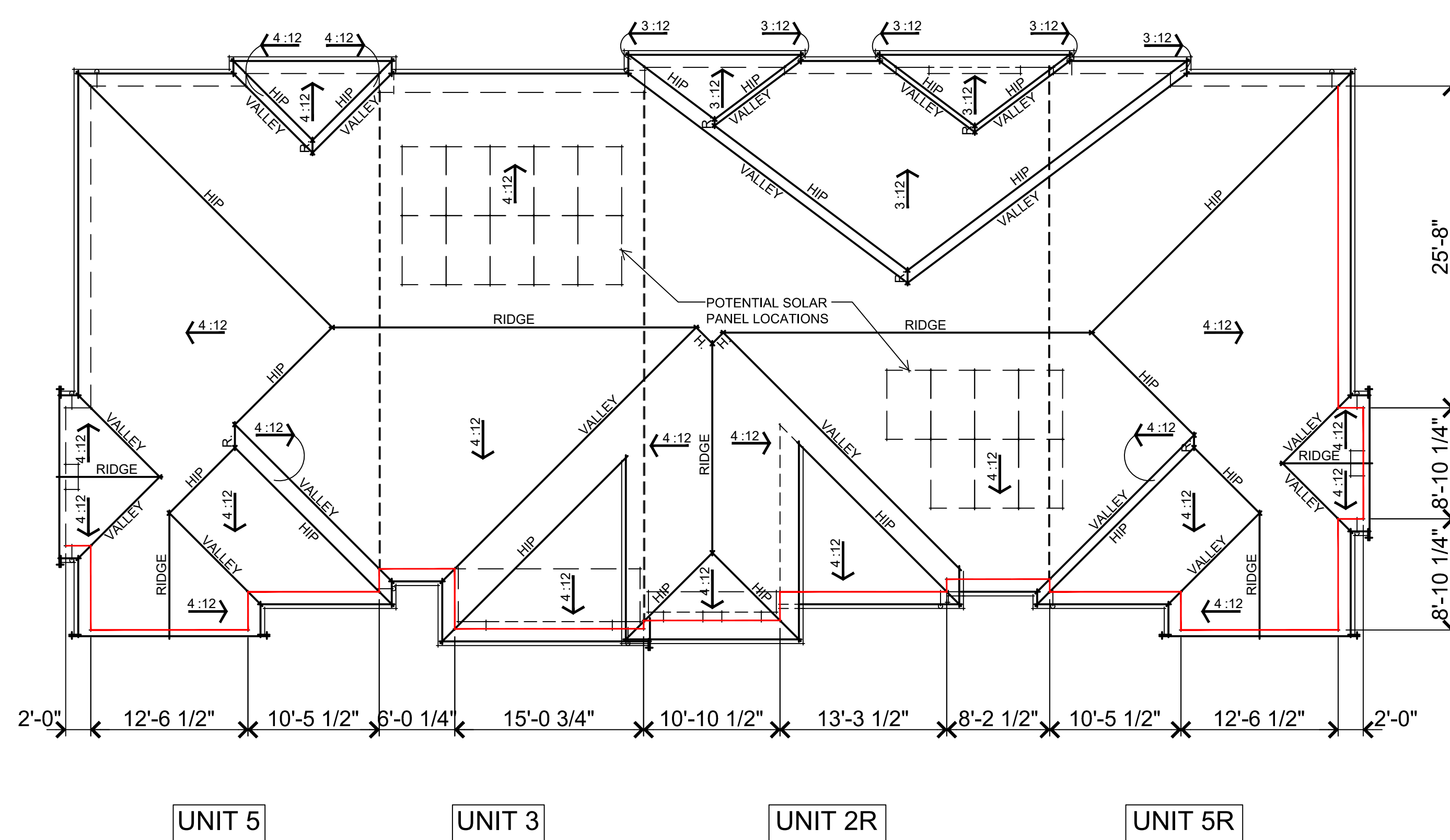
FIRST FLOOR PLAN



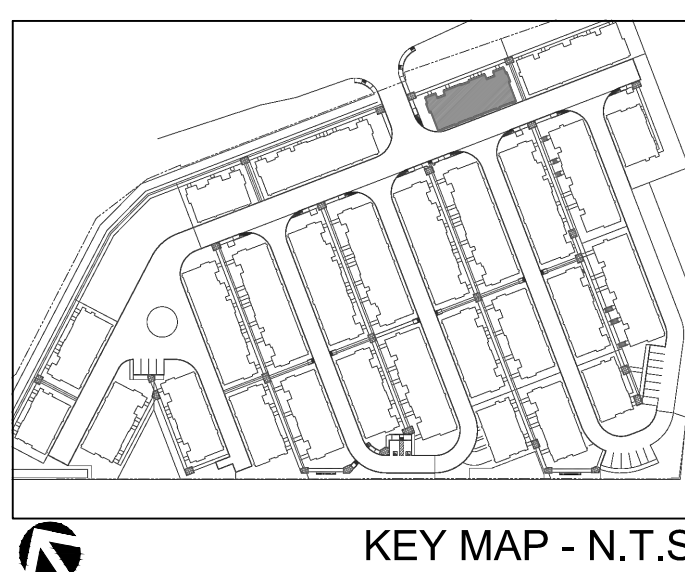
SECOND FLOOR PLAN



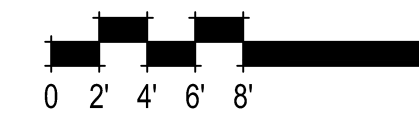
THIRD FLOOR PLAN

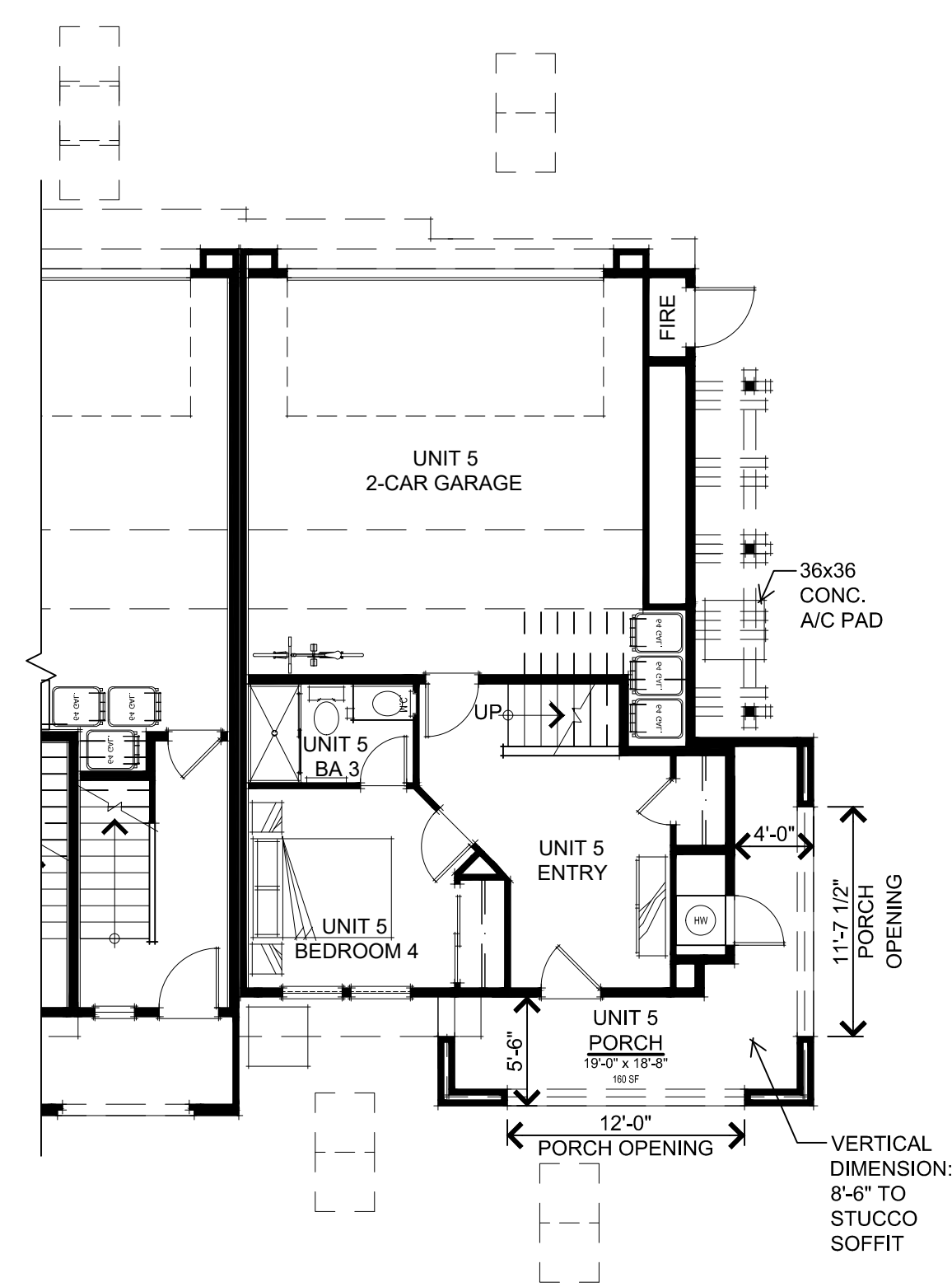


ROOF PLAN



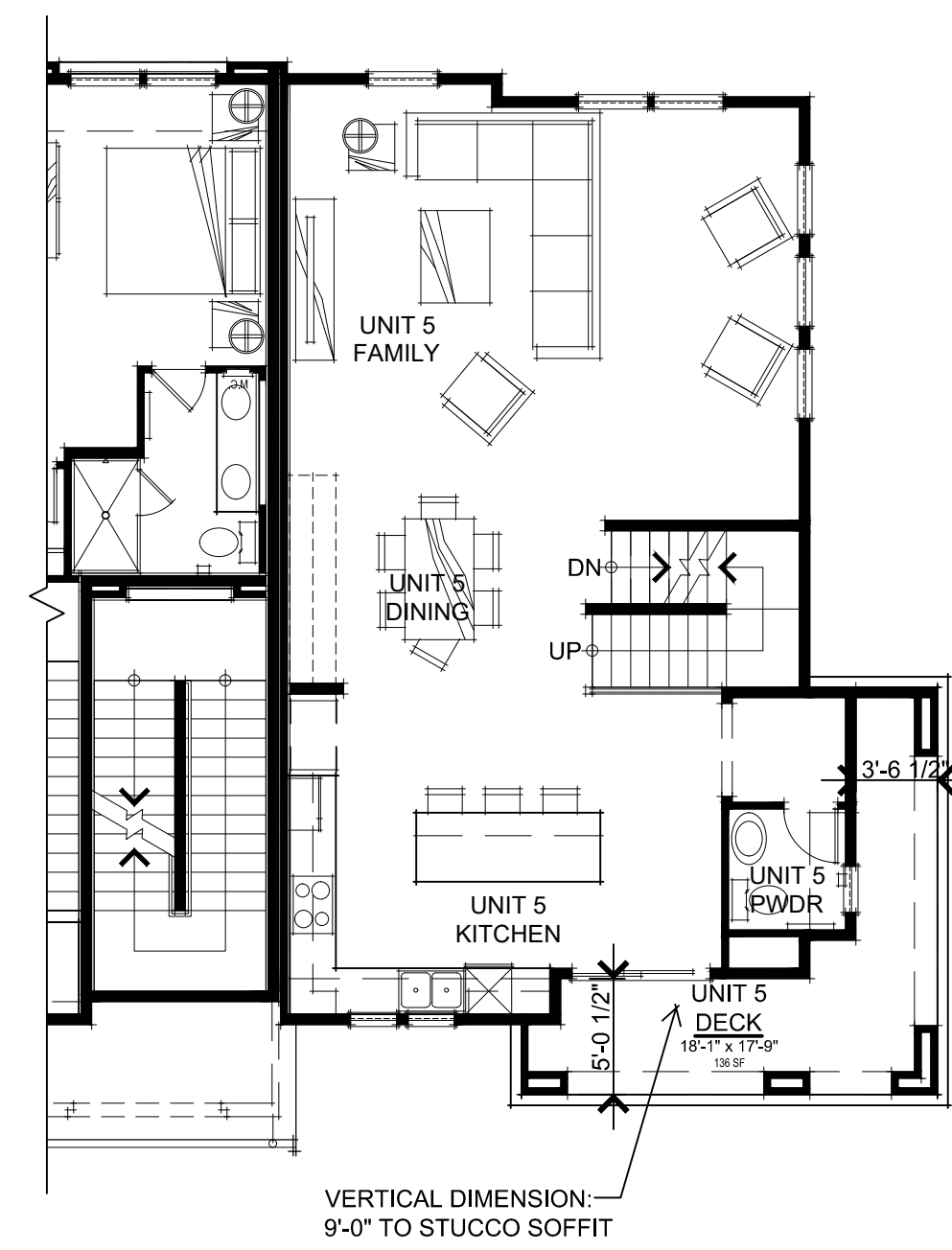
NOTE:
AT WRAPPED PORCH CONDITION





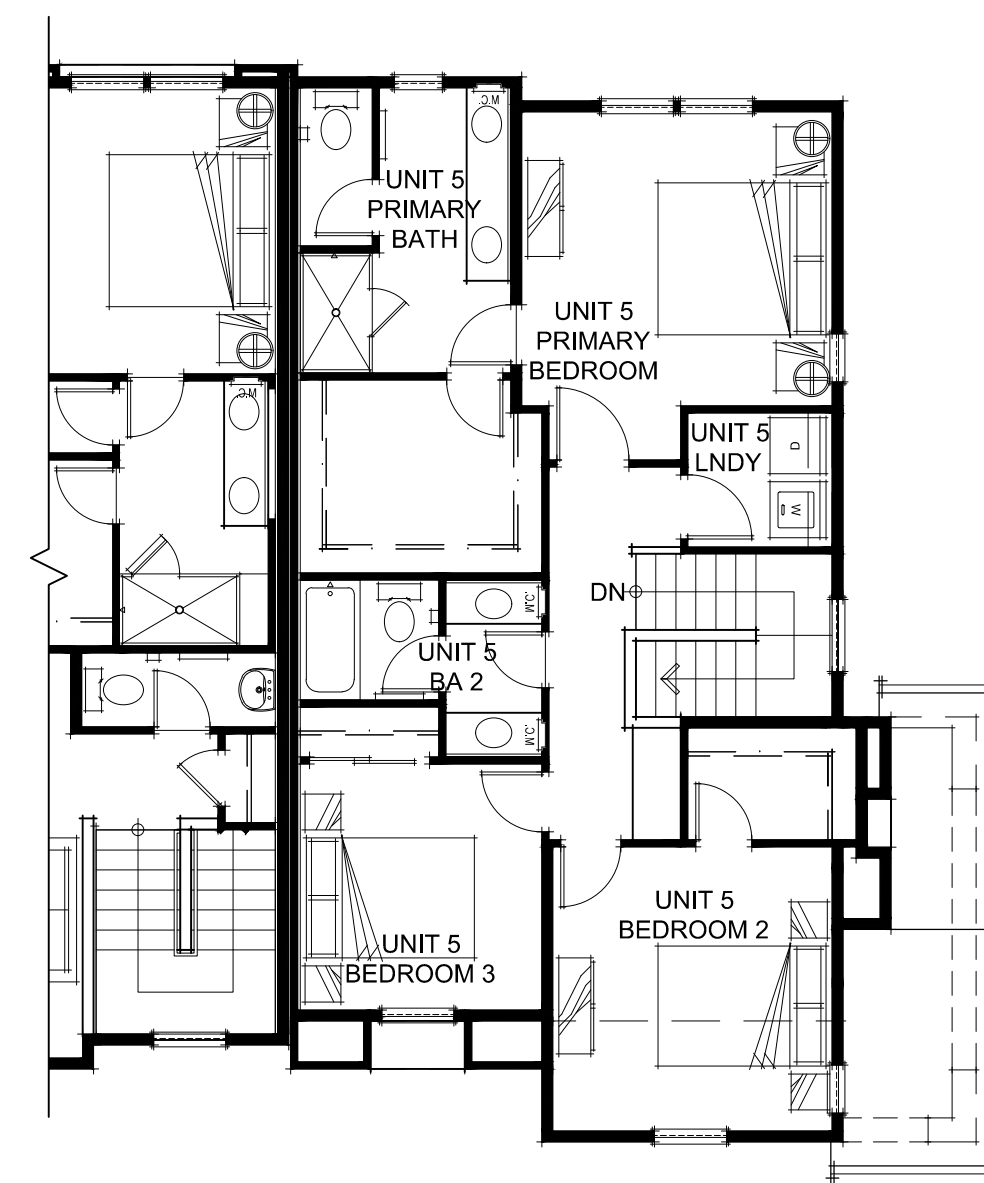
UNIT 5R

WRAPPED PORCH @ BLDG. 5
FIRST FLOOR PLAN



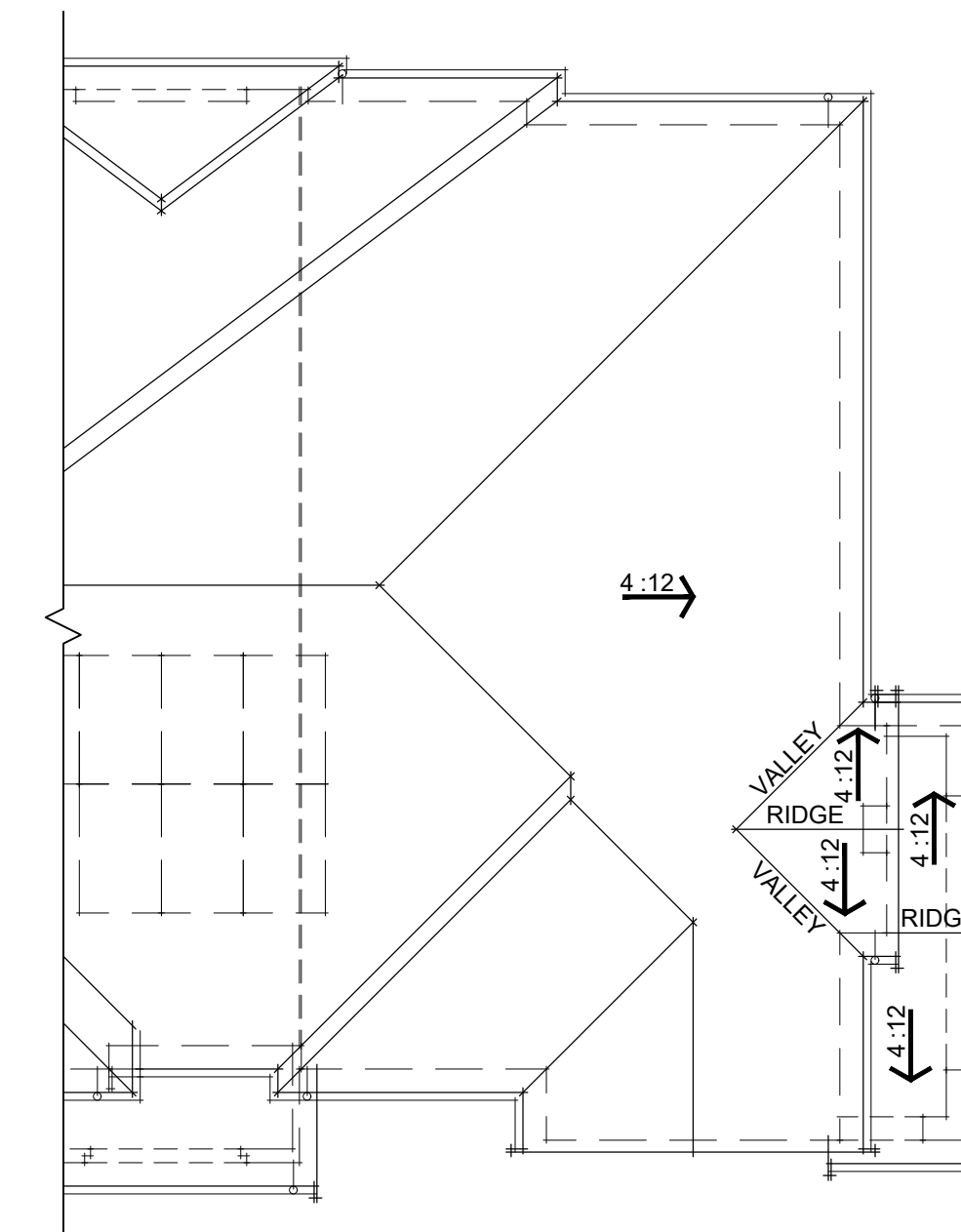
UNIT 5R

WRAPPED PORCH @ BLDG. 5
SECOND FLOOR PLAN



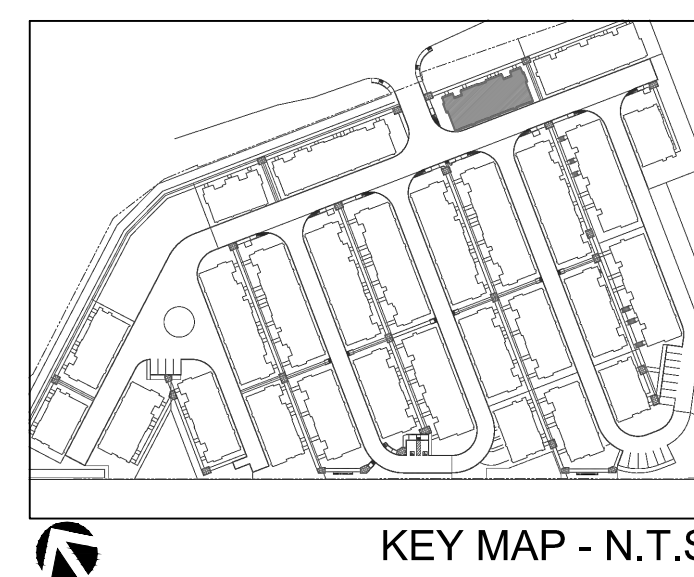
UNIT 5R

WRAPPED PORCH @ BLDG. 5
THIRD FLOOR PLAN



UNIT 5R

WRAPPED PORCH @ BLDG. 5
ROOF PLAN



KEY MAP - N.T.S.





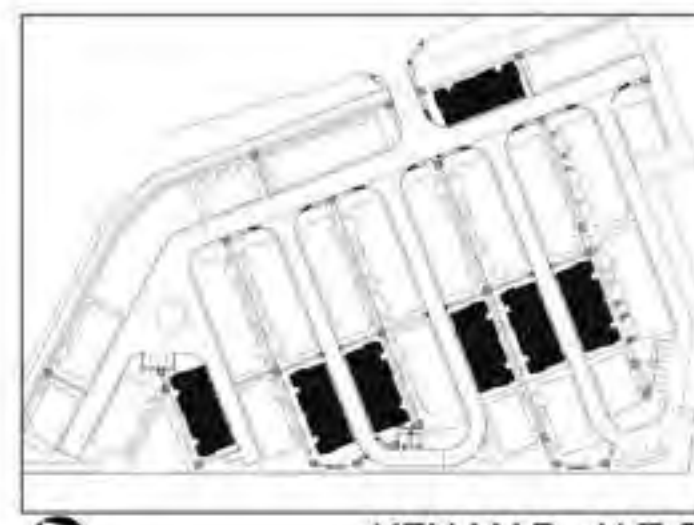
UNIT 5

UNIT 3

UNIT 1R

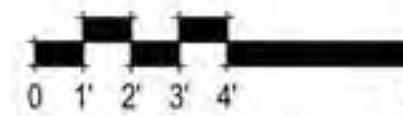
UNIT 2R

UNIT 5R



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1193 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 58 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 58 1/4 / 1193 1/2 = 4.9%



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5-UNIT ALT BUILDING FRONT ELEVATION
 A24

SDG Architects, Inc.
 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitects.com



- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
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 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL
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 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 65% OF REAR FACADE



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 2R

UNIT 1R

UNIT 3

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1193 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 772 1/4"
 TRELLIS LENGTH / TOTAL LENGTH = 772 1/4 / 1193 1/2 = 65%



UNIT 5

LEFT ELEVATION



UNIT 5

UNIT 3

UNIT 1R

UNIT 2R

UNIT 5R

FRONT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)

LINE OF DAYLIGHT PLANE @ BLDG 27

PROPERTY LINE @ HIGH SCHOOL

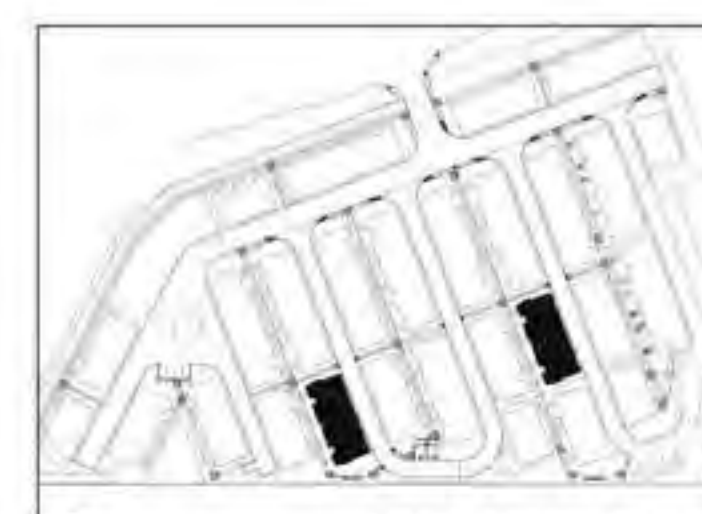
MAX. HT. 37'-3"

T.O. PL. 29'-2 1/2" THIRD FLOOR

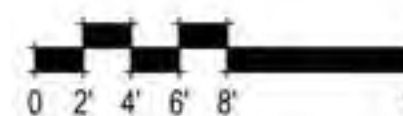
T.O. PL. 18'-10 3/4" SECOND FLOOR

T.O. PL. 8'-7" FIRST FLOOR

T.O. TYP. GRADE 0'-0"



KEY MAP - N.T.S.



TOTAL BUILDING FACADE LENGTH = 1193 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 106 3/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 106 3/4 / 1193 1/2 = 8.9%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 2R

UNIT 1R

UNIT 3

UNIT 5

TOTAL FACADE LENGTH = 1193 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 772 1/4"
 TRELLIS LENGTH / TOTAL LENGTH = 772 1/4 / 1193 1/2 = 65%

REAR ELEVATION



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 5

UNIT 3

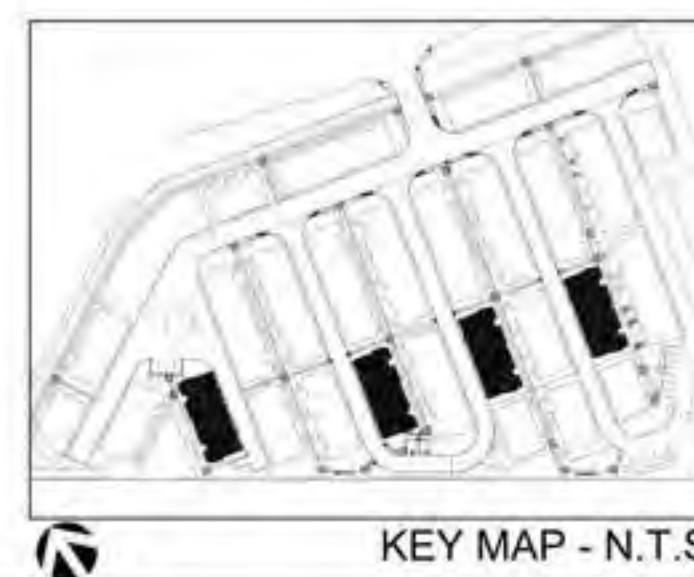
UNIT 1R

UNIT 2R

UNIT 5R

MAX. HT. 37'-3"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

FRONT ELEVATION
 (NO CHANGE FROM STANDARD FRONT ELEVATION)



KEY MAP - N.T.S.



TOTAL BUILDING FACADE LENGTH = 1193 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 106 3/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 106 3/4 / 1193 1/2 = 8.9%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 2R

UNIT 1R

UNIT 3

UNIT 5

TOTAL FACADE LENGTH = 1193 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 772 1/4"
 TRELLIS LENGTH / TOTAL LENGTH = 772 1/4 / 1193 1/2 = 65%

REAR ELEVATION



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 5

UNIT 3

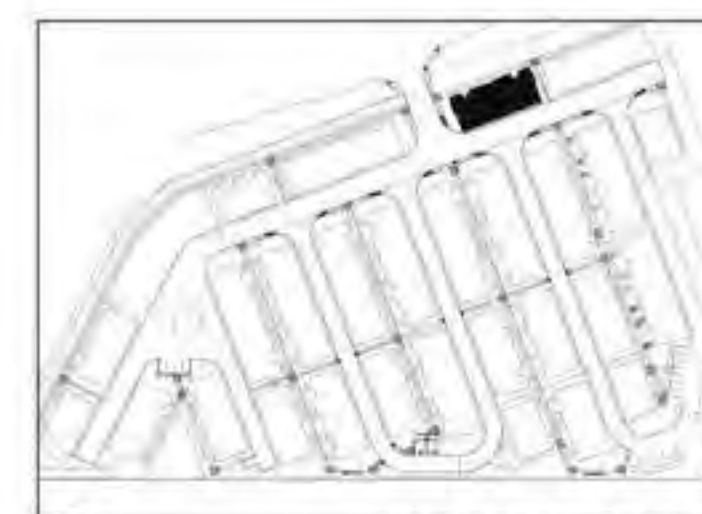
UNIT 1R

UNIT 2R

UNIT 5R

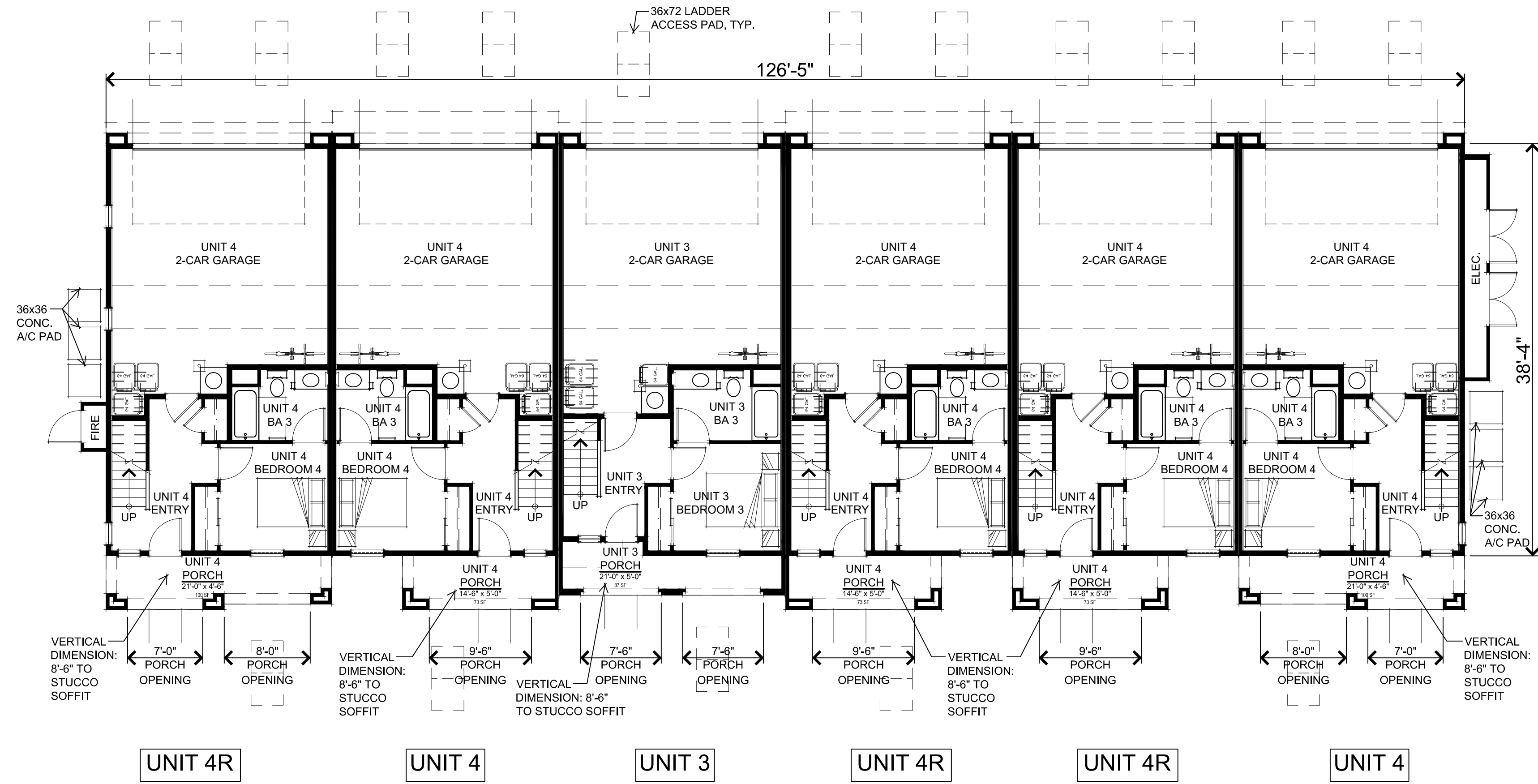
FRONT ELEVATION

MAX. HT. 37'-3"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

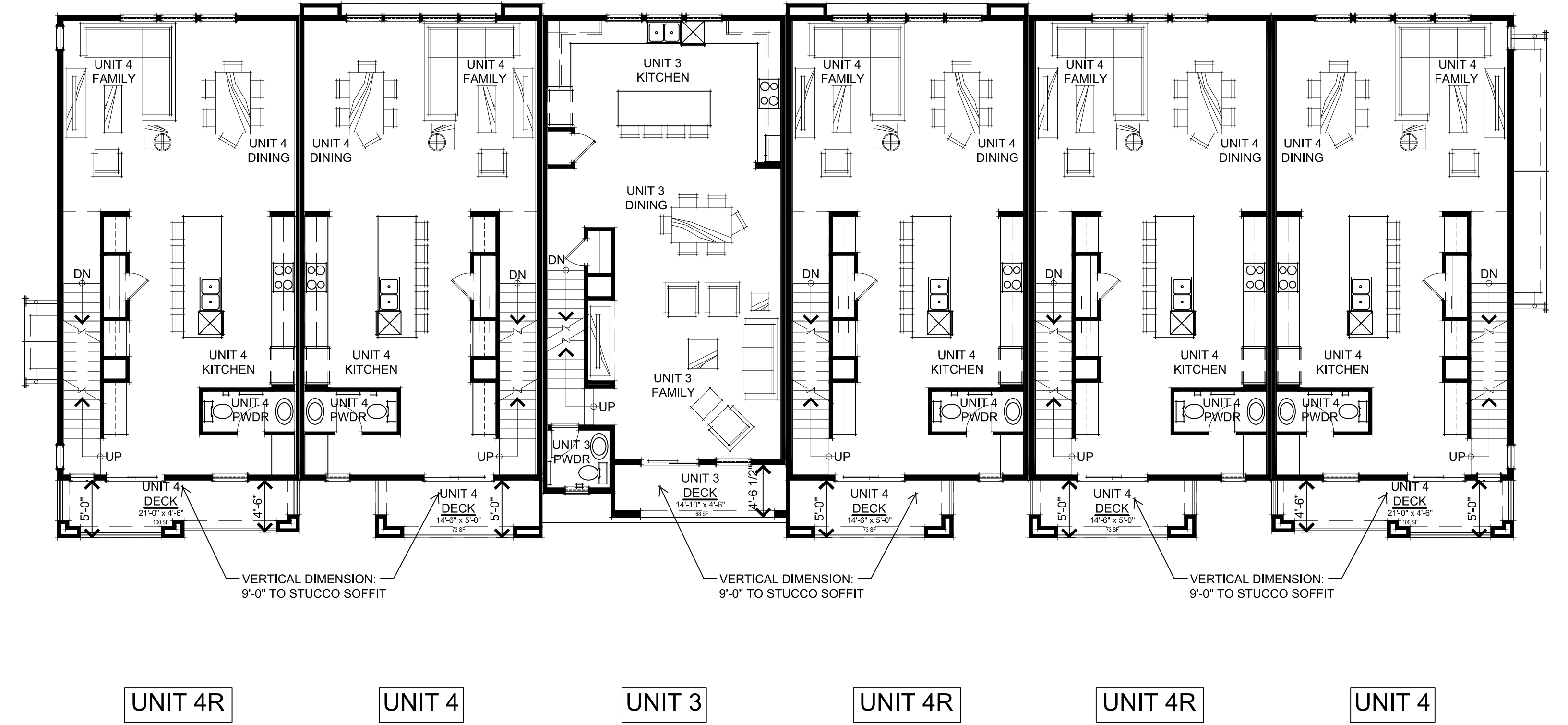


KEY MAP - N.T.S.

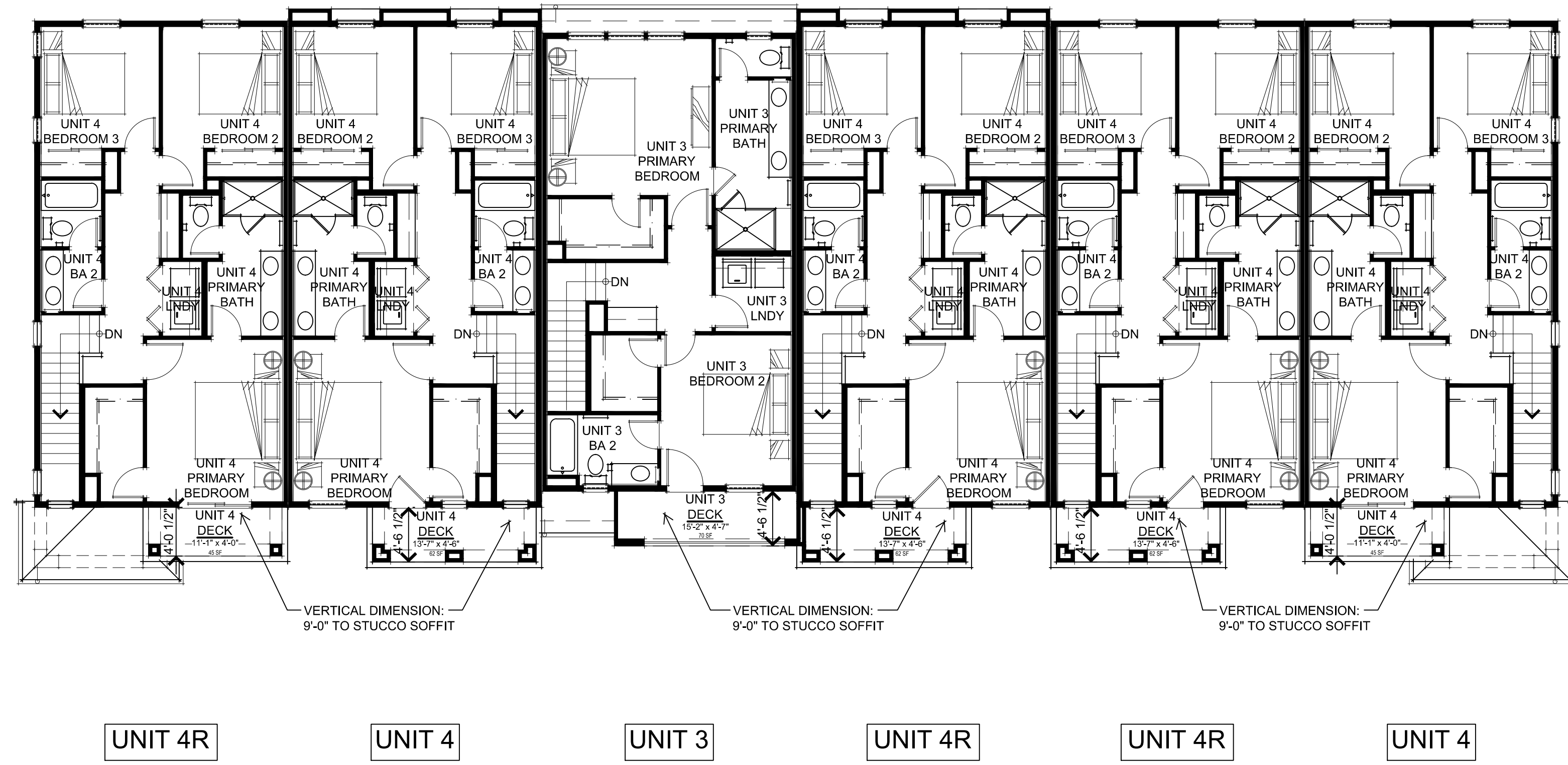




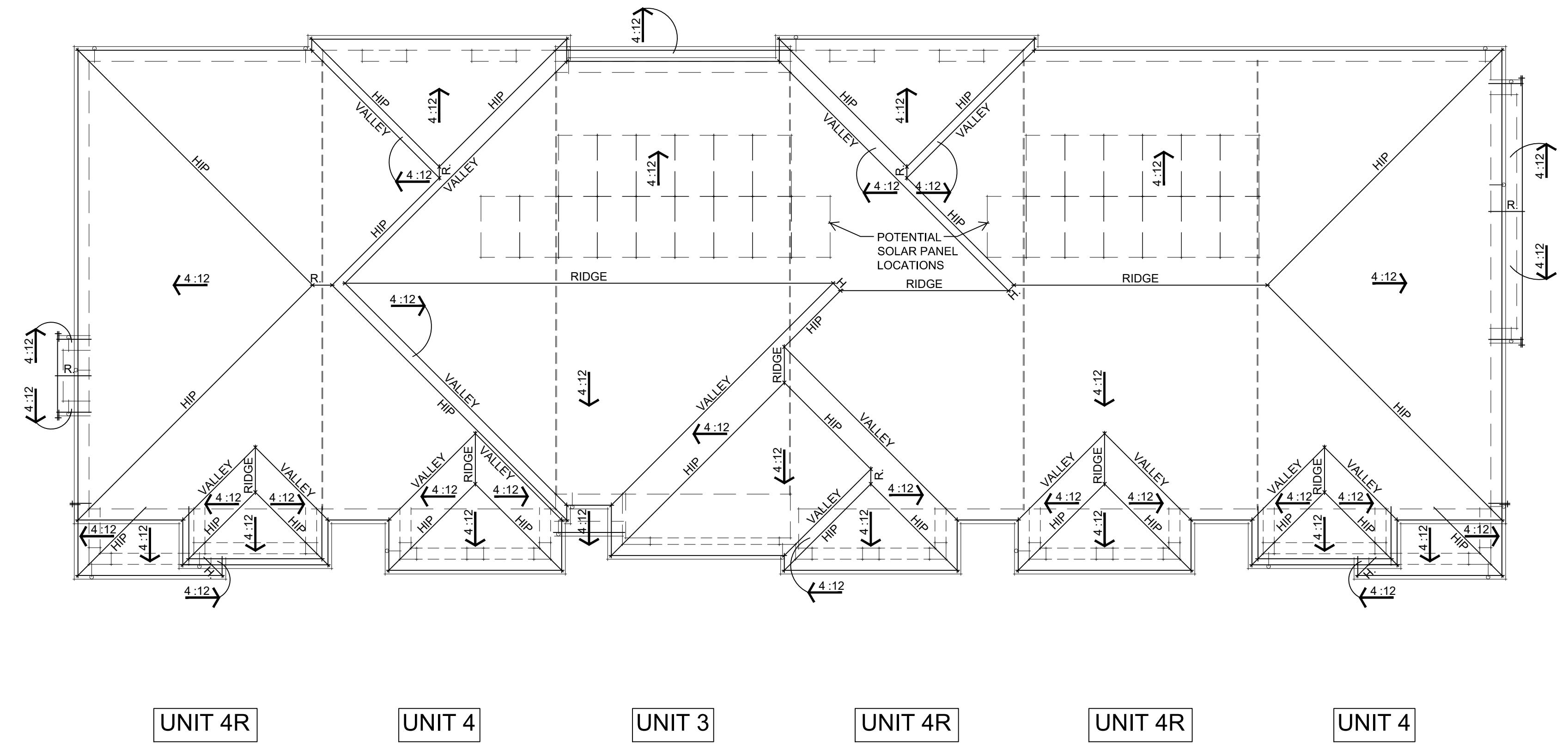
FIRST FLOOR PLAN



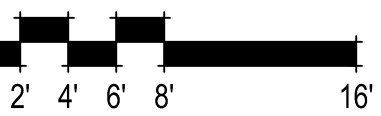
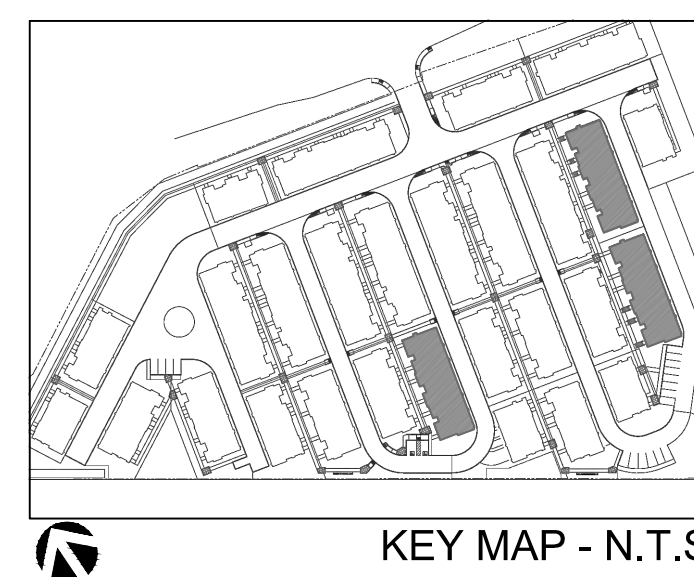
SECOND FLOOR PLAN

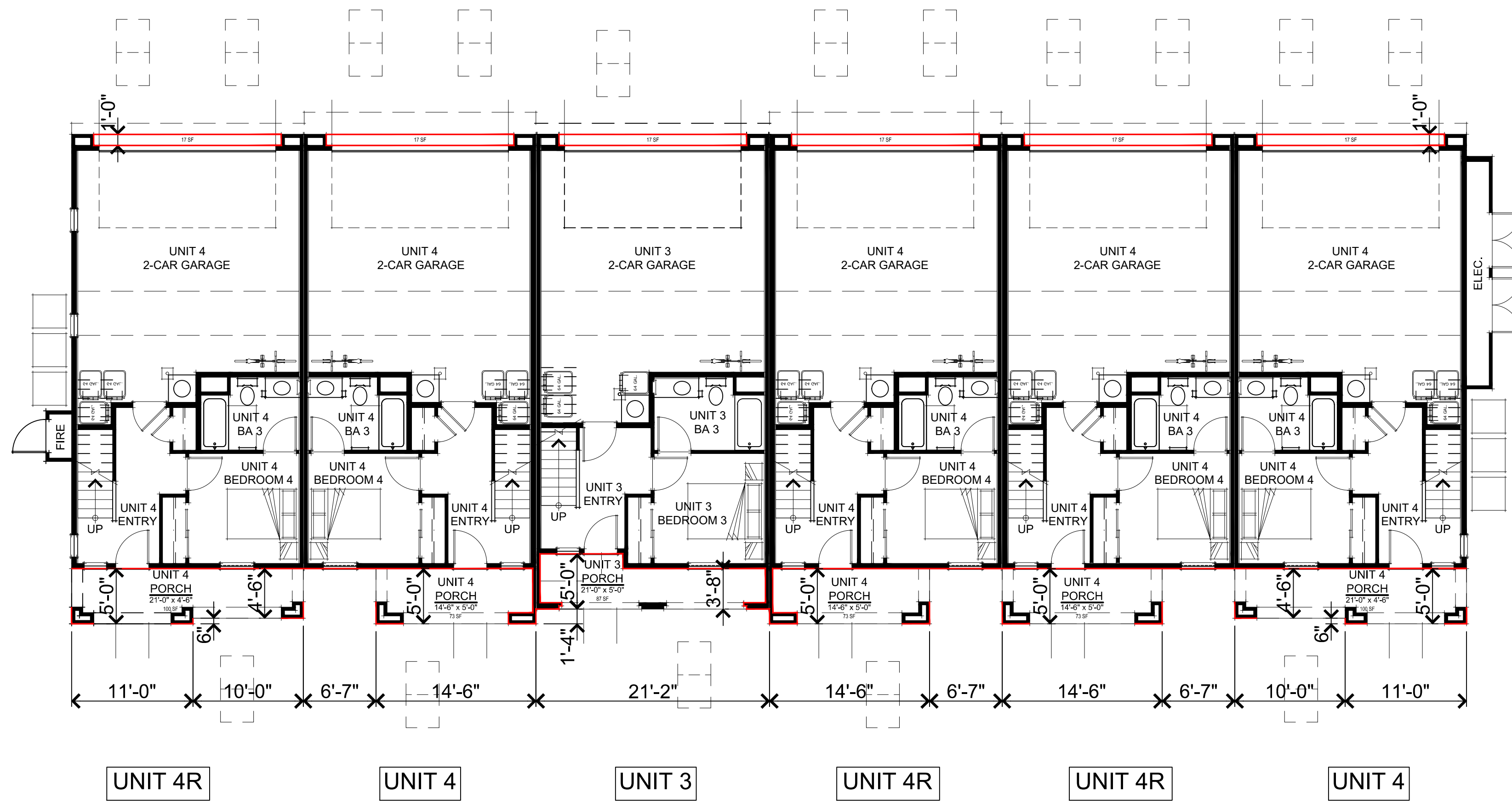


THIRD FLOOR PLAN

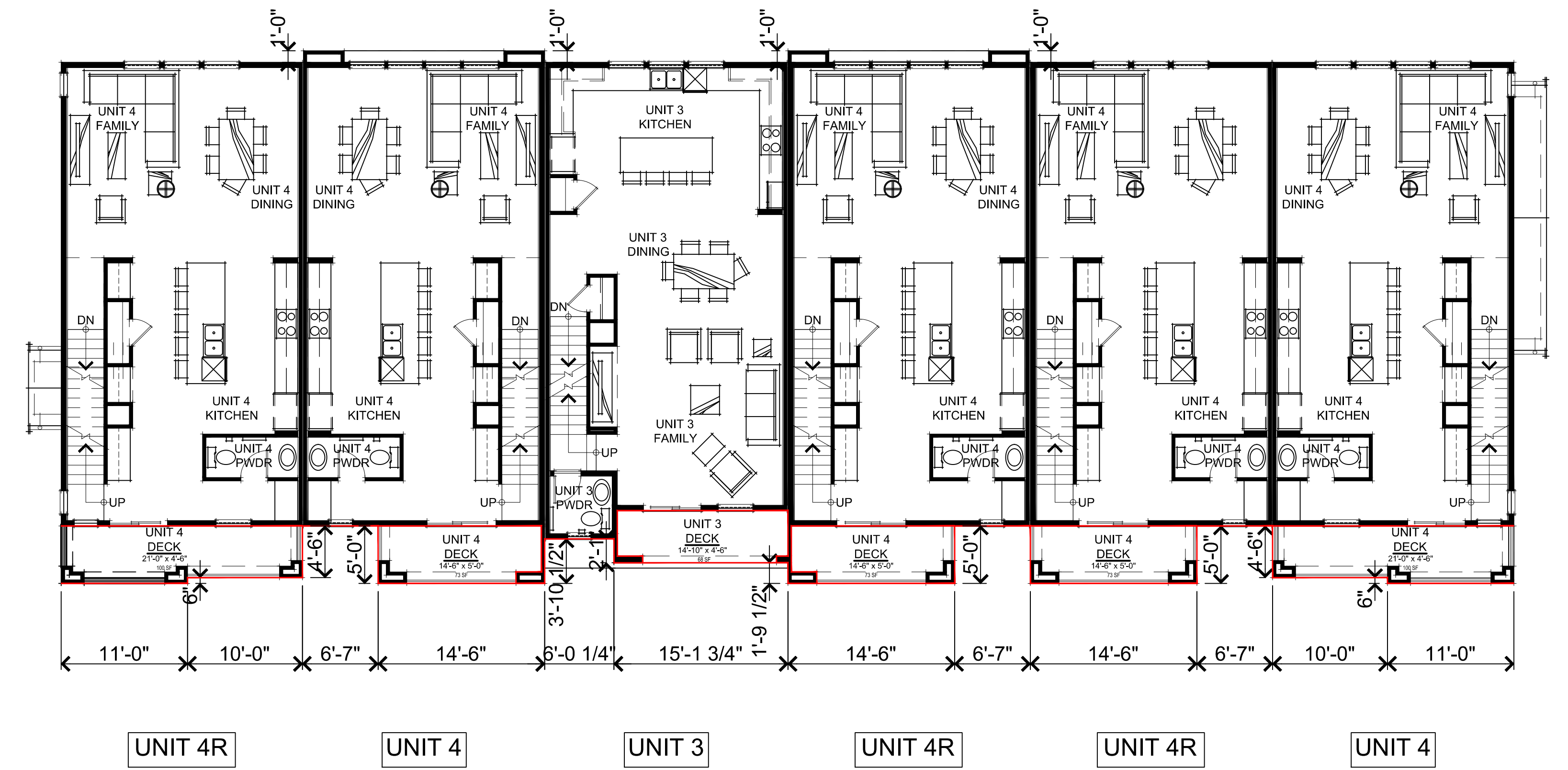


ROOF PLAN

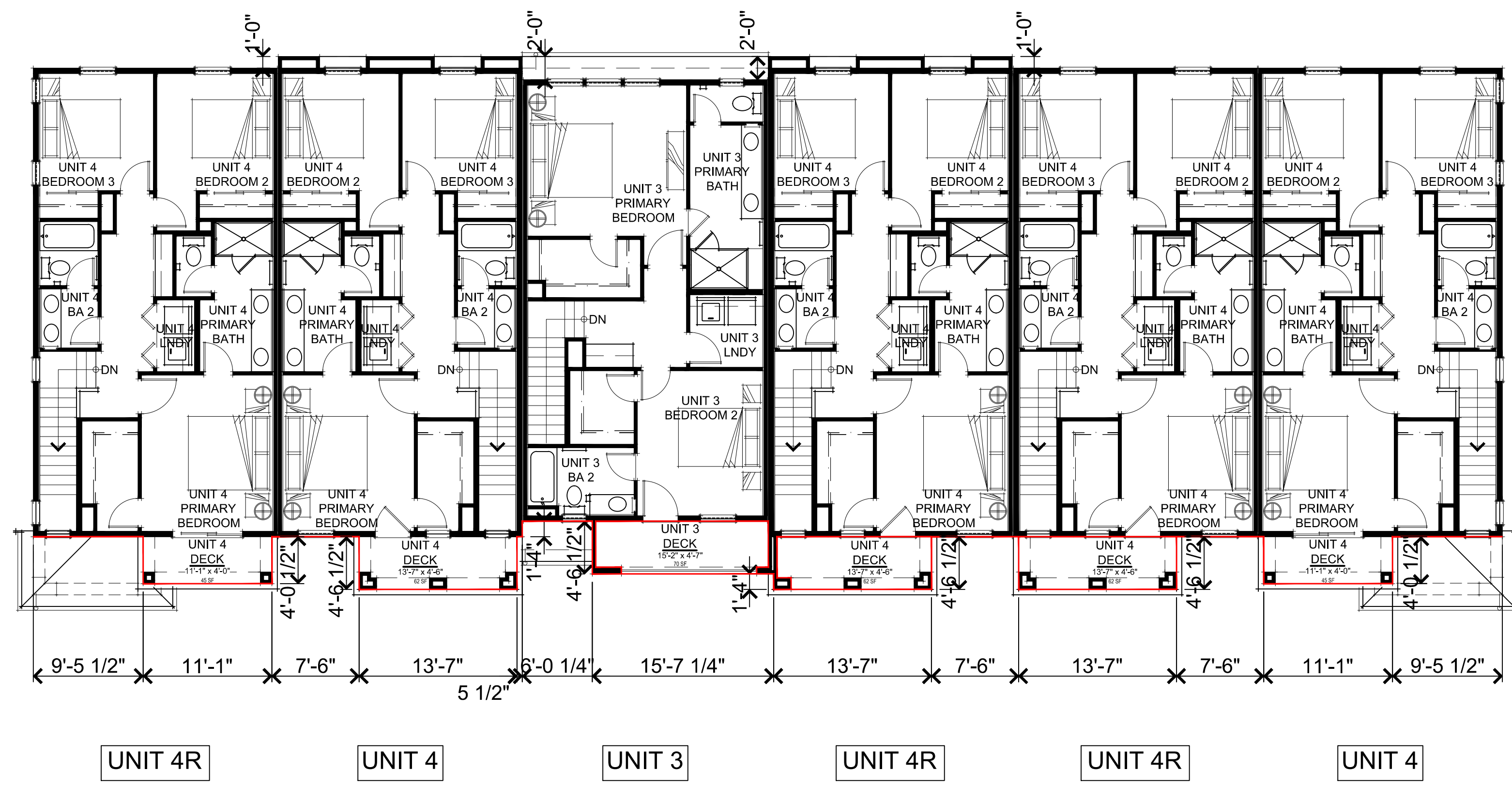




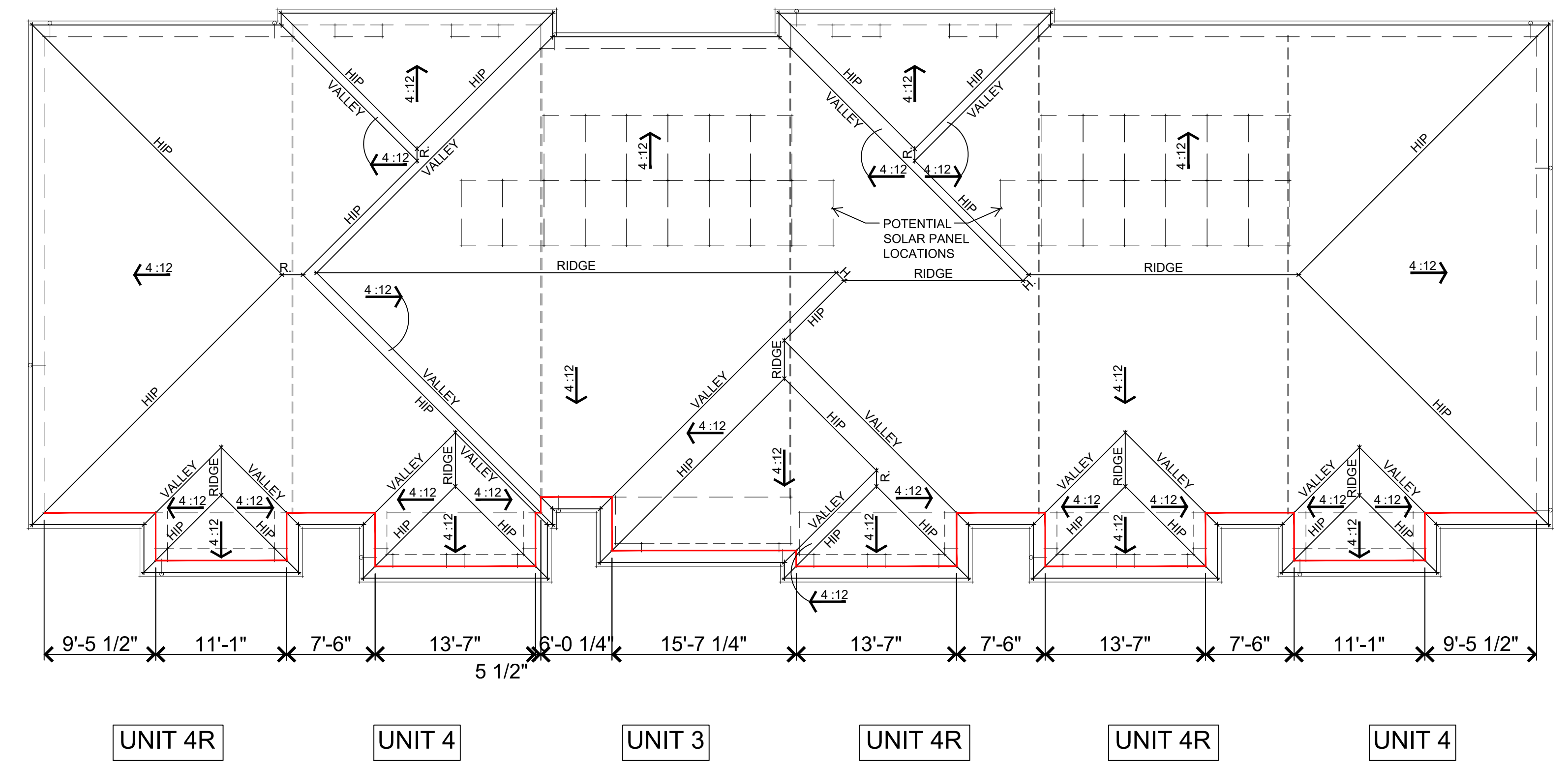
FIRST FLOOR PLAN



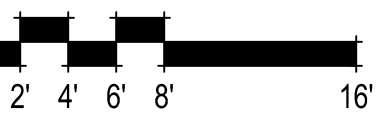
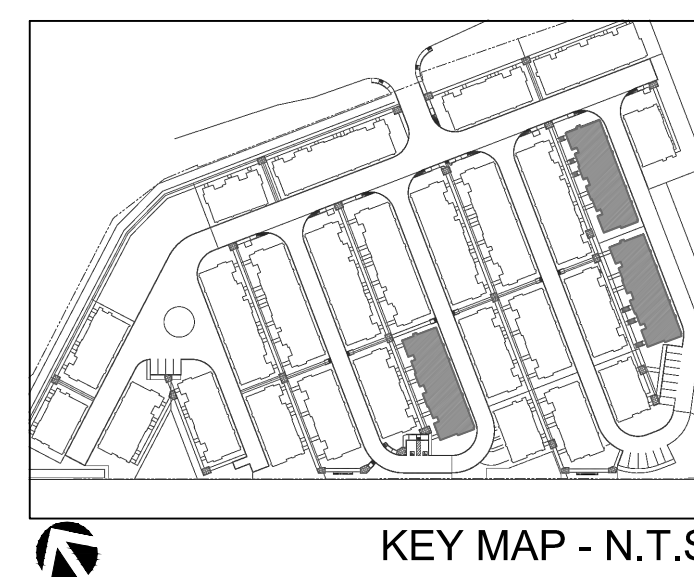
SECOND FLOOR PLAN

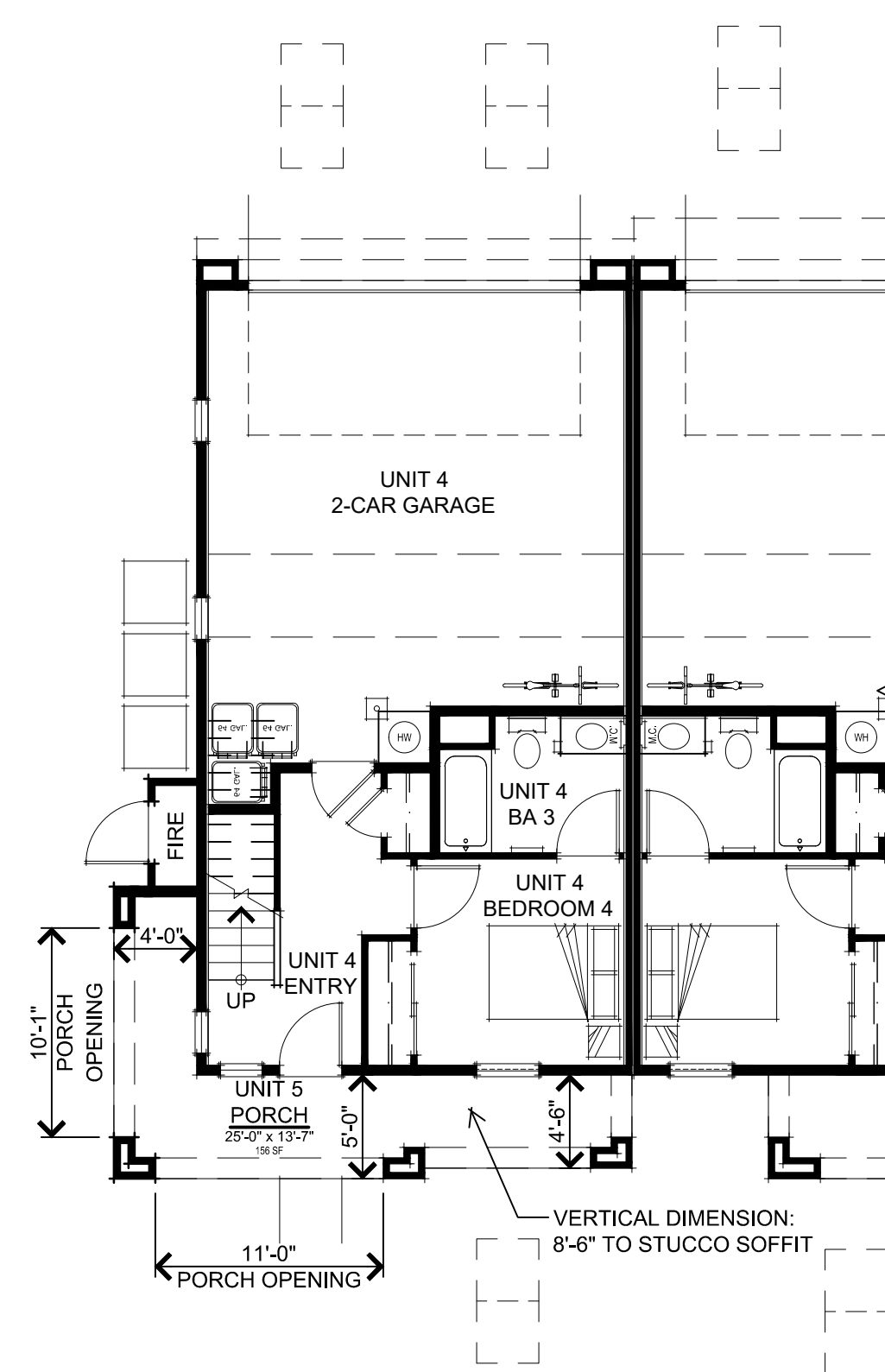


THIRD FLOOR PLAN



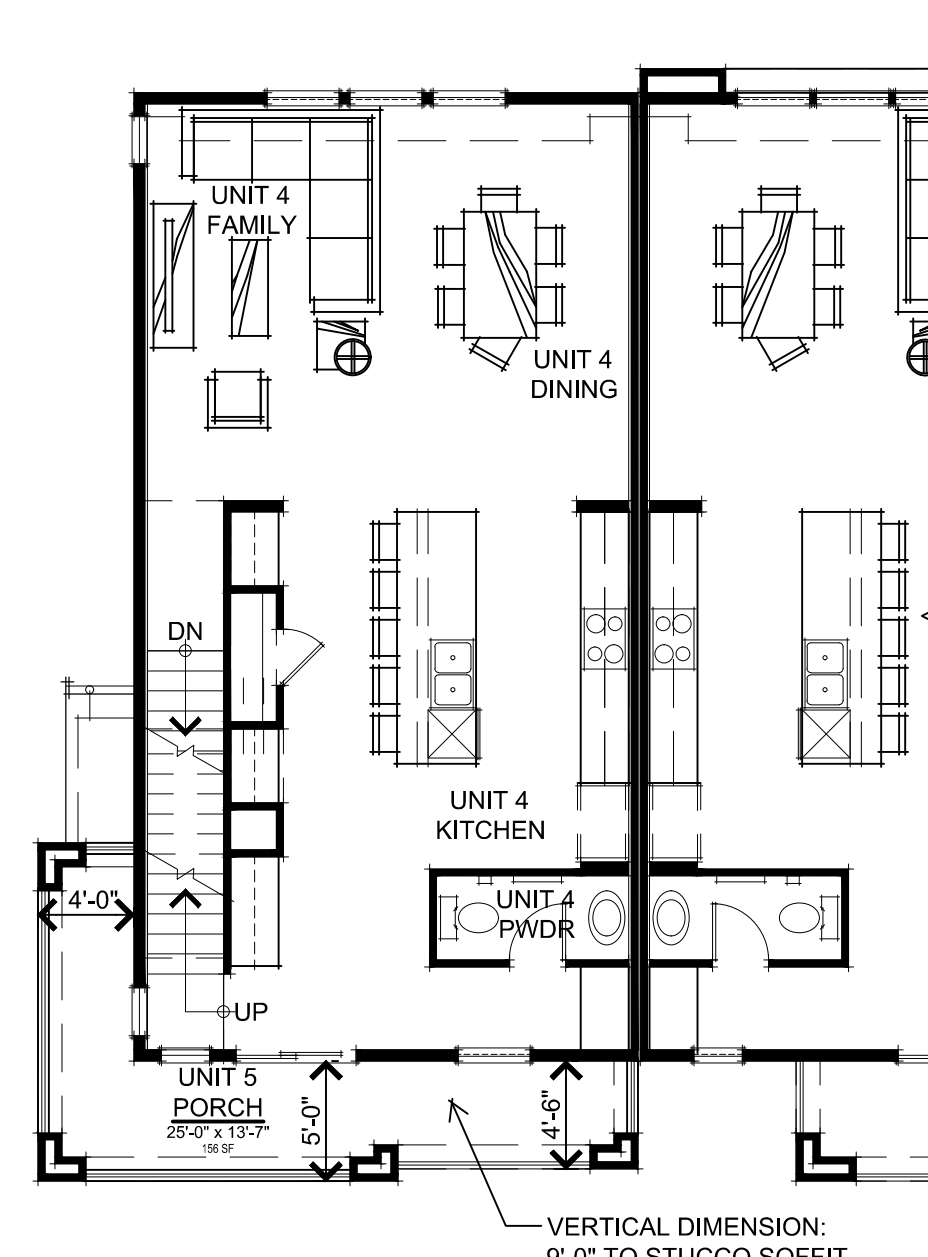
ROOF PLAN





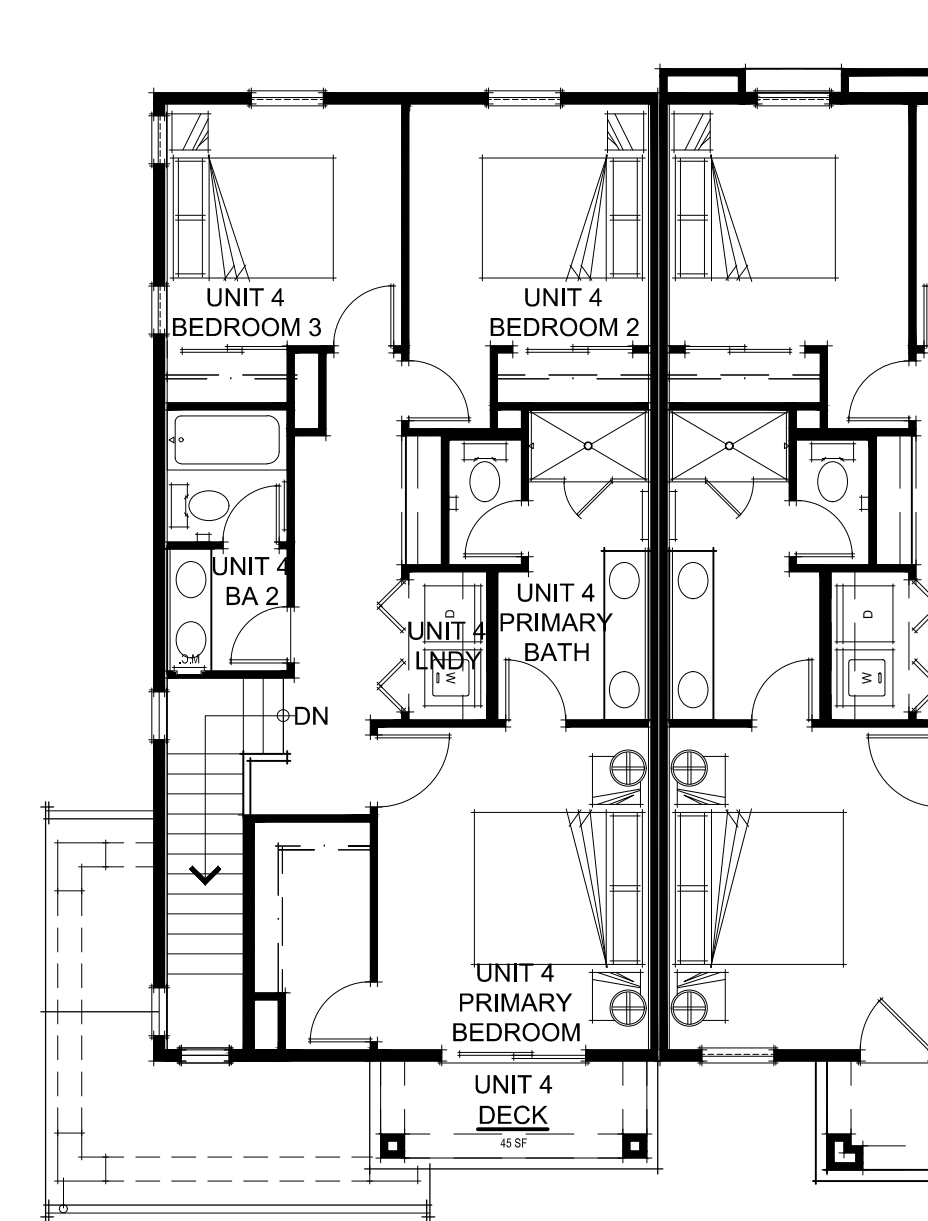
UNIT 4R

WRAPPED PORCH @ BLDG. 8
FIRST FLOOR PLAN



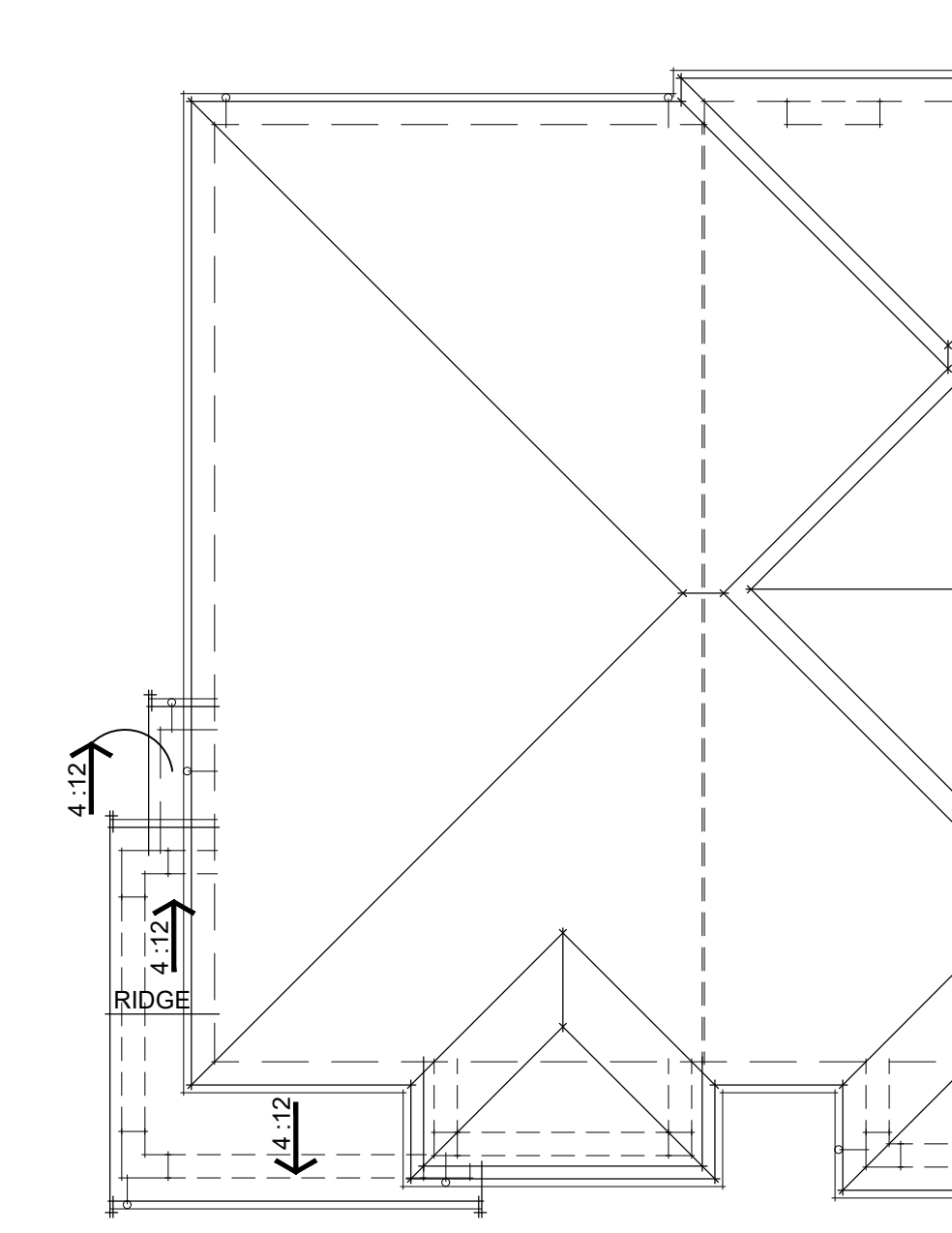
UNIT 4R

WRAPPED PORCH @ BLDG. 8
SECOND FLOOR PLAN



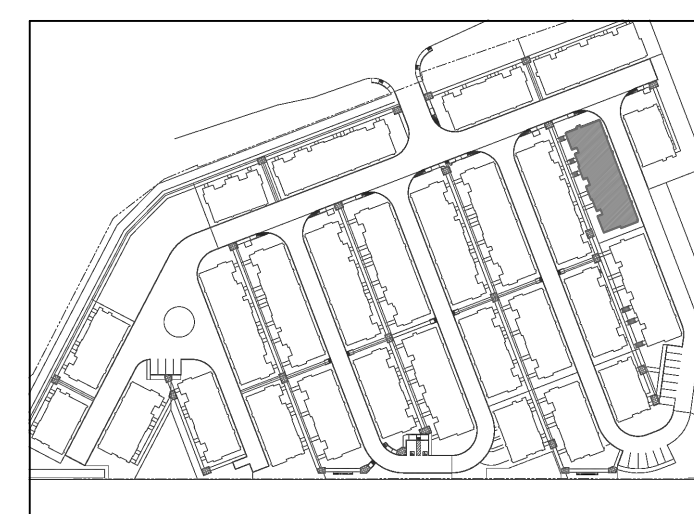
UNIT 4R

WRAPPED PORCH @ BLDG. 8
THIRD FLOOR PLAN

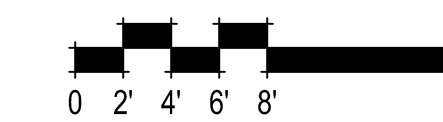


UNIT 4R

WRAPPED PORCH @ BLDG. 8
ROOF PLAN



KEY MAP - N.T.S.



6-UNIT BUILDING WRAPPED PORCH PARTIAL FLOOR PLANS
A26.2



UNIT 4R

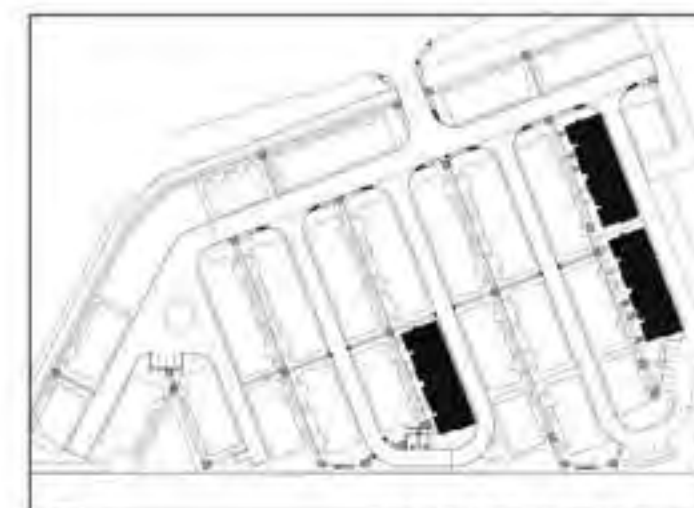
UNIT 4

UNIT 3

UNIT 4R

UNIT 4R

UNIT 4



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1517"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 68 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 68 1/4 / 1517 = 4.5%



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6-UNIT BUILDING FRONT ELEVATION
 A27

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 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
 - 7 INSULATED VINYL WINDOW
 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 76% OF REAR FACADE



UNIT 4

RIGHT ELEVATION

TOTAL BUILDING FACADE LENGTH = 1517"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 113 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 113 1/4 / 1517 = 7.5%



UNIT 4

UNIT 4R

UNIT 4R

UNIT 3

UNIT 4

UNIT 4R

REAR ELEVATION

TOTAL FACADE LENGTH = 1517"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1148 1/2"
 TRELLIS LENGTH / TOTAL LENGTH = 1148 1/2 / 1517 = 76%



UNIT 4R

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)



UNIT 4R

UNIT 4

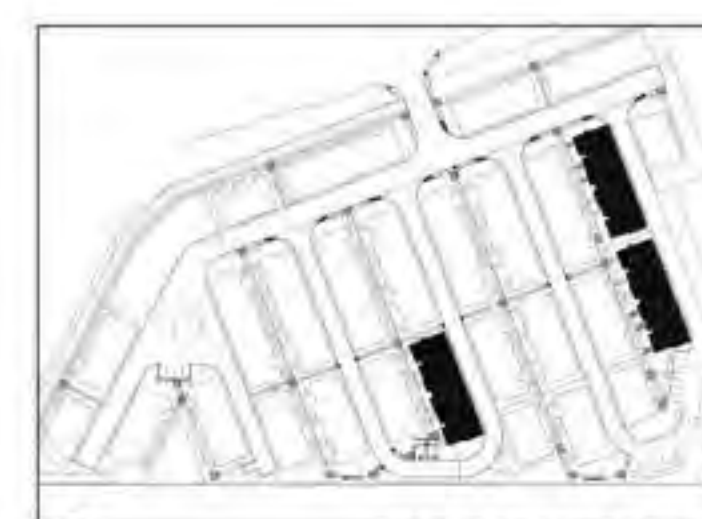
UNIT 3

UNIT 4R

UNIT 4R

UNIT 4

FRONT ELEVATION



KEY MAP - N.T.S.



TOTAL BUILDING FACADE LENGTH = 1517"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 113 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 113 1/4 / 1517 = 7.5%



UNIT 4

RIGHT ELEVATION



UNIT 4

UNIT 4R

UNIT 4R

UNIT 3

UNIT 4

UNIT 4R

TOTAL FACADE LENGTH = 1517"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1158 1/2"
 TRELLIS LENGTH / TOTAL LENGTH = 1158 1/2 / 1517 = 76%

REAR ELEVATION



UNIT 4R

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 4R

UNIT 4

UNIT 3

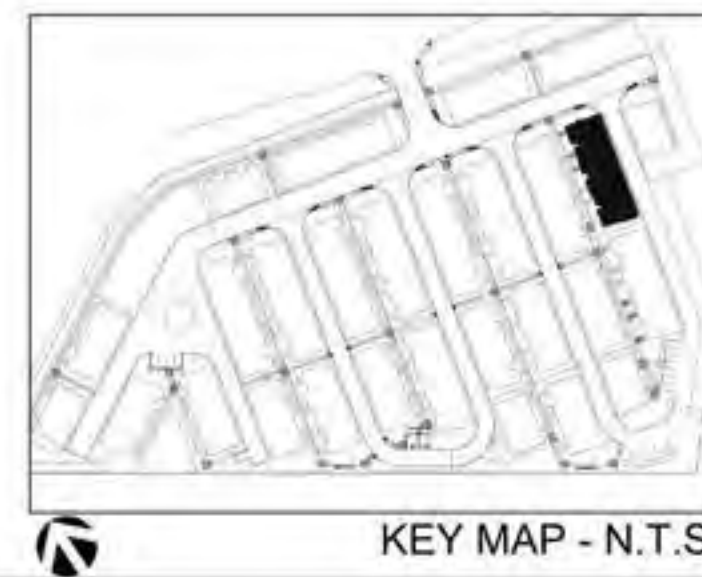
UNIT 4R

UNIT 4R

UNIT 4

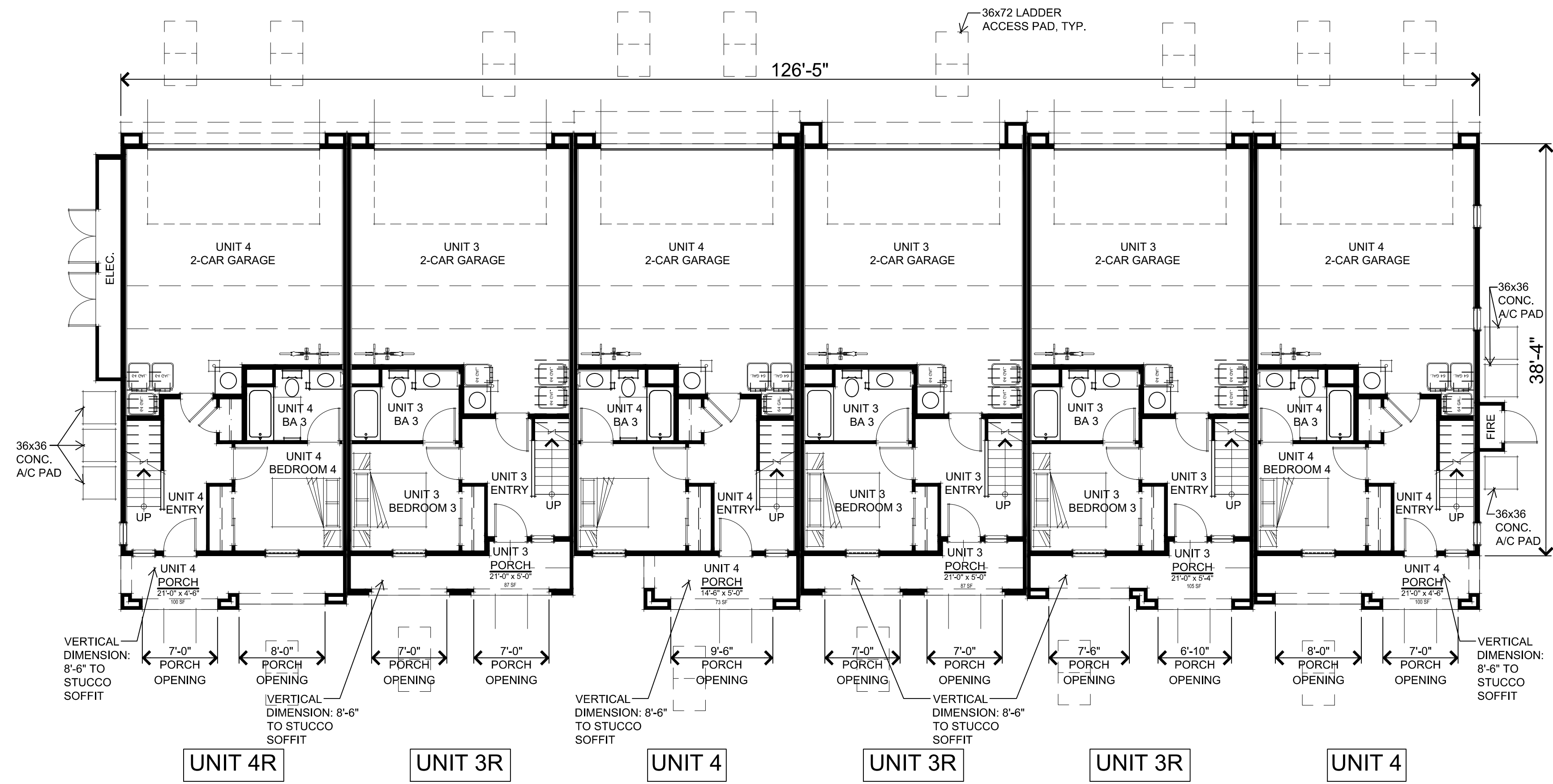
MAX. HT. 37'-1 1/2"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

FRONT ELEVATION

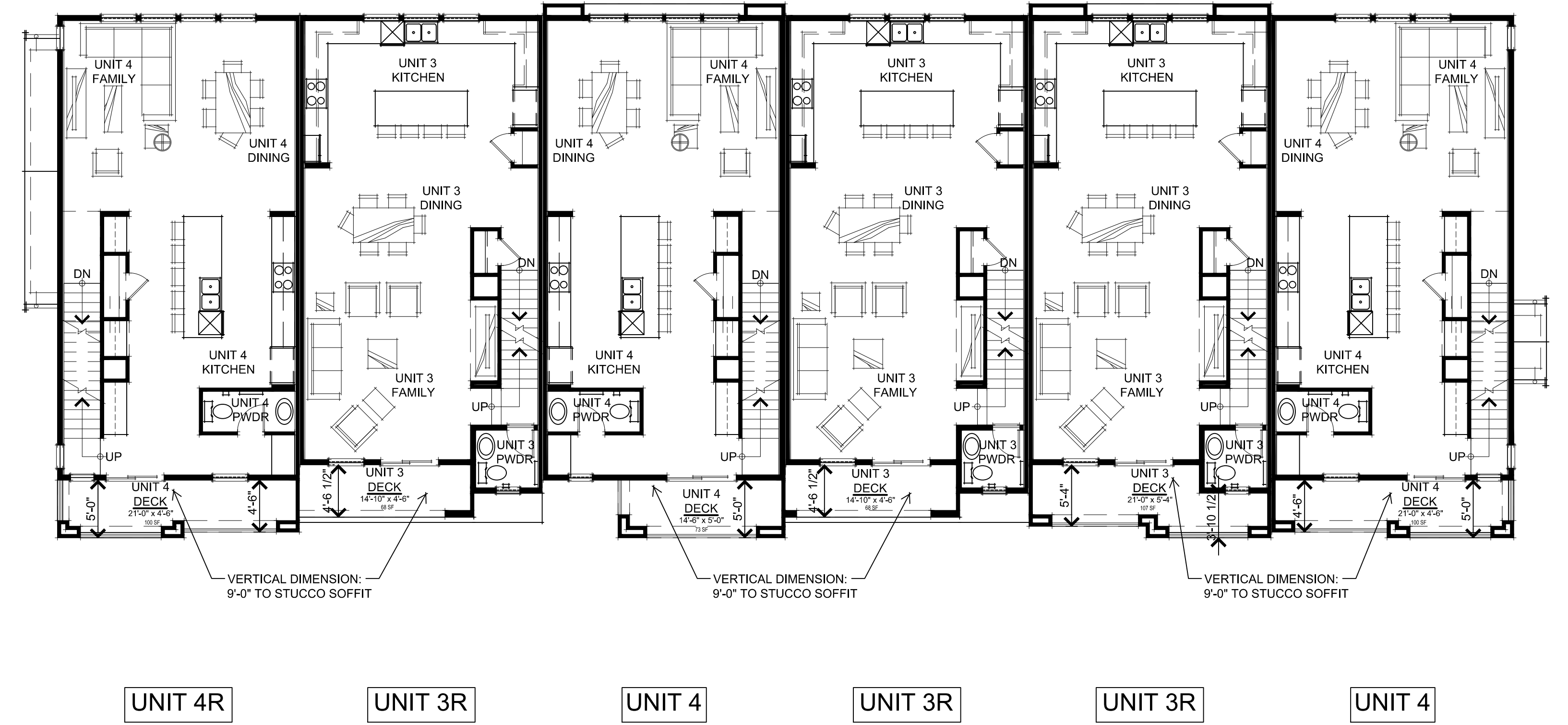


KEY MAP - N.T.S.

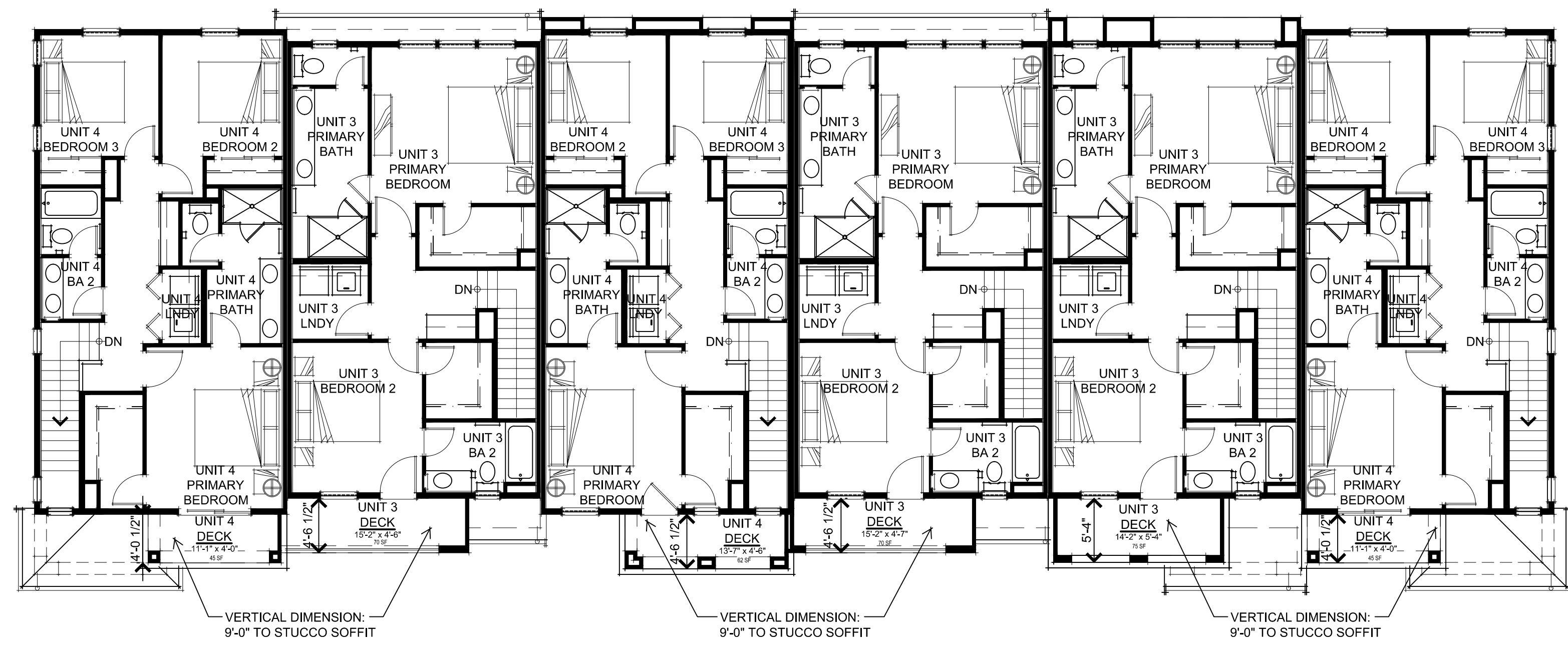




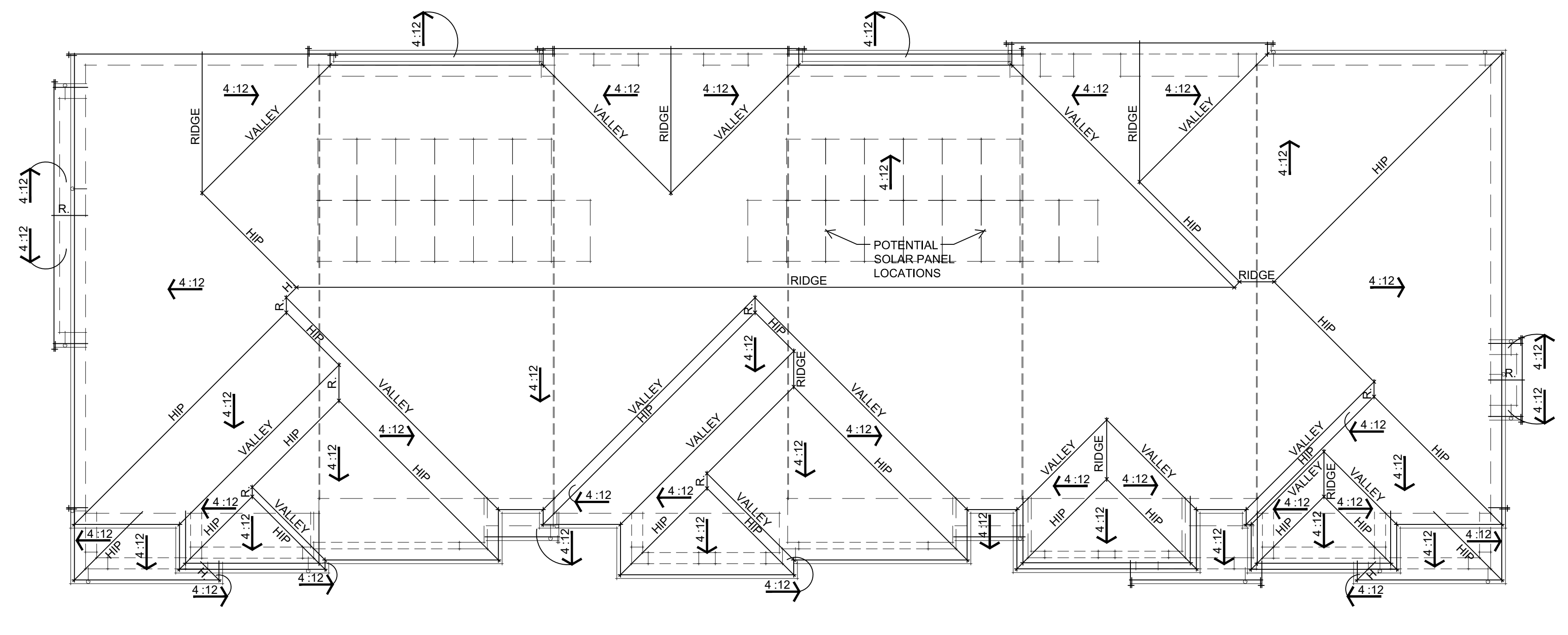
FIRST FLOOR PLAN



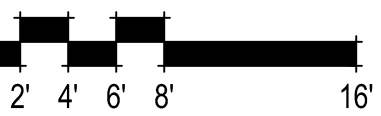
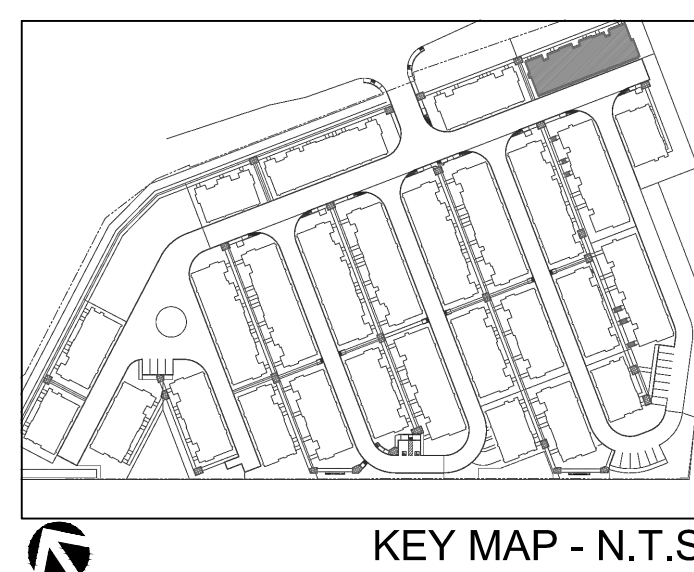
SECOND FLOOR PLAN

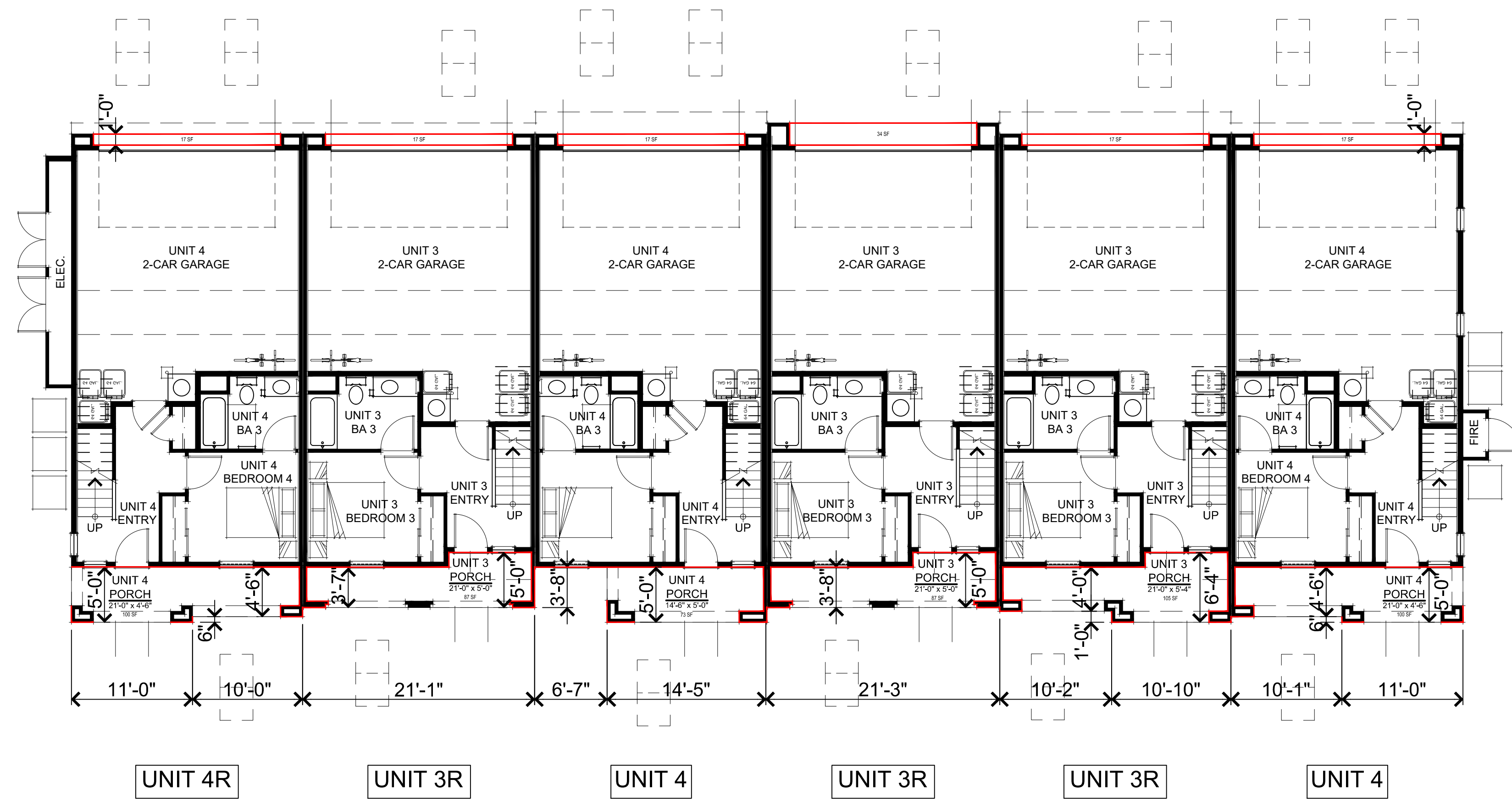


THIRD FLOOR PLAN

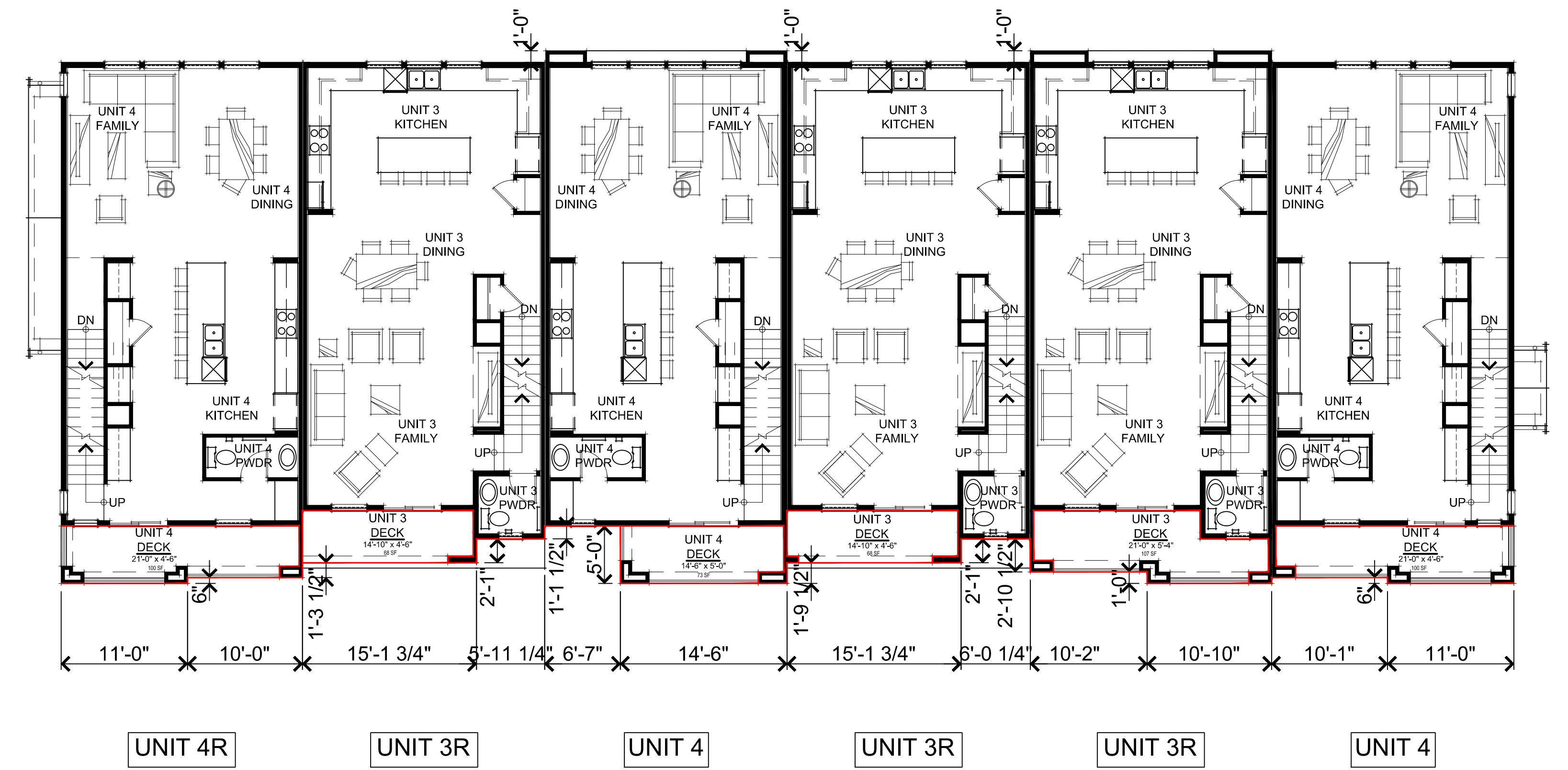


ROOF PLAN

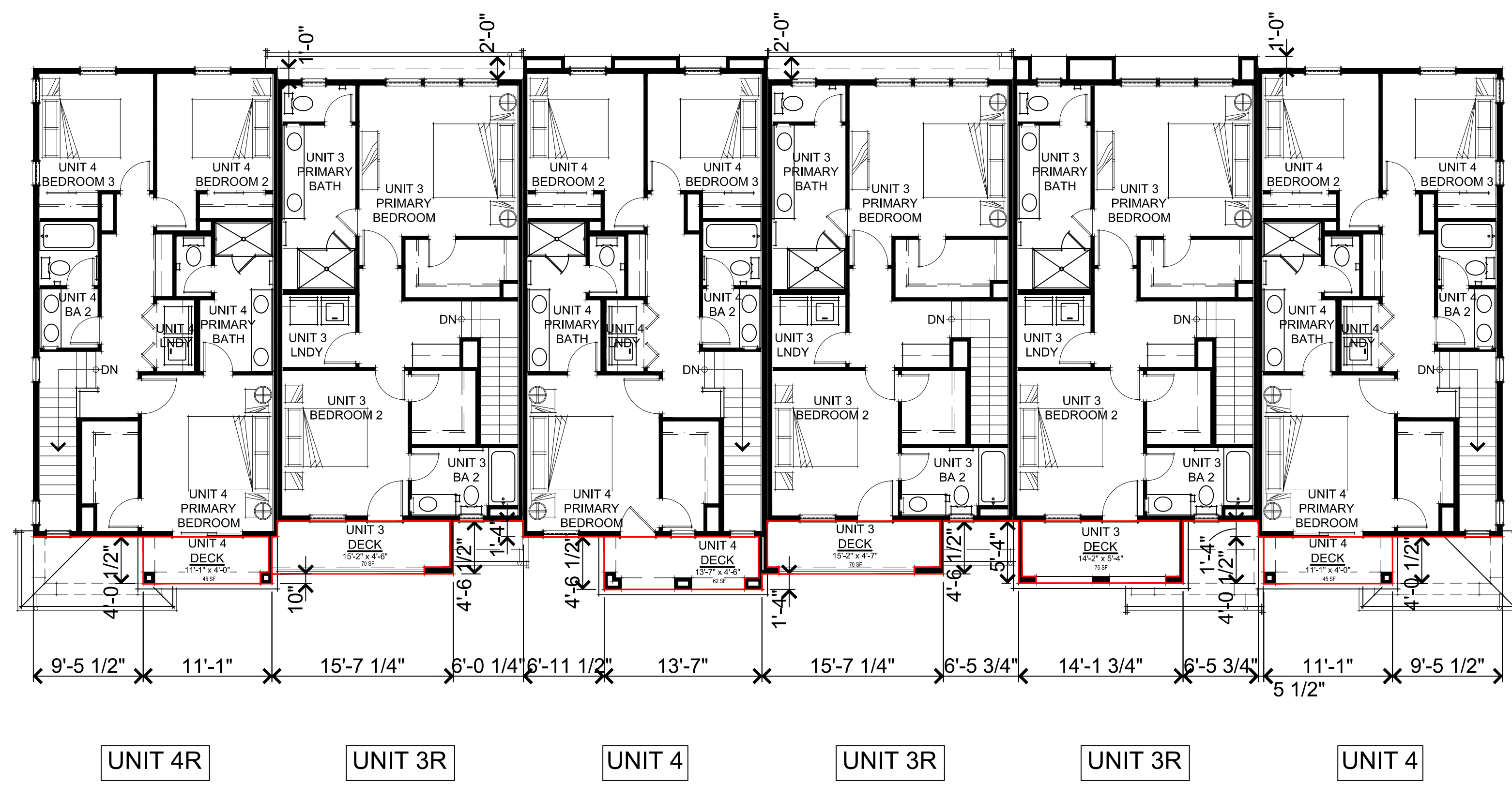




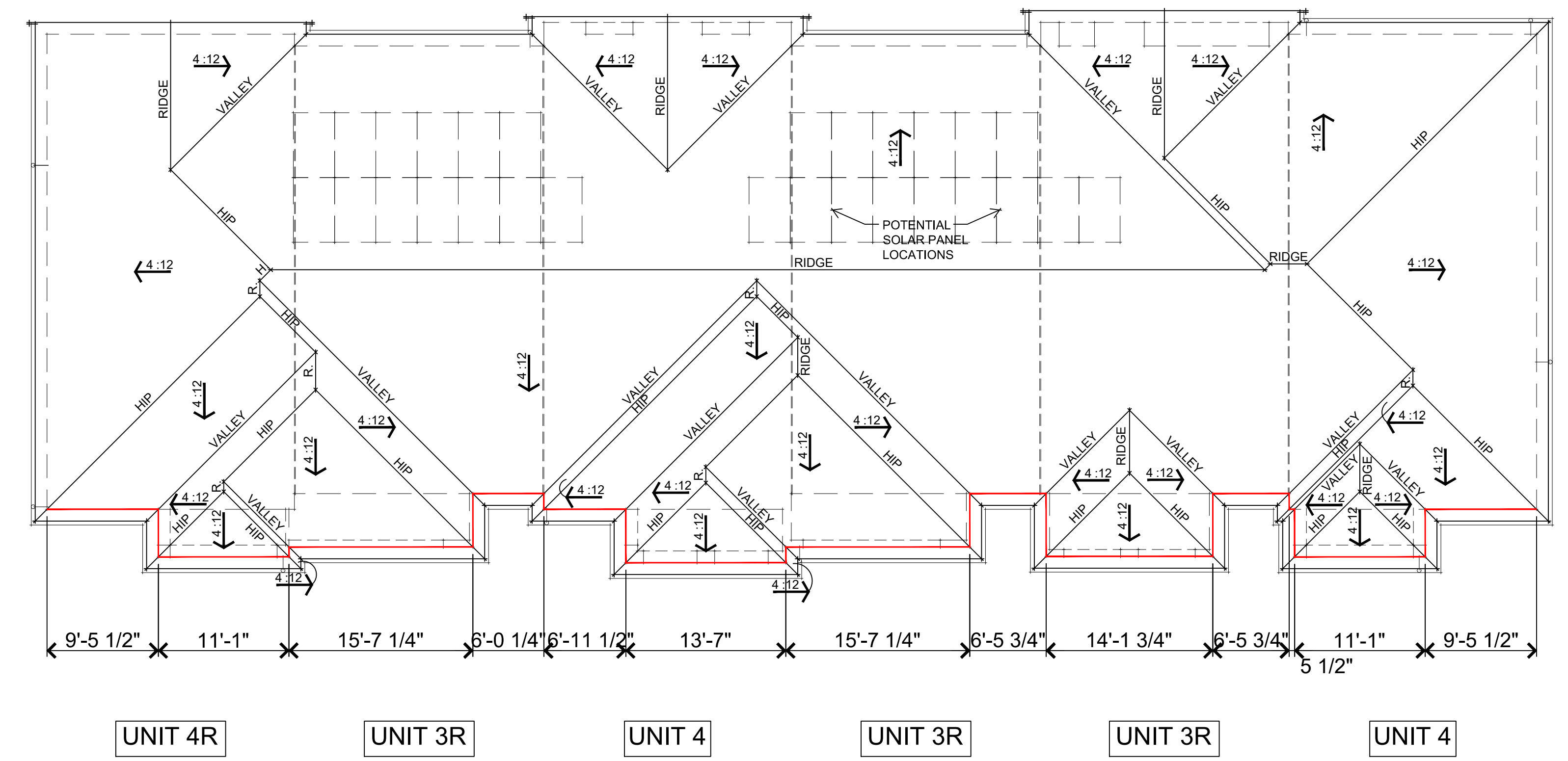
FIRST FLOOR PLAN



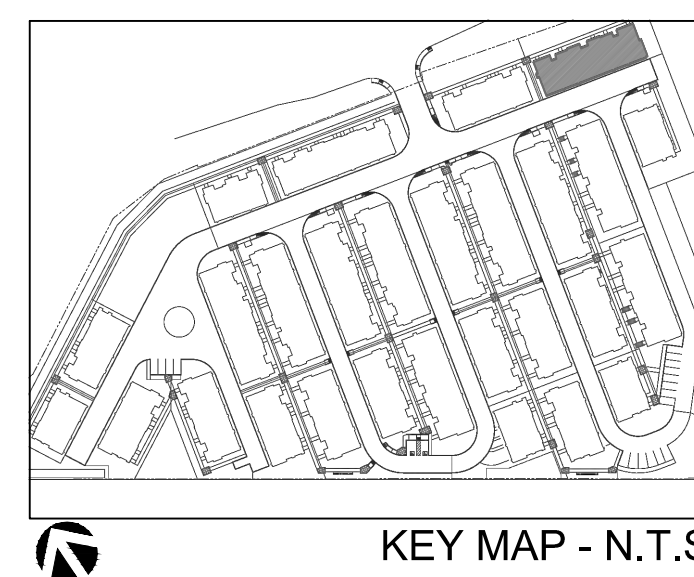
SECOND FLOOR PLAN



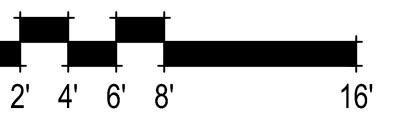
THIRD FLOOR PLAN



ROOF PLAN



KEY MAP - N.T.S.





UNIT 4R

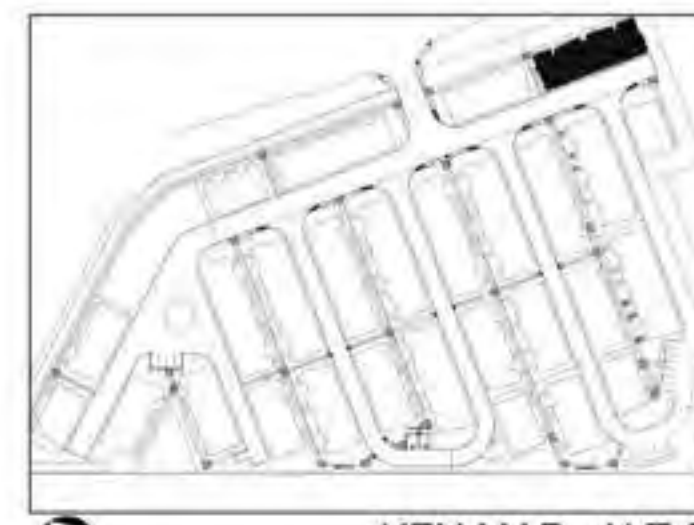
UNIT 3R

UNIT 4

UNIT 3R

UNIT 3R

UNIT 4



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1517"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 68 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 68 1/4 / 1517 = 4.5%



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6-UNIT ALT BUILDING FRONT ELEVATION
 A30

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 Brentwood, CA 94513
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- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
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 - 5A METAL POT SHELF
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 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 76% OF REAR FACADE

TOTAL BUILDING FACADE LENGTH = 1517"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 82 1/2"
 CONTINUOUS LENGTH / TOTAL LENGTH = 82 1/2 / 1517 = 5.4%



UNIT 4

RIGHT ELEVATION



UNIT 4

UNIT 3R

UNIT 3R

UNIT 4

UNIT 3R

UNIT 4R

REAR ELEVATION

TOTAL FACADE LENGTH = 1517"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1158 1/2"
 TRELLIS LENGTH / TOTAL LENGTH = 1158 1/2 / 1517 = 76%



UNIT 4R

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)



UNIT 4R

UNIT 3R

UNIT 4

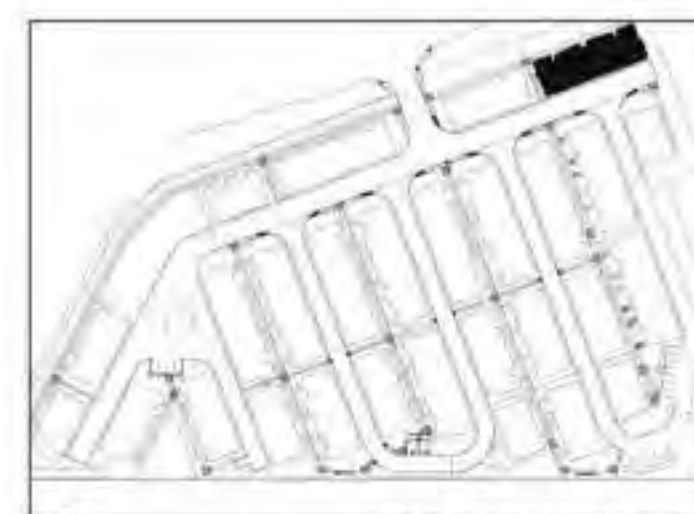
UNIT 3R

UNIT 3R

UNIT 4

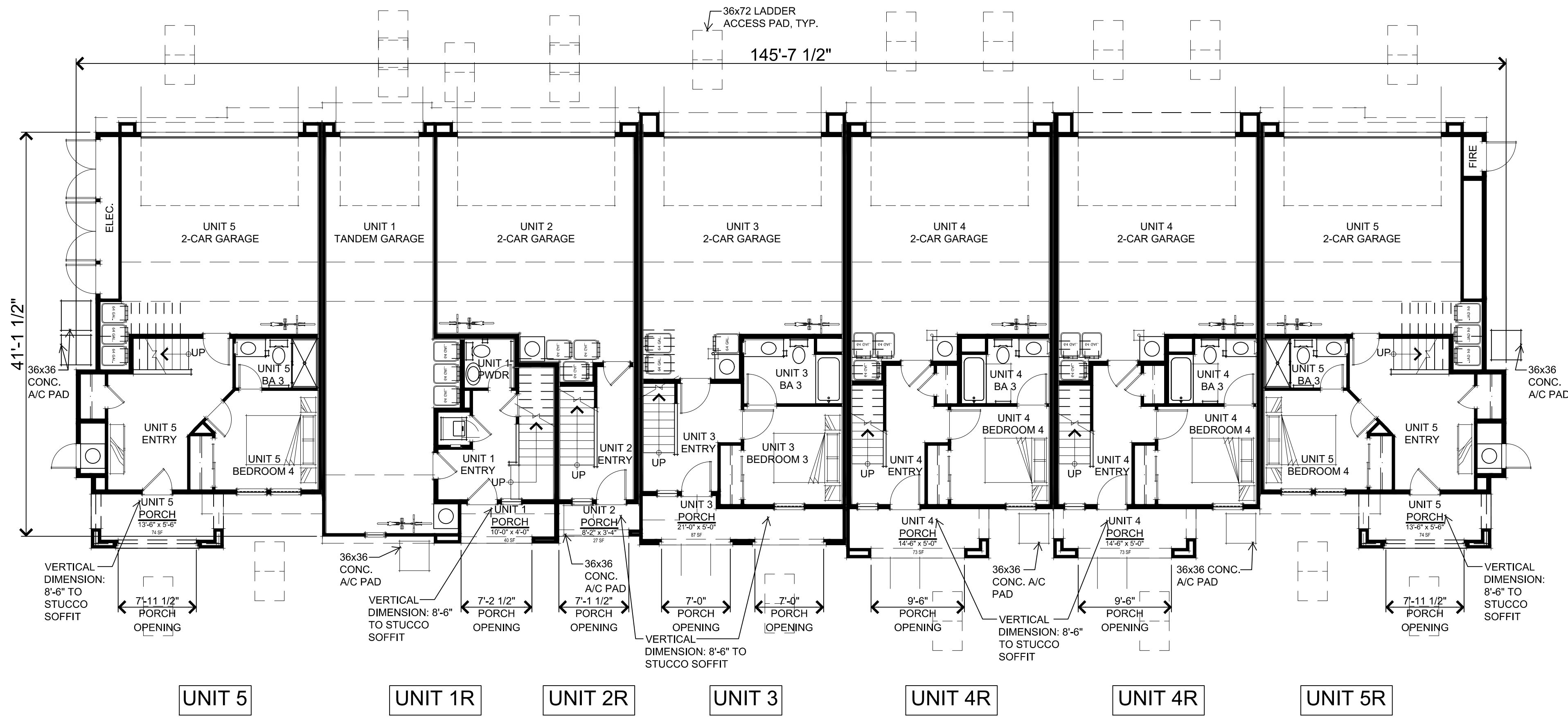
FRONT ELEVATION

- MAX. HT. 36'-11"
- T.O. PL. 29'-2 1/2" THIRD FLOOR
- T.O. PL. 18'-10 3/4" SECOND FLOOR
- T.O. PL. 8'-7" FIRST FLOOR
- T.O. TYP. GRADE 0'-0"

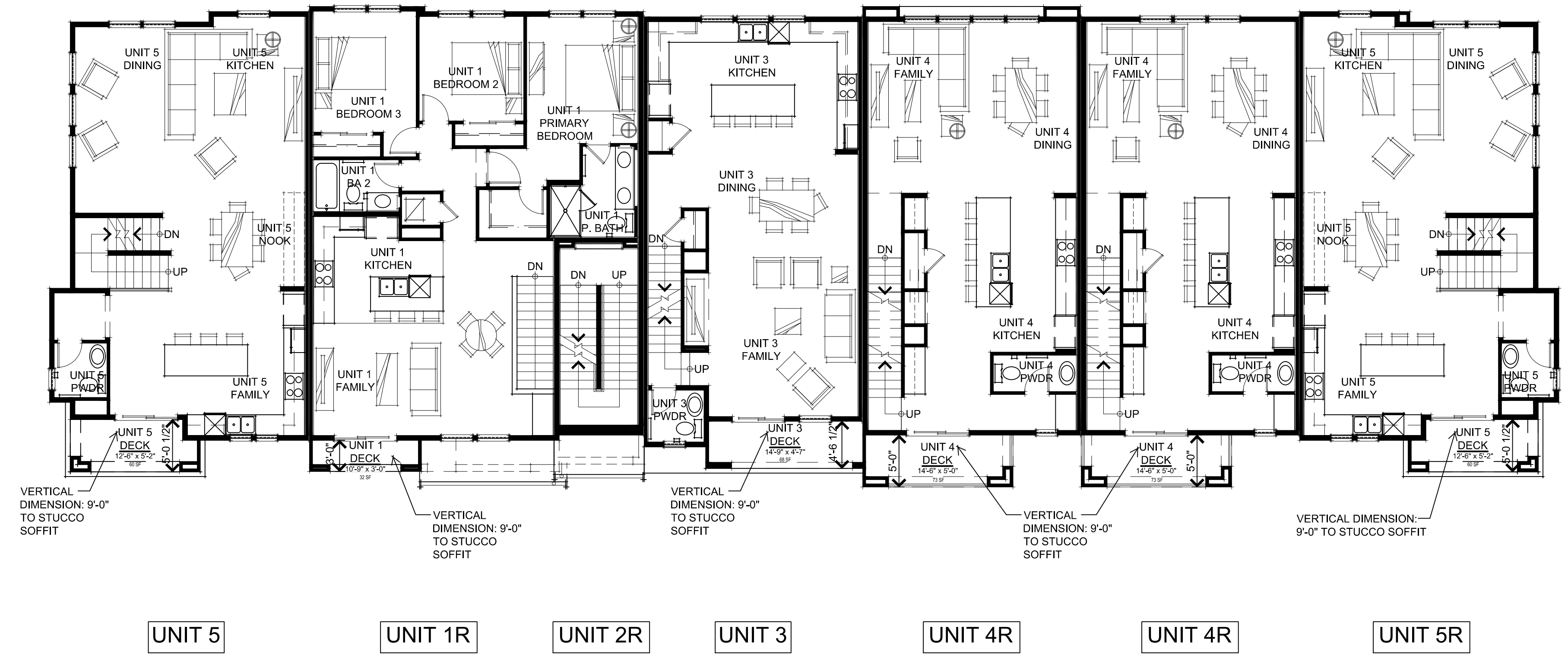


KEY MAP - N.T.S.

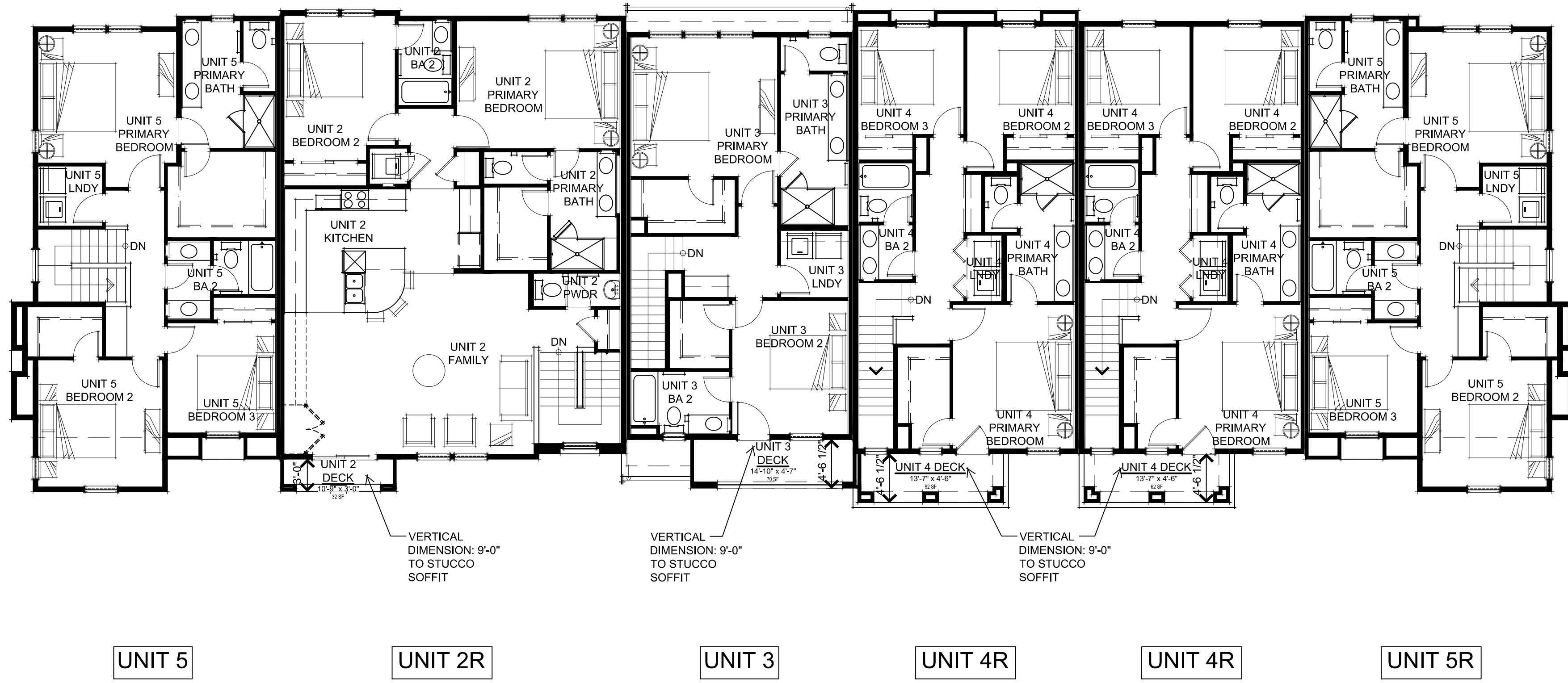




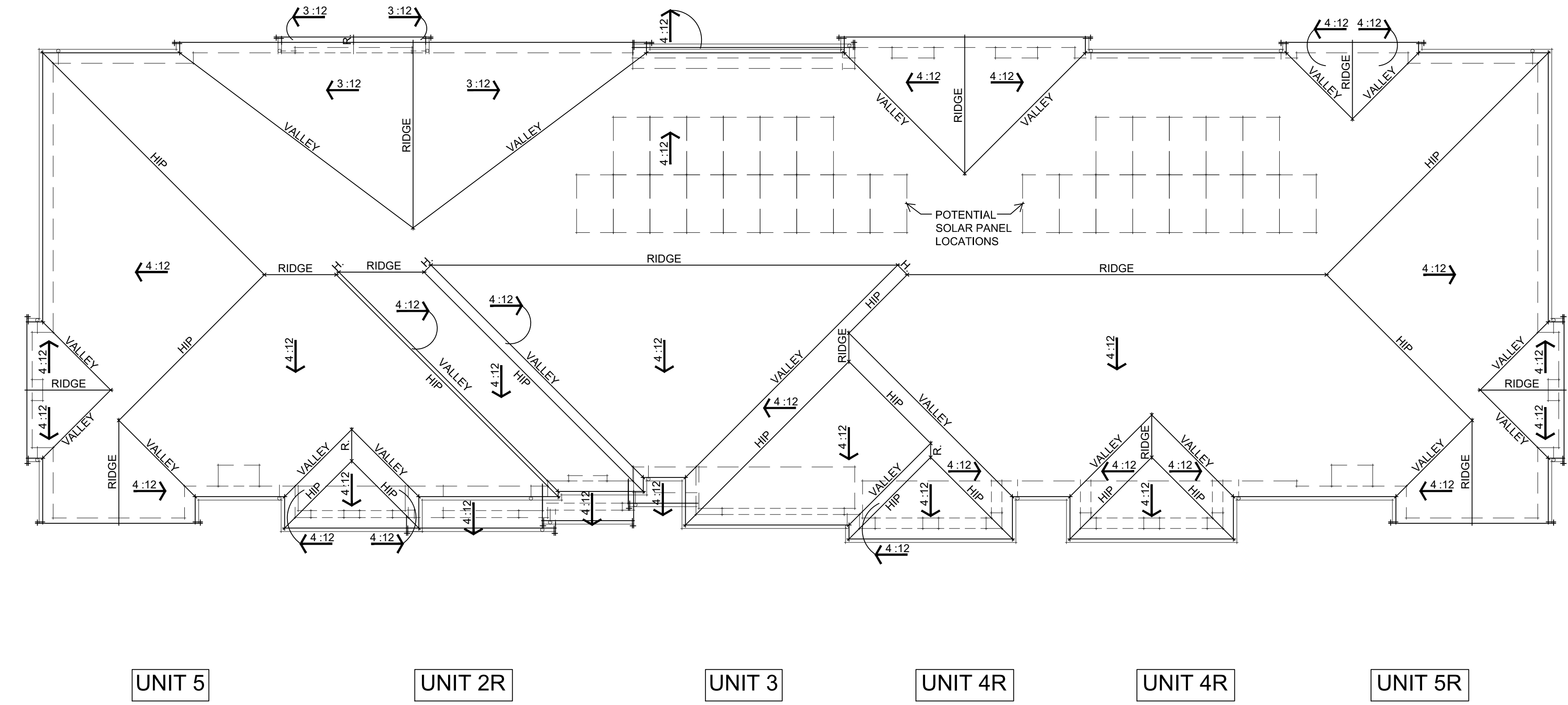
FIRST FLOOR PLAN



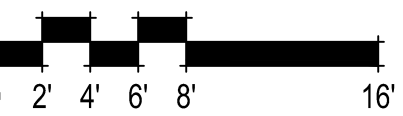
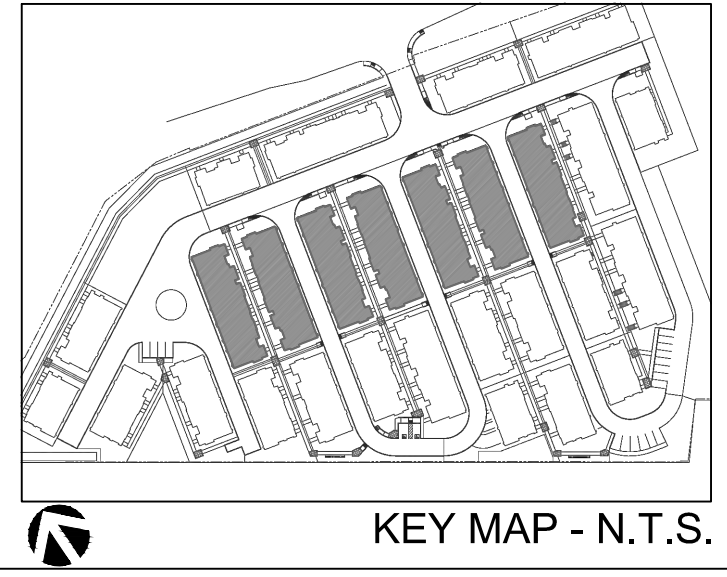
SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF PLAN



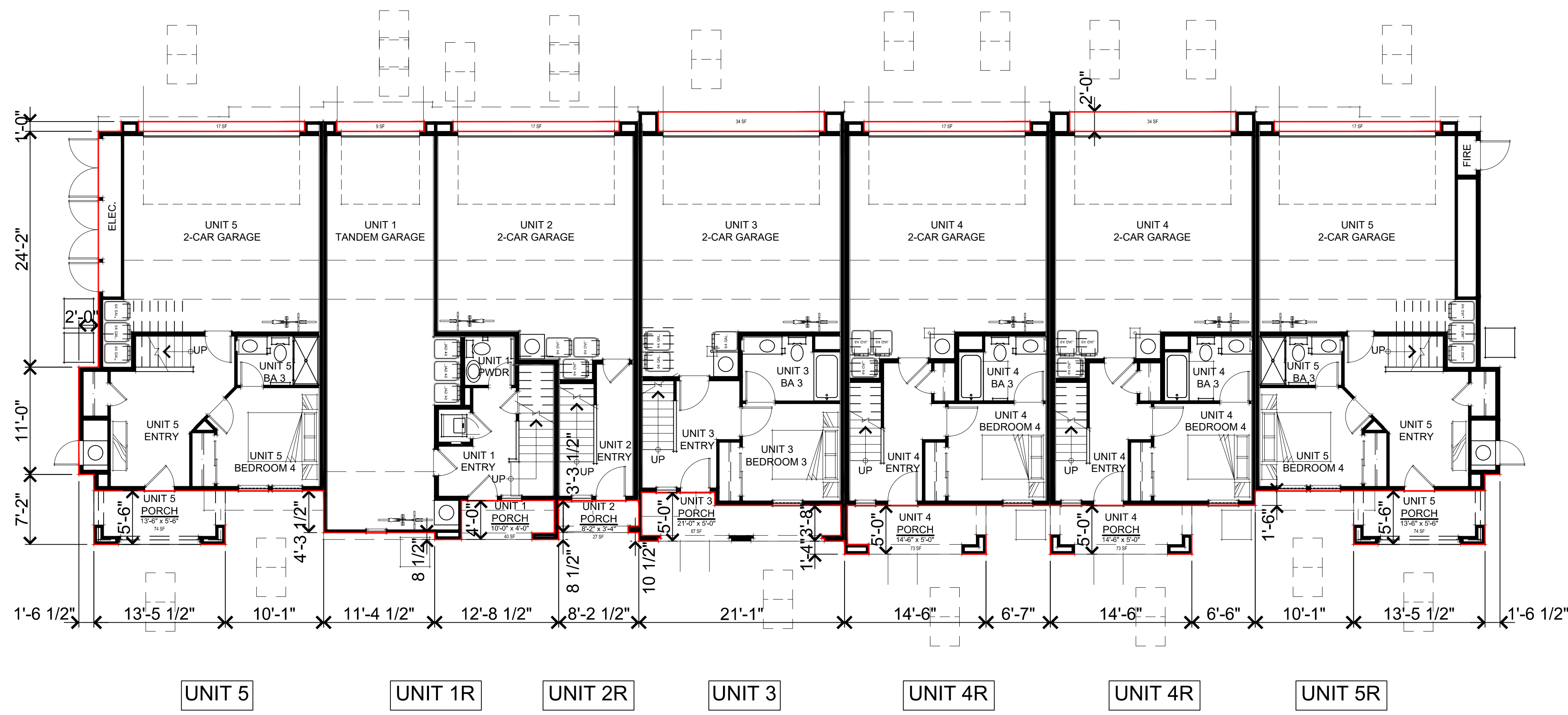
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Los Gatos, CA
November 15, 2024

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
650-857-0122

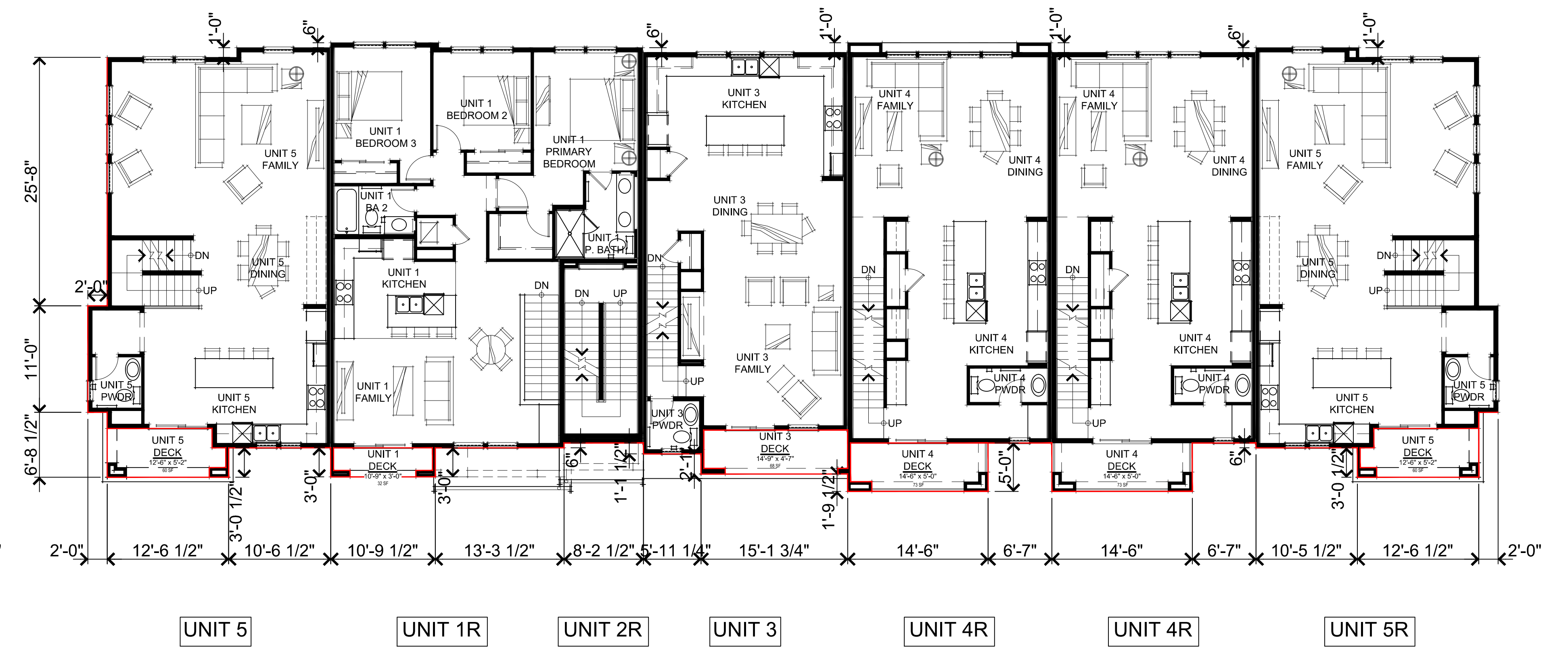
7-UNIT BUILDING FLOOR PLANS
A32

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Brentwood, CA 94513
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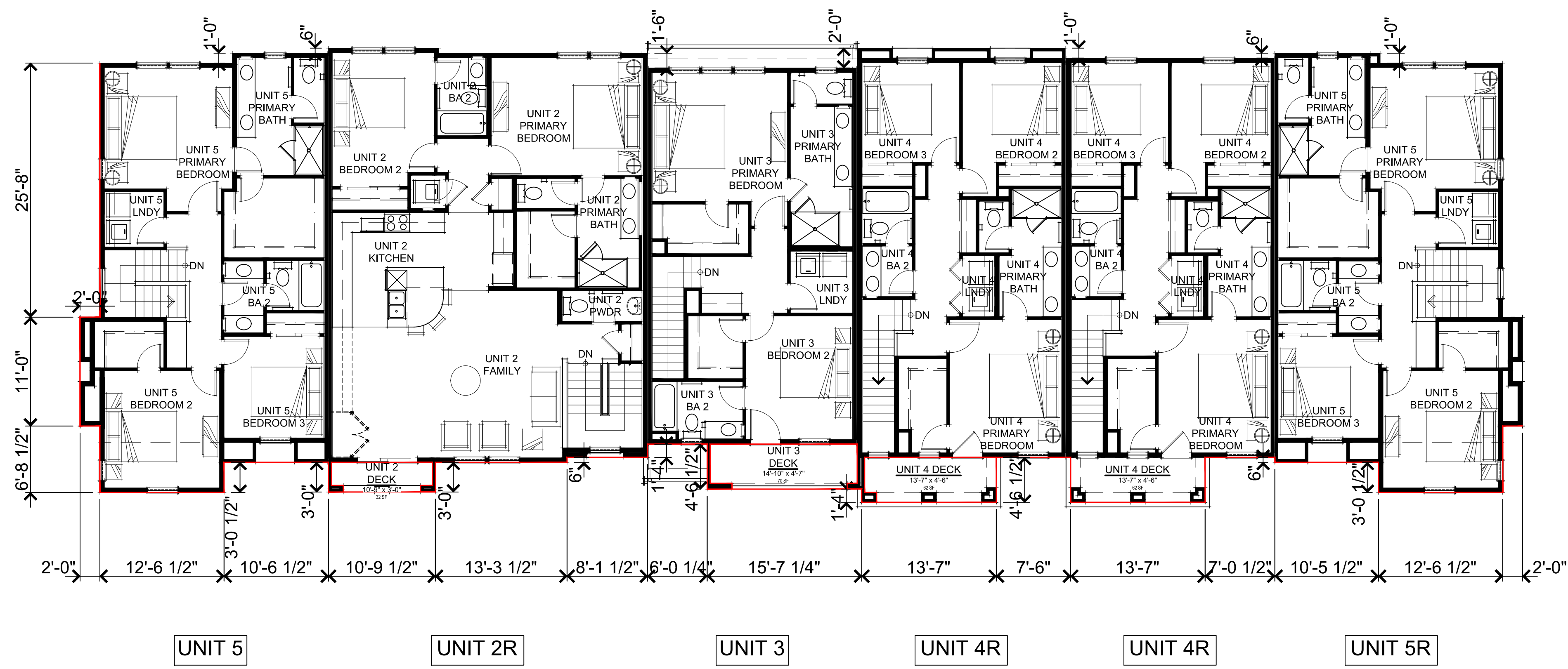




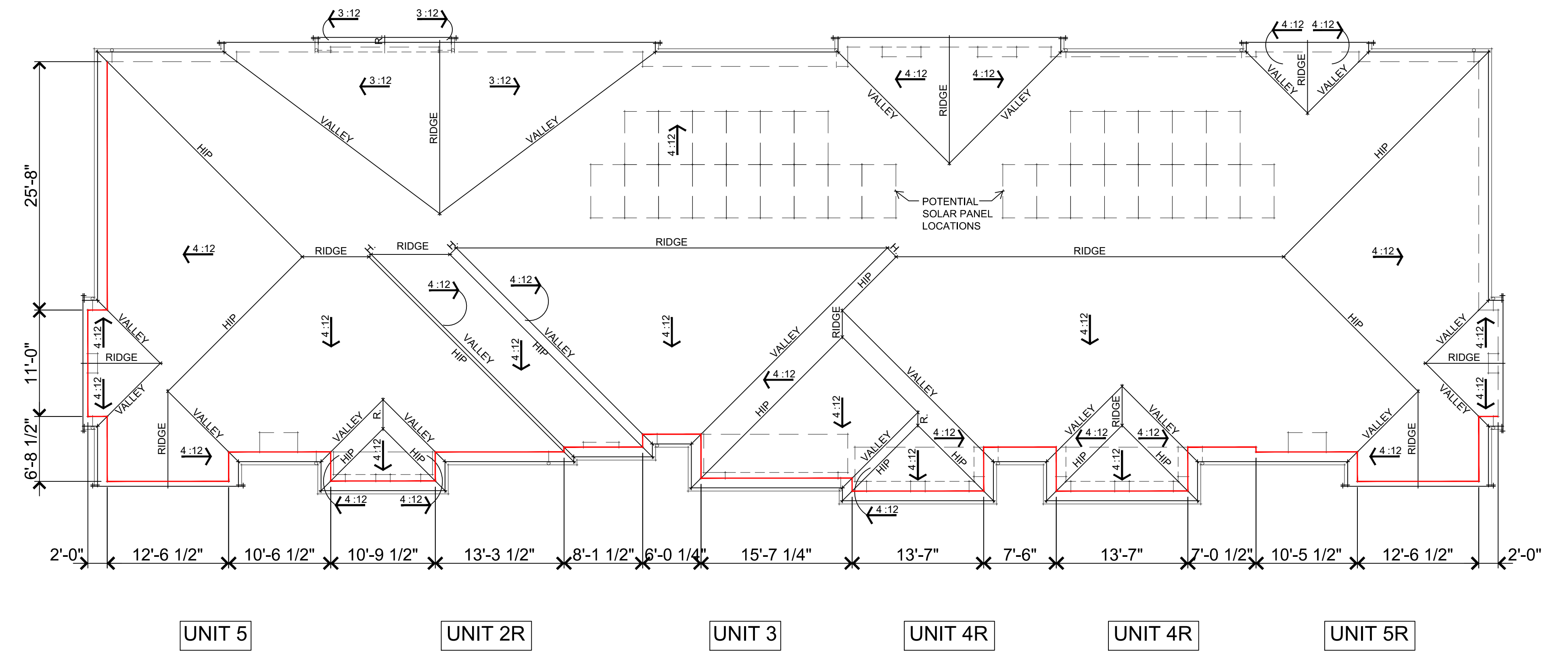
FIRST FLOOR PLAN



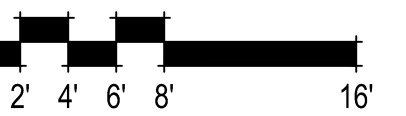
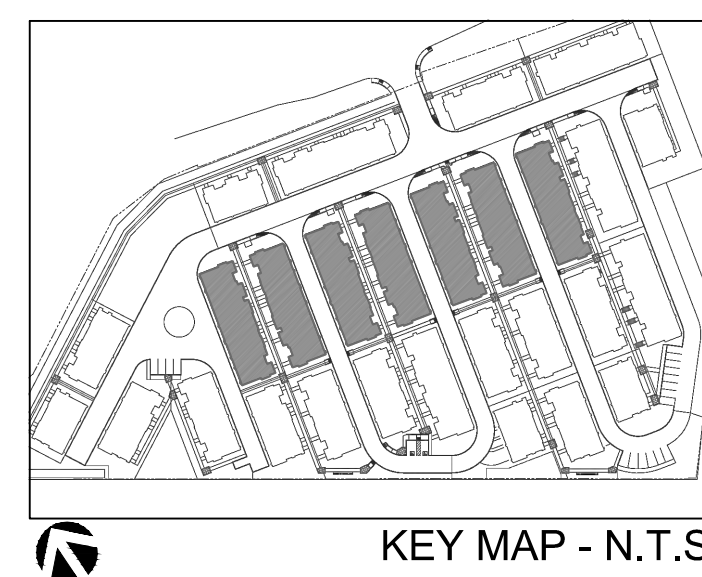
SECOND FLOOR PLAN

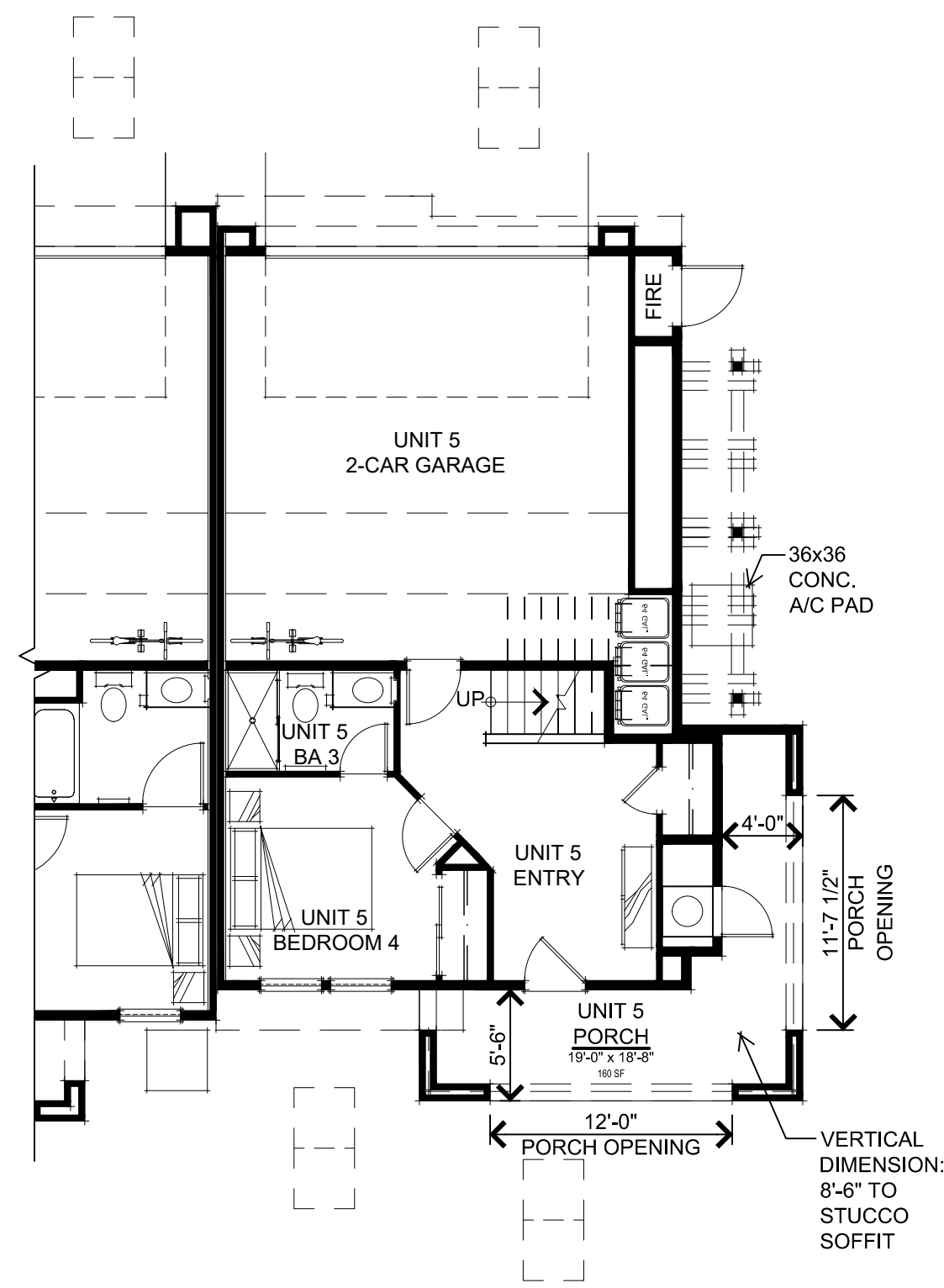


THIRD FLOOR PLAN



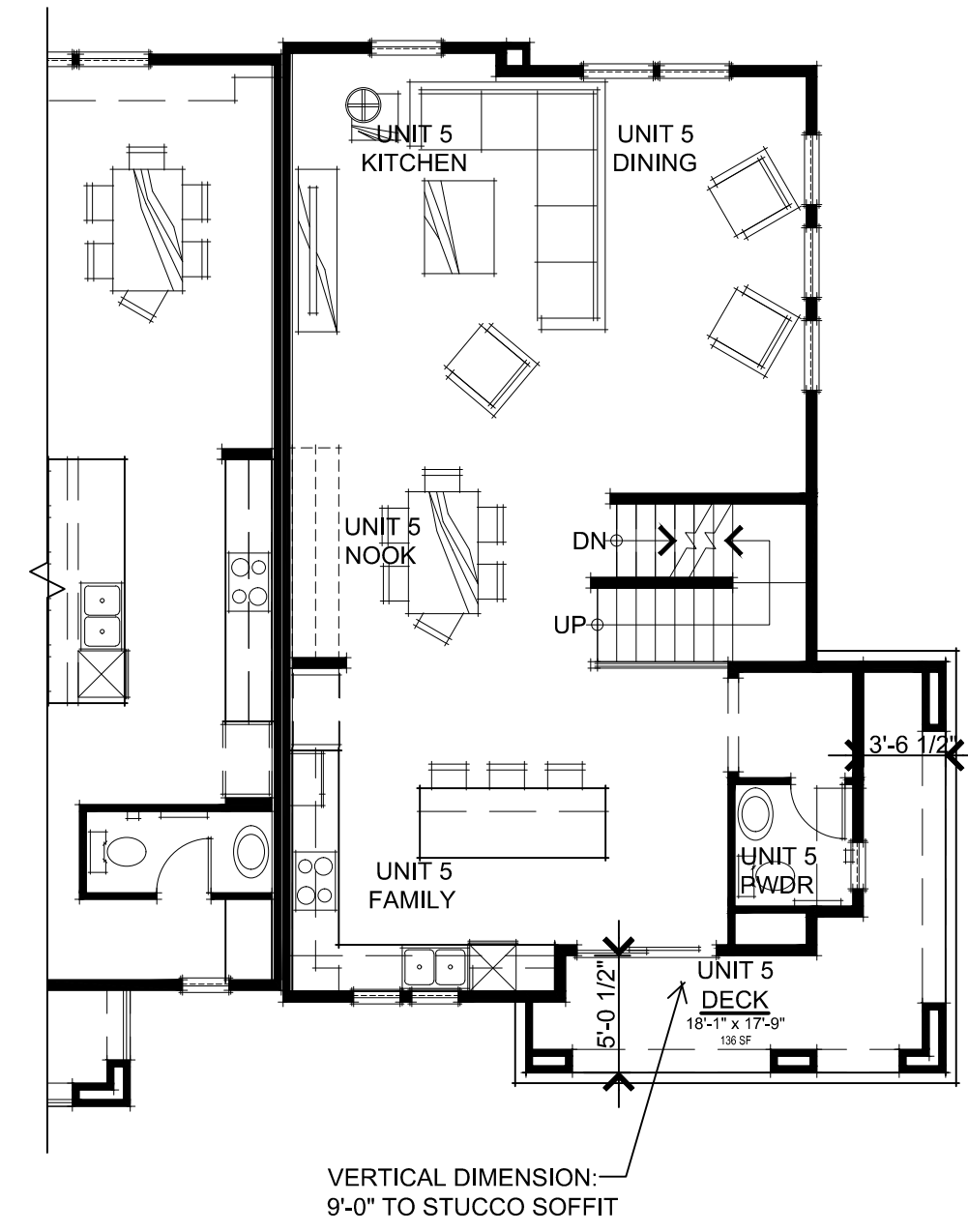
ROOF PLAN





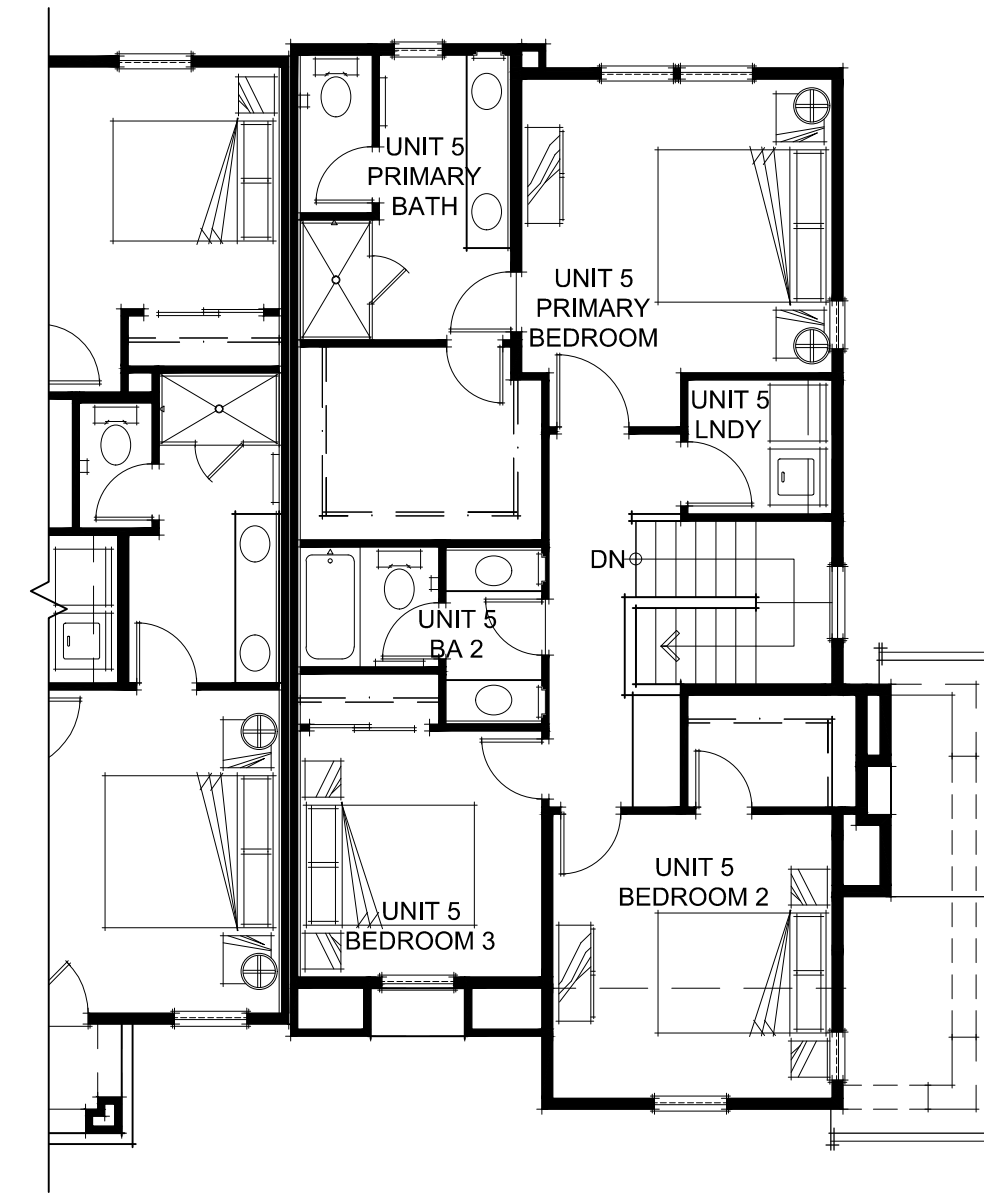
UNIT 5R

WRAPPED PORCH ALT. 'A'
@ BLDGS. 12, 18 & 22
FIRST FLOOR PLAN



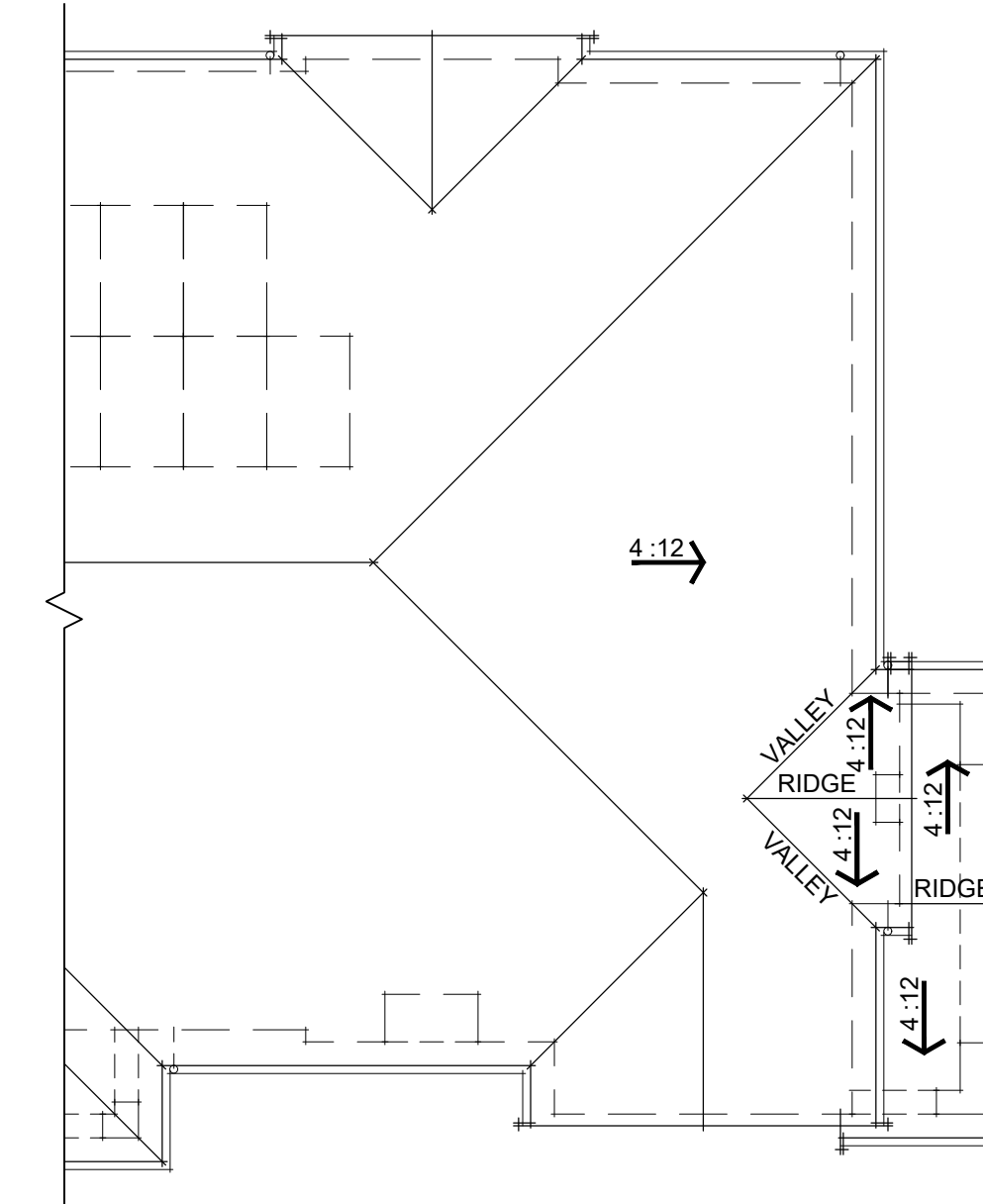
UNIT 5R

WRAPPED PORCH ALT. 'A'
@ BLDGS. 12, 18 & 22
SECOND FLOOR PLAN



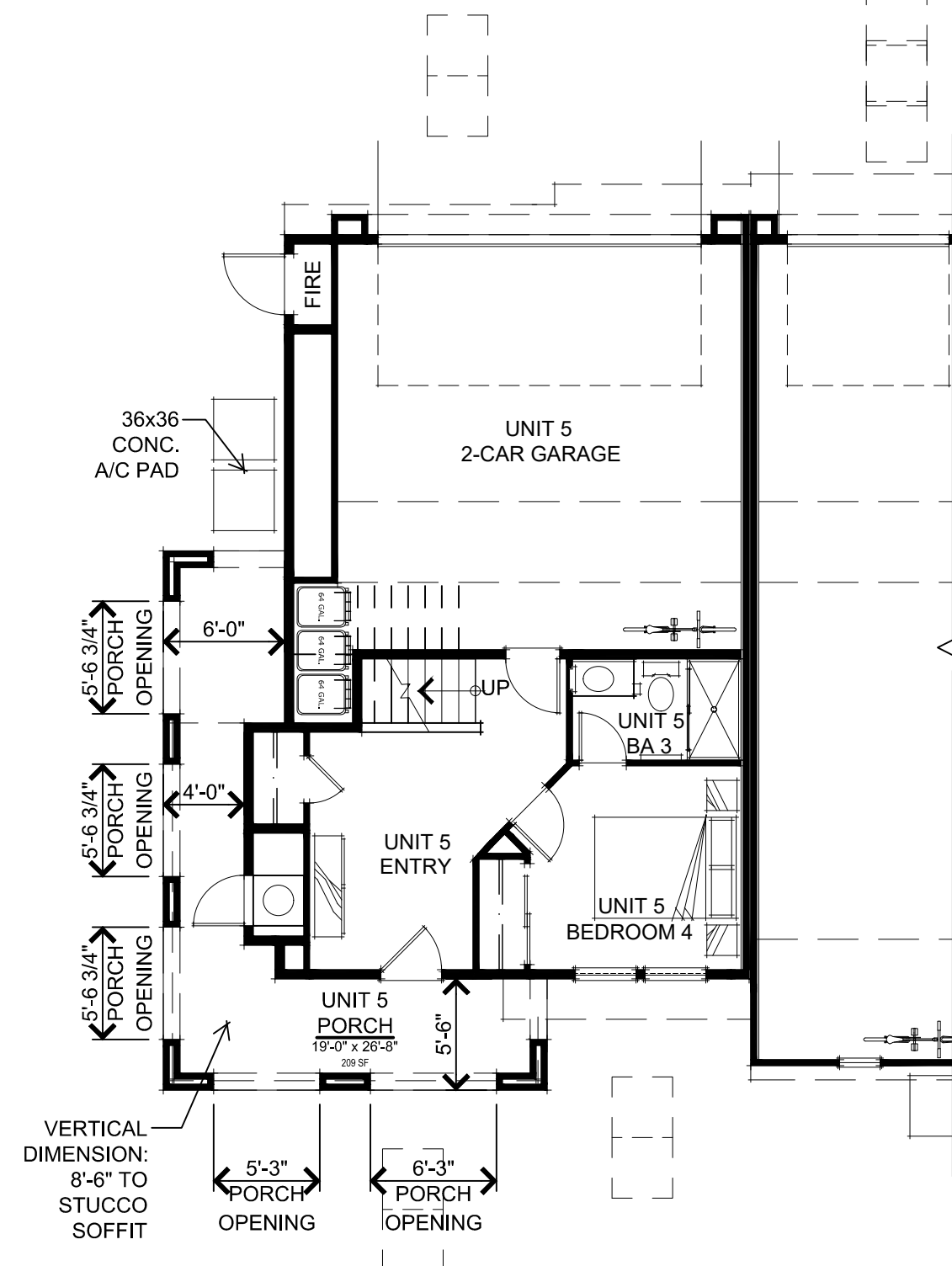
UNIT 5R

WRAPPED PORCH ALT. 'A'
@ BLDGS. 12, 18 & 22
THIRD FLOOR PLAN



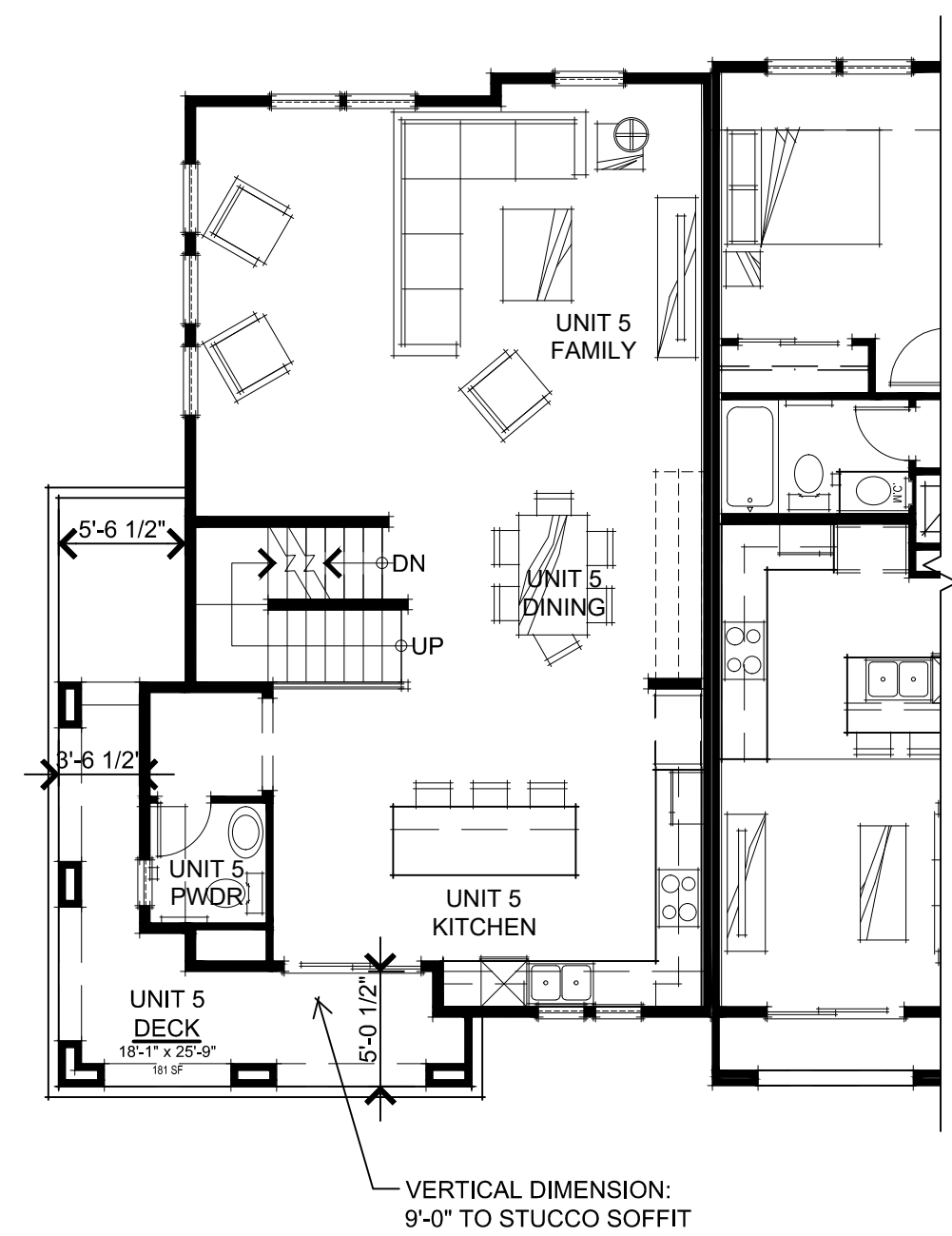
UNIT 5R

WRAPPED PORCH ALT. 'A'
@ BLDGS. 12, 18 & 22
ROOF PLAN



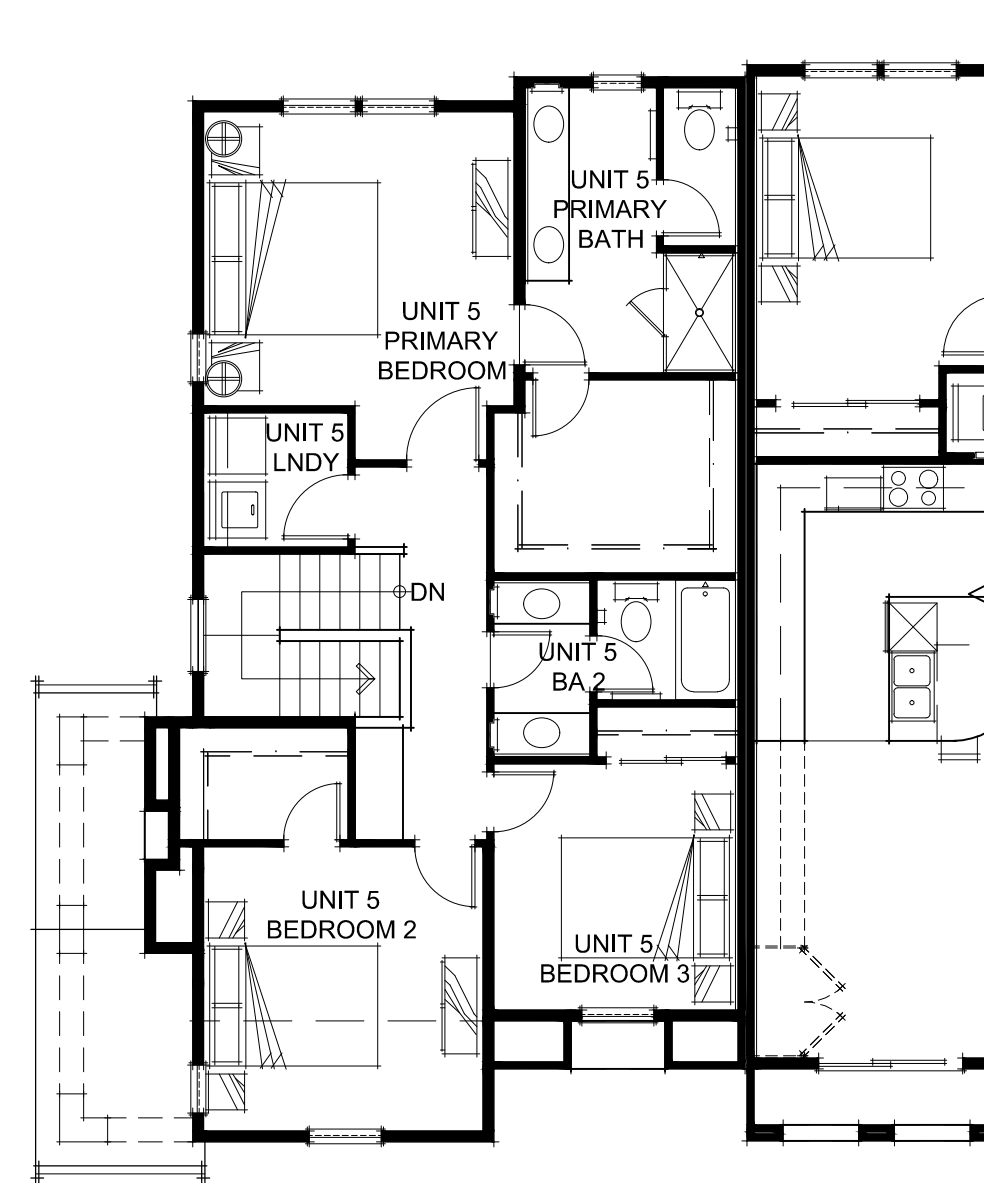
UNIT 5

WRAPPED PORCH ALT. 'B'
@ BLDGS. 13 & 19
FIRST FLOOR PLAN



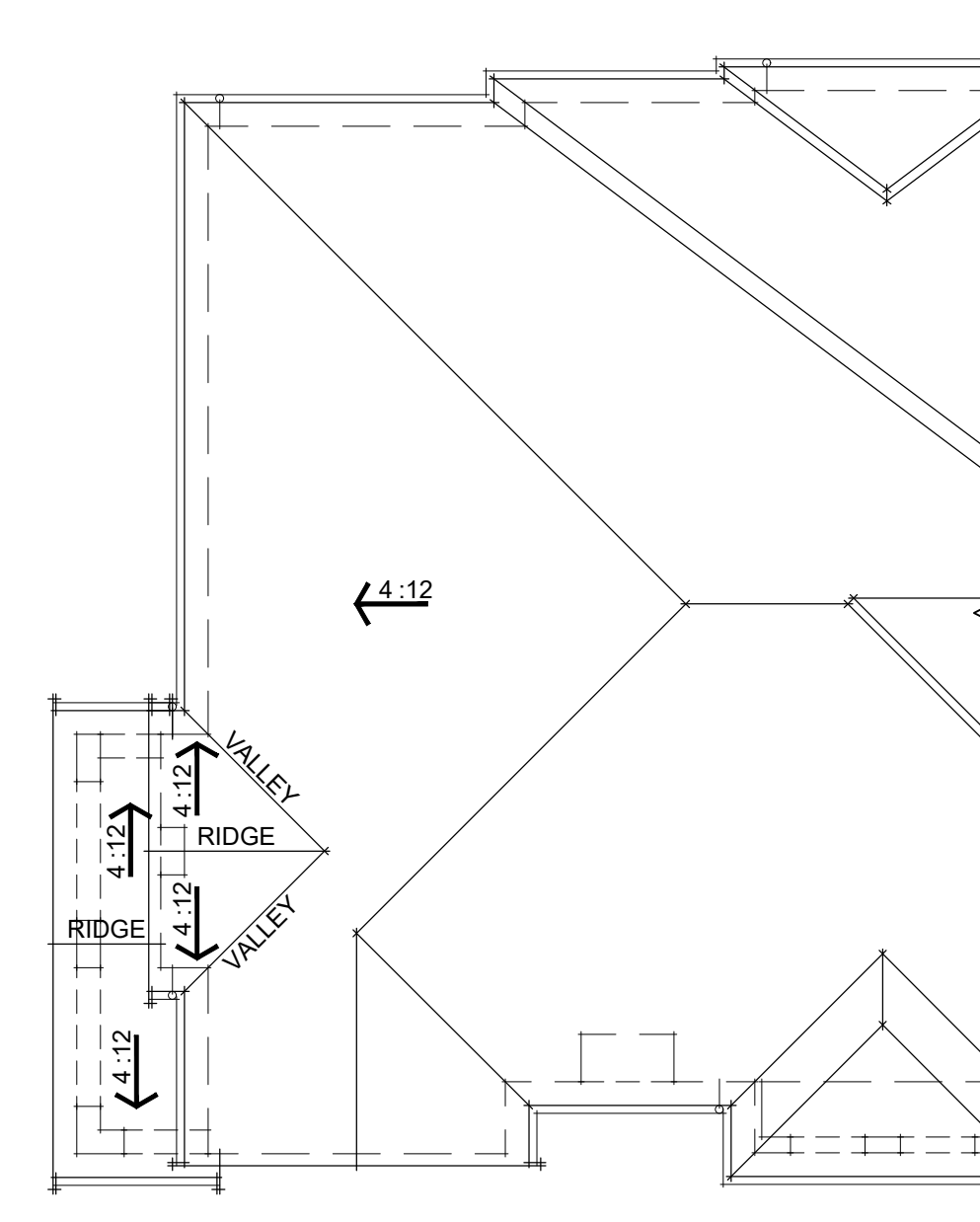
UNIT 5

WRAPPED PORCH ALT. 'B'
@ BLDGS. 13 & 19
SECOND FLOOR PLAN



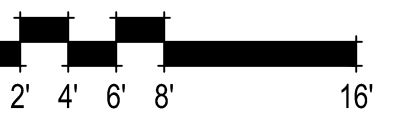
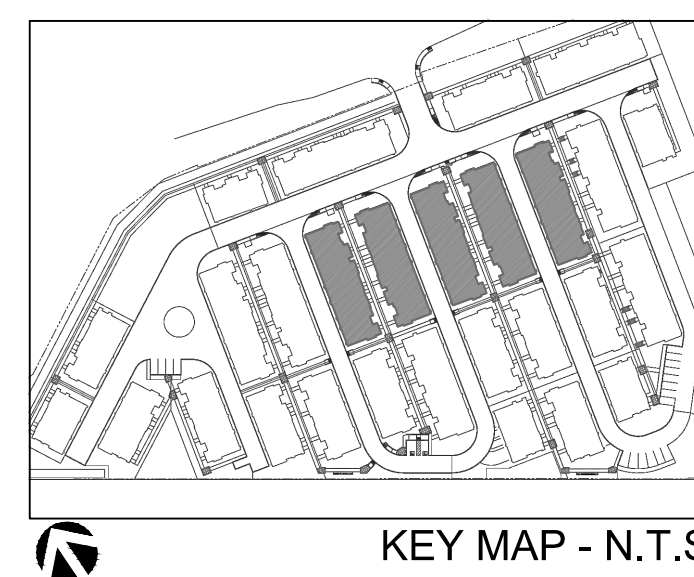
UNIT 5

WRAPPED PORCH ALT. 'B'
@ BLDGS. 13 & 19
THIRD FLOOR PLAN



UNIT 5

WRAPPED PORCH ALT. 'B'
@ BLDGS. 13 & 19
ROOF PLAN





UNIT 5

UNIT 1R

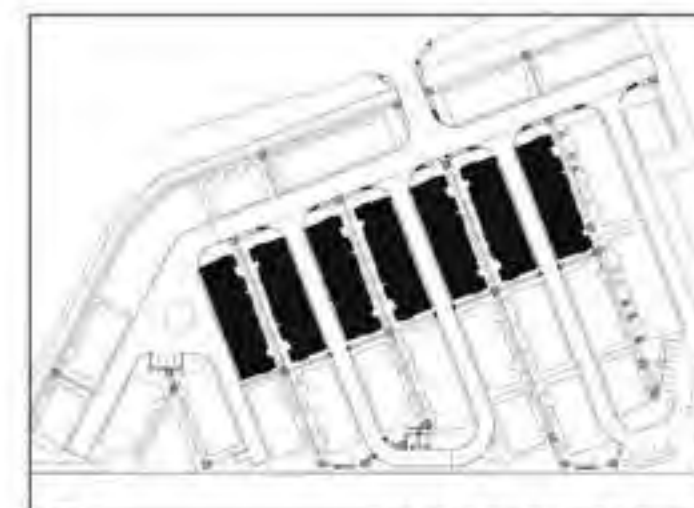
UNIT 2R

UNIT 3

UNIT 4R

UNIT 4R

UNIT 5R



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 58 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 58 1/4 / 1699 1/2 = 3.4%



7-UNIT BUILDING FRONT ELEVATION
 A33

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 Brentwood, CA 94513
 925.634.7000 | sdgarchitects.com



- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
 - 7 INSULATED VINYL WINDOW
 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL
 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 66% OF REAR FACADE

TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 144 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 144 1/4 / 1699 1/2 = 8.5%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 4R

UNIT 4R

UNIT 3

UNIT 2R

UNIT 1R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1699 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1117 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 1117 3/4 / 1699 1/2 = 66%



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)



UNIT 5

UNIT 1R

UNIT 2R

UNIT 3

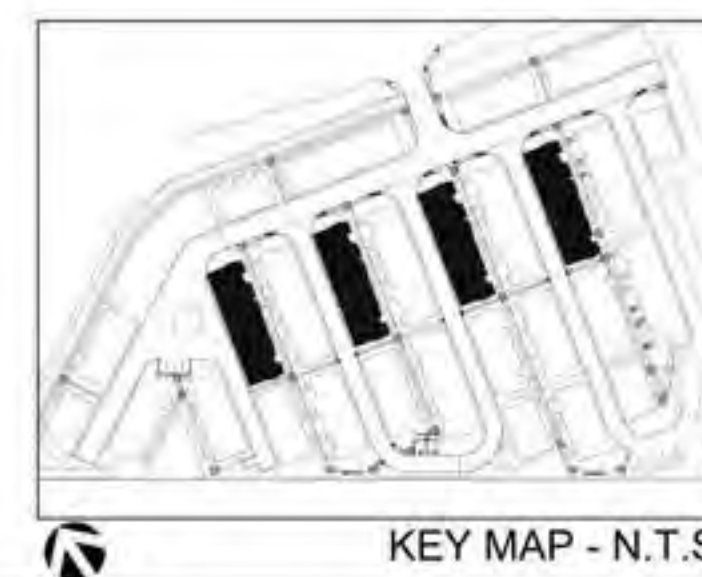
UNIT 4R

UNIT 4R

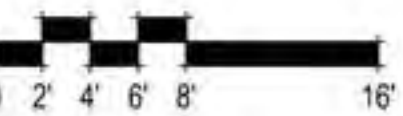
UNIT 5R

FRONT ELEVATION

- MAX. HT. 37'-1 1/2"
- T.O. PL. 29'-2 1/2" THIRD FLOOR
- T.O. PL. 18'-10 3/4" SECOND FLOOR
- T.O. PL. 8'-7" FIRST FLOOR
- T.O. TYP. GRADE 0'-0"



KEY MAP - N.T.S.





UNIT 5R

RIGHT ELEVATION

TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 144 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 144 1/4 / 1699 1/2 = 8.5%



UNIT 5R

UNIT 4R

UNIT 4R

UNIT 3

UNIT 2R

UNIT 1R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1699 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1117 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 1117 3/4 / 1699 1/2 = 66%



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 5

UNIT 1R

UNIT 2R

UNIT 3

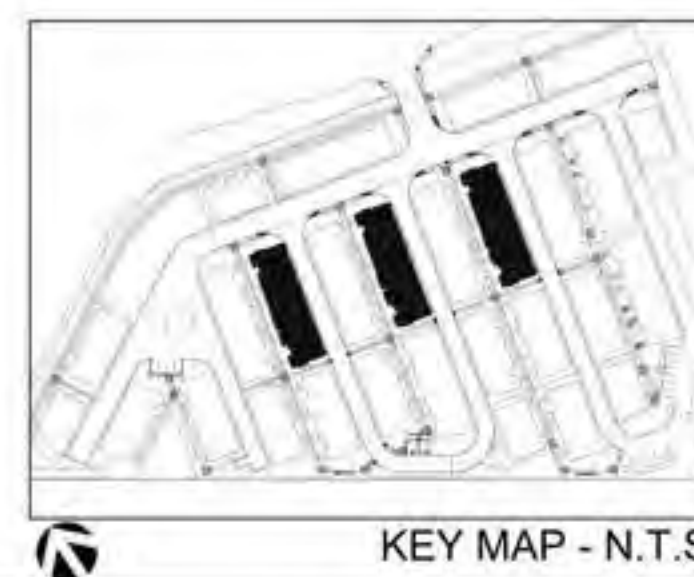
UNIT 4R

UNIT 4R

UNIT 5R

FRONT ELEVATION
 (NO CHANGE FROM STANDARD FRONT ELEVATION)

MAX. HT. 37'-1 1/2"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"



KEY MAP - N.T.S.



TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 144 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 144 1/4 / 1699 1/2 = 8.5%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 4R

UNIT 4R

UNIT 3

UNIT 2R

UNIT 1R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1699 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1117 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 1117 3/4 / 1699 1/2 = 66%



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 5

UNIT 1R

UNIT 2R

UNIT 3

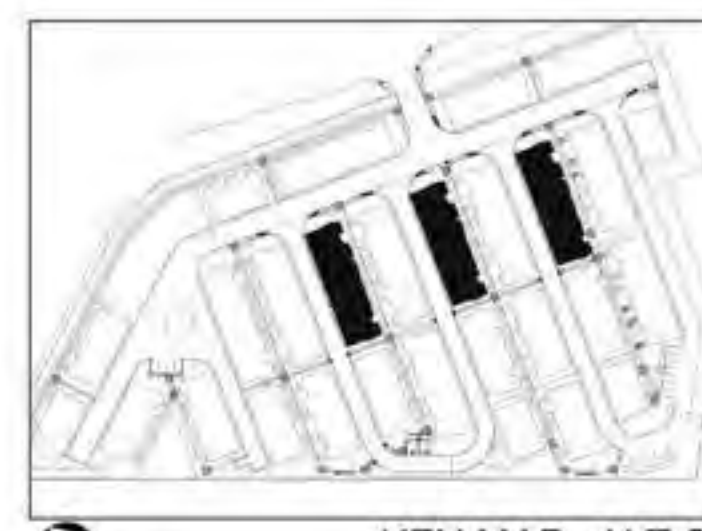
UNIT 4R

UNIT 4R

UNIT 5R

FRONT ELEVATION

MAX. HT. 37'-1 1/2"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"



KEY MAP - N.T.S.



TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 144 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 144 1/4 / 1699 1/2 = 8.5%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 4R

UNIT 4R

UNIT 3

UNIT 2R

UNIT 1R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1699 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1117 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 1117 3/4 / 1699 1/2 = 66%



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF
 TO EXTERIOR WALL)



UNIT 5

UNIT 1R

UNIT 2R

UNIT 3

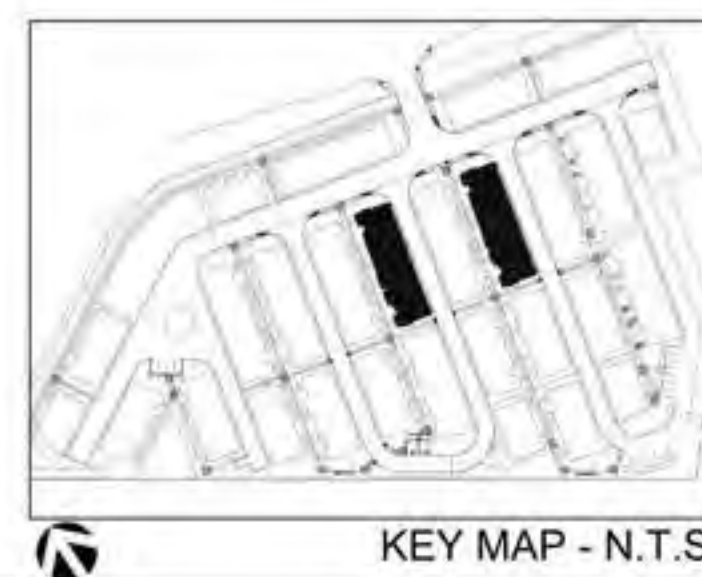
UNIT 4R

UNIT 4R

UNIT 5R

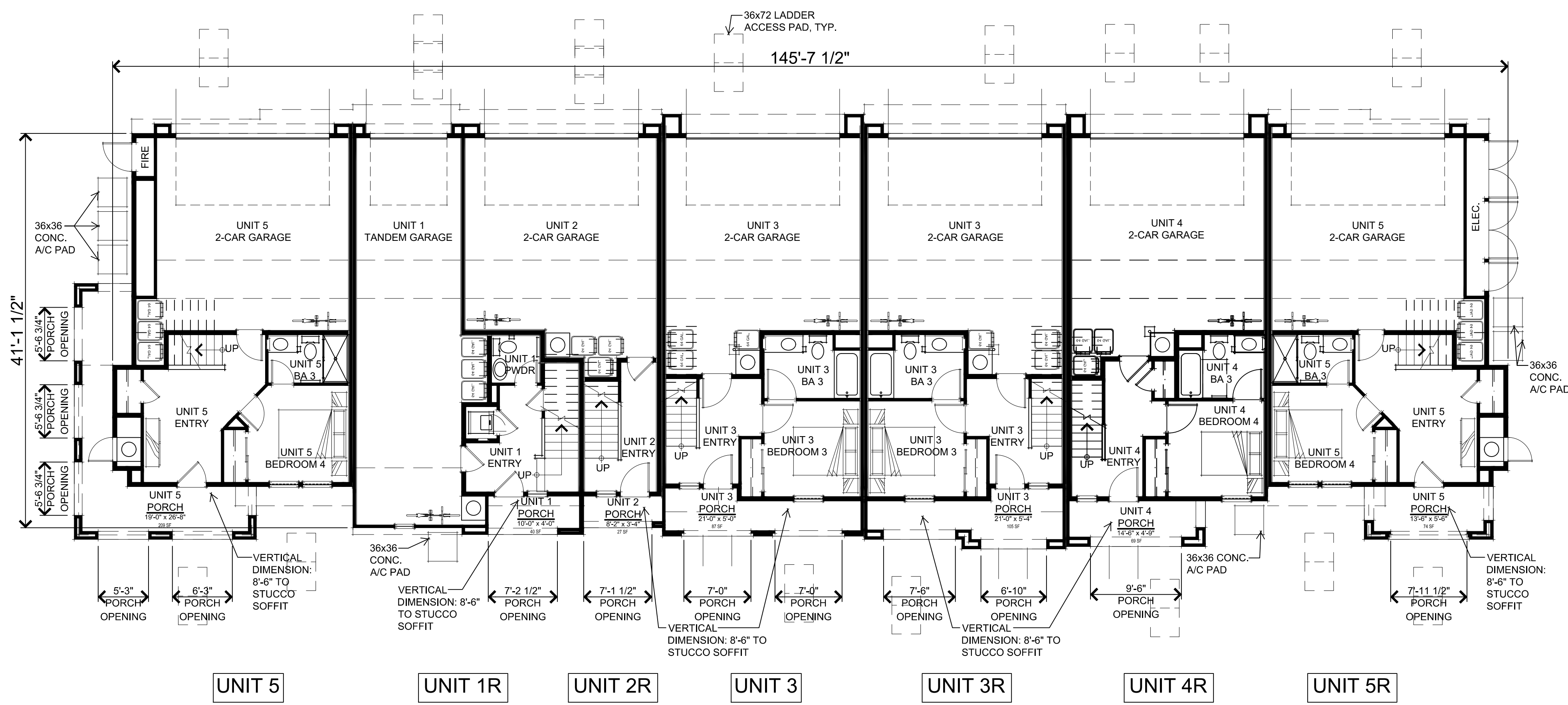
FRONT ELEVATION

MAX. HT. 37'-1 1/2"
 T.O. PL. 29'-2 1/2"
 THIRD FLOOR
 T.O. PL. 18'-10 3/4"
 SECOND FLOOR
 T.O. PL. 8'-7"
 FIRST FLOOR
 T.O. TYP. GRADE 0'-0"

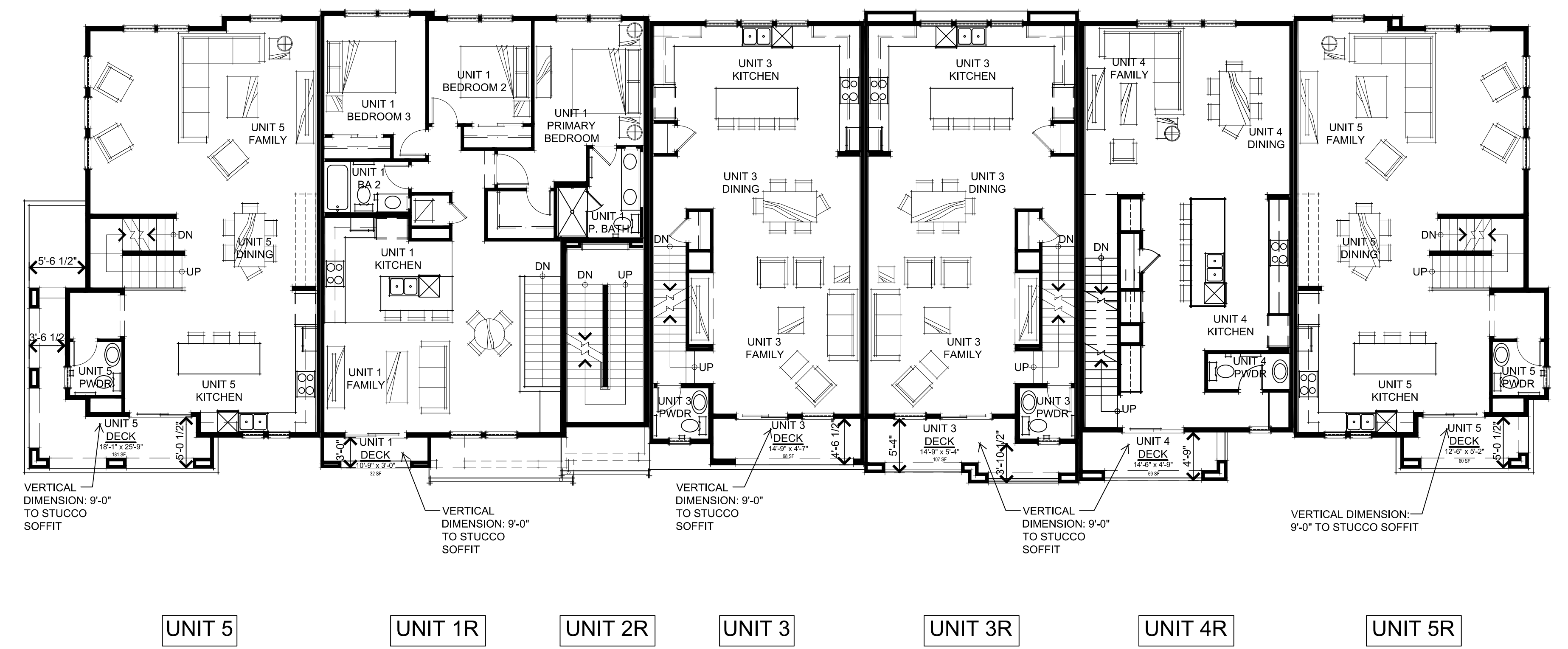


KEY MAP - N.T.S.

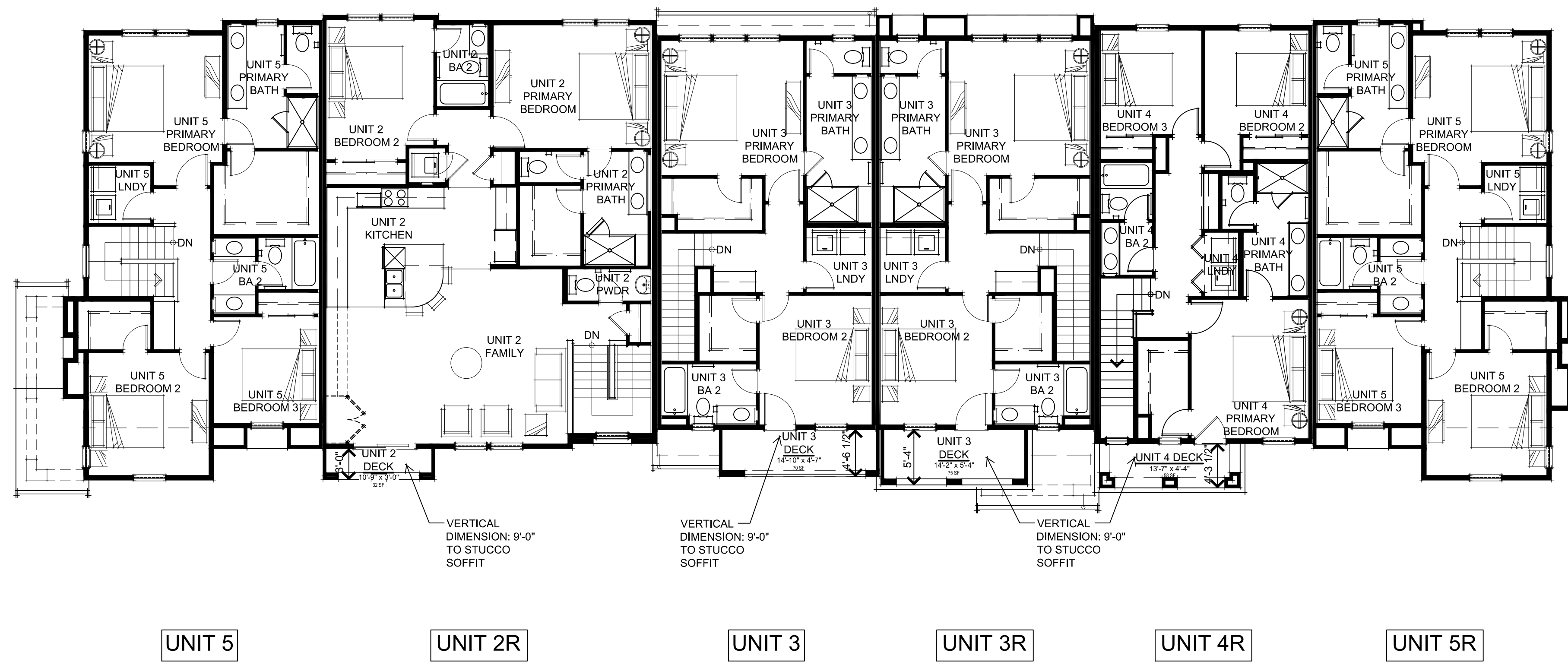




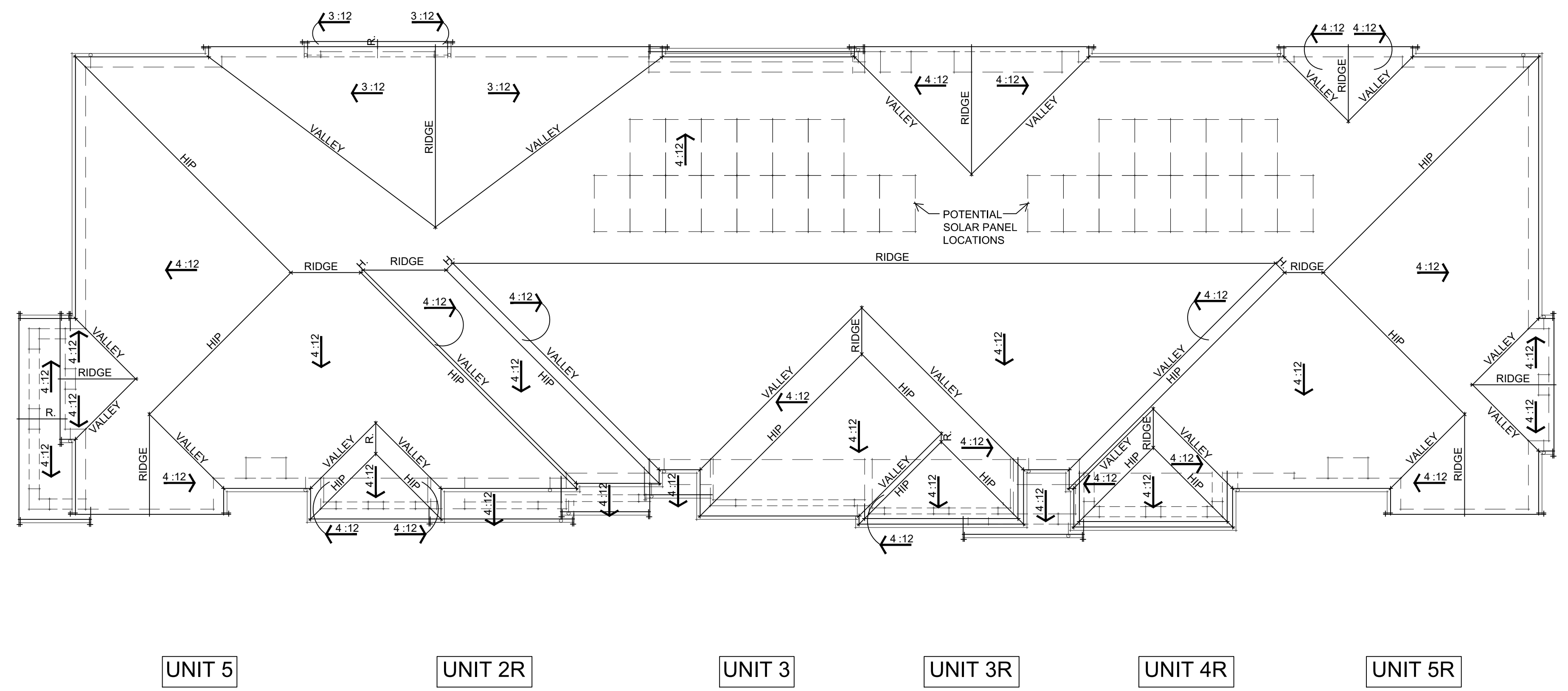
FIRST FLOOR PLAN



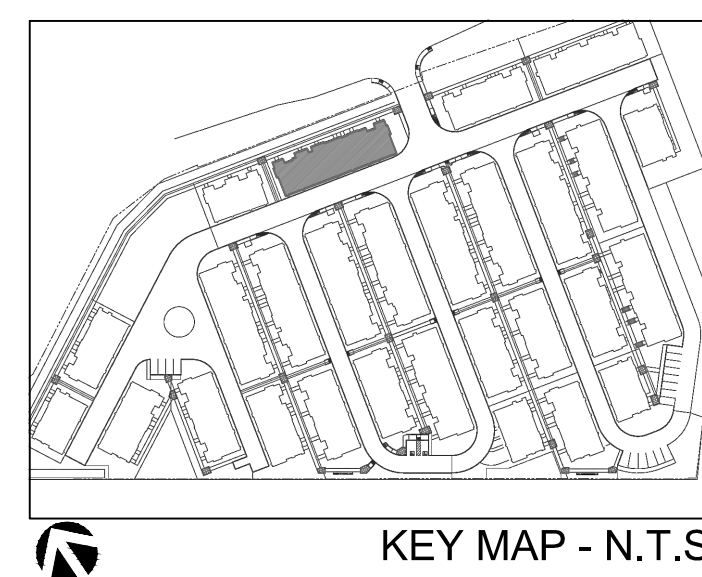
SECOND FLOOR PLAN

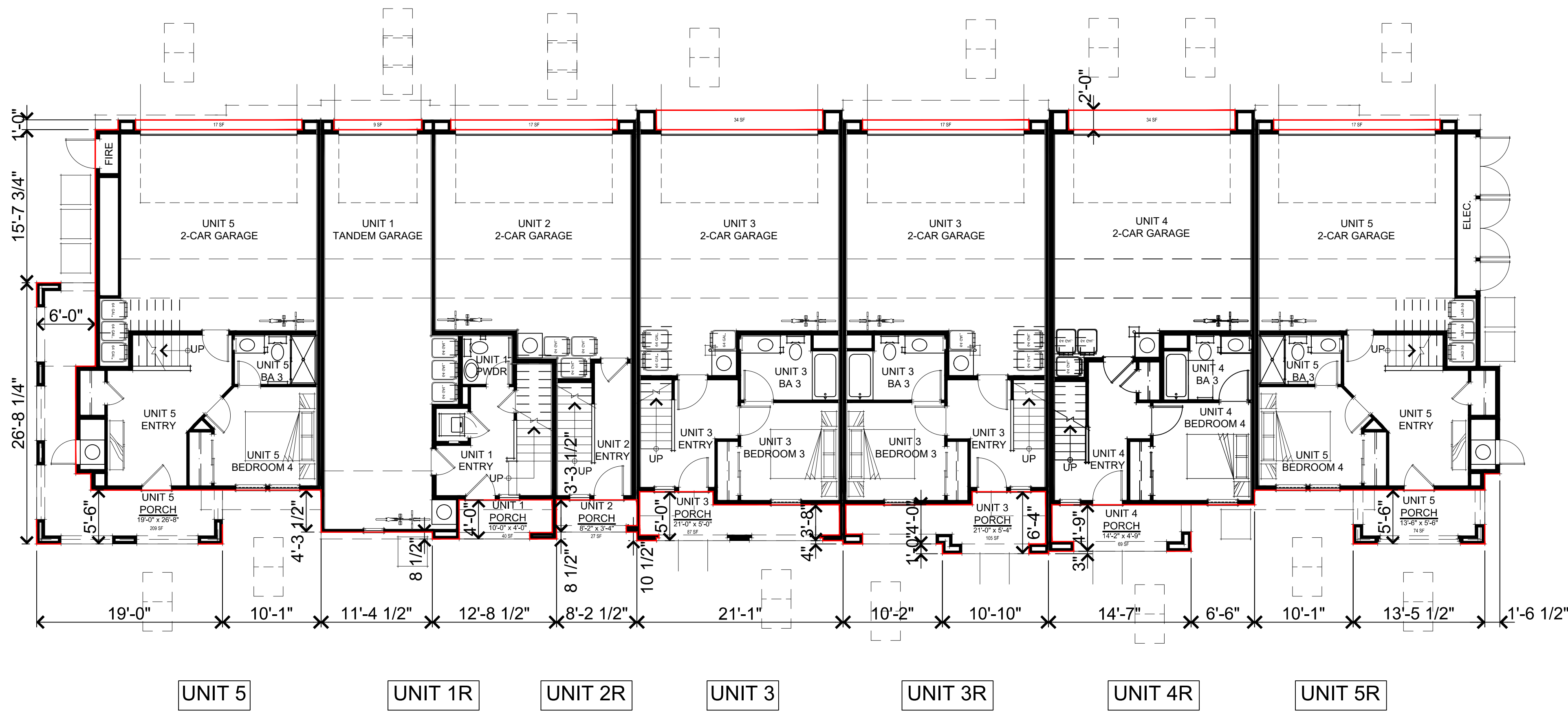


THIRD FLOOR PLAN

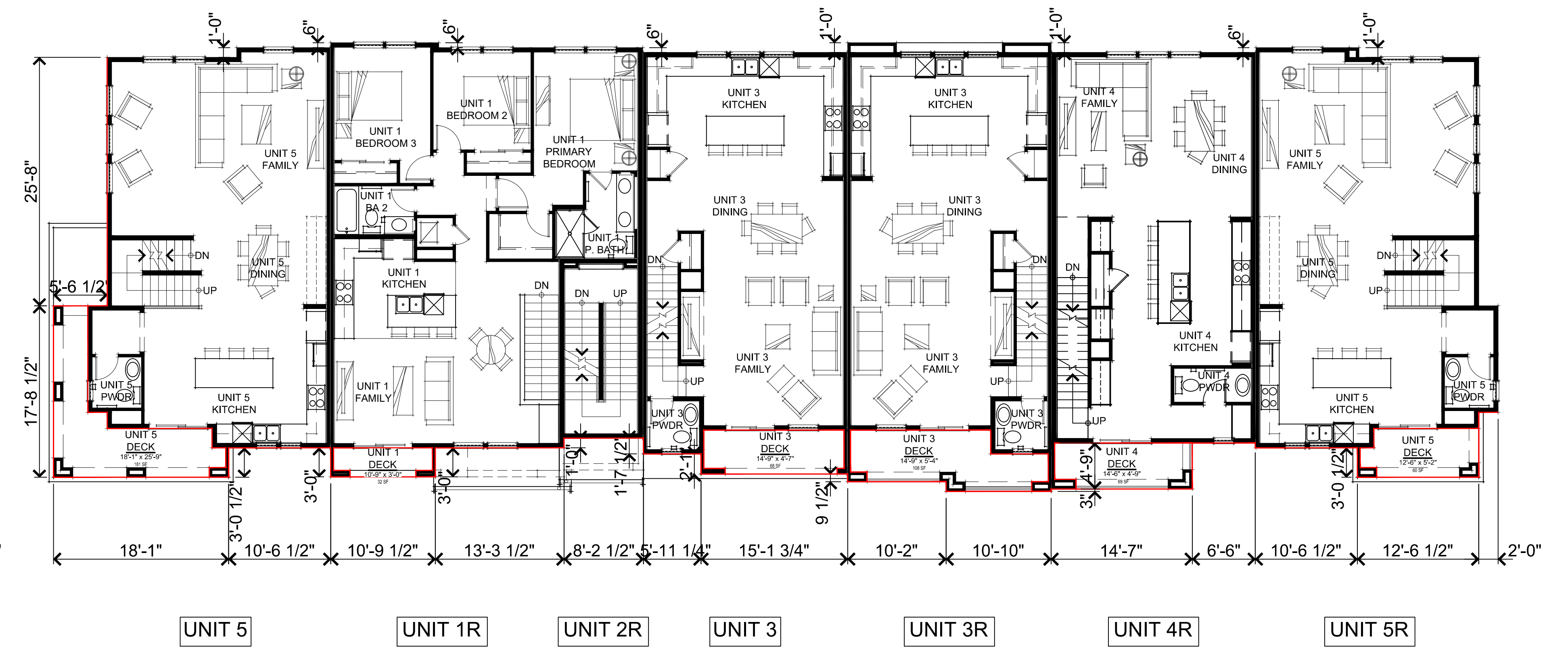


ROOF PLAN

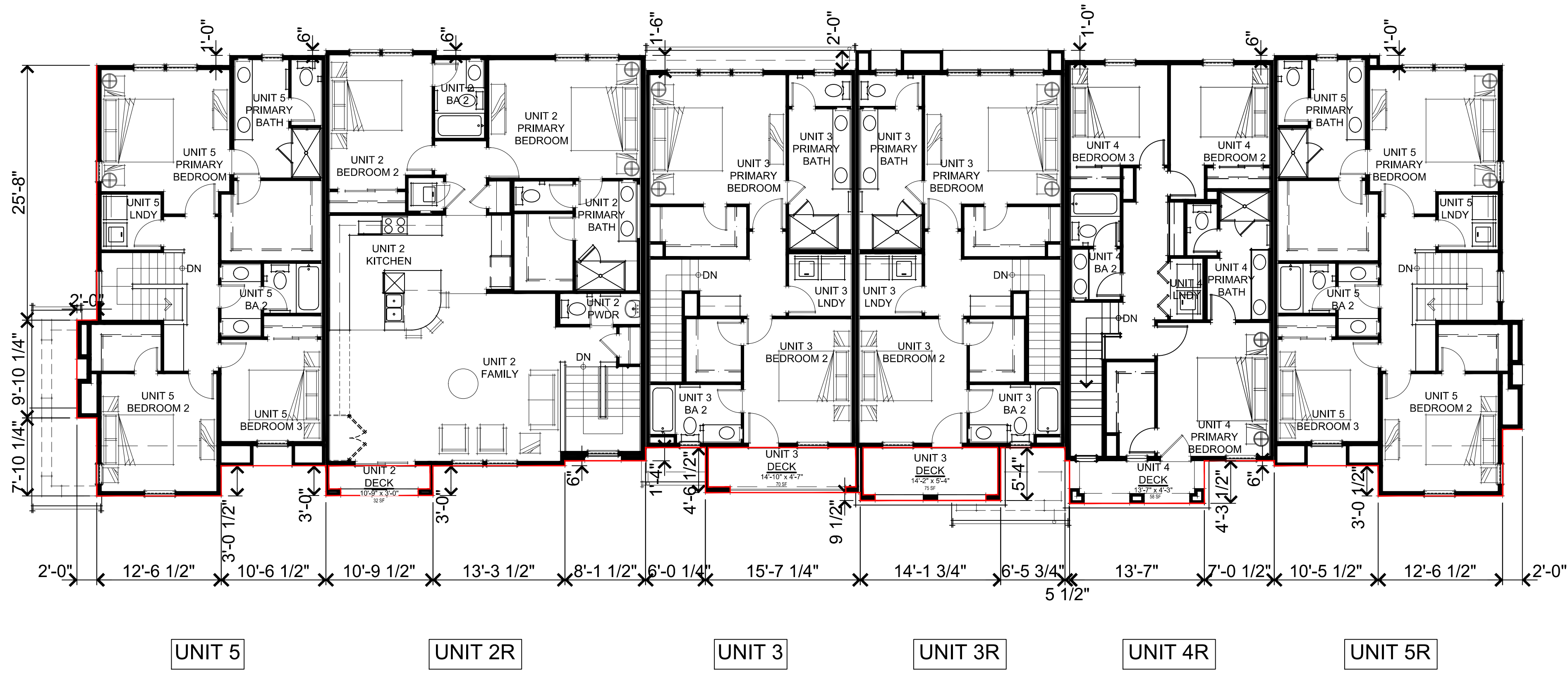




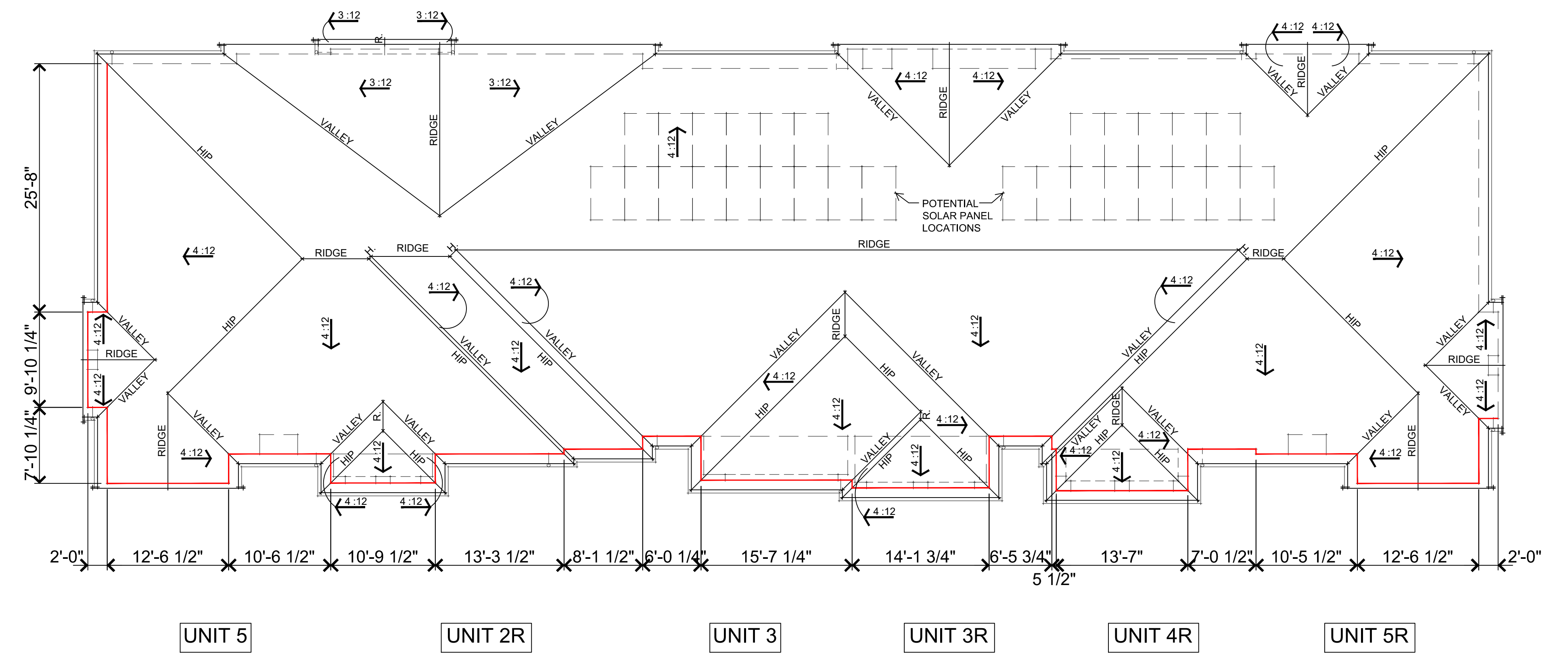
FIRST FLOOR PLAN



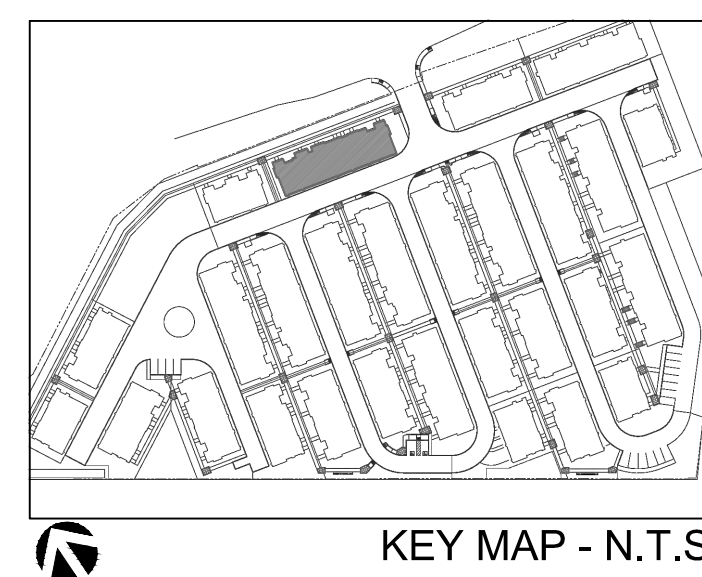
SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF PLAN



KEY MAP - N.T.S.





UNIT 5

UNIT 1R

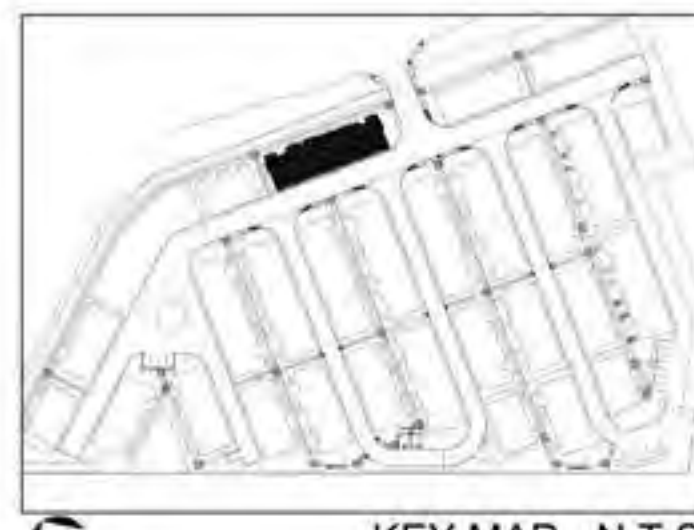
UNIT 2R

UNIT 3

UNIT 3R

UNIT 4R

UNIT 5R



KEY MAP - N.T.S.

TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 58 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 58 1/4 / 1699 1/2 = 3.4%



381,072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

SUMMERHILL HOMES
 COMMUNITIES OF DISTINCTION 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
 650-857-0122

7-UNIT ALT BUILDING FRONT ELEVATION
 A36

SDG Architects, Inc.
 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



- EXTERIOR MATERIALS**
- 1 CONCRETE TILE "S" ROOFING
 - 2 STUCCO w/ 20/30 LIGHT SAND FINISH
 - 3A 2x6 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3B 2x4 SMOOTH FOAM TRIM, PAINT TO MATCH
 - 3C 2x SMOOTH FOAM CORNICE TRIM, PAINT TO MATCH
 - 4 METAL RAILING
 - 5A METAL POT SHELF
 - 5B W.I. GABLE ACCENT
 - 6A CLAY TILE GABLE ACCENT
 - 6B CERAMIC TILE ACCENT
 - 7 INSULATED VINYL WINDOW
 - 8 VINYL SLIDING GLASS DOOR
 - 9 FIBERGLASS FRONT DOOR
 - 10 SECTIONAL FLUSH PANEL ROLL-UP GARAGE DOOR
 - 11 METAL FASCIA GUTTER
 - 12 DECORATIVE SHAPED HIGH DENSITY FOAM CORBEL
 - 13 PAINTED METAL UTILITY DOOR
 - 14 WALL PACK LIGHT
 - 15 BACKLIT ADDRESS
 - 16 WALL SCONCE LIGHT
 - 17 BUILDING IDENTIFICATION NUMBER SIGN
 - 18 ADDRESS RANGE SIGN
 - 19 LANDSCAPED TRELLIS AT 66% OF REAR FACADE

TOTAL BUILDING FACADE LENGTH = 1699 1/2"
 MAXIMUM CONTINUOUS BLANK FACADE LENGTH = 144 1/4"
 CONTINUOUS LENGTH / TOTAL LENGTH = 144 1/4 / 1699 1/2 = 8.5%



UNIT 5R

RIGHT ELEVATION



UNIT 5R

UNIT 4R

UNIT 3R

UNIT 3

UNIT 2R

UNIT 1R

UNIT 5

REAR ELEVATION

TOTAL FACADE LENGTH = 1699 1/2"
 TOTAL LANDSCAPED TRELLIS LENGTH = 1117 3/4"
 TRELLIS LENGTH / TOTAL LENGTH = 1117 3/4 / 1699 1/2 = 66%



UNIT 5

LEFT ELEVATION

EAVE HT. 29'-10 1/2"
 (INTERSECTION OF ROOF TO EXTERIOR WALL)



UNIT 5

UNIT 1R

UNIT 2R

UNIT 3

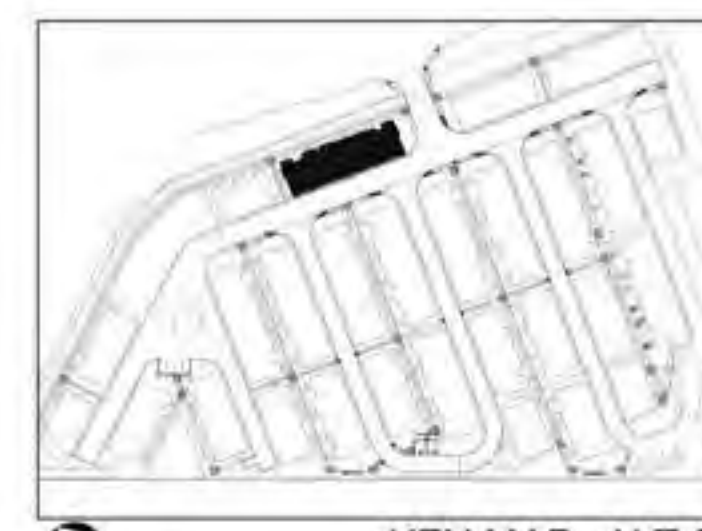
UNIT 3R

UNIT 4R

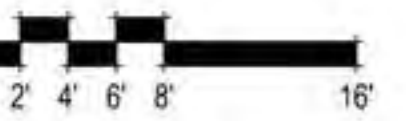
UNIT 5R

FRONT ELEVATION

- MAX. HT. 37'-1 1/2"
- T.O. PL. 29'-2 1/2" THIRD FLOOR
- T.O. PL. 18'-10 3/4" SECOND FLOOR
- T.O. PL. 8'-7" FIRST FLOOR
- T.O. TYP. GRADE 0'-0"



KEY MAP - N.T.S.





JUNE 21 | 9 AM



JUNE 21 | 12 PM



JUNE 21 | 3 PM



DECEMBER 21 | 9 AM



DECEMBER 21 | 12 PM



DECEMBER 21 | 3 PM



NOTE: PRIOR TO FINAL - EXT LIGHTING:
 Prior to final occupancy all exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. All lighting shall utilize shields so that no bulb is visible and to ensure that the light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.



FRONT PORCHLIGHTING FIXTURE

Wall sconce **PWS**

<p>Rugged construction 20-year aluminum housing Light output is rated 1000 lumens and maximum is rated 2000</p>	<p>Multiple finish options Black, white, bronze, nickel, gray and powder-coated finishes. Finish options available, see p. 278</p>	<p>Lumen output: Comfort optics: 2,500-10,700 lumens Precision optics: 8,300-21,600 lumens</p>
<p>Emergency battery backup Optional emergency battery backup (sold separately) provides illumination in power outages and emergency situations.</p>	<p>Precision optics Multiple beam outputs allow for accurate lighting control. Includes a control knob to adjust beam angle.</p>	<p>Efficiency: Comfort optics: 82-111 LPW Precision optics: 94-137 LPW</p>
<p>Optional integral motion sensor Consistently triggered to the luminaire as it is used. Does not take away from aesthetics of the luminaire. Other energy savings are the responsibility of the user.</p>	<p>Comfort optics Comfort optics provide the user experience by providing a low glare lighting solution.</p>	<p>Color temperature: Amber: 2700K, 3000K, 3500K, 4000K, 5000K</p>
		<p>Optical distributions: Comfort optics: Type 2, 3, 4 Precision optics: Type 2, 3, 4, BLD</p>
		<p>Emergency: Optional emergency battery backup (sold separately).</p>

Weight:
 Precision optics luminaire: 24 lbs.
 Comfort optics luminaire: 20 lbs.

2 EXTERIOR LIGHT, WALL MOUNT DETAIL
 SL2
 NOT TO SCALE

GARAGE WALL PAK LIGHTING FIXTURE



**SCHEME 1 EXTERIOR
COLOR & MATERIALS**



Eagle Roofing
Capistrano
3723 Adobe Blend



Stucco 1
SW 7551 Greek Villa (254-C1)

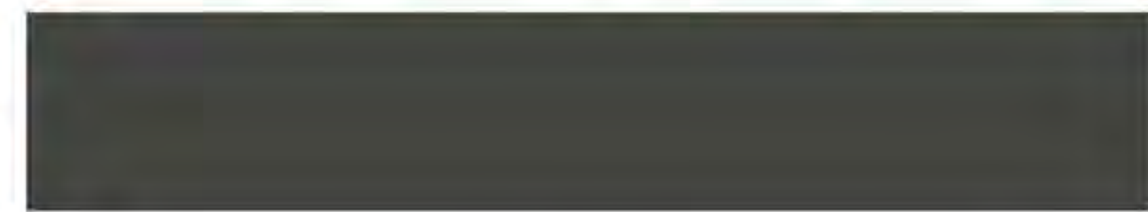
Stucco 2
SW 7567 Natural Tan (284-C1)



Corbels & Fascia
SW 7040 Smokehouse (249-C6)



Entry Doors
SW 9182 Rojo Marron (277-C2)



Metal Railing
SW 7069 Iron Ore (251-C7)

Tierra Y Fuego Tile
Terra Cotta Talavera



MATERIAL	COLOR	MANUFACTURER
Roofing Tile Roofing	CAPISTRANO 3723 ADOBE BLEND	EAGLE ROOFING
Vinyl Windows (Factory Finish)	ALMOND	* VPI CASEMENTS
Gutters	PAINT TO MATCH FASCIA	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	
Stucco Sand Finish & Trim	SW 7036 Accessible Beige (249-C1)	SHERWIN WILLIAMS
Stucco 2 Sand Finish & Trim	SW 7037 Balanced Beige (249-C2)	SHERWIN WILLIAMS
Corbels & Fascia Wood Trim & Eaves	SW 7026 Griffin (241-C6)	SHERWIN WILLIAMS
Entry Doors	SW 7069 Iron Ore (251-C7)	SHERWIN WILLIAMS
Metal Railing	SW 7069 IRON ORE (251-C7)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Tile	VAL. E TALAVERA MEXICAN TILE CLASSICS COLLECTION	TIERRA FUEGO TILE

Notes:
Colors may vary in print and on screen. Please refer to manufacturer-provided color chips for accurate colors. All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.
* Manufacturer and product line subject to change as necessary to meet STC requirements.

**SCHEME 2 EXTERIOR
COLOR & MATERIALS**



Eagle Roofing
Capistrano
3606 Vallejo Range



Stucco 1
SW 7005 Pure White (255-C1)

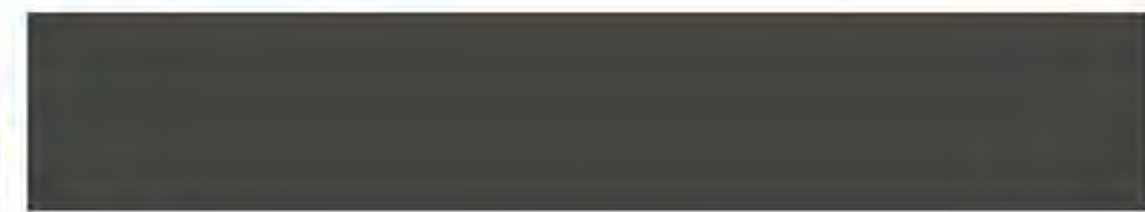
Stucco 2
SW 9165 Gossamer Veil (249-C2)



Corbels & Fascia
SW 7026 Griffin (241-C6)

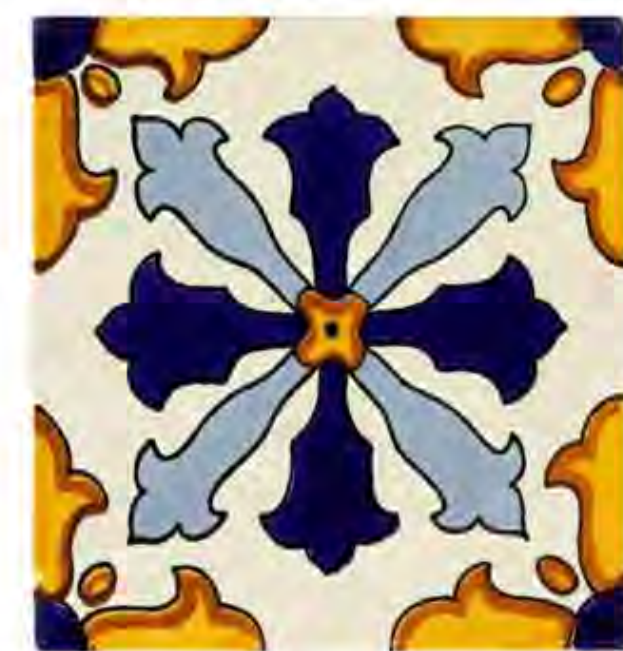


Entry Doors
SW 9183 Dark Clove (277-C4)



Metal Railing
SW 7069 Iron Ore (251-C7)

Tierra Y Fuego Tile
Taxco Talavera



MATERIAL	COLOR	MANUFACTURER
Roofing Tile Roofing	CAPISTRANO 3723 ADOBE BLEND	EAGLE ROOFING
Vinyl Windows (Factory Finish)	WHITE	* VPI CASEMENTS
Gutters	PAINT TO MATCH FASCIA	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	
Stucco 1 Sand Finish & Trim	SW 7005 PURE WHITE (255-C1)	SHERWIN WILLIAMS
Stucco 2 Sand Finish & Trim	SW 9165 Gossamer Veil (249-C2)	SHERWIN WILLIAMS
Corbels & Fascia Wood Trim & Eaves	SW 7026 GRIFFIN (241-C6)	SHERWIN WILLIAMS
Entry Doors	SW 9183 DARK CLOVE (277-C4)	SHERWIN WILLIAMS
Metal Railing	SW 7069 IRON ORE (251-C7)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Tile	TAXCO TALAVERA MEXICAN TILE CLASSICS COLLECTION	TIERRA FUEGO TILE

Notes:
Colors may vary in print and on screen. Please refer to manufacturer-provided color chips for accurate colors. All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.
* Manufacturer and product line subject to change as necessary to meet STC requirements.

**SCHEME 3 EXTERIOR
COLOR & MATERIALS**

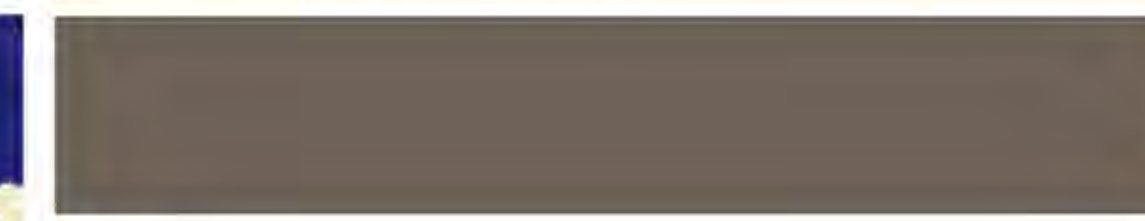


Eagle Roofing
Capistrano
3687 Brown Gray Range



Stucco 1
SW 7036 Accessible Beige
(249-C1)

Stucco 2
SW 7037 Balanced Beige
(249-C2)



Corbels & Fascia
SW 7026 Griffin (241-C6)



Entry Doors
SW 7069 Iron Ore (251-C7)



Metal Railings
SW 7069 Iron Ore (251-C7)

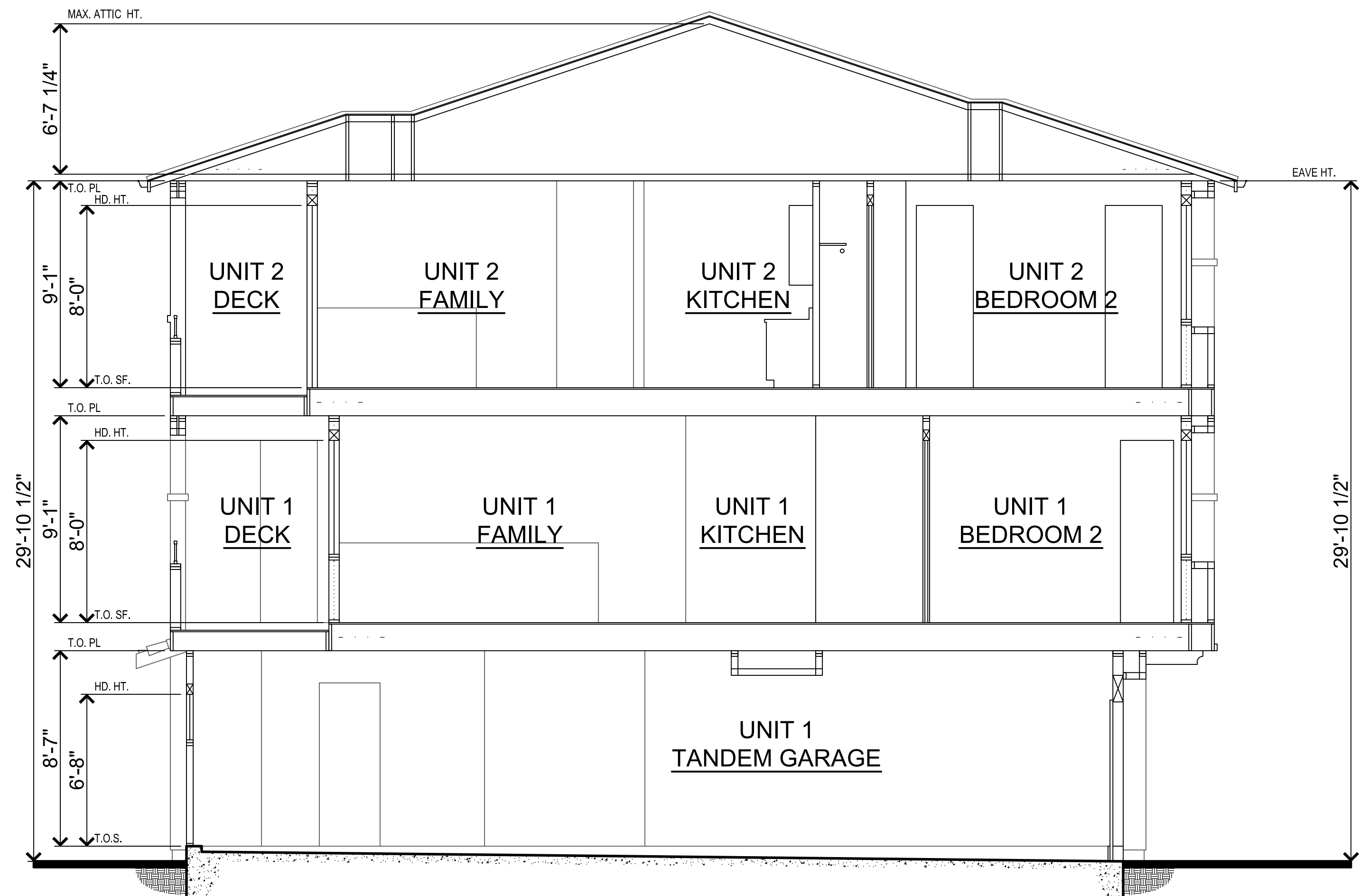
Tierra Y Fuego Tile
Val. E Cotta Talavera



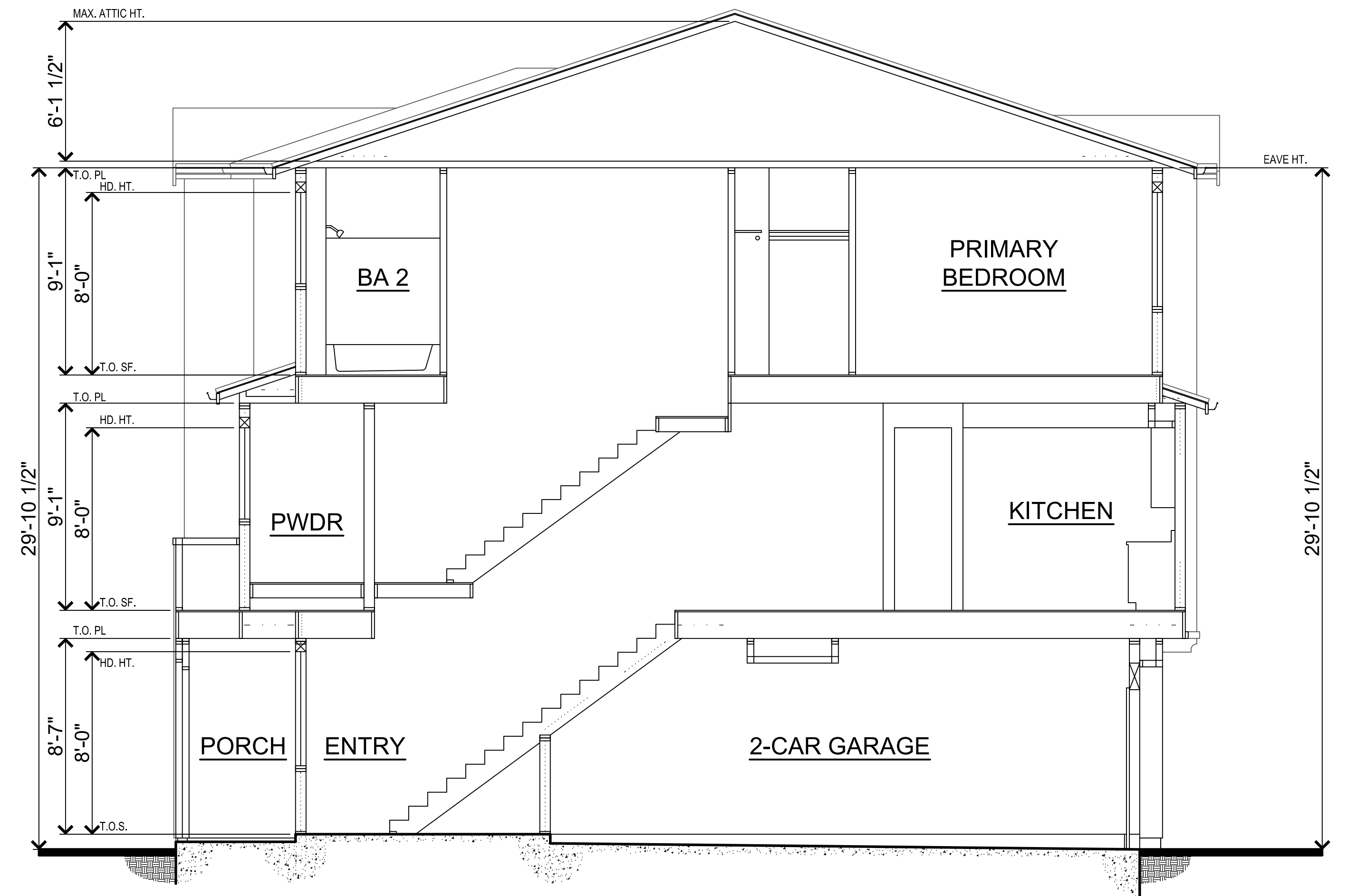
MATERIAL	COLOR	MANUFACTURER
Roofing Tile Roofing	CAPISTRANO 3723 ADOBE BLEND	EAGLE ROOFING
Vinyl Windows (Factory Finish)	ALMOND	* VPI CASEMENTS
Gutters	PAINT TO MATCH FASCIA	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	
Stucco Sand Finish & Trim	SW 7036 Accessible Beige (249-C1)	SHERWIN WILLIAMS
Stucco 2 Sand Finish & Trim	SW 7037 Balanced Beige (249-C2)	SHERWIN WILLIAMS
Corbels & Fascia Wood Trim & Eaves	SW 7026 Griffin (241-C6)	SHERWIN WILLIAMS
Entry Doors	SW 7069 Iron Ore (251-C7)	SHERWIN WILLIAMS
Metal Railing	SW 7069 IRON ORE (251-C7)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Tile	VAL. E TALAVERA MEXICAN TILE CLASSICS COLLECTION	TIERRA FUEGO TILE

Notes:
Colors may vary in print and on screen. Please refer to manufacturer-provided color chips for accurate colors. All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.
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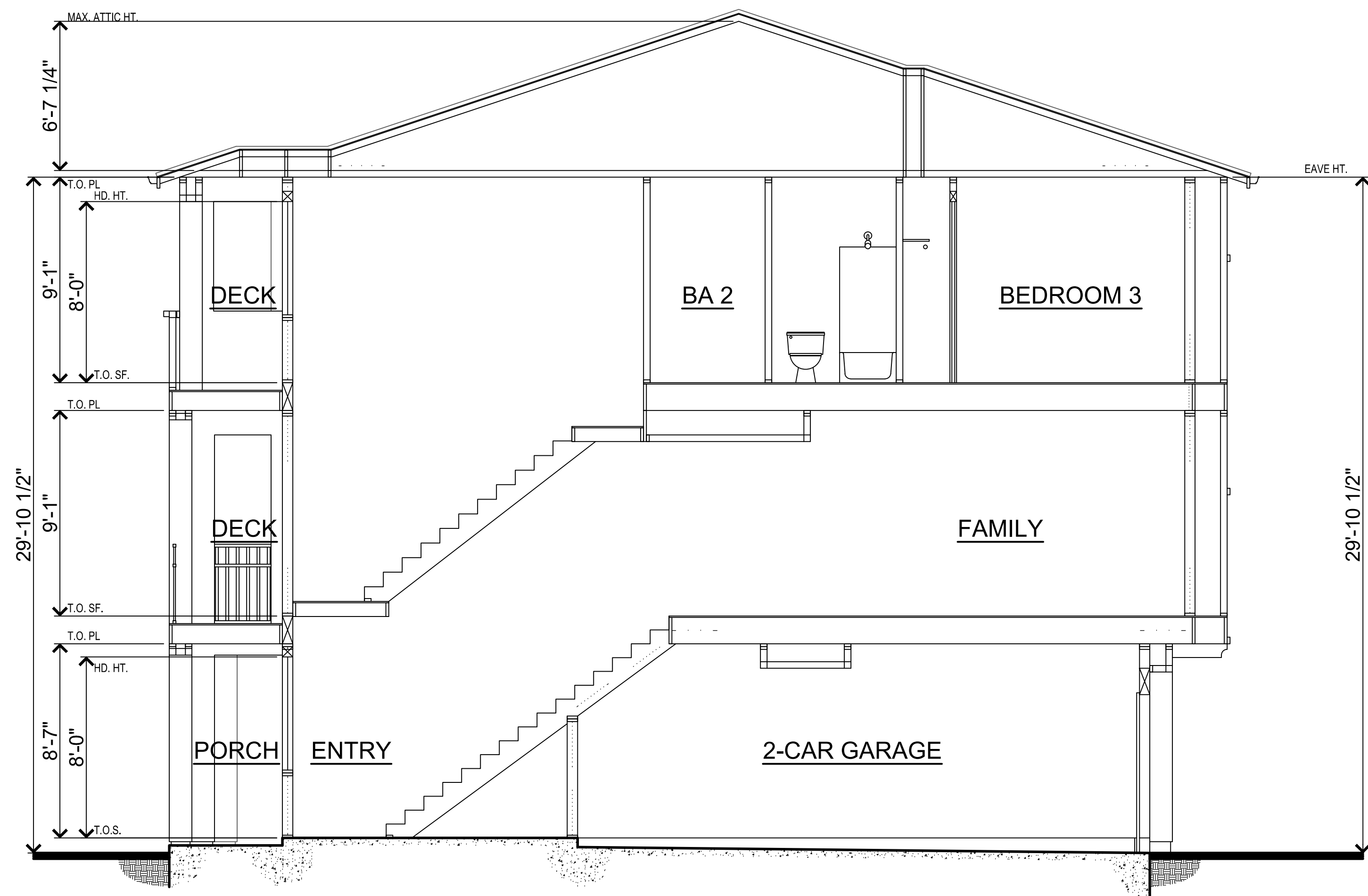




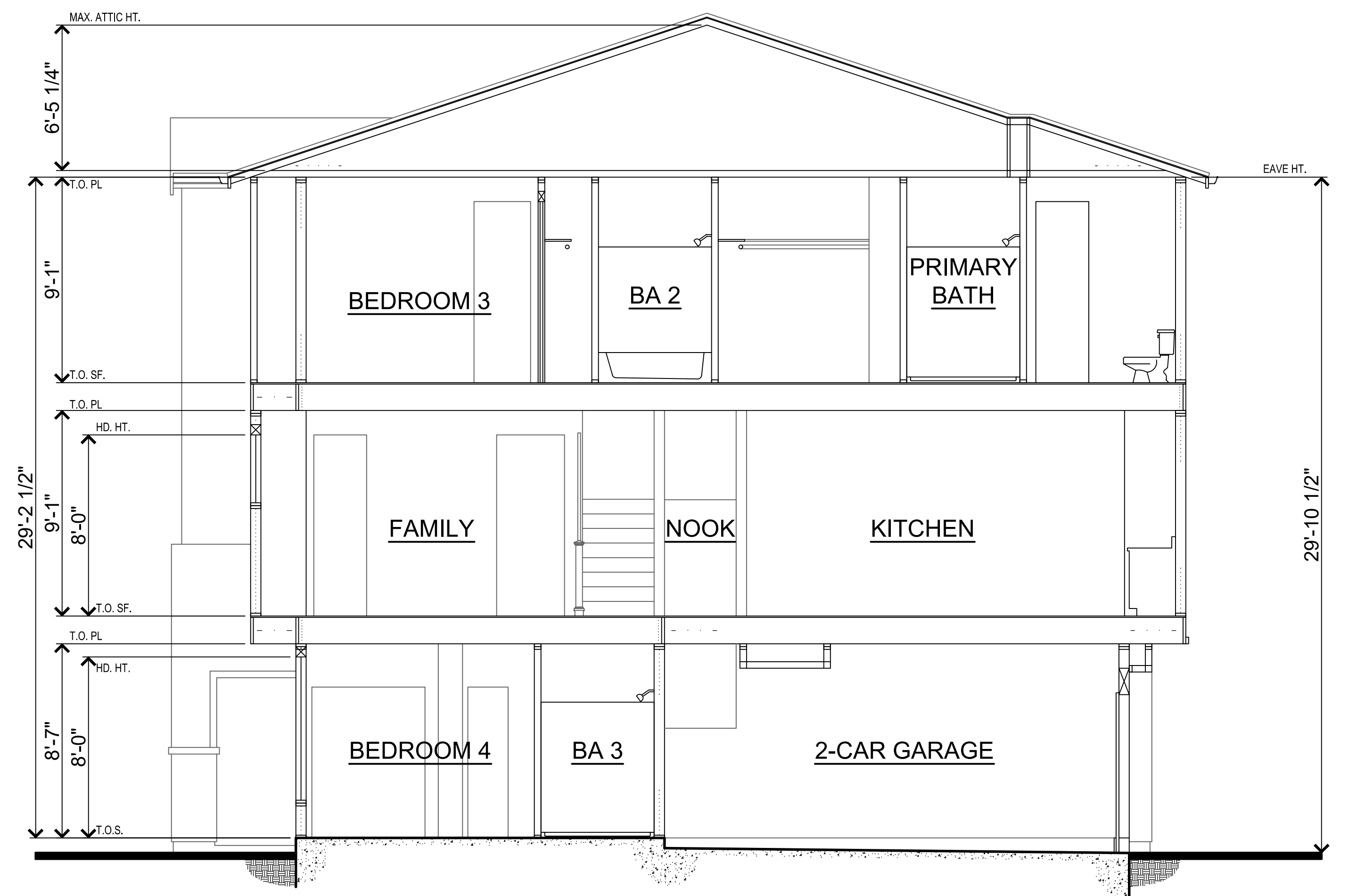
UNIT 1 & 2 - SECTION



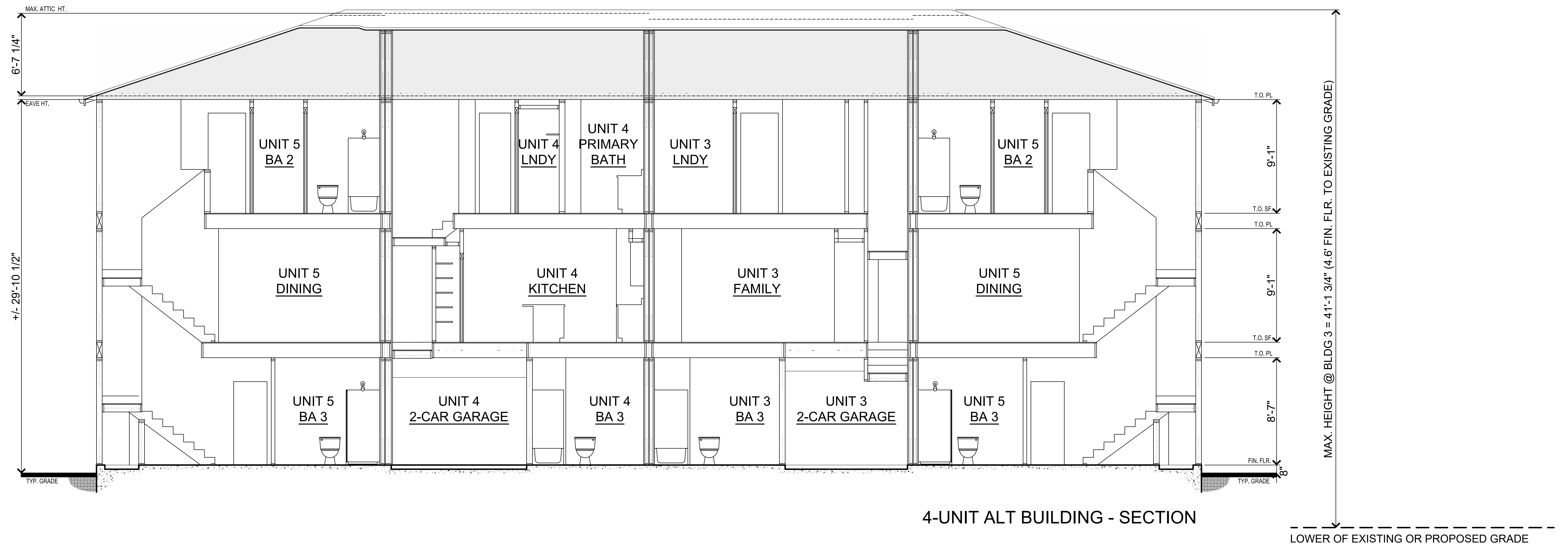
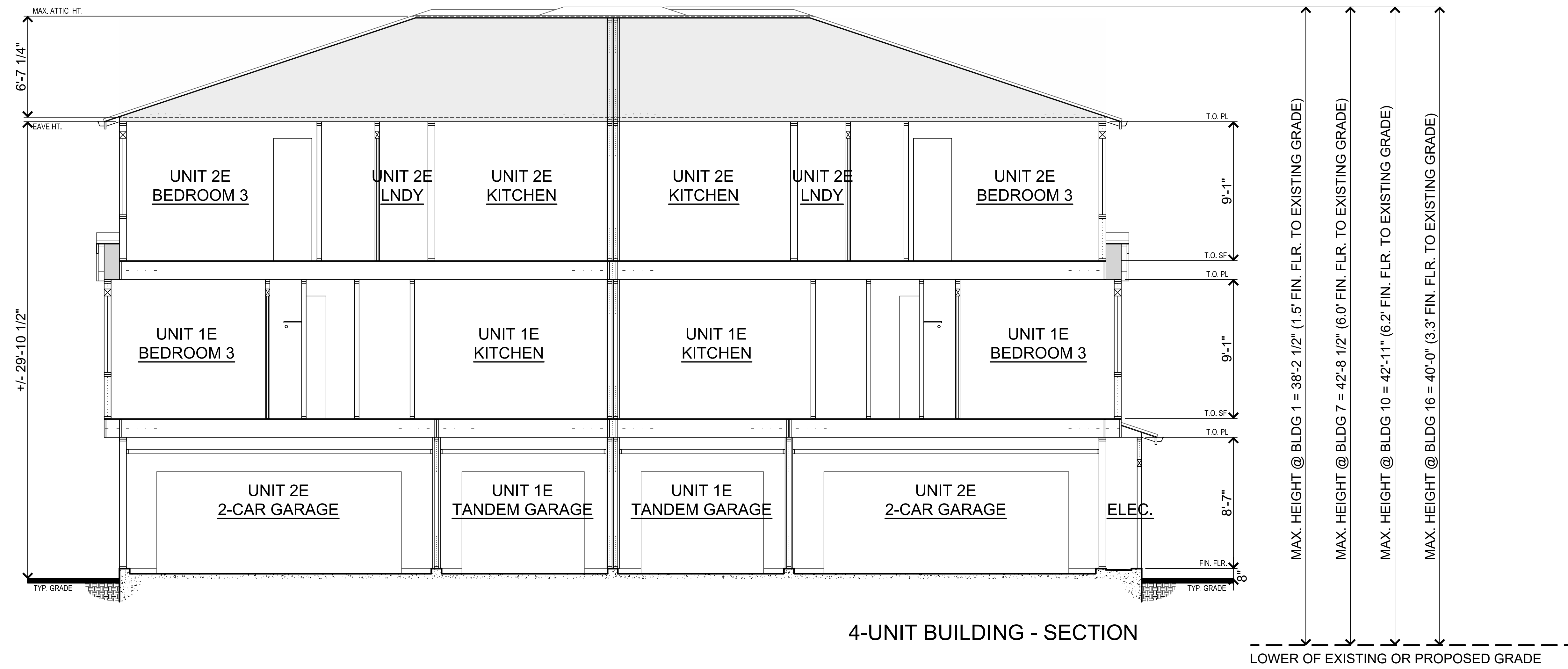
UNIT 3 - SECTION

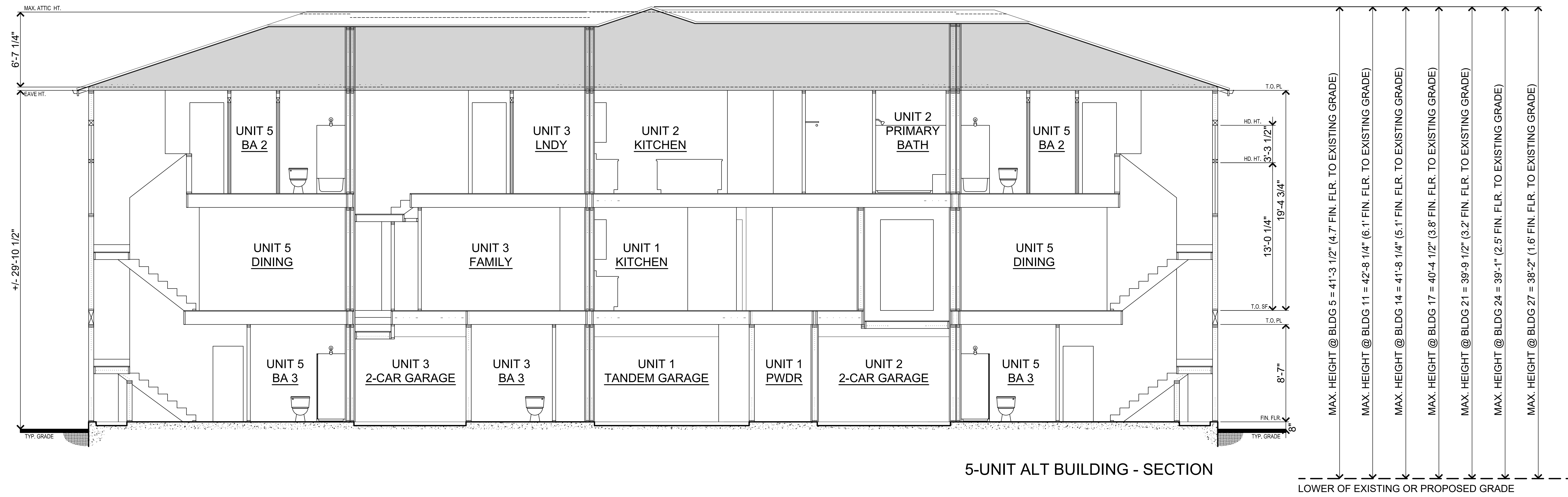
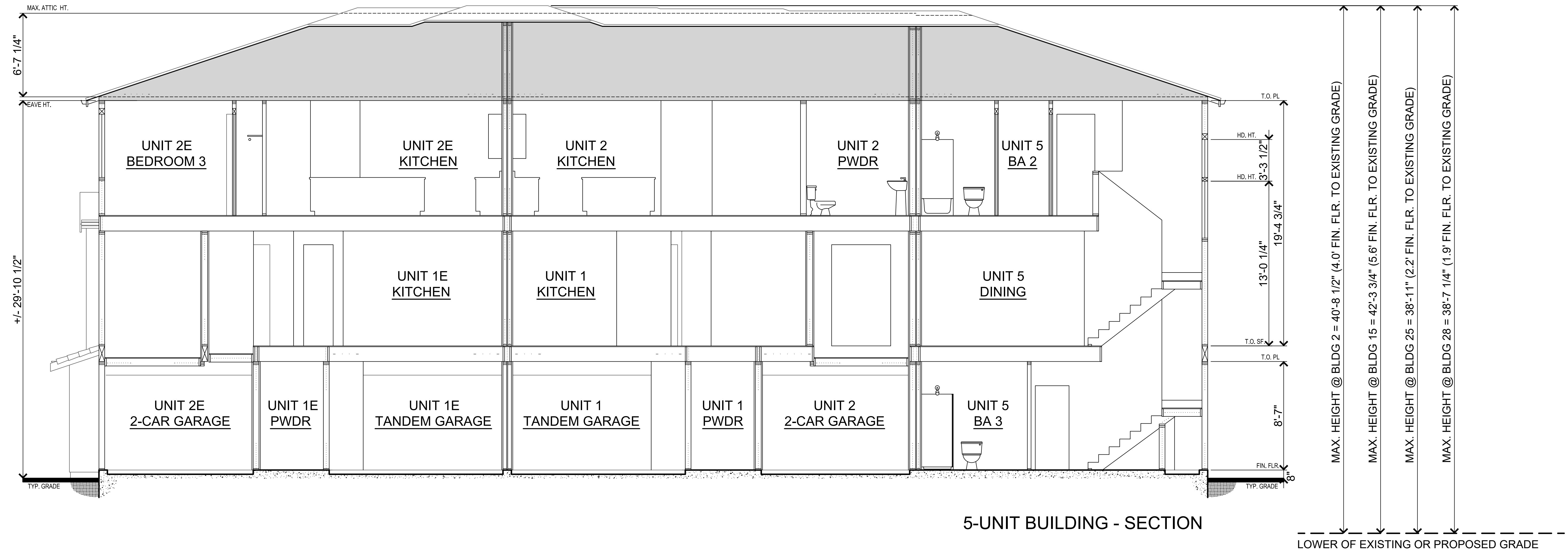


UNIT 4 - SECTION

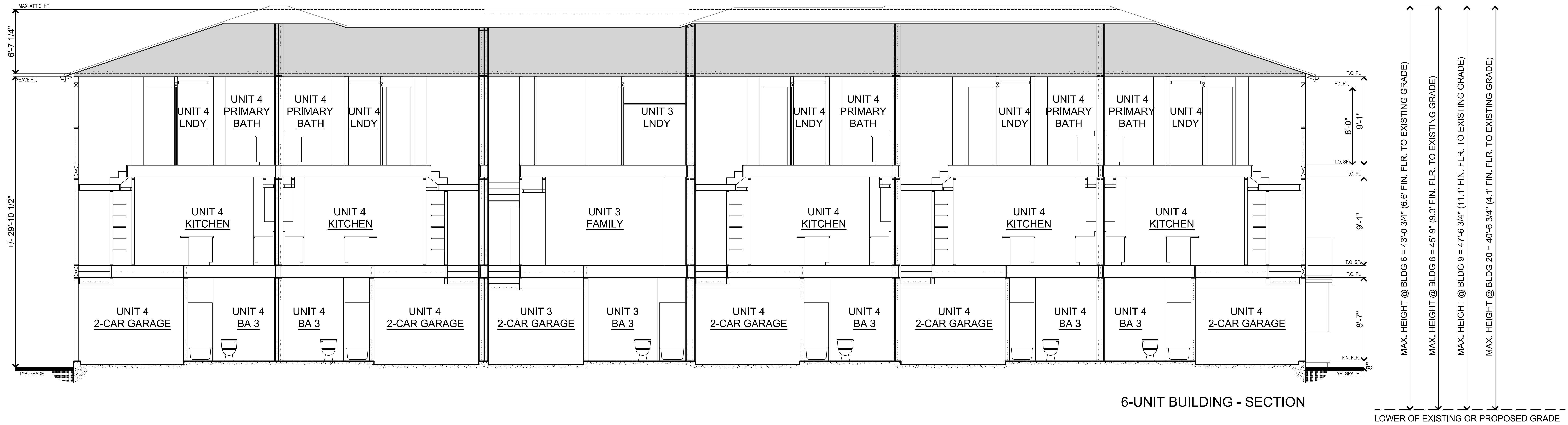


UNIT 5 - SECTION

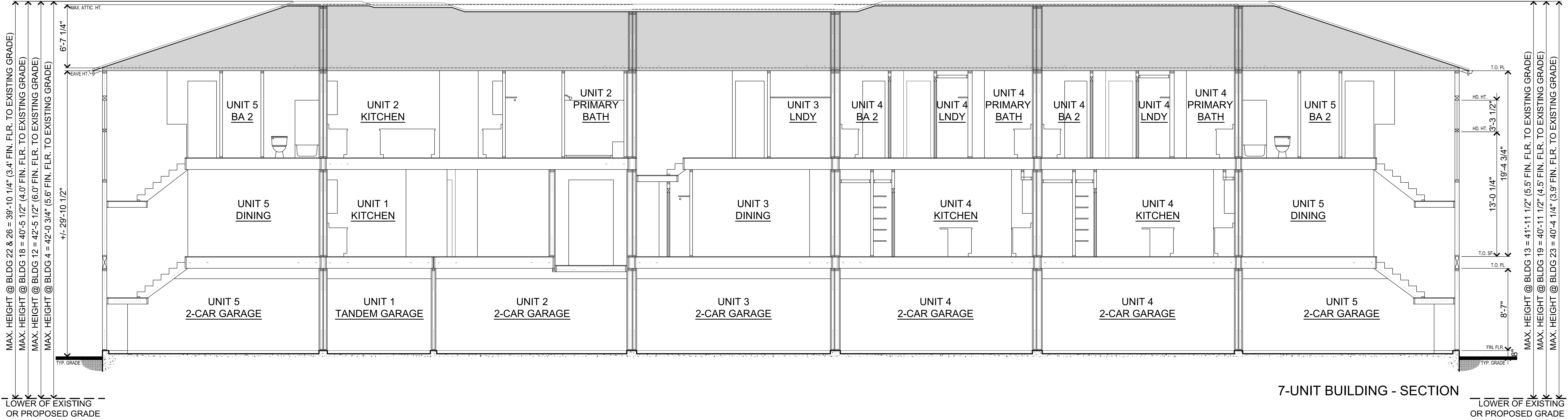




381,072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024



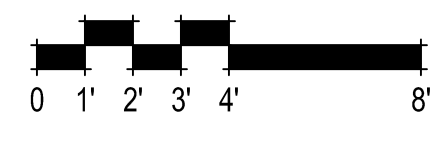
6-UNIT BUILDING - SECTION



7-UNIT BUILDING - SECTION

381,072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

6-UNIT & 7-UNIT BUILDING SECTION
 A44





NEW HOME RATING SYSTEM, VERSION 9.1

Blueprint Scores!

Points Targeted: 61.0
 Certification Level Targeted: Certified
 Compliance Pathway Targeted: Option 1: All Electric C
 T24 Compliance Targeted: 0 %

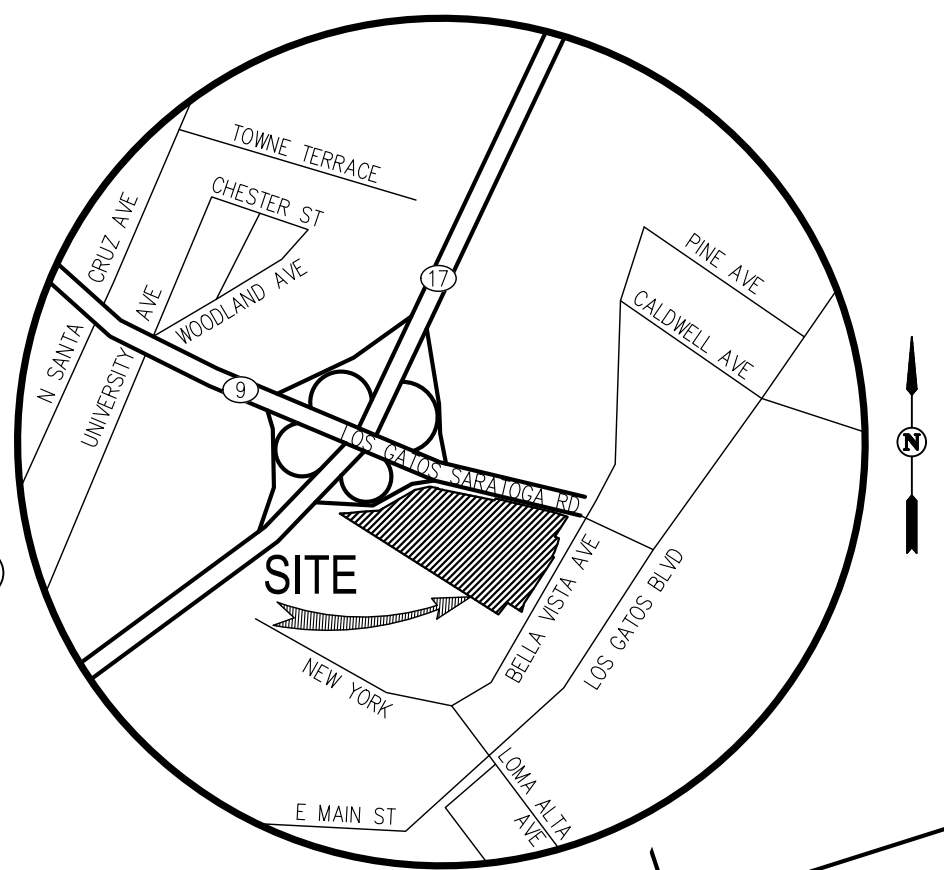
50 Los Gatos-Saratoga Rd. rv'd 231130 Krantz Consultants		Points Targeted	Community	Energy	IAQ/Health	Resources	Water
		Possible Points					
CALGreen							
Yes	CALGreen (REQUIRED)	4		1	1	1	1
A. SITE							
A6. Stormwater Control: Prescriptive Path							
Yes	A6.3 Non-Leaching Roofing Materials	1					1
G. LANDSCAPE							
20.50%	Enter the landscape area percentage. Points capped at 3 for less than 15%.						
C3. Resource Efficient Landscapes							
Yes	C3.1 No Invasive Species According to Region	1				1	
C4. Minimal Turf in Landscape							
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2
≤10%	C4.2 Turf on a Small Percentage of Landscaped Area	1					2
C6. High-Efficiency Irrigation System							
Yes	C6.1 System Uses Only Low-Flow Drip, Bubblers or Sprinklers	2					2
Yes	C10. Submeter or Dedicated Meter for Landscape Irrigation	2					2
E. EXTERIOR							
Yes	E4. Durable and Non-Combustible Cladding Materials	1				1	
Yes	E5. Durable and Fire Resistant Roofing Materials or Assembly	1				1	
F. INSULATION							
F2. Low-Emitting Insulation							
Yes	F2.1 Walls and Floors	0.5			0.5		
Yes	F2.2 Ceilings	0.5			0.5		
G. PLUMBING							
G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads ≤ 1.75 gpm	2					2
H. HEATING, VENTILATION, AND AIR CONDITIONING							
H1. All Electric or Sealed Combustion Units							
Yes	H1.1 Sealed Combustion Furnace or Heat Pump	1			1		
Yes	H1.2 Sealed Combustion or Heat Pump Water Heater	2			2		
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2019 Ventilation Residential Standards	Y	R	R	R	R	R
J. BUILDING PERFORMANCE AND TESTING							
J5. Building Energy Performance							
Option 1: All Electric	J5.1 All Electric Home Outperforms Title 24	25		25+			
K. FINISHES							
Yes	K3. Low-VOC Caulks and Adhesives	1			1		
M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1					1
M5. Lighting Efficiency							
Yes	M5.1 High-Efficacy Lighting	2		2			
N. COMMUNITY							
N1. Smart Development							
Yes	N1.1 Infill Site	2	1			1	
	N1.5 Home Size Efficiency	1				10	
1790	Enter the area of the home, in square feet						
3	Enter the number of bedrooms						
N2. Home(s)/Development Located Near Transit							
Yes	N2.2. Within 1/2 mile of a Major Transit Stop	2	2				
N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	2	2				
8	Enter the number of Tier 1 services						
5	Enter the number of Tier 2 services						
Yes	N3.3 Traffic Calming Strategies	2	2				
N5. Social Interaction							
Yes	N5.2 Entrances Visible from Street and/or Other Front Doors	1	1				
Yes	N5.3 Porches Oriented to Street and Public Space	1	1				
O. OTHER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R
Summary							
Total Available Points in Specific Categories		425.5	50	131.5	83	100	61
Minimum Points Required in Specific Categories		50	2	25	6	6	6
Total Points Targeted		61	3	28	6	6	12

GENERAL NOTES:

- OWNER: KEET S. NERHAN
210 SAN MATEO ROAD, SUITE 201
HALF MOON BAY, CA 94019
- APPLICANT/DEVELOPER: SUMMERHILL HOMES LLC
777 PALO ALTO, CA 94304
(650) 842-2421
JARED BROTMAN
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
RYAN HANSEN, P.E.
- ARCHITECT: SDG ARCHITECTS, INC.
3361 WALNUT BLVD., SUITE 320
BENICUEN, CA 94513
JENNIFER MASTRO
- EXISTING CONTOUR INTERVAL: 1'
- ADDRESS: 50 LOS GATOS-SARATOGA ROAD
- ASSESSORS PARCEL NO.: 529-24-001, 529-24-003, 529-24-032
- GENERAL PLAN: MIXED USE COMMERCIAL-TOWN OF LOS GATOS GENERAL PLAN (AS IN EFFECT JUNE 28, 2023)
- EXISTING ZONING: CH-PD (RESTRICTED COMMERCIAL HIGHWAY: PLANNED DEVELOPMENT)
- PROPOSED ZONING: CH-PD (RESTRICTED COMMERCIAL HIGHWAY: PLANNED DEVELOPMENT)
- TRACT NAME: LOS GATOS TOWN RESIDENCES
- EXISTING USE: HOTEL
- PROPOSED USE: RESIDENTIAL
- GROSS AREA: 8.82 AC± (384,221 SF±)
- NET AREA: 6.36 AC± (277,179 SF±)
- EXCLUDES: PRIVATE STREET & PARKING: 70,725 SF±
DESIGNATED REMAINDER: 36,317 SF±
- NUMBER OF UNITS: 155
- NET DENSITY: 24.37 DU/AC
- EXISTING PARCELS: 5
- PROPOSED LOTS: 28
- PROPOSED PARCELS: 9
- UTILITIES: WATER: SAN JOSE WATER
SEWER: WEST VALLEY SANITATION DISTRICT
STORM DRAIN: TOWN OF LOS GATOS
GAS & ELECTRIC: PG&E
- FIRE SYSTEM: NFPA 13
- FLOOD ZONE DESIGNATION: ZONE X
PER FEMA FIRM MAP NUMBER 0608500376H
EFFECTIVE DATE MAY 18, 2009
- TRASH & RECYCLE: WEST VALLEY COLLECTION & RECYCLING
- COURTS/ALLEYS: ALL PROPOSED COURTS AND ALLEYS ARE PRIVATE
- GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY. FINISHED GRADING IS SUBJECT TO FINAL DESIGN.
- DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN ARE APPROXIMATE AND MAY CHANGE DURING FINAL DESIGN.
- PHASING: BUILDINGS MAY BE CONSTRUCTED AND OCCUPIED IN MULTIPLE PHASES.
- EROSION CONTROL: EROSION CONTROL WILL BE PREPARED PER CITY STANDARDS AND ABAG REQUIREMENTS.
- ACCESSIBILITY: ALL REQUIRED ADAPTABLE UNITS WILL BE DESIGNED PER CALIFORNIA BUILDING CODE REQUIREMENTS WITH RESPECT TO SITE ACCESSIBILITY. SEE SHEET C.3 FOR PRELIMINARY ADAPTABLE UNIT LOCATIONS.
- LIGHTING: ALL ONSITE LIGHTING WILL BE PRIVATE AND HOA MAINTAINED.
- TREES: EXISTING TREES ONSITE TO BE REMOVED AS SHOWN ON SHEET C.7.
- CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR LOTS 1-28 & PARCELS A-I AND THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTIONS 4125 AND 4225 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 155 RESIDENTIAL UNITS.
- EVAE: ANY OFF-SITE EXTENSION OF THE EVAE AND/OR THE PAE, IF NECESSARY, IS SUBJECT TO POSSESSION OF NECESSARY RIGHT OF WAY INTERESTS IN ACCORDANCE WITH GOV' CODE SEC. 66462.5 AND OTHER APPLICABLE LEGAL REQUIREMENTS

LEGEND

- EXISTING BOUNDARY
- EXISTING RIGHT OF WAY
- PROPOSED LOT LINE
- ABUTTER'S RIGHTS RELINQUISHED
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SETBACK LINE (PER MUNI CODE SECTION 29.60.435 (CH ZONE))
- 0' SIDE
- 15' SIDE ABUTTING STREET
- 15' SIDE WHEN ABUTTING A RESIDENTIAL ZONE
- 20' REAR WHEN ABUTTING A RESIDENTIAL ZONE



VICINITY MAP
NOT TO SCALE

VACANT
APN 529-23-018
LPG 405 ALBERTO WAY
RESIDENTIAL LLC

COMMERCIAL
APN 529-23-007
55 PARTNERS LLC

LINE TABLE		
NO	BEARING	LENGTH
L1	N33°48'34"E	3.15'
L2	N22°49'11"E	10.00'
L3	N62°54'50"W	22.29'
L4	N62°46'50"W	9.74'

ABBREVIATIONS

- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- PAE PUBLIC ACCESS EASEMENT
- PSDE PRIVATE STORM DRAIN EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- WLE WATERLINE EASEMENT

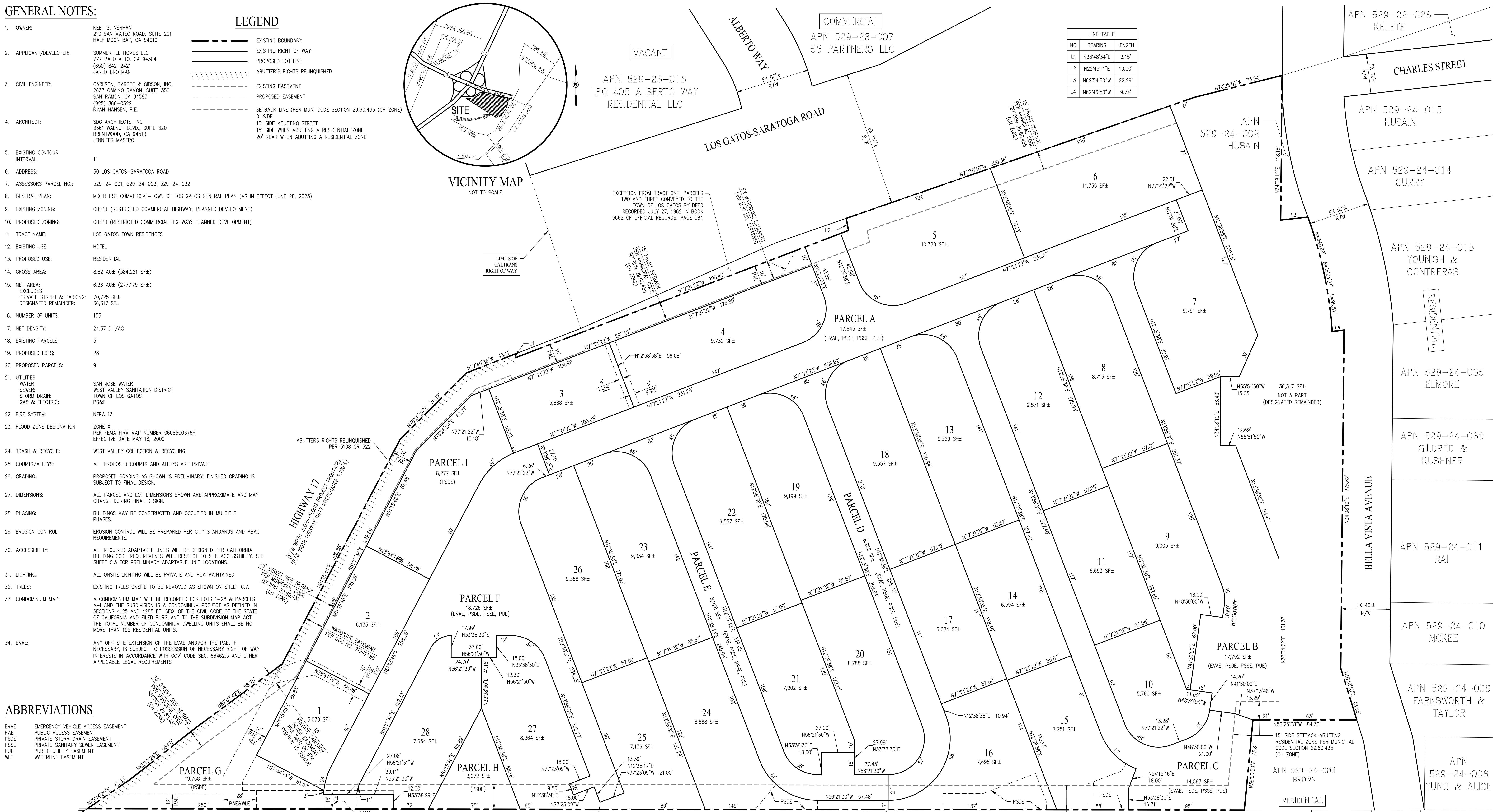
SHEET INDEX

SHEET NUMBER	DESCRIPTION
TM-1	VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
C.1	BOUNDARY AND EXISTING CONDITIONS
C.2	PRELIMINARY SITE PLAN
C.3	PRELIMINARY GRADING PLAN
C.4	PRELIMINARY GRADING SECTIONS
C.5	PRELIMINARY UTILITY PLAN
C.6	STORMWATER MANAGEMENT PLAN
C.7	TREE DISPOSITION PLAN
C.8	FIRE ACCESS PLAN
C.9	TRASH MANAGEMENT PLAN
C.10	PRELIMINARY EROSION CONTROL PLAN
C.11	LOS GATOS SARATOGA ROAD CONTINGENT IMPROVEMENTS

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Los Gatos, CA
November 15, 2024

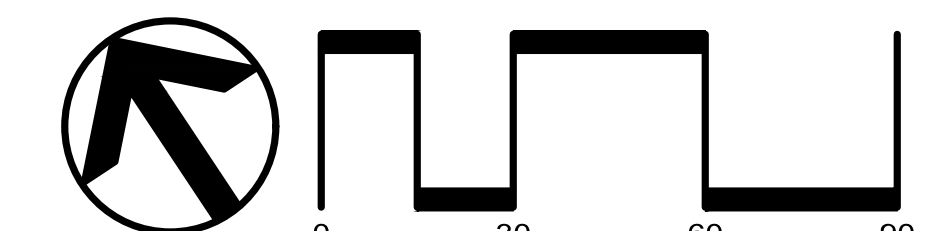
EXCEPTION FROM TRACT ONE, PARCELS TWO AND THREE CONVEYED TO THE TOWN OF LOS GATOS BY DEED RECORDED JULY 27, 1962 IN BOOK 5662 OF OFFICIAL RECORDS, PAGE 584

LIMITS OF CALTRANS RIGHT OF WAY



LOS GATOS HIGH SCHOOL
APN 529-25-001
(R-1:20 RESIDENTIAL ZONING PER TOWN OF LOS GATOS ZONING MAP)

LOS GATOS TOWN RESIDENCES
VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
TM-1



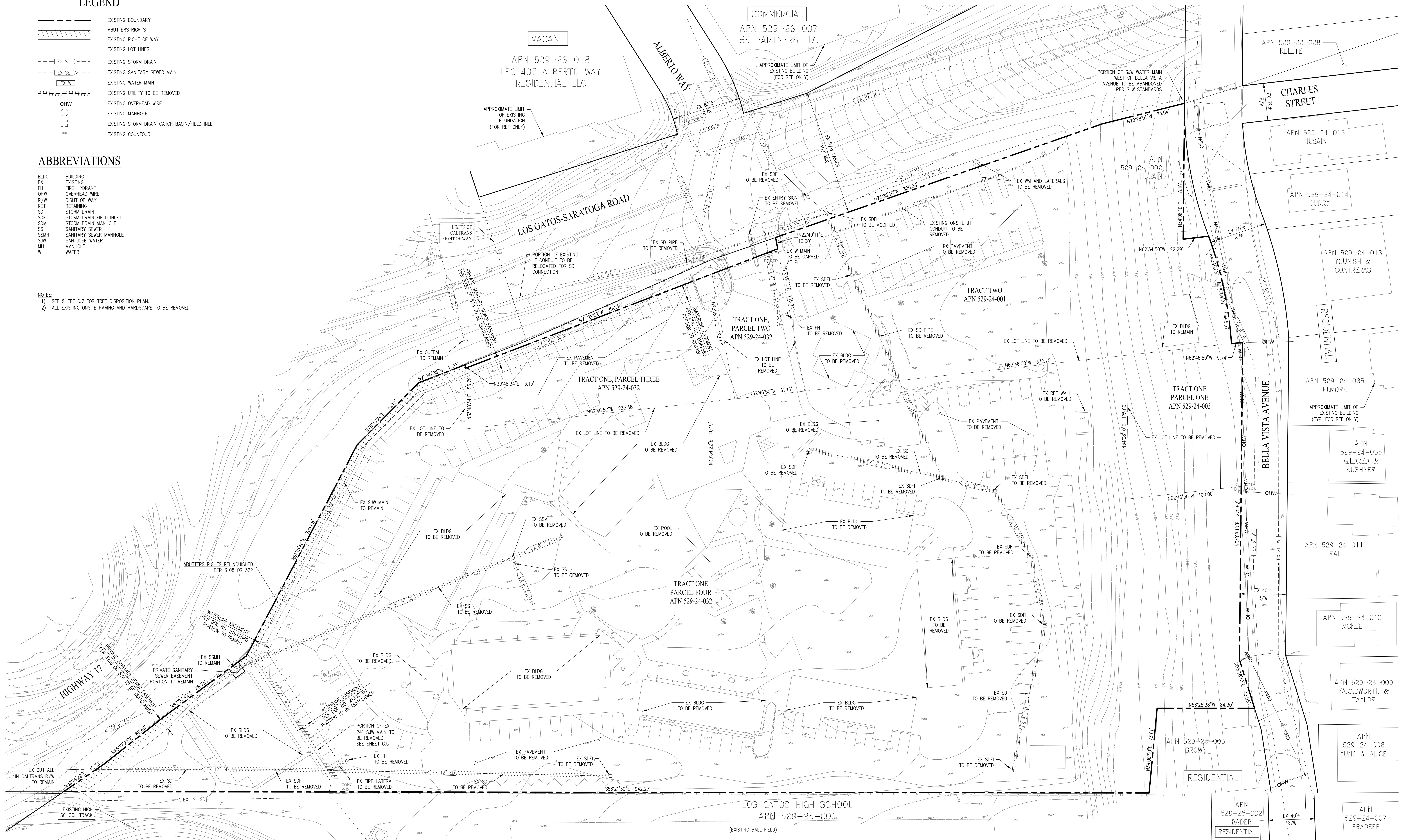
LEGEND

	EXISTING BOUNDARY
	ABUTTERS RIGHTS
	EXISTING RIGHT OF WAY
	EXISTING LOT LINES
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING WATER MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING OVERHEAD WIRE
	EXISTING MANHOLE
	EXISTING STORM DRAIN CATCH BASIN/FIELD INLET
	EXISTING COUNTOUR

ABBREVIATIONS

BLDG	BUILDING
EX	EXISTING
FH	FIRE HYDRANT
OHW	OVERHEAD WIRE
R/W	RIGHT OF WAY
RET	RETAINING
SD	STORM DRAIN
SDFI	STORM DRAIN FIELD INLET
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SJW	SAN JOSE WATER
MH	MANHOLE
W	WATER

NOTES:
 1) SEE SHEET C.7 FOR TREE DISPOSITION PLAN.
 2) ALL EXISTING ONSITE PAVING AND HARDSCAPE TO BE REMOVED.

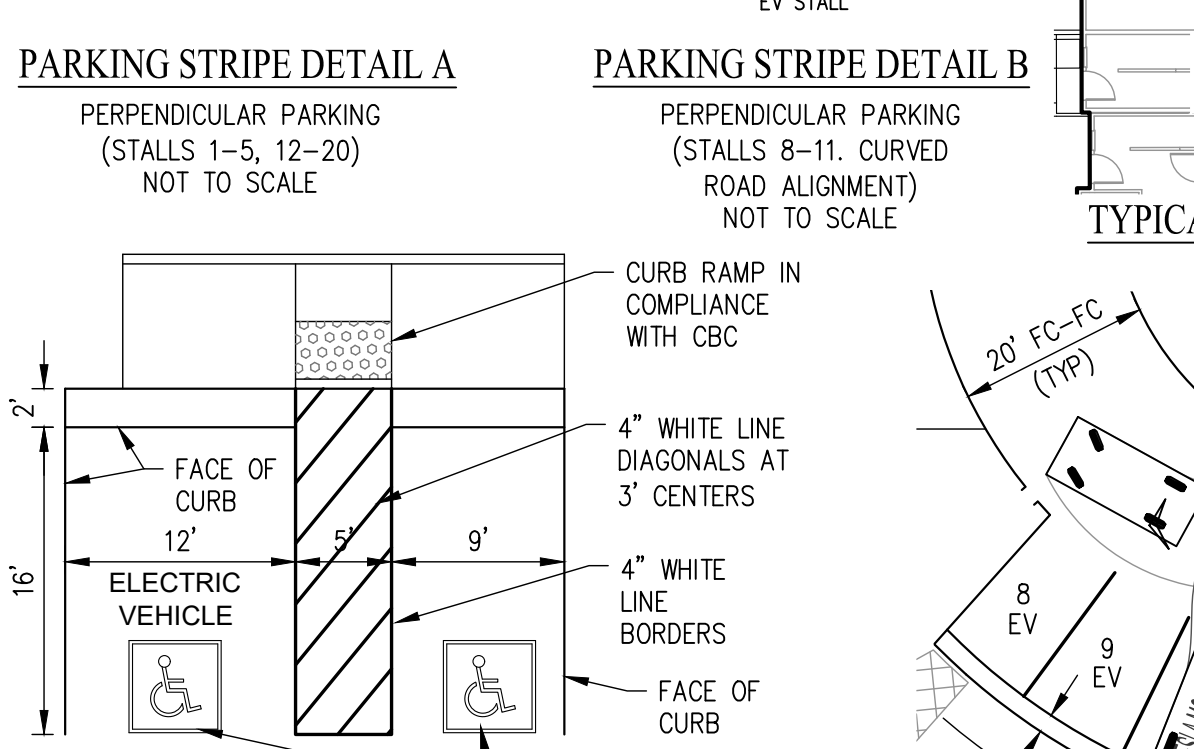
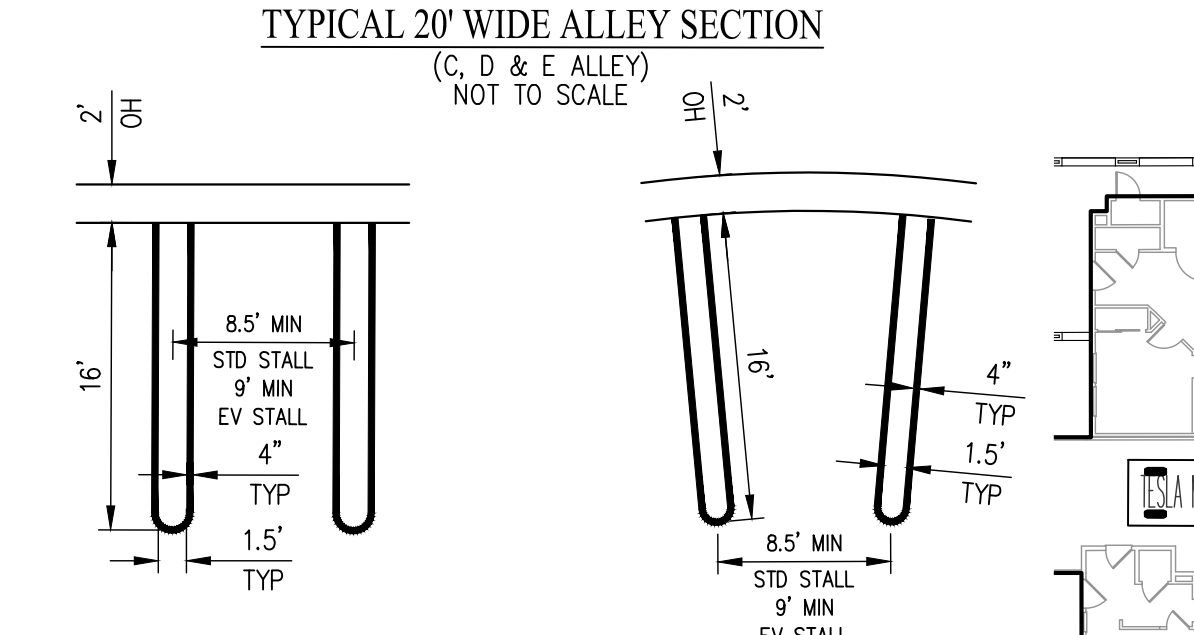
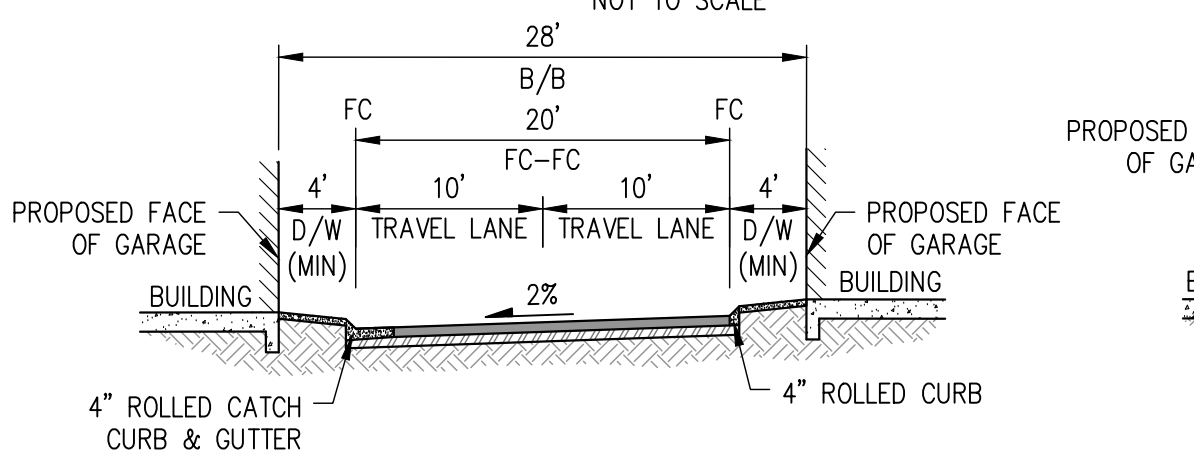
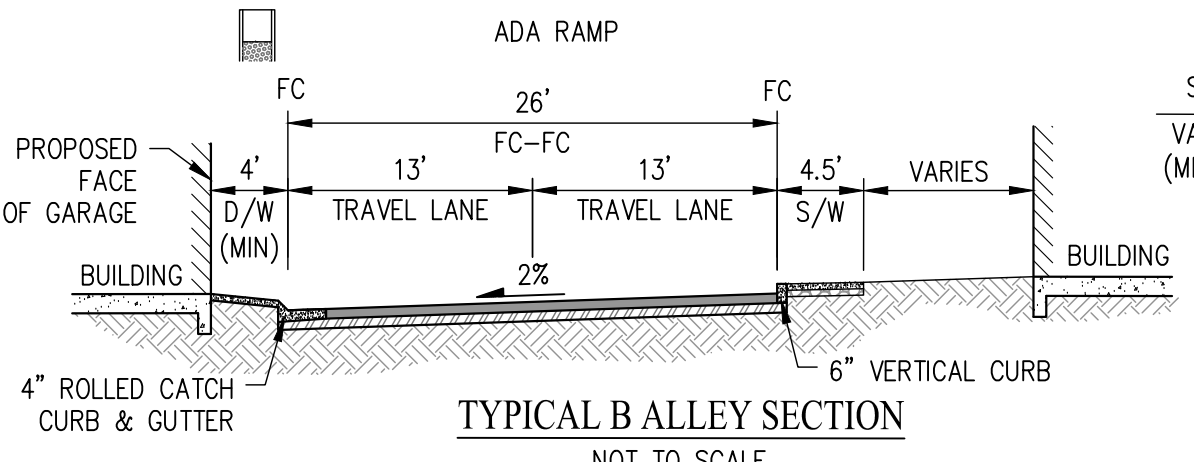


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LOS GATOS TOWN RESIDENCES
 BOUNDARY AND EXISTING CONDITIONS
 C.1

LEGEND

- EXISTING BOUNDARY
- EXISTING RIGHT OF WAY
- SETBACK LINE (PER MUNI CODE SECTION 29.60.435 (CH ZONE))
- 0' SIDE
- 15' SIDE ABUTTING STREET
- 15' SIDE WHEN ABUTTING A RESIDENTIAL ZONE
- 20' REAR WHEN ABUTTING A RESIDENTIAL ZONE
- Ⓜ ACCESSIBLE PARKING STALL
- Ⓜ UNIT NUMBER
- Ⓜ BUILDING NUMBER
- Ⓜ PROPOSED RETAINING WALL
- Ⓜ AC UNIT
- Ⓜ ADA RAMP



ABBREVIATIONS

- AC AIR CONDITIONING
- B/B BUILDING TO BUILDING
- BC BACK OF CURB
- B/W BUILDING
- BLDG DRIVEWAY
- D/W ELECTRIC VEHICLE PARKING STALL (9'x18')
- EV ELECTRIC VEHICLE ACCESS EASEMENT
- EVAE FACE OF CURB
- FC LANDSCAPING
- OH OVERHANG
- STD STANDARD PARKING STALL (8.5'x18')
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- TYP TYPICAL

PARKING SUMMARY

DESCRIPTION	QUANTITY
STANDARD	11
EV	8
ADA	1 (SEE NOTE 1)
TOTAL	20

- NOTES**
- TWO (2) ADA STALLS ARE BEING PROVIDED, ONE (1) OF WHICH IS FOR EV CHARGING AND IS INCLUDED IN THE EV STALL COUNT.
 - ANY OFF-SITE EXTENSION OF THE EVAE AND/OR THE PAE, IF NECESSARY, IS SUBJECT TO POSSESSION OF NECESSARY RIGHT OF WAY INTERESTS IN ACCORDANCE WITH GOV. CODE SEC. 66462.5 AND OTHER APPLICABLE LEGAL REQUIREMENTS.
 - ALL PEDESTRIAN PATHWAYS SHALL BE MINIMUM 4' WIDE.
 - WAIVER OF STREET WIDTH AND PARKING AISLE STANDARDS REQUESTED PER GOV. CODE SEC. 65915.

VACANT

APN 529-23-018
LPG 405 ALBERTO WAY
RESIDENTIAL LLC

COMMERCIAL

APN 529-23-007
55 PARTNERS LLC



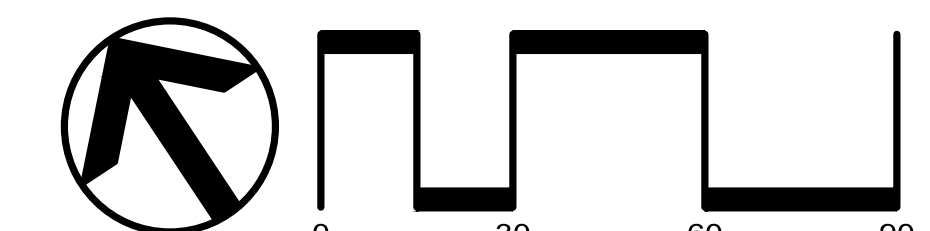
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SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION 650-857-0122
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583

LOS GATOS HIGH SCHOOL
APN 529-25-001
(R-1:20 RESIDENTIAL ZONING PER TOWN OF LOS GATOS ZONING MAP)
(EXISTING BALL FIELD)

LOS GATOS TOWN RESIDENCES
PRELIMINARY SITE PLAN
C.2

cbg CIVIL ENGINEERS
SURVEYORS
PLANNERS
SAN RAMON • ROSEVILLE



SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Berkeley, CA 94710
925.634.7000 | sdgarchitects.com

LEGEND

- EXISTING BOUNDARY
- EXISTING RIGHT OF WAY
- Ⓛ ACCESSIBLE PARKING STALL
- ① UNIT NUMBER
- BLDG 1 BUILDING NUMBER
- ADP ADAPTABLE UNIT
- FF 350.4 FINISHED FLOOR
- PROPOSED RETAINING WALL
- 100.00 SPOT GRADE
- 1.0% SLOPE
- CUT/FILL DELINEATION LINE
- xx' RETAINING WALL SEGMENT LENGTH (FT)

ABBREVIATIONS

- B/W BACK OF WALL
- BLDG BUILDING
- BOW BOTTOM OF WALL
- EG EXISTING GROUND
- EP EXISTING PAVEMENT
- EV ELECTRIC VEHICLE
- EX EXISTING
- FF FINISHED FLOOR
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB
- TOW TOP OF WALL

EARTHWORK SUMMARY			
DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADING	3,200	24,100	20,900 (F)
UTILITIES	3,300	-	3,300 (C)
BIORETENTION	1,000	-	1,000 (C)
BUILDING	500	-	500 (C)
TOTAL	8,000	24,100	16,100 (F)

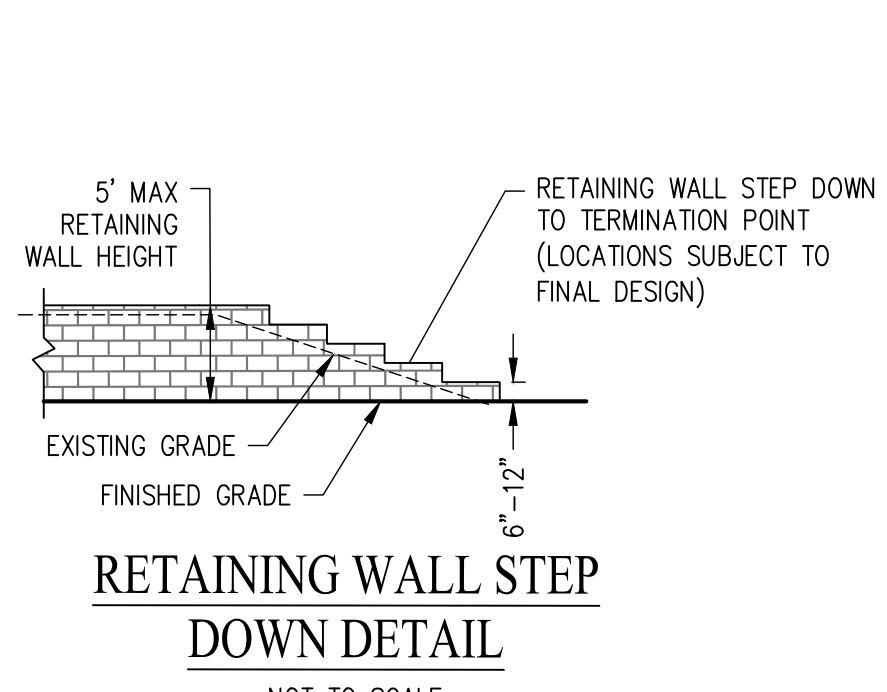
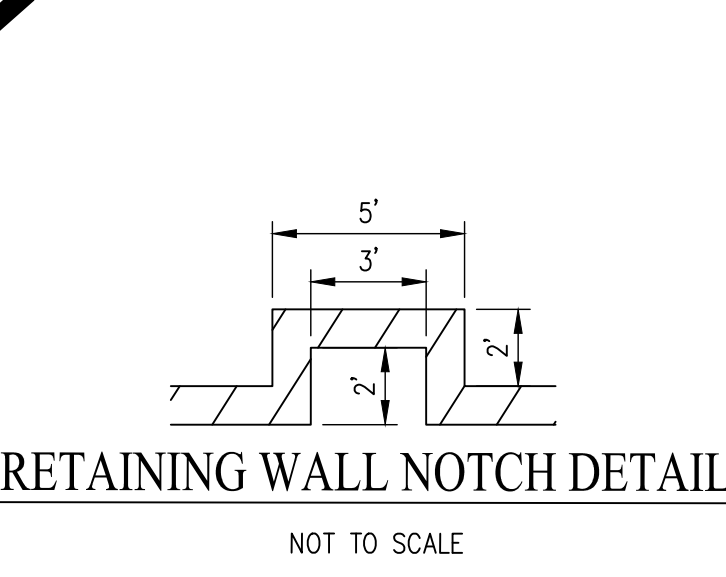
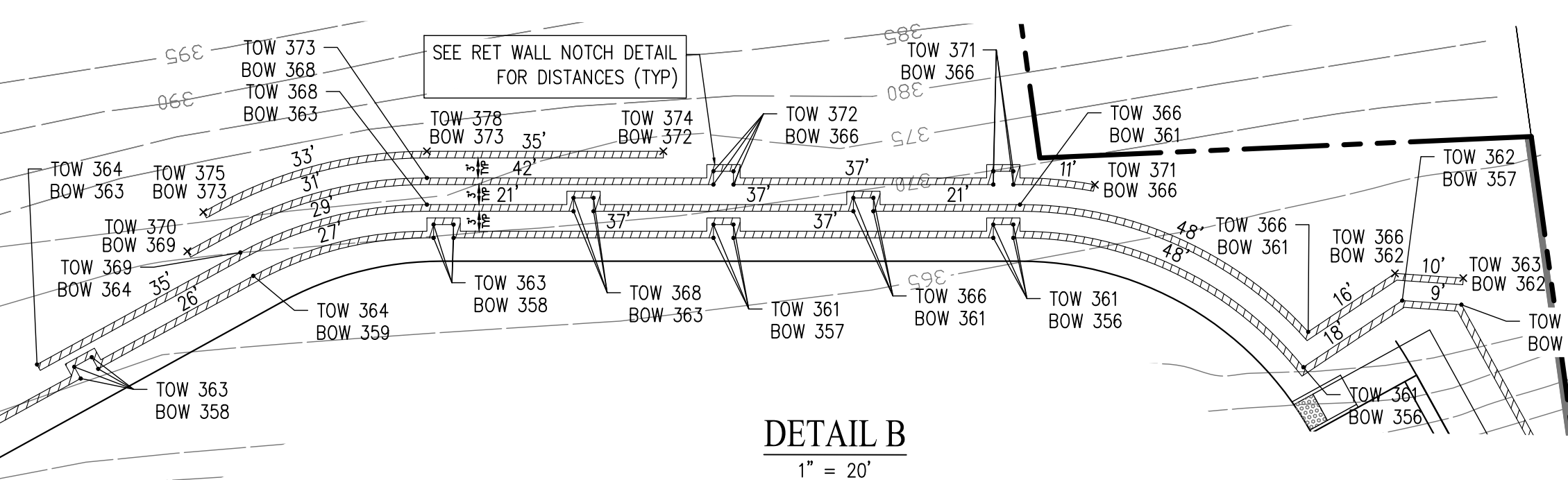
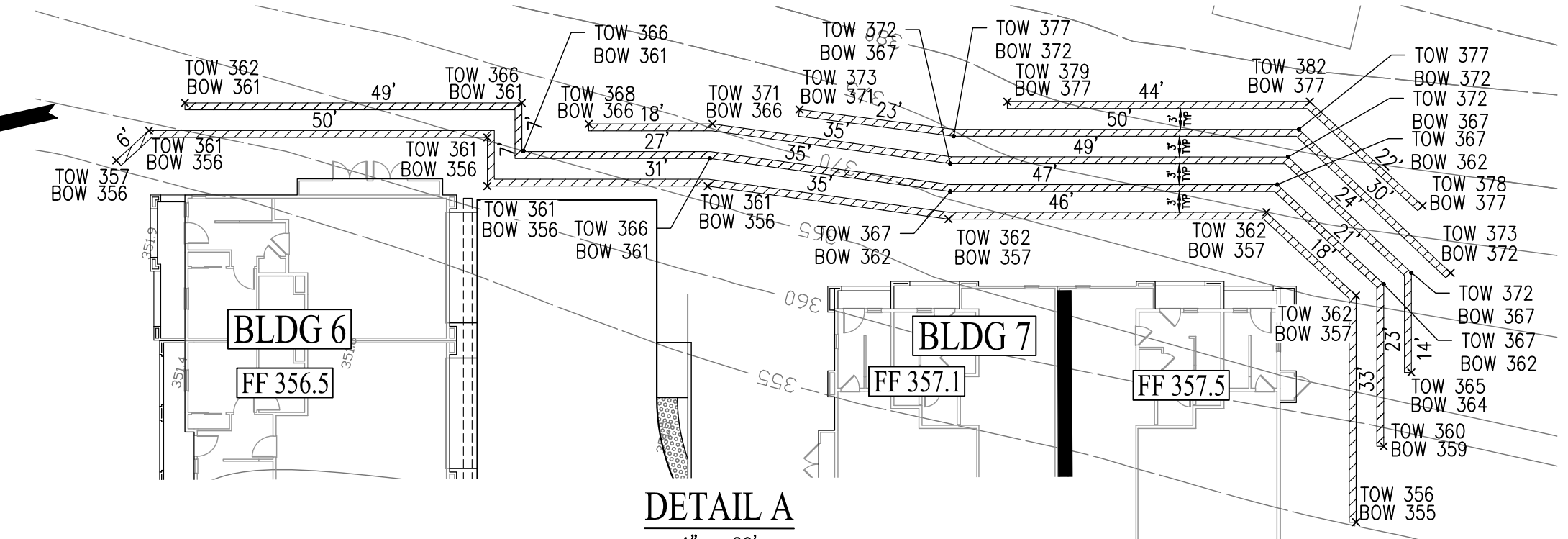
APPROXIMATE DISTURBED AREA = 7.9 AC±
 APPROXIMATE MAX CUT = 12.9'±
 APPROXIMATE MAX FILL = 9.6'±



RETAINING WALL LENGTH EXCEEDS 50'. WAIVER REQUESTED PER GOV. CODE SEC. 65915

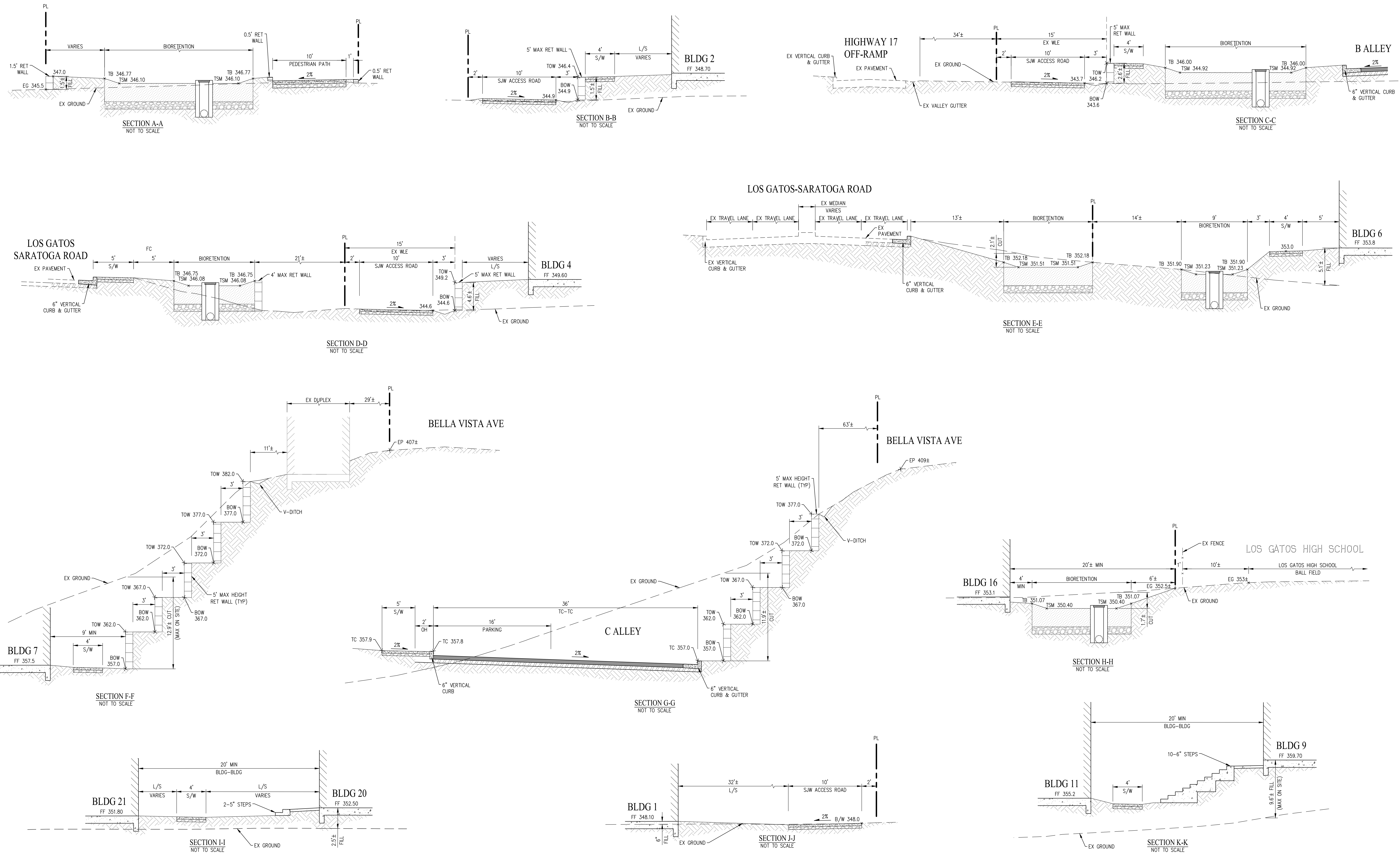
SEE RET WALL NOTCH DETAIL FOR DISTANCES (TYP)

RETAINING WALL LENGTH EXCEEDS 50'. WAIVER REQUESTED PER GOV. CODE SEC. 65915



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LOS GATOS TOWN RESIDENCES
PRELIMINARY GRADING PLAN
 C.3

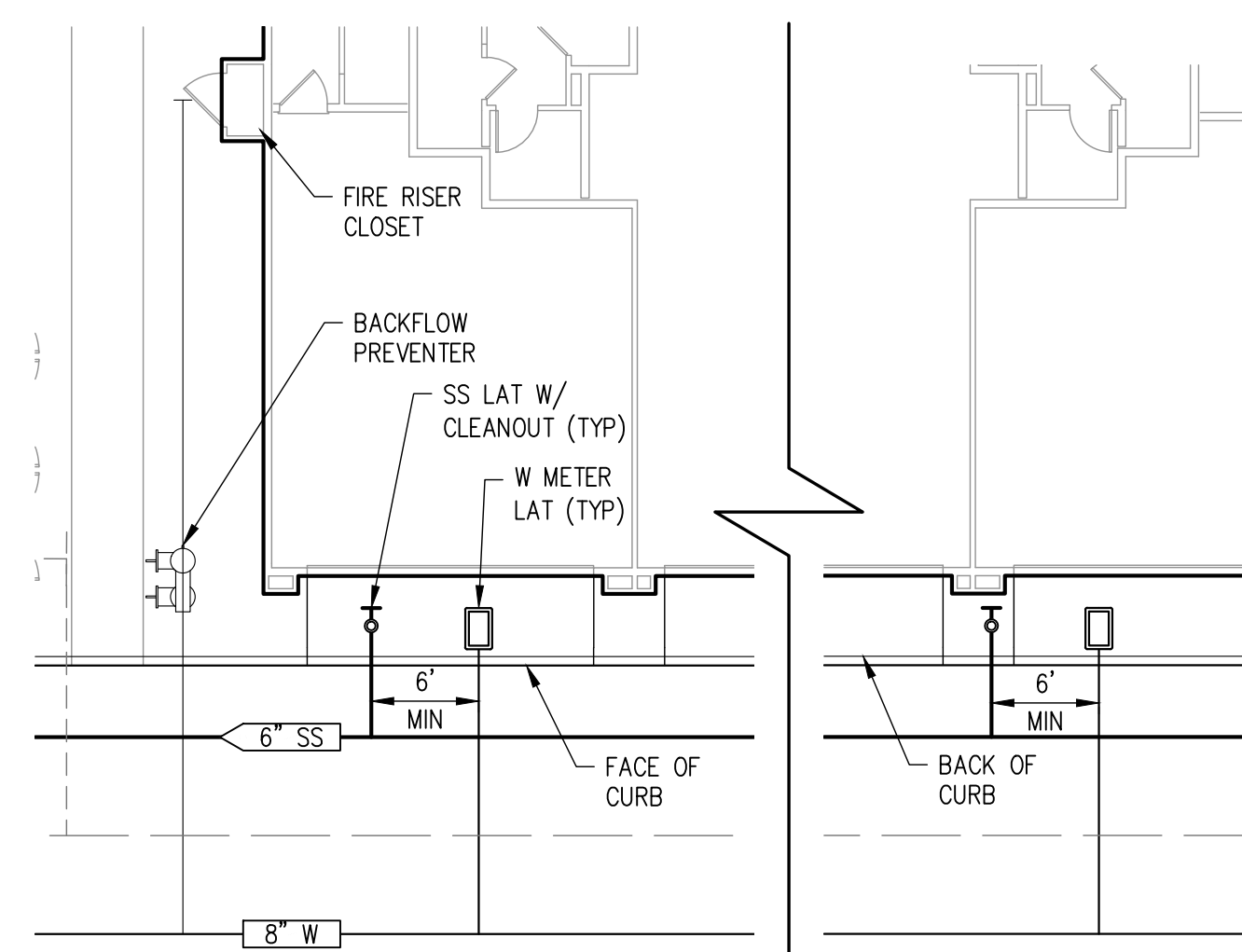


LEGEND

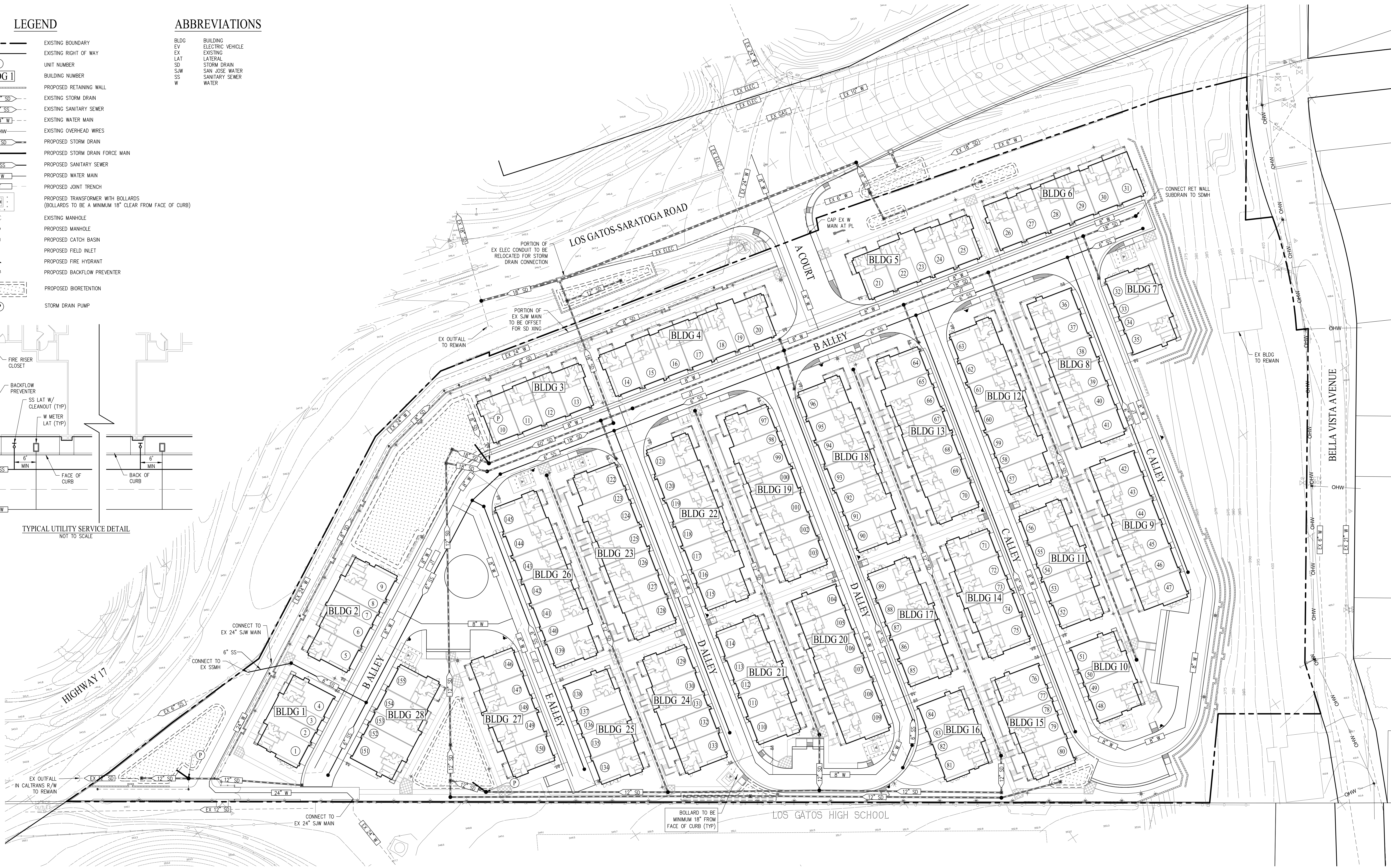
- EXISTING BOUNDARY
- ① EXISTING RIGHT OF WAY
- ① UNIT NUMBER
- BLDG 1 BUILDING NUMBER
- EX 18" SD --- EXISTING STORM DRAIN
- EX 6" SS --- EXISTING SANITARY SEWER
- EX 24" W --- EXISTING WATER MAIN
- OHW --- EXISTING OVERHEAD WIRES
- 12" SD --- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN FORCE MAIN
- 6" SS --- PROPOSED SANITARY SEWER
- 8" W --- PROPOSED WATER MAIN
- JI --- PROPOSED JOINT TRENCH
- PROPOSED TRANSFORMER WITH BOLLARDS (BOLLARDS TO BE A MINIMUM 18" CLEAR FROM FACE OF CURB)
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FIELD INLET
- ▲ PROPOSED FIRE HYDRANT
- ▲▲ PROPOSED BACKFLOW PREVENTER
- PROPOSED BIORETENTION
- (P) STORM DRAIN PUMP

ABBREVIATIONS

- BLDG BUILDING
- EV ELECTRIC VEHICLE
- EX EXISTING
- LAT LATERAL
- SD STORM DRAIN
- SJW SAN JOSE WATER
- SS SANITARY SEWER
- W WATER



TYPICAL UTILITY SERVICE DETAIL
NOT TO SCALE



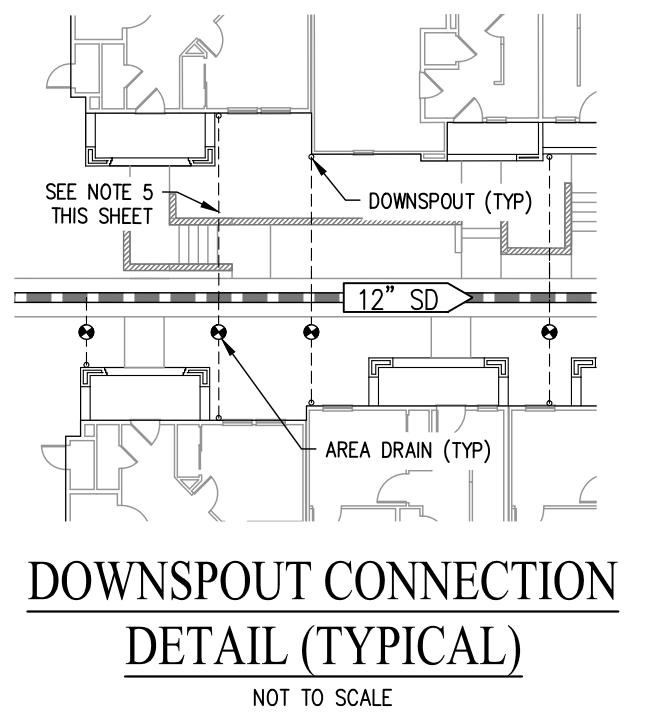
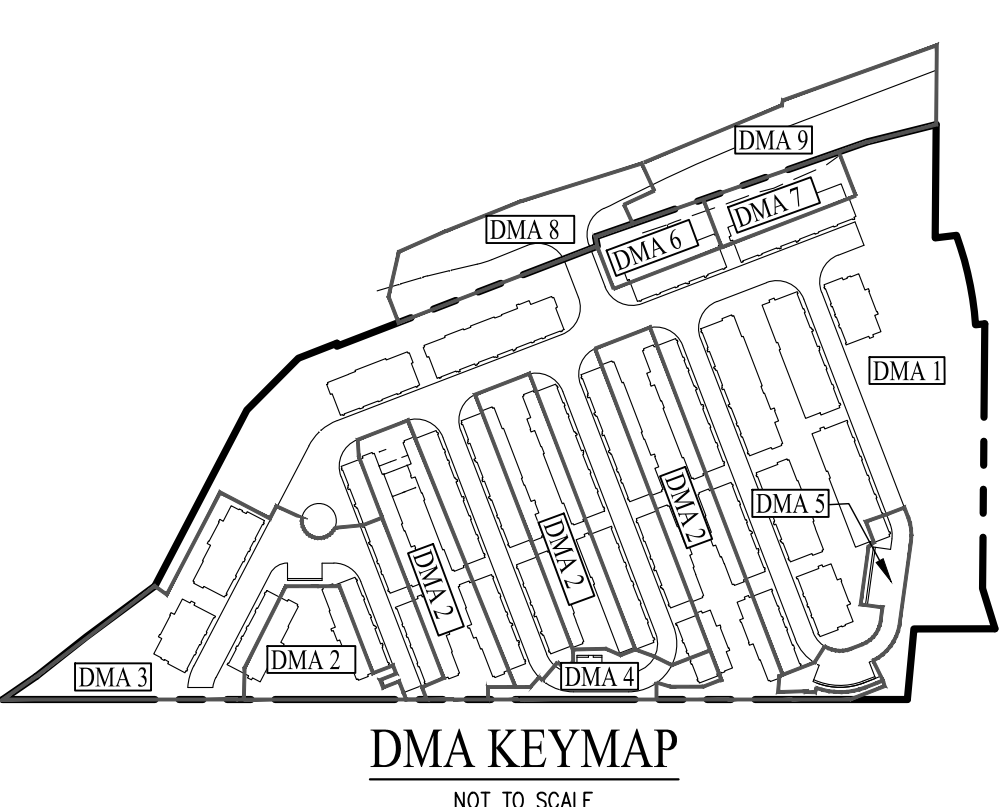
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LOS GATOS TOWN RESIDENCES
PRELIMINARY UTILITY PLAN
C.5

LEGEND

- EXISTING BOUNDARY
- - - EXISTING RIGHT OF WAY
- ① UNIT NUMBER
- BLDG 1 BUILDING NUMBER
- EX SD EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FIELD INLET
- PROPOSED FIELD INLET
- PROPOSED BIORETENTION
- P STORM DRAIN PUMP
- DMA 1 DRAINAGE MANAGEMENT AREA LABEL
- DRAINAGE MANAGEMENT AREA BOUNDARY

STORM WATER TREATMENT SUMMARY					
DMA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
1	232,896	145,151	87,745	5,911	5,911
2	75,712	46,709	29,003	2,364	2,391
3	43,926	30,710	13,216	1,394	1,903
4	8,669	4,942	3,727	270	270
5	8,660	7,464	1,196	282	282
6	6,684	2,680	4,004	202	202
7	7,674	3,379	4,295	233	233
SUBTOTAL	384,221	241,035	143,186	10,656	11,192
8 (OFFSITE)	17,661	14,099	3,562	568	568
9 (OFFSITE)	22,269	10,169	12,100	679	679

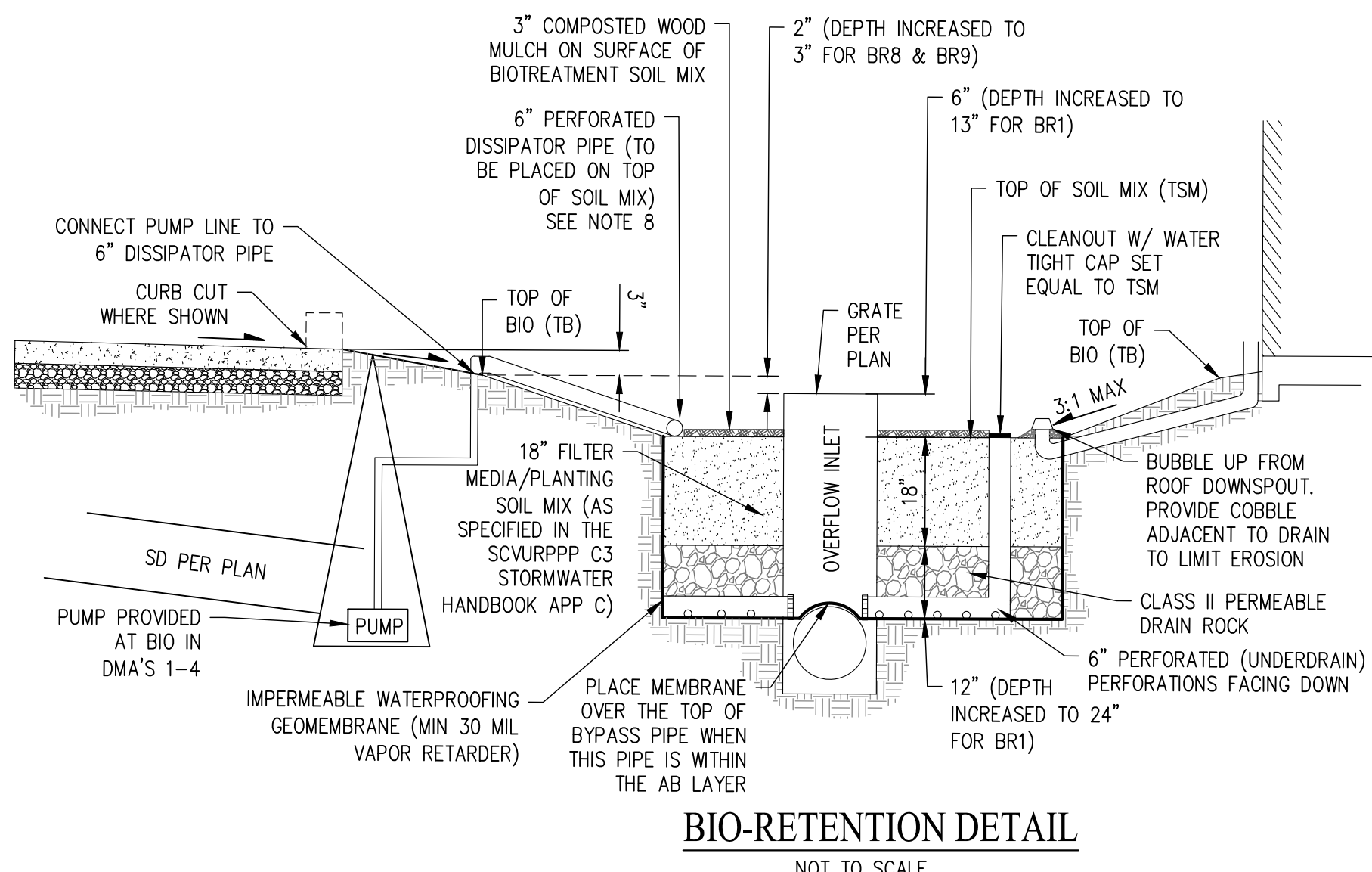


2. Project Size

a. Total Site Area:	384,221 (ft ²)	b. Total Land Area Disturbed During Construction:	344,124 (ft ²)
<small>(including clearing, grading, stockpiling, or excavating)</small>			
Project Totals	Total Existing (Pre-project) Area (ft²)	Existing Area Retained (ft²)	Existing Area Replaced (ft²)
Impervious Area (IA)	Total on-site IA	Existing Area Retained	New Area Created
c. Total on-site IA	229,201	229,201	11,834
d. Total off-site IA ³	2,933	2,933	117
e. Total project IA	232,134	0	232,134
f. Total new and replaced IA			244,085
Pervious Area (PA)⁴	Total on-site PA		
g. Total on-site PA	155,020		143,186
h. Total off-site PA ³	1,771		1,654
i. Total project PA	156,791		144,840
j. Total Project Area (2.e.+2.i.)	388,925		388,925
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced ÷ Existing Total on-site IA) x 100%	100 %		

ABBREVIATIONS

- BR BIORETENTION
- BLDG BUILDING
- DMA DRAINAGE MANAGEMENT AREA
- MH MANHOLE
- SD STORM DRAIN



NOTES:

- 1) DRAINAGE AREAS 8 AND 9 ARE SUBJECT TO FINAL DESIGN OF THIS PROJECT'S FRONTAGE.
- 2) ALL NECESSARY SITE DESIGN MEASURES INCLUDING BUT NOT LIMITED TO MINIMIZING LAND DISTURBED, SHALL BE IMPLEMENTED WITH THESE IMPROVEMENTS, IN COMPLIANCE WITH THE SCVURPPP. SUBJECT TO FINAL DESIGN.
- 3) ALL NECESSARY SOURCE CONTROL MEASURES INCLUDING BUT NOT LIMITED TO BENEFICIAL LANDSCAPING, STORM DRAIN LABELING, AND MAINTENANCE OF IMPROVEMENTS SHALL BE IMPLEMENTED WITH THESE IMPROVEMENTS IN COMPLIANCE WITH THE SCVURPPP. SUBJECT TO FINAL DESIGN.
- 4) ALL PROPOSED PLANTING WITHIN BIO RETENTION AREAS SHALL BE IN COMPLIANCE WITH THE APPROVED PLANTS LISTED IN APPENDIX D OF THE SCVURPPP C.3 HANDBOOK.
- 5) DOWNSPOUTS TO BE HARD PIPED TO NEAREST STORM DRAIN PIPE OR SPLASH BLOCK TO STREET FOR CONVEYANCE TO PROPER BIO RETENTION AREA (SEE DETAIL THIS SHEET FOR TYPICAL). FOR DOWNSPOUTS IN CLOSE PROXIMITY TO BIO RETENTION, THEY WILL BE HARDPIPED TO A BUBBLE DRAIN WITHIN BIO RETENTION AREA (SEE BIO RETENTION DETAIL THIS SHEET FOR BUBBLE UP DRAIN).
- 6) STAINLESS STEEL STORM DRAIN MARKER SHALL BE PLACED ON ALL CATCH BASINS AND INLETS WITH BLUE BACKGROUND AND NATURAL LETTERS. (SEE DETAIL THIS SHEET).
- 7) ADDITIONAL STORAGE VOLUME, FOR PURPOSES OF IMPLEMENTING HYDROMODIFICATION REQUIREMENTS, IS PROVIDED IN THE FORM OF OVERSIZED PIPES, AS WELL AS ADDED BASE ROCK AND PONDING DEPTHS AS NOTED ON THE BIO RETENTION DETAIL.
- 8) DISSIPATOR PIPE TO BE PLACED ON TOP OF BIO RETENTION AREA FOR ENTIRE LENGTH OF BIO TO DISPERSE FLOWS INTO BIOTREATMENT AND LIMIT EROSION. COBBLE TO BE PLACED ADJACENT TO PIPE OUTLETS TO LIMIT EROSION.
- 9) ALERT SYSTEMS IN THE FORM OF A FLASHING BEACON LIGHT, COMMUNICATIONS SYSTEM OR TOWN OF LOS GATOS APPROVED EQUIVALENT TO BE PROVIDED AT ALL PUMP STRUCTURES TO ALERT RESPONSIBLE MAINTENANCE CONTACT IN THE EVENT OF PUMP FAILURE OR MALFUNCTION.



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November 15, 2024

LOS GATOS TOWN RESIDENCES
STORMWATER MANAGEMENT PLAN
C.6

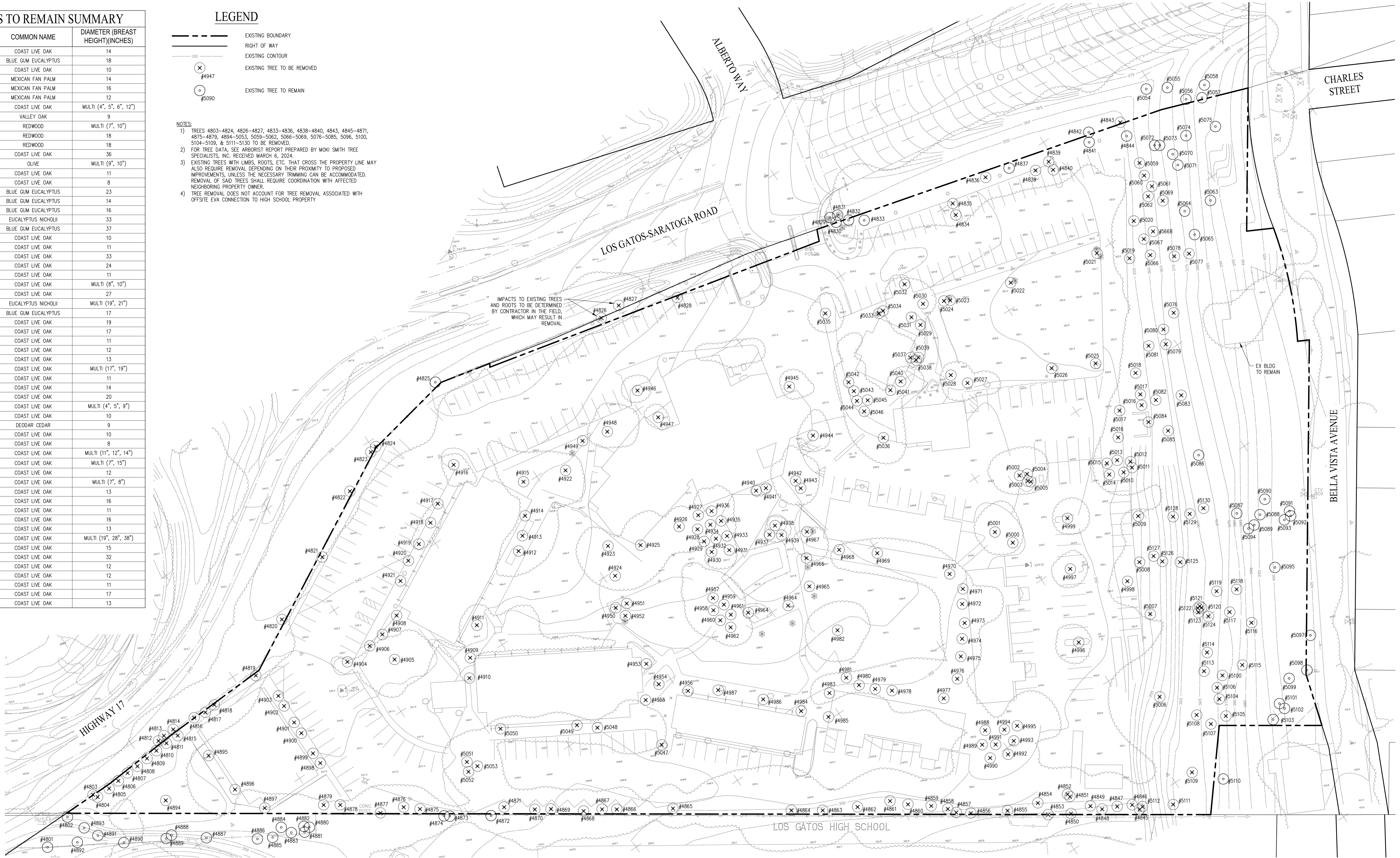
TREE TAG ID	COMMON NAME	DIAMETER (BREAST HEIGHT)(INCHES)
4801	COAST LIVE OAK	14
4802	BLUE GUM EUCALYPTUS	18
4825	COAST LIVE OAK	10
4829	MEXICAN FAN PALM	14
4830	MEXICAN FAN PALM	16
4831	MEXICAN FAN PALM	12
4832	COAST LIVE OAK	MULTI (4", 5", 6", 12")
4833	VALLEY OAK	9
4837	REDWOOD	MULTI (7", 10")
4841	REDWOOD	18
4842	REDWOOD	18
4844	COAST LIVE OAK	36
4872	OLIVE	MULTI (9", 10")
4873	COAST LIVE OAK	11
4874	COAST LIVE OAK	8
4880	BLUE GUM EUCALYPTUS	23
4881	BLUE GUM EUCALYPTUS	14
4882	BLUE GUM EUCALYPTUS	16
4883	EUCALYPTUS NICHOLII	33
4884	BLUE GUM EUCALYPTUS	37
4885	COAST LIVE OAK	10
4886	COAST LIVE OAK	11
4887	COAST LIVE OAK	33
4888	COAST LIVE OAK	24
4889	COAST LIVE OAK	11
4890	COAST LIVE OAK	MULTI (8", 10")
4891	COAST LIVE OAK	27
4892	EUCALYPTUS NICHOLII	MULTI (19", 21")
4893	BLUE GUM EUCALYPTUS	17
5054	COAST LIVE OAK	19
5055	COAST LIVE OAK	17
5056	COAST LIVE OAK	11
5057	COAST LIVE OAK	12
5058	COAST LIVE OAK	13
5063	COAST LIVE OAK	MULTI (17", 19")
5064	COAST LIVE OAK	11
5065	COAST LIVE OAK	14
5070	COAST LIVE OAK	20
5071	COAST LIVE OAK	MULTI (4", 5", 9")
5072	COAST LIVE OAK	10
5073	DEODAR CEDAR	9
5074	COAST LIVE OAK	10
5075	COAST LIVE OAK	8
5086	COAST LIVE OAK	MULTI (11", 12", 14")
5087	COAST LIVE OAK	MULTI (7", 15")
5088	COAST LIVE OAK	12
5089	COAST LIVE OAK	MULTI (7", 8")
5090	COAST LIVE OAK	13
5091	COAST LIVE OAK	16
5092	COAST LIVE OAK	11
5093	COAST LIVE OAK	16
5094	COAST LIVE OAK	13
5095	COAST LIVE OAK	MULTI (19", 28", 38")
5097	COAST LIVE OAK	15
5098	COAST LIVE OAK	32
5099	COAST LIVE OAK	12
5101	COAST LIVE OAK	12
5102	COAST LIVE OAK	11
5103	COAST LIVE OAK	17
5110	COAST LIVE OAK	13

LEGEND

- EXISTING BOUNDARY
- RIGHT OF WAY
- EXISTING CONTOUR
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

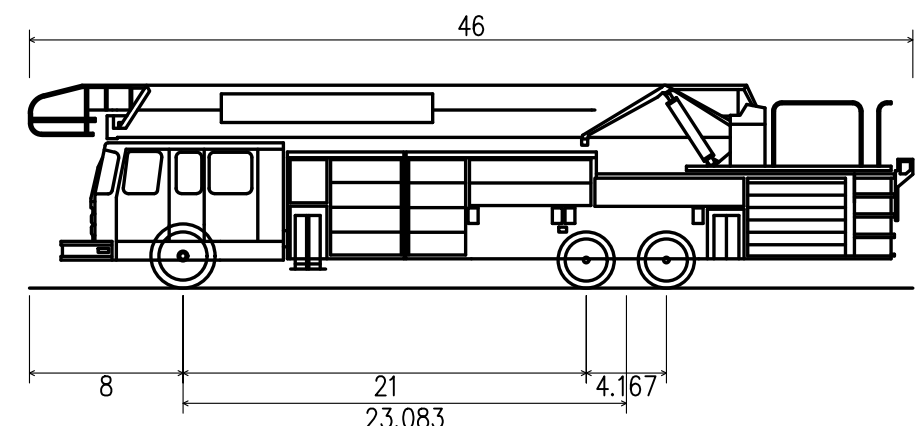
NOTES

- 1) TREES 4803-4824, 4826-4827, 4833-4836, 4838-4840, 4843, 4845-4871, 4875-4879, 4894-5053, 5059-5062, 5066-5069, 5076-5085, 5096, 5100, 5104-5109, & 5111-5130 TO BE REMOVED.
- 2) FOR TREE DATA, SEE ARBORIST REPORT PREPARED BY MOKI SMITH TREE SPECIALISTS, INC. RECEIVED MARCH 6, 2024.
- 3) EXISTING TREES WITH LIMBS, ROOTS, ETC. THAT CROSS THE PROPERTY LINE MAY ALSO REQUIRE REMOVAL DEPENDING ON THEIR PROXIMITY TO PROPOSED IMPROVEMENTS, UNLESS THE NECESSARY TRIMMING CAN BE ACCOMMODATED. REMOVAL OF SAID TREES SHALL REQUIRE COORDINATION WITH AFFECTED NEIGHBORING PROPERTY OWNER.
- 4) TREE REMOVAL DOES NOT ACCOUNT FOR TREE REMOVAL ASSOCIATED WITH OFFSITE EVA CONNECTION TO HIGH SCHOOL PROPERTY.



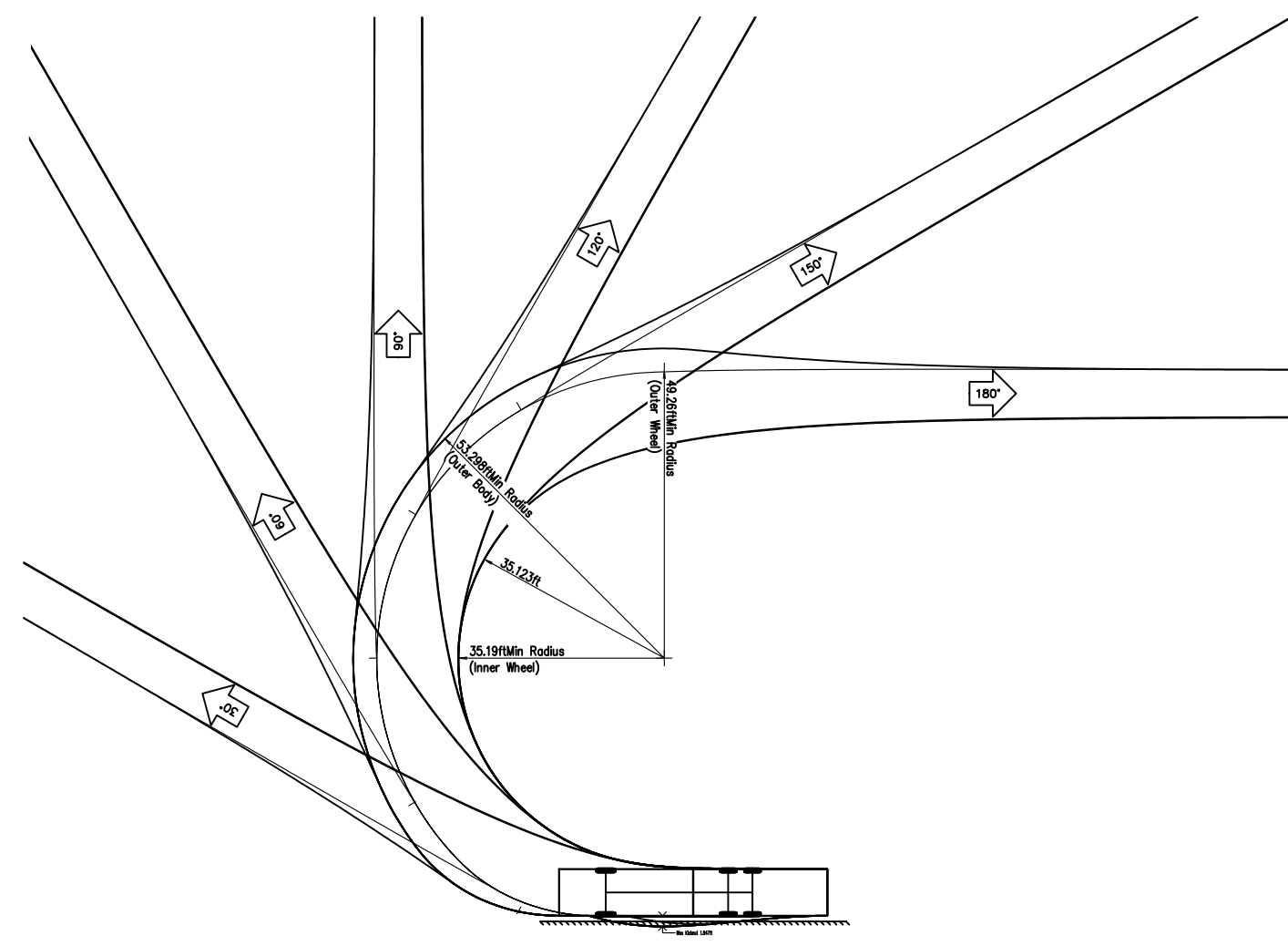
381.072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

LOS GATOS TOWN RESIDENCES
 TREE DISPOSITION PLAN
 C.7

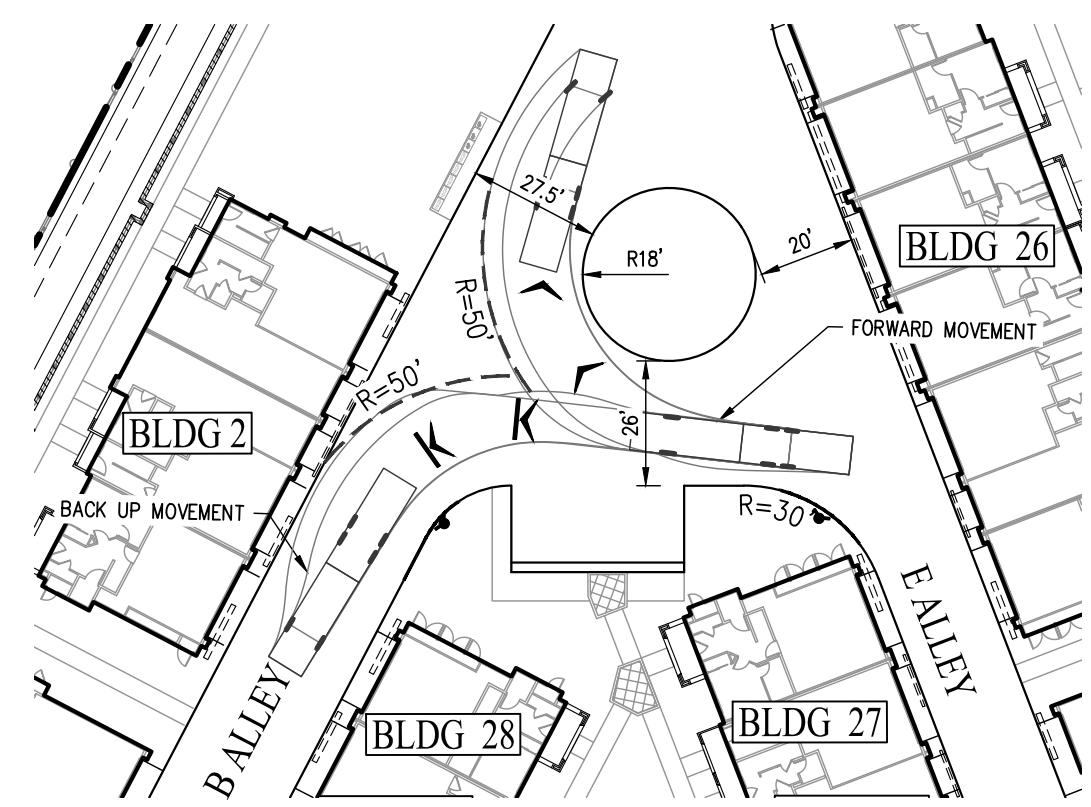


OVERALL LENGTH 46.000FT
 OVERALL WIDTH 8.000FT
 OVERALL BODY HEIGHT 10.559FT
 MIN BODY GROUND CLEARANCE 0.990FT
 TRACK WIDTH 8.333FT
 LOCK-TO-LOCK TIME 7.00s
 MAX WHEEL ANGLE 33.00°

SANTA CLARA COUNTY FIRE TRUCK
 NOT TO SCALE



SANTA CLARA COUNTY FIRE TRUCK
 TURNING TEMPLATE
 NOT TO SCALE



B & E ALLEY FIRE TRUCK TURNING
 TEMPLATE DETAIL
 NOT TO SCALE

LEGEND

- EXISTING BOUNDARY
- - - EXISTING RIGHT OF WAY
- BLDG 1 BUILDING NUMBER
- EX W EXISTING WATER MAIN
- W PROPOSED WATER MAIN
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER/FDC/PIV & POINT OF FS CONNECTION TO BLDG
- FIRE HOSE PULL (150' MAX)
- > FORWARD DIRECTION
- < REVERSE DIRECTION
- PROPOSED RED "NO PARKING" CURB
- PROPOSED SIGN
- OUTSIDE TURNING RADIUS

NOTES

1. ANY OFF-SITE EXTENSION OF THE EVAE AND/OR THE PAE, IF NECESSARY, IS SUBJECT TO POSSESSION OF NECESSARY RIGHT OF WAY INTERESTS IN ACCORDANCE WITH GOV CODE SEC. 66462.5 AND OTHER APPLICABLE LEGAL REQUIREMENTS.
2. ALL PROPOSED ON-SITE STREETS WILL BE COMPOSED OF ASPHALT CONCRETE OVER A LAYER OF AGGREGATE BASE & BE CAPABLE OF SUPPORTING A FIRE TRUCK LOAD OF 75,000 LBS.
3. FIRE APPARATUS ACCESS ROADS ARE DESIGNED & MARKED AS A FIRE LANE AS SET FORTH IN SECTION CVC 22500.1.
4. SITE SHALL BE IN COMPLIANCE WITH CFC CHAPTER 33 & SANTA CLARA COUNTY FIRE DEPARTMENT STD DETAIL & SPECIFICATION S1-7.
5. NO COMBUSTIBLE CONSTRUCTION SHALL OCCUR PRIOR TO NEW HYDRANT INSTALLATION.

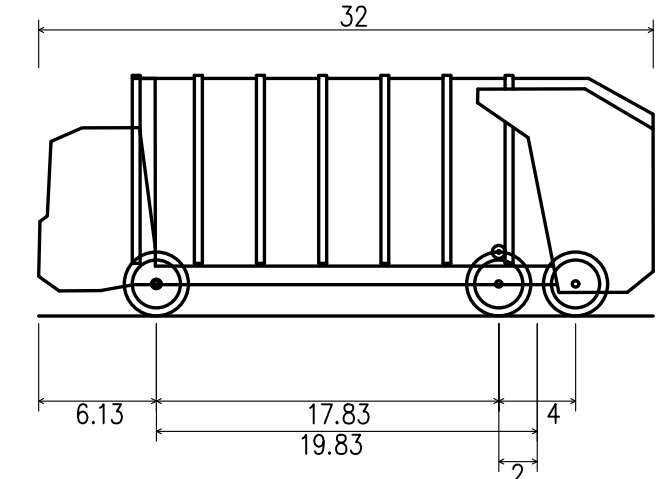


381.072 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

LOS GATOS TOWN RESIDENCES
 FIRE ACCESS PLAN
 C.8

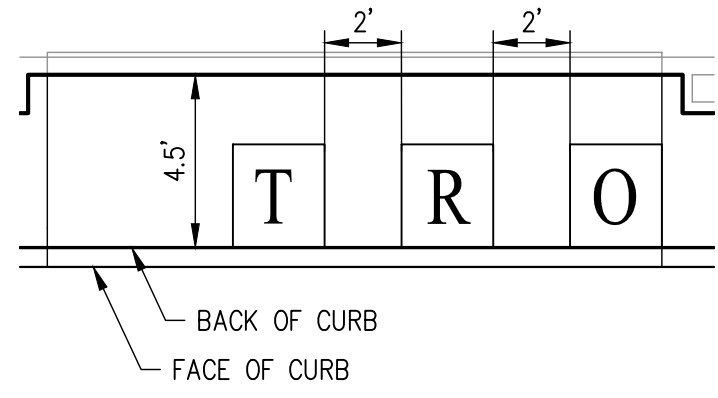
LEGEND

- EXISTING BOUNDARY
- EXISTING RIGHT OF WAY
- BLDG 1 BUILDING NUMBER
- T TRASH BIN
- R RECYCLING BIN
- O ORGANICS BIN
- > FORWARD DIRECTION
- < REVERSE DIRECTION

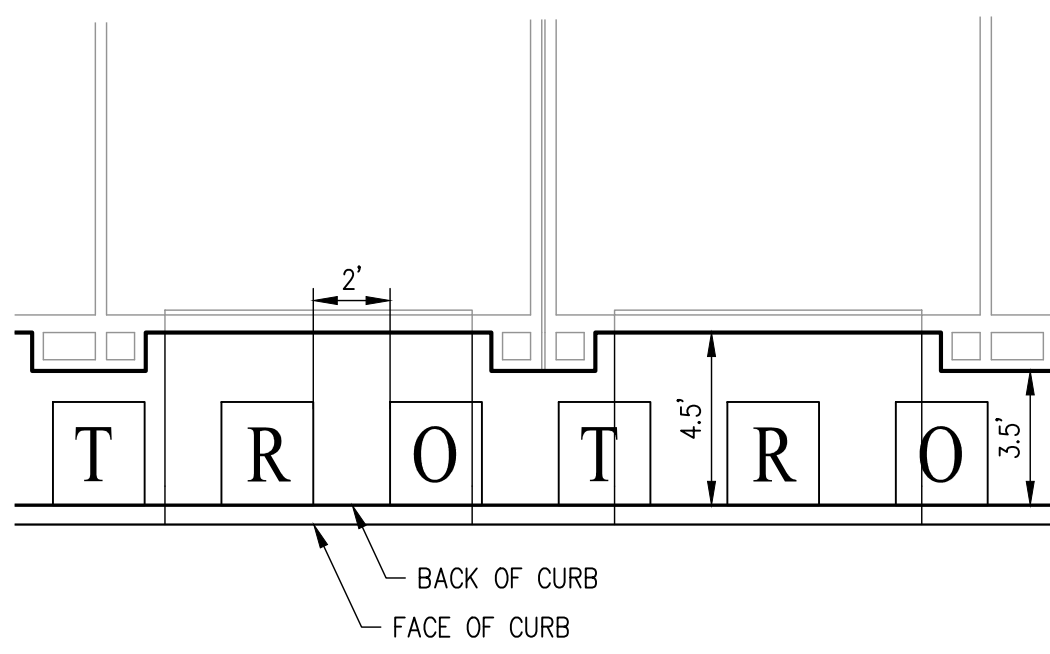


OVERALL LENGTH 32.000FT
 OVERALL WIDTH 8.000FT
 OVERALL BODY HEIGHT 12.538FT
 MIN BODY GROUND CLEARANCE 1.227FT
 TRACK WIDTH 8.000FT
 LOCK-TO-LOCK TIME 6.00s
 MAX WHEEL ANGLE 27.40°

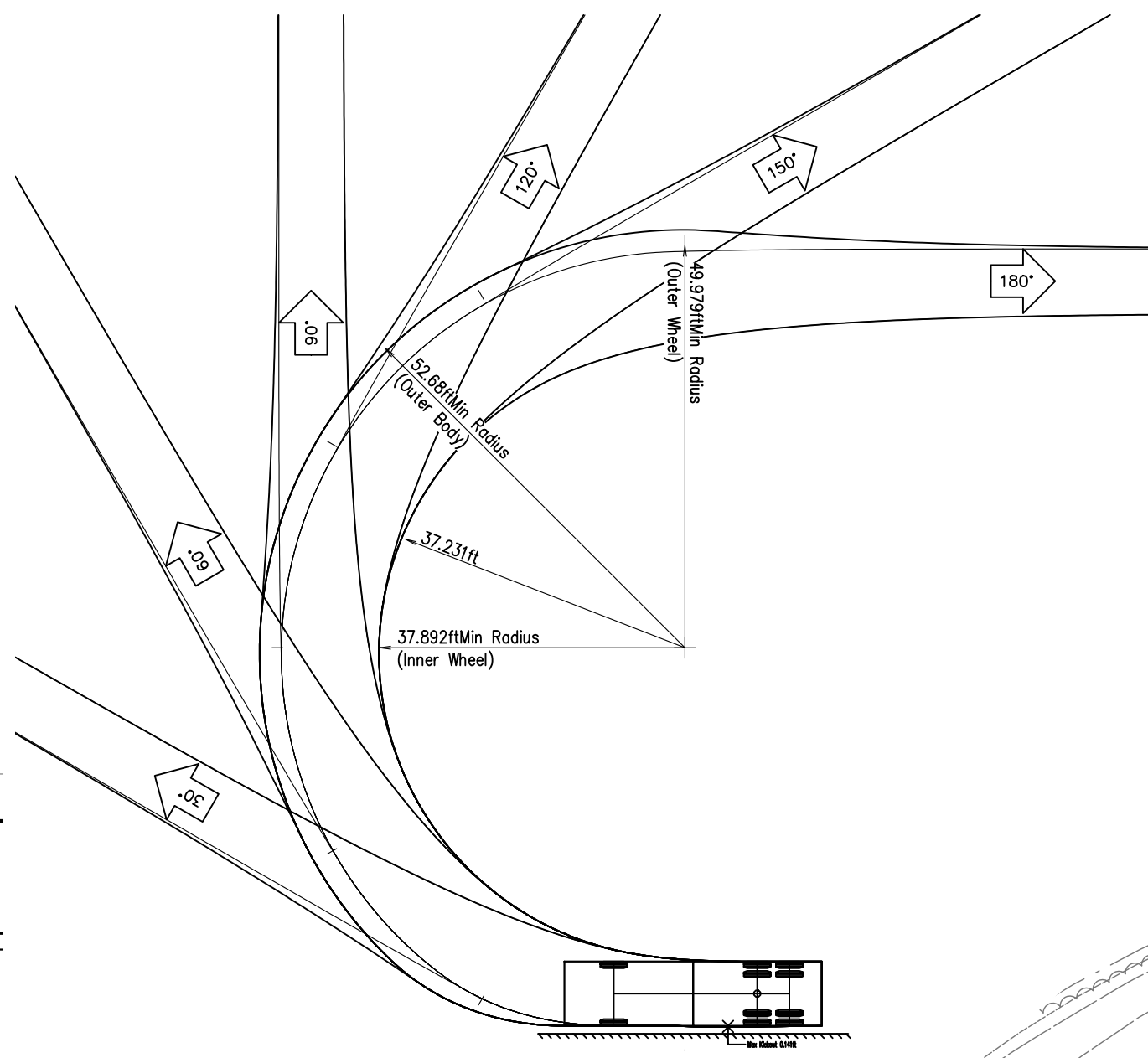
GARBAGE TRUCK
NOT TO SCALE



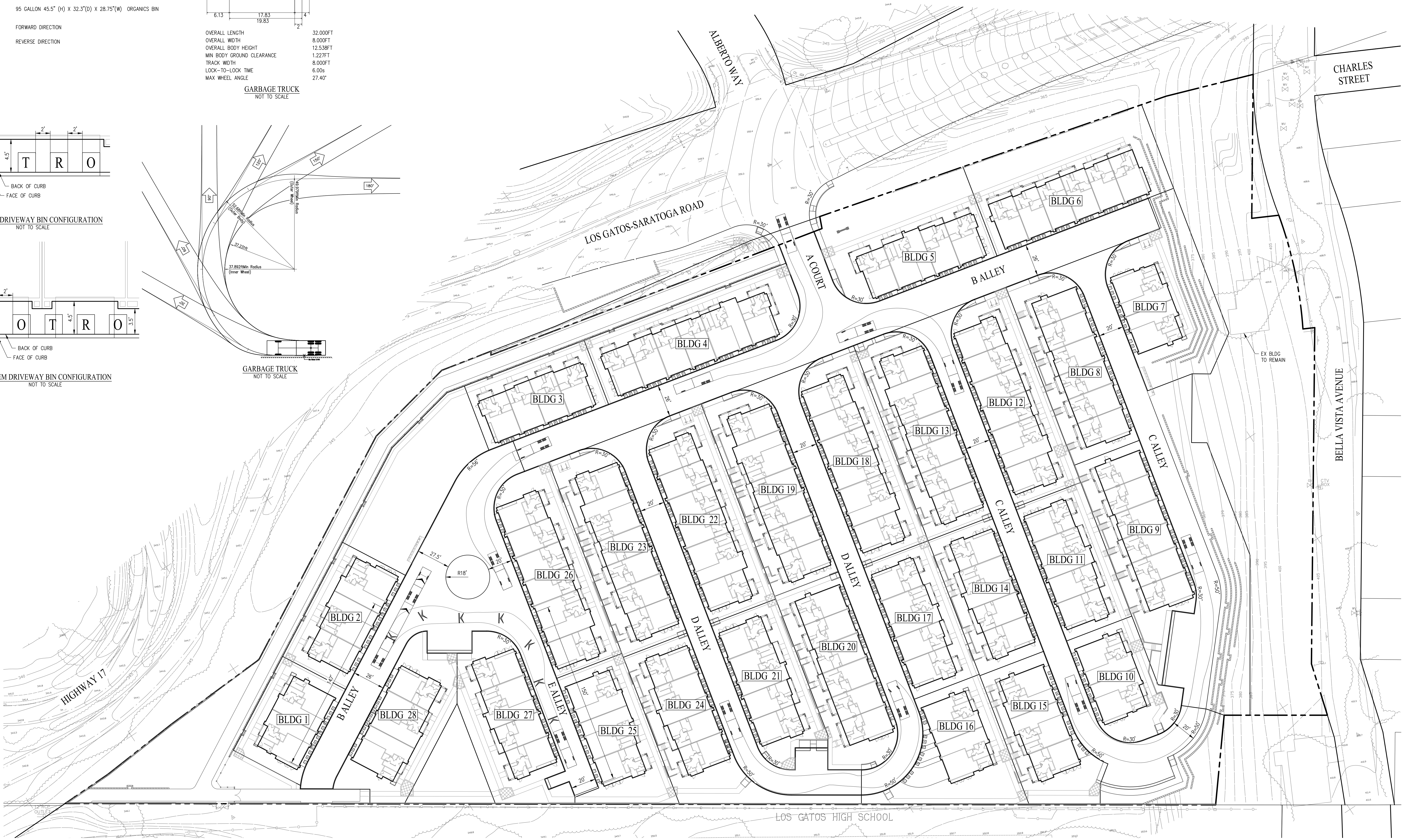
STANDARD DRIVEWAY BIN CONFIGURATION
NOT TO SCALE



TANDEM DRIVEWAY BIN CONFIGURATION
NOT TO SCALE



GARBAGE TRUCK
NOT TO SCALE



LEGEND

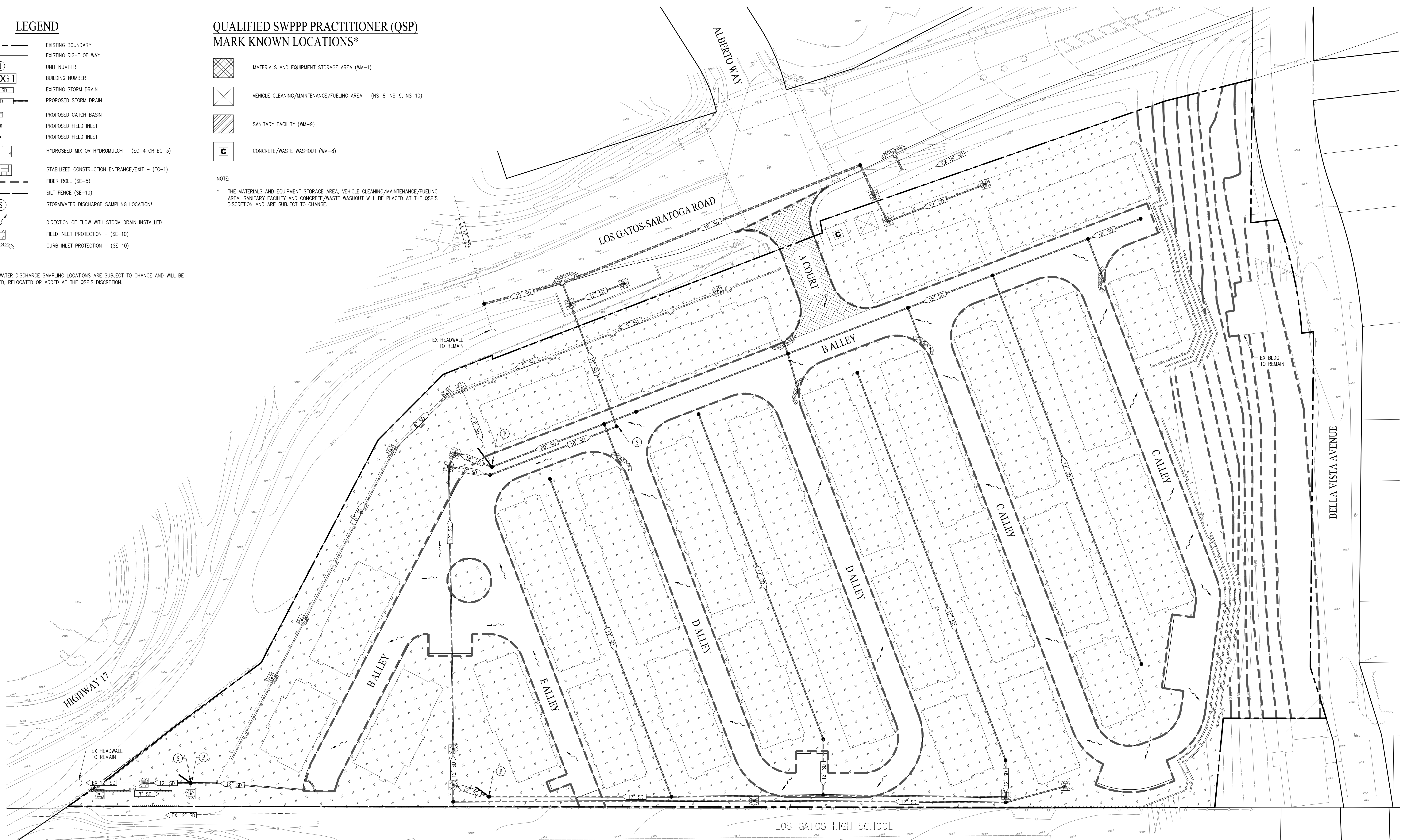
- EXISTING BOUNDARY
- - - EXISTING RIGHT OF WAY
- ① UNIT NUMBER
- BLDG 1 BUILDING NUMBER
- EX EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN
- PROPOSED FIELD INLET
- PROPOSED FIELD INLET
- HYDROSEED MIX OR HYDROMULCH - (EC-4 OR EC-3)
- ▨ STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- FIBER ROLL (SE-5)
- SILT FENCE (SE-10)
- Ⓢ STORMWATER DISCHARGE SAMPLING LOCATION*
- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION - (SE-10)
- CURB INLET PROTECTION - (SE-10)

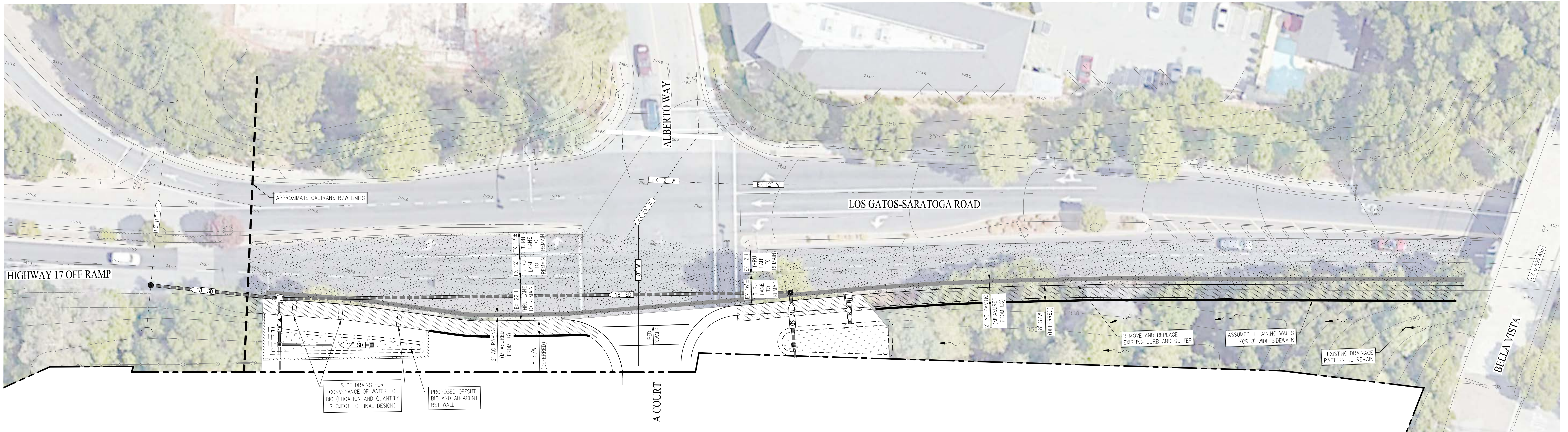
NOTE:
 * STORMWATER DISCHARGE SAMPLING LOCATIONS ARE SUBJECT TO CHANGE AND WILL BE REMOVED, RELOCATED OR ADDED AT THE OSP'S DISCRETION.

QUALIFIED SWPPP PRACTITIONER (QSP) MARK KNOWN LOCATIONS*

- ▨ MATERIALS AND EQUIPMENT STORAGE AREA (WM-1)
- ⊠ VEHICLE CLEANING/MAINTENANCE/FUELING AREA - (NS-8, NS-9, NS-10)
- ▨ SANITARY FACILITY (WM-9)
- ⓐ CONCRETE/WASTE WASHOUT (WM-8)

NOTE:
 * THE MATERIALS AND EQUIPMENT STORAGE AREA, VEHICLE CLEANING/MAINTENANCE/FUELING AREA, SANITARY FACILITY AND CONCRETE/WASTE WASHOUT WILL BE PLACED AT THE QSP'S DISCRETION AND ARE SUBJECT TO CHANGE.





LEGEND

- BOUNDARY
- CALTRANS RIGHT OF WAY LIMIT LINE
- FRONTAGE IMPROVEMENTS - DEFERRED**
- 8' SIDEWALK
- RETAINING WALLS FOR 8' SIDEWALK
- FRONTAGE IMPROVEMENTS - PROJECT**
- PROPOSED FACE OF CURB
- PROPOSED ASPHALT CONCRETE PAVING WITH AGGREGATE BASE
- EXISTING FACE OF CURB
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- PROPOSED WATER PIPE
- PROPOSED BIO RETENTION RETAINING WALLS
- PROPOSED BIO RETENTION
- PROPOSED MICROSURFACING OF EXISTING ASPHALT CONCRETE (UP TO MEDIAN ; EASTBOUND LANES ONLY)

NOTES

1. FRONTAGE IMPROVEMENTS-PROPOSED ARE PROPOSED AS SUBDIVISION IMPROVEMENTS FOR SUBDIVISION APPLICATION M-23-009.
2. FRONTAGE IMPROVEMENTS-DEFERRED SHALL BE REQUIRED AS SUBDIVISION IMPROVEMENTS FOR SUBDIVISION APPLICATION M-23-009 IF AND ONLY IF THE TOWN ENGINEER DIRECTS DEVELOPER IN WRITING WITHIN 30 DAYS AFTER APPROVAL OF THE VESTING TENTATIVE MAP (SUBDIVISION APPLICATION M-23-009) TO CONSTRUCT THE FRONTAGE IMPROVEMENTS-DEFERRED. IF THE TOWN ENGINEER DOES NOT DIRECT DEVELOPER IN WRITING WITHIN 30 DAYS AFTER APPROVAL OF THE VESTING TENTATIVE MAP (SUBDIVISION APPLICATION M-23-009) TO CONSTRUCT THE FRONTAGE IMPROVEMENTS-DEFERRED, DEVELOPER SHALL PAY A FEE IN AN AMOUNT EQUAL TO THE ENGINEER'S PRELIMINARY COST ESTIMATE FOR FRONTAGE IMPROVEMENTS-DEFERRED (\$245,000) PRIOR TO APPROVAL OF THE FINAL MAP (SUBDIVISION APPLICATION M-23-009) AND DEVELOPER SHALL NOT BE REQUIRED TO CONSTRUCT THE FRONTAGE IMPROVEMENTS-DEFERRED. ITEMS 6 (SIGNING AND STRIPING) AND 7 (BOLLARDS IN BUFFERED BIKE LANE) OF THE ENGINEER'S PRELIMINARY COST ESTIMATE FOR FRONTAGE IMPROVEMENTS-DEFERRED ARE INCLUDED IN THE PRELIMINARY COST ESTIMATE ONLY FOR PURPOSES OF DETERMINING THE FEE IN LIEU OF CONSTRUCTION. IN NO EVENT SHALL DEVELOPER BE REQUIRED TO CONSTRUCT ITEMS 6 & 7.
3. INCLUDES MICROSURFACING OF EXISTING ASPHALT CONCRETE UP TO MEDIAN (EASTBOUND LANES ONLY) DUE TO UTILITY TRENCHING FOR STORM DRAIN AND WATER IMPROVEMENTS.
4. INCLUDES RETAINING WALLS ALONG BACK SIDE OF FUTURE 8' SIDEWALK DUE TO EXISTING SLOPE. LOCATION AND QUANTITY SUBJECT TO FINAL DESIGN.
5. TREE REMOVAL, CLEARING & GRUBBING AND EARTHWORK EXPECTED WITHIN THE LIMITS OF IMPROVEMENT REQUIRED FOR THE CONSTRUCTION OF THE 8' SIDEWALK AND ASSOCIATED RETAINING WALLS.

CIVIL ENGINEERS SURVEYORS PLANNERS ENGINEER'S PRELIMINARY COST ESTIMATE FRONTAGE IMPROVEMENTS-PROJECT 50 LOS GATOS-SARATOGA ROAD LOS GATOS, CALIFORNIA September 27, 2024 Job No.: 3812-000																																																																																																										
Item	Description	Quantity	Unit	Unit Price	Amount																																																																																																					
DEMOLITION																																																																																																										
1	Remove Existing Pavement	1,300	SF	\$ 6.00	\$ 7,800																																																																																																					
2	Remove Existing Curb and Gutter	650	LF	\$ 5.00	\$ 3,250																																																																																																					
				Subtotal Demolition	\$ 11,050																																																																																																					
STREET IMPROVEMENTS																																																																																																										
3	4" AC Paving (4)	1,300	SF	\$ 3.00	\$ 3,900																																																																																																					
4	10" Aggregate Base (4)	1,300	SF	\$ 2.80	\$ 3,640																																																																																																					
5	6" Vertical Curb and Gutter (Includes Cushion)	650	LF	\$ 35.00	\$ 22,750																																																																																																					
6	8' Sidewalk (5)	350	\$ 18.00	\$ 6,300	7	Microsurfacing (Assumed up to median)	19,000	SF	\$ 1.25	\$ 23,750	8	Traffic Control (30% of Budget)	1	LS	\$ 18,000.00	\$ 18,000					Subtotal Street Improvements	\$ 78,340	STORM DRAIN						9	Manhole	2	EA	\$ 10,000	\$ 20,000	10	Storm Drain Catch Basin	2	EA	\$ 7,500	\$ 15,000	11	Storm Drain Field Inlet	3	EA	\$ 3,000	\$ 9,000	12	12" Storm Drain Pipe (RCP)	50	LF	\$ 120.00	\$ 6,000	13	18" Storm Drain Pipe (RCP)	60	LF	\$ 150.00	\$ 9,000	14	18" Storm Drain Pipe (RCP - In Existing Pavement)	350	LF	\$ 300.00	\$ 105,000	15	Bio Retention (Green Infrastructure)	1,000	SF	\$ 35.00	\$ 35,000	16	Bio Retention Walls	650	SF	\$ 50.00	\$ 32,500					Subtotal Storm Drain	\$ 231,500					20% CONTINGENCY	\$ 64,178					TOTAL FRONTAGE IMPROVEMENTS-PROJECT CONSTRUCTION COST	\$ 320,890					TOTAL FRONTAGE IMPROVEMENTS-PROJECT CONSTRUCTION COST	\$ 385,000					<i>(to the nearest \$1,000)</i>	
7	Microsurfacing (Assumed up to median)	19,000	SF	\$ 1.25	\$ 23,750																																																																																																					
8	Traffic Control (30% of Budget)	1	LS	\$ 18,000.00	\$ 18,000																																																																																																					
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CIVIL ENGINEERS SURVEYORS PLANNERS ENGINEER'S PRELIMINARY COST ESTIMATE FRONTAGE IMPROVEMENTS-DEFERRED 50 LOS GATOS-SARATOGA ROAD LOS GATOS, CALIFORNIA September 27, 2024 Job No.: 3812-000					
Item	Description	Quantity	Unit	Unit Price	Amount
DEMOLITION & GRADING					
1	Remove Existing Trees	10	EA	\$ 1,500.00	\$ 15,000
2	Cleaning & Grubbing	6,000	SF	\$ 2.00	\$ 12,000
3	Earthwork (rough grade)	250	CY	\$ 8.50	\$ 2,125
				Subtotal Demolition & Grading	\$ 29,125
STREET IMPROVEMENTS					
4	8' Sidewalk	4,500	SF	\$ 18.00	\$ 81,000
5	Retaining Walls	750	SF	\$ 50.00	\$ 37,500
6	Signing and Striping (2)	1	LS	\$ 12,000.00	\$ 12,000
7	Bollards in Buffered Bike Lane (3)	31	EA	\$ 20.00	\$ 620
8	Traffic Control (30% of Budget)	1	LS	\$ 44,000.00	\$ 44,000
				Subtotal Street Improvements	\$ 175,120
				SUBTOTAL FRONTAGE IMPROVEMENTS-DEFERRED CONSTRUCTION COST	\$ 204,245
				20% CONTINGENCY	\$ 40,849
				TOTAL FRONTAGE IMPROVEMENTS-DEFERRED CONSTRUCTION COST	\$ 245,000
				<i>(to the nearest \$1,000)</i>	

- NOTES**
1. FRONTAGE IMPROVEMENT COSTS PER LAYOUT PROVIDED ON THIS PLAN SHEET.
 2. ASSUMED \$10 PER LINEAR FOOT OF STRIPING, ADDITIONAL PAVEMENT MARKINGS SUBJECT TO FINAL DESIGN AND NIC IN THIS ESTIMATE. ITEM IS INCLUDED IN THE ENGINEER'S PRELIMINARY COST ESTIMATE ONLY FOR PURPOSES OF DETERMINING THE REQUIRED FEE IN LIEU OF CONSTRUCTION. IN NO EVENT SHALL DEVELOPER BE REQUIRED TO CONSTRUCT THIS ITEM.
 3. ASSUMED 10' SPACING BETWEEN BOLLARDS PER CALTRANS DESIGN BULLETIN DB-89-01. ITEM IS INCLUDED IN THE ENGINEER'S PRELIMINARY COST ESTIMATE ONLY FOR PURPOSES OF DETERMINING THE REQUIRED FEE IN LIEU OF CONSTRUCTION. IN NO EVENT SHALL DEVELOPER BE REQUIRED TO CONSTRUCT THIS ITEM.
 4. PAVEMENT SECTION PER TOWN OF LOS GATOS DESIGN STANDARDS FOR ARTERIAL, COMMERCIAL, AND INDUSTRIAL STREETS. SIDEWALK AREA EXCLUSIVE OF DEFERRED 8' SIDEWALK.
 5. ASSUMES 10 TREES TO BE REMOVED FOR INSTALLATION OF DEFERRED 8' SIDEWALK BASED ON TOPOD TREES AND GOOGLE EARTH APPROXIMATION.

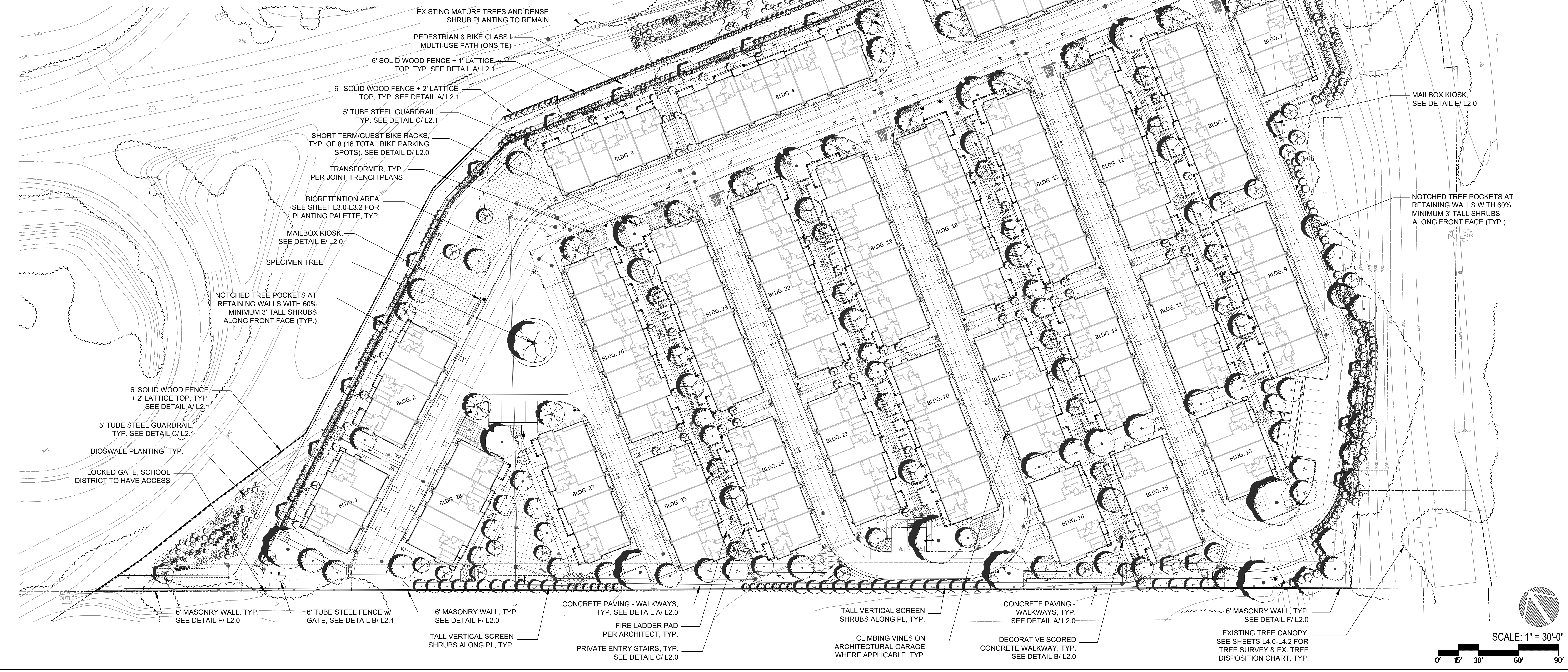
PLANTING & WATER EFFICIENCY DESIGN INTENT STATEMENT

1. THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES".
2. THE PLANTING DESIGN DOES NOT INCLUDE TURF/LAWN AREAS AND UTILIZES PRIMARILY (80%) LOW WATER USE & NATIVE PLANT SPECIES. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
3. ALL LANDSCAPE PLANTING AND IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S WATER EFFICIENCY REQUIREMENTS AND MEETS OR EXCEEDS THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA).
4. SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.
5. THE PROPOSED PLANTING WITHIN THE BIO-RETENTION AREAS WILL BE IN COMPLIANCE WITH THE APPROVED PLANTS LISTED IN APPENDIX D OF THE SCURPPP C.3 HANDBOOK.
6. THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS IV. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC.
7. SEE CIVIL ENGINEER PLANS FOR ADDITIONAL INFORMATION ON STORMWATER/C-3 TREATMENT MEASURES.
8. INITIAL TREE QUANTITIES ARE FOR GENERAL DESIGN INTENT ONLY. FINAL QUANTITIES OF TREES TO BE DETERMINED UPON INCORPORATION OF WET AND DRY UTILITIES, SITE GRADING CONSTRAINTS, PG&E TRANSFORMERS AND CONFIRMATION AND APPROVAL FROM FIRE DEPARTMENT OF FIRE LADDER CLEARANCE LOCATIONS.

PRELIMINARY TREE LEGEND

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	QTY	REMARKS
	ACE SAN	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	15 gal	2	M, 15Hx15W Install size: 3'-5" W
	ACE ARM	Acer rubrum 'Armstrong'	Armstrong Red Maple	24" tree	12	M, 25'30" H X 15" W
	ARB MAR	Arbutus x Marina'	Marina Strawberry Tree Standard	24" tree	4	L, 20-30' H X 25-35' W
	CAT BIG	Catalpa baccata 'Pink Dawn'	Southern Catalpa	24" tree	15	M, 20-30H X 20-30W
	CER WE2	Cercis occidentalis	Multi-Trunk Western Redbud	15 GAL MULTI	20	VL, 10-15 H X 10-15 W
	CER OCC	Cercis occidentalis	Western Redbud	24" tree	31	VL, 10-18H X 10'18"W - NATIVE
	CRA PNA	Crategeus phaeospermum	Washington Hawthorn	15 gal	6	M, 20-25H X 15-20 W
	GIN EGP	Ginkgo biloba 'Goldspreng' PPAF	Ginkgo Goldspire	24" tree	18	M, 14-16' H X 5-6' W
	GIN PSG	Ginkgo biloba 'Pinnocent Sentry'	Pinnocent Sentry Maidenhair Tree	24" tree	15	M, 40-50' H X 10-15' W
	KOE BIP	Koelreuteria bipinnata	Chinese Flame Tree	24" tree	5	M, 20-40H X 20-30W
	LAG NAT	Lagerstroemia x Natchez	Crape Myrtle	24" tree	14	L, 20-25' H X 10-19' W
	LAU XSA	Laurea x 'Saratoga'	Saratoga Hybrid Laurel	24" tree	9	M, 15-35' H X 15-30" W
	LOP CON	Lophostemon confertus	Brisbane Box	24" tree	5	M, 30-45' H X 25' W-STREET TREE
	LYO FLO	Lynothamnus floribundus	Catalina Ironwood	24" tree	17	L, 25-45H X 15-24W - NATIVE
	PRU CAR	Prunus caroliniana	Carolina Laurel Cherry	15 gal	14	M, 8-12' H X 4-6" W
	PRU VES	Prunus canadensis 'Krauter Vesuvius'	Krauter Vesuvius Purple-leaf Plum	15 gal	5	M, 18-20H X 12-15W
	PRU ENG	Prunus laurocerasus	English Laurel	15 gal	32	M, 8-12W X 20-30H
	PRU AMU	Prunus serrulata 'Amanogawa'	Japanese Flowering Cherry	15 gal	53	M, 15' H X 6' W
	QUE AGI	Quercus agrifolia	Coast Live Oak	60" tree	1	VL, 20-70' H X 20-70' W - NATIVE
	ULM DRA	Ulmus parvifolia 'Drake'	Drake Lacebark Elm	24" tree	2	L, 35-45H X 35-50W

- NOTES:
1. ALL PEDESTRIANS WALKWAYS SHALL BE A MINIMUM OF FOUR FEET WIDE.
 2. SEE SHEET L1.1 FOR LANDSCAPED AREA AT FRONT SETBACK.
 3. SEE SHEET L1.2 FOR LANDSCAPE AREA CALCULATIONS.
 4. SEE SHEET L1.3 FOR SCREENING AT TRANSFORMERS.
 5. WAIVER FOR FENCING IN LIEU OF MASONRY WALL WHEN IN SETBACK AREA REQUESTED PER GOV. CODE SEC. 65915.
 6. WAIVER FOR FENCING IN FRONT OF FRONT STREET SIDE SETBACK WHEN NOT SCREENING PARKING REQUESTED PER GOV. CODE SEC. 65915.
 7. WAIVER FOR INCREASE IN FENCE HEIGHT REQUESTED PER GOV. CODE SEC. 65915.

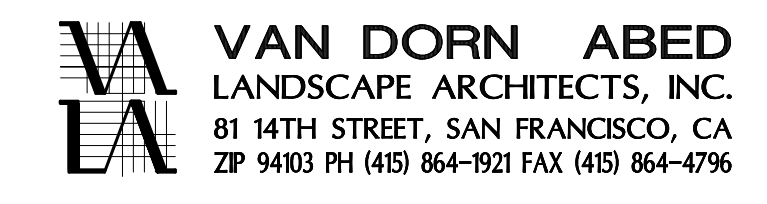


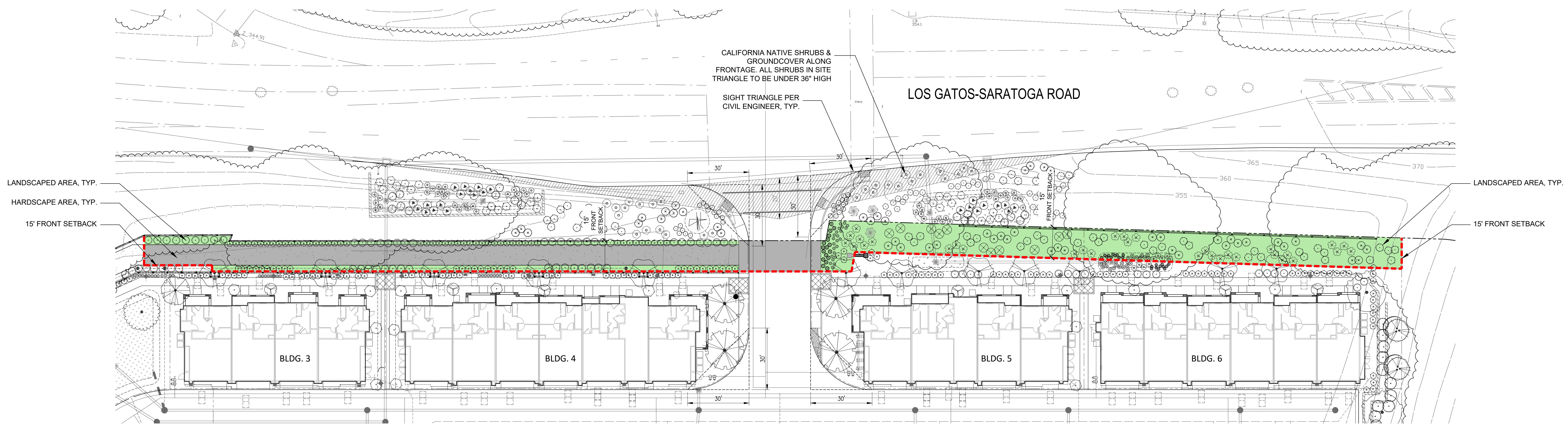
V2309 50 Los Gatos-Saratoga Road
Los Gatos, CA
November 15, 2024



3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
650-857-0122

CONCEPTUAL LANDSCAPE PLAN
L1.0

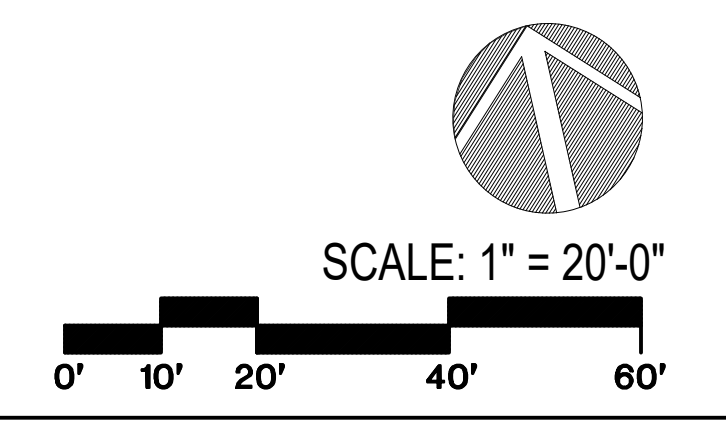




LANDSCAPED AREA CALCULATIONS AT FRONT SETBACK



SYMBOL	DESCRIPTION	SF AREA	PERCENTAGE %
[Red dashed box symbol]	GROSS AREA OF THE REQUIRED FRONT SETBACK	9,230 SF	100%
[Green fill symbol]	LANDSCAPED AREA	5,724 SF	62%
[Grey fill symbol]	HARDSCAPE AREA	3,506 SF	38%

NOTE: AT LEAST 50 PERCENT OF THE FRONT SETBACK AREA SHALL BE LANDSCAPED.






V2309 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

LANDSCAPED AREA AT FRONT SETBACK
 L1.1

LANDSCAPE AREA CALCULATIONS (LANDSCAPED SPACE)			
SYMBOL	DESCRIPTION	SF AREA	PERCENTAGE %
	TOTAL SITE AREA	347,895 SF	100%
	LANDSCAPED SPACE	100,810 SF	29%

NOTE:
A MINIMUM OF 20 PERCENT OF THE SITE AREA SHALL BE LANDSCAPED.

LANDSCAPE AREA CALCULATIONS (COMMUNITY RECREATION SPACE)			
REQUIRED MINIMUM COMMUNITY RECREATION SPACE: 155 UNITS x 100 SF = 15,500SF			
SYMBOL	DESCRIPTION	SF AREA	PERCENTAGE %
	COMMUNITY RECREATION SPACE	17,700 SF	100%
	OPEN TO THE SKY (NOTE: NO PERMANENT SOLID-ROOFED WEATHER PROTECTION STRUCTURES ARE PROPOSED)	12,800 SF	72%
	TREE SHADING (TREE CROWN AT 15 YEARS MATURITY)	4,900 SF	28%

NOTES:

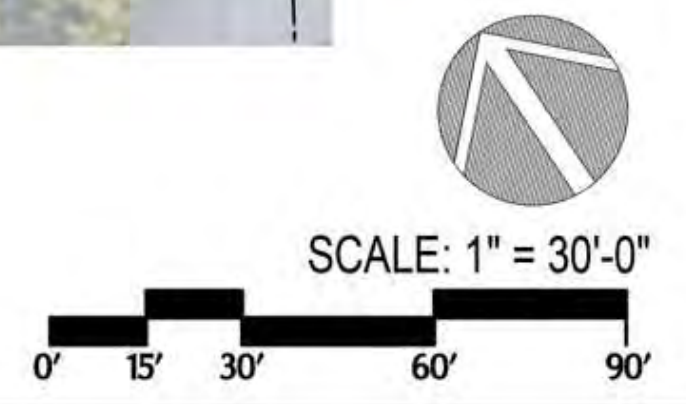
1. THE MINIMUM DIMENSIONS ARE 10 FEET BY SIX FEET.
2. A MINIMUM OF 60 PERCENT OF THE COMMUNITY RECREATION SPACE SHALL BE OPEN TO THE SKY AND FREE OF PERMANENT SOLID-ROOFED WEATHER PROTECTION STRUCTURES.
3. COMMUNITY RECREATION SPACES SHALL PROVIDE SHADING FOR A MINIMUM 15 PERCENT OF THE COMMUNITY RECREATION SPACE BY EITHER TREES OR STRUCTURES, SUCH AS AWNINGS, CANOPIES, UMBRELLAS, OR A TRELIS. TREE SHADING SHALL BE CALCULATED BY USING THE DIAMETER OF THE TREE CROWN AT 15 YEARS MATURITY. SHADING FROM OTHER BUILT STRUCTURES SHALL BE CALCULATED BY USING THE SURFACE AREA OF THE OVERHEAD.



--- COMMUNITY RECREATION SPACE, TYP.

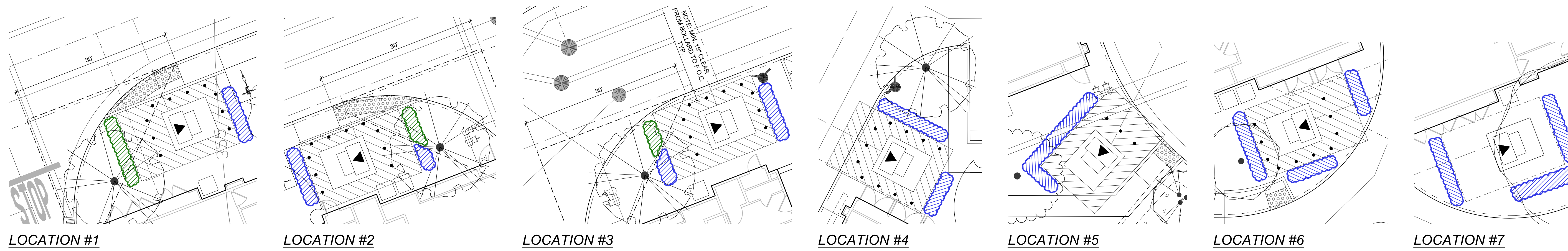
MINIMUM DIMENSIONS OF COMMUNITY RECREATION SPACE: 10 FEET BY SIX FEET.

10'



V2309 50 Los Gatos-Saratoga Road
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LANDSCAPED AREA CALCULATIONS
L1.2



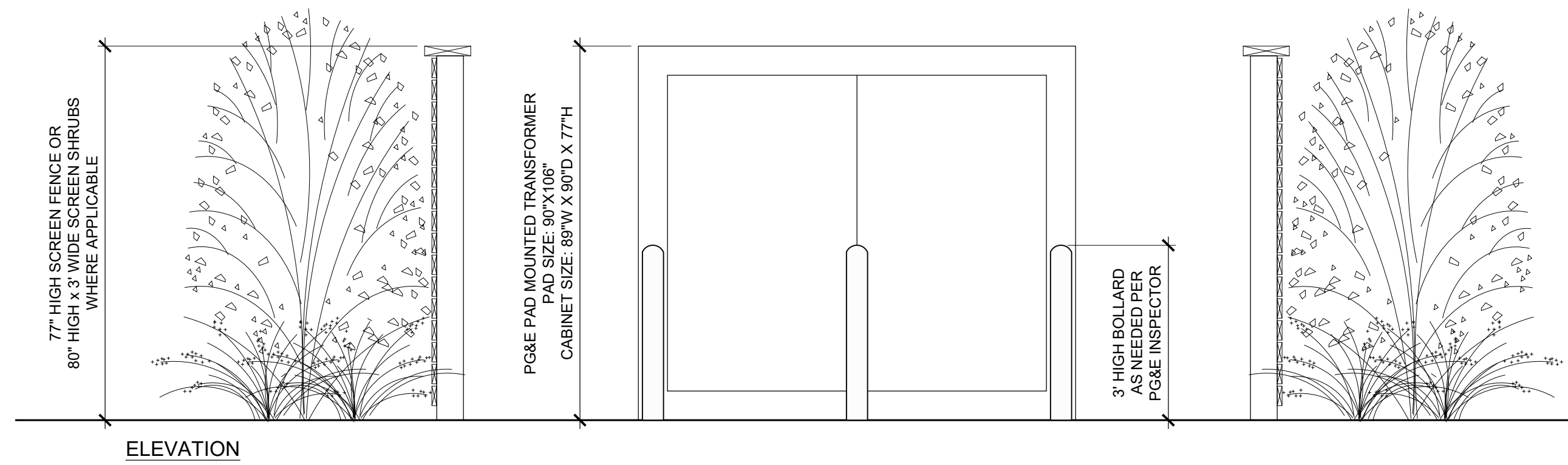
TRANSFORMER ENLARGEMENTS (SCALE 1" = 10' - 0")

LEGEND:

- TRANSFORMER PER JOINT TRENCH
- 77" HIGH SCREEN FENCE OR 80" HIGH x 3' WIDE SCREEN SHRUBS
- 24" HIGH x 3' WIDE SHRUBS

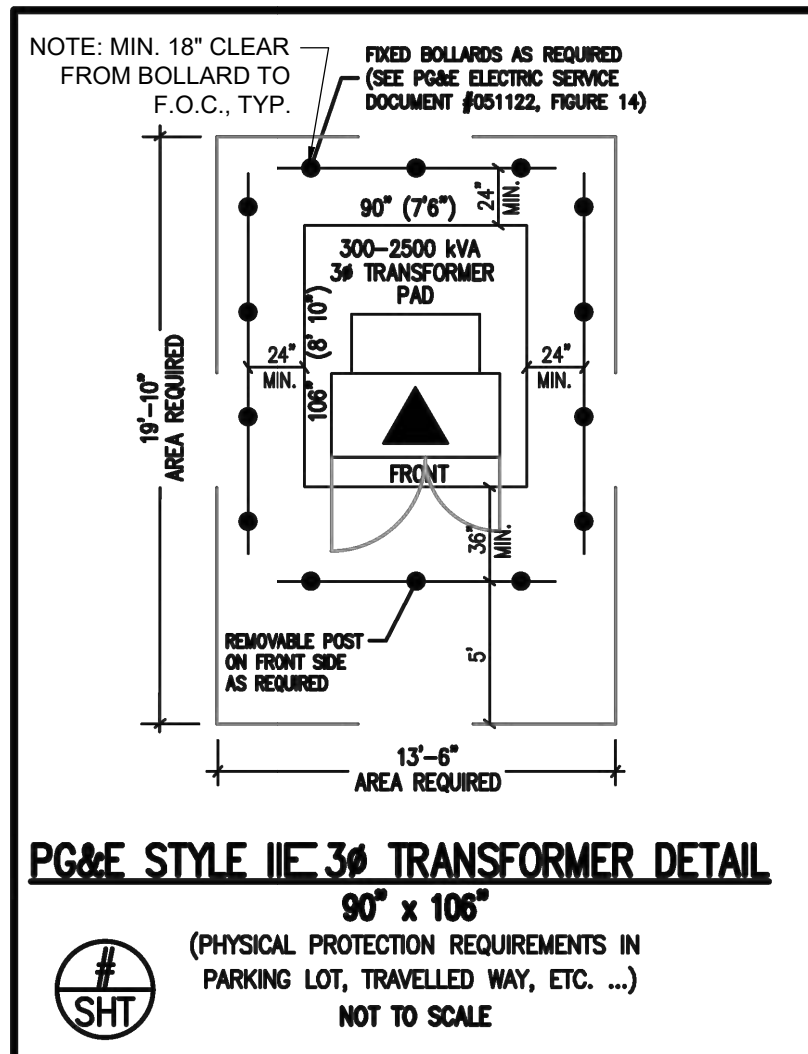
NOTES:

1. STREET-LEVEL VIEWS OF GROUND LEVEL UTILITY CABINETS, MECHANICAL EQUIPMENT, TRASH, AND SERVICE AREAS SHALL BE SCREENED FROM SIGHT WITH LANDSCAPE PLANTING, FENCING, OR A WALL, AS ALLOWED BY THE TOWN CODE. THE SCREENING SHALL BE AT LEAST THE SAME HEIGHT AS THE ITEM BEING SCREENED AND SCREENING THAT IS NOT LANDSCAPE MATERIAL SHALL BE CONSTRUCTED WITH ONE OR MORE OF THE MATERIALS USED ON THE PRIMARY BUILDING.
2. MINIMUM 18" CLEAR FROM BOLLARD TO FACE OF CURB.

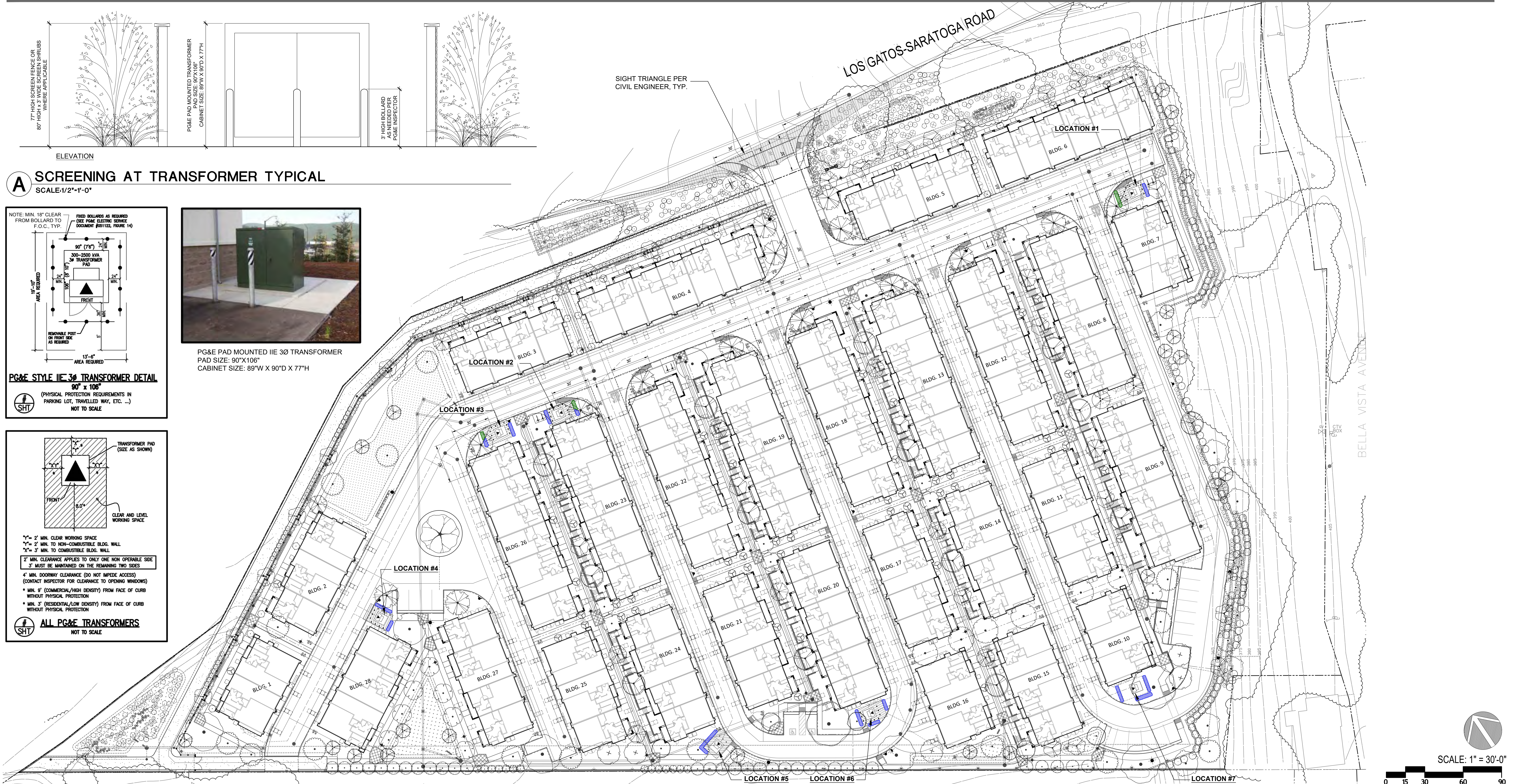
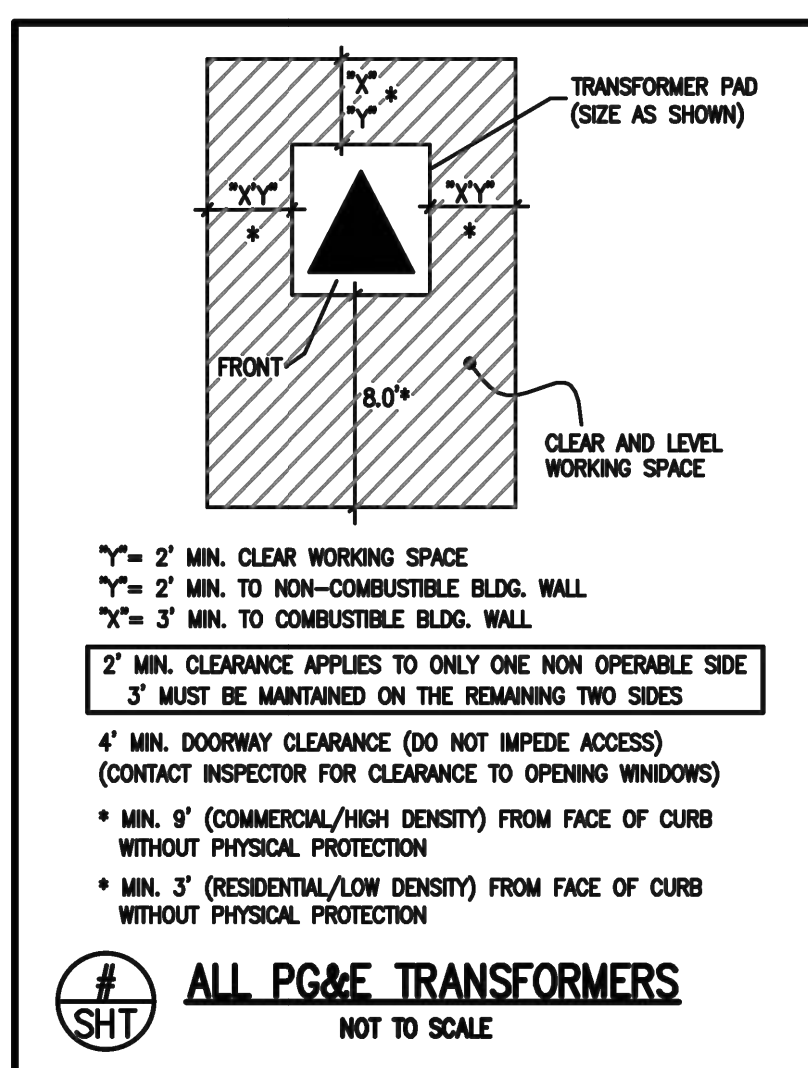


SIGHT TRIANGLE PER CIVIL ENGINEER, TYP.

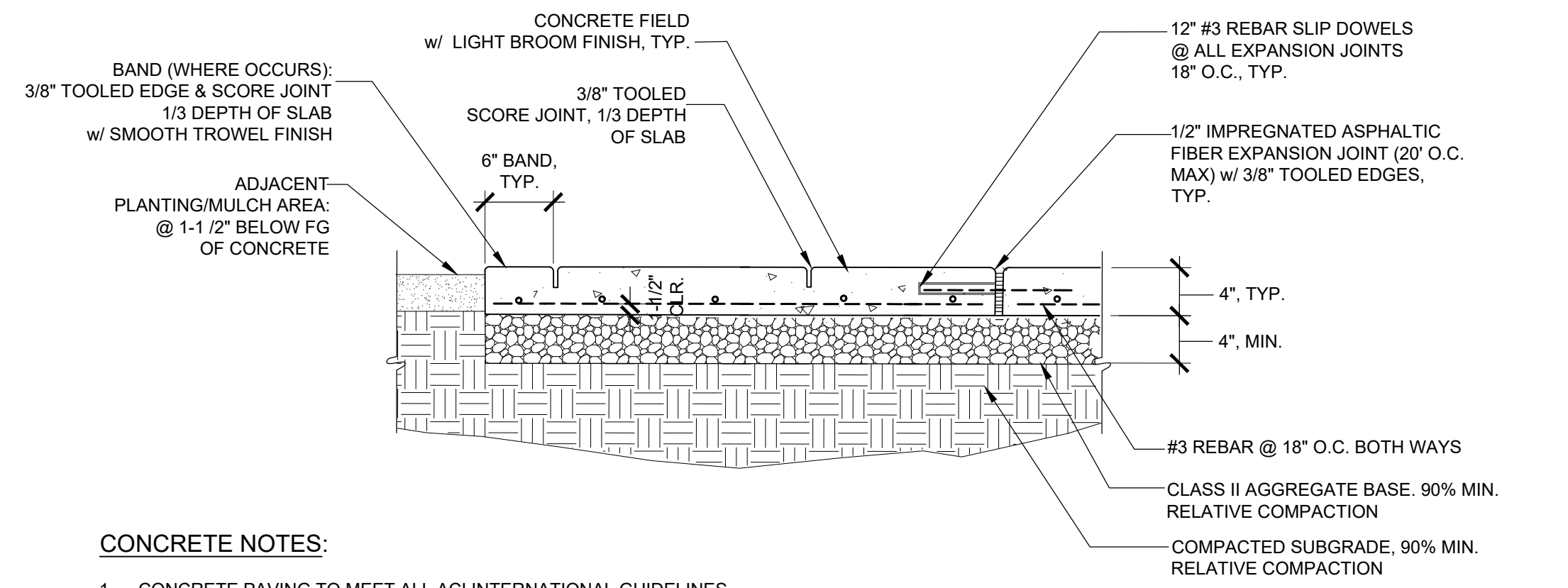
A SCREENING AT TRANSFORMER TYPICAL
SCALE 1/2" = 1'-0"



PG&E PAD MOUNTED IIE 3Ø TRANSFORMER
PAD SIZE: 90"X106"
CABINET SIZE: 89"W X 90"D X 77"H

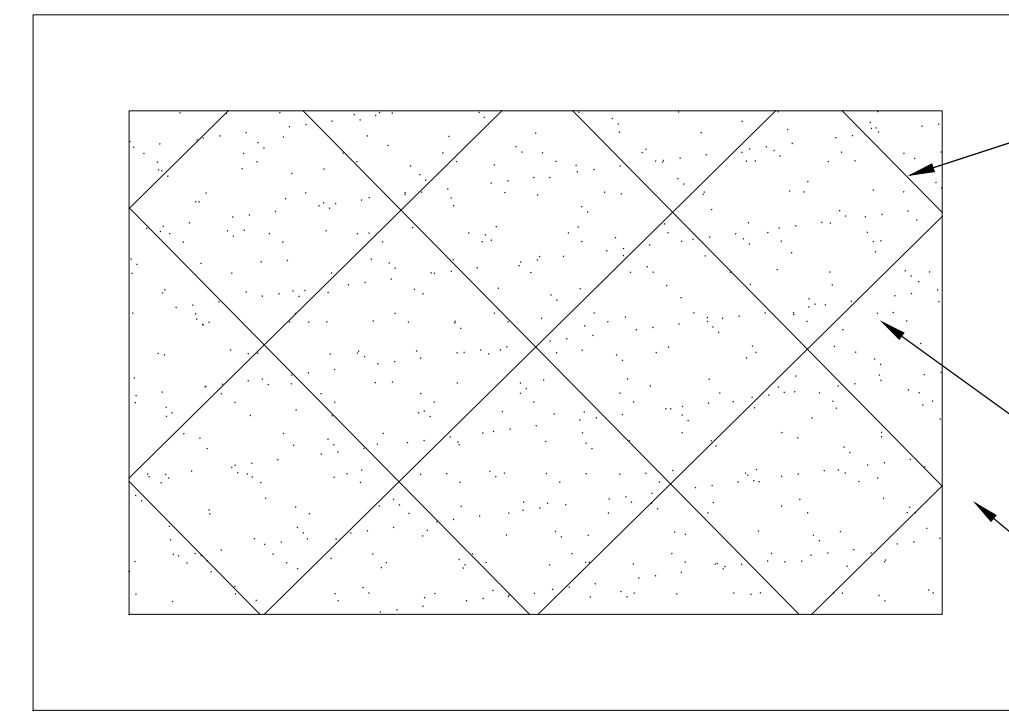


SCALE: 1" = 30'-0"
0 15 30 60 90



CONCRETE NOTES:

1. CONCRETE PAVING TO MEET ALL ACI INTERNATIONAL GUIDELINES.
2. ALL FORMWORK, SCORING, PROPOSED JOINT SPACING TO BE APPROVED AND REVIEWED BY OWNER/OWNER'S REPRESENTATIVE PRIOR TO POURING.
3. ALL SCORE JOINTS TO BE MINIMUM 1/3 DEPTH OF SLAB.
4. DISTANCE BETWEEN SCORE JOINTS TO BE 24 TIMES SLAB THICKNESS UP TO 100 SQ. FT. MAXIMUM APART. THE LONG SIDE SHALL NOT BE MORE THAN 1-1/2 TIMES THE SHORT SIDE.
5. SCORE JOINTS TO BE AS SQUARE AS PRACTICAL & CONTINUOUS. SEE PLAN FOR SCORING LAYOUT.
6. INSTALL EXPANSION JOINTS AT 20 O.C., TYP. AND WHERE NEW PAVING MEETS EXISTING PAVING, WALLS, CURBS AND CHANGES IN PAVING DIRECTIONS.
7. CONCRETE COLOR TO BE NATURAL GRAY.
8. PAVING FIELD TO BE LIGHT BROOM FINISH, PERPENDICULAR TO PATH OF TRAVEL.
9. PAVING PROFILE, AGGREGATE, SUBBASE DEPTH, PREPARATION & COMPACTION SHALL BE PER GEOTECH ENGINEER. PROFILES SHOWN ARE FOR BIDDING PURPOSES ONLY. SEE GEOTECH REPORT FOR PAVING & SUBBASE REQUIREMENTS.



DECORATIVE CONCRETE NOTES:

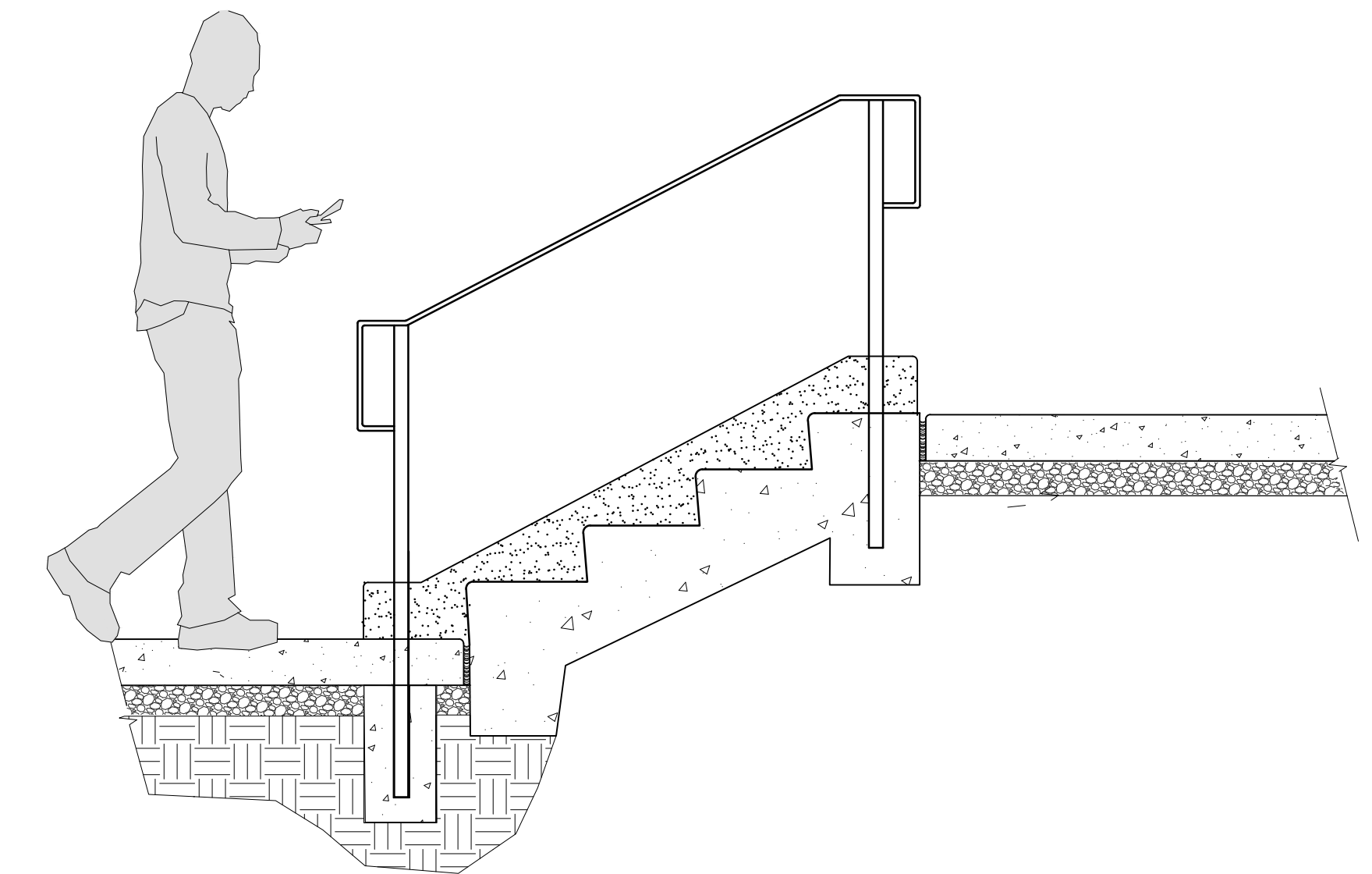
1. PROFILE PER DETAIL A, THIS SHEET.
2. FINISH:

CONCRETE BAND	SMOOTH TROWEL
CONCRETE FIELD	DAYTON SUPERIOR TOP-CAST RELEASE #05 "SANDBLAST FINISH"

SCORING PATTERN:
2X2 DIAGONAL PATTERN,
3/8" TOOLED SCORE JOINT, 1/3 DEPTH
OF SLAB

CONCRETE FIELD:
PER SCHEDULE BELOW

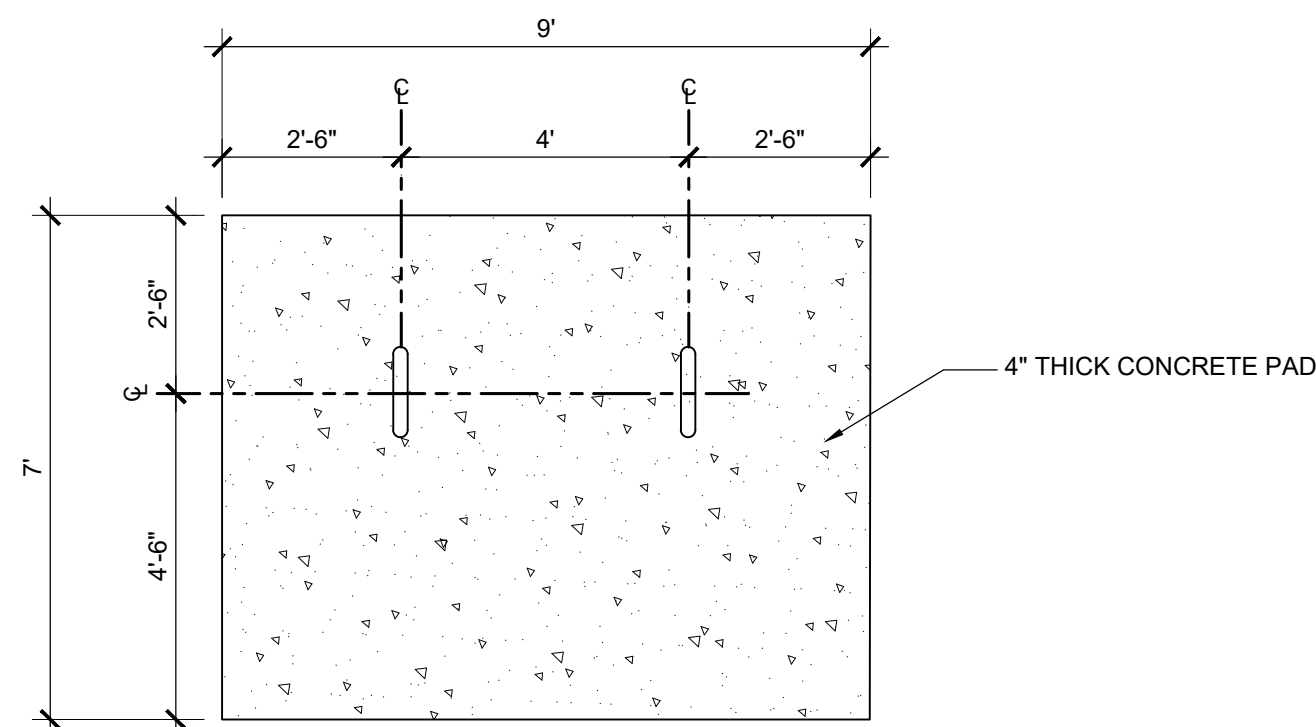
BAND:
3/8" TOOLED EDGE & SCORE JOINT
1/3 DEPTH OF SLAB
w/ SMOOTH TROWEL FINISH



A STANDARD CONCRETE - WALKWAYS
SCALE: 1" = 1'-0"

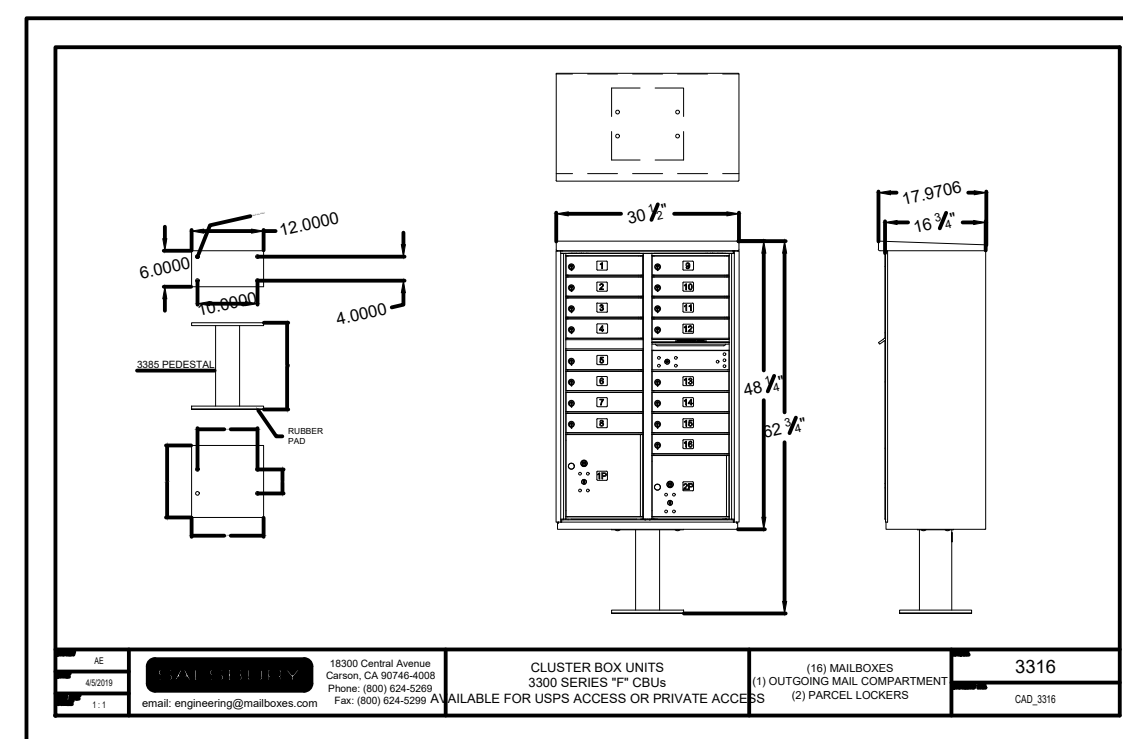
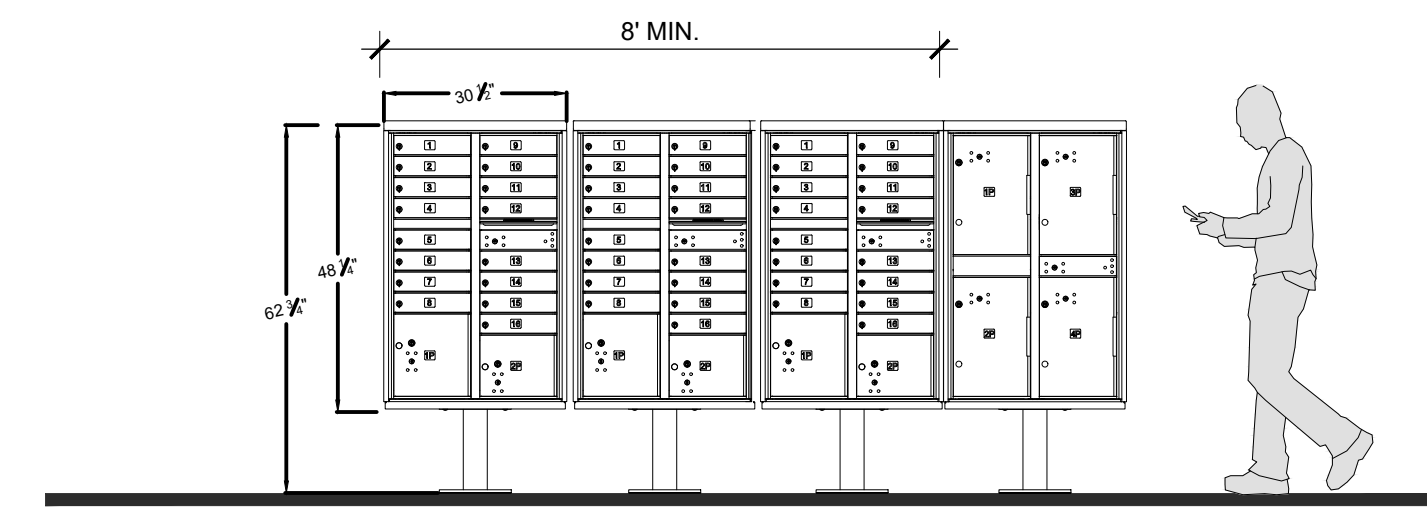
B DECORATIVE SCORED CONCRETE - WALKWAYS
SCALE: 1" = 1'-0"

C PRIVATE ENTRY STAIRS, TYP.
SCALE: 3/4" = 1'-0"



NOTES:

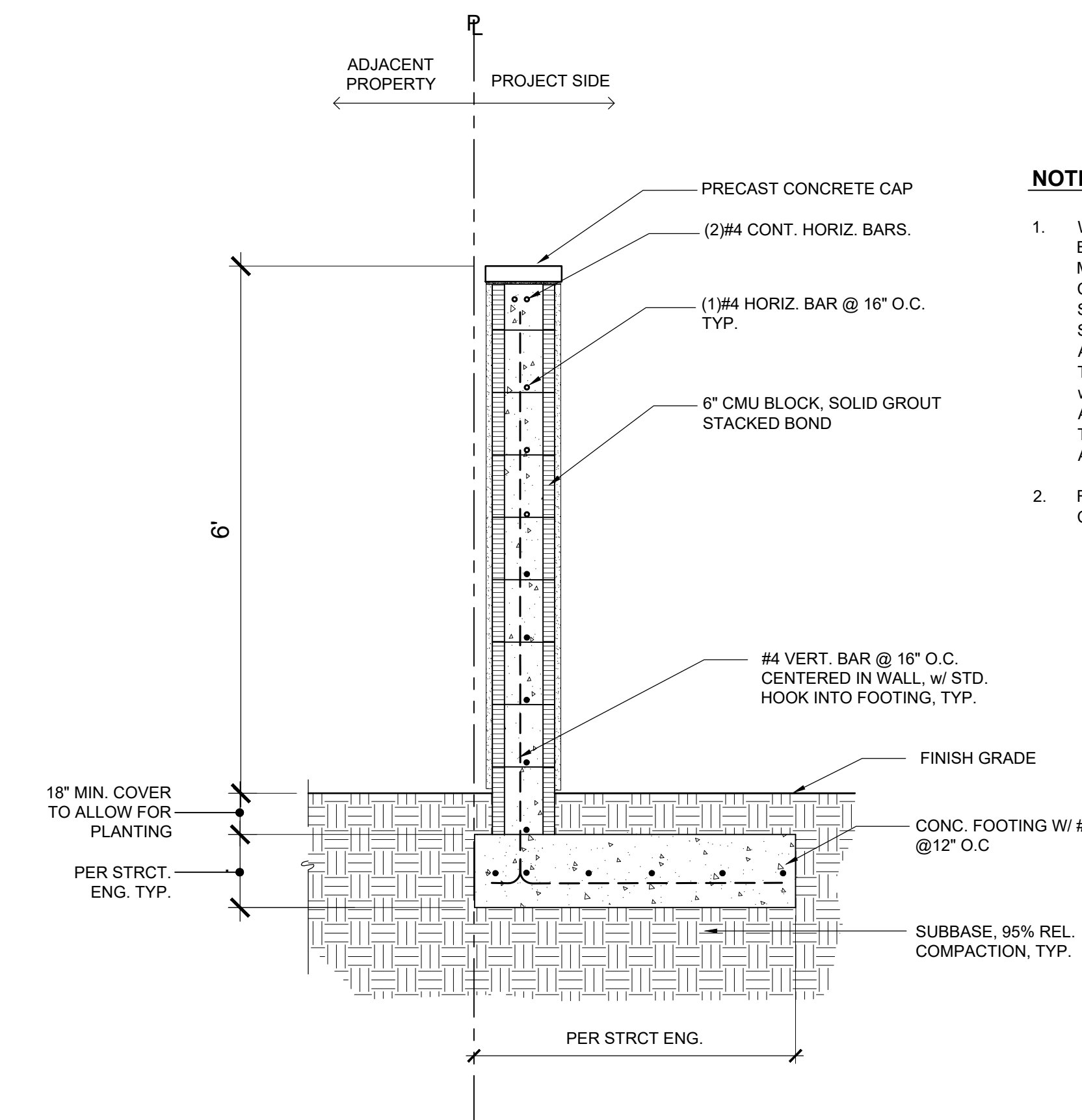
1. "TRIO" BIKE RACK, MODEL # SKTRO.
• POWDERCOAT COLOR: SLATE TEXTURE
• QUANTITY: 8 (16 PARKING SPOTS)
2. AVAILABLE THROUGH: FORMS+SURFACES
(800)-451-0410/ www.forms-surfaces.com



D SHORT TERM/ GUEST BICYCLE PARKING
SCALE: 3/8" = 1'-0"

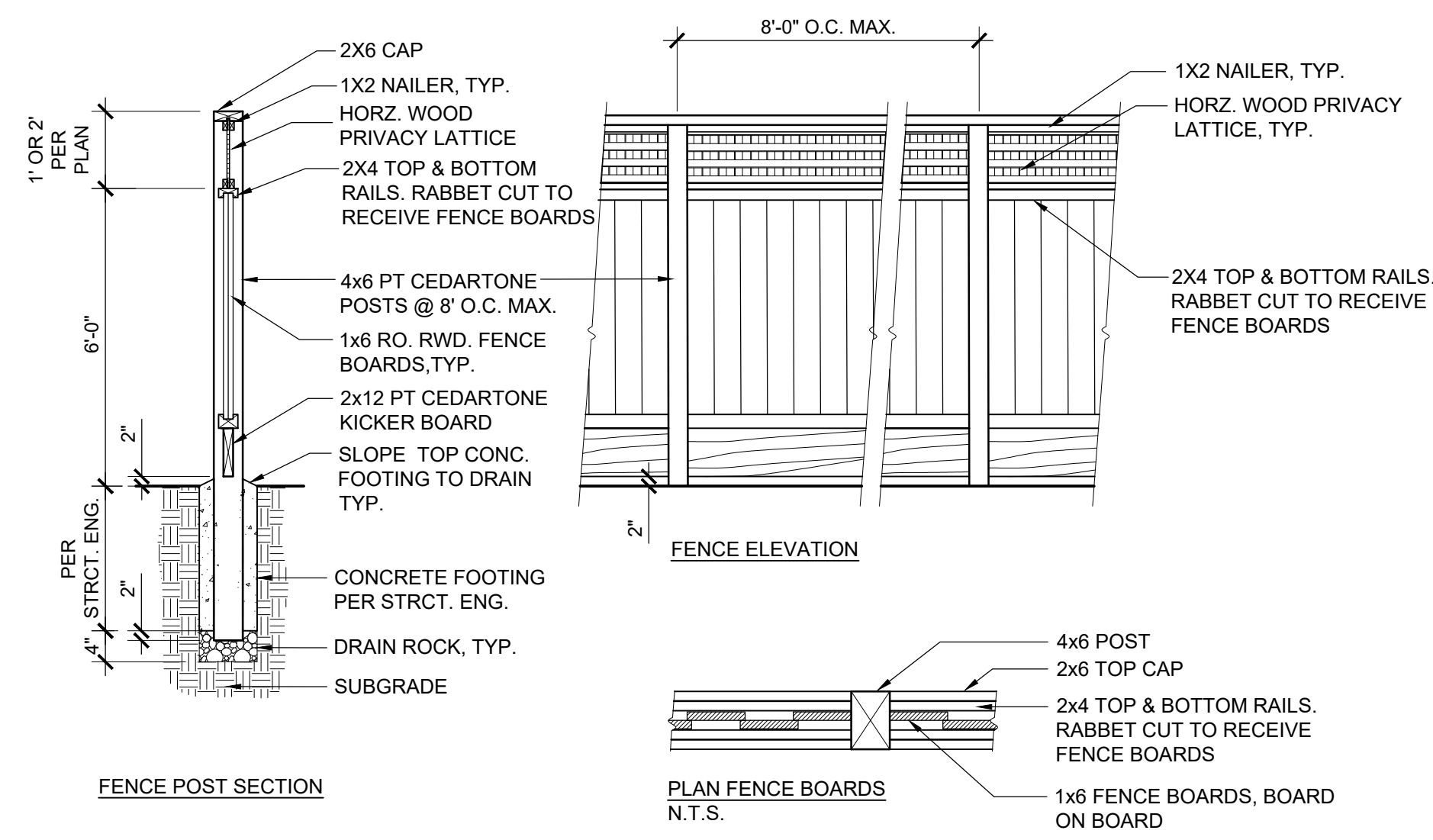
E MAILBOX KIOSK
SCALE: 3/8" = 1'-0"

F 6' MASONRY WALL
SCALE: 3/4" = 1'-0"



NOTES:

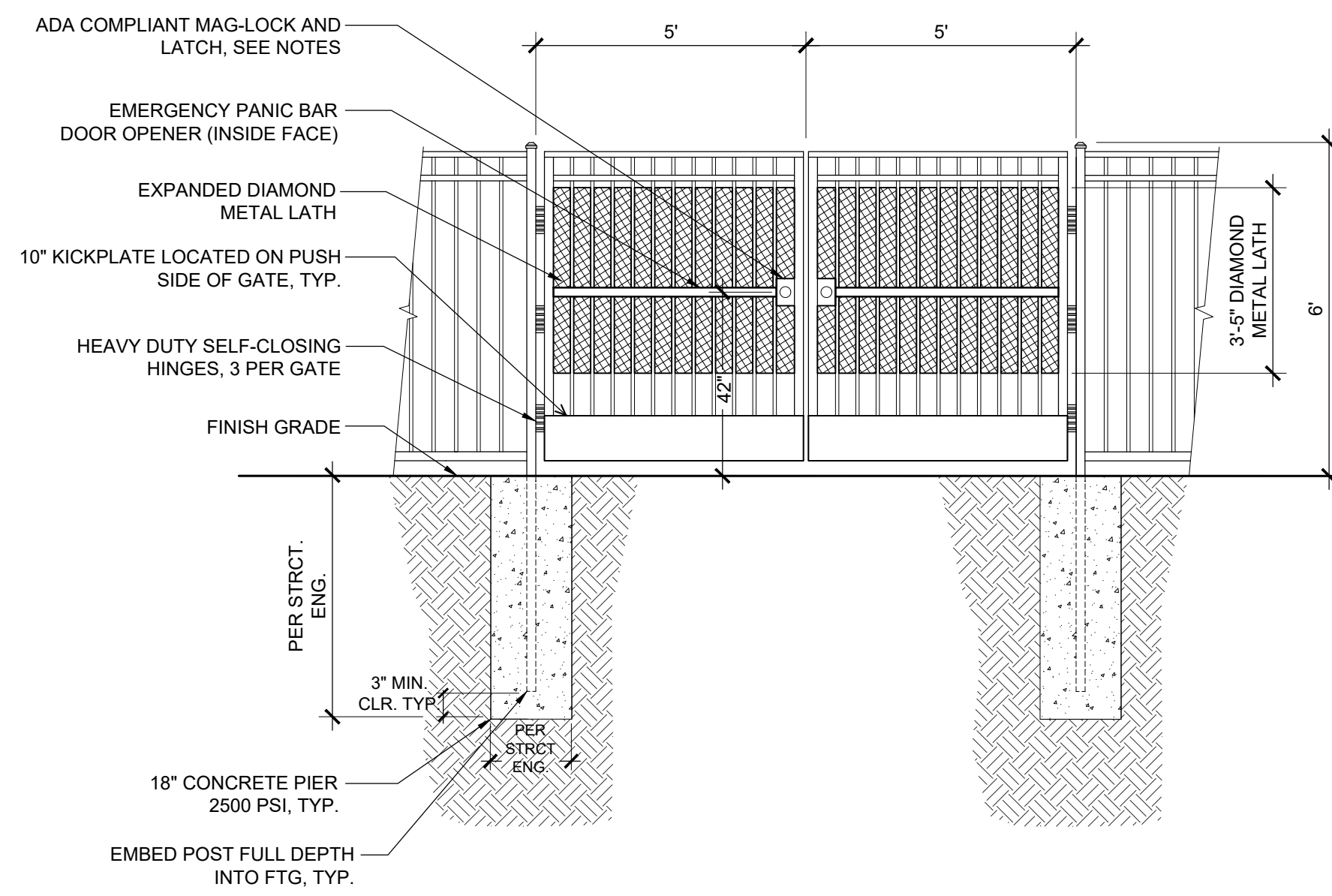
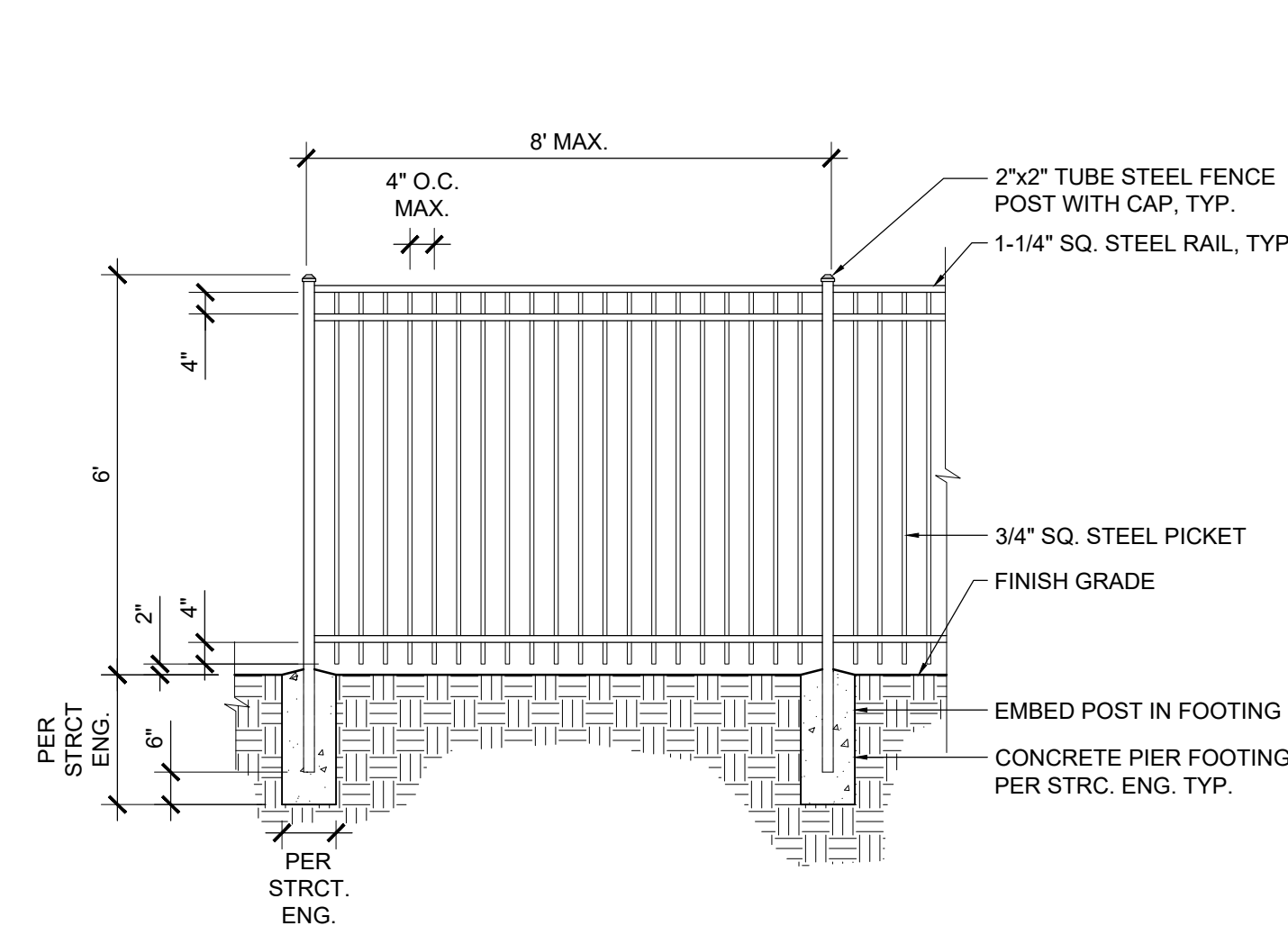
1. WALL TO BE 8x8x16 PRECISION BLOCK, STACKED BOND w/ MATCHING WALL CAP. COLOR-TYP. CONTRACTOR TO SUBMIT COLOR SAMPLE & CUT SHEETS TO OWNER FOR APPROVAL. AVAILABLE THROUGH: RCP BLOCK, www.rcpblock.com OR EQ. SUBMIT ANY PROPOSED SUBSTITUTIONS TO PROJECT OWNER FOR APPROVAL.
2. FOOTING, REBAR AND ALL CONNECTIONS PER STRC. ENG.



NOTES

1. ALL POSTS & KICKER SHALL BE PRESSURE TREATED CEDARTONE. ALL OTHER WOOD SHALL BE CON. HEART REDWOOD OR RED CEDAR AS SELECTED BY OWNER.
2. METAL HARDWARE TO BE ZINC-PLATED STEEL, BLACK ENAMEL FINISH OR APPROVED EQUIVALENT.
3. CONTRACTOR TO PROVIDE CUT SHEETS FOR GATE HARDWARE (LATCH AND HINGES) TO OWNER FOR APPROVAL.

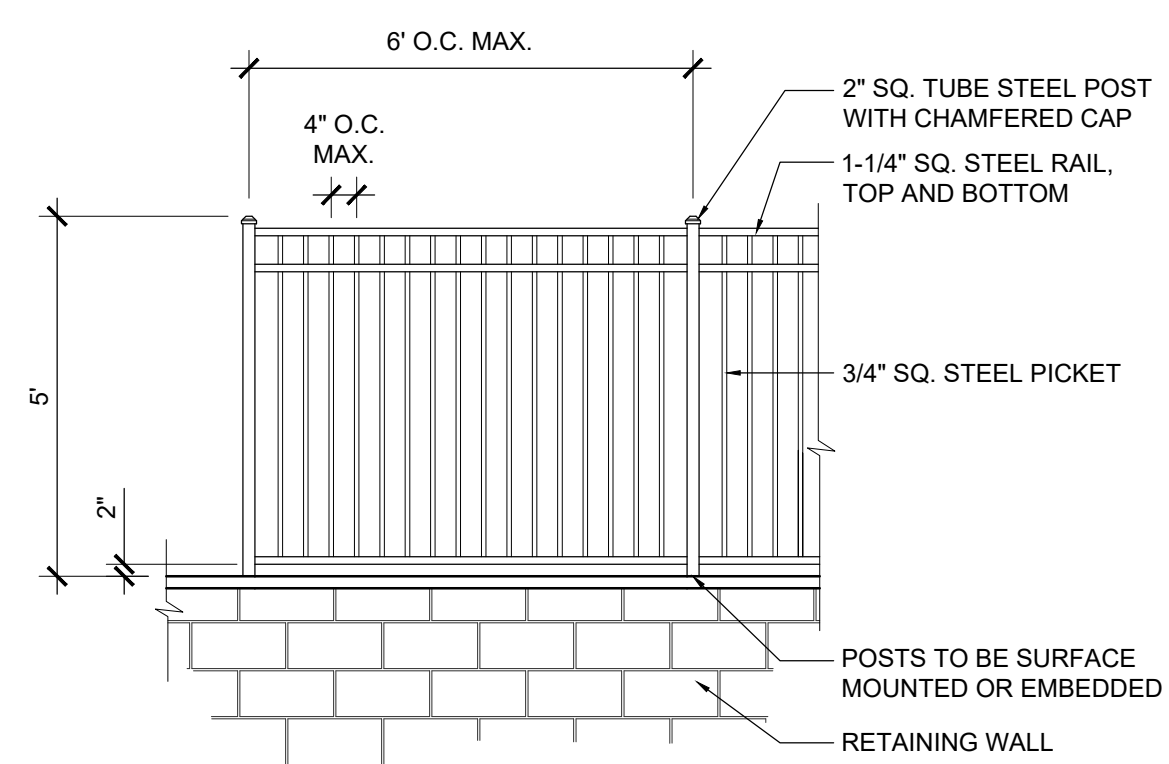
A 6' WOOD FENCE + 1' OR 2' LATTICE
SCALE: 3/8" = 1'-0"



NOTES:

1. CONTRACTOR TO PROVIDE ALL HARDWARE, HANDLES/LATCHES & EMERGENCY EXIT PANIC BAR BY DAC INDUSTRIES OR APPROVED EQUIVALENT. PHONE: (800) 888-9768 www.dacindustries.com
2. ENTRY AND EXIT HARDWARE SHALL BE MOUNTED 42" ABOVE FINISH GRADE.
3. GATES SHALL BE SELF CLOSING & SELF LATCHING & SHALL OPEN OUTWARD AS SHOWN ON PLANS.
4. STEEL BAR FENCE. SHOP PRINT AND PAINT WITH ZINC-RICH PRIMER & 2 COATS ENAMEL PAINT. COLOR TO BE BLACK. SUBMIT FENCE CUT SHEETS AND COLOR SAMPLES TO OWNER FOR APPROVAL.
4. CONTRACTOR TO PROVIDE KNOX BOX W/ ACCESS KEYS FOR EMERGENCY FIRE ACCESS. KNOX BOX TO BE DARK BRONZE. INSTALL PER MANUFACTURER'S DIRECTION. TYPE AND LOCATION SHALL BE APPROVED BY FIRE DEPARTMENT.
5. ALL CONNECTIONS TO BE WELDED & GROUND SMOOTH.
5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS & EQUIPMENT CUT SHEETS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
6. MINIMUM CONCRETE FC = 2500 PSI
7. ALL HARDWARE EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED.
8. THE TOP 24" OF SOIL HAVE BEEN NEGLECTED IN FOOTING CALCULATIONS PER GEO-TECH RECOMMENDATIONS.

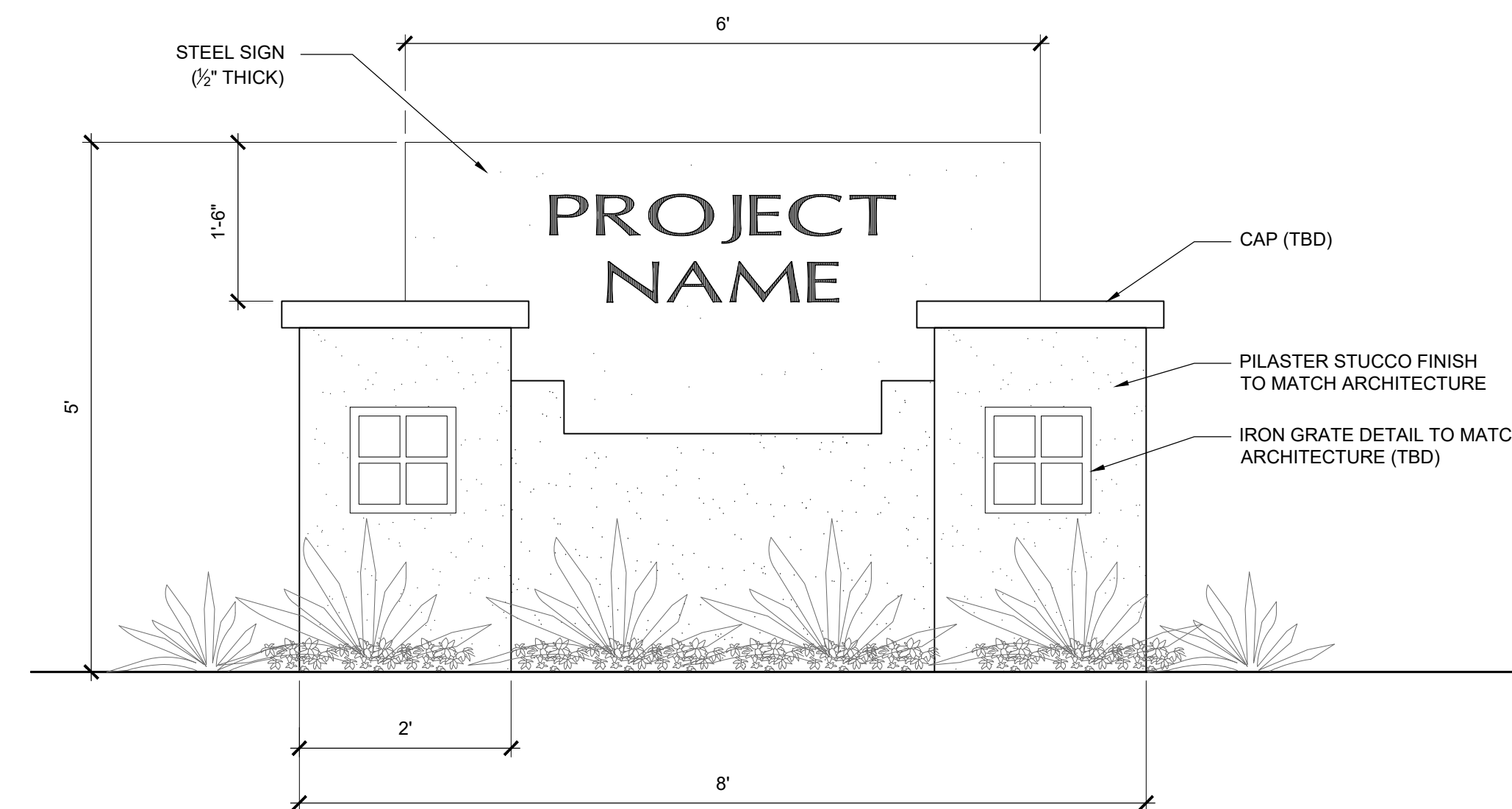
B 6' TUBE STEEL FENCE w/ GATE
SCALE: 3/8" = 1'-0"



NOTES:

1. SHOP PRIME AND PAINT WITH ZINC-RICH PRIMER AND 2 COATS ENAMEL. COLOR TO BE DARK BRONZE.
2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.
3. TYPICAL POST SPACING @ 6' O.C. MAX.

C 5' TUBE STEEL GUARDRAIL
SCALE: 3/8" = 1'-0"



D MONUMENT SIGN
SCALE: 3/4" = 1'-0"



SEE PHOTOMETRIC PLANS FOR LIGHT FIXTURE DETAILS & NOTES

NOTES:

1. RETAINING WALL SHALL BE CALWALLS 9"W BLOCK WALL SYSTEM w/ WALL CAP. BOTH BY CALWALLS. www.calwalls.com, 707.745.0200
2. WALL FINISH TO BE 'TAN BROWN'
3. ALL WALL CAP OVERHANGS SHALL FACE OPPOSITE FROM WALKS AND RAMPS
4. SEE CIVIL PLANS FOR WALL HEIGHTS AND STRUCTURAL PLANS FOR ALL FOOTINGS AND CONNECTIONS

E RETAINING WALL
SCALE: N/A

F PRIVATE STREET LIGHT, POST TOP
SCALE: N/A

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS	SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS	SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS	
TREES						SHRUBS						VINE/ESPALIER						
	ACE SAN	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	15 gal	M, 15HX15W Install size : 3-5' W		CAR DIV	Carex divisa	European Grey Sedge	1 gal	L 1.5H x 1.5 W		HAR TRE	Hardenbergia violacea 'Happy Wanderer'	Lilac Vine Trellis	15 gal	M	
	ACE ARM	Acer rubrum 'Armstrong'	Armstrong Red Maple	24"box	M 25'30" H X 15' W		CAR CAL	Carpenteria californica	Bush Anemone	5 gal	M 5-7' HX 4-6'W NATIVE Butterfly, Bees		ROS CCB	Rosa x 'Cecile Brunner'	Cecile Brunner Climbing Rose	15 gal	L	
	ARB MAR	Arbutus x 'Marina'	Marina Strawberry Tree Standard	24"box	L 20-30' H X 25-35' W		CEA ANC	Ceanothus gloriosus 'Anchor Bay'	Anchor Bay Point Reyes Ceanothus	5 gal	L 2-3H X 4' W NATIVE Butterfly, bees	SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	REMARKS
	CAT BIG	Catalpa Tashkentensis 'Pink Dawn'	Southern Catalpa	24"box	M, 20-30'H x 20'-30'W		DIETES	Diets grandiflora 'Variegata'	Striped Fortnight Lily	5 gal	L 3-4' H x 2-3' W		CAR PAN	Carex pansa	Sanddune Sedge	5 gal	12" o.c.	M
	CER WE2	Cercis occidentalis	Multi-Trunk Western Redbud	15 GAL MULTI	VL 10-15 H X 10-15 W		EPI CNL	Epilobium canum 'Catalina'	Catalina California Fuchsia	5 gal	L 3-4' H x 4-5' W NATIVE Birds Butterflies		NO MOW	NoMow Fescue	NoMow Fescue Sod	SOD		Available at Delta Blue Grass, www.deltabluegrass.com/ Phone #: 1-(800)-637-8873
	CER OCC	Cercis occidentalis	Western Redbud	24"box	VL - 10-18'H X 10'18'W -- NATIVE		ERI WAY	Erigeron glaucus 'Wayne Roderick'	Seaside Daisy	1 gal	L 1' H x 1-2' W NATIVE Butterfly, Bees	NOTES:						
	CRA PHA	Crataegus phaenopyrum	Washington Hawthorn	15 gal	M 20-25'H X 15-20' W		ERI GRA	Eriogonum grande rubescens	Red Buckwheat	5 gal	L 1-2' H x 2-3' W NATIVE Butterfly, bee, bird	1. THIS PLANT LIST IS SUBJECT TO CHANGE. SUBSTITUTIONS OF SIMILAR PLANTS IN FORM, SHAPE AND WATER USE MAY BE USED IN RESPONSE TO CHANGING ENVIRONMENTAL & CLIMATIC CONDITIONS, INCLUDING BUT NOT LIMITED TO; CLIMATE CHANGE, PESTS AND/OR DISEASE, THE AVAILABILITY OF NEW AND IMPROVED CULTIVARS, AND NURSERY STOCK AVAILABILITY.						
	GIN EGP	Ginkgo biloba 'Goldspire' PPAF	Ginkgo Goldspire	24"box	M -14-16' H x 5-6' W		FES CAL	Festuca californica	California Fescue	5 gal	L 1-2' H x 2-3' W NATIVE - Butterfly	2. THE PROPOSED PLANTING WITHIN THE BIO-RETENTION AREAS WILL BE IN COMPLIANCE WITH THE APPROVED PLANTS LISTED IN APPENDIX D OF THE SCVURPPP C.3 HANDBOOK.						
	GIN PSG	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	24"box	M, 40-50' H X 10-15' W		FES ID2	Festuca idahoensis	Idaho Fescue	5 gal	L- 1-2'Hx 1'W NATIVE Butterfly							
	HYM FLA	Hymenoporus flavum	Sweetshade	36"box	M 25-35' H x 15-20' W		FES MAI	Festuca mairei	Atlas Fescue	5 gal	L 2-3' H x 2-3' W							
	JUN MED	Juniperus scopulorum 'Medora'	Medora Juniper	15 gal	L 10' H X 2-3' W		FES OVI	Festuca ovina glauca	Blue Fescue	1 gal	M 1 H x 1-2' W							
	JUN SK2	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	15 gal	L 15' H X 2-3' W		GAL SPE	Galvezia speciosa	Island Snapdragon	5 gal	L 3-4' H x 4-5' W NATIVE Butterfly, Birds							
	KOE BIP	Koelreuteria bipinnata	Chinese Flame Tree	24"box	M, 20-40'H X 20'35'W		GRE COA	Grevillea lanigera 'Coastal Gem'	Coastal Gem Grevillea	5 gal	L 2' H X 4' W							
	LAG NAT	Lagerstroemia x 'Natchez'	Crape Myrtle	24"box	L-20-25' H 10-15' W		HEB COE	Hebe x 'Coed'	Coed Hebe	5 gal	M 2-3' H x 2-3' W							
	LAU XSA	Laurus x 'Saratoga'	Saratoga Hybrid Laurel	24"box	M, 15-35' H X 15-30'W		HEU MAX	Heuchera maxima	Island Alum Root	5 gal	M 1' H x 1-2' W							
	LOP CON	Lophostemon confertus	Brisbane Box	24"box	M 30-45' H x 25' W-STREET TREE		KEC WSD	Keckiella corymbosa	Redwood Keckiella	5 gal	L- 3'H X 2' W - NATIVE Butterfly							
	LYO FLO	Lyonothamnus floribundus	Catalina Ironwood	24"box	L - 25-45'H X 15'-24'W -- NATIVE		LAU YAM	Laurus nobilis 'MonRIK' TM	Little Ragu Sweet Bay	5 gal	L 6-8' H x 6-8' W							
	OLE WIL	Olea europaea 'Wilsonii' -STD	Wilson Olive	24"box	VL-15-25'H x 20' W		LAV ASS	Lavatera assurgentiflora	Mallow	5 gal	L 5-10' H x 5-10' W							
	PIS KEI	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	24"box	L 30-60'H X 30-60' W		LAV THU	Lavatera thuringiaca barnsley	Tree Mallow	5 gal	L 6-8 H X 6 W							
	PRU CAR	Prunus caroliniana	Carolina Laurel Cherry	15 gal	M 8-12' H X4-6'W		LIM PER	Limonium perezii	Statice	5 gal	L 2-3' H x 2-3' W							
	PRU VES	Prunus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Purple-leaf Plum	15 gal	M, 18-20'H X 12'-15'W		LIR GIG	Liriope gigantea	Giant Liriope	5 gal	M 2' H X 2' W							
	PRU LYO	Prunus ilicifolia lyonii	Catalina Cherry	24"box	L-15-25'H X 15-20'W - NATIVE		LIR SUN	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lirioturf	5 gal	M 1' H X 1' X							
	PRU ENG	Prunus laurocerasus	English Laurel	15 gal	M,8-12'W X 20-30'H		MIM AUR	Mimulus aurantiacus	Sticky Monkeyflower	5 gal	VL 2-3' H x 2-3' W NATIVE Butterfly, Bird, Bees							
	PRU AMA	Prunus serrulata 'Amanogawa'	Japanese Flowering Cherry	15 gal	M 15' H X 8' W		MUH RIG	Muhlenbergia rigens	Deergrass	5 gal	L 4-5' H x 4-6' W NATIVE Butterfly							
	QUE AGI	Quercus agrifolia	Coast Live Oak	60"box	VL-20-70' H x 20-70' W-- NATIVE		OLE FWI	Olea europaea 'Montra Little Ollie'	Little Ollie Dwarf Olive	5 gal	VL 6-8' H x 4-5' W							
	ULM DRA	Ulmus parvifolia 'Drake'	Drake Lacebark Elm	24"box	L 35-45'H X 35-50'W		PEN MOU	Pennisetum alopecuroides 'Moudry'	Moudry Fountain Grass	5 gal	L 2' H x 3' W							
	ZEL CIT	Zelkova serrata 'City Sprite'	City Sprite Compact Zelkova	36"box	M 24' H X 18' W		PER FIL	Perovskia atroplicifolia 'Filigran'	Filigran Russian Sage	5 gal	L 2-3' H X 3' W							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS		PHO AMR	Phormium x 'Amazing Red'	Amazing Red New Zealand Flax	5 gal	L 18-24" H x 18"-24" W							
SHRUBS							PHO YEL	Phormium x 'Yellow Wave'	New Zealand Flax	5 gal	L 3-4' H x 3-4' W							
	ACH MIL	Achillea millefolium	Common Yarrow	1 gal	L 2'Hx3'W NATIVE Butterfly bees		PIT W14	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum	5 gal	L 2-3' H x 4-5' W							
	ACH LAL	Achillea millefolium 'La Luna'	La Luna Common Yarrow	1 gal	L 12-18" H x 2-3' W		PIT CRE	Pittosporum tobira 'Cream De Mint'	Cream de Mint Japanese Pittosporum	5 gal	L 3' H X 3-4' W							
	ANI BRD	Anigozanthos x 'Big Red'	Big Red Kangaroo Paw	5 gal	L 2-3' H X 1-2' W		POL MUN	Polystichum munitum	Western Sword Fern	5 gal	M 3-6' H x 3-6' W NATIVE Butterfly							
	ANI YEL	Anigozanthos x 'Yellow Gem'	Yellow Gem Kangaroo Paw	5 gal	L 2' H X 1' W		RHA CAL	Rhamnus californica	California Coffeeberry	5 gal	L 6-8' H x 6-8' W							
	ANI BUS	Anigozanthos x 'Bush Gold'	Kangaroo Paw	5 gal	L 2-3' H x 1-2' W		RHA EVE	Rhamnus californica 'Eve Case'	California Coffeeberry	5 gal	L 3-6H-4-6'W NATIVE Butterfly, Birds, Bees							
	ARC EM4	Arctostaphylos x Emerald Carpet	Groundcover Mazanita	5 gal	L 2' H x 4-6' W NATIVE		ROS CAL	Rosa californica	California Wild Rose	5 gal	L 4-8' H x 4-8' W NATIVE - Butterfly, Bird, Bee							
	ART AFS	Artemisia x 'Californica'	Califorina Artemisia	5 gal	L 1-8' H x 4' W		ROS TUS	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	5 gal	L 4-6' H X 2-4' W							
	BAP AUS	Baptisia australis	Blue Wild Indigo	5 gal	L 3-5' H x 3-4' W		SAL AL9	Salvia greggii 'Alba'	White Texas Sage	5 gal	L 3-4' H X 3'							
	CAL GVM	Callistemon viminalis 'Green John'	Green John Weeping Bottlebrush	5 gal	L 2-4' H x 2-3' W		SAN VIR	Santolina virens	Green Lavender Cotton	5 gal	L 2' H x 2-3' W							
SHRUBS							TEU CHA	Teucrium chamaedrys	Germander	5 gal	L 1-2' H x 2-3' W							
SHRUBS							TEU AZU	Teucrium fruticans 'Azureum'	Azure Bush Germander	5 gal	L 3-4' H x 4-5' W							
SHRUBS							WES WOY	Westringia fruticosa 'Gray Box'	Dwarf Coast Rosemary	5 gal	L 2-3' H x 2-3' W							
SHRUBS							ZAU CAL	Zauschneria californica 'Catalina'	California Fuchsia	5 gal	L 3' H X 4' W NATIVE - BUTTERFLY, BIRDS, BEES							
BIOSWALE PLANTING							ARC EME	Arctostaphylos x 'Emerald Carpet'	Emerald Carpet Manzanita	5 gal	L 2' H X 4-6' W NATIVE							
BIOSWALE PLANTING							BAC PEA	Baccharis pilularis 'Twin Peaks'	Twin Peaks Coyote Brush	5 gal	L 2-4' H X 6' W NATIVE							
BIOSWALE PLANTING							CHO TEC	Chondropetalum tectorum	Small Cape Rush	5 gal	L 2-3' H x 3-4' W							
BIOSWALE PLANTING							ERI GR2	Eriogonum grande rubescens	Red Buckwheat	1 gal	1' H X 1' W NATIVE							
BIOSWALE PLANTING							FES ID3	Festuca idahoensis	Idaho Fescue	5 gal	L 3' H X 2-3' W							
BIOSWALE PLANTING							GRE NOE	Grevillea x 'Noellii'	Noel Grevillea	5 gal	L 4-6' H x 6-8' W							
BIOSWALE PLANTING							JUN PAT	Juncus patens	California Gray Rush	1 gal	L 1-2' H x 1-2' W NATIVE Butterfly							
BIOSWALE PLANTING							MAH REP	Mahonia repens	Creeping Mahonia	5 gal	L 1-2' H X 3-4' W NATIVE							

V2309 50 Los Gatos-Saratoga Road
Los Gatos, CA
November 15, 2024

CONCEPTUAL PLANTING PALETTE
L3.0

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION

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VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
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2P 94103 PH (415) 864-9521 FAX (415) 864-4796



Acer rubrum Armstrong



Arbutus marina



Acer p. 'Sango-Kaku'



Catalpa Tashkentensis



Olea Europaea 'Wilsonii'



Ginkgo Princeton Sentry



Prunus ilicifolia Lyonii



Ulmus parvifolia



Quercus agrifolia



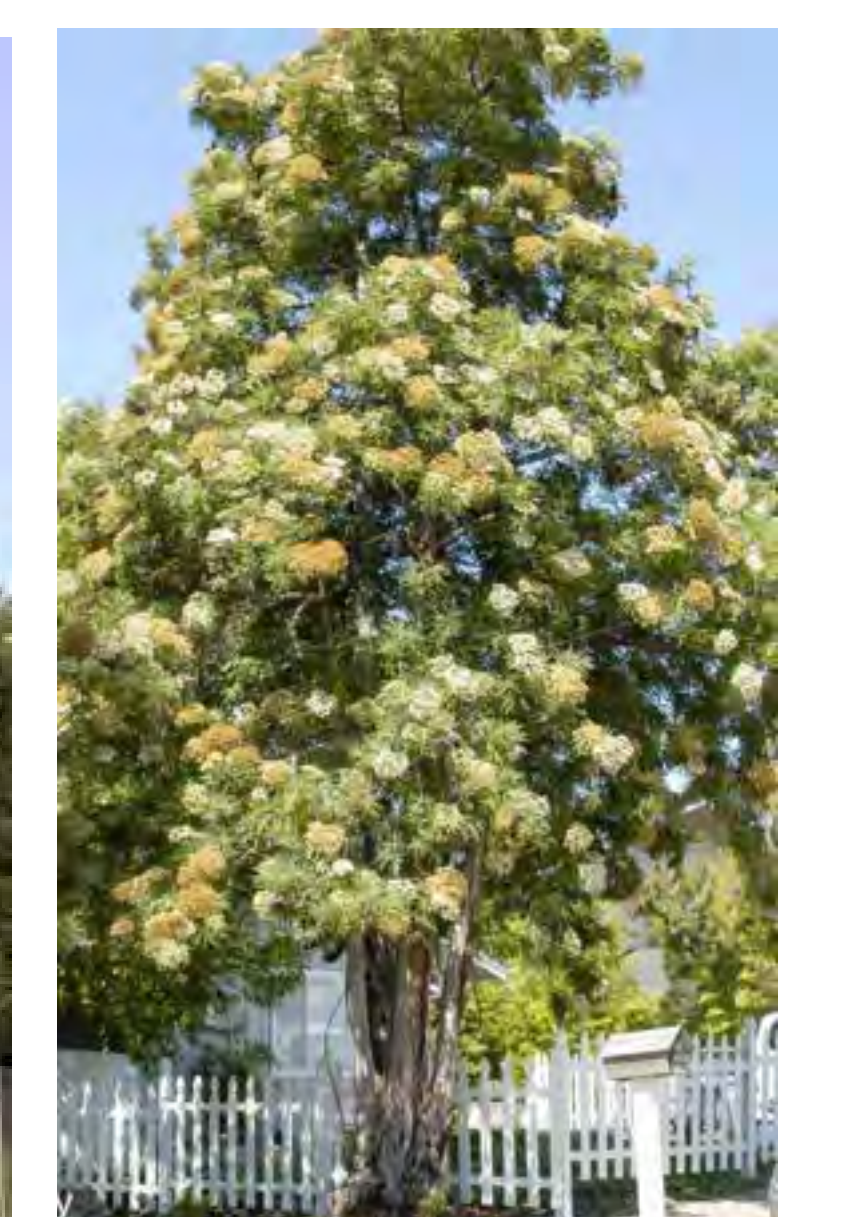
Lohpostemon confertus



Zelkova 'City Sprite'



Laurus 'Saratoga'



Lyonothamnus floribundus



Lagerstroemia



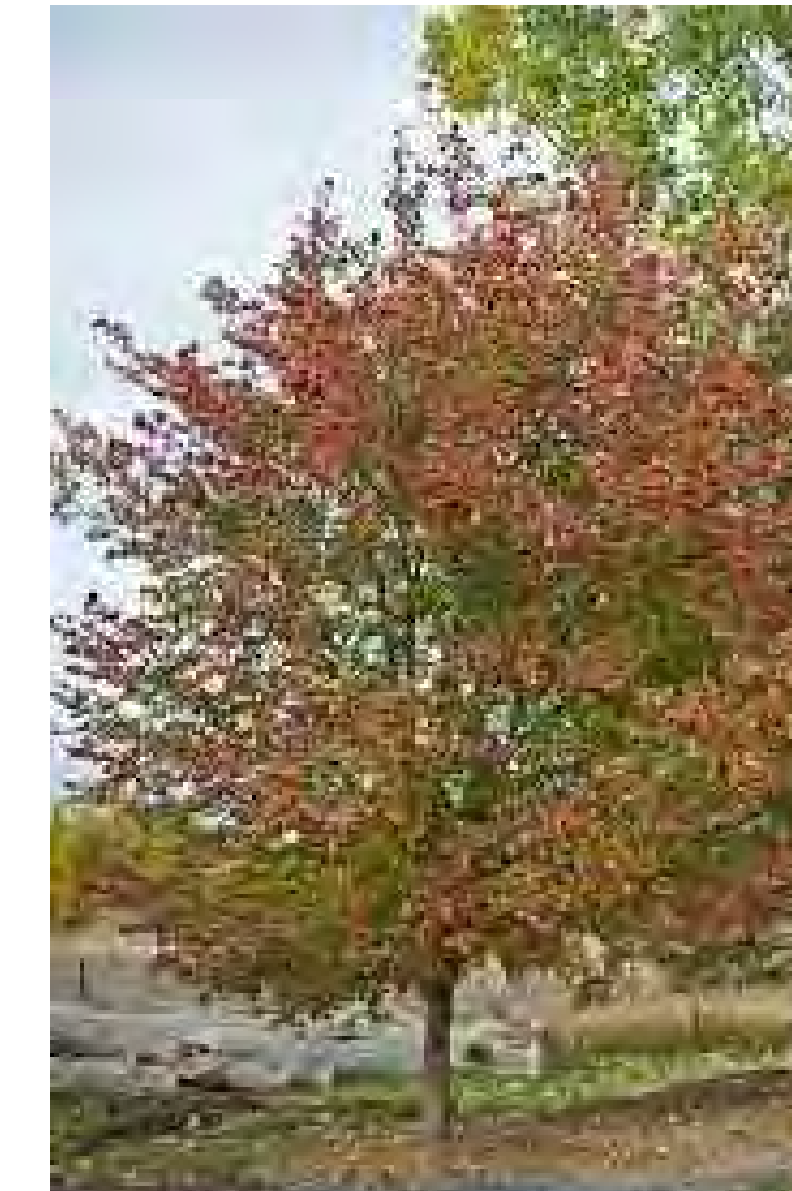
Cercis occidentalis



Juniperus s. Medora



Prunus serrulata Amanogawa



Crataegus phaenopyrum



Prunus s. 'Krauter Vesuvius'



Koelreuteria bipinnata

TREES



Rosemary



Hebe-coed



Arctostaphylos Emerald Carpet



Achillea millefolium



Erysium Bowles Mauve



Grevillea noelli



Grevillea noellii flower



Rosa californica



Artemisia californica



Ceanothus



Baccharis pilularis 'Twin Peaks'



Mimulus aurantiacus



Diets



Galvezia speciosa



Anigozanthos Yellow Gem



Anigozanthos Bush Gold



Lavatera thuringiaca



Little Ollie



Rhamnus californica



Carpenteria californica



Epilobum canum



Callistemon viminalis 'Green John'



Limonium perezii



Laurus nobilis 'Monrik'



Erigeron glaucus 'Wayne Roderick'



Erigeron karvinskianus



Salvia clevelandii



Westringia Grey Box



Muhlenbergia



Pittosporum tobira 'Wheeler's Dwarf'



Liriope gigantea



Liriope muscari Silvery Sunproof



Phormium



Pittosporum Wheelers Dwarf



Festuca ovina glauca



Teucrium chamaedrys



Pittosporum tobira Creme de Mint



Festuca mairei

SHRUBS & GROUND COVER



Cercis occidentalis



Arctostaphylos x 'Emerald Carpet'



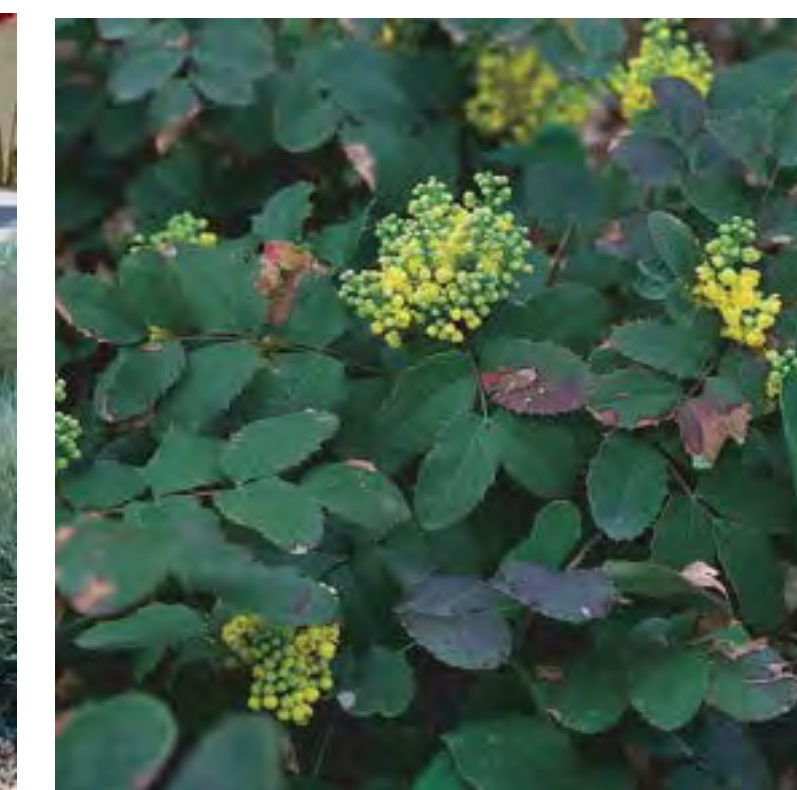
Chondropetalum tectorum



Eriogonum grande rebescens



Festuca idahonensis



Mahonia repens



Baccharis pilularis



Juncus patens

BIORETENTION PLANTS

V2309 50 Los Gatos-Saratoga Road

Los Gatos, CA
November 15, 2024



SHRUB/GROUND COVER /BIORETENTION PLANT IMAGERY

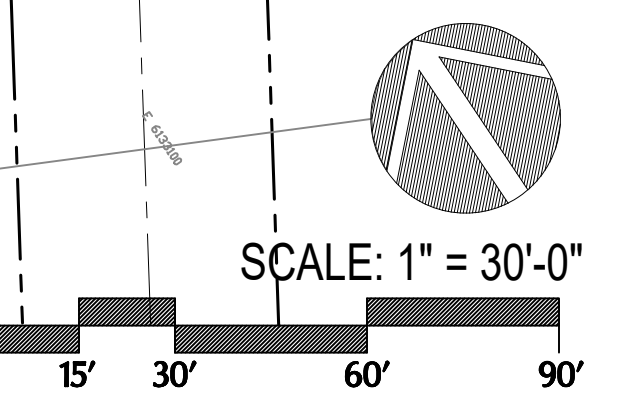
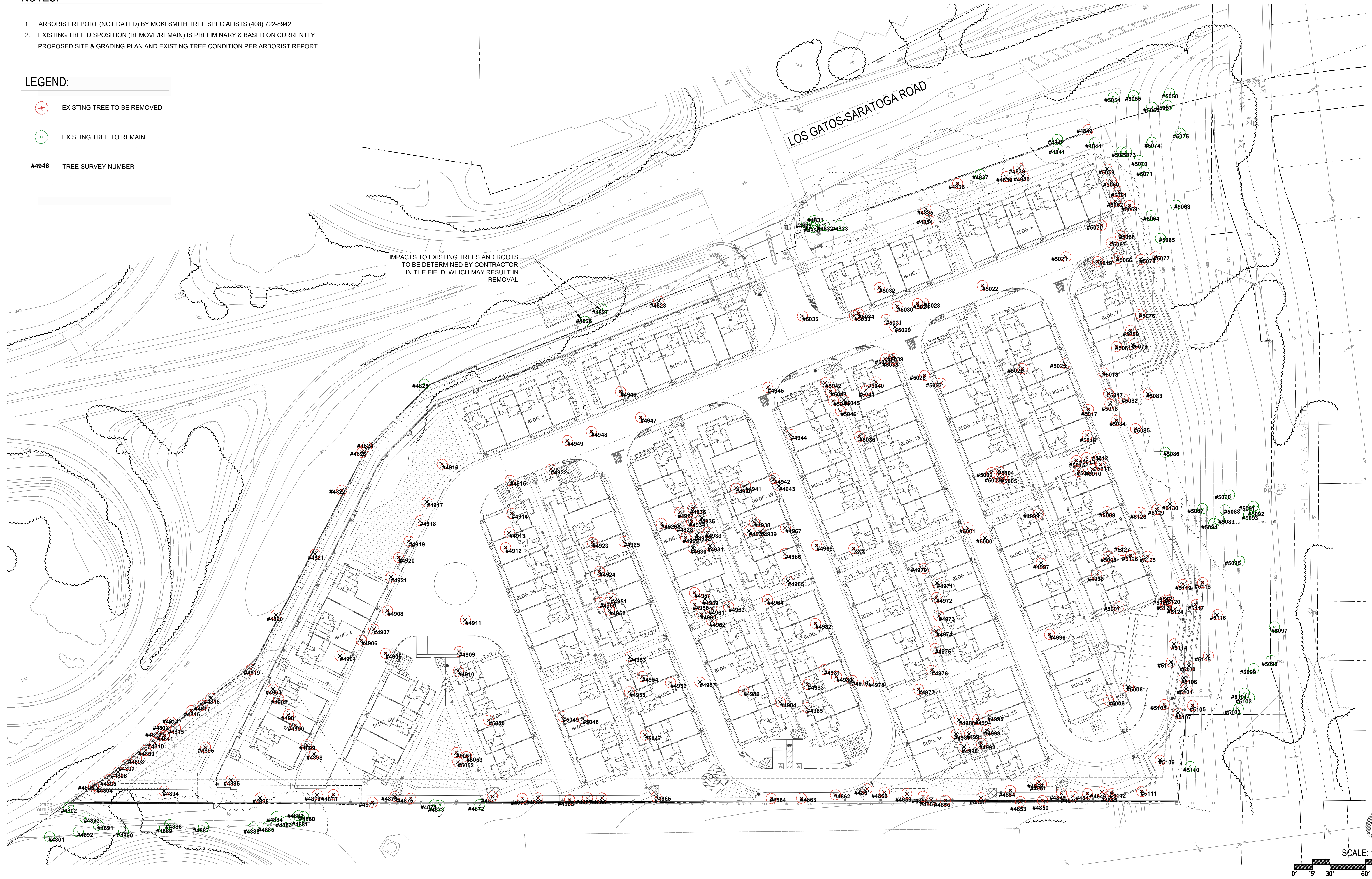
L3.2

NOTES:

1. ARBORIST REPORT (NOT DATED) BY MOKI SMITH TREE SPECIALISTS (408) 722-8942
2. EXISTING TREE DISPOSITION (REMOVE/REMAIN) IS PRELIMINARY & BASED ON CURRENTLY PROPOSED SITE & GRADING PLAN AND EXISTING TREE CONDITION PER ARBORIST REPORT.

LEGEND:

-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO REMAIN
- #4946 TREE SURVEY NUMBER



V2309 50 Los Gatos-Saratoga Road
 Los Gatos, CA
 November 15, 2024

EXISTING TREE DISPOSITION PLAN
 L4.0

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remain	4801	Coast Live Oak	Quercus agrifolia	14	28	28	Good	Protected
Remain	4802	Blue Gum Eucalyptus	Eucalyptus globulus	18	34	20	Fair	Exempt
Remove	4803	Coast Live Oak	Quercus agrifolia	14	35	32	Good	Protected
Remove	4804	Blue Gum Eucalyptus	Eucalyptus globulus	9	44	9	Fair	Exempt
Remove	4805	Eucalyptus nicholii	Eucalyptus nicholii	24	42	33	Good	Protected
Remove	4806	Eucalyptus nicholii	Eucalyptus nicholii	18	35	29	Fair	Exempt
Remove	4807	Eucalyptus nicholii	Eucalyptus nicholii	17	25	27	Fair	Exempt
Remove	4808	Eucalyptus nicholii	Eucalyptus nicholii	18	35	33	Fair	Exempt
Remove	4809	Eucalyptus nicholii	Eucalyptus nicholii	30	57	38	Good	Protected
Remove	4810	Blue Gum Eucalyptus	Eucalyptus globulus	8	40	15	Fair	Exempt
Remove	4811	Eucalyptus nicholii	Eucalyptus nicholii	19	40	25	Good	Exempt
Remove	4812	Texas Privet Tree	Ligustrum japonicum 'texanum'	Multi - 5" 3" 4"	40	19	Fair	Exempt
Remove	4813	American Sycamore	Platanus occidentalis	15	55	22	Fair	Protected
Remove	4814	American Sycamore	Platanus occidentalis	14	45	25	Fair	Protected
Remove	4815	Eucalyptus nicholii	Eucalyptus nicholii	23	42	38	Fair	Exempt
Remove	4816	Coast Live Oak	Quercus agrifolia	9	24	13	Fair	Protected
Remove	4817	Eucalyptus nicholii	Eucalyptus nicholii	27	55	60	Good	Protected
Remove	4818	Eucalyptus	Eucalyptus (sp)	20	52	35	Good	Exempt
Remove	4819	Eucalyptus nicholii	Eucalyptus nicholii	38	50	40	Good	Protected
Remove	4820	Flowering Pear Tree	Pyrus calleryana	6	18	8	Fair	Exempt
Remove	4821	Coast Live Oak	Quercus agrifolia	10	25	18	Good	Protected
Remove	4822	Blue Gum Eucalyptus	Eucalyptus globulus	17	60	25	Good	Exempt
Remove	4823	Coast Live Oak	Quercus agrifolia	22	50	38	Good	Protected
Remove	4824	Blue Gum Eucalyptus	Eucalyptus globulus	9	47	9	Good	Exempt
Remain	4825	Coast Live Oak	Quercus agrifolia	10	35	18	Good	Protected
Remain	4826	Coast Live Oak	Quercus agrifolia	14	38	27	Fair	Large Protected Tree
Remain	4827	Coast Live Oak	Quercus agrifolia	13	45	35	Good	Protected
Remove	4828	Coast Live Oak	Quercus agrifolia	24	50	40	Good	Large Protected Tree
Remain	4829	Mexican Fan Palm	Washingtonia robusta	14	58	9	Good	Exempt
Remain	4830	Mexican Fan Palm	Washingtonia robusta	16	65	10	Good	Exempt
Remain	4831	Mexican Fan Palm	Washingtonia robusta	12	48	7	Good	Exempt
Remain	4832	Coast Live Oak	Quercus agrifolia	Multi - 12" 6" 5" 4"	39	34	Good	Large Protected Tree
Remain	4833	Valley Oak	Quercus lobata	9	42	21	Good	Protected
Remove	4834	Mexican Fan Palm	Washingtonia robusta	11	19	6	Good	Exempt
Remove	4835	Deodar Cedar	Cedrus deodara	10	45	32	Good	Protected
Remove	4836	Redwood	Sequoia sempervirens	14	33	18	Dead	Protected
Remain	4837	Redwood	Sequoia sempervirens	Multi - 10" 7"	44	17	Good	Protected
Remove	4838	Redwood	Sequoia sempervirens	7	33	10	Good	Protected
Remove	4839	Redwood	Sequoia sempervirens	30	65	25	Fair	Protected

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remove	4840	Deodar Cedar	Cedrus deodara	12	48	14	Good	Protected
Remain	4841	Redwood	Sequoia sempervirens	18	65	27	Fair	Protected
Remain	4842	Redwood	Sequoia sempervirens	18	70	30	Good	Protected
Remove	4843	Pepper Tree	Schinus molle	27	25	22	Very Poor	Protected
Remain	4844	Coast Live Oak	Quercus agrifolia	36	62	56	Good	Large Protected Tree
Remove	4845	Coast Live Oak	Quercus agrifolia	17	45	21	Fair	Protected
Remove	4846	Coast Live Oak	Quercus agrifolia	16	45	27	Fair	Protected
Remove	4847	Coast Live Oak	Quercus agrifolia	Multi - 17" 16"	45	43	Fair	Large Protected Tree
Remove	4848	Coast Live Oak	Quercus agrifolia	18	37	32	Fair	Protected
Remove	4849	Deodar Cedar	Cedrus deodara	19	50	31	Good	Protected
Remove	4850	Olive Tree	Olea europaea	Multi - 7" 6" 6" 4"	24	30	Fair	Protected
Remove	4851	English Walnut Tree	Juglans regia	11	45	35	Fair	Protected
Remove	4852	Coast Live Oak	Quercus agrifolia	12	48	35	Fair	Protected
Remove	4853	Coast Live Oak	Quercus agrifolia	20	43	28	Fair	Protected
Remove	4854	Redwood	Sequoia sempervirens	14	50	28	Good	Protected
Remove	4855	Blue Gum Eucalyptus	Eucalyptus globulus	28	28	12	Poor	Protected
Remove	4856	Blue Gum Eucalyptus	Eucalyptus globulus	28	34	18	Poor	Protected
Remove	4857	Blue Gum Eucalyptus	Eucalyptus globulus	12	23	14	Fair	Exempt
Remove	4858	Deodar Cedar	Cedrus deodara	12	53	22	Good	Protected
Remove	4859	Deodar Cedar	Cedrus deodara	14	65	33	Good	Protected
Remove	4860	Deodar Cedar	Cedrus deodara	15	70	40	Good	Protected
Remove	4861	Deodar Cedar	Cedrus deodara	11	31	13	Fair	Protected
Remove	4862	Stone Pine	Pinus pinea	13	35	27	Good	Protected
Remove	4863	Deodar Cedar	Cedrus deodara	8	32	24	Good	Protected
Remove	4864	Deodar Cedar	Cedrus deodara	13	44	35	Good	Protected
Remove	4865	Deodar Cedar	Cedrus deodara	27	65	40	Good	Protected
Remove	4866	Deodar Cedar	Cedrus deodara	6	21	10	Good	Protected
Remove	4867	Deodar Cedar	Cedrus deodara	6	22	11	Good	Protected
Remove	4868	Redwood	Sequoia sempervirens	8	22	13	Good	Protected
Remove	4869	Redwood	Sequoia sempervirens	7	22	11	Fair	Protected
Remove	4870	Stone Pine	Pinus pinea	6	27	10	Good	Protected
Remove	4871	Deodar Cedar	Cedrus deodara	21	65	41	Good	Protected
Remain	4872	Olive	Olea europaea	Multi - 9" 10"	22	23	Poor	Protected
Remain	4873	Coast Live Oak	Quercus agrifolia	11	33	25	Good	Protected
Remain	4874	Coast Live Oak	Quercus agrifolia	8	33	11	Good	Protected
Remove	4875	Coast Live Oak	Quercus agrifolia	20	52	27	Fair	Protected
Remove	4876	Coast Live Oak	Quercus agrifolia	16	55	32	Fair	Protected
Remove	4877	Coast Live Oak	Quercus agrifolia	50	55	55	Good	Large Protected Tree
Remove	4878	Blue Atlas Cedar	Cedrus atlantica 'Glauca'	10	40	20	Good	Protected
Remove	4879	Stone Pine	Pinus pinea	16	48	36	Good	Protected
Remain	4880	Blue Gum Eucalyptus	Eucalyptus globulus	23	65	35	Fair	Exempt
Remain	4881	Blue Gum Eucalyptus	Eucalyptus globulus	14	53	37	Good	Exempt
Remain	4882	Blue Gum Eucalyptus	Eucalyptus globulus	16	65	22	Fair	Exempt
Remain	4883	Eucalyptus nicholii	Eucalyptus nicholii	33	70	45	Good	Protected
Remain	4884	Blue Gum Eucalyptus	Eucalyptus globulus	37	73	50	Good	Protected
Remain	4885	Coast Live Oak	Quercus agrifolia	10	37	28	Good	Protected
Remain	4886	Coast Live Oak	Quercus agrifolia	11	40	30	Poor	Protected

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remain	4887	Coast Live Oak	Quercus agrifolia	33	64	55	Good	Large Protected Tree
Remain	4888	Coast Live Oak	Quercus agrifolia	24	65	41	Good	Large Protected Tree
Remain	4889	Coast Live Oak	Quercus agrifolia	11	27	23	Fair	Protected
Remain	4890	Coast Live Oak	Quercus agrifolia	Multi - 10" 8"	33	25	Good	Protected
Remain	4891	Coast Live Oak	Quercus agrifolia	27	55	30	Good	Large Protected Tree
Remain	4892	Eucalyptus nicholii	Eucalyptus nicholii	Multi - 21" 19"	65	50	Fair	Protected
Remain	4893	Blue Gum Eucalyptus	Eucalyptus globulus	17	65	33	Fair	Exempt
Remove	4894	Black Walnut	Juglans nigra	38	50	40	Poor	Protected
Remove	4895	Plum Pine	Podocarpus macrophyllus	7	18	13	Good	Protected
Remove	4896	Plum Pine	Podocarpus macrophyllus	8	22	7	Good	Protected
Remove	4897	Loquat	Eriobotrya japonica	Multi - 7" 9"	45	30	Good	Exempt
Remove	4898	Plum Pine	Podocarpus macrophyllus	8	18	7	Good	Protected
Remove	4899	Plum Pine	Podocarpus macrophyllus	9	18	8	Good	Protected
Remove	4900	Plum Pine	Podocarpus macrophyllus	8	20	9	Good	Protected
Remove	4901	Plum Pine	Podocarpus macrophyllus	7	20	9	Good	Protected
Remove	4902	Plum Pine	Podocarpus macrophyllus	7	20	9	Good	Protected
Remove	4903	Plum Pine	Podocarpus macrophyllus	5	20	7	Good	Protected
Remove	4904	Olive	Olea europaea	12	14	10	Fair	Protected
Remove	4905	Blue Gum Eucalyptus	Eucalyptus globulus	Multi - 37" 41"	80	67	Good	Large Protected Tree
Remove	4906	Olive	Olea europaea	Multi - 7" 6"	12	9	Fair	Protected
Remove	4907	Purple leaf Plum	Prunus cerasifera	Multi - 10" 13" 11"	34	38	Fair	Exempt
Remove	4908	Common Privet	Ligustrum vulgare	13	22	23	Good	Exempt
Remove	4909	Purple Leaf Plum	Prunus cerasifera	Multi - 8" 7"	32	23	Very Poor	Exempt
Remove	4910	Purple Leaf Plum	Prunus cerasifera	11	36	20	Very Poor	
Remove	4911	Silver Dollar Eucalyptus	Eucalyptus polyanthemos	27	47	39	Good	Protected
Remove	4912	Blue Gum Eucalyptus	Eucalyptus globulus	35	60	40	Good	Protected
Remove	4913	Plum Pine	Podocarpus macrophyllus	9	28	11	Good	Exempt
Remove	4914	Silver Dollar Eucalyptus	Eucalyptus polyanthemos	40	60	45	Good	Protected
Remove	4915	Stone Pine	Pinus pinea	24	60	47	Good	Protected
Remove	4916	Stone Pine	Pinus pinea	23	70	30	Fair	Protected
Remove	4917	Loquat	Eriobotrya japonica	8	24	9	Fair	Exempt
Remove	4918	Loquat	Eriobotrya japonica	8	26	12	Fair	Exempt
Remove	4919	Loquat	Eriobotrya japonica	8	26	11	Fair	Exempt
Remove	4920	Loquat	Eriobotrya japonica	6	21	10	Fair	Exempt
Remove	4921	Scarlet Firethorn	Pyraecantha coccinea	5	17	7	Fair	Protected
Remove	4922	Magnolia	Magnolia grandiflora	25	42	40	Fair	Protected
Remove	4923	Persian Silk Tree	Albizia julibrissin	11	38	33	Good	Protected
Remove	4924	Black Walnut	Juglans nigra	28	45	35	Fair	Protected
Remove	4925	Stone Pine	Pinus pinea	35	85	37	Good	Protected
Remove	4926	Stone Pine	Pinus pinea	28	80	35	Fair	Protected
Remove	4927	Chinese Pistache	Pistacia chinensis	12	48	37	Good	Protected
Remove	4928	Chinese Pistache	Pistacia chinensis	12	50	40	Good	Protected
Remove	4929	Chinese Pistache	Pistacia chinensis	8	22	14	Good	Protected
Remove	4930	Chinese Pistache	Pistacia chinensis	6	21	19	Good	Protected
Remove	4931	Chinese Pistache	Pistacia chinensis	6	12	11	Good	Protected
Remove	4932	Chinese Pistache	Pistacia chinensis	6	23	17	Good	Protected
Remove	4933	Chinese Pistache	Pistacia chinensis	10	23	12	Good	Protected
Remove	4934	Chinese Pistache	Pistacia chinensis	6	23	12	Good	Protected

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remove	4935	Chinese Pistache	Pistacia chinensis	6	21	14	Good	Protected
Remove	4936	Chinese Pistache	Pistacia chinensis	11	26	22	Good	Protected
Remove	4937	Olive	Olea europaea	10	14	9	Fair	Protected
Remove	4938	Olive	Olea europaea	Multi - 6" 4" 4"	14	11	Fair	Protected
Remove	4939	Olive	Olea europaea	11	16	10	Fair	Protected
Remove	4940	Olive	Olea europaea	Multi - 6" 5" 5"	17	11	Fair	Protected
Remove	4941	Olive	Olea europaea	8	10	6	Fair	Protected
Remove	4942	Black Walnut	Juglans nigra	14	42	39	Fair	Protected
Remove	4943	Black Walnut	Juglans nigra	14	42	35	Fair	Protected
Remove	4944	Monterey Cypress	Hesperocyparis macrocarpa	Multi - 8" 16" 16"	25	40	Good	Protected
Remove	4945	Monterey Cypress	Hesperocyparis macrocarpa	20	20	28	Good	Protected
Remove	4946	Smoke Tree	Cotinus coggygria	Multi - 8" 9" 6"	11	19	Fair	Protected
Remove	4947	Saucer Magnolia	Magnolia X soulangeana	Multi - 4" 5" 4"	19	13	Fair	Protected
Remove	4948	Persian Silk Tree	Albizia julibrissin	21	20	23	Fair	Protected
Remove	4949	Mexican Fan Palm	Washingtonia robusta	18	55	10	Good	Protected
Remove	4950	Mexican Fan Palm	Washingtonia robusta	8	23	9	Good	Protected
Remove	4951	Mexican Fan Palm	Washingtonia robusta	9	31	9	Good	Protected
Remove	4952	Mexican Fan Palm	Washingtonia robusta	6	38	8	Good	Protected
Remove	4953	Silver Maple	Acer saccharinum	6	45	13	Good	Protected
Remove	4954	Magnolia	Magnolia grandiflora	8	41	27	Good	Protected
Remove	4955	Silver Dollar Eucalyptus	Eucalyptus					

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remove	4978	Sweetgum	Liquidambar styraciflua	12	41	22	Good	Protected
Remove	4979	Sweetgum	Liquidambar styraciflua	18	51	31	Good	Protected
Remove	4980	Japanese Maple	Acer palmatum	10	23	20	Poor	Protected
Remove	4981	Loquat	Eriobotrya japonica	10	31	18	Fair	Exempt
Remove	4982	Deodar Cedar	Cedrus deodara	Multi - 34" 25"	75	45	Good	Protected
Remove	4983	Lemon Tree	Citrus Limon	Multi - 10" 4"	27	23	Good	Exempt
Remove	4984	Coast Live Oak	Quercus agrifolia	11	29	18	Good	Protected
Remove	4985	Mexican Fan Palm	Washingtonia robusta	14	45	9	Good	Exempt
Remove	4986	Brisbane Box	Lophostemon confertus	Multi - 8" 8"	36	24	Fair	Protected
Remove	4987	Saucer Magnolia	Magnolia X soulangeana	Multi - 9" 12"	35	26	Fair	Protected
Remove	4988	Coast Live Oak	Quercus agrifolia	15	44	41	Good	Protected
Remove	4989	Loquat	Eriobotrya japonica	Multi - 5" 5"	23	11	Fair	Exempt
Remove	4990	Monterey Cypress	Hesperocyparis macrocarpa	7	21	13	Fair	Protected
Remove	4991	Silver Dollar Eucalyptus	Eucalyptus eucalyptus	24	71	26	Fair	Protected
Remove	4992	Deodar Cedar	Cedrus deodara	13	55	31	Fair	Protected
Remove	4993	Monterey Cypress	Hesperocyparis macrocarpa	Multi - 7" 19" 10" 7"	36	27	Fair	Protected
Remove	4994	Monterey Cypress	Hesperocyparis macrocarpa	Multi - 10" 6" 13"	38	24	Fair	Protected
Remove	4995	Monterey Cypress	Hesperocyparis macrocarpa	10	28	10	Fair	Protected
Remove	4996	Deodar Cedar	Cedrus deodara	15	58	32	Fair	Protected
Remove	4997	Deodar Cedar	Cedrus deodara	16	52	34	Fair	Protected
Remove	4998	Deodar Cedar	Cedrus deodara	16	57	34	Fair	Protected
Remove	4999	Deodar Cedar	Cedrus deodara	16	54	38	Fair	Protected
Remove	5000	Canary Island Date Palm	Phoenix canariensis	32	22	21	Good	Protected
Remove	5001	Deodar Cedar	Cedrus deodara	20	64	42	Good	Protected
Remove	5002	Sugar Pine	Pinus lambertiana	18	64	42	Good	Protected
Remove	5003	Sugar Pine	Pinus lambertiana	13	49	17	Good	Protected
Remove	5004	Sugar Pine	Pinus lambertiana	14	42	22	Fair	Protected
Remove	5005	Canary Island Date Palm	Phoenix canariensis	24	13	16	Good	Protected
Remove	5006	Coast Live Oak	Quercus agrifolia	Multi - 30" 25"	52	48	Fair	Large Protected Tree
Remove	5007	Coast Live Oak	Quercus agrifolia	Multi - 5" 6" 4"	39	26	Poor	Protected
Remove	5008	Coast Live Oak	Quercus agrifolia	Multi - 11" 9"	41	35	Fair	Protected
Remove	5009	Coast Live Oak	Quercus agrifolia	11	30	28		Protected
Remove	5010	Mulberry	Morus alba	10	22	25	Fair	Protected
Remove	5011	Coast Live Oak	Quercus agrifolia	7	13	12	Poor	Protected
Remove	5012	Coast Live Oak	Quercus agrifolia	14	41	37	Fair	Protected
Remove	5013	Mulberry	Morus alba	Multi - 6" 4"	22	23	Poor	Protected
Remove	5014	Mulberry	Morus alba	6	11	10	Poor	Protected
Remove	5015	Coast Live Oak	Quercus agrifolia	16	55	35	Fair	Protected
Remove	5016	Coast Live Oak	Quercus agrifolia	Multi - 6" 8"	43	33	Fair	Protected
Remove	5017	Coast Live Oak	Quercus agrifolia	16	43	37	Fair	Protected
Remove	5018	Blue Atlas Cedar	Cedrus atlantica 'Glauca'	6	18	18	Good	Protected
Remove	5019	Blue Atlas Cedar	Cedrus atlantica 'Glauca'	6	13	17	Good	Protected
Remove	5020	Redwood	Sequoia sempervirens	10	34	15	Fair	Protected

ARBORIST REPORT								
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES
Remove	5021	Mexican Fan Palm	Washingtonia robusta	Multi - 14" 13" 13" 14"	68	12	Good	Exempt
Remove	5022	Mexican Fan Palm	Washingtonia robusta	13	60	14	Good	Exempt
Remove	5023	Mexican Fan Palm	Washingtonia robusta	13	52	11	Good	Exempt
Remove	5024	Mexican Fan Palm	Washingtonia robusta	14	59	11	Good	Exempt
Remove	5025	Persimmon	Diospyros kaki	7	20	27	Good	Exempt
Remove	5026	Loquat	Eriobotrya japonica	Multi - 5" 6" 6" 5"	22	24	Good	Exempt
Remove	5027	Purple Leaf Plum	Prunus cerasifera	Multi - 5" 3" 4" 3"	17	9	Dead	Exempt
Remove	5028	Purple Leaf Plum	Prunus cerasifera	Multi - 8" 7"	21	14	Very Poor	Exempt
Remove	5029	Coast Live Oak	Quercus agrifolia	8	24	12	Poor	Protected
Remove	5030	Mulberry	Morus alba	Multi - 5" 9"	25	21	Good	Protected
Remove	5031	Coast Live Oak	Quercus agrifolia	Multi - 8" 9" 7"	34	23	Fair	Protected
Remove	5032	Mulberry	Morus alba	8	13	11	Poor	Protected
Remove	5033	Canary Island Date Palm	Phoenix canariensis	32	35	28	Good	Protected
Remove	5034	Coast Live Oak	Quercus agrifolia	10	12	21	Fair	Protected
Remove	5035	Sweetgum	Liquidambar styraciflua	14	34	38	Poor	Protected
Remove	5036	Deodar Cedar	Cedrus deodara	28	61	47	Good	Protected
Remove	5037	Italian Cypress	Cupressus sempervirens	9	28	5	Dead	Protected
Remove	5038	Italian Cypress	Cupressus sempervirens	11	43	5	Good	Protected
Remove	5039	Italian Cypress	Cupressus sempervirens	11	41	5	Good	Protected
Remove	5040	Camphor	Cinnamomum camphora	13	37	28	Fair	Protected
Remove	5041	Camphor	Cinnamomum camphora	7	28	11	Fair	Protected
Remove	5042	Camphor	Cinnamomum camphora	7	25	10	Fair	Protected
Remove	5043	Purple Leaf Plum	Prunus cerasifera	6	20	6	Very Poor	Exempt
Remove	5044	Texas Privet	Ligustrum japonicum 'texanum'	14	46	23	Poor	Exempt
Remove	5045	Ironbark Eucalyptus	Eucalyptus sideroxylon	20	44	30	Poor	Exempt
Remove	5046	Camphor	Cinnamomum camphora	6	16	13	Good	Protected
Remove	5047	Coast Live Oak	Quercus agrifolia	Multi - 7" 7"	13	13	Good	Protected
Remove	5048	Bluegum Eucalyptus	Eucalyptus globulus	15	33	26	Good	Exempt
Remove	5049	Bluegum Eucalyptus	Eucalyptus globulus	21	44	31	Good	Exempt
Remove	5050	Ironbark Eucalyptus	Eucalyptus sideroxylon	9	38	19	Fair	Exempt
Remove	5051	Coast Live Oak	Quercus agrifolia	16	37	26	Fair	Protected
Remove	5052	Coast Live Oak	Quercus agrifolia	29	55	52	Good	Large Protected Tree
Remove	5053	Canary Island Date Palm	Phoenix canariensis	24	50	22	Poor	Protected
Remove	5054	Coast Live Oak	Quercus agrifolia	19	60	45	Good	Protected
Remove	5055	Coast Live Oak	Quercus agrifolia	17	45	22	Fair	Protected
Remove	5056	Coast Live Oak	Quercus agrifolia	11	50	20	Good	Protected
Remove	5057	Coast Live Oak	Quercus agrifolia	12	45	28	Fair	Protected
Remove	5058	Coast Live Oak	Quercus agrifolia	13	55	35	Good	Protected
Remove	5059	Coast Live Oak	Quercus agrifolia	18	40	36	Fair	Protected
Remove	5060	Coast Live Oak	Quercus agrifolia	Multi - 16" 8" 9"	30	27	Good	Large Protected Tree
Remove	5061	Olive	Olea europaea	10	27	19	Good	Protected
Remove	5062	Coast Live Oak	Quercus agrifolia	10	38	30	Fair	Protected

ARBORIST REPORT										
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES		
Remain	5063	Coast Live Oak	Quercus agrifolia	Multi - 19" 17"	55	60	Fair	Large Protected Tree		
Remain	5064	Coast Live Oak	Quercus agrifolia	11	48	31	Fair	Protected		
Remain	5065	Coast Live Oak	Quercus agrifolia	14	50	38	Fair	Protected		
Remove	5066	Coast Live Oak	Quercus agrifolia	24	55	40	Fair	Protected		
Remove	5067	Coast Live Oak	Quercus agrifolia	16	57	32	Fair	Protected		
Remove	5068	Coast Live Oak	Quercus agrifolia	14	60	40	Fair	Protected		
Remove	5069	Coast Live Oak	Quercus agrifolia	15	50	30	Good	Protected		
Remain	5070	Coast Live Oak	Quercus agrifolia	20	80	50	Fair	Protected		
Remain	5071	Coast Live Oak	Quercus agrifolia	Multi - 9" 5" 4"	32	31	Fair	Protected		
Remain	5072	Coast Live Oak	Quercus agrifolia	10	60	20	Fair	Protected		
Remain	5073	Deodar Cedar	Cedrus deodara	9	55	17	Fair	Protected		
Remain	5074	Coast Live Oak	Quercus agrifolia	10	48	30	Fair	Protected		
Remain	5075	Coast Live Oak	Quercus agrifolia	8	30	25	Fair	Protected		
Remove	5076	Deodar Cedar	Cedrus deodara	22	75	47	Fair	Protected		
Remain	5077	Coast Live Oak	Quercus agrifolia	20	48	39	Fair	Protected		
Remove	5078	Coast Live Oak	Quercus agrifolia	10	24	18	Fair	Protected		
Remove	5079	Coast Live Oak	Quercus agrifolia	20	60	40	Fair	Protected		
Remove	5080	Coast Live Oak	Quercus agrifolia	7	25	11	Fair	Protected		
Remove	5081	Coast Live Oak	Quercus agrifolia	18	45	35	Fair	Protected		
Remove	5082	Coast Live Oak	Quercus agrifolia	Multi - 8" 14"	45	37	Fair	Large Protected Tree		
Remove	5083	Deodar Cedar	Cedrus deodara	22	65	40	Poor	Protected		
Remove	5084	Coast Live Oak	Quercus agrifolia	18	48	30	Fair	Protected		
Remove	5085	Coast Live Oak	Quercus agrifolia	11	38	28	Fair	Protected		
Remain	5086	Coast Live Oak	Quercus agrifolia	Multi - 12" 11" 14"	40	55	Fair	Large Protected Tree		
Remain	5087	Coast Live Oak	Quercus agrifolia	Multi - 15" 7"	48	35	Fair	Protected		
Remain	5088	Coast Live Oak	Quercus agrifolia	12	40	22	Good	Protected		
Remain	5089	Coast Live Oak	Quercus agrifolia	Multi - 7" 8"	40	34	Fair	Protected		
Remain	5090	Coast Live Oak	Quercus agrifolia	13	45	22	Fair	Protected		
Remain	5091	Coast Live Oak	Quercus agrifolia	16	38	30	Good	Protected		
Remain	5092	Coast Live Oak	Quercus agrifolia	11	38	25	Good	Protected		
Remain	5093	Coast Live Oak	Quercus agrifolia	16	50	35	Fair	Protected		
Remain	5094	Coast Live Oak	Quercus agrifolia	13	45	28	Fair	Protected		
Remain	5095	Coast Live Oak	Quercus agrifolia	Multi - 38" 19" 28"	60	55	Fair	Large Protected Tree		
Remain	5096	Coast Live Oak	Quercus agrifolia	17	42	38	Fair	Protected		
Remain	5097	Coast Live Oak	Quercus agrifolia	15	45	38	Good	Protected		
Remain	5098	Coast Live Oak	Quercus agrifolia	32	55	65	Good	Large Protected Tree		
Remain	5099	Coast Live Oak	Quercus agrifolia	12	30	25	Poor	Protected		
Remain	5100	Coast Live Oak	Quercus agrifolia	11	28	18	Poor	Protected		
Remain	5101	Coast Live Oak	Quercus agrifolia	12	36	20	Poor	Protected		
Remain	5102	Coast Live Oak	Quercus agrifolia	11	34	20	Poor	Protected		
Remain	5103	Coast Live Oak	Quercus agrifolia	17	40	24	Poor	Protected		

ARBORIST REPORT									
TREE STATUS	TREE TAG ID	COMMON NAME	SPECIES	D.B.H. (INCHES)	HEIGHT (IN FEET)	CROWN SPREAD (IN FEET)	CONDITIONS (ORIDINANCES TREE - BOLD)	NOTES	
Remove	5104	Coast Live Oak	Quercus agrifolia	14	28	17	Poor	Large Protected Tree	
Remove	5105	Coast Live Oak	Quercus agrifolia	18	44	23	Fair	Large Protected Tree	
Remove	5106	Coast Live Oak	Quercus agrifolia	16	40	28	Fair	Protected	
Remove	5107	Coast Live Oak	Quercus agrifolia	Multi - 9" 15" 6"	40	28	Fair	Large Protected Tree	
Remove	5108	Coast Live Oak	Quercus agrifolia	19	46	37	Fair	Protected	
Remove	5109	Coast Live Oak	Quercus agrifolia	20	55	39	Fair	Protected	
Remain	5110	Coast Live Oak	Quercus agrifolia	13	38	27	Fair	Protected	
Remove	5111	Coast Live Oak	Quercus agrifolia	14	45	30	Fair	Protected	
Remove	5112	Coast Live Oak	Quercus agrifolia	13	44	36	Fair	Protected	
Remove	5113	Coast Live Oak	Quercus agrifolia	26	55	50	Fair	Large Protected Tree	
Remove	5114	Coast Live Oak	Quercus agrifolia	16	50	30	Fair	Protected	
Remove	5115	Coast Live Oak	Quercus agrifolia	36	65	60	Fair	Large Protected Tree	
Remove	5116	Coast Live Oak	Quercus agrifolia	17	50	40	Fair	Protected	
Remove	5117	Coast Live Oak	Quercus agrifolia	15	50	38	Fair	Protected	
Remove	5118	Coast Live Oak	Quercus agrifolia	16	40	40	Fair	Protected	
Remove	5119	Coast Live Oak	Quercus agrifolia	10	40	25	Fair	Protected	
Remove	5120	Coast Live Oak	Quercus agrifolia	12	40	18	Fair	Protected	
Remove	5121	Coast Live Oak	Quercus agrifolia	18	38	25	Fair	Protected	
Remove	5122	Coast Live Oak	Quercus agrifolia	17	35	20	Fair	Protected	
Remove	5123	Coast Live Oak	Quercus agrifolia	22	46	37	Fair	Protected	
Remove	5124	Coast Live Oak	Quercus agrifolia	10	20	12	Dead	Protected	
Remove	5125	Coast Live Oak	Quercus agrifolia	15	45	35	Fair	Protected	
Remove	5126	Coast Live Oak	Quercus agrifolia	15	42	38	Fair	Protected	
Remove	5127	Coast Live Oak	Quercus agrifolia	12	38	27	Fair	Protected	
Remove	5128	Coast Live Oak	Quercus agrifolia	Multi - 14" 14"	42	37	Fair	Large Protected Tree	
Remove	5129	Coast Live Oak	Quercus agrifolia	19	50	40	Fair	Protected	



03/06/2024

Revised 6/14/2024

Licensed Arborist - William Smith
WE-13625A

Contact Information - (408) 722-8942
Smithtreespecialists@gmail.com

Arborist Report

Client: Live Oak Associates - Attention: Katrina Krakow

Site: 50 Los Gatos-Saratoga Rd, Los Gatos CA

As per your request, Moki Smith Tree Specialists surveyed the site at 50 Los Gatos - Saratoga road CA, to identify and assess the trees greater than 6" in trunk diameter at breast height, located on the subject property. There are 330 trees included in this report, documented on the subject property or on adjacent property lots where the canopies extend into the subject property. Many of the trees on site are located around the perimeter and are often contacting the chainlink fence that sits on the property line. Most of the substantial trees listed are Eucalyptus trees, Coastal Live Oak trees, Deodar Cedar trees, or Liquid Ambar trees. The trees on the interior of the property are, for the most part, in fair to good condition. Of the 330 trees, 189 are considered protected trees by the Town of Los Gatos, under the size ordinance. There are 73 trees catalogued on the hill at the South, East side of the property. The majority of the hillside trees are Coastal Live Oaks that range from poor to good condition.

Please feel free to call for further clarification.
Respectfully submitted,

Moki Smith

Tree Protection Measures for construction

Construction Site - Tree Preservation

- To the extent feasible, avoid root damage through grading, trenching, compaction, etc., at least within an area 1.5 times the 'drip-line' area of trees. Where root damage cannot be avoided, roots encountered (over 1" diameter) should be exposed approximately 12" beyond the area to be disturbed (towards tree stem), by hand excavation, or with specialized hydraulic or pneumatic equipment, cut cleanly with hand pruners or power saw, and immediately back-filled with soil. Avoid tearing, or otherwise disturbing that portion of the root(s) to remain.
- Construct a temporary fence as far from the tree stem (trunk) as feasible, at the drip-line of the tree, or to the specified location as directed by the project arborist. This fencing should completely surround the tree, except in areas that will not have any construction activity. Post no parking or storage signs outside / on fencing. Do not attach posting to the main-stem of the tree.
- Do not allow vehicles, equipment, pedestrian traffic; building materials or debris storage; or disposal of toxic or other materials inside of the fenced off area.
- Trees that will be impacted by construction may benefit from fertilization, ideally performed in the fall, and preferably prior to any construction activities.
- Mulch rooting area with an acidic, organic compost or mulch.
- Arrange for periodic (Biannual or Quarterly) inspection of tree's condition, and treatment of damaging conditions (insects, diseases, nutrient deficiencies, etc.) as they occur, or as appropriate.
- Individual trees likely to suffer significant impacts may require specific, more

extensive efforts and/or a more detailed specification than those contained within these general guidelines.

Sec. 29.10.1005. Protection of trees during construction.

Protective tree fencing shall specify the following:

- (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall Page 14 first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning – Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025"
- (5) Prior to the commencement of construction, install the fence at the dripline, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- (6) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
- (7) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- (8) Prohibit the attachment of wires, signs or ropes to any protected tree.
- (9) Design utility services and irrigation lines to be located outside of the dripline when feasible.
- (10) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The

project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
(11) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Tree Protective Fencing



Sec. 29.10.1010. Pruning and maintenance.

All pruning shall be in accordance with the current version of the International Society of Arboriculture Best Management Practices—Tree Pruning and ANSI A300-Part 1 Tree, Shrub and Other Woody Plant Management—Standard Practices, (Pruning) and any special conditions as determined by the Director. For developments, which require a tree preservation report, a certified or consulting arborist shall be in reasonable charge of all activities involving protected trees, including pruning, cabling and any other work if specified.

Any public utility installing or maintaining any overhead wires or underground pipes or conduits in the vicinity of a protected tree shall obtain permission from the Director before performing any work, including pruning, which may cause injury to a protected tree. (e.g. cable TV/fiber optic trenching, gas, water, sewer trench, etc.).

Pruning for clearance of utility lines and energized conductors shall be performed in compliance with the current version of the American National Standards Institute (ANSI) A300 (Part 1)-Pruning, Section 5.9 Utility Pruning. Using spikes or gaffs when pruning, except where no other alternative is available, is prohibited.

No person shall prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affecting twenty-five percent or more of the crown of any protected tree without first obtaining a permit pursuant to this division except for pollarding of fruitless mulberry trees (*Morus alba*) or other species approved by the Town Arborist. Applications for a pruning permit shall include photographs indicating where pruning is proposed. Page 15

No person shall remove any Heritage tree or large protected tree branch or root through pruning or other method greater than four (4) inches in diameter (12.5" in circumference) without first obtaining a permit pursuant to this division.

Sec. 29.10.1025. Enforcement—Remedies for violation.

In addition to all other remedies set forth in this code or otherwise provided by law, the following remedies shall be available to the Town for violation of this division:

(1) Tree removals in absence of or in anticipation of development. If a violation occurs in the absence of or prior to proposed development, then discretionary applications and/or building permit applications will not be accepted or processed by the Town until the violation has been remedied to the reasonable satisfaction of the Director. Mitigation measures as determined by the Director may be imposed as a condition of any subsequent application approval or permit for development on the subject property. A mitigation plan shall include specific measures for the protection of any remaining trees on the property, and shall provide for the replacement of each hillside tree that was removed illegally with a new tree(s) in the same location(s) as those illegally removed tree(s). The replacement ratio shall be at a greater ratio than that required in accordance with the standards set forth in Sec. 29.10.0985 of this division. If the court or the Director directs a replacement tree or trees to be planted as part of the remedy for the violation, the trees shall be permanently maintained in a good and healthy condition. The property owner shall execute a five-year written maintenance agreement with the Town. For those trees on public property, replacement is to be determined by the Director of Community Development or by the Director of Parks and Public Works.

(2) Pending development applications. Incomplete applications will not be processed further until the violation has been remedied. If an application has been deemed complete, it may be denied by the Director or forwarded to the Planning Commission with a recommendation for denial at the Director's discretion. Mitigation measures as determined by the director may be imposed as Page 16 a condition of approval. A mitigation plan shall include specific measures for the protection of any remaining trees on the property, and shall provide for the replacement of each hillside tree that was removed illegally with a new tree(s) in the same location(s) as those illegally removed tree(s). The replacement ratio shall be at a greater ratio than that required in accordance with the standards set forth in Sec. 29.10.0985 of this division. If the court or the Director directs a replacement tree or trees to be planted as part of the remedy for the violation, the trees shall be permanently maintained in a good and healthy condition. The property owner shall execute a five-year written maintenance agreement with the Town. For those trees on public property, replacement is to be determined by the Director of Community Development or by the Director of Parks and Public Works.

(3) Projects under construction. a. If a violation occurs during construction, the Town may issue a stop work order suspending and prohibiting further activity on the property pursuant to the grading, demolition, and/or building permit(s) (including construction, inspection, and issuance of certificates of occupancy) until a mitigation plan has been filed with and approved by the Director, agreed to in writing by the property owner(s) or the applicant(s) or both, and either implemented or guaranteed by the posting of adequate security in the discretion of the Director. A mitigation plan shall include specific measures for the protection of any remaining trees on the property, and shall provide for the replacement of each hillside tree that was removed illegally with a new tree(s) in the same location(s) as those illegally removed tree(s). The replacement ratio shall be at a greater ratio than that required in accordance with the standards set forth in Sec. 29.10.0985 of this division. If the court or the Director directs a replacement tree or trees to be planted as part of the remedy for the violation, the trees shall be permanently maintained in a good and healthy condition. The property owner shall execute a five-year written maintenance agreement with the Town. For those trees on public property, replacement is to be determined by

the Director of Community Development or by the Director of Parks and Public Works. b. The violation of any provisions in this division during the conduct by any person of a tree removal, landscaping, construction or other business in the Town shall constitute grounds for revocation of any business license issued to such person.

(4) Civil penalties. Notwithstanding section 29.20.950 relating to criminal penalty, any person found to have violated section 29.10.0965 shall be liable to pay the Town a civil penalty as prescribed in subsections a. through d. a. As part of a civil action brought by the Town, a court may assess against any person who commits, allows, or maintains a violation of any provision of this division a civil penalty in an amount not to exceed five thousand dollars per violation. b. Where the violation has resulted in removal of a protected tree, the civil penalty shall be in an amount not to exceed five thousand dollars per tree unlawfully removed, or the replacement value of each such tree, whichever amount is higher. Such amount shall be payable to the Town and deposited into the Tree Replacement Fund. Replacement value for the purposes of this section shall be determined utilizing the most recent edition of the Guide for Plant Appraisal, as prepared by the Council of Tree and Landscape Appraisers and the Species and Group Classification Guide published by the Western Chapter of the International Society of Arboriculture. c. If the court or the Director directs a replacement tree or trees to be planted as part of the remedy for the violation, the trees shall be permanently maintained in a good and healthy condition. The property owner shall execute a five year written maintenance agreement with the Town. d. The cost of enforcing this division, which shall include all costs, staff time, and attorneys' fees. Page 17

(5) Injunctive relief. A civil action may be commenced to abate, enjoin, or otherwise compel the cessation of such violation.

(6) Costs. In any civil action brought pursuant to this division in which the Town prevails, the court shall award to the Town all costs of investigation and preparation for trial, the costs of trial, reasonable expenses including overhead and administrative costs incurred in prosecuting the action, and reasonable attorney fees.

Sec. 29.10.1005. Protection of trees during construction.

Protective tree fencing shall specify the following: (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base. (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches. (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall Page 14 first obtain the approval of the project arborist on record prior to removing a tree protection fence. (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning - Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025". (b) All persons, shall comply with the following precautions: (1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction. (2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director. (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree. (4) Prohibit the attachment of wires, signs or ropes to any protected tree. (5) Design utility services and irrigation lines to be located outside of the dripline when feasible. (6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits. (7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered. (Ord. No. 2114, §§ I, II, 8-4-03)

NOTES:

TO ENSURE THE EFFECTIVE PROTECTION OF A TREE'S CRITICAL ROOT ZONE, TREE PROTECTIVE FENCING SHOULD BE INSTALLED AT LEAST AT THE DRIPLINE OF THE TREE'S CANOPY. THIS PLACEMENT IS CRUCIAL AS IT SAFEGUARDS THE ROOTS THAT ARE WITHIN THE CRITICAL ROOT ZONE. IF SPACE ALLOWS, IT IS ADVISABLE TO POSITION THE FENCING 10 FEET BEYOND THE DRIPLINE TO PROVIDE AN ADDITIONAL BUFFER. IN SITUATIONS WHERE PLACING THE FENCING AT THE DRIPLINE IS NOT FEASIBLE, THE FENCING SHOULD BE POSITIONED AT A MINIMUM DISTANCE OF 6.5 TIMES THE TREE'S DIAMETER AT BREAST HEIGHT (DBH), LISTED IN THE TREE INVENTORY TABLE. FOR LARGE PROTECTED TREES, THE FENCING SHOULD BE SET AT LEAST 10 TIMES THE DBH TO OFFER ADEQUATE PROTECTION.

FENCING PLACEMENT:

6.5 X DBH OR DRIPLINE
10 X DBH FOR HERITAGE TREES

LEGEND:

— TREE PROTECTION ZONE FENCING

ZONE 3
TREE # 4841 - 18" DBH/ 10' MIN / DRIPLINE
TREE # 4842 - 18" DBH/ 10' MIN / DRIPLINE

ZONE 2
TREE # 4837 - 10" DBH/ 6' MIN.

ZONE 1
TREE # 4829 - 6' MIN. PER ARBORIST
TREE # 4830 - 6' MIN. PER ARBORIST
TREE # 4831 - 6' MIN. PER ARBORIST
TREE # 4832 - 10' MIN. PER ARBORIST
TREE # 4833 - 7.5' MIN. PER ARBORIST

ZONE 4
TREE # 5054 - 19" DBH/ DRIPLINE
TREE # 5056 - 11" DBH/ DRIPLINE
TREE # 5057 - 12" DBH/ DRIPLINE
TREE # 5058 - 13" DBH/ DRIPLINE
TREE # 5070 - 20" DBH/ 11' MIN / DRIPLINE
TREE # 5071 - 9" DBH/ DRIPLINE
TREE # 5072 - 10" DBH/ DRIPLINE
TREE # 5073 - 9" DBH/ DRIPLINE
TREE # 5074 - 10" DBH/ DRIPLINE
TREE # 5075 - 8" DBH/ DRIPLINE

ZONE 5
TREE # 5063 - 19" DBH/ DRIPLINE
TREE # 5064 - 11" DBH/ DRIPLINE
TREE # 5065 - 14" DBH/ 9' MIN / DRIPLINE

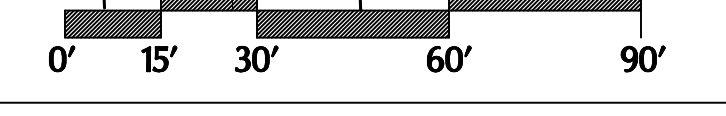
ZONE 6
TREE # 5086 - 14" DBH/ 8' MIN / DRIPLINE

ZONE 7
TREE # 5087 - 15" DBH/ DRIPLINE
TREE # 5088 - 12" DBH/ DRIPLINE
TREE # 5089 - 8" DBH/ DRIPLINE
TREE # 5090 - 13" DBH/ DRIPLINE
TREE # 5091 - 16" DBH/ DRIPLINE
TREE # 5092 - 11" DBH/ DRIPLINE
TREE # 5093 - 16" DBH/ DRIPLINE
TREE # 5094 - 13" DBH/ DRIPLINE
TREE # 5095 - 38" DBH/ 20' MIN / DRIPLINE

ZONE 8
TREE # 5097 - 15" DBH/ DRIPLINE
TREE # 5098 - 32" DBH/ DRIPLINE
TREE # 5099 - 12" DBH/ DRIPLINE
TREE # 5101 - 12" DBH/ DRIPLINE
TREE # 5102 - 11" DBH/ DRIPLINE
TREE # 5103 - 17" DBH/ 9' MIN / DRIPLINE



SCALE: 1" = 30'-0"



V2309 50 Los Gatos-Saratoga Road
Los Gatos, CA
November 15, 2024

TREE PROTECTION PLAN
T-5



3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
650-857-0122



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
2P 94103 PH (415) 864-7921 FAX (415) 864-4796

IRRIGATION DESIGN INTENT STATEMENT

The irrigation system will utilize water efficient low flow pressure compensation drip emitters and bubblers at the tree and shrub/ground cover planting areas.

A smart weather based irrigation controller will be utilized to optimize efficient water application. Smart controllers automatically adjust their daily water schedule programming based upon the local climatic conditions at the project site. Smart controllers receive wireless data daily from the irrigation controller manufacturers weather data service. A rain sensor will be installed to prevent irrigation during rainy periods.

The irrigation system will be maintained by the HOA.

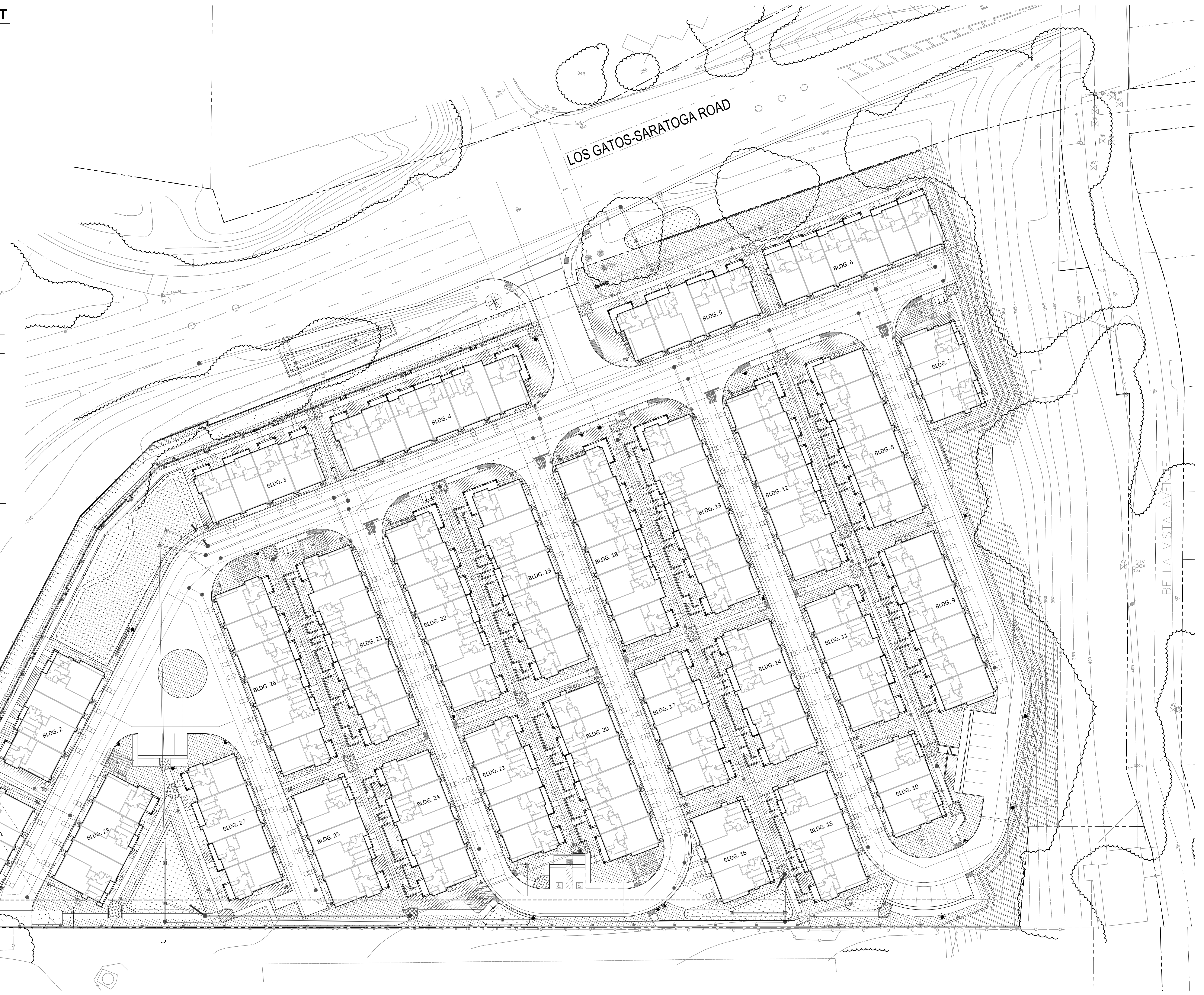
The planting design utilizes primarily low water use plant materials. Small areas of medium water use plant materials are utilized in shady areas. The trees are a mix of low and medium water use species, and are considered a medium water use hydrozone.

The low and medium water use shrub hydrozone areas will be on separate drip irrigation valve circuits.

The tree hydrozones will be irrigated with drip bubblers on separate irrigation valve circuits.

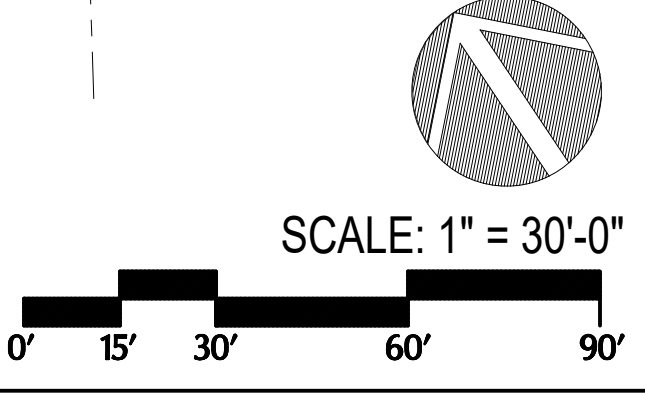
A flow sensor and master valve will be connected to the controller to allow automatic shut off of any valve circuit or main line in the event of a pipe brake to prevent water waste.

Water use and irrigation system design will conform to current State and local Model Water Efficient Landscape Ordinances.



IRRIGATION HYDROZONE AREA CHART

SYMBOL	HYDROZONE TYPE	HYDROZONE AREA
	HYDROZONE 1: LOW WATER USE PLANTING AREAS, WITH DRIP IRRIGATION	77,690 SF APPROX.
	HYDROZONE 2: MEDIUM WATER USE PLANTING AREAS, WITH DRIP IRRIGATION	9,084 SF APPROX.
	HYDROZONE 3: LOW WATER USE BIOTREATMENT PLANTING AREAS, WITH DRIP IRRIGATION	14,036 SF APPROX.
TOTAL LANDSCAPE AREA:		100,810 SF APPROX.



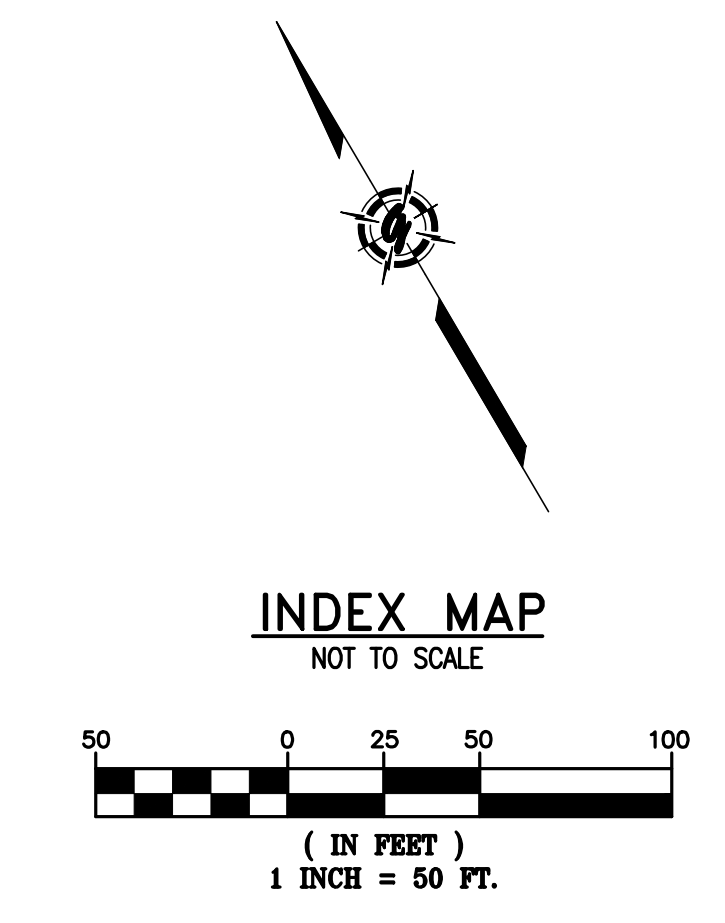
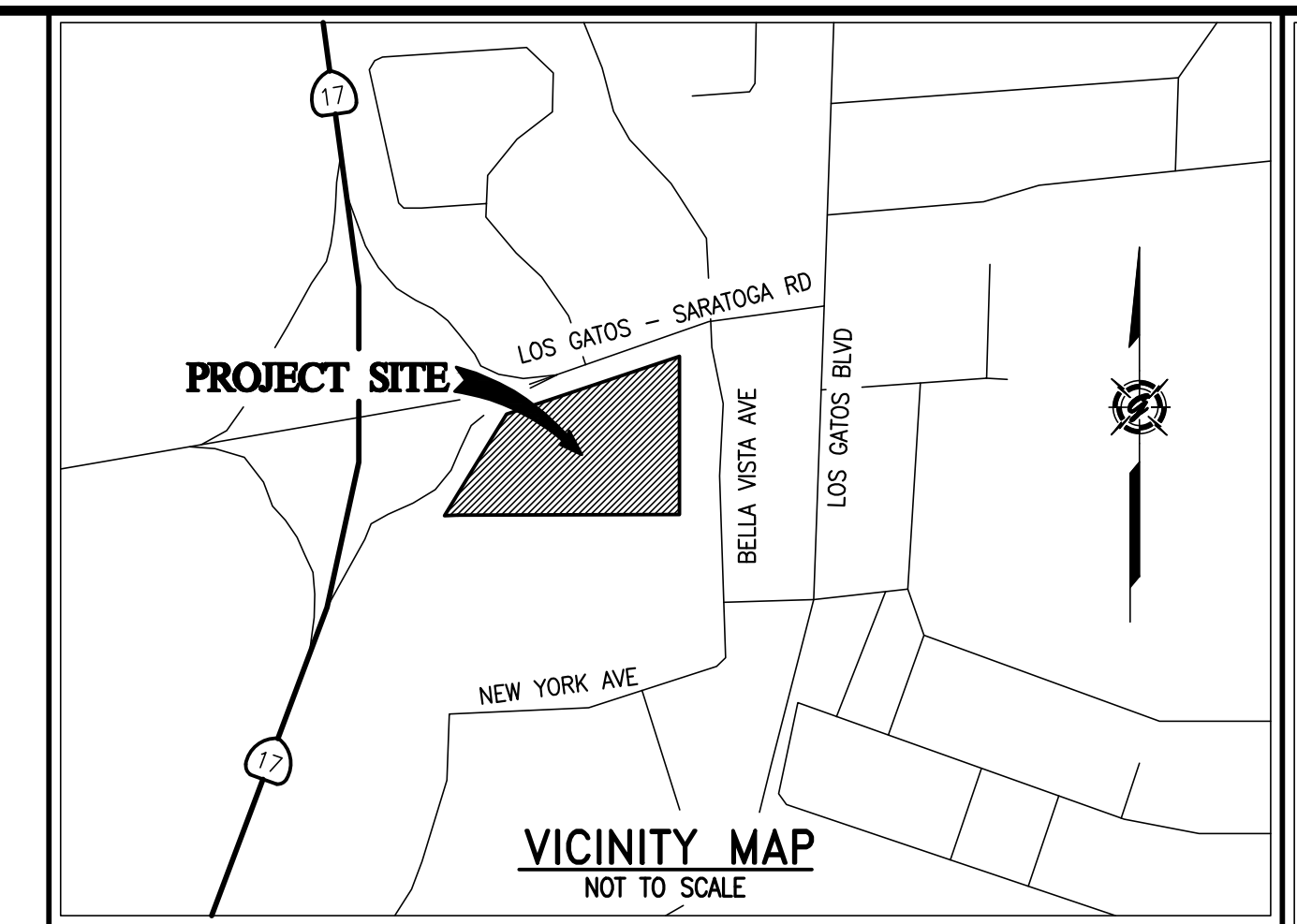
V2309 50 Los Gatos-Saratoga Road
Los Gatos, CA
November 15, 2024

CONCEPTUAL HYDROZONE PLAN
L5.0

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
650-857-0122

VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
2P 94103 PH (415) 864-1921 FAX (415) 864-4796

**SUMMERHILL HOMES LLC
50 LOS GATOS SARATOGA RD
LOS GATOS, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

SYMBOL	DATE	REVISIONS DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE HALL RD., #545 | PLEASANTON, CA 94588
925-471-7740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT TITLE SHEET
SUMMERHILL HOMES LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
K. CANARIO
CHECKED BY:
D. CROWFOOT (P.E.)
SCALE:
1"=50'
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
INT1
OF 3 SHEETS

PROJECT TEAM CONTACTS			
COMPANY:	CONTACT:	EMAIL:	PHONE:
SUMMERHILL HOMES, LLC	JOHN HICKEY	JHICKEY@SHHOMES.COM	
CBG	ANDREW MONTAGUE		209-915-3094
PG&E	TBD		
FRONTIER	ROBERT SANCHEZ		408-354-6372
QUANTA TELECOMS	BEN LOPEZ		408-691-8428
SDG ARCHITECTS, INC.	JENNIFER MASTRO		925-634-7000
GIACALONE DESIGN SERVICES, INC.	ANDREW CUMMINS		925-467-1740

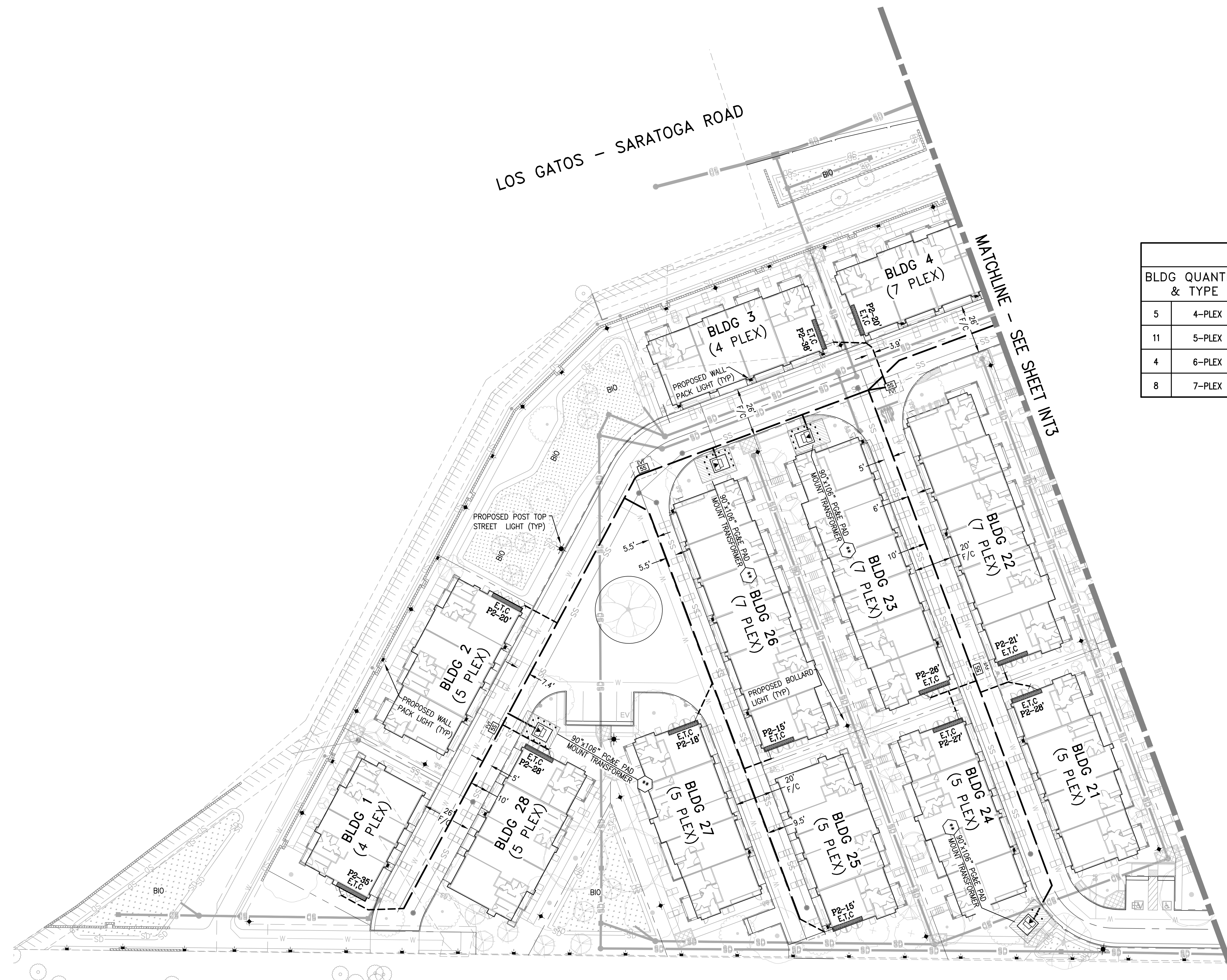
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ELECTRIC:
RULE 15:
RULE 16:
RULE 20:
RELOC:
AFS:
GAS:
RULE 15:
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN				
ELECTRIC DESIGN				
TELEPHONE LAYOUT				
CATV LAYOUT				
STREET LIGHT PLANS - PUBLIC				
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG	10-09-24		

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> PROVIDE SERVICE TO 27 MULTIFAMILY BUILDINGS CONSISTING OF 155 UNITS (E,T,C) PRIVATE STREET LIGHT NO GAS

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT3	JOINT TRENCH INTENT
PrSL1	PRIVATE STREET LIGHTING TITLE SHEET
PrSL2-PrSL3	PRIVATE STREET LIGHTING PLAN
PM	PHOTOMETRIC REPORT

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

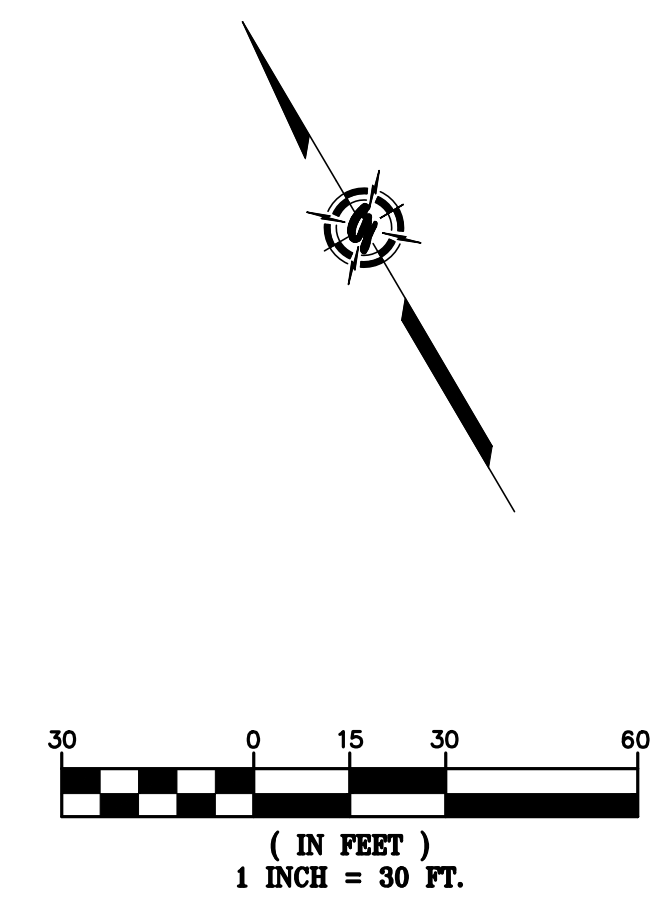


LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	36"x60"x30" PG&E SECONDARY BOX
	90"x106" PG&E PAD MOUNT TRANSFORMER
	PROPOSED POST TOP STREET LIGHT
	PROPOSED POST TOP STREET LIGHT
	PROPOSED BOLLARD LIGHT
	PROPOSED WALLPACK LIGHT (BY OTHERS)
	EXISTING STREET LIGHT
	EXISTING UTILITY POLE

BUILDING METER SCHEDULE

BLDG QUANTITY & TYPE	MAINSWITCH/VOLTAGE	HOUSE METER	RESIDENTAL METERS	TOTAL METERS
5 4-PLEX	600A 120/208V, 4W, 3ø	1 EACH	4 EACH	25
11 5-PLEX	600A 120/208V, 4W, 3ø	1 EACH	5 EACH	66
4 6-PLEX	600A 120/208V, 4W, 3ø	1 EACH	6 EACH	30
8 7-PLEX	800A 120/208V, 4W, 3ø	1 EACH	7 EACH	64



NOTE
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NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

J.T. CONTRACTOR TO STUB SERVICE CONDUITS 5' FROM BUILDING WALL OR MAINSWITCH LOCATION. CONTRACTOR TO VERIFY STUB SERVICE LOCATION WITH SITE SUPERINTENDENT.
-BUILDING CONTRACTOR TO EXTEND STUBBED CONDUITS TO SERVICE TERMINATION LOCATION.

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

CALL BEFORE YOU DIG

REVISIONS	DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE WALK, RD., #545 | PLEASANTON, CA 94588
925-467-1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT
SUMMERHILL HOMES LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
K. CANARIO
CHECKED BY:
D. CROWFOOT (P.E.)
SCALE:
1"=30'
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
INT2
OF 3 SHEETS

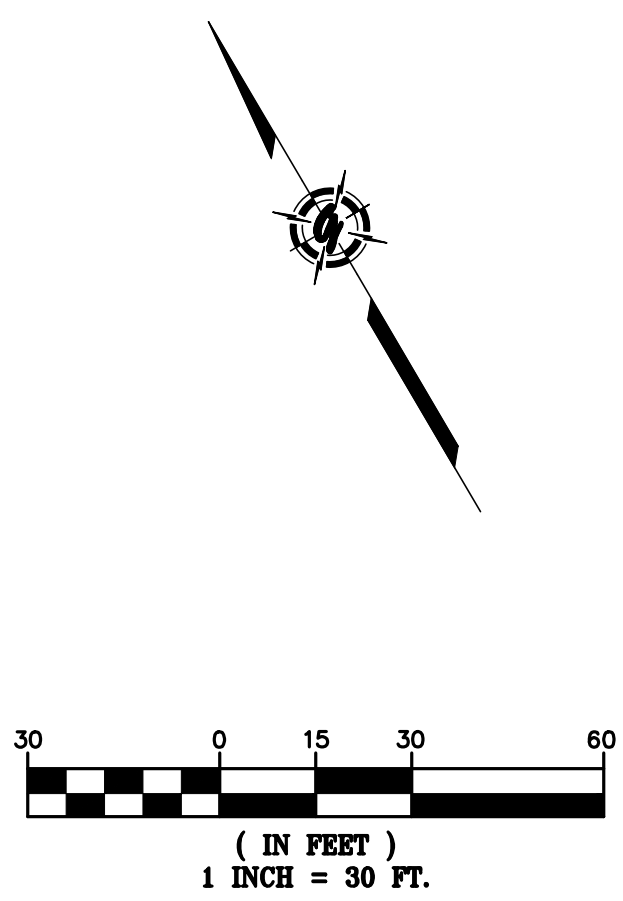


LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
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	PROPOSED POST TOP STREET LIGHT
	PROPOSED BOLLARD LIGHT
	PROPOSED WALLPACK LIGHT (BY OTHERS)
	EXISTING STREET LIGHT
	EXISTING UTILITY POLE

BUILDING METER SCHEDULE

BLDG QUANTITY & TYPE	MAINSWITCH/VOLTAGE	HOUSE METER	RESIDENTAL METERS	TOTAL METERS
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8 7-PLEX	800A 120/208V, 4W, 3φ	1 EACH	7 EACH	64



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REVISIONS	DESCRIPTION	DATE

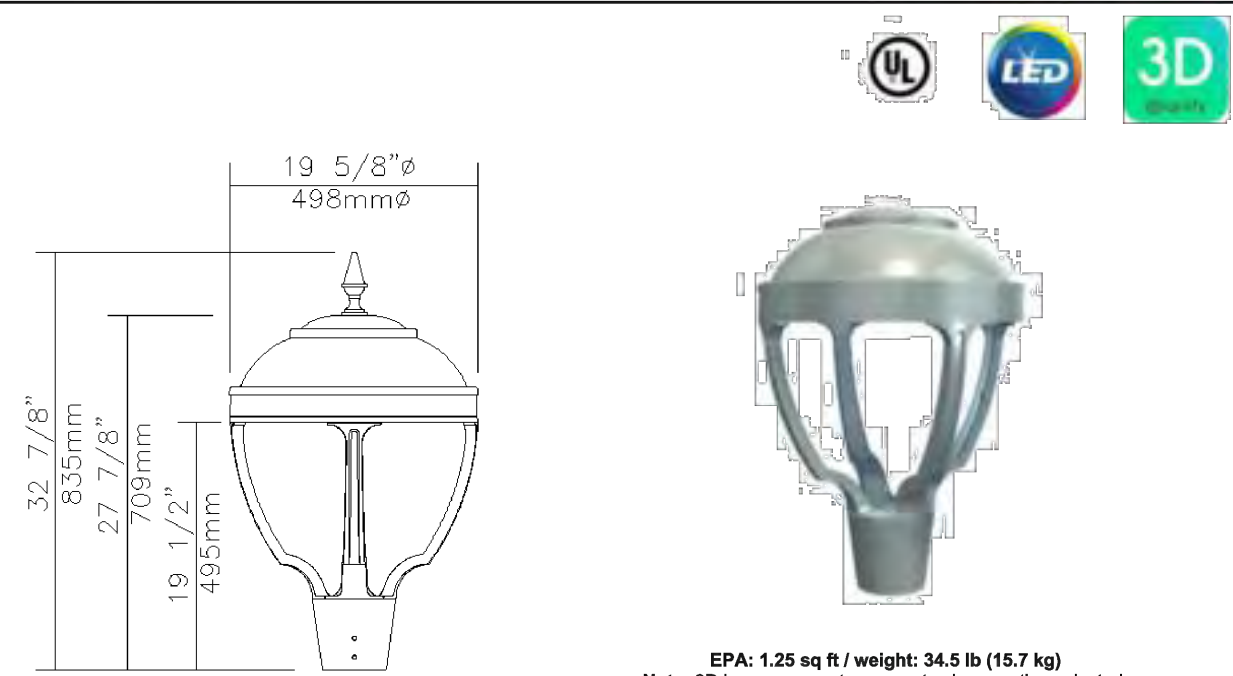
GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE WALK RD., #545 | PLEASANTON, CA 94588
925-477-7740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT
SUMMERHILL HOMES LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
K. CANARIO
CHECKED BY:
D. CROWFOOT (P.E.)
SCALE:
1"=30'
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
INT3
OF 3 SHEETS

50 LOS GATOS SARATOGA RD. - PRIVATE STREET LIGHTING

Los Gatos - 50 Saratoga-Los Gatos Rd (Lumec OmniScape, 45W 5000K Types 3W and 4 distribution, with house side shield and finial, on 9.5' APR4 pole with LBC3 base cover)



EPA: 1.25 ac ft weight: 54.5 lb (15.7 kg)
Note: 3D image may not represent color or option selected. Logos above include link, click to access.

Qty 1 Type AA Luminaire S-OSPTHT-45W40LED-740-G1-3WF-UNV-DMG-FN10-HS-BKTX
Qty 8 Type BB Luminaire S-OSPTHT-45W40LED-740-G1-4F-UNV-DMG-FN10-HS-BKTX

Description of Components:

Finial: Decorative cast 356 aluminum, mechanically assembled.
Roof: In a round shape, roof is made of spun 1100 aluminum alloy 0.060 (2mm), mechanically assembled to the housing with four (4) 10-24 UNC screws.
Housing: In a round shape, this housing is made of injection die cast A360.1 aluminum alloy 0.1 (2.5mm) minimum thickness. Offers a tool free access to electrical components, rated IP66.
Guard: In a round shape with 4 arms, each arm is a one-piece permanent mold A356 Aluminum alloy 0.188 (4.8mm) minimum thickness, mechanically assembled to the housing and filter.
Light Engine: Composed of 5 main components: Heat Sink / LED Module / Optical System / Driver / Lens. Electrical components are RoHS compliant, IP66 sealed light engine. LEDs tested by ISO 17025-2005 accredited lab in accordance with IESNA LM-80 guidelines, extrapolations in accordance with IESNA TM-21. Metal core board ensures greater heat transfer and longer lifespan.
Heat Sink: Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device). Entire luminaire is rated for operation in ambient temperature of -40°C / -40°F up to +40°C / +104°F.

S-OSPTHT-45W40LED-740-G1-UNV-DMG-FN10-HS APR4F-9.5-LBC3 BKTX
05-03-2024 Page 1 / 5



Site & Area PureForm PBL LED bollard

Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.

example: PBL-42-ML-450-NW-G2-S-UNV

Luminaire	Height	Number of LEDs	LED Color	LED Generation	Distribution	Emergency	Voltage
PBL	42	ML	100	NW-G2	S	UNV	120V

Options	Control	Photo-sensing	Electrical	Finish
DO 0-10V External dimming (by other)	IMB Integral Infrared	PCB Photocell	F1 Single (120, 277, 347VAC) F2 Double (208, 240, 480VAC) F3 Canadian Double Pole (208, 240, 480VAC)	BLK Black WH White BR Bronze DGY Dark Gray MDY Medium Gray

1. Extended lead times apply. Contact factory for details.
2. Not available in 100, 200 or 350mA.
3. Not available with other control options.
4. Not available with motion sensor.

Accessories	Part No.	Description
Kit	91240158801	KIT, PBL ANCHOR BOLTS & TEMP.

PBL_PureForm_bollard 03/24 page 1 of 5



Wall Mount PureForm PWS wall sconce with comfort optics

Gardco PureForm LED wall sconce comfort PWS offers a sleek, low profile design that will complement a range of architectural styles. Comfort optics are designed to enhance visual comfort by reducing glare. PureForm wall sconce provides up to 10,700 lumens to accommodate multiple mounting heights up to 20', and is available with Type 2, 3, 4, optical distributions. A full range of control options is available for additional energy savings. Optional emergency battery backup option is available for path-of-egress and is integral to the luminaire.

example: PWS-196L-450-NW-G2-2-UNV-DGY

Luminaire	Height	Number of LEDs	LED Color	LED Generation	Distribution	Emergency	Voltage
PWS	196L	450	NW-G2	2	UNV	UNV	120V

1. 100, 200 and 350mA not available with emergency battery backup (EBP).
2. 200mA not available with emergency battery backup, cold weather (CBWC).
3. Extended lead times apply. Contact factory for details.
4. Not available with other control options.
5. Not available with motion sensor.

PWS_PureForm_wall_sconce_comfort 03/22 page 1 of 6



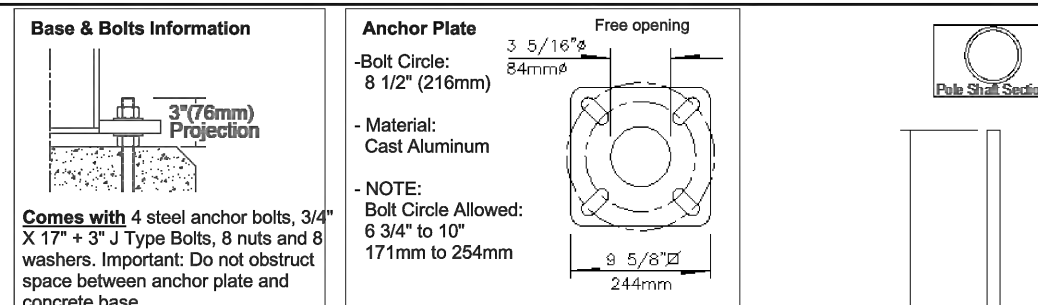
PRIVATE LIGHTING CONTRACTORS NOTES

- CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED. S PROVIDE PULL ROPE IN ALL EMPTY CONDUITS.
- CONDUIT DEPTH:** 23" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 36" UNDER PAVEMENT.
- CABLE:** CABLE SHALL BE U.L. LISTED, TYPE THW OR THWN WITH MINIMUM OF 3/64" (46 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.
- SPICE BOXES:** SPICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (PER CALTRANS DETAIL ES-8A).
- FUSES:** EACH STREET LIGHT SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HEB SERIES) AT EACH ADJACENT SPICE BOX WITH 10 AMP FUSE.
- SPlicing:** ALL SPLICES SHALL BE MADE IN LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'B'. (PER CALTRANS DETAIL ES-13A).

PRIVATE LIGHTING GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS; N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA PUC G.O. 95 SHALL APPLY.
- MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH UL STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITER'S LABORATORIES, INC.
- WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GIACALONE DESIGN SERVICES, INC.
- CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT PER N.E.C. STANDARDS AND LOCAL GOVERNING AGENCIES REQUIREMENTS.
- A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
- GROUNDING & BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
- GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- ANY CHANGES OR MODIFICATIONS TO PROPOSED LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.
- AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE PRIVATE LIGHTING SYSTEM.

Los Gatos - 50 Saratoga-Los Gatos Rd (Lumec OmniScape, 45W 5000K Types 3W and 4 distribution, with house side shield and finial, on 9.5' APR4 pole with LBC3 base cover)



Qty 9 Pole APR4F-9.5-LBC3-BKTX

Description of Components:

Pole Shaft: Shall be made from a 4" (102mm) round extruded 6061-T6 aluminum tubing, having a 0.125" (3.2mm) wall thickness, welded to both the bottom and top of the anchor plate.
Maintenance Opening: The pole shall have a 2" x 4 1/2" (51mm x 114mm) maintenance opening centered 20" (508mm) from the bottom of the anchor plate, complete with a weatherproof aluminum cover and a copper ground lug.
Base Cover: Two piece round base cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.
Note: A tenon will be provided when the luminaire or bracket does not fit directly on pole shaft. Tenon not shown on drawing.
IMPORTANT: Lumec strongly recommends the installation of the complete lighting assembly with all of its accessories upon the anchoring of the pole. This will ensure that the structural integrity of the product is maintained throughout its lifetime.
Pole Weight: 16 lbs (7.3 kg)

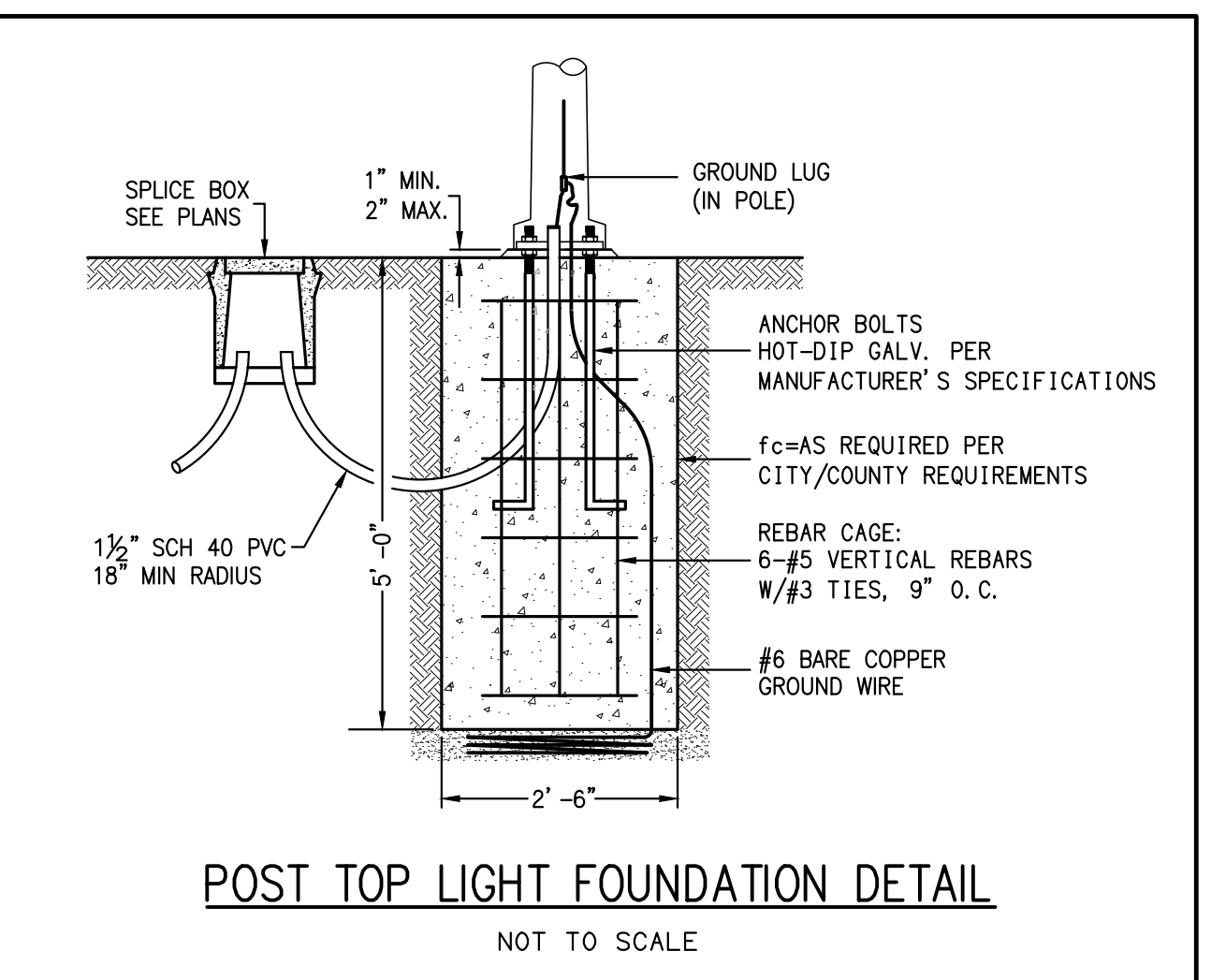
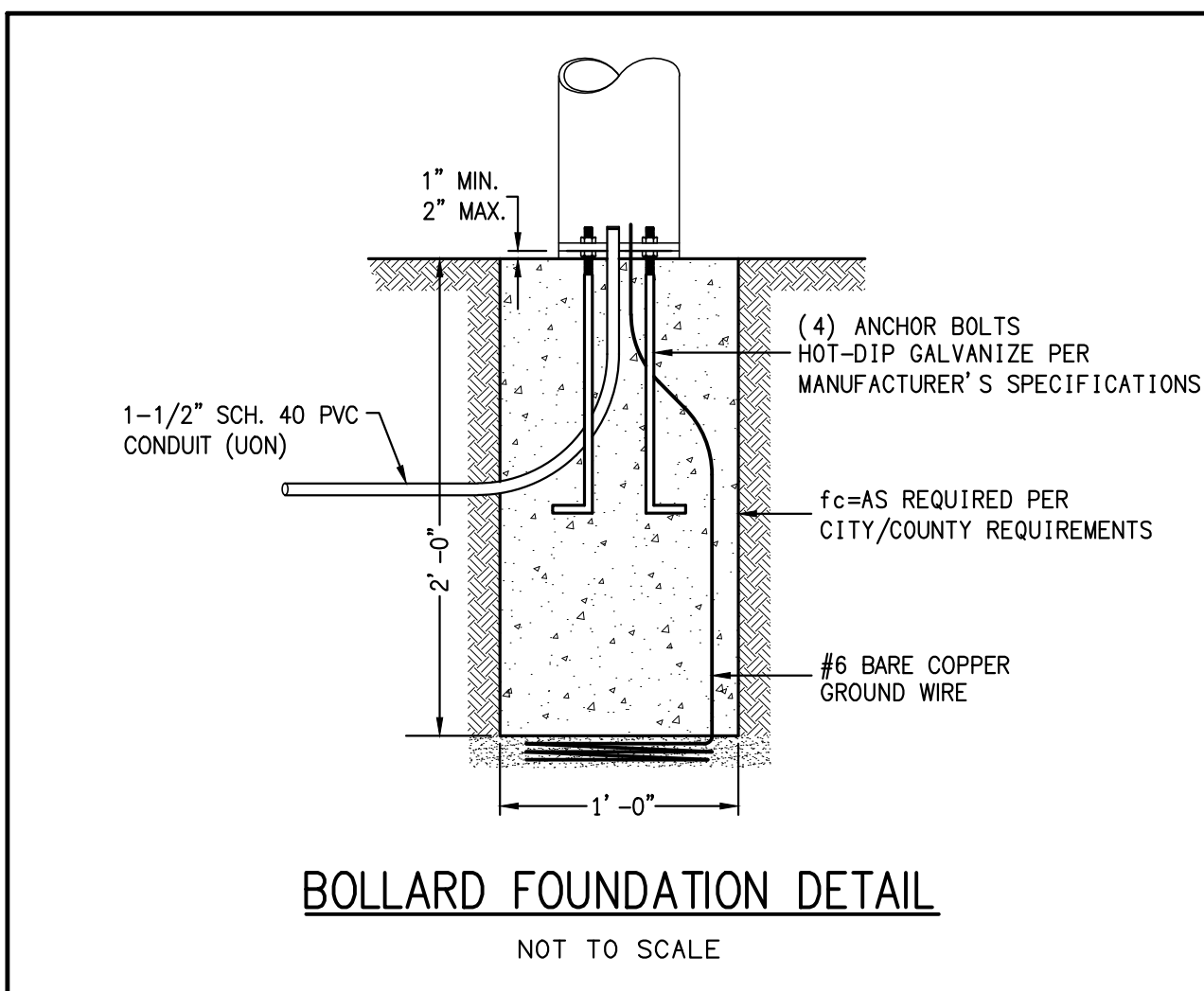
S-OSPTHT-45W40LED-740-G1-UNV-DMG-FN10-HS APR4F-9.5-LBC3 BKTX
05-03-2024 Page 3 / 5



*NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES AND SPECIFICATIONS PRIOR TO ORDERING.

LUMINAIRE SCHEDULE								
TYPE	LUMINAIRE	DIST.	MTG. HT.	ARM	POLE HT.	COLOR	MATERIAL	QUANTITY
"AA"	POST TOP LED	44W, 40LED, 120V	TYPE 3WF	11'-0"	N/A	9'-6"	BLK ALUMINUM	1
"BB"	POST TOP LED	44W, 40LED, 120V	TYPE 4	11'-0"	N/A	9'-6"	BLK ALUMINUM	8
"CC"	BOLLARD LIGHT	6W, 120V	TYPE 3	3'-6"	N/A	N/A	BLK ALUMINUM	33
"WP"	WALL PACK LIGHT	21W, 120V	TYPE 2	8'-0"	N/A	N/A	BLK ALUMINUM	43

NOTE:
THE LIGHT FIXTURE DETAIL ABOVE, HAS A "HS" CALLOUT WHICH IS FOR HOUSE SIDE SHIELDS TO BE ON 9 POST TOP LIGHT FIXTURES.

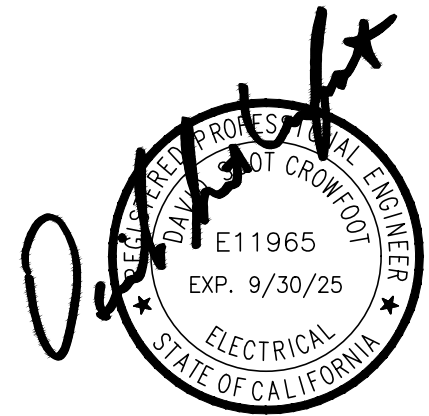


**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

CALL BEFORE YOU DIG

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811



APPROVED	REVISIONS	DESCRIPTION	DATE

GIACALONE
DESIGN SERVICES, INC.
5820 STONERIDGE WALK RD., #545 | REDWOOD CITY, CA 94068
888-677-1740 | WWW.GIACALONEDSIGN.COM

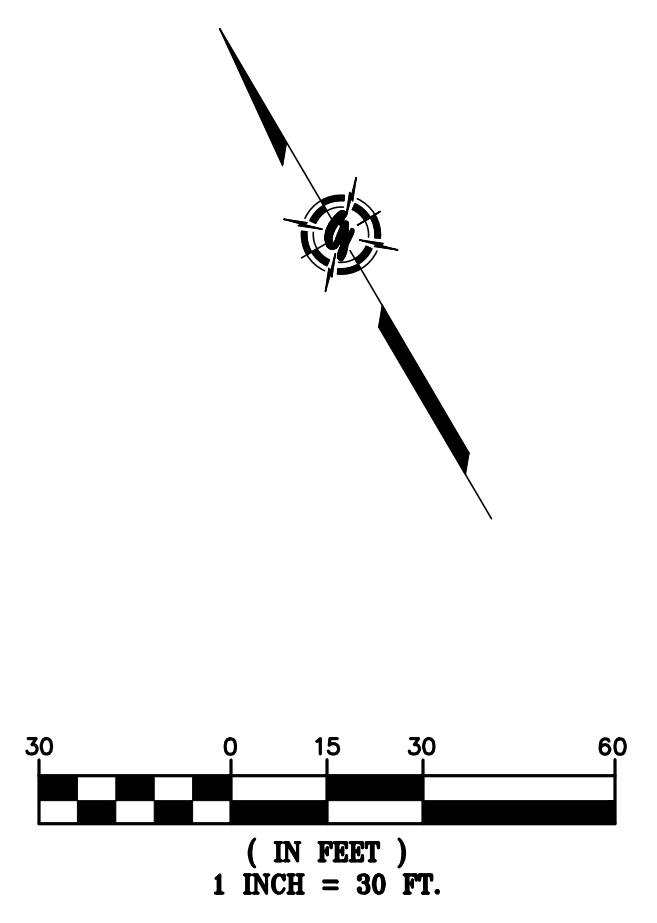
PRIVATE STREET LIGHTING TITLE SHEET
SUMMERHILL HOMES, LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
H. GALLARDO
CHECKED BY:
C. PENN
SCALE:
N/A
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
PrSL1
OF 3 SHEETS



LOS GATOS - SARATOGA ROAD

MATCHLINE - SEE SHEET PrSL3

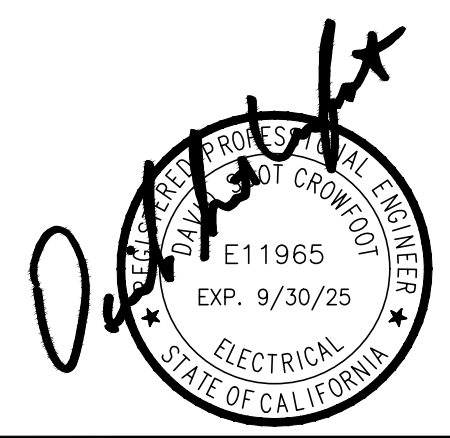


LEGEND	
	PROPOSED POST TOP STREET LIGHT (AA)(44W)
	PROPOSED POST TOP STREET LIGHT (BB)44W
	PROPOSED BOLLARD LIGHT (CC)(6W)
	PROPOSED WALLPACK FOR REFERENCE ONLY (INSTALLED BY OTHERS)
	FIRE HYDRANT (BY OTHERS)

**PRELIMINARY PLANS
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CAUTION:
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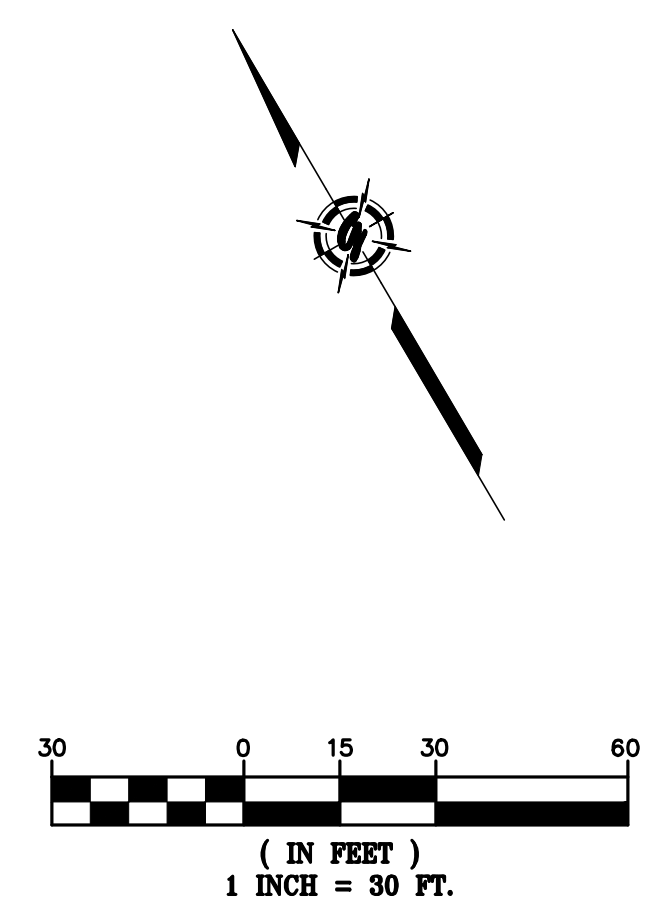
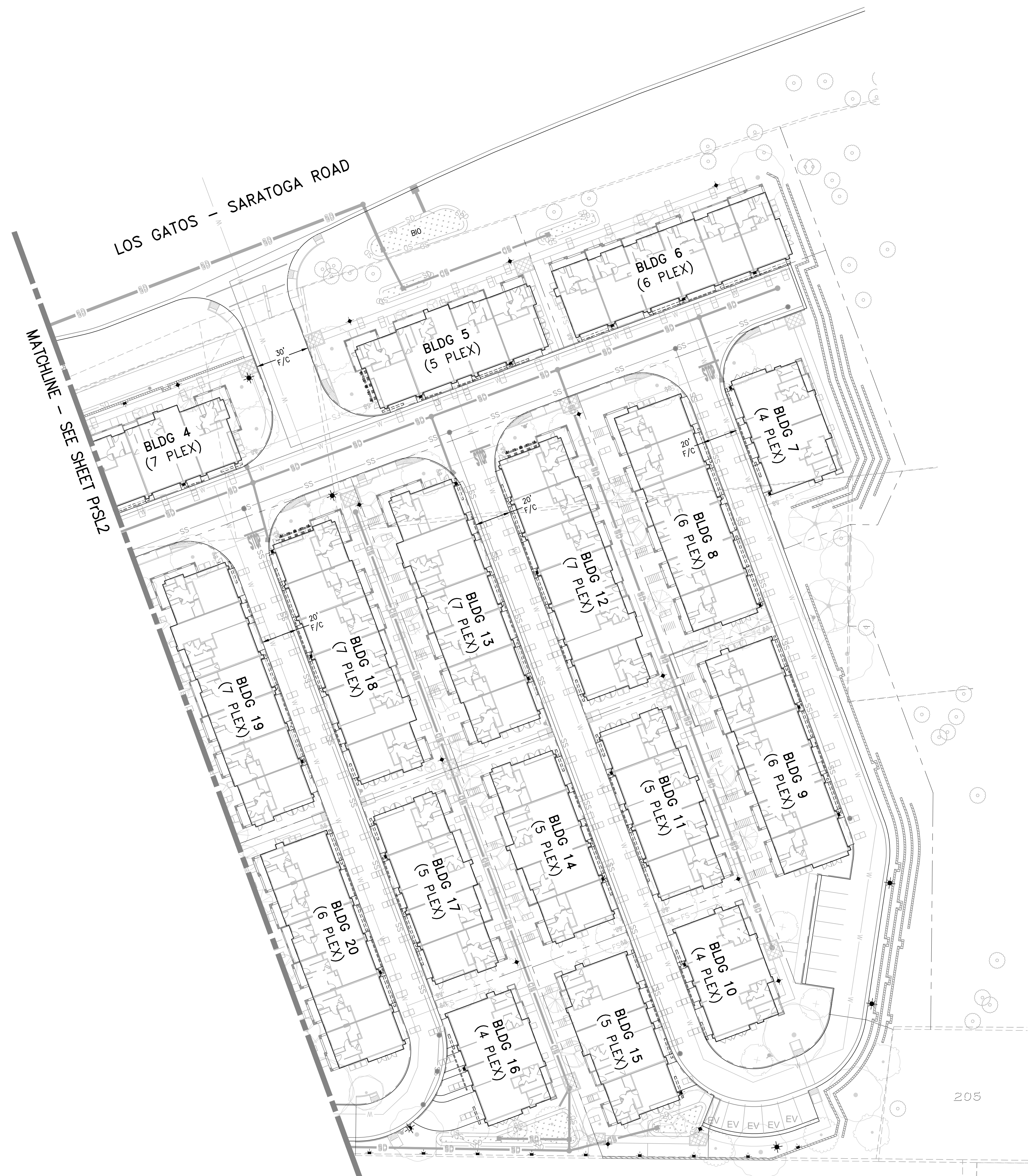


SYMBOL	DATE	DESCRIPTION	APPROVED

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94688
925-471-7740 | WWW.GIACALONEDSIGN.COM

PRIVATE STREET LIGHTING PLAN
SUMMERHILL HOMES, LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
H. GALLARDO/CCP
CHECKED BY:
C. PENN
SCALE:
1"=30'
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
PrSL2
OF 3 SHEETS

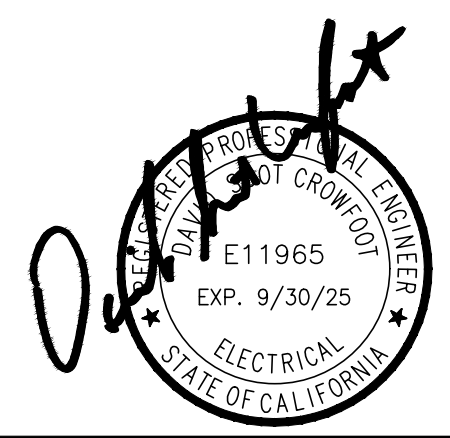


LEGEND	
	PROPOSED POST TOP STREET LIGHT (AA)(44W)
	PROPOSED POST TOP STREET LIGHT (BB)(44W)
	PROPOSED BOLLARD LIGHT (CC)(6W)
	PROPOSED WALLPACK FOR REFERENCE ONLY (INSTALLED BY OTHERS)
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**PRELIMINARY PLANS
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CAUTION:
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TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG



SYMBOL	DATE	DESCRIPTION	APPROVED

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5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94588
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PRIVATE STREET LIGHTING PLAN
SUMMERHILL HOMES, LLC
50 LOS GATOS SARATOGA RD
LOS GATOS CALIFORNIA

PROJECT MANAGER:
A. CUMMINS
DRAWN BY:
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C. PENN
SCALE:
1"=30'
JOB NUMBER:
23-134
DATE LAST MODIFIED:
11-15-24
SHEET
PrSL3
OF 3 SHEETS

LOS GATOS - SARATOGA ROAD

Luminaire Schedule - LED								
Project: 50 LOS GATOS ROAD - LOS GATOS								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	2	AA	Single	0.900	4493	43.66	LUMEC S-OSP4x45W40LED-740-G1-3WF-HS @ 11' LC	S-OSP4x45W40LED-740-G1-3WF-HS.ies
	8	BB	Single	0.900	4454	43.66	LUMEC S-OSP4x45W40LED-740-G1-4F-HS @ 11' LC	S-OSP4x45W40LED-740-G1-4F-HS.ies
	33	CC	Single	0.900	492	6.1	GARDCO PBL-42-14L-100-NW-G2-3-UNV	PBL-14L-100-NW-G2-3-UNV.ies
	43	WP	Single	0.900	2118	20.9	GARDCO PWS-196L-450-NW-G2-2-UNV @ 8'	PWS-196L-450-NW-G2-2-UNV.ies
	39	WP2	Single	0.900	1732	10.2	GARDCO GWS-A01-740-T2M @ 6'	GWS-A01-740-T2M.ies

Calculation Summary							
Project: 50 LOS GATOS ROAD - LOS GATOS							
Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY DRIVES	ILLUMINANCE	Fc	0.85	7.0	0.1	8.50	70.00
PATHWAYS	ILLUMINANCE	Fc	1.03	7.4	0.0	N.A.	N.A.
PERIMETER PATHWAY	ILLUMINANCE	Fc	3.60	9.9	0.1	36.00	99.00



0.07FC. TYP.

0.035FC. TYP.

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC
 7777 PARDEE LANE
 P.O. BOX 2265
 OAKLAND, CA 94621
 PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GIACALONE DESIGN SERVICES
 BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
 SALES REPRESENTATIVE: ALR; KRISTIAN REYES



AGI32 VERSION 21.2
 AGI (C) 2024 LIGHTING ANALYSTS, INC.
 10268 W. CENTENNIAL ROAD, SUITE 202
 LITTLETON, CO 80127

PROJECT DESCRIPTION
50 LOS GATOS SARATOGA ROAD
 CITY OF LOS GATOS

DRAWING NO. / INPUT FILE
 22823REY-R3.DWG / 22823REY-R3.A32

SCALE 1" = 30'	SHEET 1 OF 2	DATE 11.15.2024	REV 3
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LOS GATOS - SARATOGA ROAD

MATCHLINE

228

24

226

224

222

212

210

208

BELLA VISTA AVENUE

205

0.07FC. TYP.

0.035FC. TYP.

0.07FC. TYP.

0.035FC. TYP.

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
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	33	CC	Single	0.900	492	6.1	GARDCO PBL-42-14L-100-NW-G2-3-UNV	PBL-14L-100-NW-G2-3-UNV.ies
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Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY DRIVES	Illuminance	Fc	0.85	7.0	0.1	8.50	70.00
PATHWAYS	Illuminance	Fc	1.03	7.4	0.0	N.A.	N.A.
PERIMTER PATHWAY	Illuminance	Fc	3.60	9.9	0.1	36.00	99.00

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PROJECT DESCRIPTION

50 LOS GATOS SARATOGA ROAD
CITY OF LOS GATOS

DRAWING NO. / INPUT FILE
22823REY-R3.DWG / 22823REY-R3.A32

SCALE 1" = 30'	SHEET 2 OF 2	DATE 11.15.2024	REV 3
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