

General Construction Notes

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF DESIGNER PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE APPLICANT, DEVELOPER, AND CONTRACTORS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE RESPONSIBLE FOR IMPLEMENTING AND/OR COMPLYING WITH ALL ASPECTS OF THE CONDITION OF APPROVAL LISTED ON SHEET 12.

ALL WORK TO BE IN CONFORMANCE WITH 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA HISTORICAL BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA EXISTING BUILDING CODE 2022 CALIFORNIA BUILDING STANDARDS CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA CODE OF REGULATIONS TITLE-24, PARTS 1-12, 2022 HEALTH AND SAFETY CODE AS ADOPTED BY THE TOWN OF LOS GATOS CODE, INCLUDING LOCALLY ADOPTED REACH CODES, AS WELL AS ANY STATE AND LOCAL CODES THAT MAY ALSO APPLY.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BEGINNING.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" MINIMUM FROM STRUCTURE FOR POSITIVE DRAINAGE (LANDSCAPED AREAS & SLOPE GRADE 2% MIN. ON PAVED AREAS).

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY, SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADDES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE TOWN OF LOS GATOS.

ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR OWNER MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL, CERTIFYING ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOLS, PAINTS, AEROSOLS, CARPET SYSTEMS, RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CDBS&C.4.004.

LANDSCAPING: ALL ORNAMENTAL LANDSCAPING FOR THIS PROJECT SHALL BE DROUGHT TOLERANT AND NATIVE SPECIES.

VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

PRIOR TO ISSUANCE OF A CERTIFICATE FOR OCCUPANCY, ALL FRONT YARD LANDSCAPING MUST BE INSTALLED.

A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE BUILDING INSPECTOR AT FOUNDATION INSPECTION. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR FOR THE FOLLOWING:

- a. BUILDING PAD ELEVATIONS
b. FINISH FLOOR ELEVATIONS
c. FOUNDATION CORNER LOCATIONS
d. RETAINING WALLS

ALL PUBLIC IMPROVEMENTS SHALL BE MADE ACCORDING TO TOWN STANDARD PLANS, STANDARD SPECIFICATIONS, AND ENGINEERING DESIGN STANDARDS. ALL WORK SHALL CONFORM TO THE APPLICABLE TOWN ORDINANCES. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT & DEBRIS AT THE END OF THE DAY. DIRT & DEBRIS SHALL NOT BE WASHED INTO STORM DRAINAGE FACILITIES. THE STORING OF GOODS & MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS AN ENCROACHMENT PERMIT IS ISSUED. THE DEVELOPER'S REPRESENTATIVE IN CHARGE SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS.

THE DEVELOPER OR HISHER REPRESENTATIVE SHALL NOTIFY THE ENGINEERING INSPECTOR AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY WORK PERTAINING TO CHASE DRAINAGE FACILITIES, GRAZING OR PAVING, AND ALL WORK IN THE TOWNS RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN REJECTION OF WORK THAT WENT WITHOUT INSPECTION.

NO VEHICLE HAVING A MANUFACTURER'S RATED GROSS VEHICLE WEIGHT EXCEEDING TEN THOUSAND (10,000) POUNDS SHALL BE ALLOWED TO PARK ON THE PORTION OF A STREET WHICH ABUTS PROPERTY IN A RESIDENTIAL ZONE WITHOUT PRIOR APPROVAL FROM THE TOWN ENGINEER.

ALL PASSAGE DOORS SHALL BE AT LEAST 32" WIDE ON THE ACCESSIBLE FLOOR.

THE PRIMARY ENTRANCE DOOR SHALL BE 36" WIDE DOOR INCLUDING A LEVEL 6' x 5' 4" LANDING NOT LESS THAN 1' OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL, AND WITH AN 18" CLEARANCE AT THE INTERIOR STRIKE EDGE.

HAULING OF SOIL ON-SITE OR OFF-SITE SHALL NOT OCCUR DURING THE MORNING OR EVENING PEAK PERIODS (BETWEEN 7:00 AM & 6:00 AM AND BETWEEN 4:00 PM & 6:00 PM). PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE DEVELOPER SHALL WORK WITH THE TOWN BUILDING AND ENGINEERING DEPARTMENT ENGINEERING INSPECTORS TO DEVISE A TRAFFIC CONTROL PLAN TO ENSURE SAFE & EFFICIENT TRAFFIC FLOW UNDER PERIODS WHEN SOIL IS HAULED ON OR OFF THE PROJECT SITE. ALL TRUCKS TRANSPORTING MATERIALS SHALL BE COVERED TO AND FROM THE SITE.

BETWEEN THE HOURS OF 8:00 AM TO 8:00 PM WEEKDAYS AND 9:00 AM TO 7:00 PM WEEKENDS AND HOLIDAYS, CONSTRUCTION, ALTERATION OR REPAIR ACTIVITIES SHALL BE ALLOWED. NO INDIVIDUAL, PIECE OF EQUIPMENT SHALL PRODUCE A NOISE LEVEL EXCEEDING EIGHTY-FIVE (85) DBA AT TWENTY-FIVE (25) FEET FROM THE SOURCE. IF THE DEVICE IS LOCATED WITHIN A STRUCTURE ON THE PROPERTY, THE MEASUREMENT SHALL BE MADE AS CLOSE TO THE TWENTY-FIVE (25) FEET FROM THE DEVICE AS POSSIBLE. THE NOISE LEVEL AT ANY POINT OUTSIDE OF THE PROPERTY PLANE SHALL NOT EXCEED EIGHTY-FIVE (85) DBA. SAN JOSE WATER COMPANY CONCURRENCE ON THE ADEQUACY OF WATER PRESSURE SHALL BE OBTAINED PRIOR ISSUANCE OF THE BUILDING PERMIT.

FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE AND TWO FAMILY DWELLINGS, COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. FOR BUILDINGS IN EXCESS OF 6000 SQUARE FEET, A FIRE DEPARTMENT (FDC) SHALL BE PROVIDED. THE FDC SHALL CONSIST OF AT LEAST ONE 2.5 INCH HOSE CONNECTION THAT IS CONNECTED TO THE SPRINKLER RISE WITH A PIPE NOT LESS THAN THE DIAMETER OF THE SPRINKLER RISE. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. THE OWNERS, OCCUPANTS, AND ANY CONTRACTORS OR SUB-CONTRACTORS ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED.

WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPARTMENT UNLESS COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANTS.

CONSTRUCTION FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CPC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION S17.

ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OF MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

TOWN OF LOS GATOS CODE SECTION 6.40.020: PLUMBING CONTRACTOR SHALL PROVIDE AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE A FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE PER CPC SECTION 710J

TOWN OF LOS GATOS CODE SECTION 6.40.020: PLUMBING CONTRACTOR SHALL PROVIDE AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE A FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE PER CPC SECTION 710J

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV PERMIT MUST BE FINALED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

THIS RESIDENCE SHALL COMPLY WITH THE TOWN OF LOS GATOS ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH THE TOWN CODE.

THE BUILDER SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES, AS REQUIRED BY TITLE-24 CALIFORNIA ENERGY CODE OF REGULATIONS.

PRIOR TO FINAL INSPECTION, THE COMPLETED CF29A-01-0E INSTALLATION CERTIFICATE MUST BE PROVIDED BY THE LIGHTING INSTALLATION CONTRACTOR TO THE TOWN BUILDING INSPECTOR.

Scope of Work

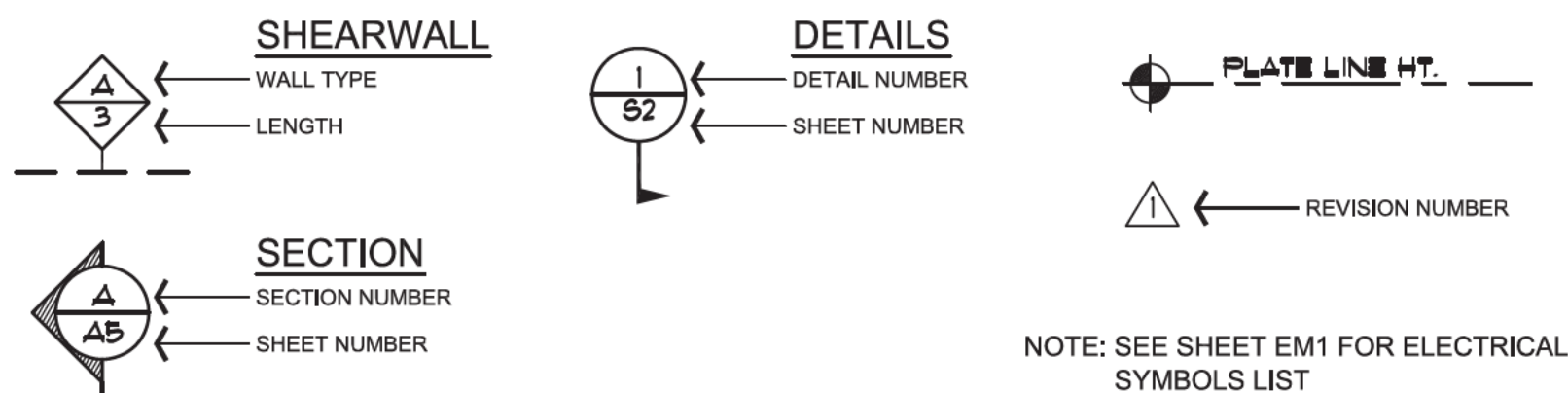
Architecture & Site: S-23-029

Approved Subdivision Application No. M-22-004 & Historic Review PHST-23-023
Deconstruct the existing residence, detached garage and shed on the property under a separate Demolition Permit. Provide a new two story single family residence with 2,800 sq. ft. living area with a 703 sq. ft. attached garage.

Deferred Submittals

THE ENTIRE STRUCTURE SHALL BE EQUIPPED WITH AN APPROVED, AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE SPRINKLER PLANS SHALL BE SUBMITTED TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A LICENSED C-16 FIRE SPRINKLER CONTRACTOR. LICENSED FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETE PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY WORK RELATED TO THE FIRE SPRINKLER SYSTEM.

Symbols



NOTE: SEE SHEET EM1 FOR ELECTRICAL SYMBOLS LIST

Title-24 Requirements

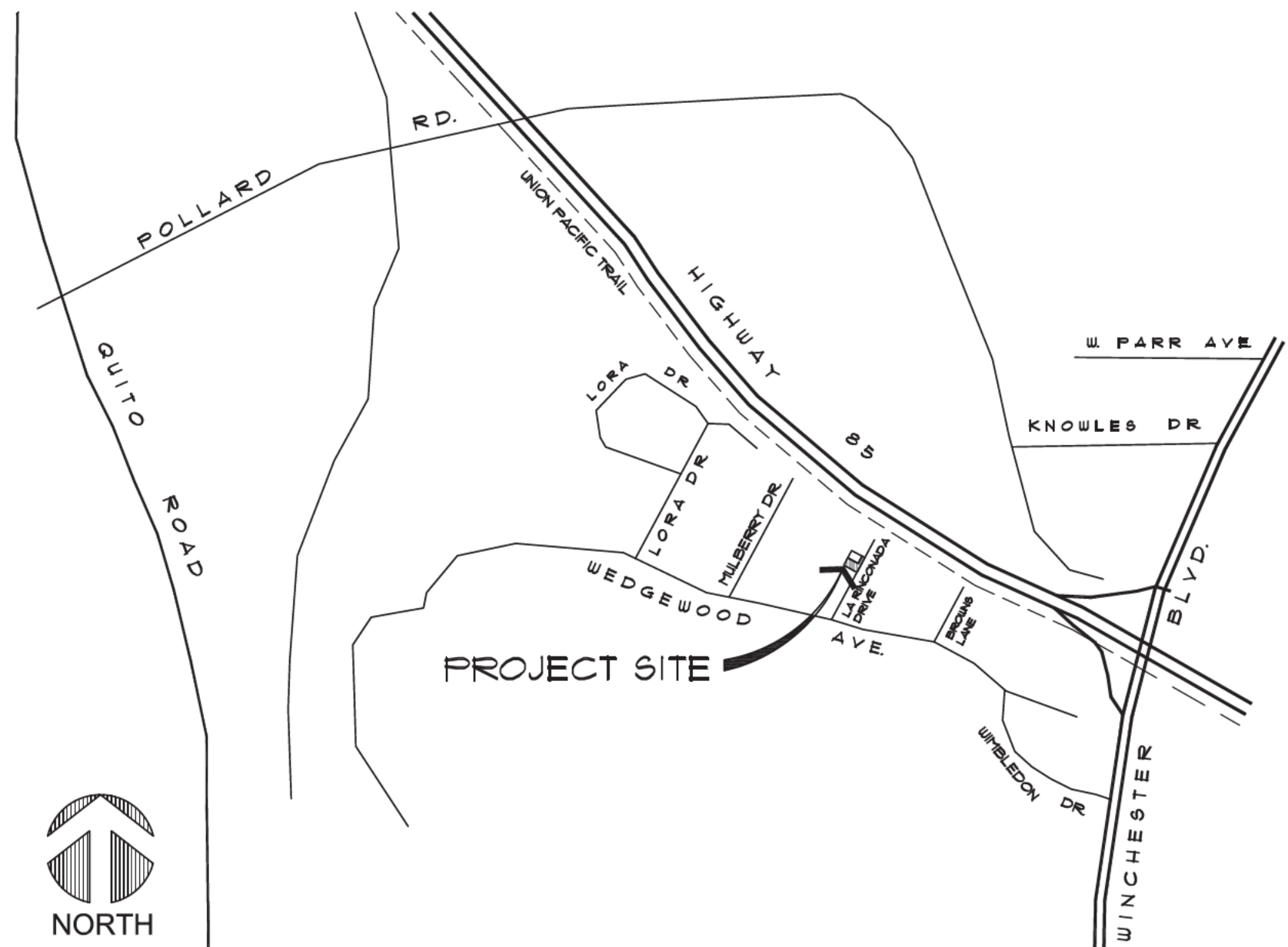
Consultants

CIVIL ENGINEER
SF Civil Engineering
2532 Santa Clara Avenue
Alameda, Calif. 94501
(510) 282-5281
sfcivil@yahoo.com

Abbreviations

Table of abbreviations including terms like ANCHOR BOLT, ASPHALTIC CONCRETE, BEAM, BOARD, BLOCKING, BOTTOM, CABINET, CEMENT, CERAMIC TILE, CAST IRON, CLOSET, CLEAR, CLERK, CULM, COMPOSITION, CONN., CONC., CONCRETE, CONSTRUCTION, CORRUGATED, CSMT., COOL-WATER, D.W., DOUBLE, DET., DIMENSIONS, DIMENSION, DIMENSION-OUT, DRYER, DRIP, DBSP WASHBR, DRAWING, EA, ELEC, ELEV, ENCL, ENCLURE, EQ, EXHAUST, EXP, EXTERIOR, EXTR, FBRL, FLOOR DRAIN, FPO, FINISH FLOOR, FINISH, FLR, FLOOR, FLOOR/JOIST, FACE OF CONCRETE, FOS, FRENCH DOOR, FOOT, FTO, GA, GALV, GALVANIZED, GALVANIZED BRN, GFI, GLASS, GROUND, or GRADE, GYP, BO., H.C., H.C.B., HDR, HDWD, HDWRZ, HR, H.A., H.B.R, H.C., H.C., HW, I.D., INSIDE DIAMETER, INSUL, INTERIOR, J.B., JUNCTION BOX, JST, JOIST, KIT, KITCHEN, KICKER/POST, KING STUD, KVS, LAVS, LAVIN, L.A., L.W., L.T., M.A.T, MATERIAL, MAX, MAXIMUM, M.C.H., MECHANICAL, M.C.K.B, MECHANICAL CABINET, MFR, MANUFACTURER, MIN, MINIMUM, MISC, MISCELLANEOUS, MTD, MOUNT, N, NEW, N.C., NOT IN CONTRACT, N.F., NOT TO SCALE, N.T.S., OVER, OVER CENTER, O.F.S., OUTSIDE FACE OF STUD, O.P.R., OPENING, O.D., PL, PLATE, FLOOR/JOIST LINE, PLAS, PLASTER, PLY, PLYWOOD, PAL, PANEL, P.S, POLE & SHELF, PT, POINT, P.R, PART, R.A., RAD, RADIUS, R.D., ROUND, REC, RECESSED, REF, REFRIGERATOR, REFIN, REFINISHING, RES, RESIDENT, R.M., ROOM OPENING, R.O., ROOM, R.W., RIGHT OF WAY, R.W.D, RAIN WATER LEADER, SCHED, SCHEDULE, S.C., SQUARE CORE, SECT., SECTION, SF, SQUARE FEET, SH, SINGLE RUNG, SHW, SHOWER, SHWR, SHOWER, SLD, SLIDER, SLDR, SLIDING GLASS DOOR, SPEC, SPECIFICATIONS, STD, SQUARE FEET, STN, STAINING, STL, STEEL, STR, STORAGE, STRUCT, STRUCTURAL, STSS, STAINLESS STEEL, SYM, SYMMETRICAL, T, TOWEL BAR, TEL, TELEPHONE, T.E.M.P, TEMPERATURE, THRESH, THRESHOLD, T.O., TONGUE AND GROOVE, T.O.P, TOP OF, T.O.P.F, TOP OF FINISH, T.O.P.F, TOP OF FINISH, T.O.P.F, TOP OF FINISH, TYP, TYPICAL, UNCL, UNLESS NOTED OTHERWISE, UNCL, UNLESS OTHERWISE NOTED, VERT, VERTICAL, W, WITH, WANS, WAINSCOT, W.C, WATER CLOSET, WOOD, WOOD, WO, WITH, W/O, WITH-OUT, W/W, WATERSHOOF, W.W.F, WELDED WIRE FABRIC

Vicinity Map



DRAWING INDEX

- T1 Title Sheet
GP1 Greenpoint Checklist
ST1 Streetscape & Pictures
TS1 Tree Summary Report
TS2 Tree Summary Report
TS3 Tree Summary Report

Civil Drawings

- 1 Topographic Survey
T-1 Tentative Map
C0.1 Civil Cover Sheet
C0.2 Erosion Control Plan & Demolition Plan
C0.3 Pollution Prevention Plan
C1.0 Grading & Drainage Plan and Utility Plan
C2.0 Stormwater Plan

Design Drawings

- A1 Site plan
A2.1 Main Level Floor Plan
A2.2 Upper Level Floor PLAN
A3.1 Exterior Elevations
A3.2 Exterior Elevations
A4 Building Cross Sections
A5 Roof Plan
A6 Floor Area Calculations

Shadow Drawings

- SH1 Shadow Study - June 21st @ 9:00 am
SH2 Shadow Study - June 21st @ 12:00 pm
SH3 Shadow Study - June 21st @ 3:00 pm
SH4 Shadow Study - Dec. 21st @ 9:00 am
SH5 Shadow Study - Dec. 21st @ 12:00 pm
SH6 Shadow Study - Dec. 21st @ 3:00 pm

PROJECT DATA

OWNER: MGKG Properties LP
19341 Monte Vista Drive
Saratoga, Calif. 95035
LOT DATA: Lot: 14335 La Rinconada Drive - Parcel 1
A.P.N.: 409-14-026
Zoning: R-1:8
Lot Size: Parcel 1
Gross Lot: 9,210 sq. ft.
Net Lot Size: 9,210 sq. ft.
Construction Type: VB
Occupancy Group: R3/U
Number of Stories: 2
Fire Sprinklers: Yes

14335 La Rinconada Dr. - Parcel 1
Gross Lot Size: 9,210 sq. ft.
Net Lot Size: 9,210 sq. ft.
Maximum Allowable F.A.R.-House: 2,947 sq. ft.
Maximum Allowable F.A.R.-Garage: 810 sq. ft.
Existing Floor Area: 744 sq. ft.
Existing Garage: 400 sq. ft.
Existing Accessory: 93 sq. ft.
Proposed Floor Area: 2,805 sq. ft. 30%
Proposed Garage Area: 703 sq. ft.
Proposed Accessory: 0 sq. ft.
No attic area to be included in F.A.R.

Existing Lot Coverage:
Existing Residence: 744 sq. ft.
Existing Detached Garage: 400 sq. ft.
Existing Accessory Bldg.: 93 sq. ft.
Total Lot Coverage: 1,237 sq. ft.
1,237 sq. ft. / 9,210 sq. ft. = 13.4%

Proposed Lot Coverage:
Proposed Residence: 1,614 sq. ft.
Proposed Garage: 703 sq. ft.
Proposed Front Porch: 212 sq. ft.
Proposed Rear Porch: 132 sq. ft.
Total Lot Coverage: 2,661 sq. ft.
2,661 sq. ft. / 9,210 sq. ft. = 28.9%

Building Height:
Existing House: 14'-8"
Proposed House: 25'-6"

NO./ DATE/ REVISION

- 1 LOS GATOS ARCH 4 SITE REVIEW 9-6-24
2 LOS GATOS ARCH 4 SITE REVIEW 10-19-24
3 LOS GATOS ARCH 4 SITE REVIEW 1-16-25

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGN. ANY REVISIONS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ORIGINAL DESIGNER. ANY REVISIONS TO THESE PLANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF UNIQUE HOME DESIGN, ANY CONTRACTOR OR SUB-CONTRACTOR SHALL BE AT THE DESIGNER'S RISK. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ORIGINAL DESIGNER. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

MGKG Properties LP
Single Family Home
Los Gatos, California

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinoak Lane, San Jose, California 95123
(408) 972-8594

14335 La Rinconada Drive - Parcel 1
Title Sheet - Parcel 1
La Rinconada Drive Project
14335 La Rinconada Drive - Parcel 1
Los Gatos, California

DRAWING TITLE: Title Sheet - Parcel 1
JOB TITLE: La Rinconada Drive Project
JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1, Los Gatos, California
DATE: SEPT 1, 2024
SCALE:
PROJECT MANAGER: N/A
DRAWN: GREG ZIERMAN
JOB NO.: 2023-MGKG LG.
SHEET: T1

GreenPoint Checklist

14335 La Rinconada Drive - Parcel 1

NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH DESIGNED. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF UNIQUE HOME DESIGNS. THE USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF UNIQUE HOME DESIGNS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. UNIQUE HOME DESIGNS SHALL TAKE PRECEDENCE OVER SCALD.

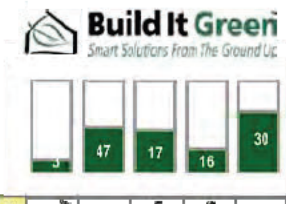
UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594

GreenPoint Checklist
 La Rinconada Drive Project
 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

GP1

G. Zierman

Single Family GreenPoint Checklist date: 9-1-24
 The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be GreenPoint Rated if it meets the prerequisites, earns at least 50 points, and meets the minimum points per category: Energy (25), Indoor Air Quality (10), Water (5), and Water (5). Please contact Build It Green for a list of qualified GreenPoint Rated if you are interested in pursuing green verification.
 The green building practices listed below are available in the New Home Construction Green Building Checklist available at www.builditgreen.com



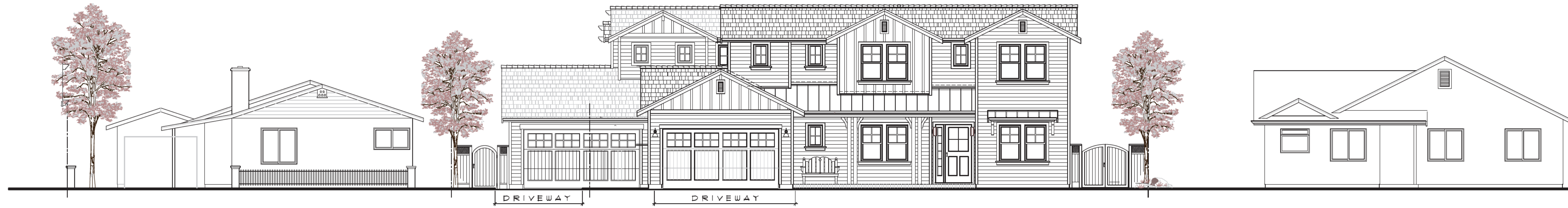
MGKG Properties LP - 14335 La Rinconada Drive		Points Available	Points Earned	Energy	Water	Indoor Air Quality	Materials	Other
A. SITE		20	17	1	1	1	1	1
B. FOUNDATION		12	12	0	0	0	0	0
C. LANDSCAPING		12	12	0	0	0	0	0
D. STRUCTURAL FRAME & BUILDING ENVELOPE		50	48	25	25	10	10	10
E. EXTERIOR FINISH		10	10	0	0	0	0	0
F. INSULATION		10	10	0	0	0	0	0
G. PLUMBING		10	10	0	0	0	0	0
H. HEATING, VENTILATION & AIR CONDITIONING		10	10	0	0	0	0	0
I. RENEWABLE ENERGY		10	10	0	0	0	0	0
J. BUILDING PERFORMANCE		30	30	0	0	0	0	0
K. FINISHES		10	10	0	0	0	0	0
L. FLOORING		10	10	0	0	0	0	0
M. APPLIANCES AND LIGHTING		10	10	0	0	0	0	0
N. OTHER		10	10	0	0	0	0	0
Total Points Available in Specific Categories				25	25	10	10	10
Total Points Achieved		113	113	25	25	10	10	10

MGKG Properties LP - 14335 La Rinconada Drive		Points Available	Points Earned	Energy	Water	Indoor Air Quality	Materials	Other
A. SITE		20	17	1	1	1	1	1
B. FOUNDATION		12	12	0	0	0	0	0
C. LANDSCAPING		12	12	0	0	0	0	0
D. STRUCTURAL FRAME & BUILDING ENVELOPE		50	48	25	25	10	10	10
E. EXTERIOR FINISH		10	10	0	0	0	0	0
F. INSULATION		10	10	0	0	0	0	0
G. PLUMBING		10	10	0	0	0	0	0
H. HEATING, VENTILATION & AIR CONDITIONING		10	10	0	0	0	0	0
I. RENEWABLE ENERGY		10	10	0	0	0	0	0
J. BUILDING PERFORMANCE		30	30	0	0	0	0	0
K. FINISHES		10	10	0	0	0	0	0
L. FLOORING		10	10	0	0	0	0	0
M. APPLIANCES AND LIGHTING		10	10	0	0	0	0	0
N. OTHER		10	10	0	0	0	0	0
Total Points Available in Specific Categories				25	25	10	10	10
Total Points Achieved		113	113	25	25	10	10	10

MGKG Properties LP - 14335 La Rinconada Drive		Points Available	Points Earned	Energy	Water	Indoor Air Quality	Materials	Other
A. SITE		20	17	1	1	1	1	1
B. FOUNDATION		12	12	0	0	0	0	0
C. LANDSCAPING		12	12	0	0	0	0	0
D. STRUCTURAL FRAME & BUILDING ENVELOPE		50	48	25	25	10	10	10
E. EXTERIOR FINISH		10	10	0	0	0	0	0
F. INSULATION		10	10	0	0	0	0	0
G. PLUMBING		10	10	0	0	0	0	0
H. HEATING, VENTILATION & AIR CONDITIONING		10	10	0	0	0	0	0
I. RENEWABLE ENERGY		10	10	0	0	0	0	0
J. BUILDING PERFORMANCE		30	30	0	0	0	0	0
K. FINISHES		10	10	0	0	0	0	0
L. FLOORING		10	10	0	0	0	0	0
M. APPLIANCES AND LIGHTING		10	10	0	0	0	0	0
N. OTHER		10	10	0	0	0	0	0
Total Points Available in Specific Categories				25	25	10	10	10
Total Points Achieved		113	113	25	25	10	10	10

MGKG Properties LP - 14335 La Rinconada Drive		Points Available	Points Earned	Energy	Water	Indoor Air Quality	Materials	Other
A. SITE		20	17	1	1	1	1	1
B. FOUNDATION		12	12	0	0	0	0	0
C. LANDSCAPING		12	12	0	0	0	0	0
D. STRUCTURAL FRAME & BUILDING ENVELOPE		50	48	25	25	10	10	10
E. EXTERIOR FINISH		10	10	0	0	0	0	0
F. INSULATION		10	10	0	0	0	0	0
G. PLUMBING		10	10	0	0	0	0	0
H. HEATING, VENTILATION & AIR CONDITIONING		10	10	0	0	0	0	0
I. RENEWABLE ENERGY		10	10	0	0	0	0	0
J. BUILDING PERFORMANCE		30	30	0	0	0	0	0
K. FINISHES		10	10	0	0	0	0	0
L. FLOORING		10	10	0	0	0	0	0
M. APPLIANCES AND LIGHTING		10	10	0	0	0	0	0
N. OTHER		10	10	0	0	0	0	0
Total Points Available in Specific Categories				25	25	10	10	10
Total Points Achieved		113	113	25	25	10	10	10

STREETSCAPE



14345 La Rinconada Drive

La Rinconada Drive
Parcel 2
View - West

La Rinconada Drive
Parcel 1
View - West

14333 La Rinconada Drive



14355 La Rinconada Drive
View - West



14345 La Rinconada Drive
View - West



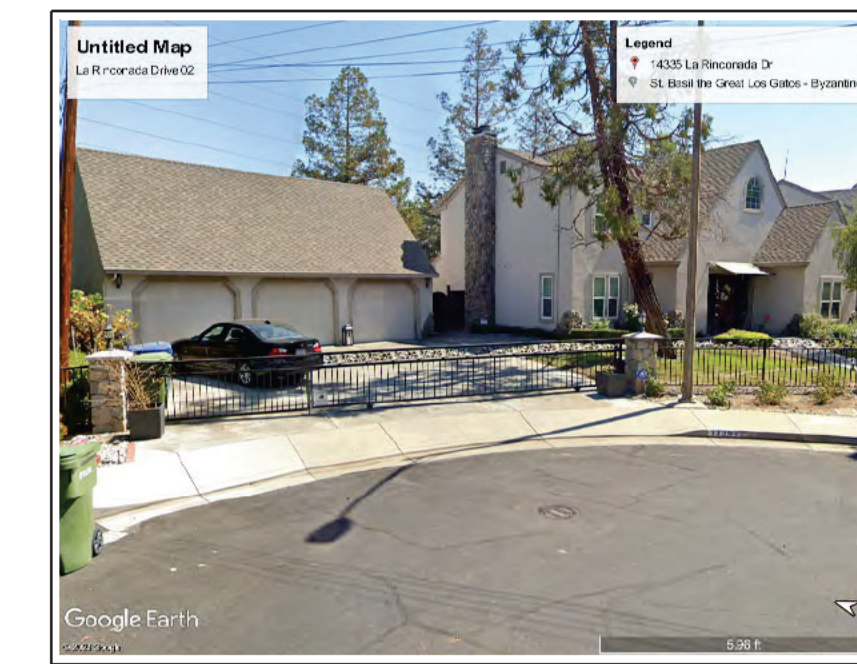
14335 La Rinconada Drive
Existing Residence



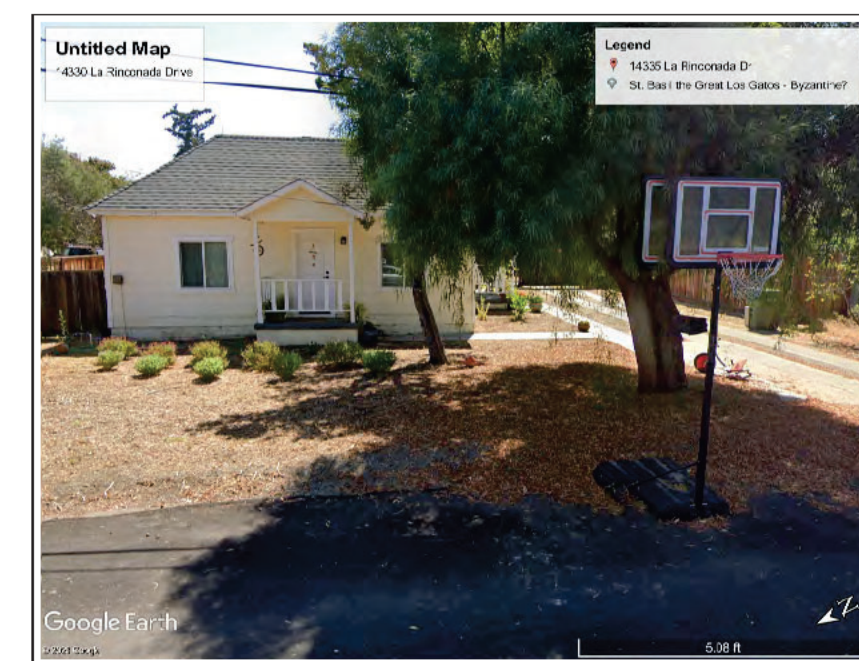
14333 La Rinconada Drive
View - West



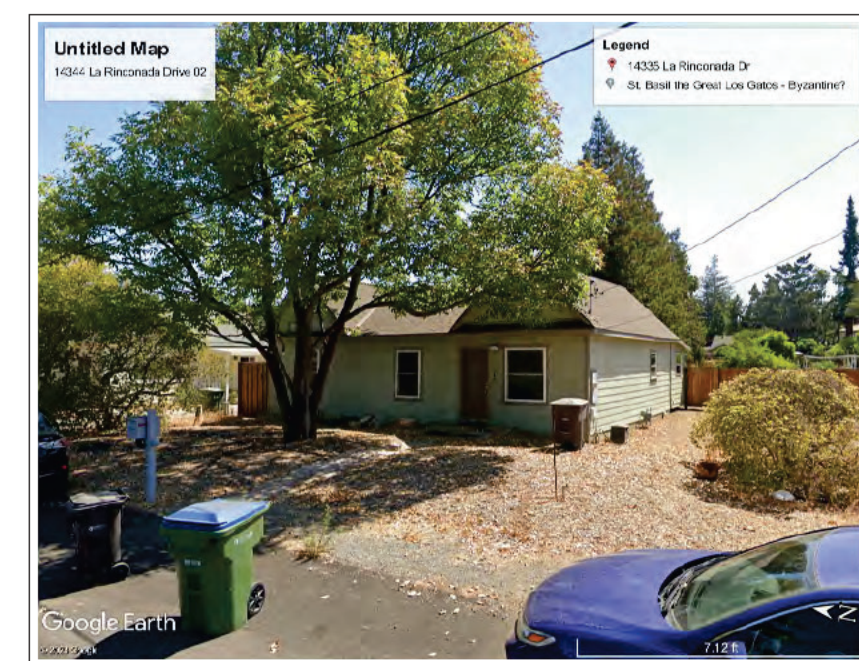
14301 La Rinconada Drive
View - Northwest



14294 La Rinconada Drive
View - Northeast



14330 La Rinconada Drive
View - East



14344 La Rinconada Drive
View - East



14350 La Rinconada Drive
View - East

NO. / DATE / REVISION

LOS GATOS ARCH. &
SITE REVIEW 7-1-24

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ORIGINAL DESIGNER. THESE PLANS ARE NOT TO BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ORIGINAL DESIGNER. THE ORIGINAL DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY DISCOVERED IN THESE PLANS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinoak Lane, San Jose, California
(408) 872-8594

DRAWING TITLE: Streetscape & Pictures
JOB TITLE: La Rinconada Drive Project
JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1
Los Gatos, California

DATE: SEPT. 1, 2024
SCALE: 1/8" = 1'-0"
PROJECT MANAGER: GREG ZIERMAN
DRAWN: GZ
JOB NO.: 2023-MGKG LG.
SHEET:

ST1

Tree Summary Report
14335 La Rinconada Drive

NO./ DATE/ REVISION

- LOG GATOS ARCH. 4
SITE REVIEW 1-1-24
LOG GATOS ARCH. 4
SITE REVIEW 10-1-24
LOG GATOS ARCH. 4
SITE REVIEW 12-11-24

Tree Inventory, Assessment, and Protection Report
14335 La Rinconada Drive
Los Gatos, CA 95032

Prepared for:
Town of Los Gatos
November 6, 2023
Revised December 5, 2024



Monarch Consulting Arborists

Rickal Green
P.O. Box 9523 - Felton, CA 95024
1 831 331 8882
www.monarcharborist.com

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Table of Content

Summary1
Introduction1
Background1
Assignment1
Limits of the assignment1
Purpose and use of the report2
Observations2
Tree Inventory2
Plans2
Appendix A: Tree Inventory Map and Proposed Grading and Drainage Plan16
A1: Parcel 116
A2: Parcel 216

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Appendix B: Tree Inventory and Assessment Tables

B1: Summary Parcel 117
B2: Parcel 219
Appendix C: Photographs21
C1: #731 through #73621
C2: #737 through #74722
C3: Cavity in #74323
C4: #751 through #75524
C5: Pepper #76025
Appendix D: Tree Protection Guidelines28
D1: Plan Sheet Detail S-X (Type I)28
D2: Plan Sheet Detail S-Y (Type II)27
D3: Section 29.10.1005 - Protection of Trees During Construction28
Tree Protection Zones and Fence Specifications28
All persons shall comply with the following precautions29
Prohibited Activities29
Monitoring30
Root Pruning30
Boring or Tunneling30
Tree Pruning and Removal Operations30
Appendix E: Tree Protection Signs31
E1: English31
E2: Spanish32

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Qualifications, Assumptions, and Limiting Conditions

Qualifications, Assumptions, and Limiting Conditions33
Certification of Performance34

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH DESIGNED. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE USER OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE USER'S HOME DESIGNER PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. THE USER'S HOME DESIGNER SHALL TAKE PRECEDENCE OVER THESE PLANS IN ANY DISCREPANCY.

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Summary

The applicant is requesting approval for demolition of an existing single-family residence and construction of a new single-family residence for Parcel 1 and Parcel 2 site improvements requiring a grading permit on property zoned R-18, APN 409-14-026 and APN 409-14-025. Categorically exempt pursuant to CEQA guidelines section 15303; new construction.

The plans are to build two new residences on the subdivided lots. The inventory contains thirty-three (33) trees comprised of eleven (11) different species. One Peruvian pepper #760 is considered Large Protected ("Large Protected") by aggregate of stems and five trees are Exempt with four being fruit trees #731, #733, #735, and #751, and one privet #763. There are seventeen trees on Parcel one and sixteen on Parcel 2.

Parcel 1: Six tree will be highly impacted on parcel one and the remaining eleven moderately affected. The plum "moderate-highly" impacted should be removed and is not protected (except). The trees retained are primarily along the driveway to Parcel two and one large pepper tree. The applicant will be required to replace three protected trees on Parcel 1.

Parcel 2: Two trees will be highly impacted and removed. The trees to be retained will require protection at their calculated radii and no grading within the TPZ.

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Introduction

Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
• Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
• Provide appraised values using the Trunk Formula Technique.

Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on June 27, 2022. No tree risk assessments were performed.
• Tree heights and canopy diameters are estimates.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 1 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

• The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Table with columns: Plan, Date, Sheet, Review, and Source. Rows include Existing Site Topography, Proposed Site Plan, Erosion Control, Grading and Drainage, Utility Plan and Hook-up location, Exterior Elevations, Landscape Plan, and Irrigation Plan.

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

Observations

Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity to neighboring properties. Sec. 29.10.0960 - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: "A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

Plans

The plans are to build two new residences on the subdivided lots.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 2 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

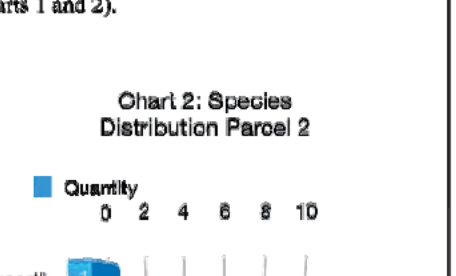
The inventory contains thirty-three (33) trees comprised of eleven (11) different species.

Chart 1: Species Distribution Parcel 1



14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Chart 2: Species Distribution Parcel 2



1 Large protected tree means any oak (Quercus sp.), California bushy oak (Assecula californica), or Pacific madrone (Arbutus menziesii) which has a 24-inch or greater diameter (78-inch circumference), or any other species of tree with a 48-inch or greater diameter (130-inch circumference).

2 A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 3 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Analysis

This appraisal was performed according to the Council of Tree & Landscape Appraisers Guide for Plant Appraisal 16th Edition, 2019 (CLTA) along with Western Chapter International Society of Arboriculture Species Classification and Group Assignment, 2004. The trees were appraised using the "Cost Approach" and more specifically the "Trunk Formula Technique" (Appendix B).

The trunk formula valuations are based on four tree factors, size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the "Basic Tree Cost" based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree's Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the "Condition Rating" section of this report. Functional limitations are based on factors associated with the tree's interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e. power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were thirty-three trees appraised for a rounded depreciated value of \$81,210.00.

Parcel 1 = seventeen trees \$53,470.00
Parcel 2 = sixteen trees \$27,740.00

Appraisal worksheets are available upon request
Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 4 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Discussion

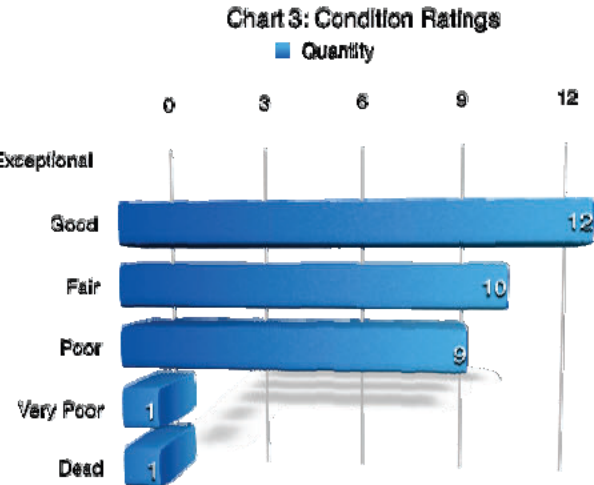
Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional - Good health and structure with significant size, location or quality.
• 61-89% - Good - Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
• 41-60% - Fair - Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetic compromised.
• 21-40% - Poor - Unhealthy and declining appearance with poor vigor, abnormal foliage color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
• 6-20% - Very Poor - Poor vigor and dying with little foliage in irrevocable decline. Severe dieback with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
• 0-5% - Dead/Unstable - Dead or imminently ready to fail.

Twelve trees are in good condition, ten fair, nine poor, one very poor, and one is dead (Chart 3). Trees in poor shape include the neighbor's incense cedar #732 and the two on the site #734 and #726. Pepper #743 has a large internal cavity that encompasses the entire lower trunk.

Chart 3: Condition Ratings



Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 5 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low - The construction activity will have little influence on the tree.
• Moderate - The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
• High - Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Parcel 1: Six tree will be highly impacted on parcel one and the remaining eleven moderately affected. The plum "moderate-highly" impacted should be removed and is not protected (except). The trees retained are primarily along the driveway to Parcel two and one large pepper tree.

Parcel 2: Two trees will be highly impacted and removed. The remaining trees could be impacted primarily due to the drainage around the site. There appears to be activity around the trees based on the grading plan and more tree protection will need to be added.

Chart 4: Expected Impact Parcel 1

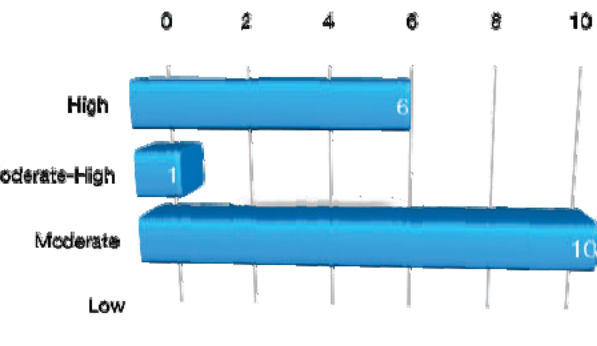
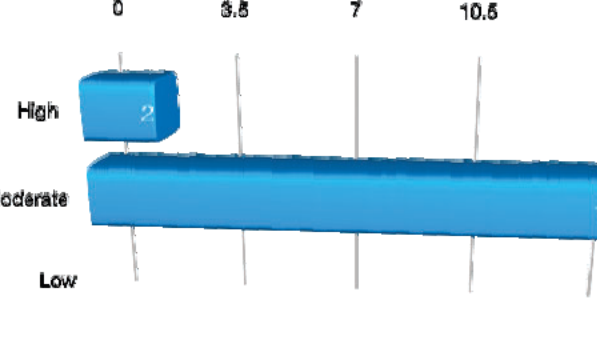


Chart 5: Expected Impact Parcel 2



Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 6 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Mitigation for Removals

The table below indicates the recommended replacement values (Table 2). The applicant will be required to replace three protected trees on Parcel 1 and two on Parcel 2 according to the ordinance. Alternatively it may be possible to create an approved landscape plan or provide an in-lieu payment.

Table 2: Town of Los Gatos Tree Canopy - Replacement Standard

Table with columns: Canopy Size of Removed Tree (ft), Replacement Requirement (24x), Single Family Residential Replacement Option (3)(4), and Replacement Value.

To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

3 Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

4 Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council.

5 Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions—Hillside.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 7 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree and should encompass the critical root zone. There are two tree protection zones determined which include the "calculated" and "specified" tree protection zones. The "calculated" tree protection zone is determined by a multiplication factor based on species tolerance, tree age/vigor/health, and trunk diameter (Table 3). The "specified" tree protection zone is adjusted in size and shape to accommodate the existing infrastructure, planned construction, and specific site constraints. This "specified" zone includes tree canopy conformation, visible root orientation, size, condition, maturity, and species tolerance (Giffith, R, Hauer, R, Matheny, N, and Smitley, E.T. 2022).

Parcel 1: Parcel 1 has one Large Protected Peruvian pepper #760 which would require a tree protection radius of 23 feet. The other trees on this parcel requiring protection will be the row along the south driveway flag to Parcel 2 #737 to #744 and require a radius of seven feet. There will be some driveway excavation adjacent to these trees and monitoring construction will be required. The last tree regarding this parcel is #732 which is located on the adjacent property to the north and calculated tree protection is 19 feet due to the trunk size of this tree. The tree is in poor condition but not under the control of the applicant/owner.

Parcel 2: Parcel 2 has several trees around the perimeter and only one (#759) has protection fence around it indicated on the plans. The remaining trees to be retained will also require fence and no grading within their calculated TPZs.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 8 of 34

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinoak Lane, San Jose, California
(408) 972 - 8594
95123

Tree Summary Report
La Rinconada Drive Project
14335 La Rinconada Drive - Parcel 2
Los Gatos, California

DATE AUGUST 26, 2024

SCALE N/A

PROJECT MANAGER GREG ZIERMAN

DRAWN N/A

JOB NO. 2023-MKG LG.

SHEET TS1

Tree Summary Report

14335 La Rinconada Drive

NO./ DATE/ REVISION

- LOG GATOS ARCH. 4
SITE REVIEW 1-1-24
- LOG GATOS ARCH. 4
SITE REVIEW 10-1-24
- LOG GATOS ARCH. 4
SITE REVIEW 12-11-24

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. ANY REUSE OF THESE PLANS FOR OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ATTENTION OF UNLAWFUL HOME DESIGNS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ANY UNLAWFUL HOME DESIGNS SHOULD BE REPORTED TO THE APPROPRIATE AGENCIES IMMEDIATELY.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinook Lane, San Jose, California 95123
(408) 972-8594

Tree Summary Report
La Rinconada Drive Project
14335 La Rinconada Drive - Parcel 2
Los Gatos, California

DRAWING TITLE
JOB TITLE
JOB ADDRESS

DATE
SCALE
PROJECT MANAGER
DRAWN
JOB NO.
SHEET

TS2

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Conclusion

The plans are to build two new residences on the subdivided lots. The inventory contains thirty-three (33) trees comprised of eleven (11) different species. One Peruvian pepper #769 is considered Large Protected ("Large Protected") by aggregate of stems and five trees are Exempt with four being fruit trees #731, #733, #735, and #751, and one privet #763. There are seventeen trees on Parcel one and sixteen on Parcel 2.

Twelve trees are in good condition, ten fair, nine poor, one very poor, and one is dead. Trees in poor shape include the neighbor's incense cedar #732 and the two on the site #734 and #736. Pepper #743 has a large internal cavity that encompasses the entire lower trunk.

Parcel 1: Six trees will be highly impacted on parcel one and the remaining eleven moderately affected. The palm "moderate-highly" impacted should be removed and is not protected (exempt). The trees retained are primarily along the driveway to Parcel two and one large pepper tree. The applicant will be required to replace three protected trees on Parcel 1.

Parcel 1: Parcel 1 has one Large Protected Peruvian pepper #769 which would require a tree protection radius of 23 feet. The other trees on this parcel requiring protection will be the row along the south driveway flag to Parcel 2 #737 to #744 and require a radius of seven feet. There will be some driveway excavation adjacent to these trees and monitoring construction will be required. The last tree regarding this parcel is #732 which is located on the adjacent property to the north and calculated tree protection is 19 feet due to the trunk size of this tree. This tree is in poor condition but not under the control of the applicants/owners.

Parcel 2: Two trees will be highly impacted and removed and fourteen retained.

Parcel 2: Parcel 2 will require tree protection fence at the calculated radii and no grading within those zones.

There were thirty-three trees appraised for a rounded depreciated value of \$81,210.00. Parcel 1 – seventeen trees \$53,470.00; Parcel 2 – sixteen trees \$27,740.00.

The applicant will be required to replace three protected trees on Parcel 1 and two on Parcel 2 according to the ordinance.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 9 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Recommendations

Parcel 1:

- Large Protected Peruvian pepper #769 which would require a tree protection radius of 23 feet which would extend into Parcel 2.
- The south driveway flag to Parcel 2 trees #737 to #744 require a radius of seven feet, which may not be feasible. There will be some driveway excavation adjacent to these trees and monitoring construction will be required.
- Tree #732 which is located on the adjacent property to the north and calculated tree protection is 19 feet due to the trunk size of this tree. The tree is in poor condition but not under the control of the applicants/owners.

Parcel 2:

- Grape myrtle #758 tree protection fence should be placed at least five feet and more if possible.
- It may be possible to save some other trees but the way the C1 sheet is drawn at this time it appears there is drainage and grading requirements around the exterior which would compromise most of the trees. Altering this plan if possible could save some trees.

Both Parcels

1. Place tree numbers on all the plans. Make sure the trees are clearly indicated for removal on all the plans. The trees should also be very clearly marked on site prior to removal.
2. Install temporary irrigation or soaker hoses in all tree protection zones and provide supplemental watering during construction within all TPZ areas. Monitor watering times or amounts to ensure adequate soil saturation. (A 5/8" soaker hose requires about 200 minutes to deliver one inch of water to a garden. This number is affected by the length of the hose and the overall rate of flow from the faucet. A good rule of thumb is to expect about 1/3 GPM as a standard faucet flow rate). Infrequent deeper watering is preferred.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 10 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

3. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
4. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a tree drip line or designated TPZ.
5. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Alternatively create a separate plan sheet that includes all three protection measures labeled "T-1 Tree Protection Plan."
6. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
7. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 11 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Bibliography

American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* (Management of Trees and Shrubs During Site Planning, Site Development, and Construction) (Part 5). Londonderry, NH: Socratesist, Tree Care Industry Association, 2019. Print.

Fine, Kelly, and Edgar Thomas. Smiley. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

ISA. *Guide For Plant Appraisal 9th Edition*. Savoy, IL: International Society of Arboriculture, 2000. Print.

ISA. *Guide For Plant Appraisal 10th Edition*. Savoy, IL: International Society of Arboriculture, 2018. Print.

ISA. *Species Classification and Group Assignment*, 2004 Western Chapter Regional Supplement. Western Chapter ISA

Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Badminister, PA: International Society of Arboriculture 1998.

Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017. Print

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 12 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Glossary of Terms

calculated tree protection zone: A TPZ calculated using the trunk diameter and a multiplication factor based on species tolerance to construction and tree age. It is often plotted on a plan as a circle or other arbitrary shape and can be used as a guide for establishing the specified TPZ.

critical root zone: A conceptual soil area containing the minimal amount of all the essential parts of the root zone needed to sustain tree health and structural integrity. There are no universally accepted methods to calculate the CRZ.

basic Tree Costs: The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

cost Approach: An indication of value by adding the land value to the depreciated value of improvements.

defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition, at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

drip line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

form: Describes a plant's habit, shape or architecture defined by its genetics, environment, or management.

health: Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease

mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 13 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree.

specified tree protection zone (specified TPZ): A TPZ that is adjusted in size or shape to accommodate the existing infrastructure, planned construction, and aspects of the site, as well as the tree canopy conformation, visible root orientation, size, condition, maturity, and species response to construction.

straw waffle: Also known as straw worms, bio-log, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

structures: Evaluation focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

Tree Protection Zones (TPZ): Defined areas within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

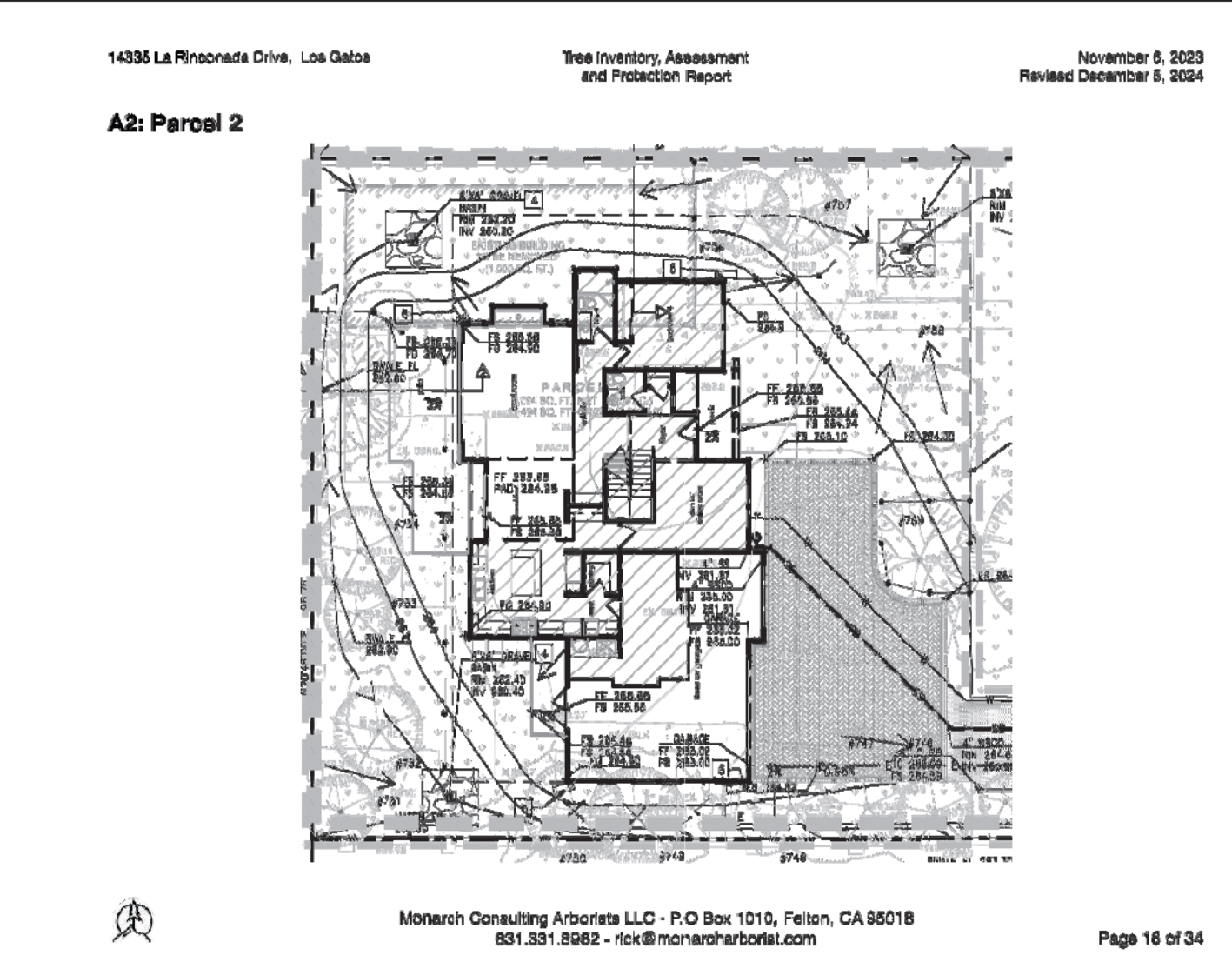
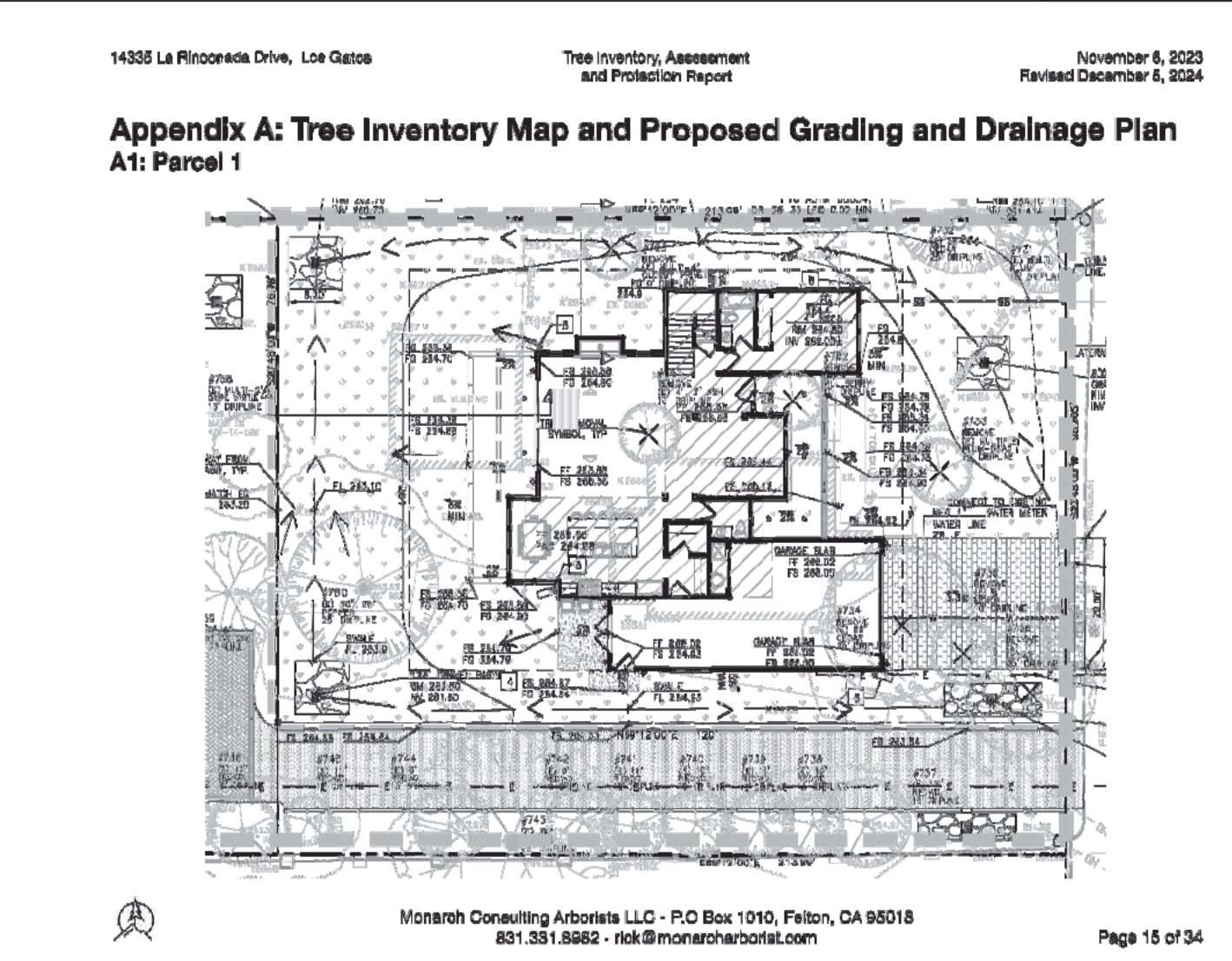
Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

trunk: Stem of a tree.

Trunk Formula Technique: Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 14 of 34



14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Appendix B: Tree Inventory and Assessment Tables

B1: Summary Parcel 1

Table 3: Inventory and Assessment Summary Parcel 1

Tree Species	I.D. #	Trunk Diameter (in.)	Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated TPZ (x DBH ft.)
plum (<i>Prunus domestica</i>)	731	Multi 4	16	Very poor	Moderate-High	Exempt	\$360.00	5
incense cedar (<i>Calocedrus decurrens</i>)	732	28	25	Poor	Moderate	Protected	\$7,200.00	18
plum (<i>Prunus domestica</i>)	733	Multi 4	10	Dead/Unstable	High	Exempt	80.00	6
incense cedar (<i>Calocedrus decurrens</i>)	734	28	25	Poor	High	Protected	\$7,200.00	18
lemon (<i>Citrus limon</i>)	735	5	10	Poor	High	Exempt	\$570.00	4
incense cedar (<i>Calocedrus decurrens</i>)	736	11	20	Poor	High	Protected	\$1,120.00	7
coast redwood (<i>Sequoia sempervirens</i>)	737	16	15	Good	Moderate	Protected	\$3,800.00	10
coast redwood (<i>Sequoia sempervirens</i>)	738	10	15	Good	Moderate	Protected	\$1,750.00	7
coast redwood (<i>Sequoia sempervirens</i>)	739	11	15	Good	Moderate	Protected	\$2,100.00	7
coast redwood (<i>Sequoia sempervirens</i>)	740	10	15	Good	Moderate	Protected	\$1,750.00	7
coast redwood (<i>Sequoia sempervirens</i>)	741	11	15	Good	Moderate	Protected	\$2,100.00	7

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 17 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Tree Species	I.D. #	Trunk Diameter (in.)	Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated TPZ (x DBH ft.)
coast redwood (<i>Sequoia sempervirens</i>)	742	9	15	Good	Moderate	Protected	\$1,400.00	8
Peruvian pepper (<i>Schinus molle</i>)	743	38	25	Poor	Moderate	Protected	\$8,800.00	24
coast redwood (<i>Sequoia sempervirens</i>)	744	9	15	Fair	Moderate	Protected	\$1,000.00	8
Peruvian pepper (<i>Schinus molle</i>)	750	22, 20	25	Fair	Moderate	Large Protected	\$13,500.00	23
mulberry (<i>Morus alba</i>)	752	8	15	Good	High	Protected	\$880.00	4
glossy privet (<i>Ligustrum lucidum</i>)	753	Multi 4	10	Good	High	Exempt	\$800.00	5

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 18 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

B2: Parcel 2

Table 4: Inventory and Assessment Summary Parcel 2

Tree Species	I.D. #	Trunk Diameter (in.)	Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated TPZ (x DBH ft.)
coast redwood (<i>Sequoia sempervirens</i>)	745	11	15	Fair	Low-moderate	Protected	\$1,600.00	7
coast redwood (<i>Sequoia sempervirens</i>)	746	15	15	Fair	Low-moderate	Protected	\$2,250.00	9
coast redwood (<i>Sequoia sempervirens</i>)	747	12	15	Fair	Low-moderate	Protected	\$1,750.00	8
coast redwood (<i>Sequoia sempervirens</i>)	748	11	15	Fair	Low-moderate	Protected	\$1,600.00	7
coast redwood (<i>Sequoia sempervirens</i>)	749	9, 13	15	Fair	High	Protected	\$3,170.00	11
dicotyl cedar (<i>Dococus dieclara</i>)	750	15	15	Good	High	Protected	\$3,880.00	9
plum (<i>Prunus domestica</i>)	751	4	10	Good	Low-moderate	Exempt	\$420.00	3
coast redwood (<i>Sequoia sempervirens</i>)	752	9	15	Poor	Low-moderate	Protected	\$900.00	8
coast redwood (<i>Sequoia sempervirens</i>)	753	11	15	Poor	Low-moderate	Protected	\$900.00	7
coast redwood (<i>Sequoia sempervirens</i>)	754	8	15	Poor	Low-moderate	Protected	\$480.00	5
coast live oak (<i>Quercus agrifolia</i>)	755	15	25	Fair	Low-moderate	Protected	\$3,350.00	9

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 19 of 34

14335 La Rinconada Drive, Los Gatos
Tree Inventory, Assessment and Protection Report
November 6, 2023
Revised December 5, 2024

Tree Species	I.D. #	Trunk Diameter (in.)	Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated TPZ (x DBH ft.)
coast redwood (<i>Sequoia sempervirens</i>)	756	14	15	Fair	Low-moderate	Protected	\$2,430.00	9
coast redwood (<i>Sequoia sempervirens</i>)	757	9	15	Poor	Low-moderate	Protected	\$850.00	8
grape myrtle (<i>Lagarosmia indica</i>)	758	Multi 2	15	Fair	Low-moderate	Protected	\$2,530.00	5
coast live oak (<i>Quercus agrifolia</i>)	759	4, 4, 4, 8	20	Good	Low-moderate	Protected	\$2,280.00	8
oak (<i>Quercus angustifolia</i> 'Raywood')	761	4, 3	10	Good	Low-moderate	Protected	\$880.00	3

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
831.331.8882 - rick@monarcharborist.com
Page 20 of 34

Tree Inventory Report

14335 La Rinconada Drive

NO./ DATE/ REVISION
LOG GATOS ARCH. 4 SITE REVIEW 1-1-24
LOG GATOS ARCH. 4 SITE REVIEW 10-1-24
LOG GATOS ARCH. 4 SITE REVIEW 12-11-24

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THE PLANS WERE PREPARED. ANY REUSE OF THESE PLANS FOR OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONSULTANT'S LIABILITY SHALL BE LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND SHALL NOT INCLUDE CONSEQUENTIAL DAMAGES.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-0594

Tree Summary Report
 La Rinconada Drive Project
 14335 La Rinconada Drive - Parcel 2
 Los Gatos, California

DATE: AUGUST 26, 2024
 SCALE: N/A
 PROJECT MANAGER: GREG ZIERMAN
 DRAWN: N/A
 JOB NO.: 2023-MGK-LG
 SHEET: TS3

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Appendix C: Photographs
 C1: #731 through #739

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 21 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

C2: #737 through #747

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 22 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

C3: Cavity in #743

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 23 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

C4: #751 through #755

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 24 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

C5: Pepper #760

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 25 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Appendix D: Tree Protection Guidelines
 D1: Plan Sheet Detail S-X (Type I)

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 26 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

D2: Plan Sheet Detail S-Y (Type II)

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 27 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

D3: Section 29.10.1005 - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

- Site and materials Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving areas that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire drip line area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter outside only (such as downspouts); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- Warning Signs: Each tree fence shall have prominently displayed an eight and one-half inch by eleven-inch sign stating: "Warning - Tree Protection Zone - This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix B).

All persons, shall comply with the following precautions

- Prior to the commencement of construction, install the fence at the drip line, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment, parking of vehicles within the TPZ. The drip line shall not be altered in any way so as to increase the encroachment of the construction.
- Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the drip line of the tree unless approved by the Director.
- Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the drip line of or in drainage channels, swales or areas that may lead to the drip line of a protected tree.
- Prohibit the attachment of wires, signs or ropes to any protected tree.
- Design utility services and irrigation lines to be located outside of the drip line when feasible.
- Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Prohibited Activities

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fill-in);
- Trenches;
- Root cuts;
- Pedestrians and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Storing of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 28 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, hand saw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond similar roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or hefted within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (near) roots. Bore holes should be a minimum of three feet deep.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractor License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300, Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 29 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Appendix E: Tree Protection Signs
 E1: English

Warning
Tree Protection Zone

This Fence Shall Not Be Removed
 And Is Subject To Penalty According To
 Town Code 29.10.1025

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 31 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

E2: Spanish

Cuidado
Zona De Arbol Pretejido

Esta valla no podrán ser sacados
 Y está sujeta a sanción en función de
 Código Ciudad del 29.101025

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 32 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitrations, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 33 of 34

14335 La Rinconada Drive, Los Gatos
 The Inventory, Assessment and Protection Report
 November 8, 2023
 Revised December 5, 2024

Certification of Performance

I, Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

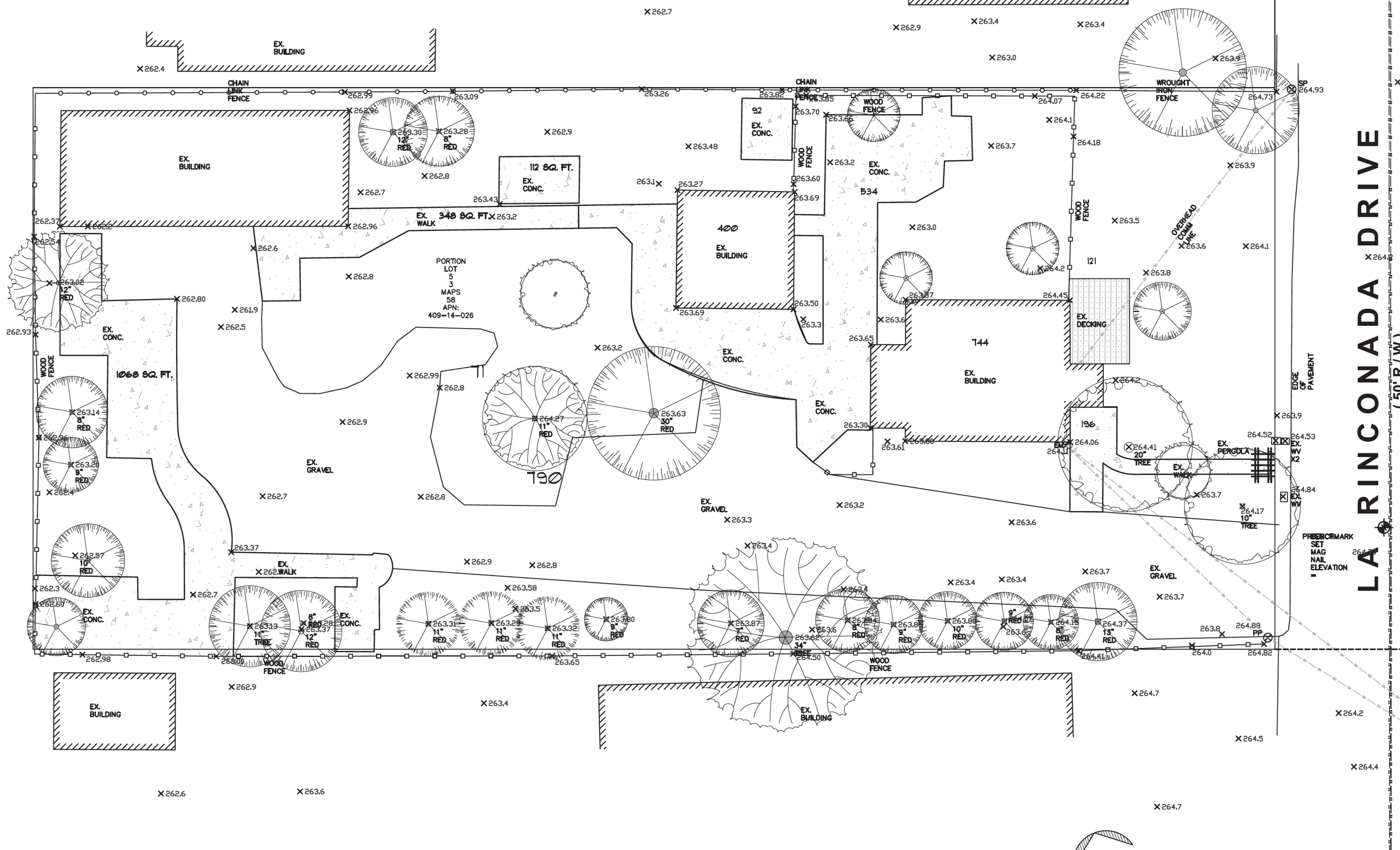
That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

Richard J. Gessner
 ASCA Registered Consulting Arborist® #496
 ISA Board Certified Master Arborist® WB-4341B

ISA
 ASCA

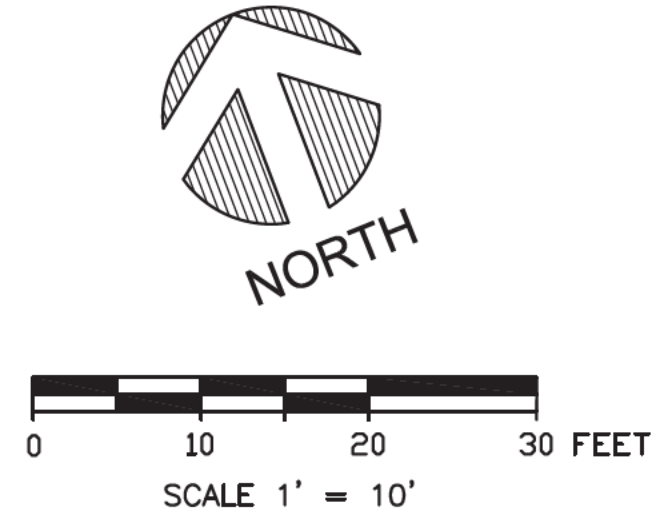
Copyright
 © Copyright 2023, Monarch Consulting Arborists LLC. Other than specific exception granted for copies made by the client for the express uses stated in this report, no parts of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express, written permission of the author.

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018
 831.331.8882 - rick@monarcharborist.com
 Page 34 of 34



Existing Site Conditions

scale: 1"=10'-0"



NOTES:
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 2. THE DATE OF THE FIELD SURVEY WAS MAY 18, 2022.
 3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 4. CONTOURS SET AT 1 FOOT INTERVALS.

BENCHMARK:
 ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:
 THE BEARING, NORTH 85°25'00" WEST, OF THE CENTERLINE OF WEDGEWOOD AVENUE BETWEEN THE FOUND IRON PIPE MONUMENT IN MONUMENT WELL WITH NAIL AND TACK BLEEDIBLE AT THE INTERSECTION OF WEDGEWOOD AVENUE WITH MULBERRY DRIVE AND THE FOUND IRON PIPE MONUMENT IN MONUMENT WELL, TAGGED "LS 2743" AS SAID AVENUE IS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED ON MAY 15, 1939 IN BOOK 3 OF MAPS AT PAGE 58 IN THE OFFICE OF THE COUNTY RECORDER, SANTA CLARA COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS THEREON ON THIS SURVEY.

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:
 UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR CONTRACTOR QUALITY OF UTILITIES PRIOR TO CONSTRUCTION.

TREE NOTE:
 TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

MAY NOTE:
 THE AERIAL ORTHOPHOTO WAS ACQUIRED BY AN UNMANNED AERIAL VEHICLE. PHOTOGRAMMETRIC SOFTWARE WAS USED TO RECTIFY THE IMAGES AND REMOVE ANY DISTORTION. HOWEVER, NOT ALL DISTORTION CAN BE REMOVED AND THERE MAY BE DISTORTION DUE TO PARALLAX ERROR.

DATE OF THE AERIAL IMAGERY: MAY 20, 2022.

RECORD BOUNDARY NOTE:
 THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. NO WARRANTIES OR GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE BOUNDARY AS SHOWN. IF ACCURATE BOUNDARY DATA IS PERTINENT FOR DESIGN OR DEVELOPMENT, THEN A FULL BOUNDARY SURVEY MUST BE PERFORMED BY MUIR AND A RECORD OF SURVEY MUST BE FILED.

REFERENCE:
 BOOK 3 OF MAPS, PAGE 58, FILED FOR RECORD ON MAY 15TH, 1939 IN THE OFFICE OF THE RECORDER SANTA CLARA COUNTY.

SURVEYOR'S STATEMENT
 THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

JACK M. SMITH, P.L.S. #7539
 LICENSE EXPIRES: 12-31-2023

DATE _____

LEGEND:
 COMM COMMUNICATIONS
 CONC CONCRETE
 EM ELECTRIC
 METER METER
 EV ELECTRIC INDICATES GROUNDSHOT
 METER EV
 GM INDICATES TREE SIZE
 12' TREE
 METER 10'
 10' TREE
 INDICATES 3/4" IRON PIPE IN MONUMENT WELL AS NOTED

GROUNDSHOT
 JP INDICATES BOUNDARY LINE
 JOINT INDICATES LOT LINE
 POLE PP INDICATES MAJOR CONTOUR LINE
 INDICATES MINOR CONTOUR LINE
 POLE SP INDICATES WOOD FENCE
 POLE X-X INDICATES WOOD WIRE FENCE
 INDICATES RAISED DECK
 WV WATER INDICATES OVERHEAD UTILITY LINES
 VAULT
 CONC INDICATES CONCRETE
 MULTIPLE INDICATES DECKING

TSCIVIL ENGINEERING, INC.
 1776 TECHNOLOGY DRIVE
 SAN JOSE, CA 95110
 PH: 408-452-9300
 FAX: 408-837-7550

TSC CIVIL ENGINEERING

EXISTING SITE CONDITIONS
 14335 La Rinconada Drive
 Los Gatos, California
 APN 409-14-026

DATE 6-22-22
 SCALE 1"=30'
 PROJECT MANAGER TS
 DRAWN TS
 JOB NO. 21-276
 SHEET 1

DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.

	AREA	AVERAGE SLOPE	FAR	RESIDENCE MAX SF	GARAGE MAX SF	40% MAX COVERAGE
LOT 1	9,210	0.50%	0.3164	2914 SF	812 SF	3684 SF
LOT 2	9,095	0.50%	0.3173	2884 SF	805 SF	3637 SF
EXIST.	20,703	0.50%	0.2244	4646 SF	1160 SF	8281 SF
			0.0560			

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	STREET CENTER LINE
	BUILDING SETBACK LINES
	EX. EASEMENT
	EX. DIRT ROAD
	EX. ROAD/PAVEMENT
	EX. CURB
	EX. CURB AND GUTTER
	EX. CONCRETE
	EX. CONTOUR MAJOR
	EX. CONTOUR MINOR
	EX. BLOCK RETAINING WALL
	EX. ROCK RETAINING WALL
	EX. DRIVEWAY
	EX. BUILDING
	EX. AC BERM
	EX. TOP OF BANK
	EX. TOE OF BANK
	EX. CREEK FLOWLINE
	EX. WIRE FENCE
	EX. CHAIN LINK FENCE
	EX. WOOD FENCE
	EX. SANITARY SEWER LINE
	EX. PERFORATED SEPTIC LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	EX. JOINT TRENCH
	EX. STORM DRAIN LINE
	EX. WATER LINE
	EX. OVERHEAD WIRE

TENTATIVE MAP NOTES

TRACT NAME: LA RINCONADA SUBDIVISION
14335 LA RINCONADA DR
LOS GATOS CA 95032

OWNER: NICHOLAS GERA
19341 MONTE VISTA DR
SARATOGA CA 95070

CIVIL ENGINEER: TERENCE J. SZEWCZYK
TS/CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
(408) 452-9300 EXT 220

APN: 409-14-026

GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL
0-5 DU/AC

EXISTING ZONING: R-1.8 SINGLE FAMILY
RESIDENTIAL

PROPOSED ZONING: R-1.8 (NO CHANGE)

PUBLIC AREAS: NONE

WATER SUPPLY: SAN JOSE WATER COMPANY

SEWAGE DISPOSAL: WEST VALLEY SAN. DISTRICT

GAS/ELECTRIC: PG&E

TELEPHONE: AT&T

CABLE/INTERNET: FRONTIER COMMUNICATIONS

STORM DRAINAGE: TOWN OF LOS GATOS

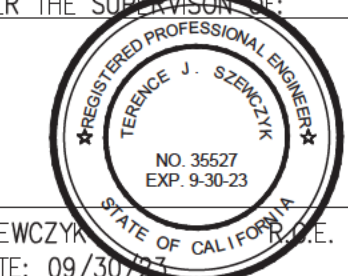
ARVERAGE SLOPE: 0.5%

LOT AREA: 20,703 SF (0.47 AC)

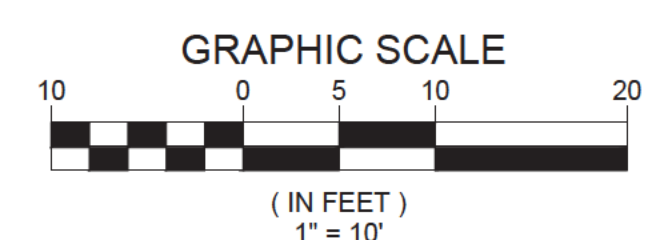
TENTATIVE PARCEL MAP
14335 LA RINCONADA DR
LOS GATOS, CA 95032
APN 409-14-026

TS CIVIL ENGINEERING
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
PH: 408.452.9300
FAX: 408.837.7550

DESIGNED UNDER THE SUPERVISION OF



TERENCE J. SZEWCZYK
STATE OF CALIFORNIA LICENSE NO. 35527
EXPIRATION DATE: 09/30/23



NO.	DATE	REVISIONS	BY
6			
5			
4			
3			
2			
1			

DATE: 7-14-22
SCALE: 1"=10'
DRAWN BY: DKH
SURVEYED BY:
PROJ ENGR: TJS
CHECK BY: TJS
SHEET NO.
T-1
OF 1 SHEETS
JOB NO.
21-276

07/28/2022 2:22pm - D:\A. Estimating\3.0 Upwork Clients\3.0 Terence Szweczyk\1.0 Projects\22.0 La Rinconada Drive\Nueva carpeta\DWG\21-276 C1 TENTATIVE MAP.dwg - C1

GENERAL NOTES:

1. WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE LATEST VERSION AND EDITION, CALIFORNIA PLUMBING CODE LATEST VERSION AND EDITION, AND TOWN OF LOS GATOS STANDARD DETAILS AND SPECIFICATIONS.
2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECH REPORT.
3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY PROVIDED BY OTHERS.
4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
5. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
6. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
9. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
10. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
11. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
12. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
13. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
14. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
15. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
16. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
17. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
18. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
19. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
20. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
21. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
22. ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
23. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
24. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
25. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

LEGEND:

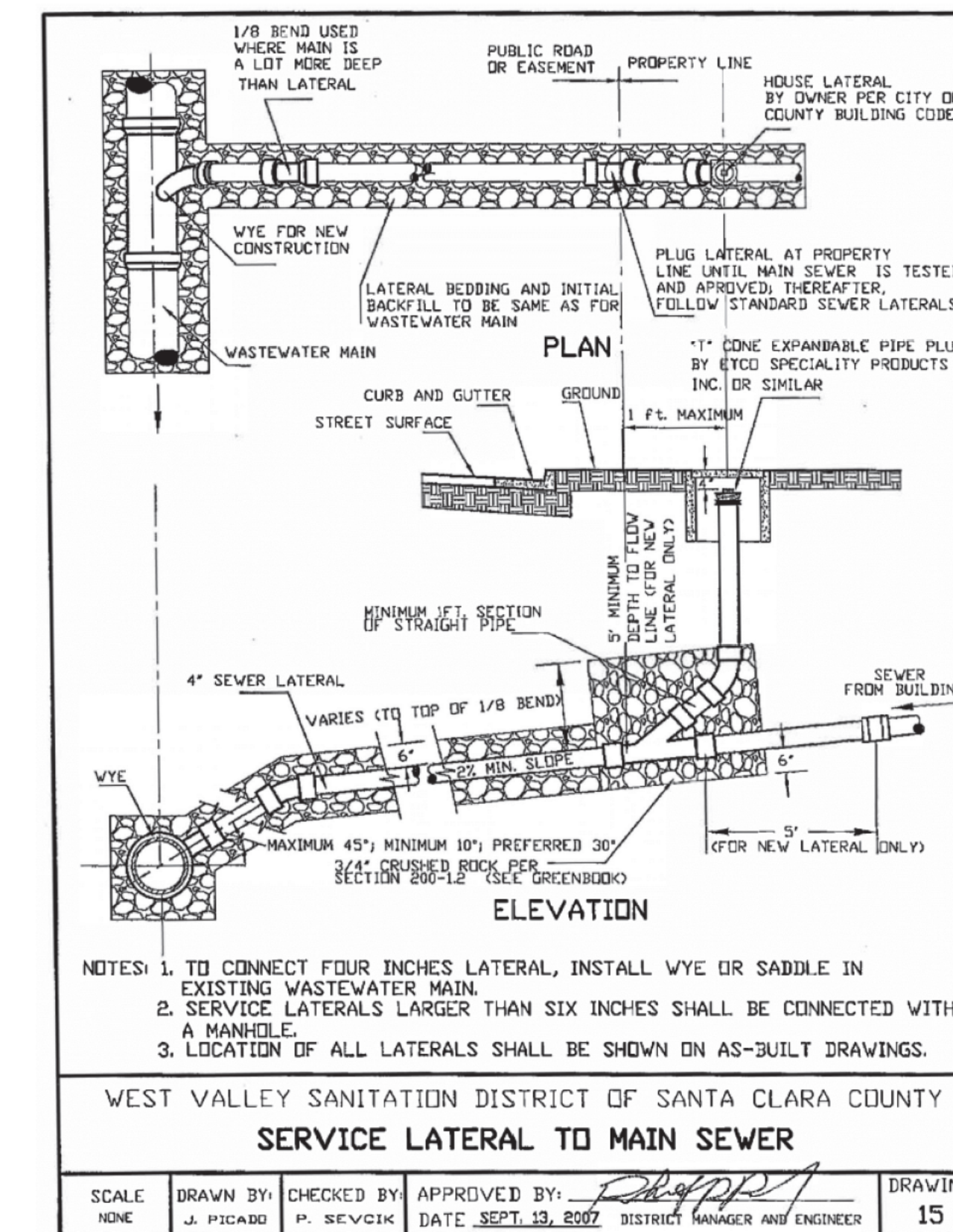
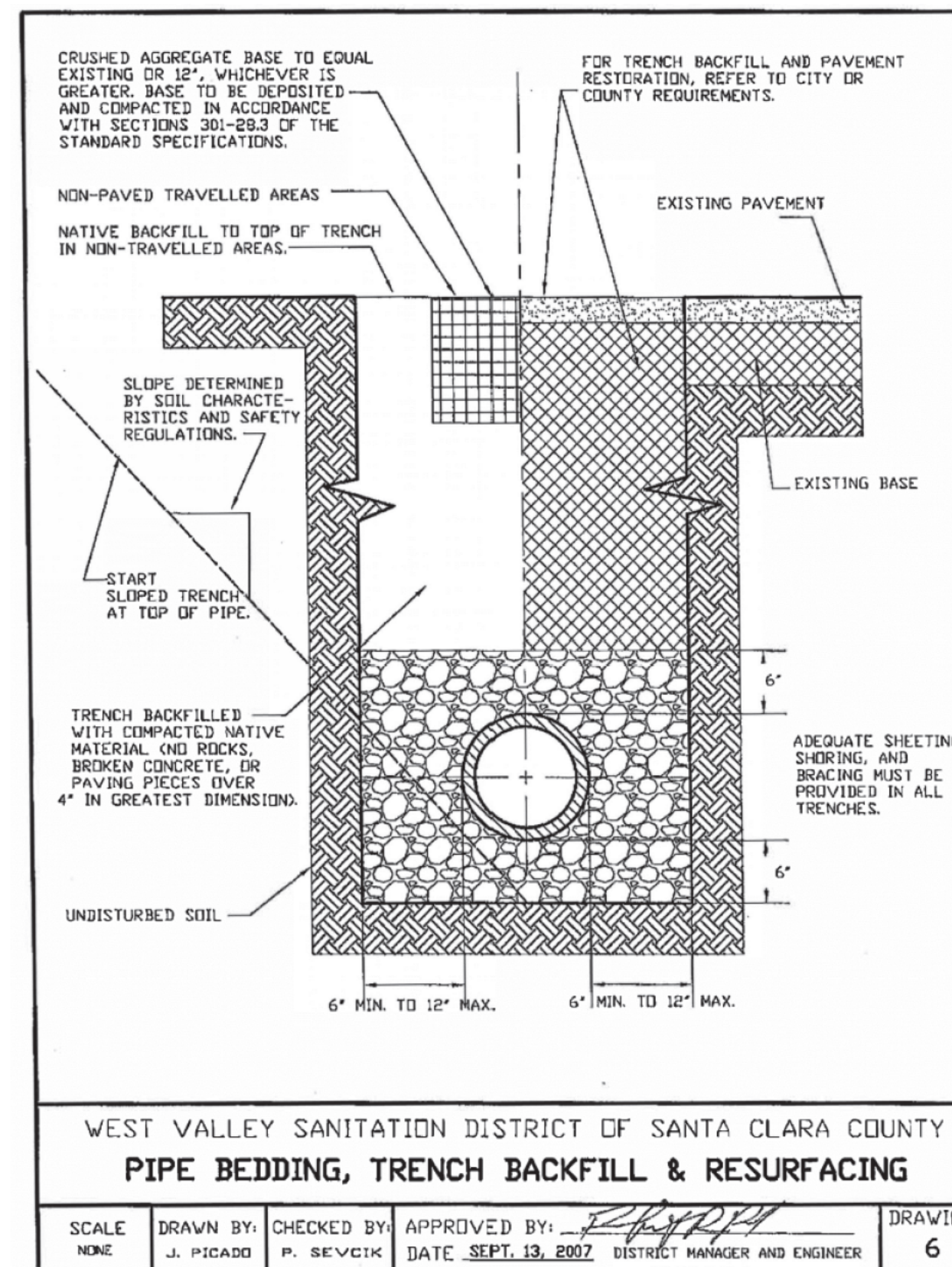
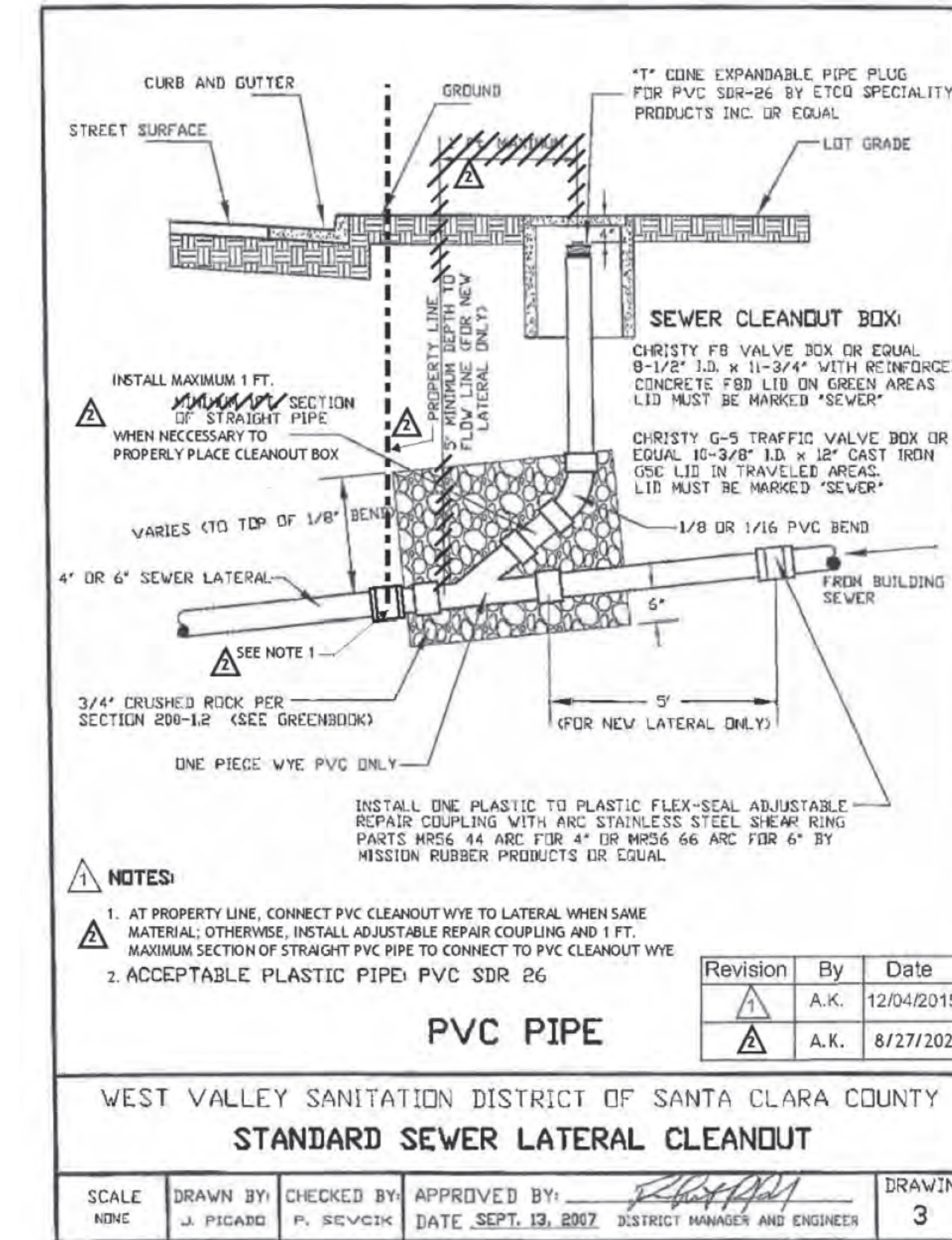
- PROPOSED**
- CLEANOUT
 - 4" SEWER PIPE. PVC ASTM D3034, DR 26 OR APPROVED EQUAL.
 - CONCRETE
 - SAWCUT LINE
 - 1" WATER PIPE. COPPER TYPE K OR APPROVED EQUAL.
 - STORM DRAIN LINE
 - ELECTRICAL LINE
 - PROPERTY LINE
 - LIMIT LINE OF WORK
 - EXISTING SURFACE FLOW DIRECTION
 - PROPOSED SURFACE FLOW DIRECTION
 - SLOPE AND DIRECTION
 - SANITARY SEWER CLEANOUT
 - METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANY.

ABBREVIATIONS:

- BW BACK OF WALK
- EX EXISTING
- FF FINISHED FLOOR
- FL FLOW LINE
- FM FORCE MAIN
- FS FINISHED SURFACE
- HDPE HIGH DENSITY POLY ETHYLENE
- INV INVERT
- PL PROPERTY LINE
- SDR STANDARD DIMENSION RATIO
- SD STORM DRAIN
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- TC TOP OF CURB
- W WATER

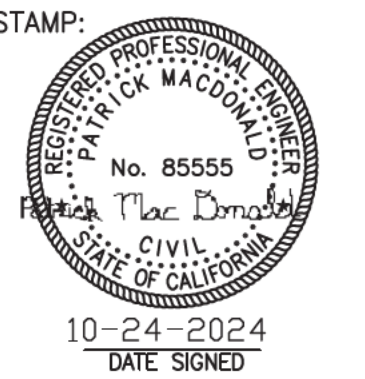
SHEET INDEX:

CIVIL DRAWINGS	
CO.1	CIVIL COVER PLAN
CO.2	EROSION CONTROL AND DEMOLITION PLAN
CO.3	POLLUTION PREVENTION PLAN
C1.0	GRADING AND DRAINAGE PLAN AND UTILITY PLAN
C2.0	STORMWATER PLAN



PARCEL 1
14335 LA RINCONADA DRIVE
LOS GATOS, CA
APN: 409-14-026

CONSULTANT:
COMPANY NAME: SF CIVIL
CIVIL ENGINEER: PATRICK MACDONALD
2532 SANTA CLARA AVE #151
ALAMEDA, CALIFORNIA 94501
(P) 510-282-5281
(E) sfcivil@yahoo.com

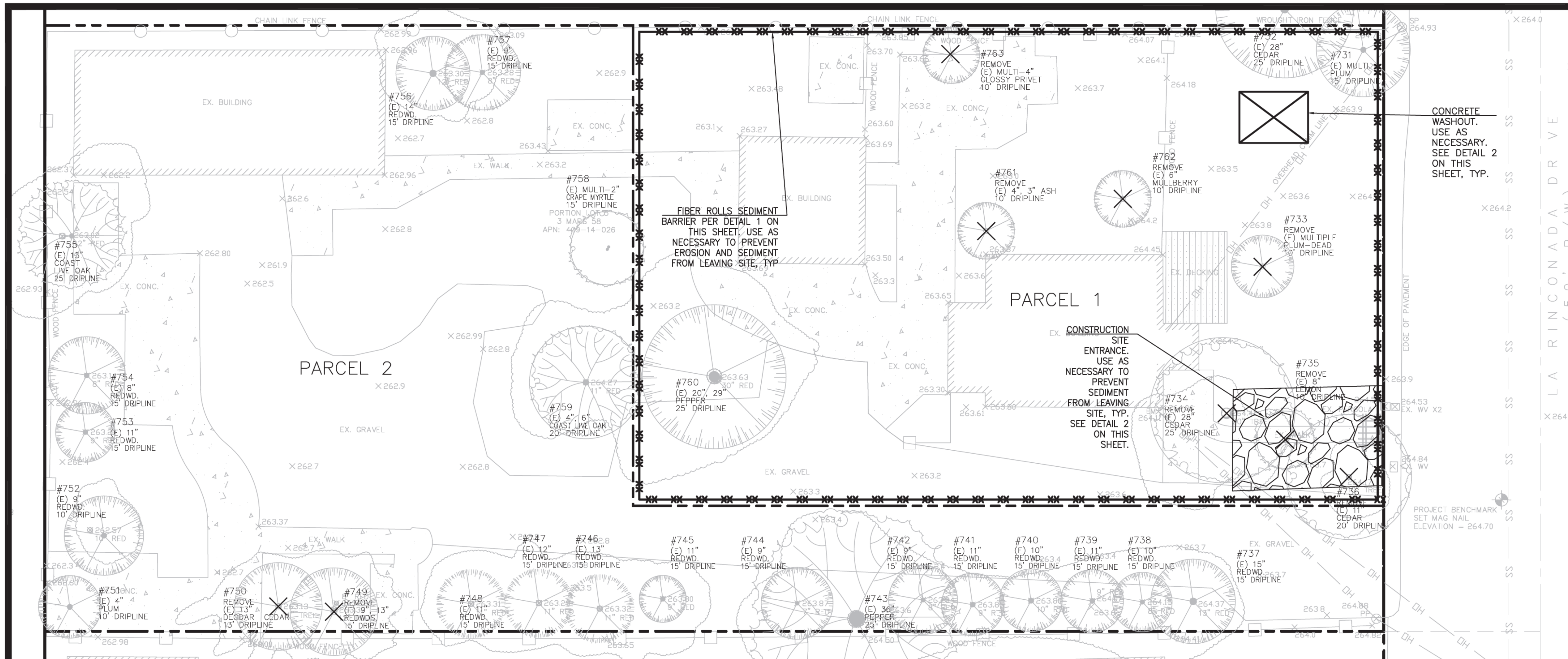


REVISIONS

NO.	DATE

SHEET TITLE
CIVIL COVER PLAN

SHEET NUMBER
CO.1



EROSION CONTROL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, BUT IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN THE SITE AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- THE RAINY SEASON IS DECLARED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB). ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AND ACTIONS MAY BE NECESSARY DURING THE RAINY SEASON. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUCH MEASURES REQUIRED PER THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THIS PLAN IS TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED, AS AND WHEN, DIRECTED AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- EXCEPT WHEN DIRECTED OTHERWISE, ALL DEVICES SHOWN TO BE IN PLACE AT THE END OF EACH WORKING DAY, WHEN RAIN IS FORECASTED, AND MAINTAINED.
- TAKE REASONABLE CARE WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. IF DIRT, MATERIALS, OR SEDIMENT BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, THEN THE DIRT, MATERIALS, OR SEDIMENT SHOULD IMMEDIATELY BE CLEANED UP.
- DURING THE RAINY SEASON, KEEP ALL PAVED AREAS CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE CITY INSPECTOR.
- CONTRACTOR PROVIDES DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- FILLED FILTER BAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED, OR WHEN THE CITY OR INSPECTOR SO DIRECTS.
- CONTRACTOR PROVIDES WATER ONSITE AND USE IT FOR DUST CONTROL DURING CONSTRUCTION.
- CONTRACTOR MAINTAINS STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY INSPECTOR.
- INSTALL INLET PROTECTION AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- BEST MANAGEMENT PRACTICES (BMPs) SHOWN ARE OUTLINED IN, BUT NOT LIMITED TO, THE CONSTRUCTION BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), 2009, OR THE LATEST REVISED EDITION, AND APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- MAINTENANCE IS TO BE PERFORMED PER THE CASQA BMP HANDBOOK AND AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION BY THE END OF EACH WORKING DAY.
 - INSPECT SEDIMENT TRAPS, BERMS, AND SWALES PERIODICALLY AND AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - REMOVE SEDIMENT AND RESTORE SEDIMENT BARRIER TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF HALF THE SEDIMENT BARRIER HEIGHT.
 - DEPOSIT SEDIMENT THAT HAS BEEN REMOVED FROM BARRIER SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CLEAN OUT INLET PROTECTION WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FILLED FILTER BAG.
- THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SEDIMENT, DUST, AND JOB SITE MATERIALS TO PREVENT THESE MATERIALS FROM LEAVING THE SITE.
- IF VEHICLES ARE USED DURING CONSTRUCTION TO ACCESS THE PROJECT SITE, THEN THE CONTRACTOR SHALL USE DRAIN ROCK AS A GRAVEL ROADWAY/DRIVEWAY FOR THE VEHICLES TO ACCESS THE SITE. THE GRAVEL DRIVEWAY/ROADWAY SHALL HAVE 8" MINIMUM THICKNESS AND BE WIDE ENOUGH FOR VEHICLES TO ACCESS AND LEAVE THE SITE. CONSTRUCTION ROADWAY/DRIVEWAY SHALL BE APPROVED BY THE CITY'S CONSTRUCTION INSPECTOR OR ENGINEER. THE VEHICULAR ROADWAY/DRIVEWAY SHALL BE ACCOMPANIED BY A VEHICULAR WASHING STATION. ALL VEHICLES SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY.

PARCEL 1
14335 LA RINCONADA DRIVE
LOS GATOS, CA
APN: 409-14-026

CONSULTANT:
 COMPANY NAME: SF CIVIL
 CIVIL ENGINEER: PATRICK MACDONALD
 2532 SANTA CLARA AVE #151
 ALAMEDA, CALIFORNIA 94501
 (P) 510-282-5281
 (E) stfcivil@yahoo.com

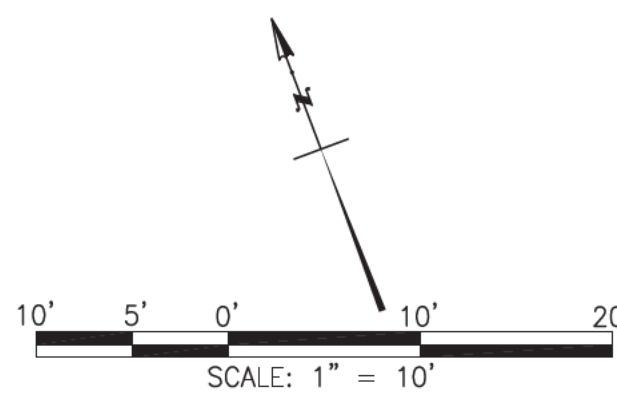
STAMP:

 10-28-2024
 DATE SIGNED

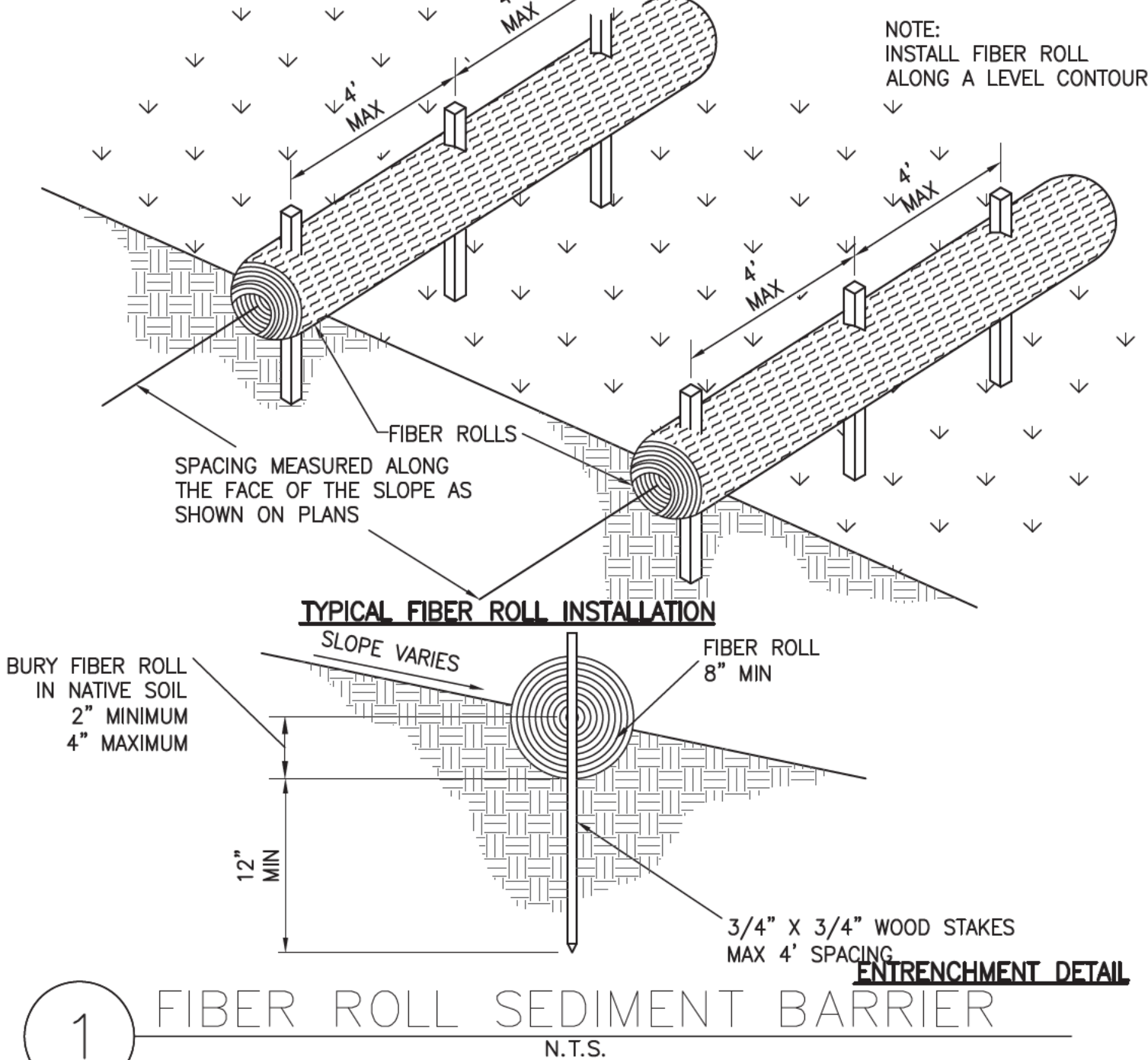
REVISIONS	
NO.	DATE

SHEET TITLE
 EROSION CONTROL PLAN

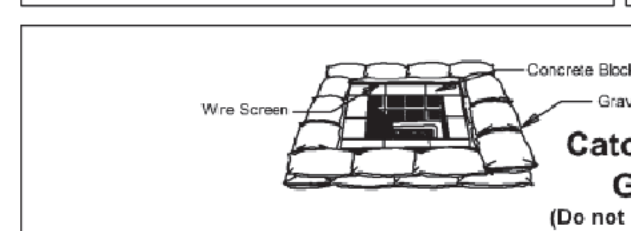
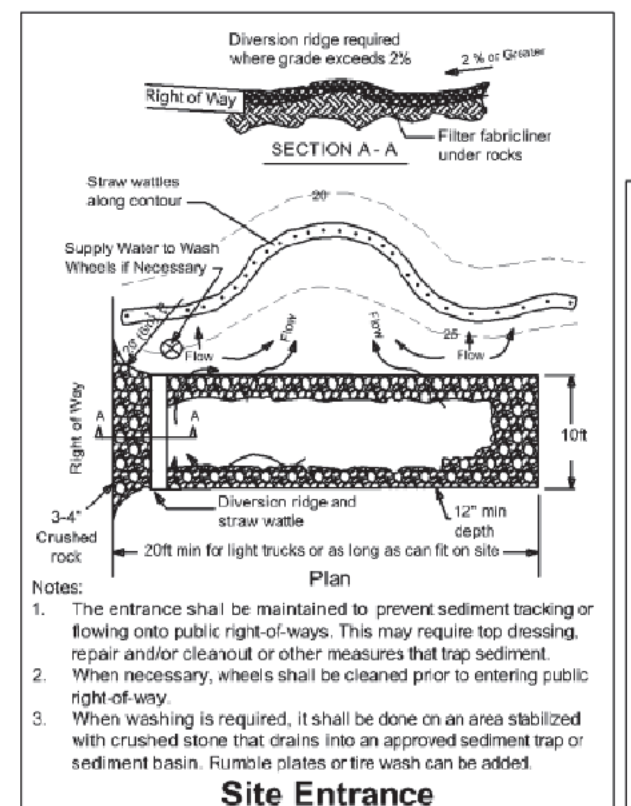
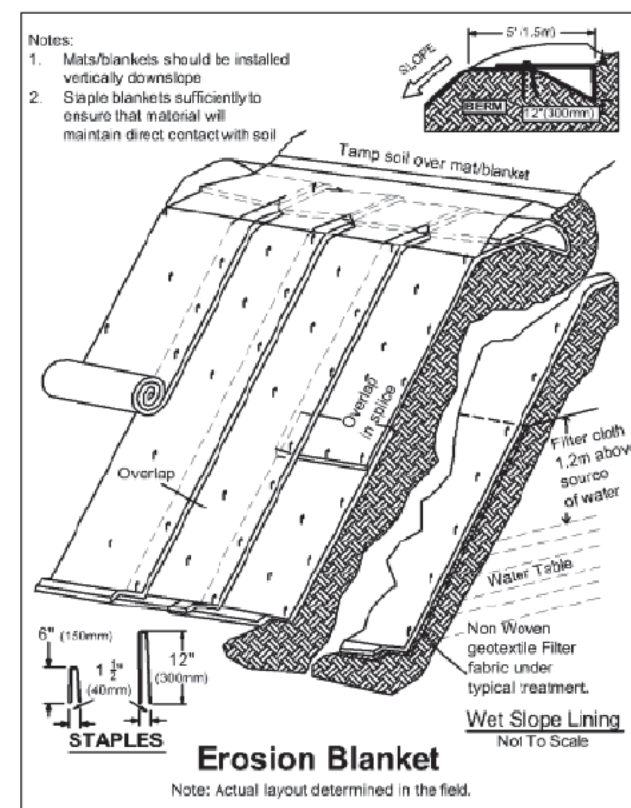
SHEET NUMBER
 C0.2



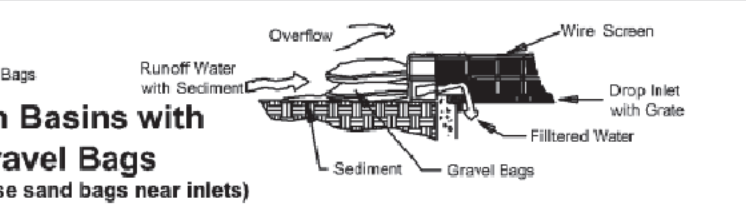
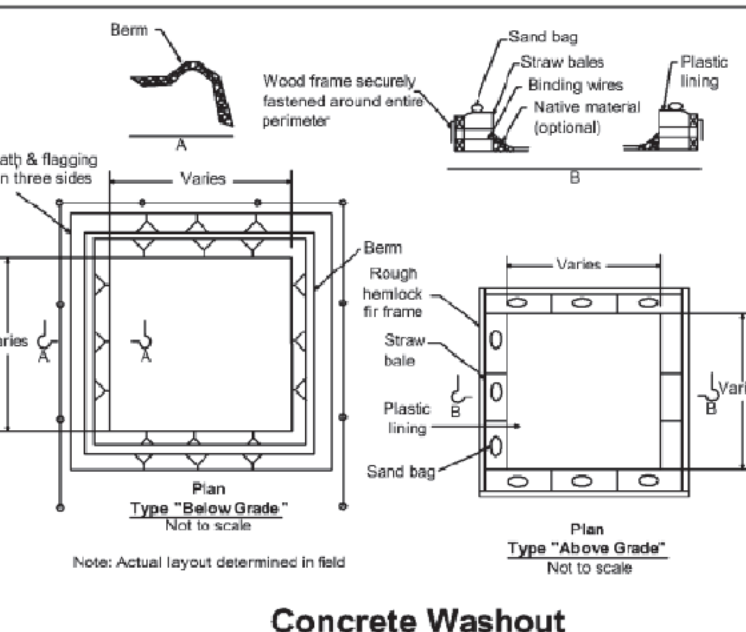
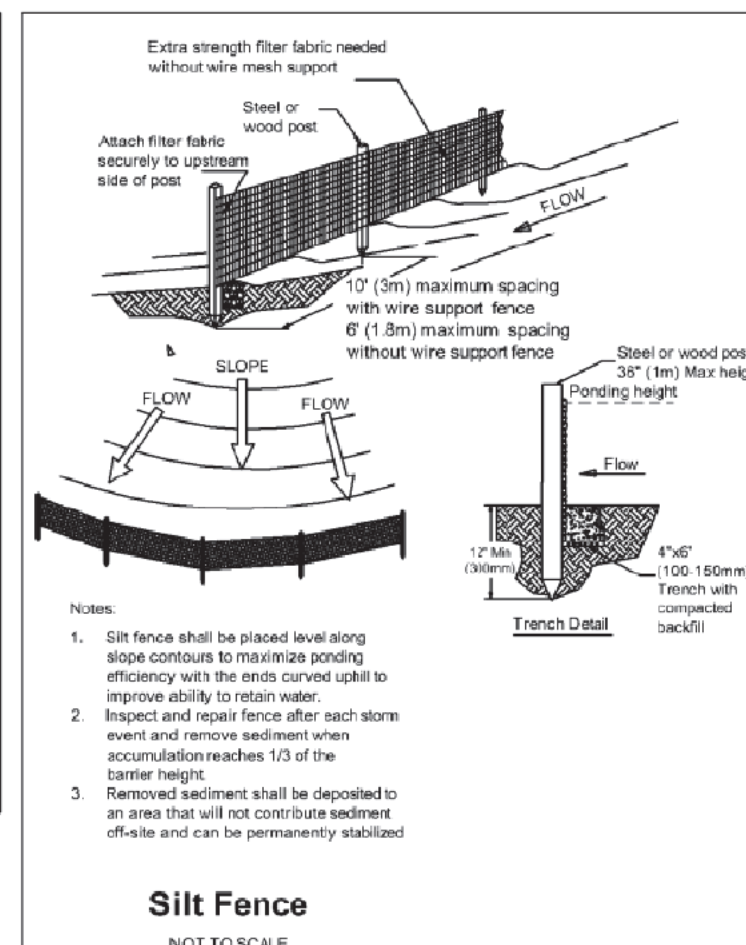
- LEGEND:**
- PROPERTY LINE
 - DETAIL NUMBER
 - PAGE NUMBER OF DETAIL SHEET
 - STORM DRAIN INLET PROTECTION. USE GRAVEL BAGS OR APPROVED EQUAL STORM DRAIN INLET GUARD AS SHOWN ON DETAIL ON THIS SHEET.
 - FIBER ROLL SEDIMENT BARRIER. SEE DETAIL 1 ON THIS SHEET.
 - CONCRETE WASHOUT. USE AS NECESSARY. SEE DETAIL 2 ON THIS SHEET, TYP.



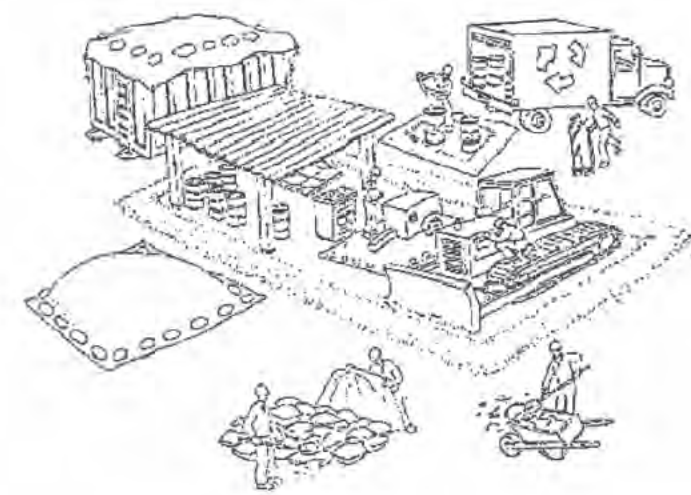
1 FIBER ROLL SEDIMENT BARRIER
 N.T.S.



2 EROSION CONTROL DETAILS
 N.T.S.



Pollution Prevention - It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✔ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Use (but don't overuse) reclaimed water for dust control as needed.
- ✔ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✔ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✔ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✔ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✔ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✔ Dispose of all containment and cleanup materials properly.
- ✔ Report any hazardous materials spills immediately! Dial 911 or the Public Works Department by dialing 311

Construction Entrances and Perimeter

- ✔ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✔ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

- ✔ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✔ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✔ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✔ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✔ Keep excavated soil on the site where it will not collect in the street.
- ✔ Transfer to dump trucks should take place on the site, not in the street.
- ✔ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.

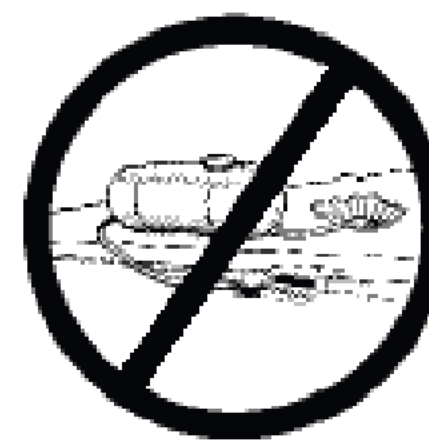


- ✔ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✔ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✔ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✔ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

- ✔ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✔ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✔ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✔ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✔ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✔ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✔ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✔ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✔ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✔ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✔ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✔ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- ✔ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

Painting

- ✔ Never rinse paint brushes or materials in a gutter or street
- ✔ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✔ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

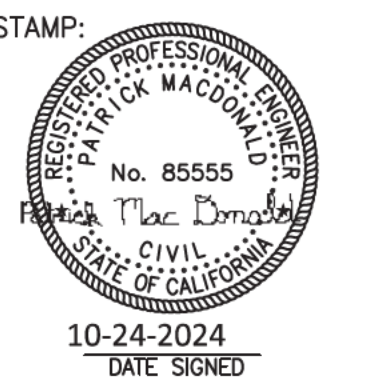


Landscape Materials

- ✔ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

PARCEL 1
14335 LA RINCONADA DRIVE
LOS GATOS, CA
APN: 409-14-026

CONSULTANT:
COMPANY NAME: SF CIVIL
CIVIL ENGINEER: PATRICK MACDONALD
2532 SANTA CLARA AVE #151
ALAMEDA, CALIFORNIA 94501
(P) 510-282-5281
(E) sfcivil@yahoo.com

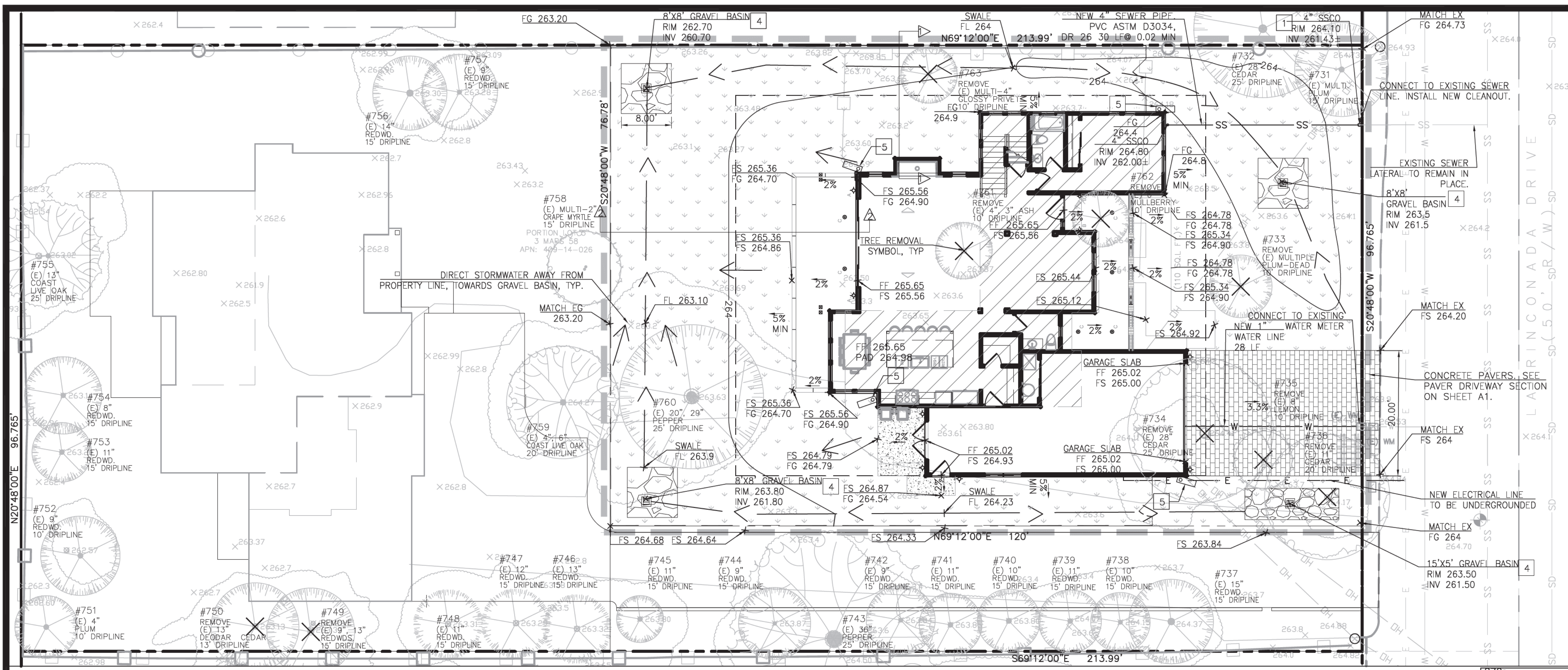


REVISIONS	
	DATE
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

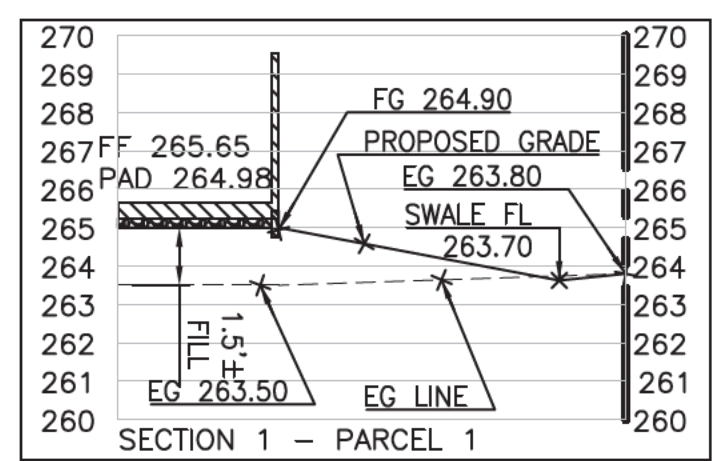
SHEET TITLE
POLLUTION
PREVENTION
PLAN

SHEET NUMBER
C0.3

PARCEL 1
14335 LA RINCONADA DRIVE
LOS GATOS, CA
APN: 409-14-026



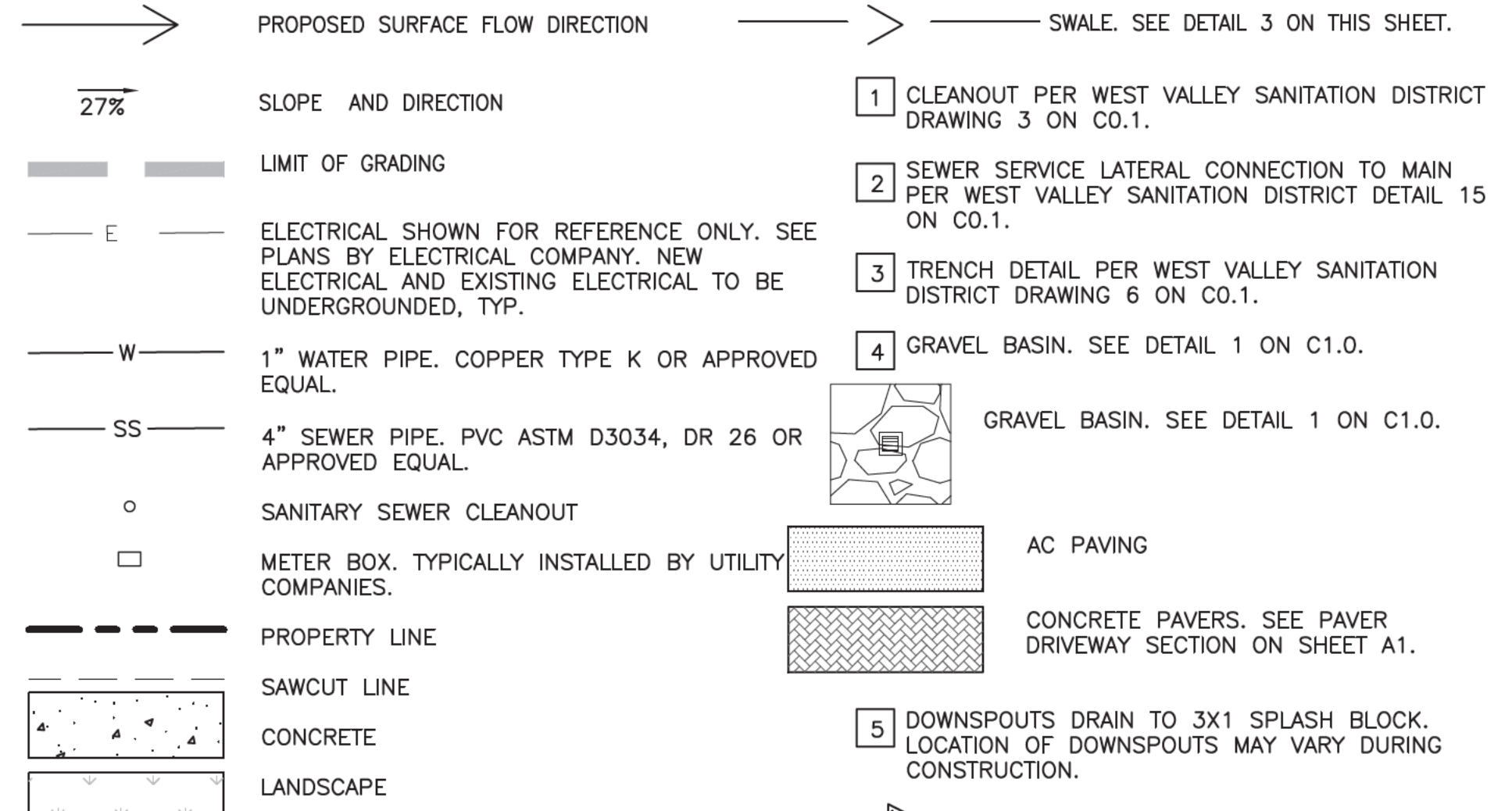
- UTILITY COMPANY INFO:**
- WATER SUPPLY: SAN JOSE WATER COMPANY
 - SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT
 - GAS/ELECTRIC: PG&E
 - TELEPHONE: AT&T
 - STORM DRAINAGE: TOWN OF LOS GATOS
- ABBREVIATIONS:**
- EG EXISTING GROUND
 - EX EXISTING
 - FF FINISHED FLOOR
 - FG FINISHED GROUND
 - FL FLOW LINE
 - FS FINISHED SURFACE
 - HOPE HIGH DENSITY POLY ETHYLENE
 - INV INVERT
 - LF LINEAR FEET
 - PL PROPERTY LINE
 - SD STORM DRAIN
 - SDR STANDARD DIMENSION RATION
 - SSCO SANITARY SEWER CLEAN OUT
 - TG TOP OF GRATE



GRADING AND DRAINAGE PLAN NOTES:

- PER 2023 CALIFORNIA BUILDING CODE SECTION 1804.4, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE STREET SEWER, TO BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).
- ALL STEPS AND CURBS SHALL BE IN BETWEEN 4" AND 7".
- ELEVATION OF LANDSCAPED AREAS ADJACENT TO SIDEWALKS OR WALKWAYS SHALL BE LESS THAN FOUR INCHES DIFFERENCE PER 1116A.1 OF THE CALIFORNIA BUILDING CODE.
- THRESHOLDS, IF PROVIDED AT DOORWAYS SHALL BE HALF INCH HIGH MAXIMUM PER CALIFORNIA BUILDING CODE 11B-404.2.5.
- PROVIDE LEVEL LANDING AT DOORWAYS PER CALIFORNIA BUILDING CODE. DEPTH OF LEVEL LANDING SHALL NOT BE LESS THAN 44" AND MAX SLOPE IN ANY DIRECTION OF LEVEL LANDING SHALL BE TWO PERCENT.
- PER CALIFORNIA PLUMBING CODE, SANITARY SEWER HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND A UNIFORM SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT TOWARD THE POINT OF DISPOSAL PROVIDED THAT, WHERE IT IS IMPRACTICAL DUE TO THE DEPTH OF THE STREET SEWER, TO THE STRUCTURAL FEATURES, OR TO THE ARRANGEMENT OF A BUILDING OR STRUCTURE TO OBTAIN A SLOPE OF 1/4 INCH PER FOOT (20.8 MM/M) OR 2 PERCENT, SUCH PIPE OR PIPING 4" OR LARGER IN DIAMETER SHALL BE PERMITTED TO HAVE A SLOPE OF NOT LESS THAN 1/8 INCH PER FOOT (LOA MM/M) OR 1 PERCENT, WHERE FIRST APPROVED BY THE AUTHORITY HAVING JURISDICTION.

LEGEND:



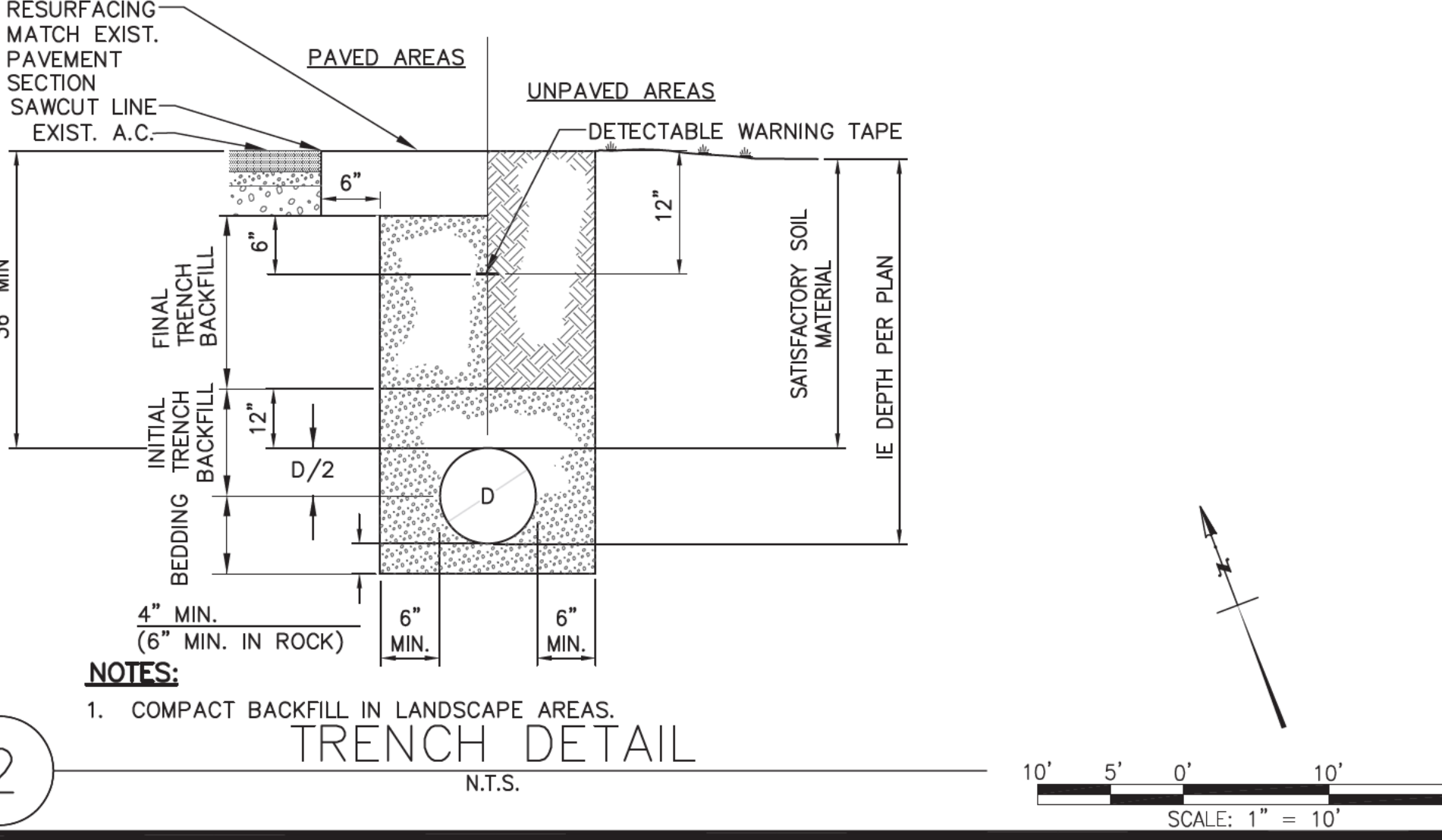
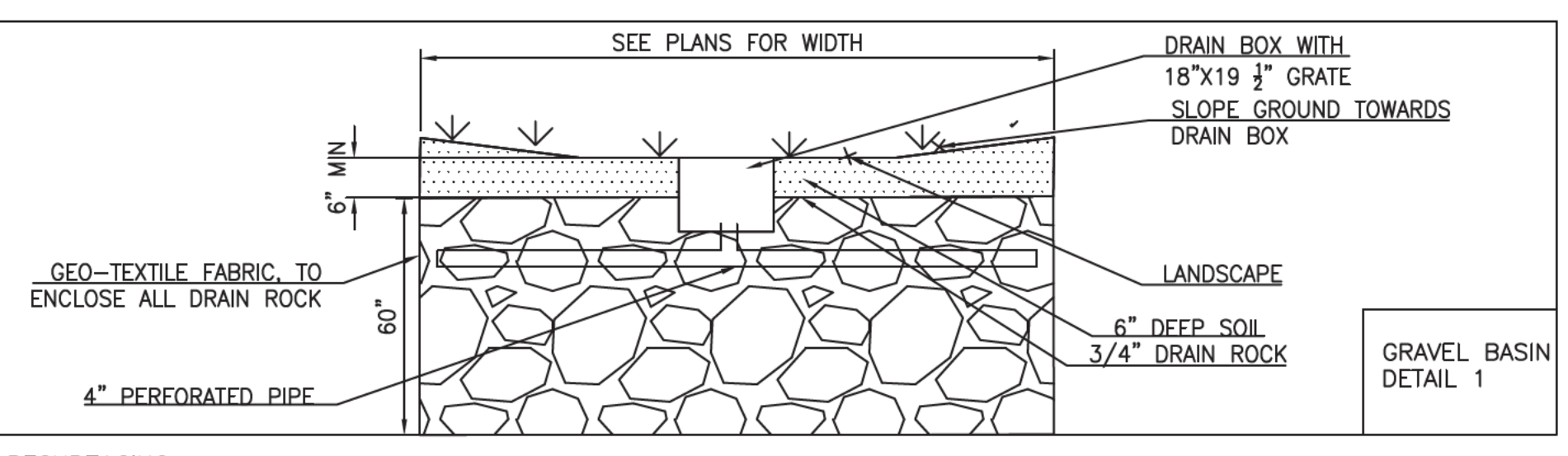
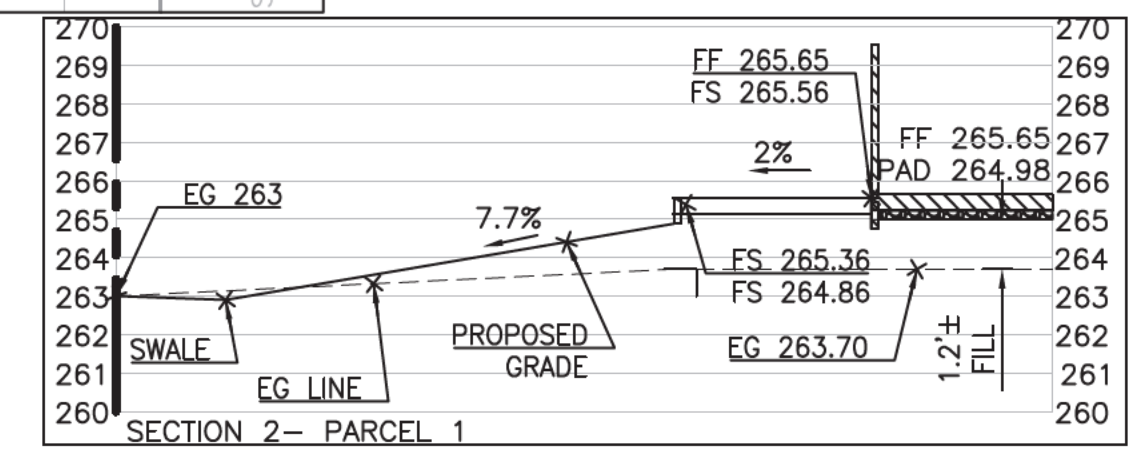
EARTHWORK CY

PARCEL 1

AVERAGE SLOPE: 2%	EARTHWORK (CY)		MAX CUT/FILL DEPTH(FT)		CY	
SITE ELEMENT	CUT	FILL	CUT	FILL	IMPORT	EXPORT
DRIVEWAY	90	70	0.5	2		20
BLDG PAD	-	105	0	2	105	
YARD	50	40	0.5	2		10
TOTAL	140	215			105	30

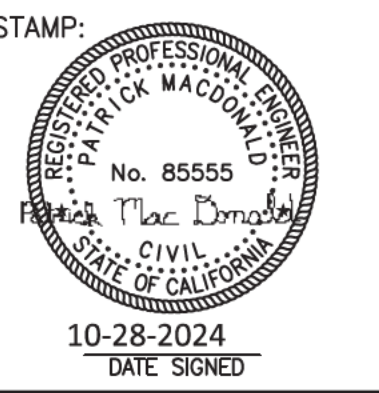
NOTES:

- ALL GRASS SWALES SHALL BE LINED WITH A PERMANENT EROSION CONTROL FABRIC SUCH AS ENKAMAT 7000 SERIES OR EQUIVALENT.
- ENKAMAT CONTACT INFORMATION: P.O. BOX 1057, SAND HILL ROAD, ENKA, NC 28728
PHONE: 1-800-365-7391 / 1-828-665-5050
- THE CONTRACTOR SHALL HANDLE, STORE, PLACE AND INSTALL/ANCHOR THE PERMANENT EROSION CONTROL FABRIC IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.
- ALL PLANTING, MAINTENANCE, AND IRRIGATION SHALL BE PER THE LANDSCAPE ARCHITECTS PLAN. ALL PLANTING SHALL CONTINUE TO THE EDGE OF INLETS TO ENSURE FULL TREATMENT OF STORM WATER.



CONSULTANT:

COMPANY NAME: SF CIVIL
 CIVIL ENGINEER: PATRICK MACDONALD
 2532 SANTA CLARA AVE #151
 ALAMEDA, CALIFORNIA 94501
 (P) 510-282-5281
 (E) sfcivil@yahoo.com

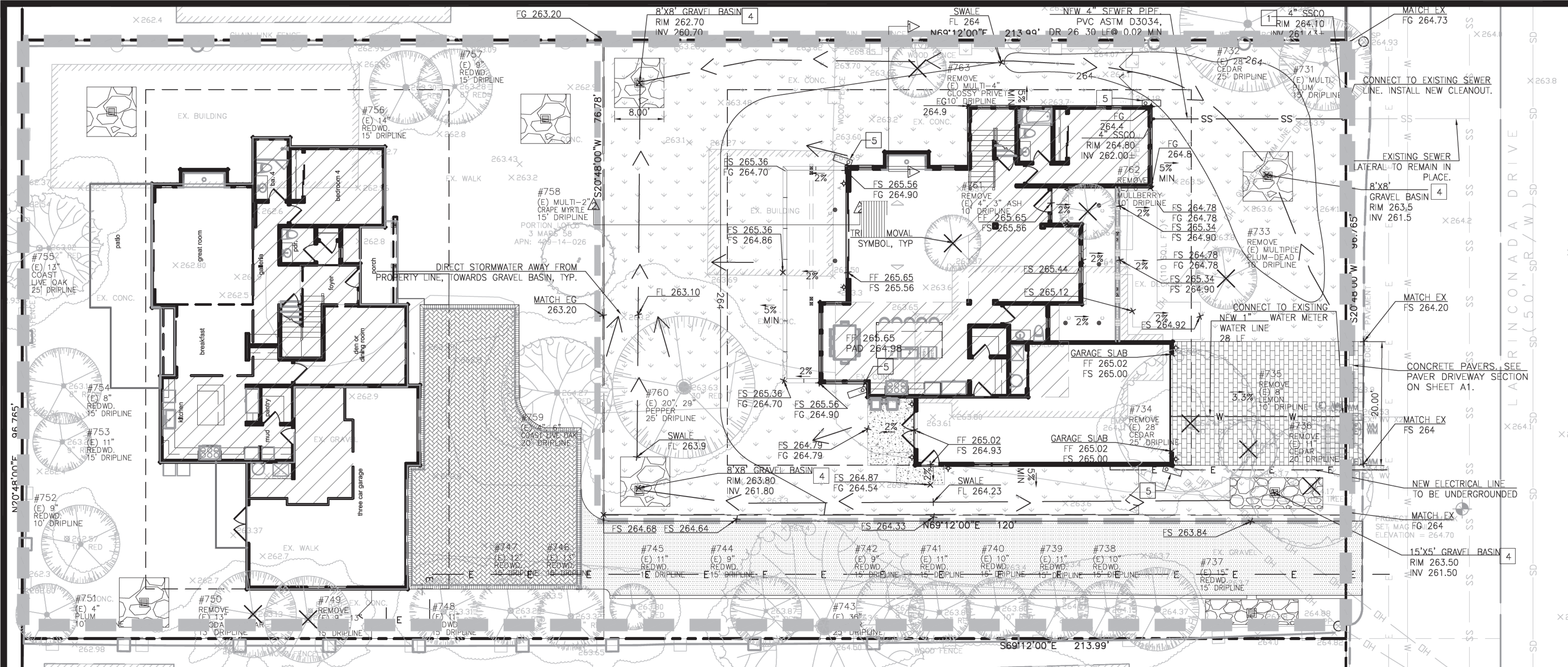


REVISIONS

	DATE
▲	
▲	
▲	
▲	
▲	
▲	

SHEET TITLE
 GRADING AND DRAINAGE PLAN
 UTILITY PLAN

SHEET NUMBER
 C1.0



LEGEND:

- DRAINAGE MANAGEMENT AREA
- GRAVEL BASIN. SEE DETAIL 1 ON C1.0.

PARCEL 1
14335 LA RINCONADA DRIVE
LOS GATOS, CA
APN: 409-14-026

CONSULTANT:
 COMPANY NAME: SF CIVIL
 CIVIL ENGINEER: PATRICK MACDONALD
 2532 SANTA CLARA AVE #151
 ALAMEDA, CALIFORNIA 94501
 (P) 510-282-5281
 (E) sfcivil@yahoo.com

STORMWATER NOTES:

SEPARATE BUILDING PERMIT SUBMITTALS WILL BE PROVIDED FOR PARCEL 1 AND PARCEL 2.

THE C3 MANUAL CONSIDERS THIS A MULTI FAMILY PROJECT, WHICH IS REGULATED AT GREATER THEN 5000 SQUARE FEET OF IMPERVIOUS AREA.

THIS IS A C3 REGULATED PROJECT.

THE PROJECT MEETS C3 STANDARDS BY DIRECTING STORMWATER FROM ROOF OF NEW BUILDINGS TOWARDS GRAVEL BASINS (DRY WELLS).

GRAVEL BASINS ARE SIZED PER THE C3 MANUAL.

TOTAL PROJECT AREA = 20,703 SF

TOTAL IMPERVIOUS AREA = 9,000 SF

PER THE C3, CASQA SIZING, BMP VOLUME 810 CUBIC FEET.

REQUIRED GRAVEL BASIN VOLUME = 810 CUBIC FEET / 0.4 POROSITY = 2,025 GRAVEL BASIN AREA REQUIRED.

THE PROPOSED SITE HAS BEEN DESIGNED WITH 8 GRAVEL BASINS (DRY WELL). TOTAL SQUARE FOOT AREA OF GRAVEL BASINS = 500 SQUARE FEET. DEPTH OF BASINS = 5 FEET MINIMUM. 2,500 CUBIC FEET OF GRAVEL BASIN PROVIDED.

C3 SIZING CALCULATOR SHEETS FOR GRAVEL BASIN (DRY WELL)

Section II. Sizing for Volume-Based Treatment Measures, continued

Section II.B - Sizing Volume-Based Treatment Measures based on the Adapted CASQA Stormwater BMP Handbook Approach

The equation that will be used to size the BMP is:

$$\text{Design Volume} = (\text{Rain Gage Correction Factor}) \times (\text{Unit Basin Storage Volume}) \times (\text{Drainage Area})$$

Step 1. Determine the drainage area for the BMP. A = 0.475 acres

Step 2. Determine percent imperviousness of the drainage area:

a. Estimate the amount of impervious surface (rooftops, hardscape, streets, and sidewalks, etc.) in the area draining to the BMP. 0.207 acres

b. % impervious area = (amount of impervious area/drainage area for the BMP) × 100
 % impervious area = (Step 2.a/Step 1) × 100
 % impervious area = 43.5 %

Step 3. Find the mean annual precipitation at the site (MAP_{site}). To do so, estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary.

MAP_{site} = 12 inches

Step 4. Identify the reference rain gage closest to the project site from Table B-2b and record the MAP_{gage}.

MAP_{gage} = 13.9 inches

Table B-2b: Precipitation Data for Three Reference Gages

Reference Rain Gages	Mean Annual Precipitation (MAP _{gage}) (in)
San Jose Airport	13.9
Palo Alto	13.7
Morgan Hill	16.5

Section II. Sizing for Volume-Based Treatment Measures, continued

Section II.B - Adapted CASQA Stormwater BMP Handbook Approach (continued)

Step 5. Determine the rain gage correction factor for the precipitation at the site using the information from Step 3 and Step 4.

$$\text{Correction Factor} = \frac{MAP_{site}}{MAP_{gage}} = \frac{12}{13.9}$$

Correction Factor = 0.86

Step 6. Identify the representative soil type for the BMP drainage area.

a) Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project shown here in order of increasing infiltration capability:
 ___ Clay (D) ___ Sandy Clay (D) Clay Loam (D)
 ___ Silt Loam/Loam (B) ___ Not Applicable (100% Impervious)

b) Does the site planning allow for protection of natural areas and associated vegetation and soils so that the soils outside the building footprint are not graded/compacted? (Y/N)
 If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silt Loam to Clay Loam or Clay).
 Modified soil type: CLAY LOAM

Step 7. Determine the average slope for the drainage area for the BMP. 1 %

Step 8. Determine the unit basin storage volume from sizing curves.

a) Slope ≤ 1%
 Use the figure at the end of this Appendix entitled "Unit Basin Volume for 80% Capture, 1% Slope" corresponding to the nearest rain gage: Figure B-2, B-3, or B-4 for San Jose, Palo Alto, or Morgan Hill, respectively. Find the percent imperviousness of the drainage area (from Step 2) on the x-axis. From there, find the line corresponding to the soil type (from Step 6), and obtain the unit basin storage volume on the y-axis.
 Unit Basin Storage for 1% slope (UBS_{1%}) = 0.3 (inches)

b) Slope ≥ 15%
 Use the figure at the end of this Appendix entitled "Unit Basin Volume for 80% Capture, 15% Slope" corresponding to the nearest rain gage: Figure B-5, B-6, or B-7 for San Jose, Palo Alto, or Morgan Hill, respectively. Find the percent imperviousness of the drainage area (from Step 2) on the x-axis. From there, find the line corresponding to the soil type (from Step 6), and obtain the unit basin storage volume on the y-axis.
 Unit Basin Storage for 15% slope (UBS_{15%}) = (inches)

PROPOSED CONDITION STORMWATER PLAN

Section II. Sizing for Volume-Based Treatment Measures, continued

Section II.B - Adapted CASQA Stormwater BMP Handbook Approach (continued)

c) Slope > 1% and < 15%
 Find the unit basin volumes for 1% and 15% using the techniques in Steps 8.a and 8.b and interpolate by applying a slope correction factor per the following formula:

$$\text{UBS} = \text{UBS}_{1\%} + (\text{UBS}_{15\%} - \text{UBS}_{1\%}) \times (\text{X}\% - 1\%) / (15\% - 1\%)$$

UBS = (Step 8.a) + (Step 8.b - Step 8.a) × (X% - 1%) / (15% - 1%)
 Where UBS_{1%} = Unit Basin Storage volume for drainage area of intermediate slope, X %

Unit Basin Storage volume (UBS_{1%}) = 0.3 (inches)
 (corrected for slope of site)

Step 9. Determine the Adjusted Unit Basin Storage Volume for the site, using the following equation:

$$\text{Adjusted UBS} = \text{Rain Gage Correction Factor} \times \text{Unit Basin Storage Volume}$$

Adjusted UBS = (Step 5) × (Step 8)
 Adjusted UBS = 0.47 (inches)

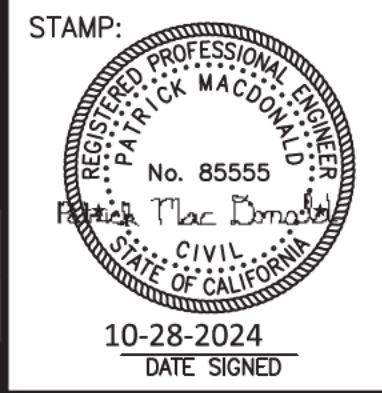
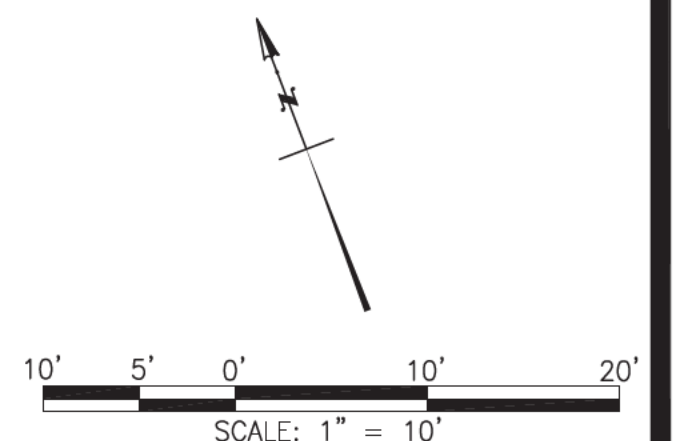
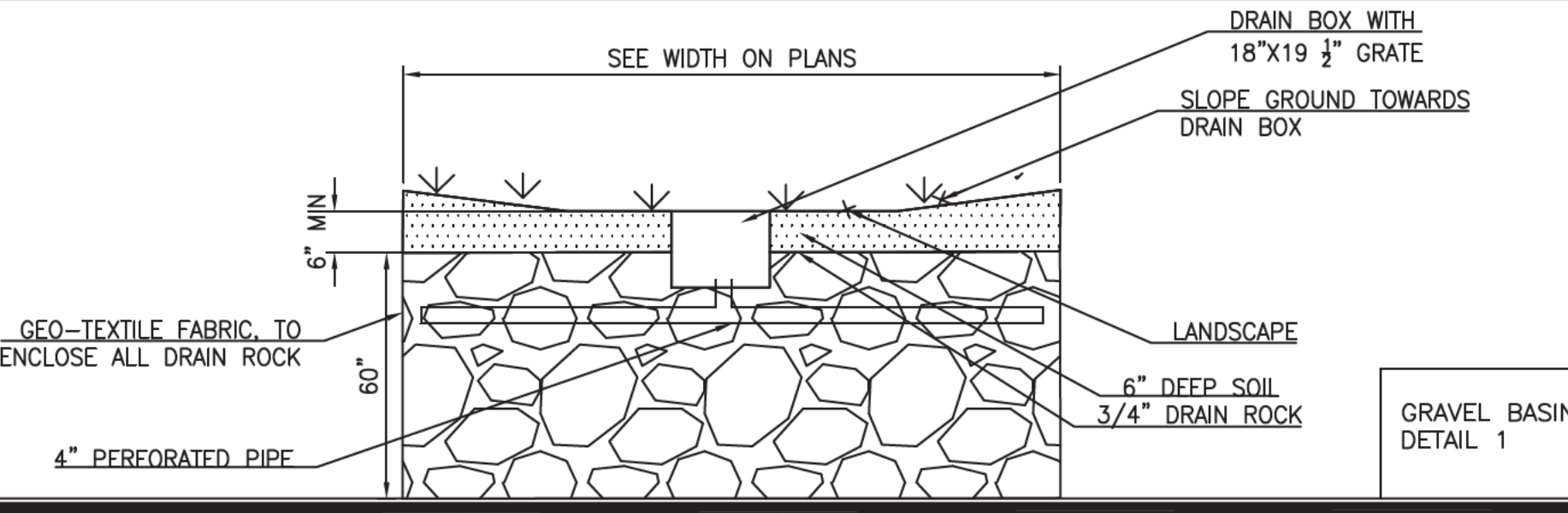
Step 10. Determine the BMP Design Volume, using the following equation:

$$\text{Design Volume} = (\text{Adjusted UBS}) \times (\text{Step 1}) \times 1 \text{ foot} / 12 \text{ inch}$$

Design Volume = 0.18 acre-feet × 43,980 square feet/acre = 810 cubic feet

AREA SUMMARY:

2. Project Size					
a. Total Site Area: 20,703 (ft ²)		b. Total Land Area Disturbed During Construction: 20,703 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained ¹ (ft ²)	Existing Area Replaced ² (ft ²)	New Area Created ³ (ft ²)	Total Post-project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	5,833	0	0	9,000	9,000
d. Total off-site IA ⁴	0	0	0	0	0
e. Total project IA	5,833	0	0	9,000	9,000
f. Total new and replaced IA				9,000	
Pervious Area (PA)					
g. Total on-site PA	14,870				11,703
h. Total off-site PA ⁴					
i. Total project PA	14,870				11,703
j. Total Project Area (2.e.+2.i.)	20,703				20,703
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced + Existing Total on-site IA) × 100%	0 %				

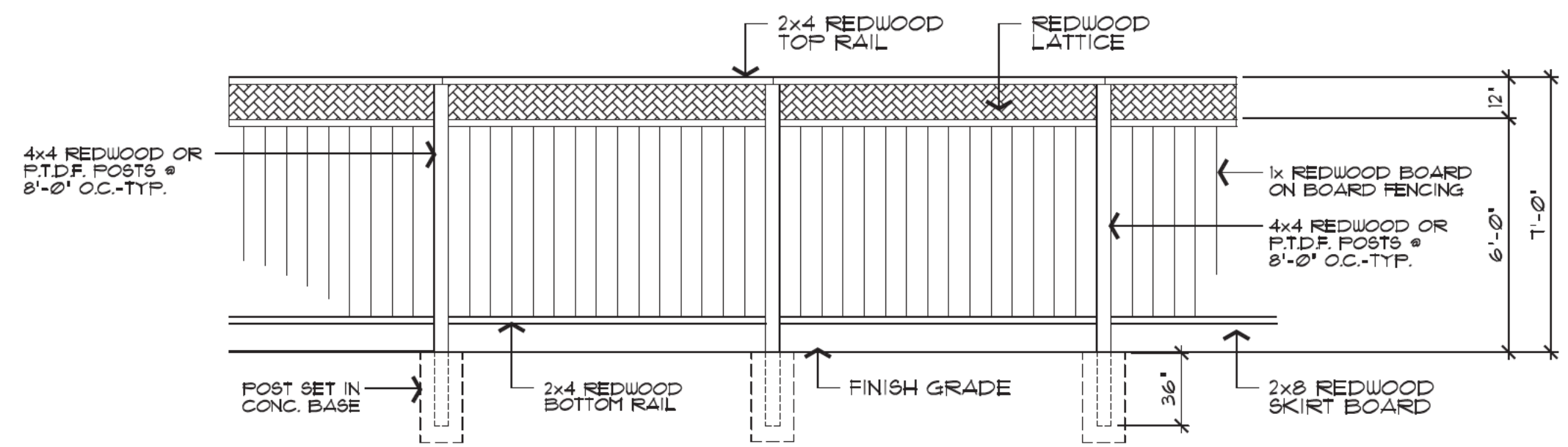


REVISIONS	
	DATE

SHEET TITLE
 STORMWATER

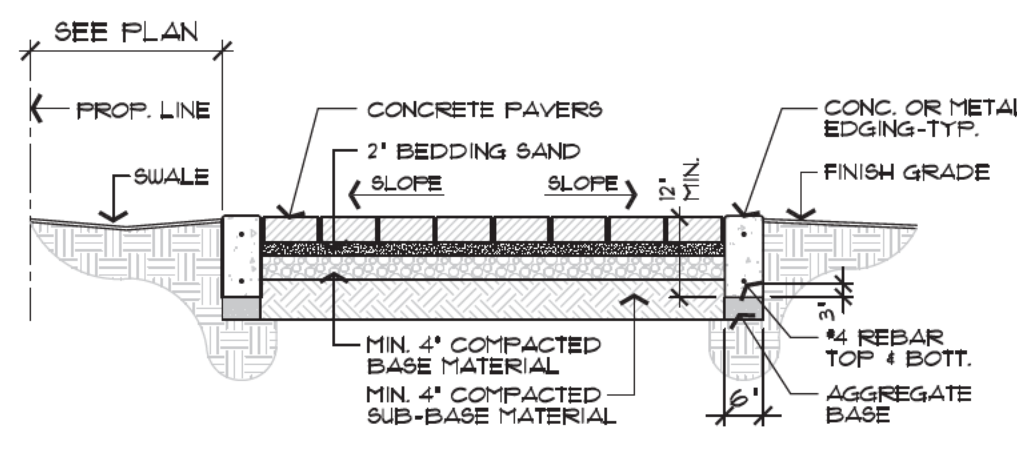
SHEET NUMBER
 C2.0

C:\Users\pml\OneDrive\Desktop\409-14-026\409-14-026\409-14-026.dwg
 14335 La Rinconada Dr, Eng, 10/28/2024 10:24:18 AM
 Operating System: Windows 10
 Operating Software: AutoCAD 2024



Fence Detail

N.T.S.



Paver Driveway Section

N.T.S.

PROJECT DATA:

APPLICANT:

MGKG Properties L.P.
19341 Monte Vista Drive
Saratoga, Calif. 95035

PROJECT ADDRESS:

La Rinconada Drive Project
14335 La Rinconada Drive - Parcel 1
Los Gatos, Calif. 95032

PROJECT DESCRIPTION:

Deconstruct the existing residence, detached garage and shed on the property. Proposed is a new two story single family residence.

Zoning: R-1:8

A.P.N.: 409-14-026

Parcel 1

Gross Lot Area: 9,210 sq. ft.

Net Lot Area: 9,210 sq. ft.

Proposed Living Area: 2,800 sq. ft.

Proposed Garage: 703 sq. ft.

Proposed F.A.R.: 30%

Lot Coverage:

Proposed House: 1,614 sq. ft.

Proposed Garage: 703 sq. ft.

Proposed Front Porch: 212 sq. ft.

Proposed Rear Porch: 132 sq. ft.

Total Lot Coverage: 2,661 sq. ft.

2,661 sq. ft. / 9,210 sq. ft. = 28.9%

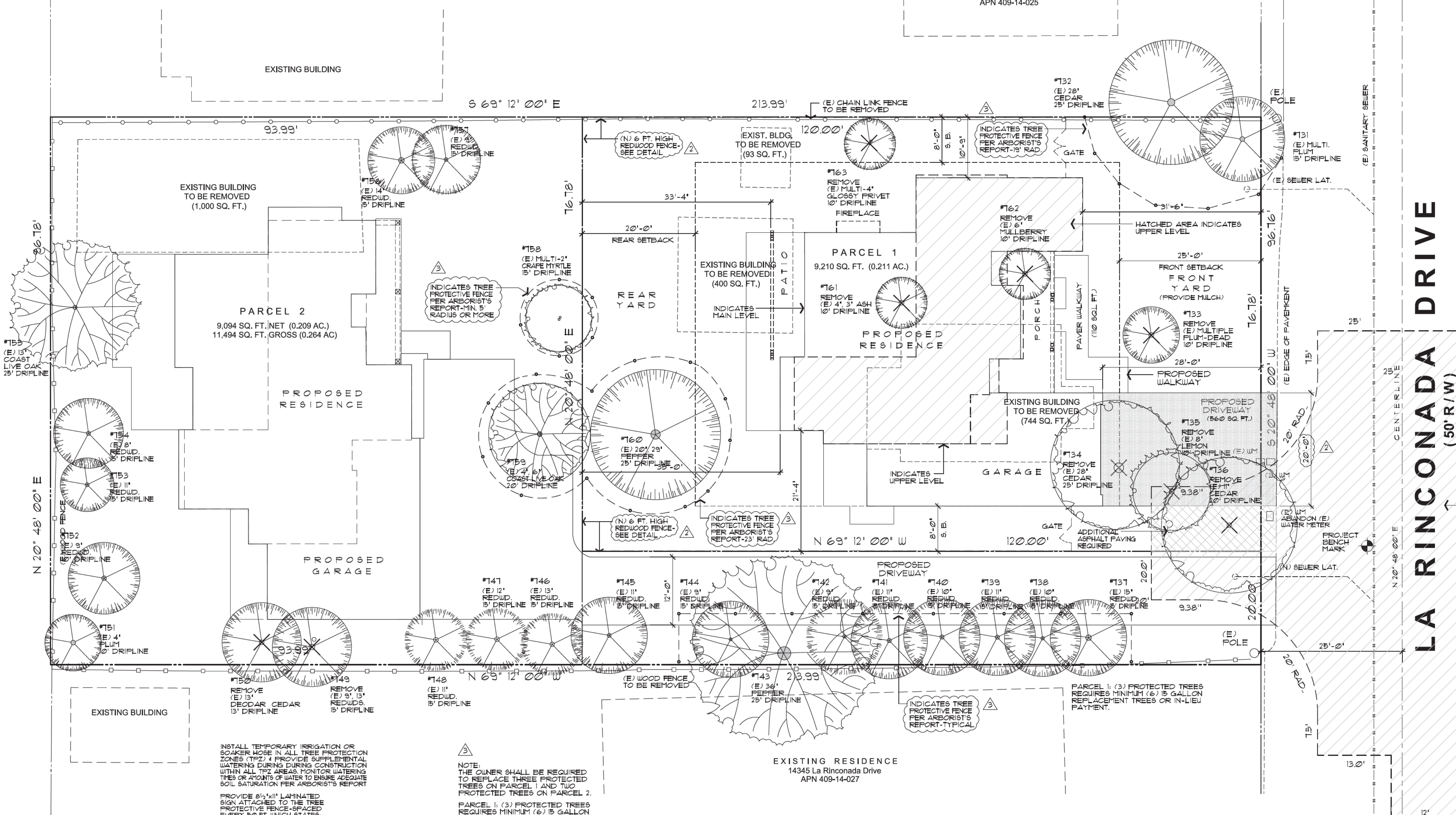
NO./ DATE/ REVISION
1. LOS GATOS ARCH. 4 SITE REVIEW 8-28-24
2. LOS GATOS ARCH. 4 SITE REVIEW 10-15-24
3. LOS GATOS ARCH. 4 SITE REVIEW 1-16-25

THESE PLANS USE INTEREST ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS, ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. THE ATTENTION OF UNIQUE HOME DESIGNS SHOULD BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. UNDESIRABLE DIMENSIONS SHALL TAKE PRECEDENCE OVER CIRCLED DIMENSIONS.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinook Lane, San Jose, California 95129
(408) 972-8394

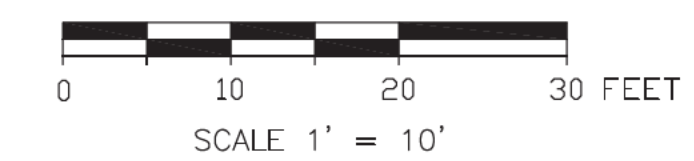
Site Plan - Parcel 1
La Rinconada Drive Project
14335 La Rinconada Drive - Parcel 1
Los Gatos, California

DATE: SEPT. 1, 2024
SCALE: 1"=10'
PROJECT MANAGER: GREG ZIERMAN
DRAWN: GZ
JOB NO.: 2023-MGKG LG.
SHEET: A1



Site Plan - Parcel 1

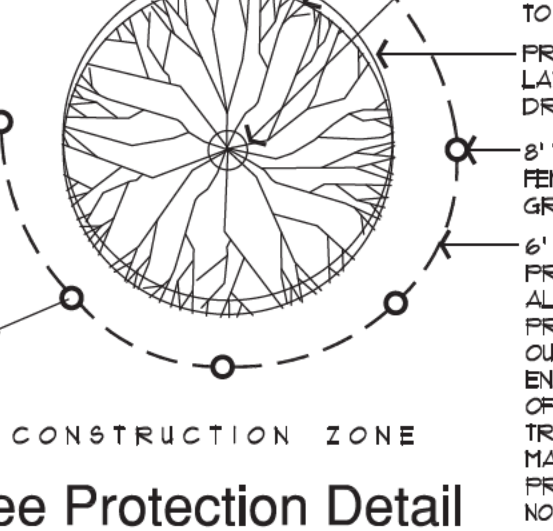
scale: 1"=10'-0"



INSTALL TEMPORARY IRRIGATION OR SOAKER HOSE IN ALL TREE PROTECTION ZONES (TPZ) & PROVIDE SUPPLEMENTAL WATERING DURING CONSTRUCTION WITHIN ALL TPZ AREAS. MONITOR WATERING TIMES OR AMOUNTS OF WATER TO ENSURE ADEQUATE SOIL SATURATION PER ARBORIST'S REPORT

PROVIDE 8 1/2" X 11" LAMINATED SIGN ATTACHED TO THE TREE PROTECTIVE FENCE-SPACES EVERY 80 FT WHICH STATES: "KEEP OUT TREE PROTECTION AREA" REFER TO TREE SUMMARY REPORT

AREA OF NO CONSTRUCTION



NOTE: THE OWNER SHALL BE REQUIRED TO REPLACE THREE PROTECTED TREES ON PARCEL 1 AND TWO PROTECTED TREES ON PARCEL 2.

PARCEL 1: (3) PROTECTED TREES REQUIRES MINIMUM (6) 5 GALLON REPLACEMENT TREES OR IN-LIEU PAYMENT.

PARCEL 2: (2) PROTECTED TREES REQUIRES MINIMUM (4) 5 GALLON REPLACEMENT TREES OR IN-LIEU PAYMENT.

Notes:
• All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: Tree Shrub and Other Woody Plant Management: Standard Practices parts 1 through 10 and adhere to ANSI Z153.1 safety standards and local regulations.
• All maintenance is to be performed according to ISA Best Management Practices.

GENERAL NOTES:

ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND. VERIFY LOCATIONS @ SITE.

SLOPE ALL FINISH GRADES A MINIMUM OF 5% FOR 10'-0" AWAY FROM STRUCTURES FOR DRAINAGE @ LANDSCAPE AREAS. IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM 2% AWAY FROM THE BUILDING.

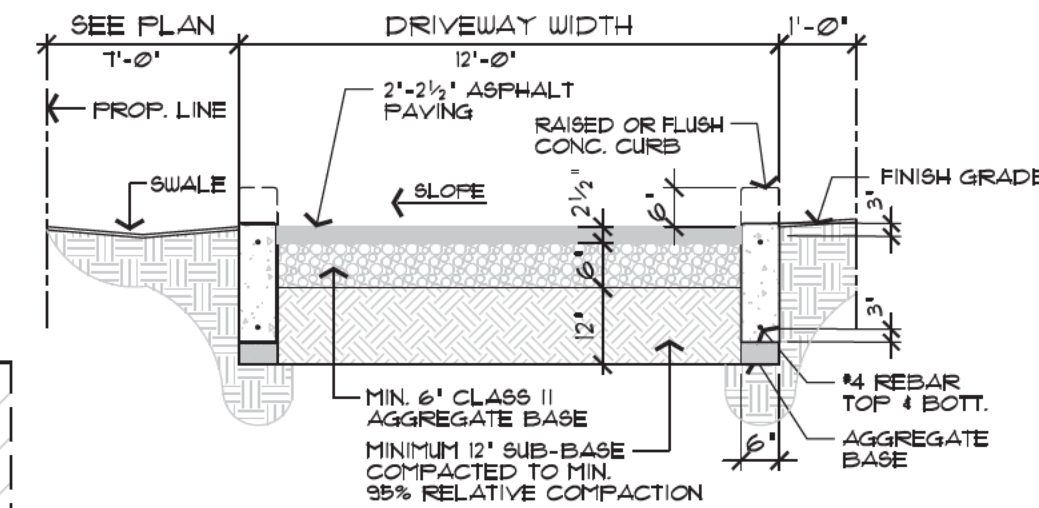
ALL DOWNSPOUTS SHALL DIRECT RAINWATER A MINIMUM OF 5 FEET AWAY FROM FOUNDATION, AND ONTO VEGETATED AREAS.

NO LANDSCAPING IS BEING PROPOSED. MULCHING OF THE FRONT YARD SHALL BE REQUIRED.

A DEMOLITION PERMIT SHALL BE REQUIRED AS A SEPARATE PERMIT TO DEMOLISH ANY EXISTING RESIDENCE, GARAGE, AND ACCESSORY STRUCTURE.

A SEPARATE PERMIT SHALL BE REQUIRED FOR THE NEW PROPOSED SINGLE FAMILY RESIDENCE.

A SEPARATE PERMIT SHALL BE REQUIRED FOR THE SOLAR PV SYSTEM REQUIRED BY THE CALIFORNIA ENERGY CODE.



Asphalt Driveway Section

N.T.S.

CONFORMING FIRE TRUCK TURNAROUND WITHIN A PUBLIC STREET

NO. / DATE / REVISION
LOS GATOS ARCH # SITE REVIEW 9-8-24
LOS GATOS ARCH # SITE REVIEW 10-15-24
LOS GATOS ARCH # SITE REVIEW 1-16-25

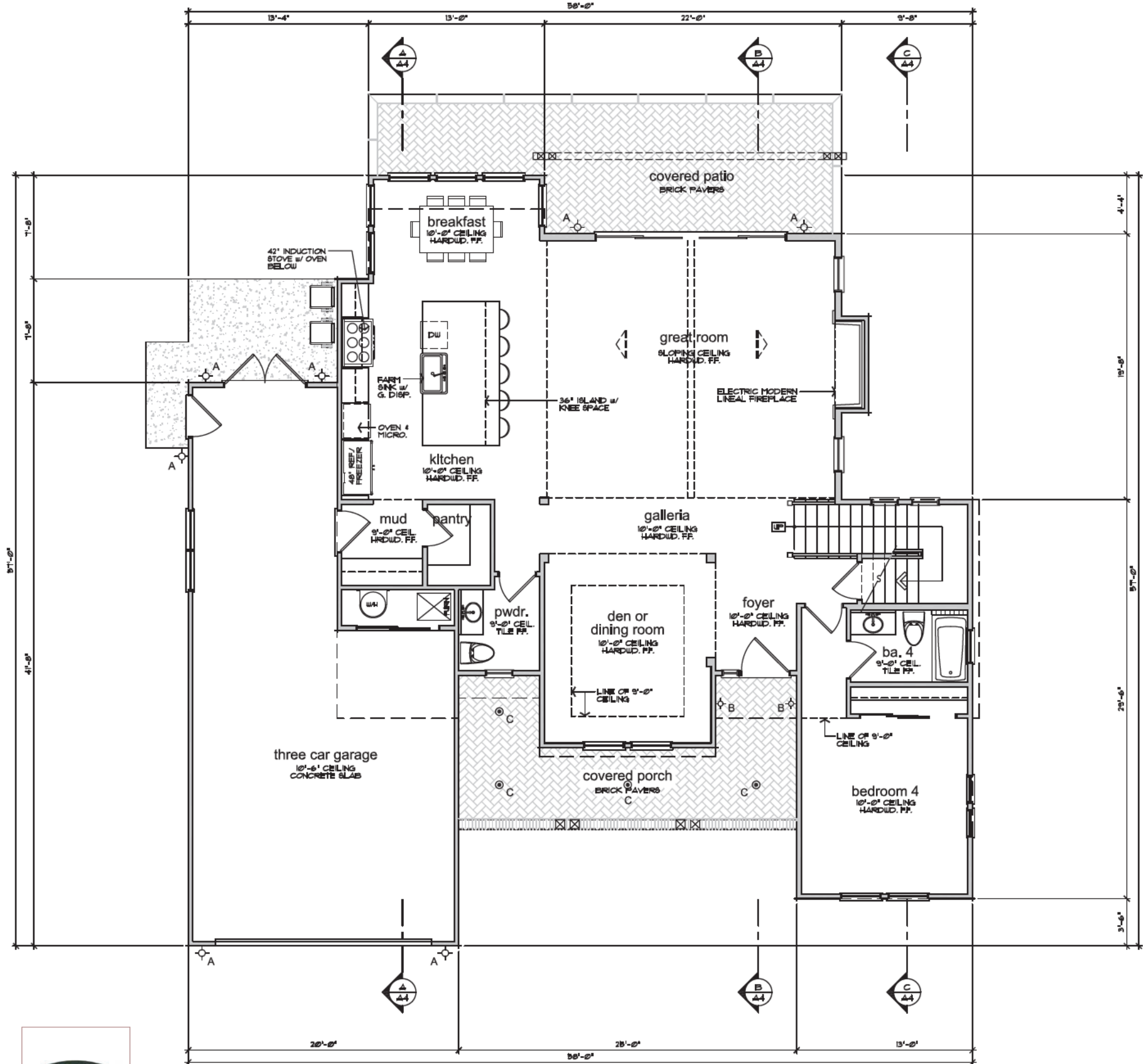
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND THE EXpressed WRITEN CONSENT OF UNIQUE HOME DESIGNS, ANY REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF UNIQUE HOME DESIGNS IS STRICTLY PROHIBITED. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594

DRAWING TITLE Main Level Floor Plan
JOB TITLE La Rinconada Drive Project
JOB ADDRESS 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

DATE SEPT. 1, 2024
SCALE 1/4"=1'-0"
PROJECT MANAGER GREG ZIERMAN
DRAWN GZ
JOB NO. 2023-MGKG LG
SHEET

A2.1



Main Level Floor Plan - Parcel 1

- 1,614 sq. ft. Main Level
- ▲ 1,191 sq. ft. Upper Level
- ▲ 2,805 sq. ft. Total Living Area
- 703 sq. ft. Garage
- 212 sq. ft. Covered Front Porch
- 132 sq. ft. Covered Rear Patio

scale: 1/4"=1'-0"



A. Outdoor Lighting

SEAGULL LIGHTING - 'BARN COLLECTION'
8637401-12 OR EQUAL



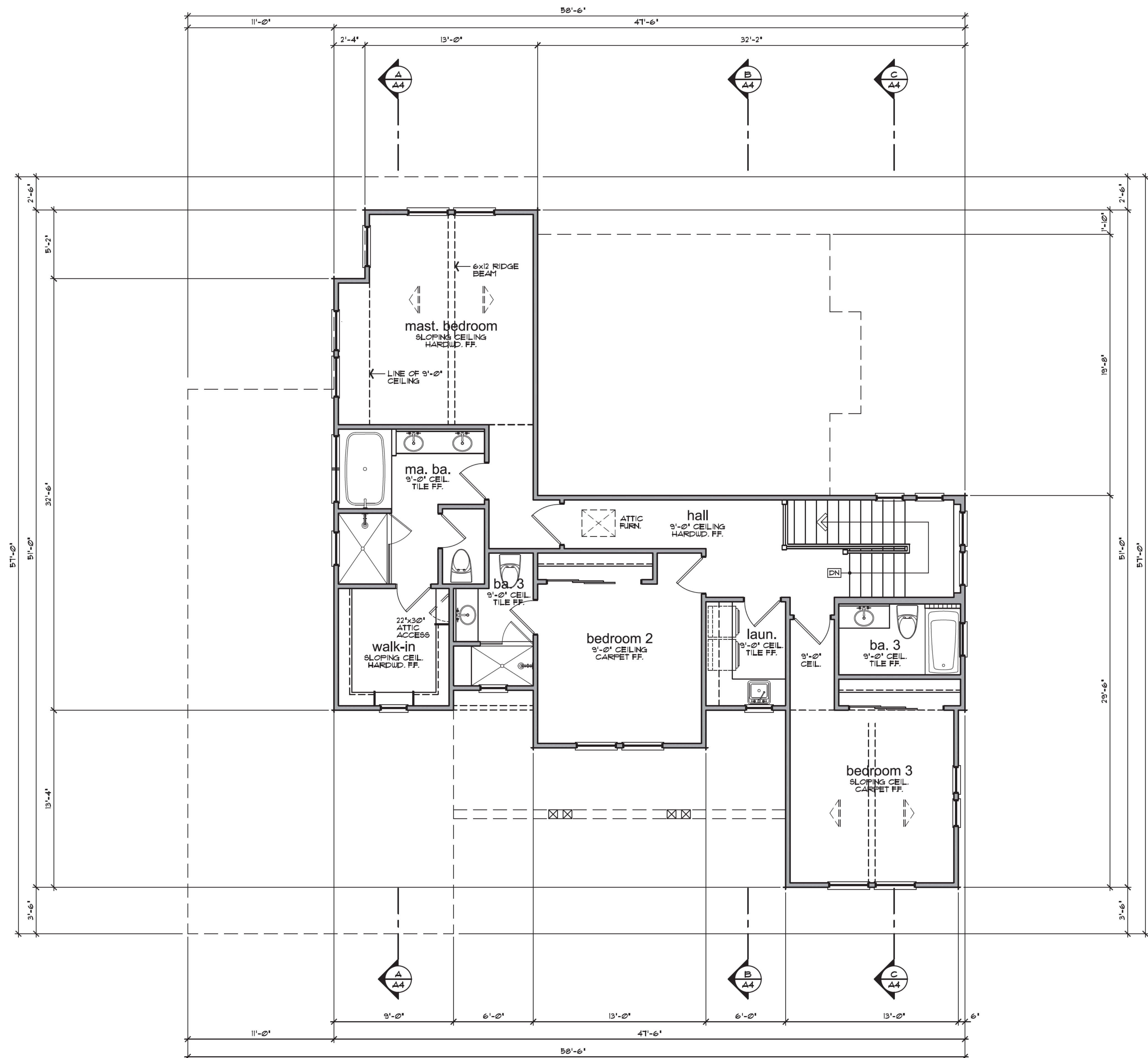
B. Outdoor Lighting

SEAGULL LIGHTING - 'BARN COLLECTION'
8637401-12 OR EQUAL



C. Outdoor Lighting

SEAGULL LIGHTING - 'BARN COLLECTION'
8637401-12 OR EQUAL



Upper Level Floor - Parcel 1
 1,191 sq. ft. Upper Level scale: 1/4"=1'-0"

NO.	DATE/REVISION
1	LOG GATOS ARCH. 4 SITE REVIEW 3-6-24
2	LOG GATOS ARCH. 4 SITE REVIEW 10-8-24
3	LOG GATOS ARCH. 4 SITE REVIEW 1-16-25

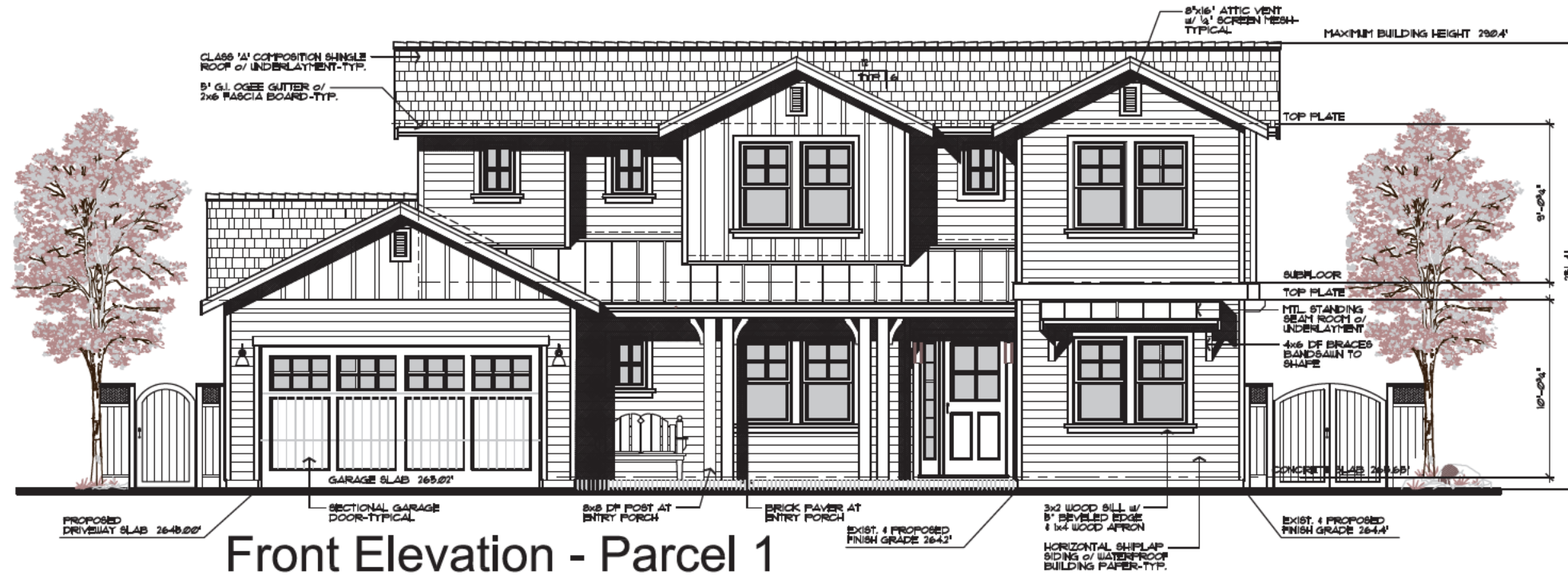
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF UNIQUE HOME DESIGNS, ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. THE USER OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. UNLESS OTHERWISE SPECIFIED, DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design 95123
 499 Chinook Lane, San Jose, California
 (408) 972-8594

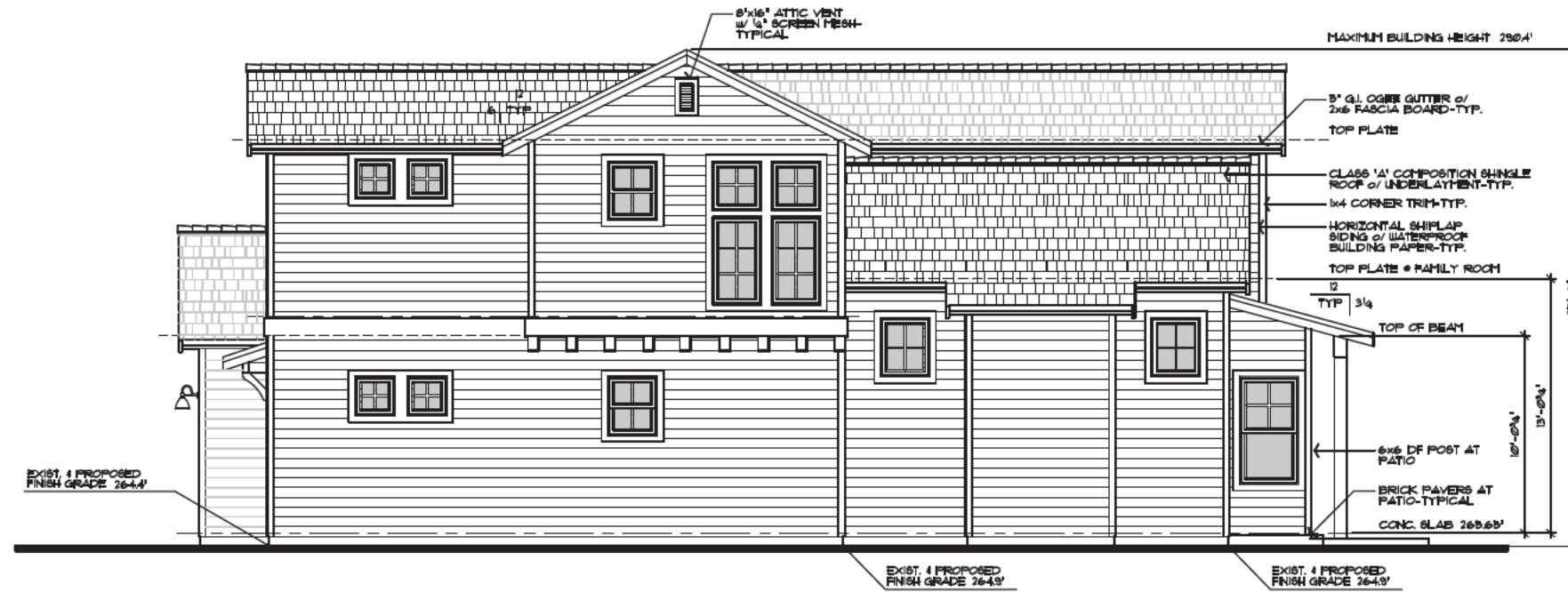
DRAWING TITLE	Upper Level Floor Plan
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1/4"=1'-0"
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG L.G.
SHEET	

A2.2



Front Elevation - Parcel 1



Right Side Elevation - Parcel 1

NO./ DATE/ REVISION
LOS GATOS ARCH. 1 SITE REVISION 3-6-24
LOS GATOS ARCH. 1 SITE REVISION 10-8-24
LOS GATOS ARCH. 1 SITE REVISION 11-16-23

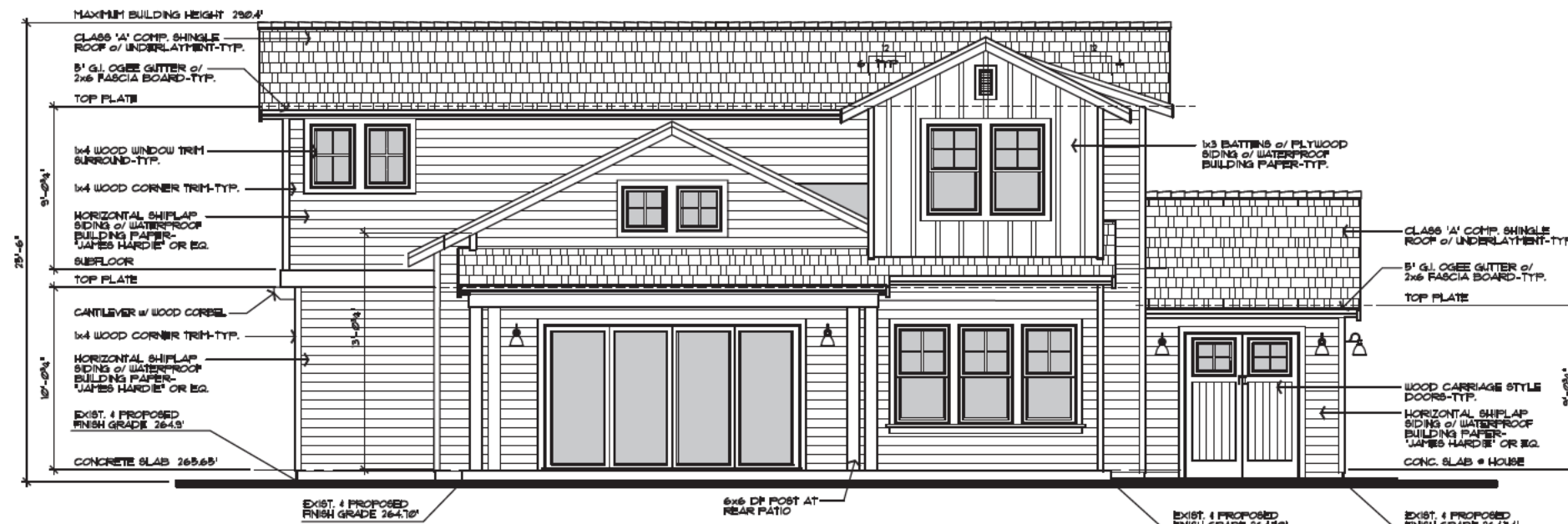
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH DESIGNED. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS OR OTHER ITEMS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY DEVIATION FROM THE HOME DESIGNER'S INTENT SHALL BE AT THE USER'S SOLE RISK. HOME DESIGNER'S SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 489 Chinook Lane, San Jose, California 95123
 (408) 972-8594

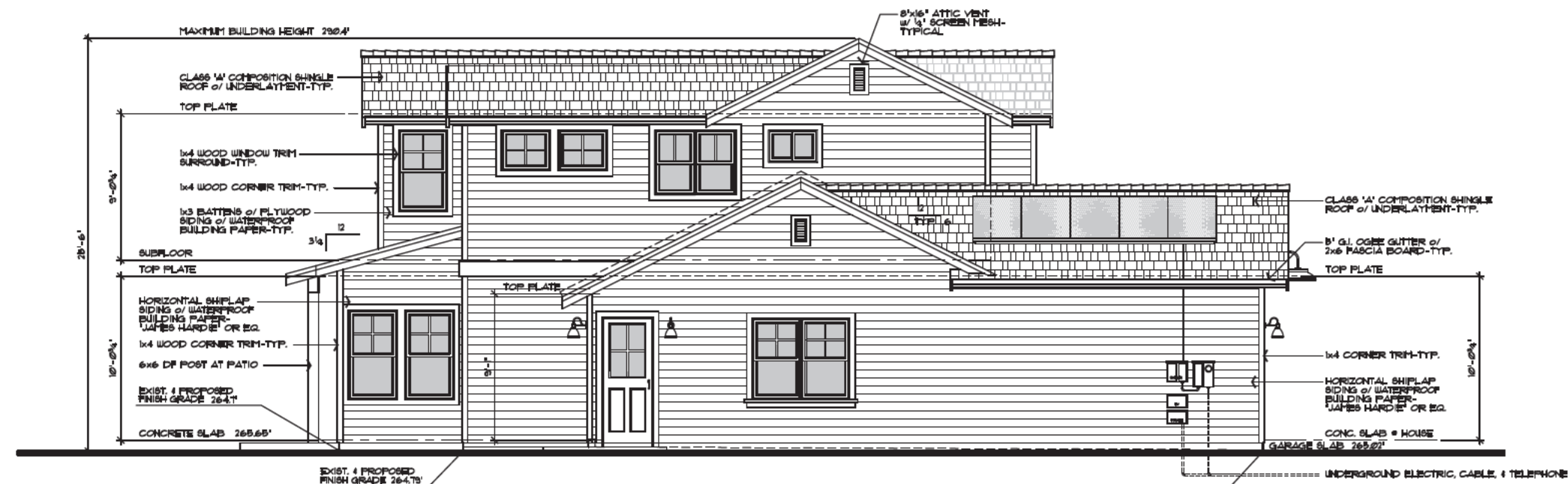
DRAWING TITLE: Exterior Elevations - Parcel 1
 JOB TITLE: La Rinconada Drive Project
 JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1, Los Gatos, California

DATE: SEPT. 1, 2024
 SCALE: 1/2"=1'-0"
 PROJECT MANAGER: GREG ZIERMAN
 DRAWN: GZ
 JOB NO.: 2023-MCKG LG.
 SHEET: 8 OF 8

A3.1



Rear Elevation - Parcel 1



Left Side Elevation - Parcel 1

NO./ DATE/ REVISION
LOS GATOS ARCH. 1 SITE REVIEW 9-8-24
LOS GATOS ARCH. 1 SITE REVIEW 10-8-24
LOS GATOS ARCH. 1 SITE REVIEW 11-8-24

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THEY MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY REPRODUCTION OR USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY DISCREPANCY DISCOVERED BETWEEN THESE PLANS AND ANY OTHER DOCUMENTS SHALL BE RESOLVED IN FAVOR OF THESE PLANS. ALL WRITTEN AGREEMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chilnook Lane, San Jose, California 95123
 (408) 972-8594

DRAWING TITLE	Exterior Elevations - Parcel 1
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

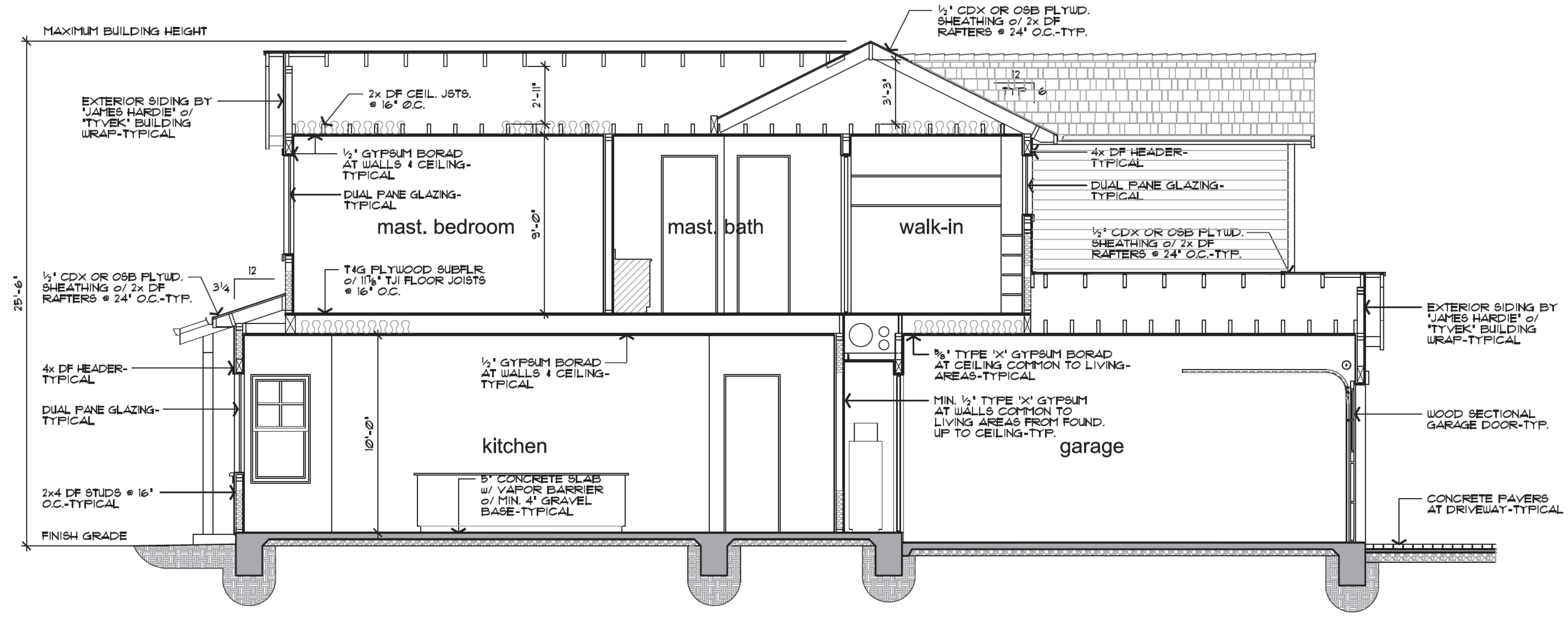
DATE	SEPT. 1, 2024
SCALE	1/8" = 1'-0"
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG-LG
SHEET	

A3.2

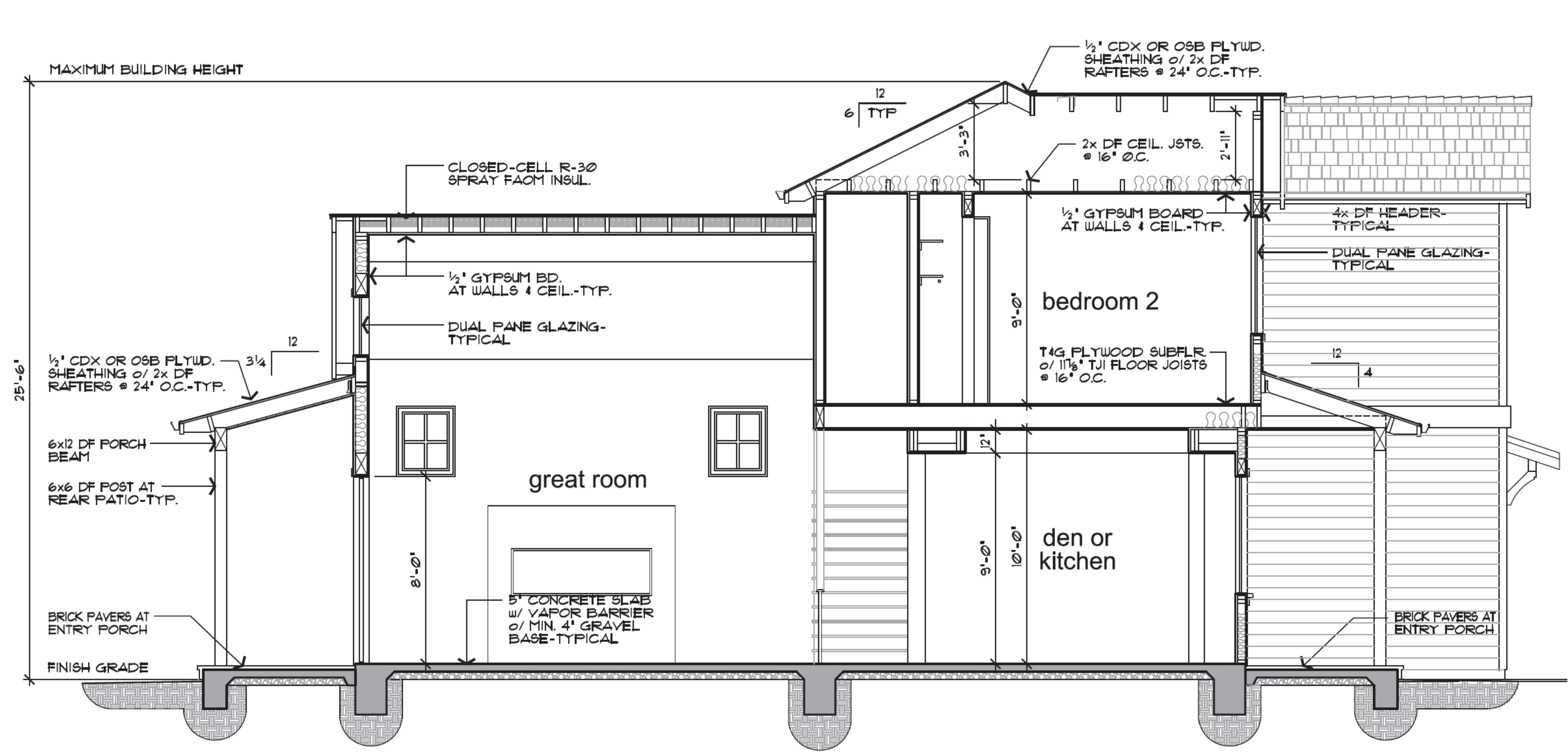
NO./ DATE/ REVISION
1 LOS GATOS ARCH. 1 SITE REVIEW 9-6-24
2 LOS GATOS ARCH. 1 SITE REVIEW 10-8-24
3 LOS GATOS ARCH. 1 SITE REVIEW 11-16-25

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND THE EXPLICIT WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. PRIOR TO THE USE OF THESE PLANS, THE USER SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. UNDESIRABLE CONDITIONS SHALL HAVE PRECEDENCE OVER OTHER CLauses.

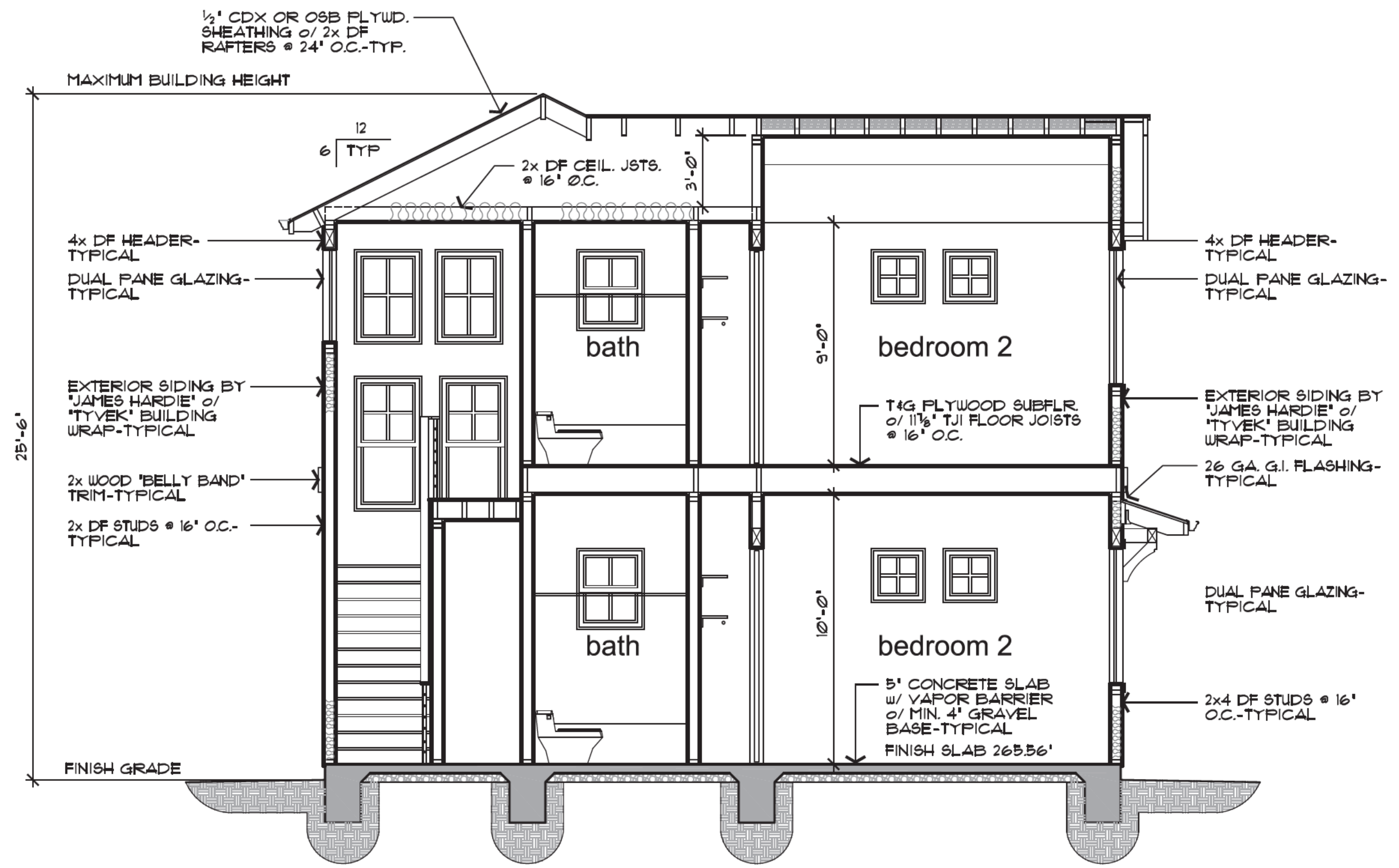
UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594



A Cross Section
 SCALE: 1/4"=1'-0"



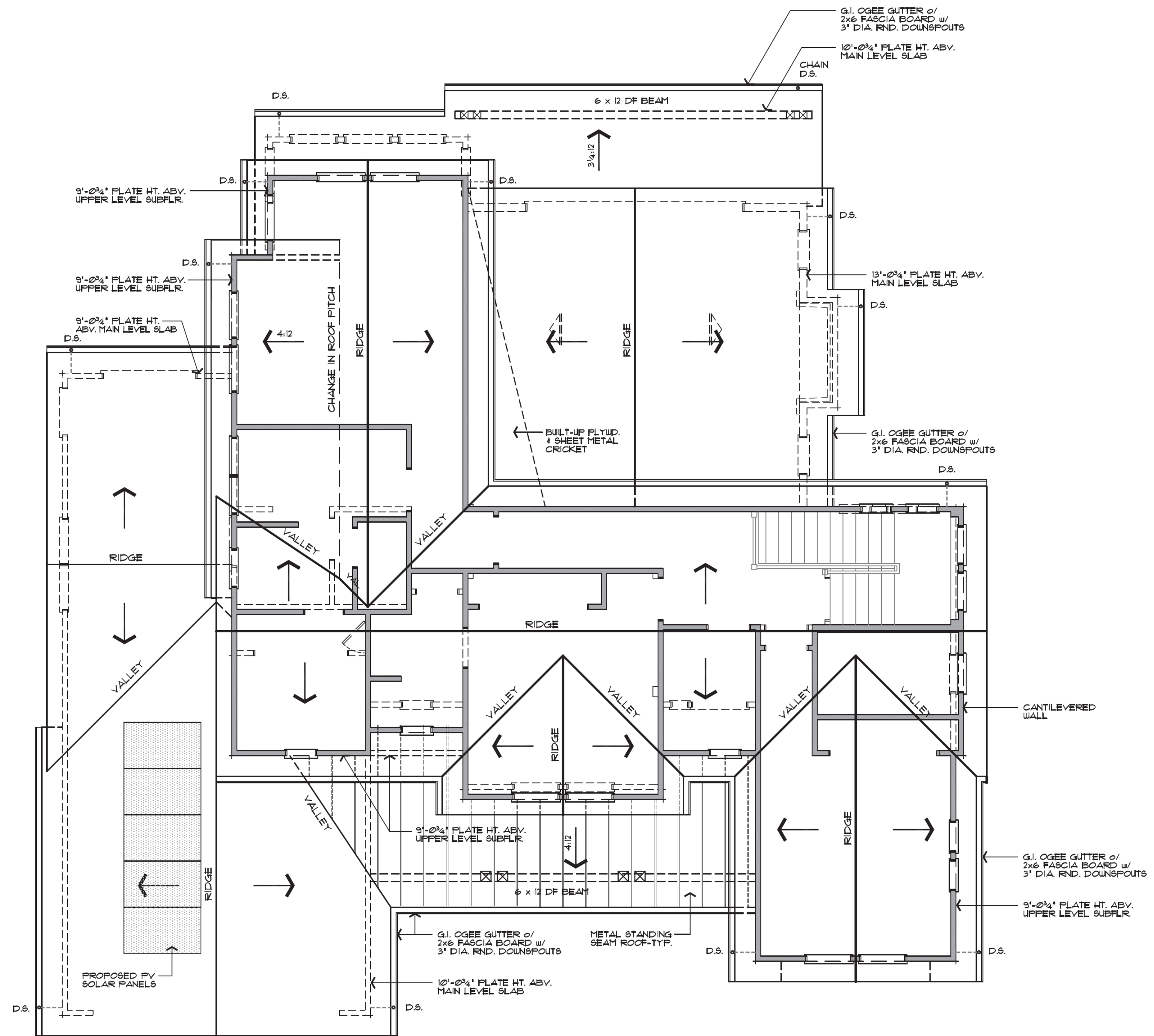
B Cross Section
 SCALE: 1/4"=1'-0"



C Cross Section
 SCALE: 1/4"=1'-0"

Building Cross Sections
 La Rinconada Drive Project
 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

DATE: SEPT. 1, 2024
 SCALE: 1/4"=1'-0"
 PROJECT MANAGER: GREG ZIERMAN
 DRAWN: GZ
 JOB NO.: 2023-MGKG LG.
 SHEET



Roof Plan - Parcel 1

SCALE: 1/4"=1'-0"

ROOF PLAN NOTES:

- ROOF SLOPE IS TO BE 6:12.
- ARROWS INDICATE DIRECTION OF ROOF SLOPE.
- MAIN LEVEL PLATE HEIGHT SHALL BE 10'-0 3/4" UNO.
- UPPER LEVEL PLATE HEIGHT SHALL BE 9'-0 3/4" UNO.
- OVERHANGS ARE TO BE 16" AT EAVES & 12" AT GABLES UNO.
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL.
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
- PROVIDE 5" 26 GA. G.I. OGEE GUTTER w/ DOWNSPOUTS. ALL DOWNSPOUTS SHALL DIRECT RAIN WATER AWAY FROM STRUCTURES AND ONTO VEGETATED AREAS.

NO./ DATE/ REVISION
LOS GATOS ARCH. & SITE REVIEW 5-6-24
LOS GATOS ARCH. & SITE REVIEW 10-5-24
LOS GATOS ARCH. & SITE REVIEW 1-16-25

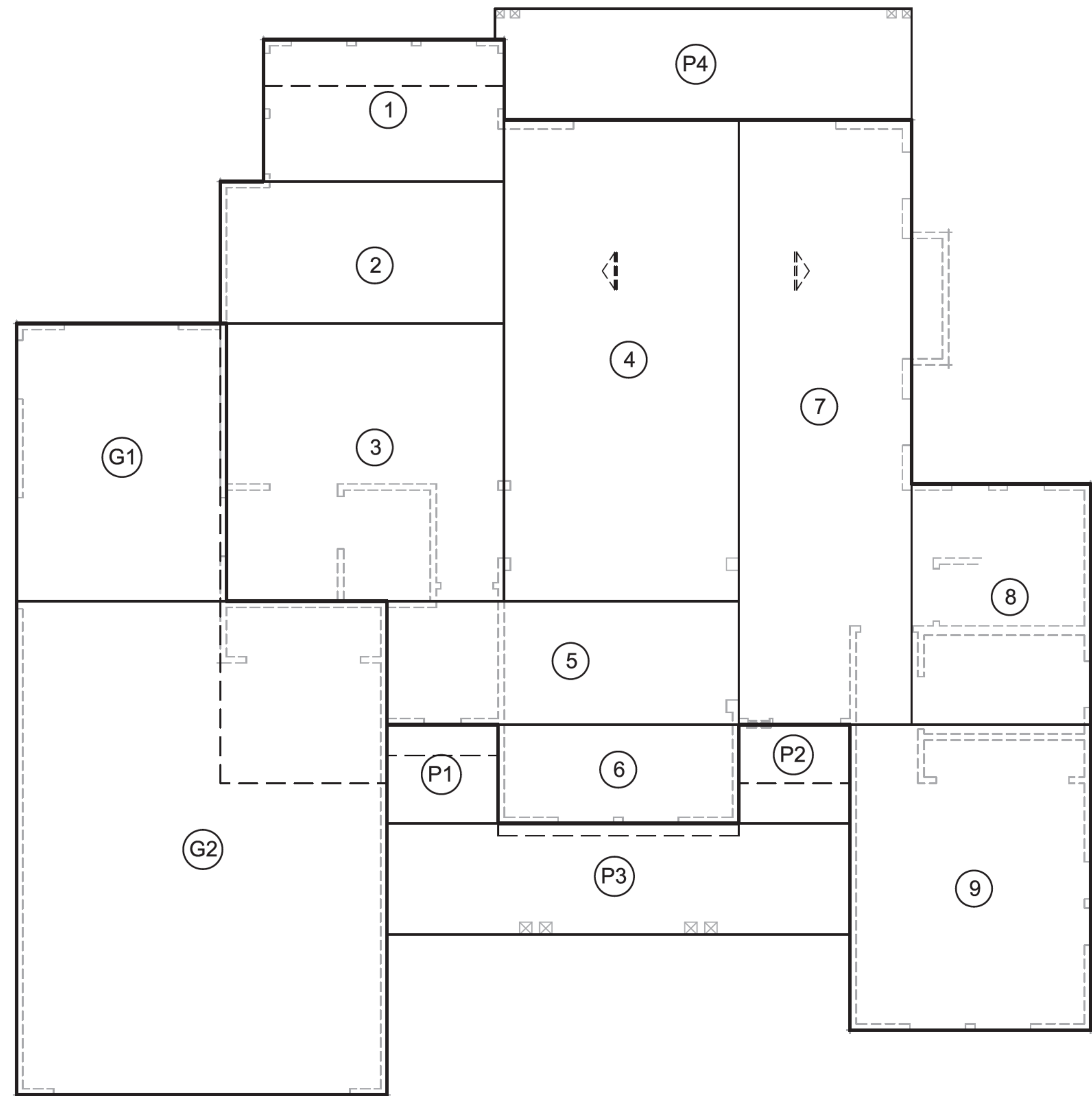
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND THE EXPLICIT WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. DIMENSIONS SHALL TAKE PRECEDENCE OVER CALLED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594

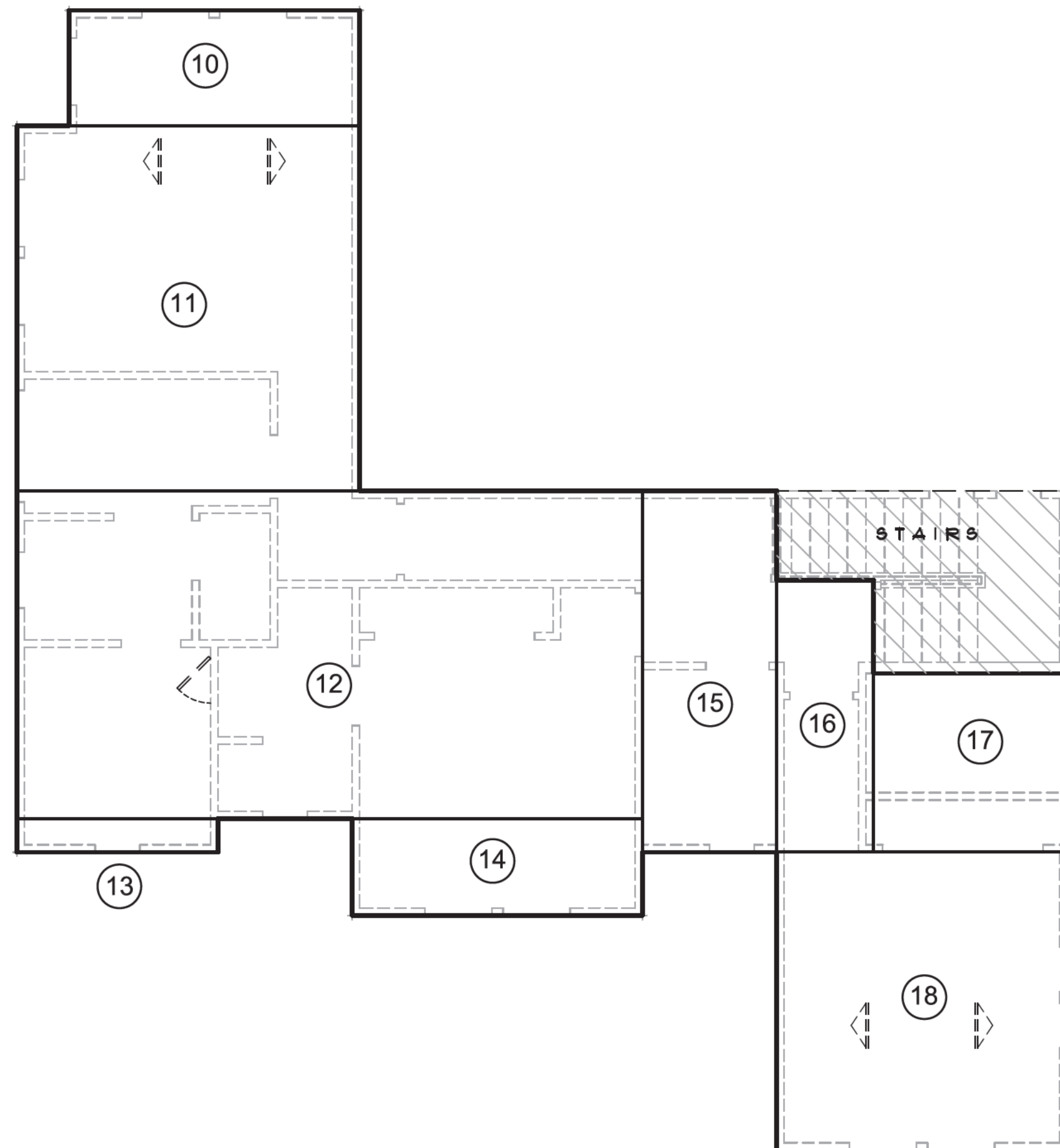
DRAWING TITLE	Roof Plan - Parcel 1
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1/4"=1'-0"
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG LG
SHEET	

A5



MAIN LEVEL FLOOR AREA DIAGRAM
SCALE: 3/16" = 1'-0"



UPPER LEVEL FLOOR AREA DIAGRAM
SCALE: 3/16" = 1'-0"

Square Footage Calculation

PARCEL 1

F.A.R. = 35% - (A-5 x 20)
 $35\% - \frac{(9210-5 \times 20)}{25} = 35\% - 3.37\% = 31.63\%$

F.A.R.:
 9210 x .32 = 2,947 SQ. FT. ALLOWABLE FLOOR AREA

MAIN LEVEL FLOOR AREA:

- 1. 13'-0" x 7'-8" = 99.66 SQ. FT.
- 2. 15'-4" x 7'-8" = 117.58 SQ. FT.
- 3. 15'-0" x 15'-0" = 225.00 SQ. FT.
- 4. 12'-8" x 26'-0" = 329.43 SQ. FT.
- 5. 19'-0" x 6'-8" = 126.73 SQ. FT.
- 6. 13'-0" x 5'-4" = 69.29 SQ. FT.
- 7. 9'-4" x 33'-0" = 307.89 SQ. FT.
- 8. 9'-8" x 13'-4" = 128.90 SQ. FT.
- 9. 13'-0" x 16'-1" = 209.12 SQ. FT.

MAIN LEVEL AREA 1,613.64 SQ. FT. (1,614 SQ. FT.)

UPPER LEVEL FLOOR AREA:

- 10. 13'-0" x 5'-2" = 67.16 SQ. FT.
- 11. 15'-4" x 16'-4" = 250.33 SQ. FT.
- 12. 28'-0" x 14'-8" = 401.66 SQ. FT.
- 13. 9'-0" x 1'-6" = 13.50 SQ. FT.
- 14. 13'-0" x 4'-4" = 56.33 SQ. FT.
- 15. 6'-0" x 16'-0" = 96.00 SQ. FT.
- 16. 4'-4" x 12'-0" = 52.00 SQ. FT.
- 17. 9'-0" x 8'-0" = 72.00 SQ. FT.
- 18. 13'-0" x 13'-4" = 173.33 SQ. FT.

UPPER LEVEL AREA 1,191.33 SQ. FT. (1,191 SQ. FT.)

GARAGE AREA:

- G1. 11'-4" x 15'-0" = 169.95 SQ. FT.
- G2. 20'-0" x 26'-8" = 533.40 SQ. FT.

GARAGE AREA: 703.35 SQ. FT. (703 SQ. FT.)

MAIN LEVEL AREA: 1,614 SQ. FT.

UPPER LEVEL AREA: 1,191 SQ. FT.

TOTAL LIVING AREA: 2,805 SQ. FT.

F. A. R.: 2,805 SQ. FT.

GARAGE AREA: 696 SQ. FT.

ENTRY PORCH:

- P1. 6'-0" x 5'-4" = 32.00 SQ. FT.
- P2. 6'-0" x 5'-0" = 36.00 SQ. FT.
- P3. 25'-0" x 6'-0" = 150.00 SQ. FT.

ENTRY PORCH AREA: 212.00 SQ. FT. (212 SQ. FT.)

REAR PATIO:

- P4. 22'-0" x 6'-0" = 132.00 SQ. FT.

ENTRY PORCH AREA: 132.00 SQ. FT. (132 SQ. FT.)

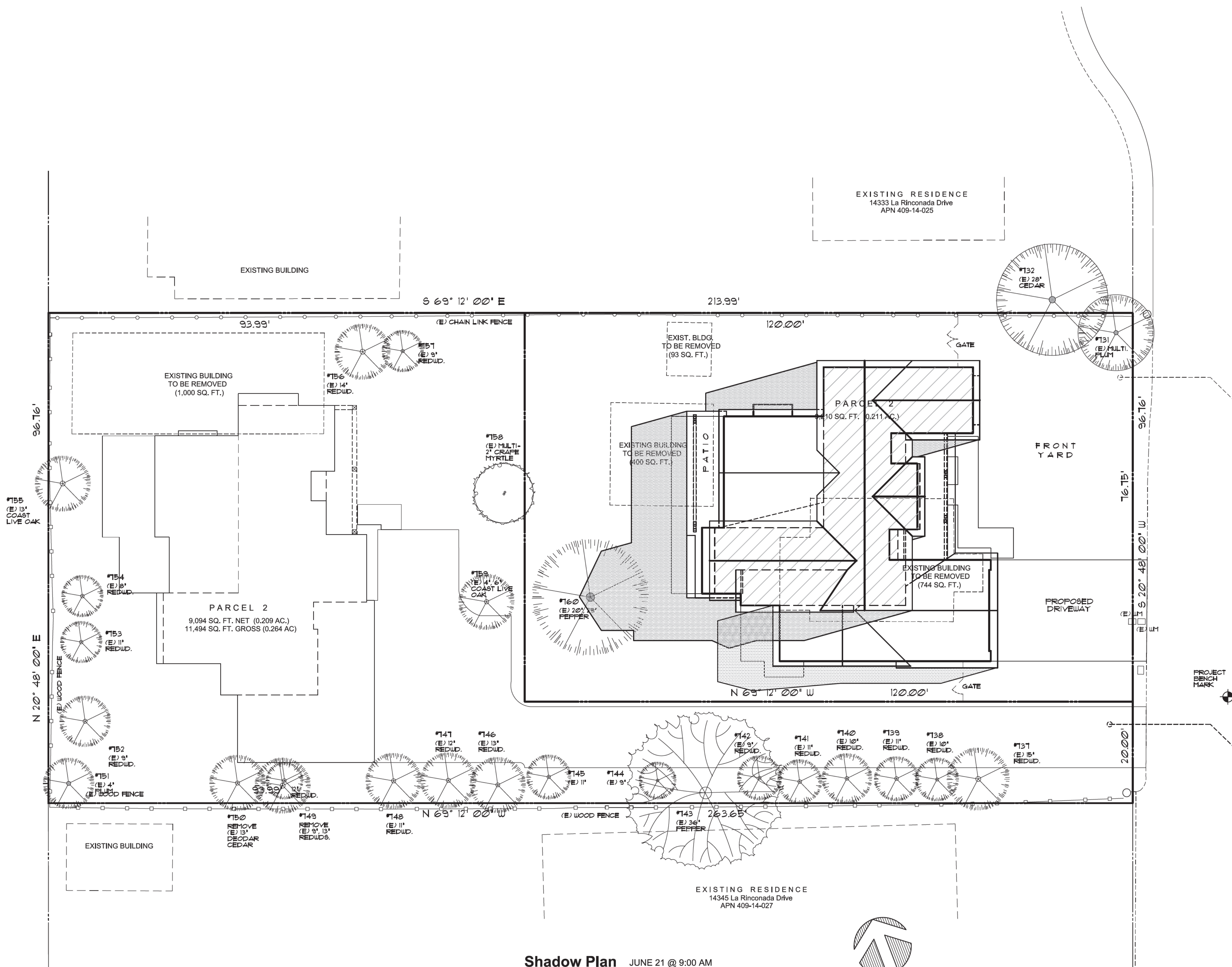
NO./ DATE/ REVISION
LOS GATOS ARCH. 4 SITE REVIEW 9-6-24
LOS GATOS ARCH. 4 SITE REVIEW 10-15-24
LOS GATOS ARCH. 4 SITE REVIEW 11-16-25

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. ANY REPRODUCTION OR REUSE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS IS STRICTLY PROHIBITED. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS IMMEDIATELY. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

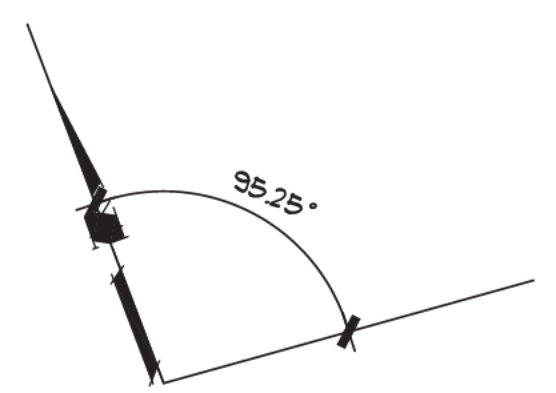
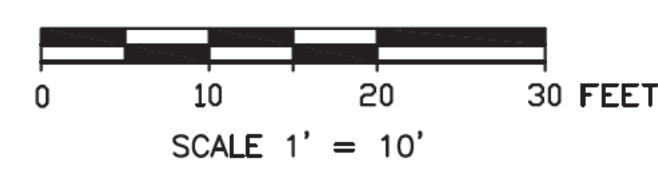
UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594

DRAWING TITLE: Floor Area Diagram - Parcel 1
 JOB TITLE: La Rinconada Drive Project
 JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

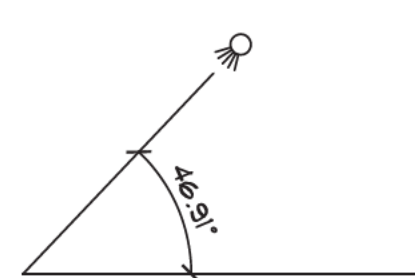
DATE: SEPT. 1, 2024
 SCALE: 3/16" = 1'-0"
 PROJECT MANAGER: GREG ZIERMAN
 DRAWN: GZ
 JOB NO.: 2023-MGKG LG.
 SHEET



Shadow Plan JUNE 21 @ 9:00 AM



SOLAR AZIMUTH: 99.25°



SOLAR ELEVATION: 46.91°

LA RINCONADA DRIVE
(50' R/W)

NO./DATE/REVISION
△ LOS GATOS ARCH. 4 SITE REVIEW 9-6-24
△ LOS GATOS ARCH. 4 SITE REVIEW 10-5-24

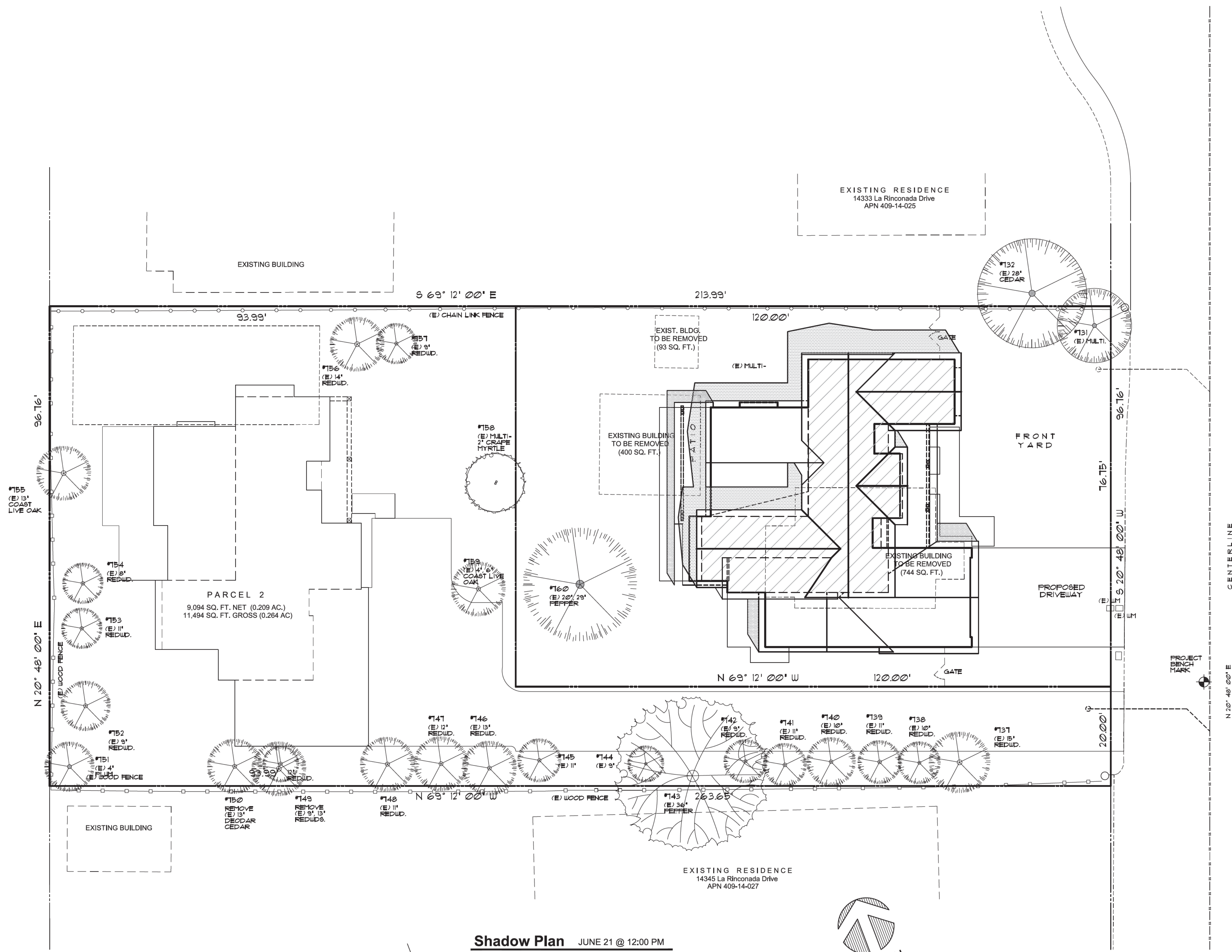
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. ANY REUSE, REPRODUCTION, OR REVISION OF THESE PLANS WITHOUT THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS, ANY PART THEREOF, OR ANY OTHER PARTY IS STRICTLY PROHIBITED. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS IMMEDIATELY. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinook Lane, San Jose, California 95123
(408) 972-8594

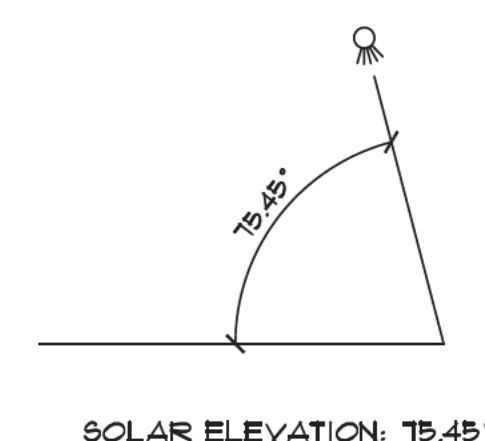
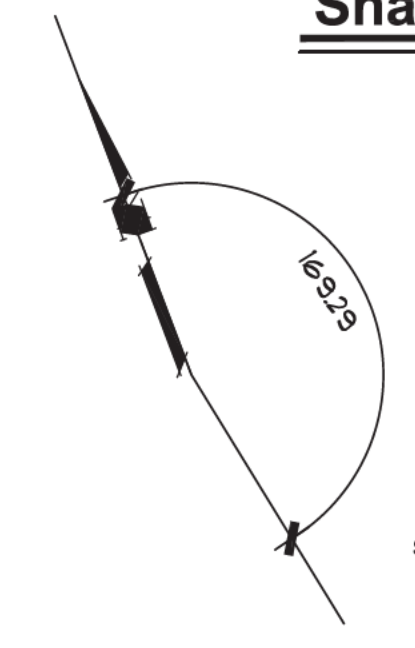
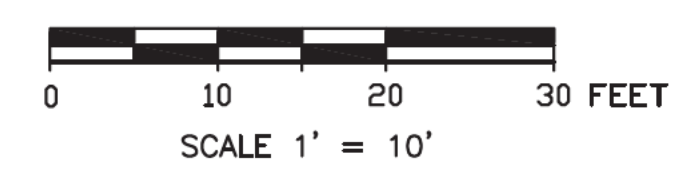
DRAWING TITLE	Shadow Study - June 21st @ 9:00 am
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1" = 10'
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG L.G.
SHEET	

SH1



Shadow Plan JUNE 21 @ 12:00 PM



LA RINCONADA DRIVE
(50' R / W)

CENTERLINE

NO./ DATE/ REVISION
▲ LOS GATOS ARCH. & SITE REVIEW 9-6-24
▲ LOS GATOS ARCH. & SITE REVIEW 12-15-24

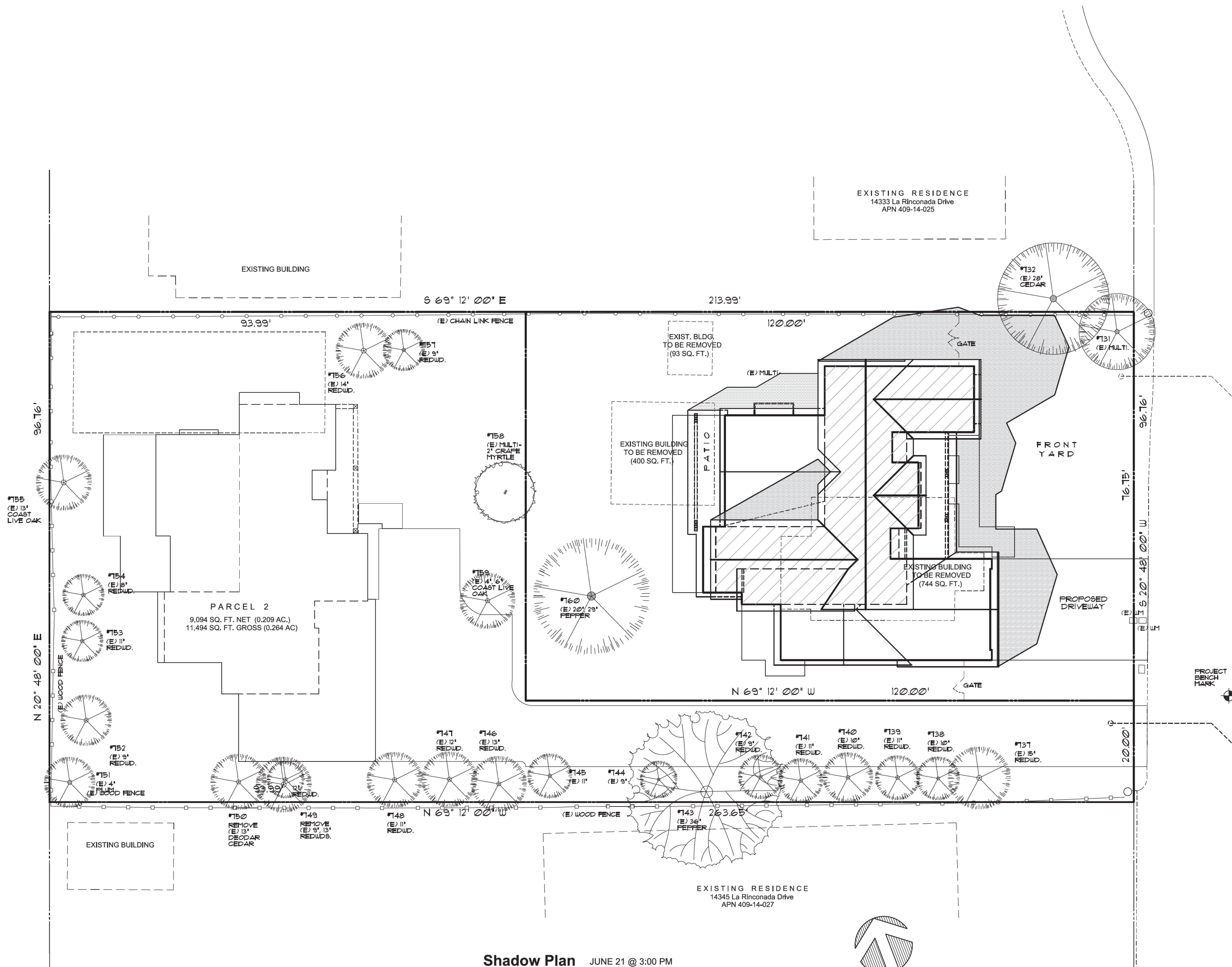
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS. THE INFORMATION ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS IMMEDIATELY UPON DISCOVERY OF ANY ERROR OR OMISSION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chinook Lane, San Jose, California 95123
(408) 972-8594

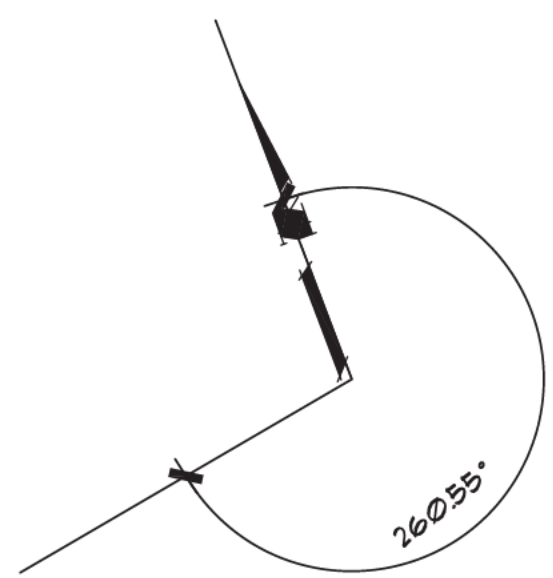
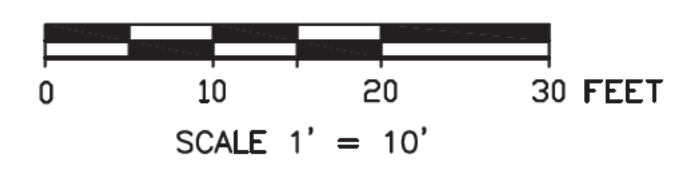
DRAWING TITLE	Shadow Study - June 21st @ 3:00 pm
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1" = 10'
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG L.G.
SHEET	

SH2



Shadow Plan JUNE 21 @ 3:00 PM



NO./DATE/ REVISION
LOS GATOS ARCH. 4 SITE REVIEW 3-6-24
LOS GATOS ARCH. 4 SITE REVIEW 10-15-24

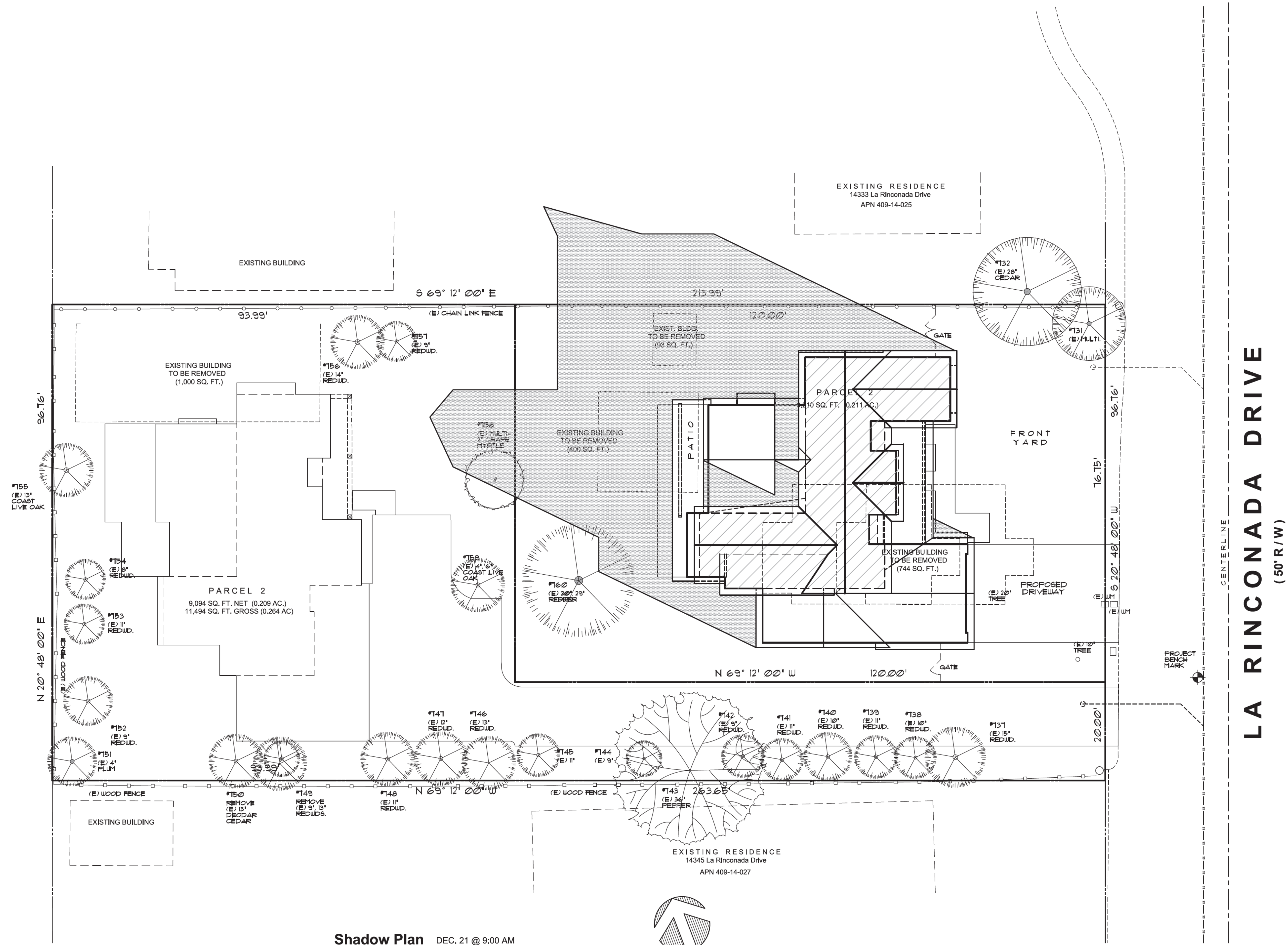
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THEY MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY CONSENT OF UNIQUE HOME DESIGNS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinoak Lane, San Jose, California 95123
 (408) 972-8594

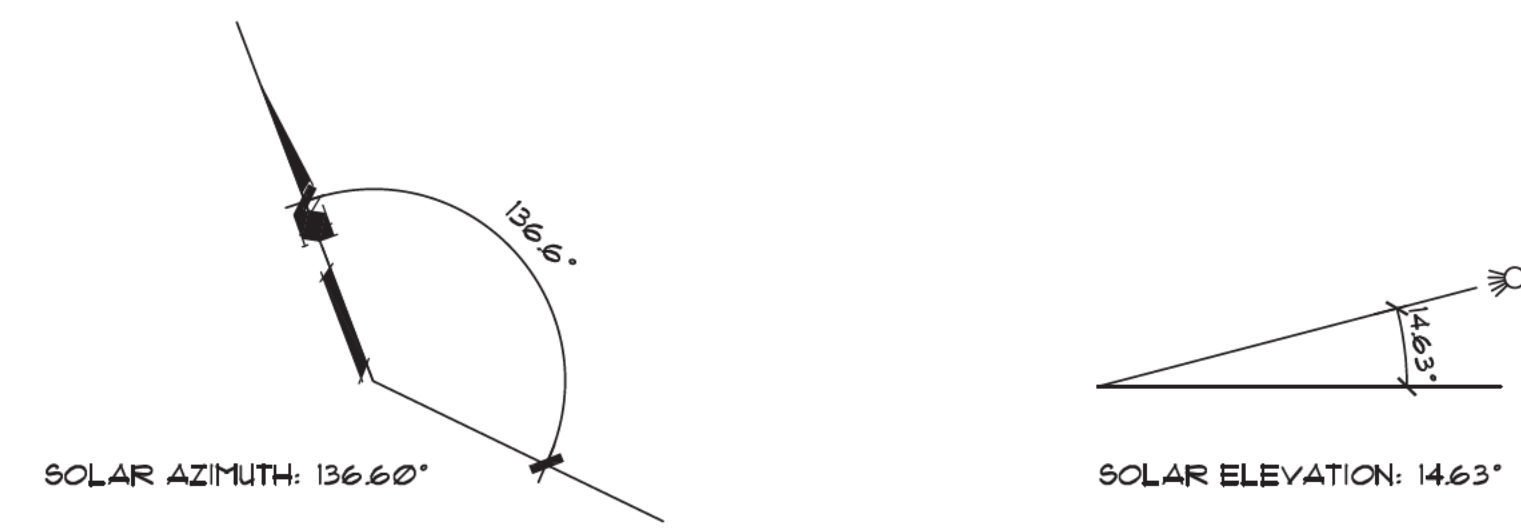
DRAWING TITLE: Shadow Study - June 21st @ 3:00 pm
 JOB TITLE: La Rinconada Drive Project
 JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

DATE: SEPT. 1, 2024
 SCALE: 1" = 10'
 PROJECT MANAGER: GREG ZIERMAN
 DRAWN: GZ
 JOB NO.: 2023-MGKG L.G.
 SHEET:

SH3



Shadow Plan DEC. 21 @ 9:00 AM



LA RINCONADA DRIVE
(50' R / W)

NO./ DATE/ REVISION
△ LOS GATOS ARCH. 4 SITE REVIEW 3-6-24
△ LOS GATOS ARCH. 4 SITE REVIEW 10-15-24

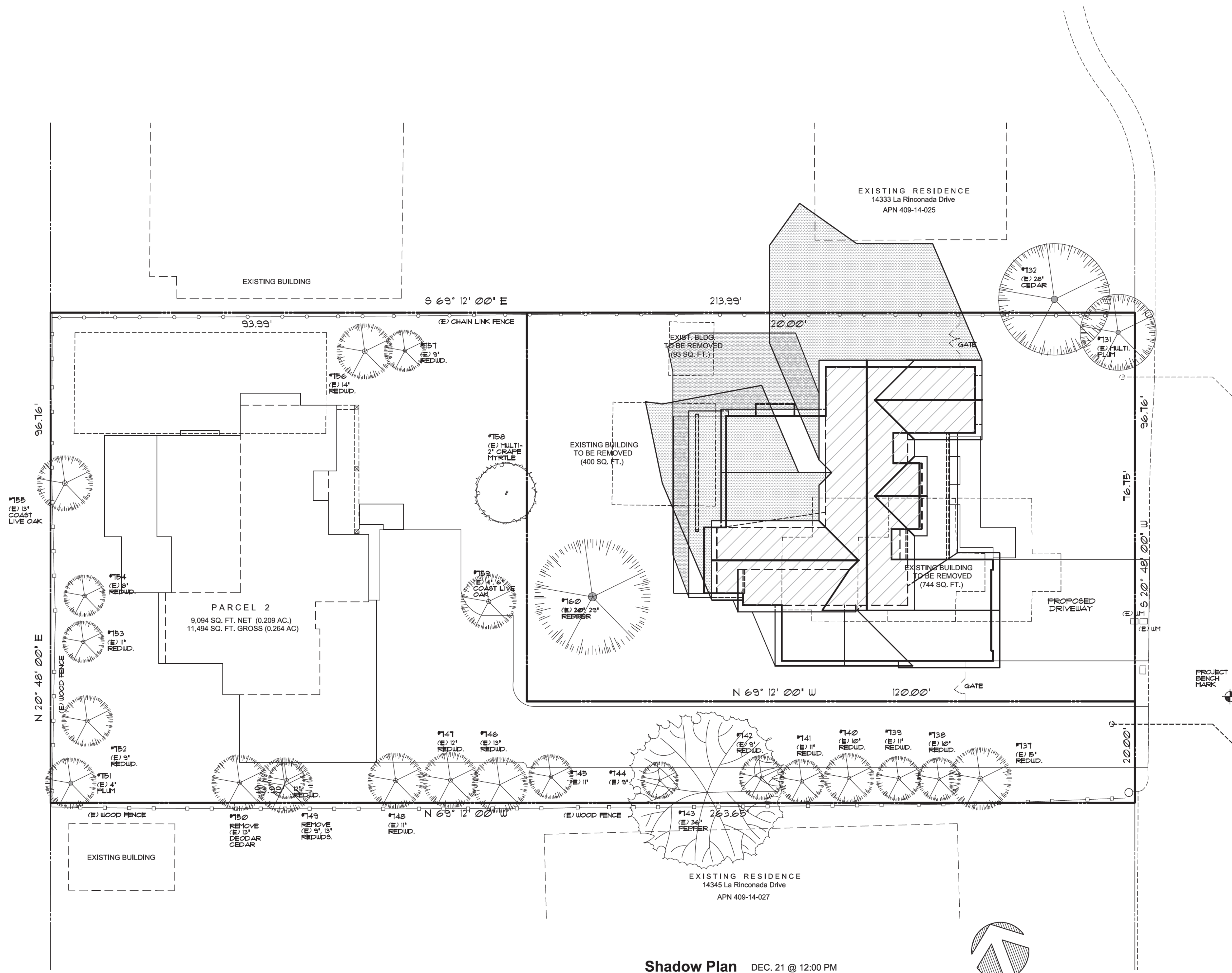
THESE PLANS ARE PREPARED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME. THE EXPRESSED OR IMPLIED WARRANTIES AND CONDITIONS OF ANY HOME DESIGNS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION, INCLUDING BUT NOT LIMITED TO THE DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinook Lane, San Jose, California 95123
 (408) 972-8594

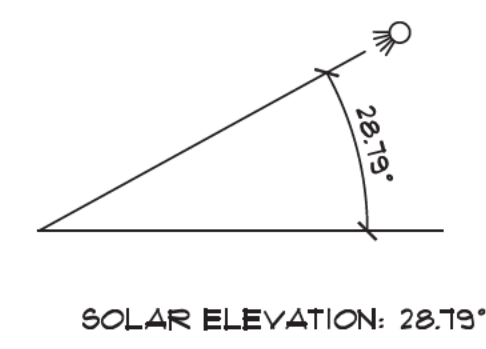
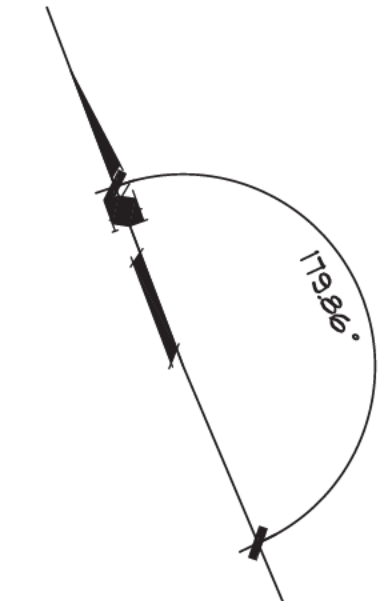
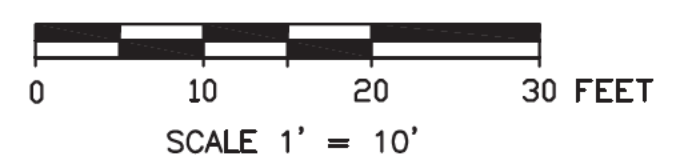
DRAWING TITLE Shadow Study - Dec. 21st @ 9:00 am
JOB TITLE La Rinconada Drive Project
JOB ADDRESS 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

DATE SEPT. 1, 2024
SCALE 1" = 10'
PROJECT MANAGER GREG ZIERMAN
DRAWN GZ
JOB NO. 2023-MGKG LG
SHEET

SH4



Shadow Plan DEC. 21 @ 12:00 PM



LA RINCONADA DRIVE
 (50' R/W)

NO./ DATE/ REVISION
LOS GATOS ARCH. 4 SITE REVIEW 9-6-24
LOS GATOS ARCH. 4 SITE REVIEW 10-15-24

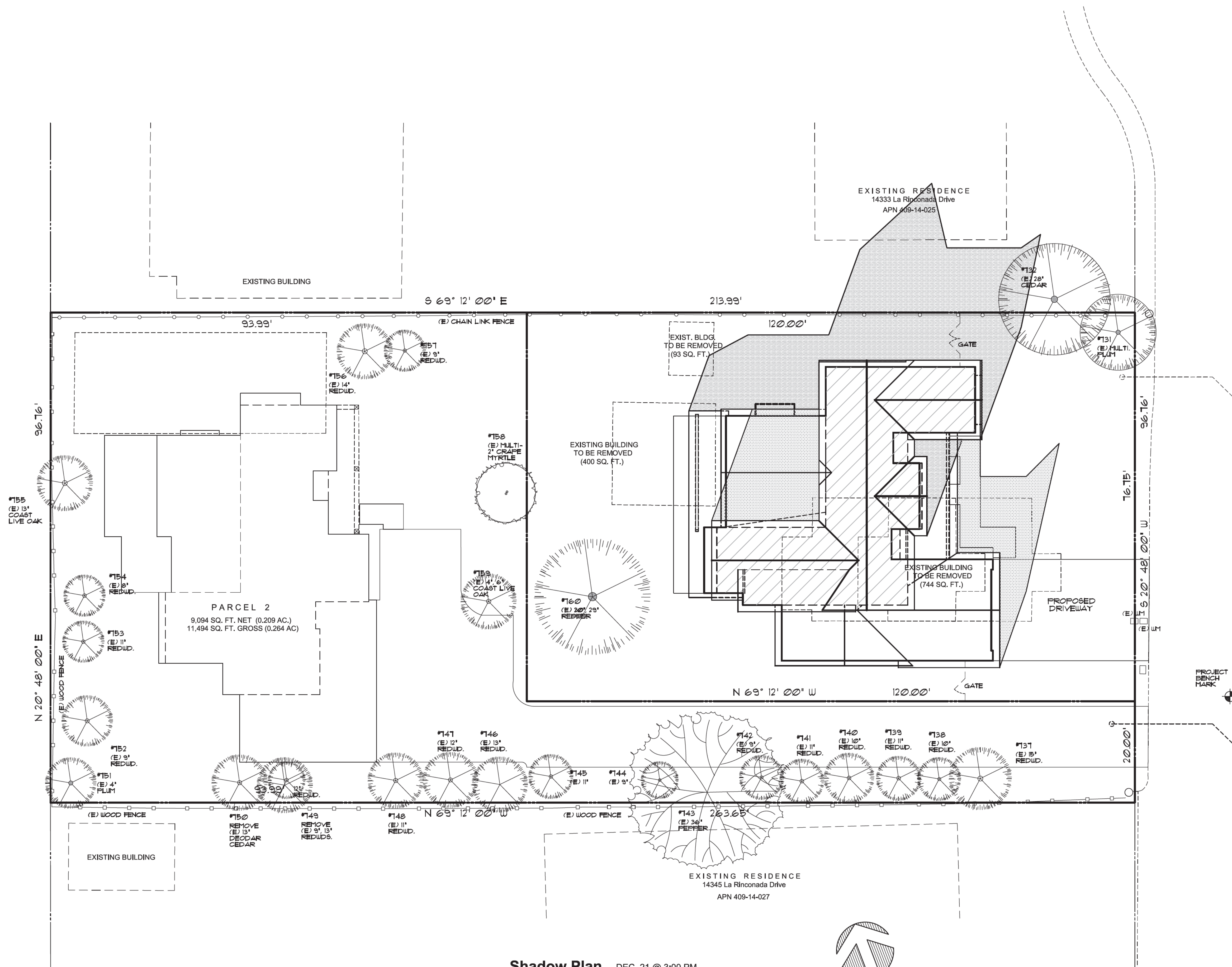
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY USE OF THESE PLANS FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED. THE DIMENSIONS OF THESE PLANS IS FOR INFORMATION ONLY. ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinook Lane, San Jose, California 95123
 (408) 972-8594

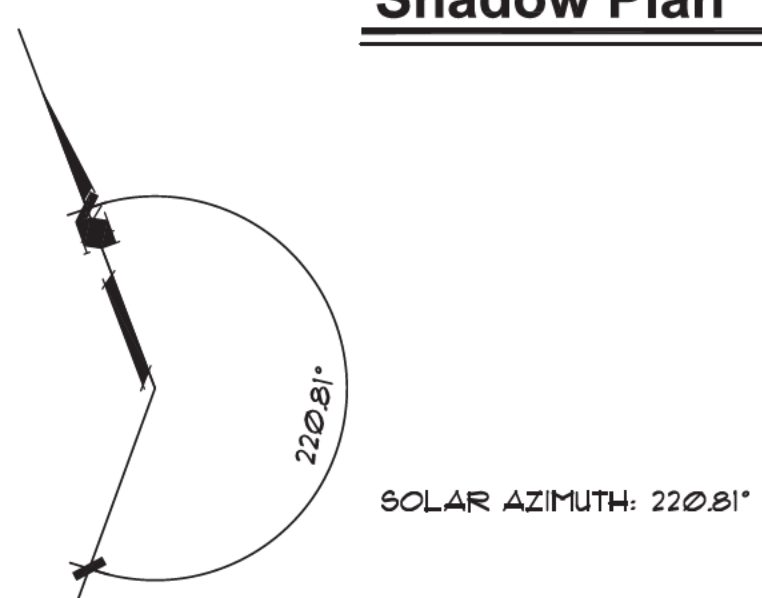
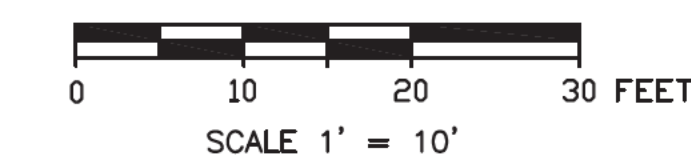
DRAWING TITLE	Shadow Study - Dec. 21st @ 3:00 pm
JOB TITLE	La Rinconada Drive Project
JOB ADDRESS	14335 La Rinconada Drive - Parcel 1 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1" = 10'
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG L.G.
SHEET	

SH5



Shadow Plan DEC. 21 @ 3:00 PM



NO./ DATE/ REVISION
LOS GATOS ARCH. 4 SITE REVIEW 9-6-24
LOS GATOS ARCH. 4 SITE REVIEW 10-15-24

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS. ANY USE OF THESE PLANS FOR ANY OTHER PROJECT OR IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF UNIQUE HOME DESIGNS IS PROHIBITED. ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF UNIQUE HOME DESIGNS. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

UNIQUE HOME DESIGNS
 Land Planning and Residential Design
 499 Chinook Lane, San Jose, California 95123
 (408) 972-8594

DRAWING TITLE: Shadow Study - Dec. 21st @ 3:00 pm
 JOB TITLE: La Rinconada Drive Project
 JOB ADDRESS: 14335 La Rinconada Drive - Parcel 1
 Los Gatos, California

DATE	SEPT. 1, 2024
SCALE	1" = 10'
PROJECT MANAGER	GREG ZIERMAN
DRAWN	GZ
JOB NO.	2023-MGKG L.G.
SHEET	

SH6

*This Page
Intentionally
Left Blank*