

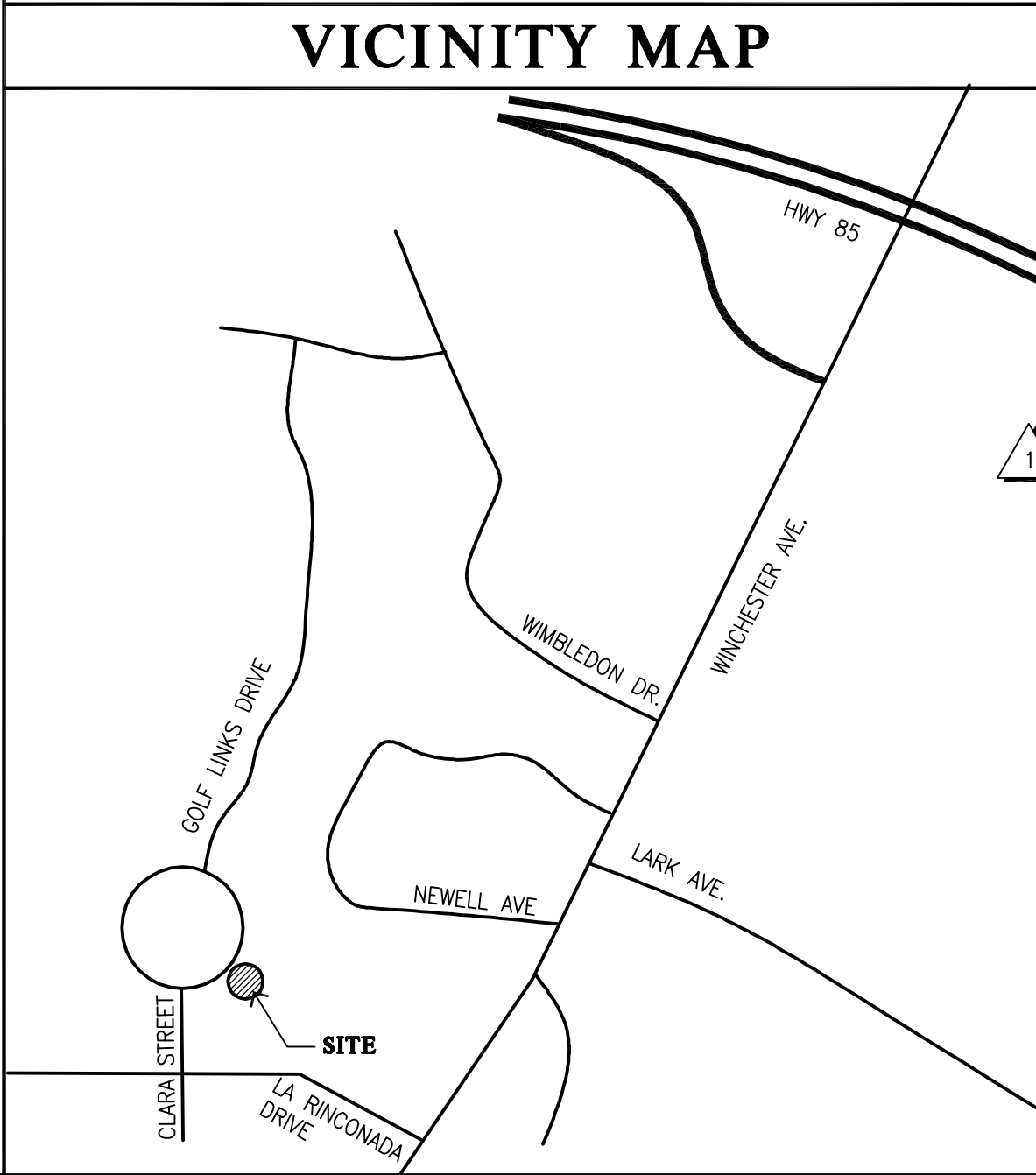
PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT

DESIGN FOR LIVING

P:\22202-Rao-John\4-Drawings\CAD\A0-0-Title Sheet.dwg - 10.18.2022 - 5:34pm

ABBREVIATIONS			
& L ∠ ⊙ ⋈ ⊥ # (E)	And Angle At Centerline Diameter or Round Pound or Number Existing	LAB. LAM. LAV. LKR. LT.	Laboratory Laminate Lavatory Locker Light
ACOUS. A.D. ADJ. AGGR. AL. APPROX. ARCH. ASPH.	Acoustical Area Drain Adjustable Aggregate Aluminum Approximate Architectural Asphalt	MAX. M.C. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.O. MTD. MUL.	Maximum Medicine Cabinet Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mullion
BD. BITUM. BLDG. BLK. BLKG. BM. BOT.	Board Bituminous Building Block Blocking Beam Bottom	N. N.I.C. NO. or # NOM. N.T.S.	North Not In Contract Number Nominal Not To Scale
CAB. C.B. CEM. CER. C.I. CLG. CLO. CLR. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. CTR.	Cabinet Catch Basin Cement Ceramic Cust. Iron Ceiling Closet Clear Column Concrete Connection Construction Continuous Corridor Countersunk Counter Center	OA. OBS. O.C. O.D. OFF. OPNG. OPP.	Overall Obscure On Center Outside Diameter (Dim.) Office Opening Opposite
DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	Double Department Drinking Fountain Detail Diameter Dimension Dispenser Down Door Opening Door Drawer Downspout Dry Standpipe Drawing	PRCST. PL. P. LAM. PLAS. PLYWD. PR. PT. P.T.D. P.T.D./R	Pre-cast Plate Plastic Laminate Plaster Plywood Pair Point Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Paper Towel Receptacle
E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.W.C. EXST. EXPO. EXT.	East Each Expansion Joint Elevation Electrical Elevator Emergency Enclosure Electrical Panelboard Equal Equipment Electric Water Cooler Existing Exposed Expansion Exterior	PTN. P.T.R. Q.T. R. RAD. R.D. REF. REFR. RGTR. REINF. REQ. RESIL. RM. R.O. RWD. R.W.L.	Quarry Tile Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient Room Rough Opening Redwood Rain Water Leader
F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FRRF. F.S. FT. FTG. FURR. FUT.	Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cabinet Fire Hose Cabinet Finish Floor Flashing Fluorescent Face of Concrete Face of Finish Face of Studs Fireproof Full Size Foot or Feet Footing Furring Future	S. S.C. S.C.D. SCHED. S.D. S.F. SECT. SH. SHR. SHT. SIM. S.N.D. S.N.R. SPEC. SQ. SST. S.SK. STA. STD. STL. STOR. STRUCT. SUSP. SYM.	South Solid Core Seat Cover Dispenser Schedule Soap Dispenser Square Feet Section Shelf Shower Sheet Similar Sanitary Napkin Dispenser Sanitary Napkin Receptacle Specification Square Stainless Steel Service Sink Station Standard Steel Storage Structural or Structure Suspended Symmetrical
GA. GALV. G.B. GL. GND. GR. GYP.	Gauge Galvanized Grab Bar Glass Ground Grade Gypsum	TRD. T.B. T.C. TEL. TER. T.&G. THK. T.P. T.P.D. T.V. T.W. TYP.	Tread Towel Bar Top of Curb Telephone Terrazzo Tongue and Groove Thick Top of Pavement Toilet Paper Dispenser Television Top of Wall Typical
H.B. H.C. HOWD. HOWE. HORIZ. HR. HGT.	Hose Bibb Hollow Core Hardwood Hardware Horizontal Hour Height	UNF. U.O.N. UR. VERT. VEST.	Unfinished Unless Otherwise Noted Urinal Vertical Vestibule
ID. INSUL. INT.	Inside Diameter (Dim.) Insulation Interior	W. W/ W.C. WD. W/O WP. WSCT. WT.	West With Water Closet Wood Without Waterproof Wainscot Weight
JAN. JT.	Janitor Joint		
KIT.	Kitchen		

LEGEND			
	NORTH ARROW		DOOR REFERENCE
	WINDOW REFERENCE		LOUVER REFERENCE
	COLUMN OR GRID LINE		CEILING HEIGHTS
	BUILDING SECTION		REVISION REFERENCE
	WALL SECTION		WORK, CONTROL, OR DATUM POINT
	EXTERIOR ELEVATION		MATCH LINE
	SECTION DETAIL		CENTER LINE
	PLAN DETAIL		PROPERTY LINE
	INTERIOR ELEVATION, MULTIPLE VIEWS		
	INTERIOR ELEVATION, SINGLE VIEW		
	ROOM IDENTIFICATION		
	KEY NOTE		



RAO-JOHN RESIDENCE			
14876 CLARA STREET			
LOS GATOS, CA 95032			
APN: 409-25-027			
PROJECT DIRECTORY		SHEET INDEX	PROJECT DESCRIPTION
OWNER JACOB JOHN & KAVITHA RAO 14876 CLARA STREET LOS GATOS, CA 95032 ARCHITECT LOUIE LEU ARCHITECT, INC. 236 N. SANTA CRUZ AVE. SUITE 210 LOS GATOS, CA 95030 (408) 399-2222 louie@louieleuarch.com		ARCHITECTURAL A0.0 TITLE SHEET A1.1 SITE PLAN A1.2 SHADOW STUDY AND STREETSCAPE A2.0 DEMOLITION PLAN A2.1 LOWER LEVEL FLOOR PLAN A2.2 UPPER LEVEL FLOOR PLAN A2.3 FLOOR AREA CALCULATIONS A3.1 BUILDING SECTIONS A4.1 ELEVATIONS A4.2 ELEVATIONS A4.3 ELEVATIONS A4.4 ELEVATIONS A5.1 ROOF PLAN CIVIL 1 BOUNDARY & TOPOGRAPHIC SURVEY	THE PROJECT IS AN SECOND STORY ADDITION, AND REMODEL OF AN EXISTING 1 STORY HOUSE AT 14876 CLARA STREET. THE EXTENT OF PERIMETER WALLS PROPOSED TO BE REMOVED IS 17 LINEAR FEET. SEE A1.0 DEMOLITION PLAN. THE 17' PROPOSED PERIMETER WALL REMOVAL IS LESS THAN 50% OF THE TOTAL 308 LINEAR FEET OF EXISTING PERIMETER WALLS. .50 X 308' = 154 LINEAR FT. NO SITE WORK OR LANDSCAPING IS PROPOSED. PROJECT DATA ASSESSORS PARCEL NUMBER409-25-027 ADDRESS14876 CLARA STREET LOS GATOS, CA 95032 OWNERJACOB JOHN AND KAVITHA RAO EXISTING USERESIDENCE ZONINGR-1-12 CONSTRUCTION TYPE, NON-SPRINKLEREDV-B TOTAL SITE AREA =20,234 SF GROSS / NET ZONING COMPLIANCE 1 FLOOR AREA RATIO (FAR): HOUSE: .35 - ((20.2 - 5) X .20) = .35 FAR 25 .35 FAR X 20,234 SF = 4,616 SF 1ST STORY (INCLUDING SHED) 2ND STORY TOTAL GARAGE: .10 - ((20.2 - 5) X .07) = . FAR 25 .057 FAR X 20,234 SF = 1,160 SF EXISTING TOTAL PROPOSED ALLOWED 2,045 SQ. FT. 0 SQ. FT. 2,206 SQ. FT. 1,243 SQ. FT. 2,045 SQ. FT. 3,449 SQ. FT. 4,616 SQ. FT. 565 SQ. FT. 565 SQ. FT. 1,160 SQ. FT. TOTAL FLOOR AREA: 2,545 SQ. FT. 4,014 SQ. FT. 5,776 SQ. FT. SETBACKS: FRONT REAR RIGHT SIDE LEFT SIDE 25 FEET 20 FEET 10 FEET 10 FEET 25 FEET 20 FEET 10 FEET 10 FEET 25 FEET 20 FEET 10 FEET 10 FEET HEIGHT: 13.5 FEET 24.0 FEET 30 FEET BUILDING COVERAGE: .40 X 20,234 S.F. = 8,094 S.F. BUILDING: HOUSE + SHED + COV. PORCH (PAVEMENT: DRIVEWAY, WALKS, DECK) 3,067 SQ. FT. 3,935 SQ. FT. 3,304 SQ. FT. 3,957 SQ. FT. 8,094 SQ. FT. TOTAL BLDG COVERAGE: 7,002 SQ. FT. 7,261 SQ. FT. 8,094 SQ. FT.
GENERAL NOTES			
BUILDING CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24-CALIFORNIA CODE OF REGULATIONS, PART 1, SECTION 10-103(b)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION CGBSC SECTION 4.408.5 CAL GREEN ENVIRONMENTAL QUALITY REQUIREMENTS: A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATING, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR CGBSC SECTION 4.504.2.4 B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY WONER/BUILDER PROJECT) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATING, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504 CGBSC SECTION 4.408.5			
SEPARATE PERMITS			
FIRE SPRINKLER NOTES: FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD. SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO SUBMITTAL TO THE LOCAL FIRE JURISDICTION OR BUILDING DEPARTMENT FOR THEIR REVIEW AND APPROVAL AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN ALLOWABLE FIRE-FLOW APPENDIX TABLE B105.1, OR ADDITIONS EXCEEDING FIFTY (50) PERCENT OF THE EXISTING LIVING AREA. (EXISTING SQ. FT. CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT) AND/OR ADDITIONS EXCEEDING 750 SQ. FT. WHEN AUTOMATIC FIRE SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. SEE MUNICIPAL CODE SECTION R313.2 THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUANCE DATE OF PAST ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE ALL FIRE SPRINKLER PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION & APPROPRIATE FEES SHALL BE SUBMITTED DIRECTLY TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A CALIFORNIA STATE LICENSED C-16 FIRE PROTECTION CONTRACTOR PER CRC SEC. 313.2 AS ADOPTED & AMENDED BY LAMC THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. THE CALIFORNIA WATER SERVICE REQUIRES DOUBLE CHECK VALVES INSTALLED ON BUILDINGS EQUIPPED WITH FIRE SPRINKLERS			
		APPLICABLE CODES	
		2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA REFERENCE STANDARDS CODE (CRSC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA MECHANICAL CODES (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC) 2019 CALIFORNIA RESIDENTIAL CODE (CRC) 2019 CALIFORNIA GREEN BUILDING STDS. CODE (CA GREEN) MANDATORY MEASURES ONLY	

LOUIE LEU ARCHITECT INC.

LOUIE LEU ARCHITECT INC. No. C15688 31 MAY 2023 RENEWAL DATE STATE OF CALIFORNIA

Project No: 22202

Scale: As Noted

RAO - JOHN RESIDENCE

14876 CLARA STREET, LOS GATOS, CA 95032

TITLE SHEET, PROJECT DATA

Date/Revisions:
09-16-22 PLANNING COMMENTS
10-18-22 PLANNING COMMENTS

Sheet No:

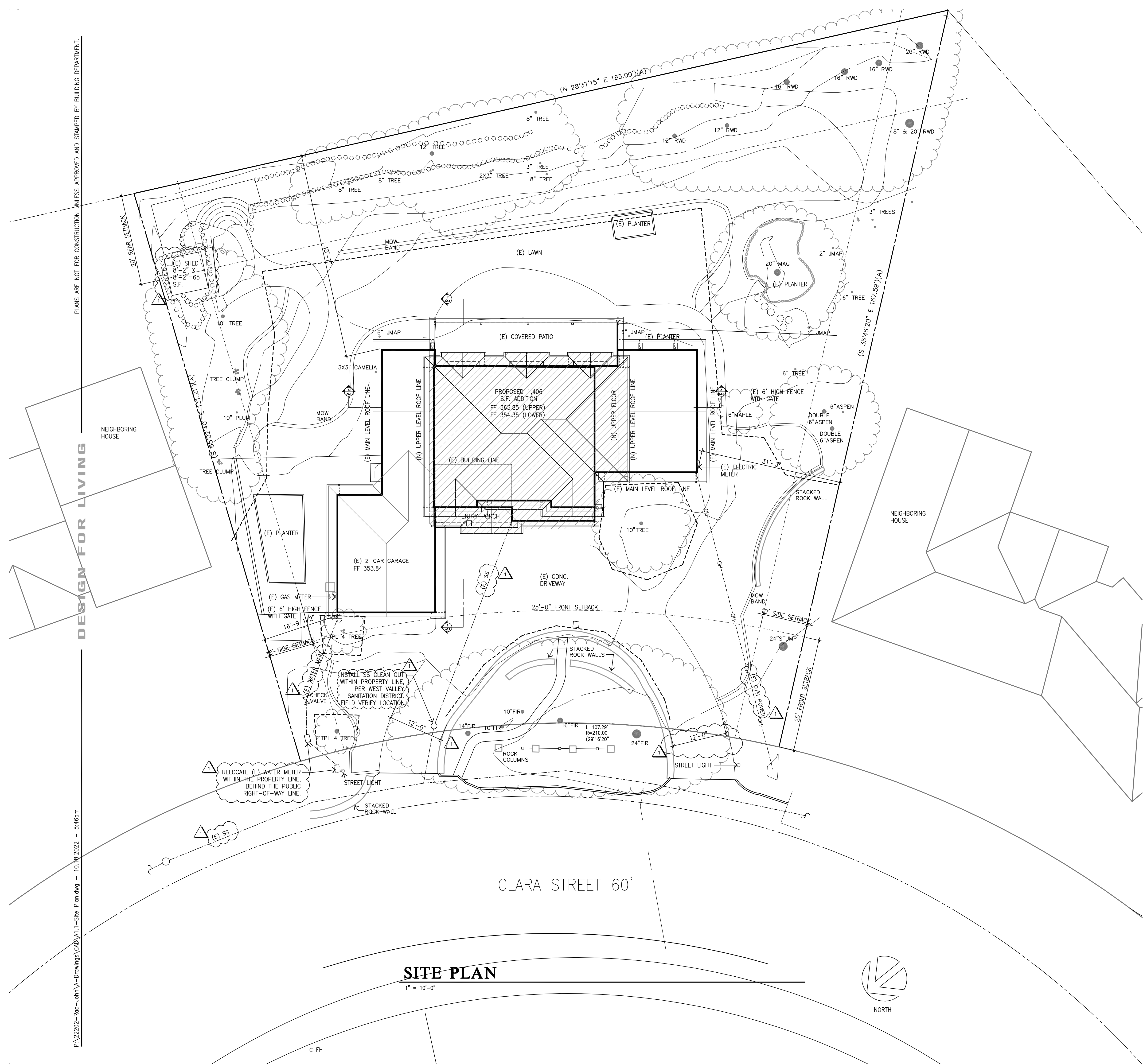
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EXHIBIT 10

236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

SIGNATURE DATE:



GENERAL SITE PLAN NOTES

- A. PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE RCE OR LLS OF RECORD SHALL PROVIDE WRITTEN CERTIFICATION THAT ALL THE BUILDING SETBACKS & PAD ELEVATIONS ARE AS PER APPROVED PLANS.
- B. TREE PROTECTIVE FENCING , WHERE SHOWN, SHALL BE INSTALLED & INSPECTED BY LOCAL JURISDICTION AND SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- C. NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIP LINE OF ANY ORDINANCE PROTECTED TREES ON THE SITE.
- D. PROVIDE SEWAGE BACKFLOW DEVICE/CHECK VALVE PER SANITATION DISTRICT REQUIREMENTS.
- E. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- F. GAS SUPPLY LINE SHALL HAVE A MIN. CAPACITY OF AT LEAST 200,000 BTU/HR. FOR THE TANKLESS WATER HEATER DESIGN GAS INPUT PER CEC SECTION 150.0(n), UPGRADE GAS METER IF REQUIRED, PER UTILITY COMPANY
- G. ALL TREE PROTECTION MEASURES WILL MEET THE REQUIREMENTS OF SECTION 29.10.1005. TYPE 1 FENCING SHALL BE SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOUSHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE. A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH TREE FENCE ON AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."
- H. ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND. EXISTING ELECTRIC POWER SHALL BE UNDERGROUND.
- I. ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.

DRAINAGE NOTES

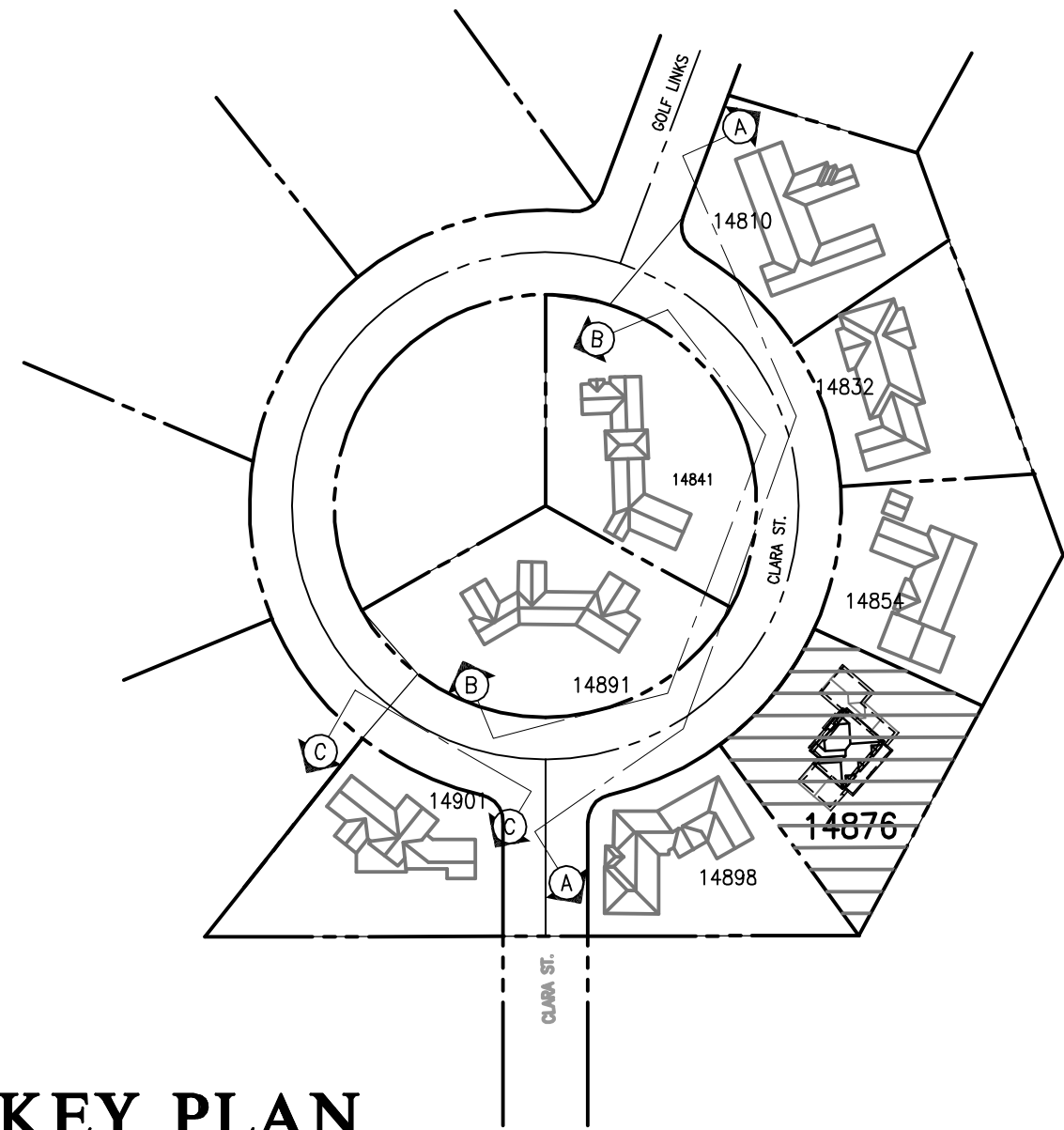
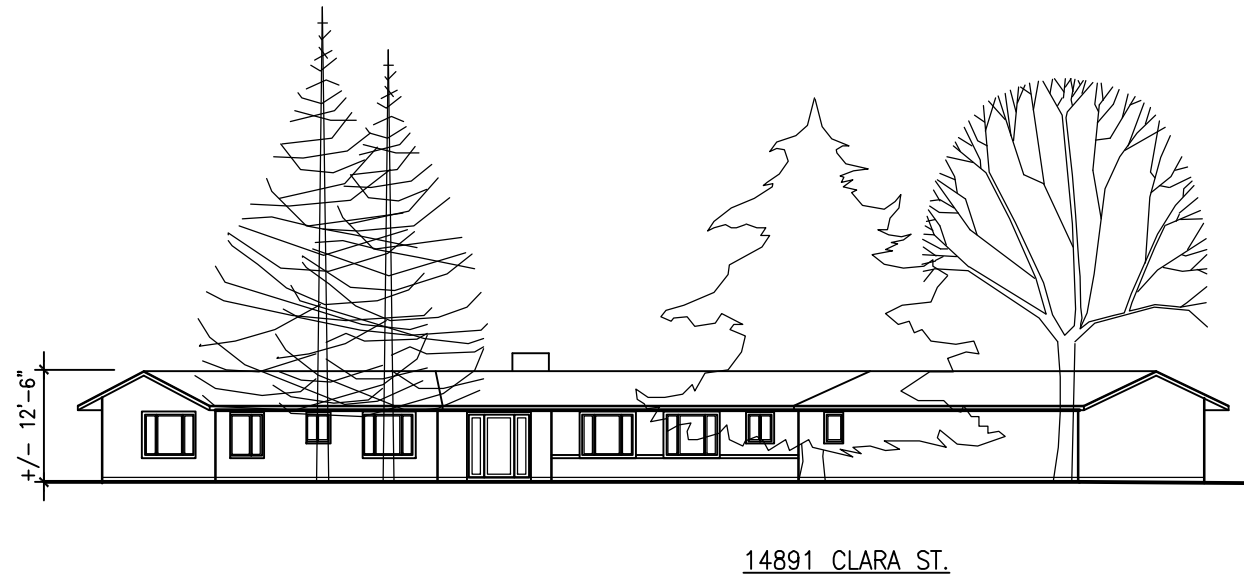
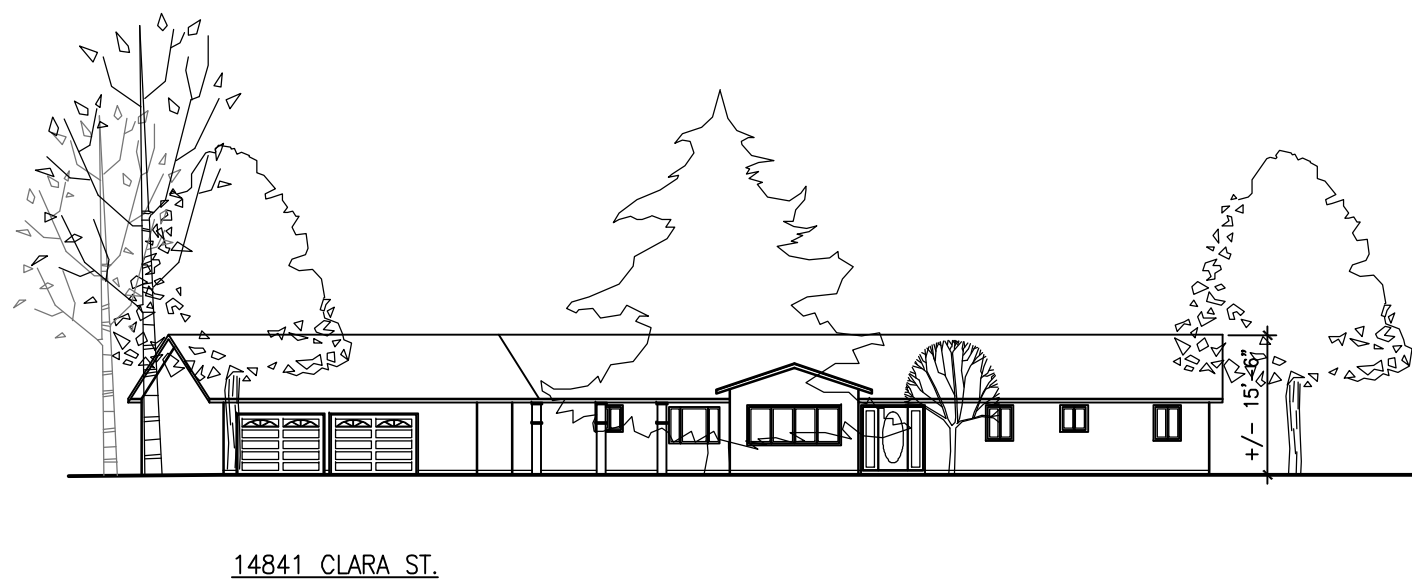
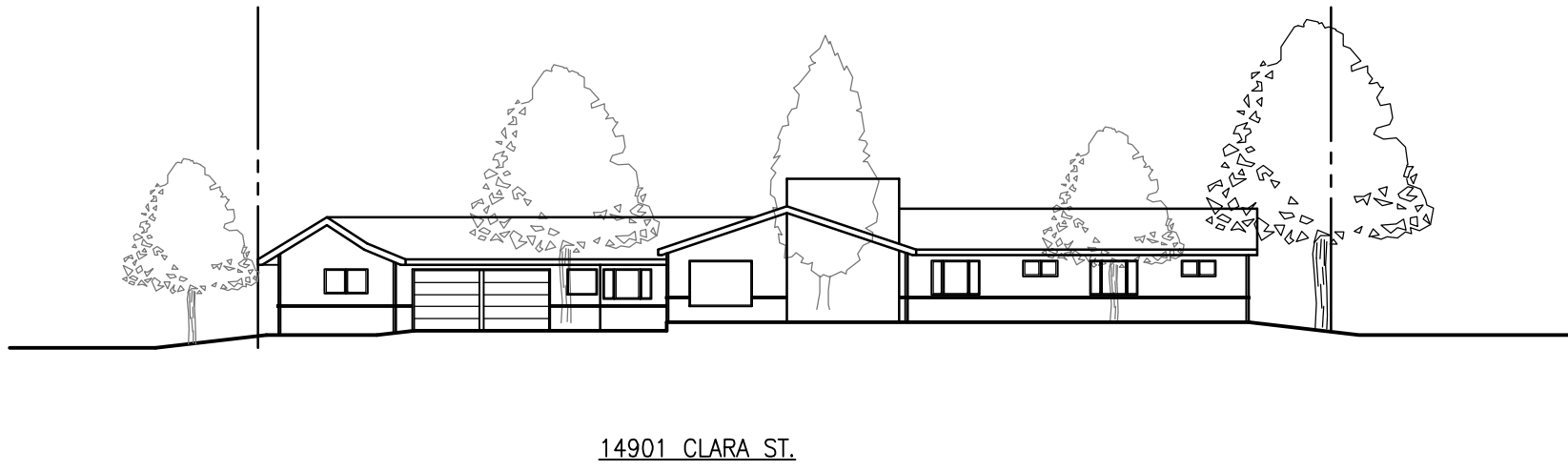
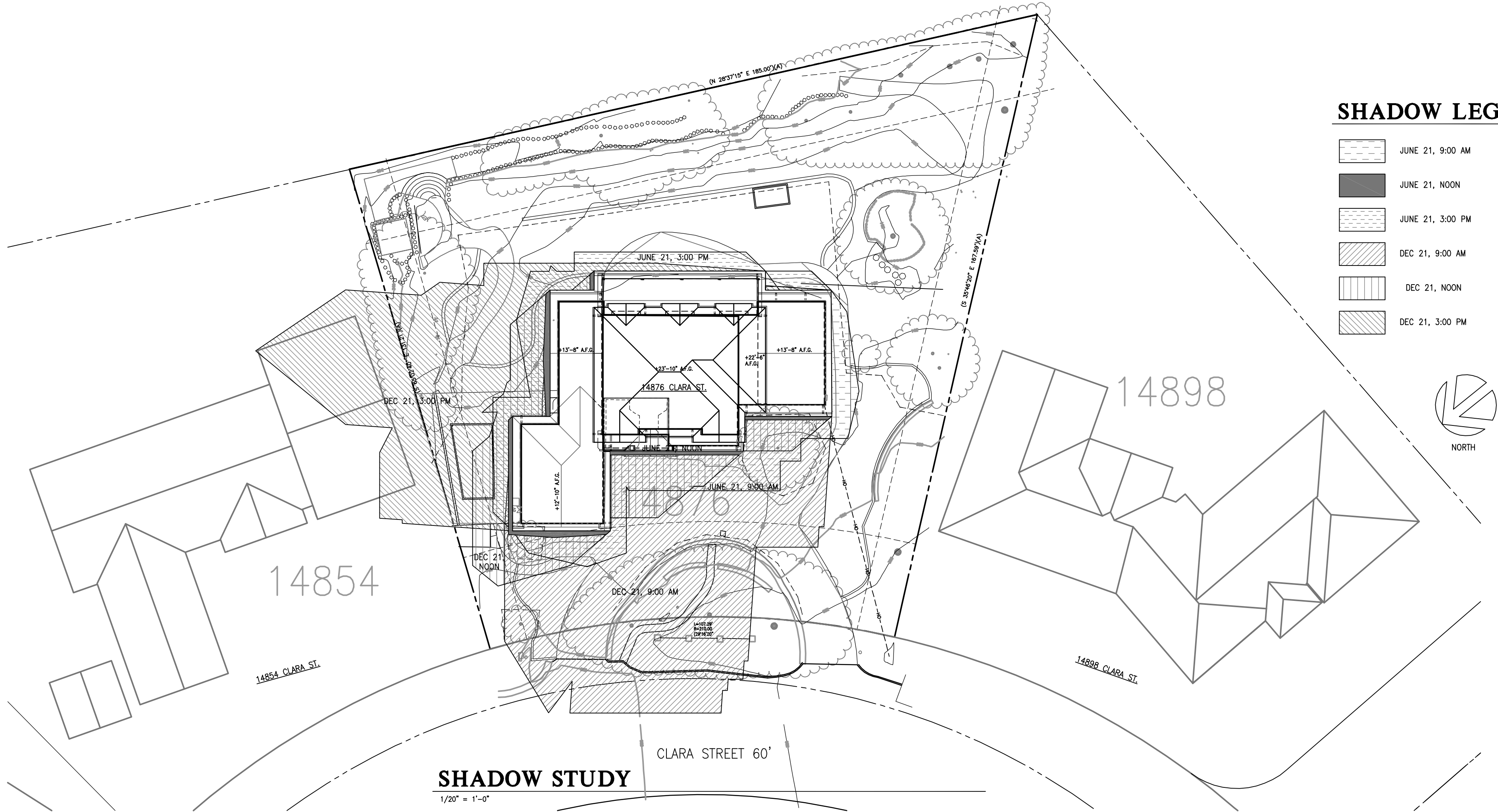
- A. ALL WORK PROPOSED IN THE PUBLIC RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT.
- B. PROVIDE ADEQUATE PERIMETER EROSION & SEDIMENTATION CONTROL MEASURES ALONG THE PROPERTY LINE
- C. ANY CATCH BASINS LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED DURING CONSTRUCTION
- D. ALL (E) CATCH BASIN AND AREA DRAINS ON SITE SHALL HAVE SEDIMENT CONTROL MEASURES
- E. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO ENERGY DISSIPATORS (SPASH BLOCKS), WHICH ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPED AREAS AS SHEET FLOW. RUNOFF FROM THE SITE SHALL NOT BE COLLECTED INTO A PIPE SYSTEM, CONCENTRATED, AND DISCHARGED DOWN SLOPE.

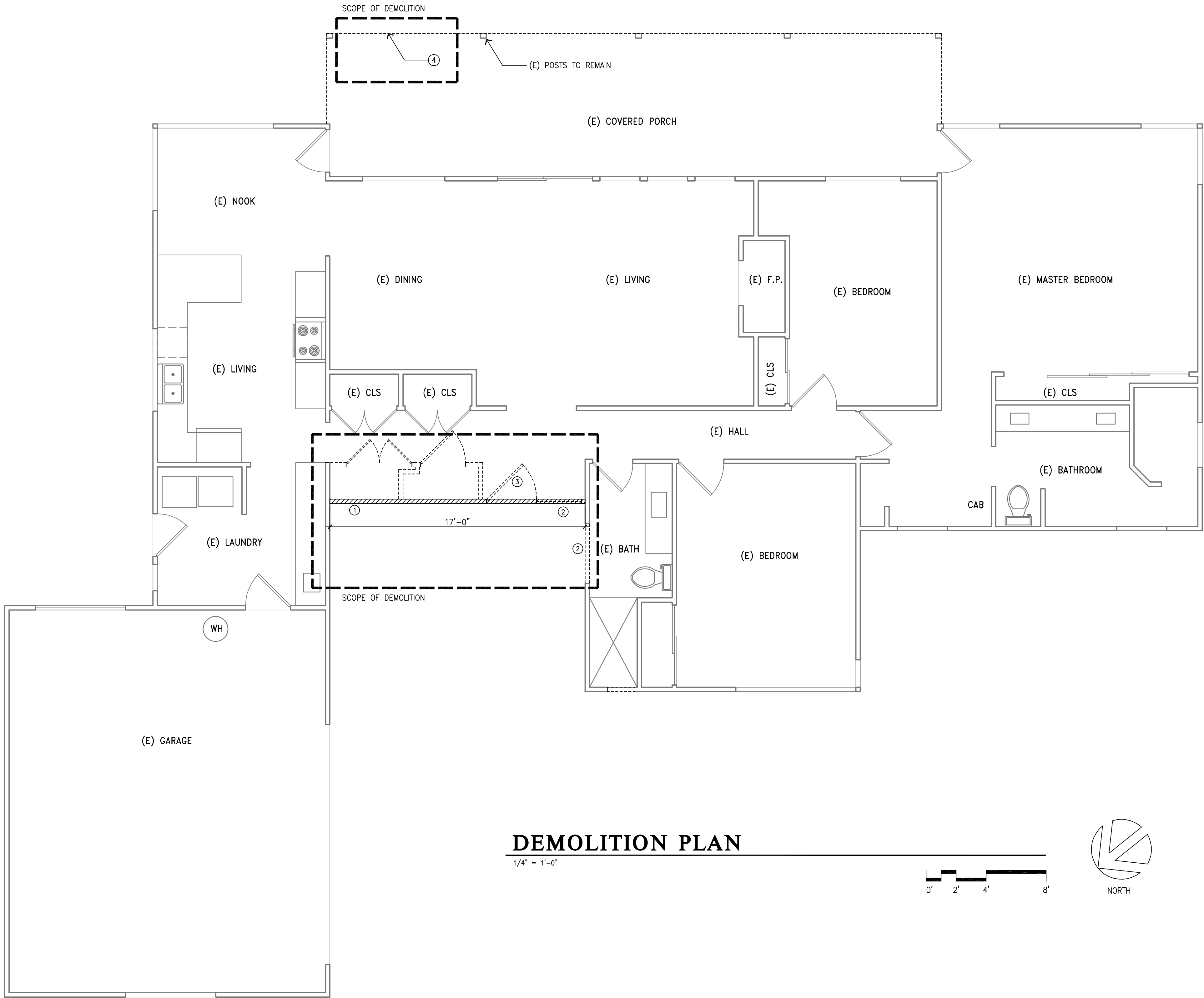
LEGEND - SITE

- TREE PROTECTIVE FENCING
- SPLASH BLOCK AT DOWNSPOUT LOCATION

GRADING

NO NEW GRADING IS PROPOSED. BUILDING PAD FOR ADDITION IS EXISTING





KEY NOTES

- ① REMOVE (E) WALL AS INDICATED BY DASHED LINES.
- ② REMOVE (E) WINDOW AS INDICATED BY DASHED LINES.
- ③ REMOVE (E) DOOR AS INDICATED BY DASHED LINES.
- ④ REMOVE (E) PORCH ROOF

LEGEND

- (E) EXTERIOR WALL TO REMAIN
- (E) EXTERIOR WALL TO BE REMOVED
- (E) INTERIOR WALL TO BE REMOVED
- (E) WINDOW TO BE REMOVED
- (E) DOOR TO BE REMOVED

RAO - JOHN RESIDENCE

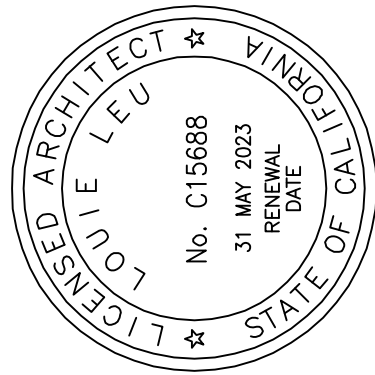
114876 CLARA STREET, LOS GATOS, CA 95032

DEMOLITION PLAN

Date/Revisions:
09-16-22 PLANNING COMMENTS

Sheet No:

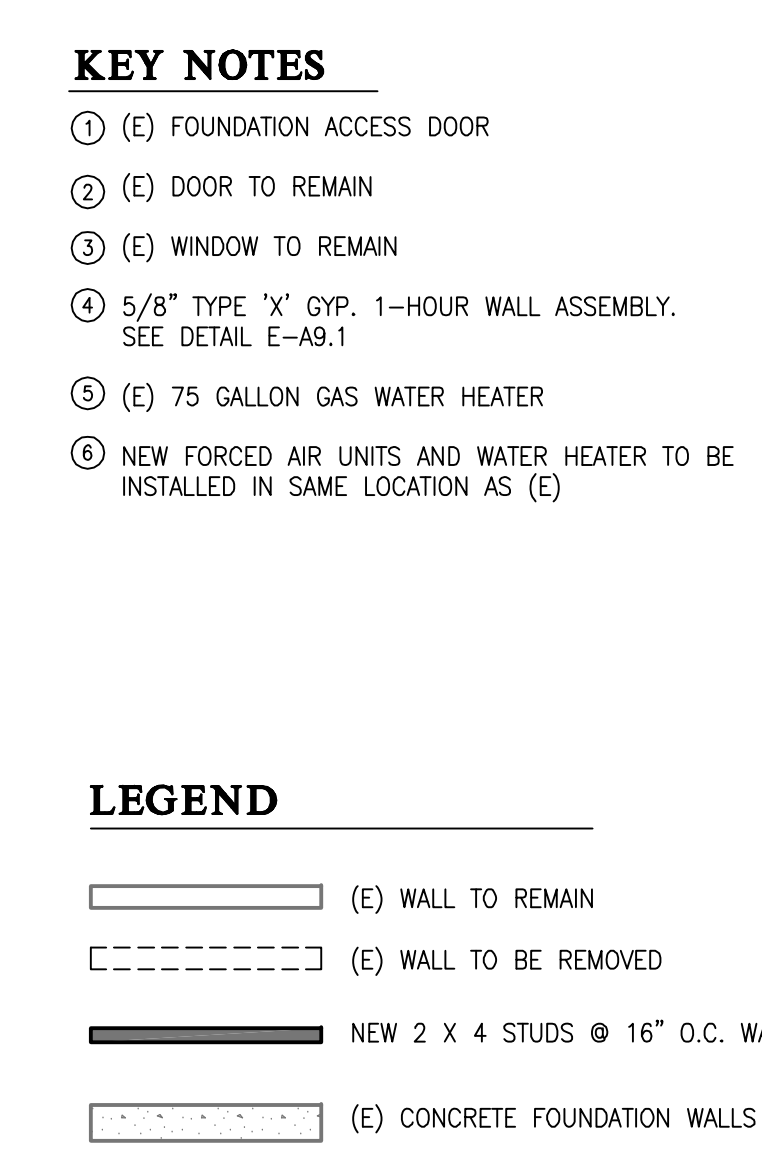
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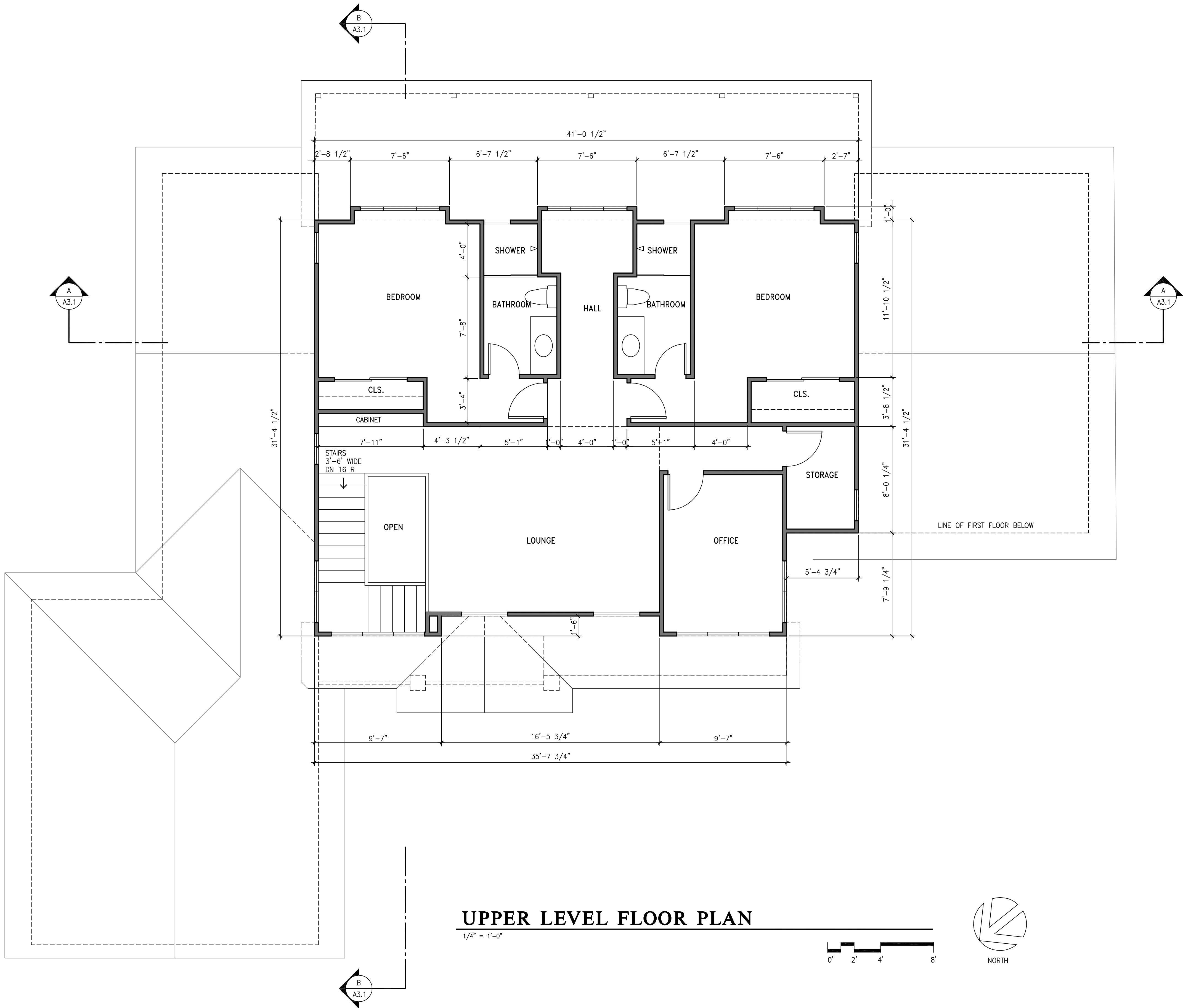


SIGNATURE DATE:

LOUIE LEU ARCHITECT INC.

236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com





GENERAL NOTES

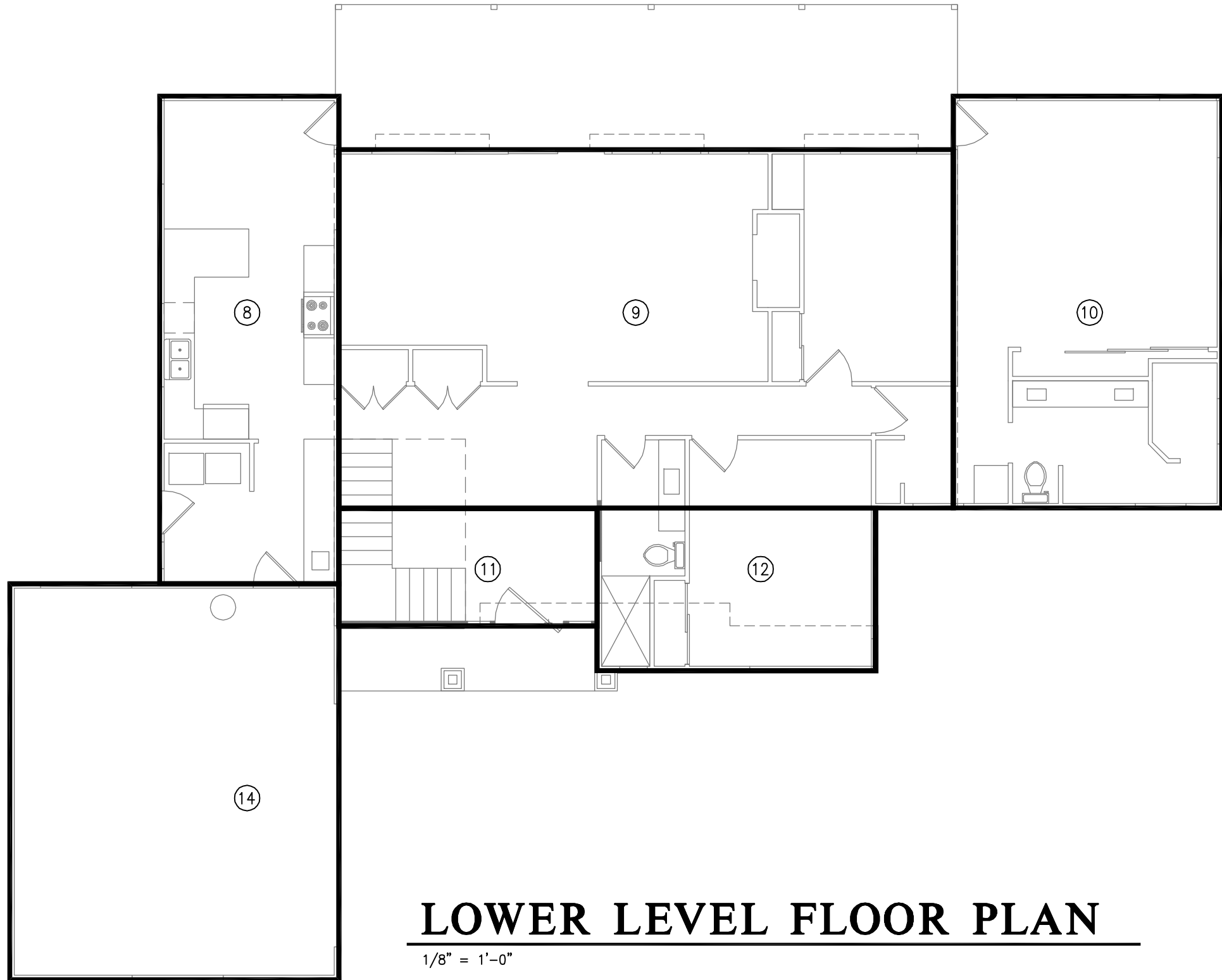
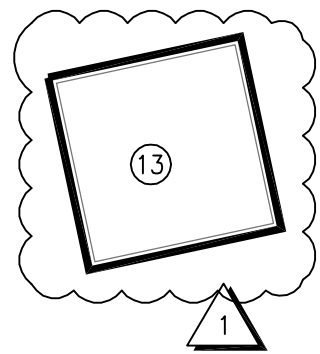
- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36". THE LANDING SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD. THRESHOLDS SHALL NOT EXCEED .5" MAX. DOWN FOR OUTWARD SWINGING DOORS, .75" FOR SLIDERS, AND 7.75" MAX. FOR INWARD SWING DOORS PER CBC SECTION 1010.
- B. PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE @ SHOWERS & TUBS/SHOWER COMBINATION
- C. PROVIDE SMOOTH, HARD, NON-ABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) FULL HEIGHT (72" MIN.) AT SHOWER & TUB-SHOWER WALLS
- D. SEE TITLE 24 FOR INSULATION REQUIREMENTS
- E. SEE CAL GREEN NOTES FOR RESIDENTIAL MANDATORY REQUIREMENTS
- F. COMBINED FLOW RATE OF BOTH SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME
- G. 5/8" GYP. BOARD TYP. ON ALL INTERIOR WALLS. 5/8" TYPE "X" GYP. BD. ON CEILINGS AND SUPPORTING MEMBERS WHERE LIVING AREAS ARE ABOVE OR CEILINGS ARE USED FOR SEPARATION. LEVEL 5 SMOOTH FINISH EXCEPT LEVEL 4 @ GARAGE & UTILITY ROOMS
- H. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE/RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 24" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR, PER CRC R310.1. ALL EGRESS WINDOWS WITH DUAL LATCHES SHALL BE INTERCONNECTED AND THE LATCHES UNLOCKED BY A SINGLE MOTION FROM THE LOWEST OPENING AND CLOSING DEVICE.
- J. ALL WINDOWS TO BE DOUBLE GLAZED, TEMPERED GLASS PER WILDLIFE URBAN INTERFACE REQUIREMENTS. SEE WUI NOTES 4/A0.0.
- K. EXISTING DIMENSIONS ARE APPROXIMATE BASED ON THE DRAWINGS PROVIDED BY OWNER

KEY NOTES

- ① (E) TEMPERED GLASS SHOWER ENCLOSURE
- ② (E) DOOR TO REMAIN
- ③ (E) WINDOW TO REMAIN
- ④ NEW FORCED AIR UNITS AND WATER HEATER TO BE INSTALLED IN SAME LOCATION AS (E)

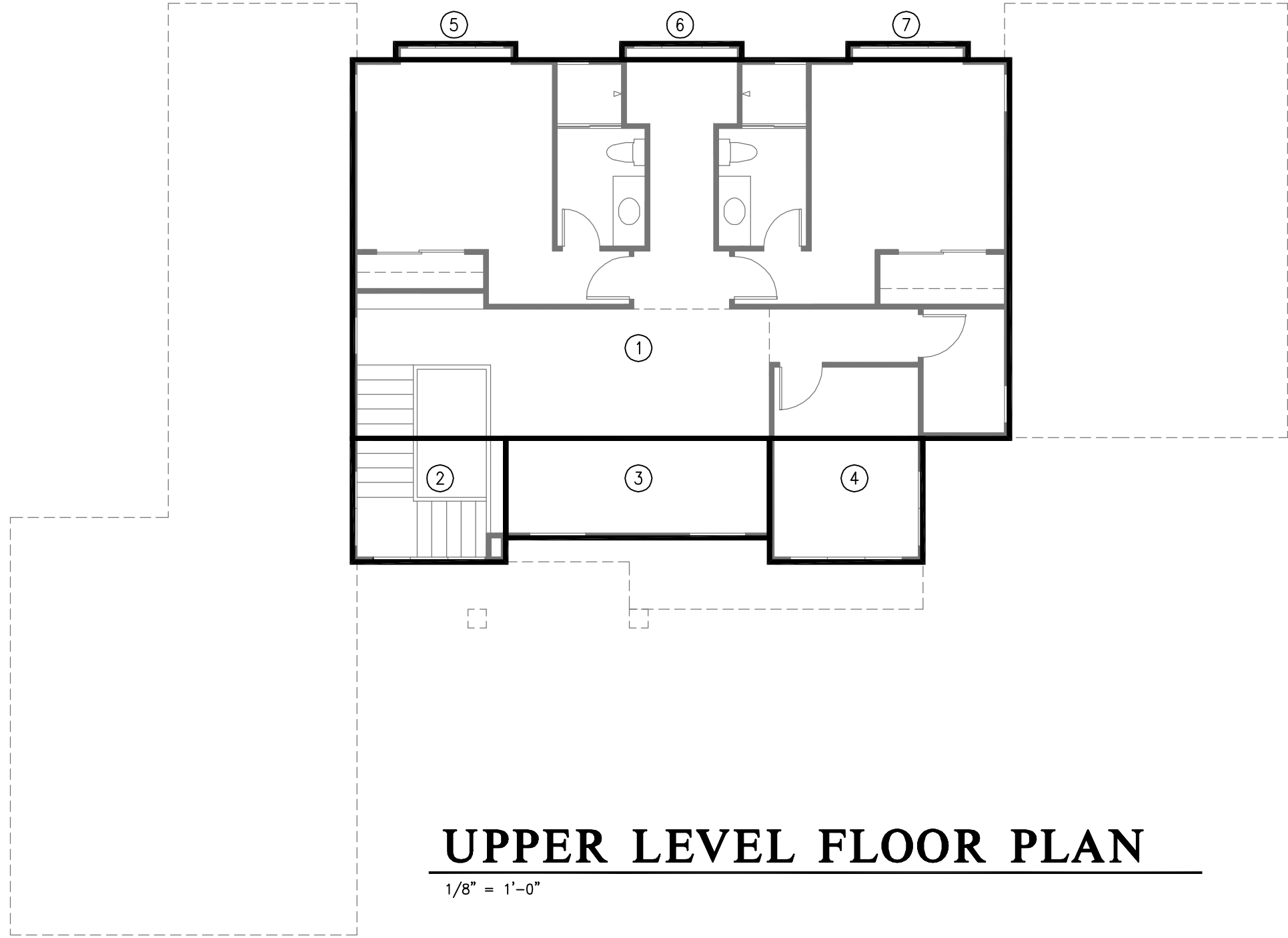
LEGEND

NEW 2 X 4 STUDS @ 16" O.C. WALL



LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"



UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"

AREA CALCULATIONS		
TAG #	CALCULATION	AREA
HOUSE FLOOR AREA		
UPPER LEVEL FLOOR AREA		
1	41'-0" X 23'-6"	971 SQ. FT.
2	9'-7" X 7'-8"	74 SQ. FT.
3	16'-6" X 6'-2"	103 SQ. FT.
4	7'-8" X 9'-7"	74 SQ. FT.
5	1'-0" X 7'-6"	7 SQ. FT.
6	1'-0" X 7'-6"	7 SQ. FT.
7	1'-0" X 7'-6"	7 SQ. FT.
TOTAL UPPER LEVEL		1,243 SQ. FT.
LOWER LEVEL FLOOR PLAN		
8	11'-9" X 32'-2"	379 SQ. FT.
9	40'-6" X 23'-7"	955 SQ. FT.
10	17'-8" X 27'-2"	479 SQ. FT.
11	17'-0" X 7'-11"	131 SQ. FT.
12	18'-4" X 10'-9"	197 SQ. FT.
13	8'-2" X 8'-2" (SHED)	65 SQ. FT.
TOTAL LOWER LEVEL		2,206 SQ. FT.
TOTAL UPPER LEVEL FLOOR		1,243 SQ. FT.
TOTAL LOWER LEVEL FLOOR		2,206 SQ. FT.
TOTAL FLOOR AREA PROPOSED		3,449 SQ. FT.
MAXIMUM ALLOWABLE FLOOR AREA		4,616 SQ. FT.
GARAGE FLOOR AREA		
14	21'-8" X 26'-1"	565 SQ. FT.
TOTAL GARAGE		565 SQ. FT.
TOTAL GARAGE		565 SQ. FT.
MAXIMUM ALLOWABLE GARAGE		1,160 SQ. FT.

RAO - JOHN RESIDENCE

Project No: 22202

114876 CLARA STREET, LOS GATOS, CA 95032

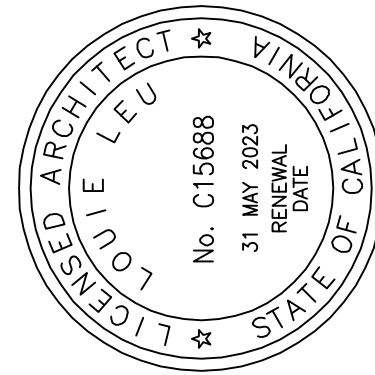
FLOOR AREA CALCULATION

Scale: As Noted

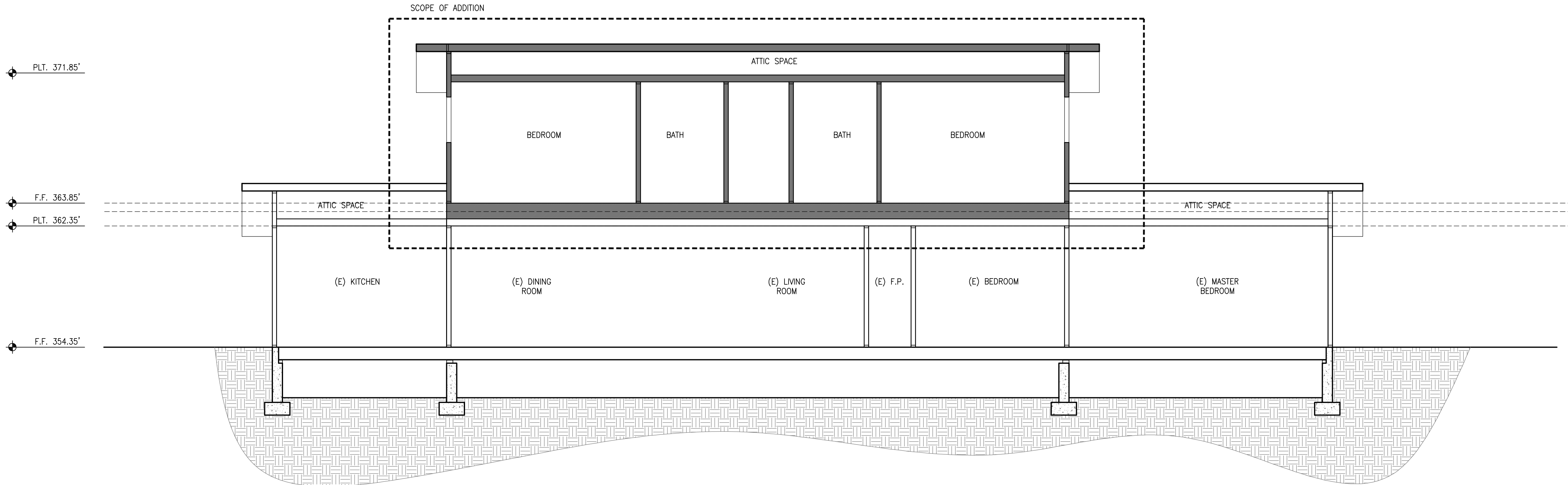
Date/Revisions:
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Sheet No:

A - 2.3

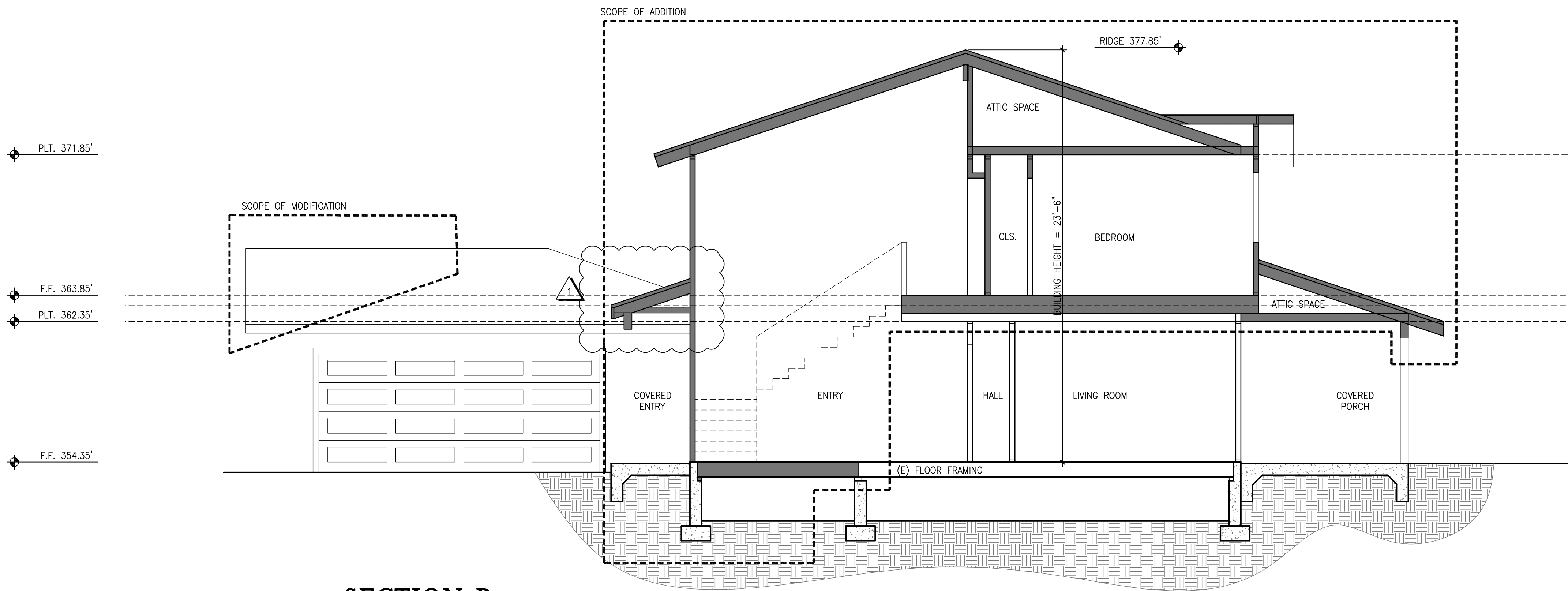


SIGNATURE DATE:



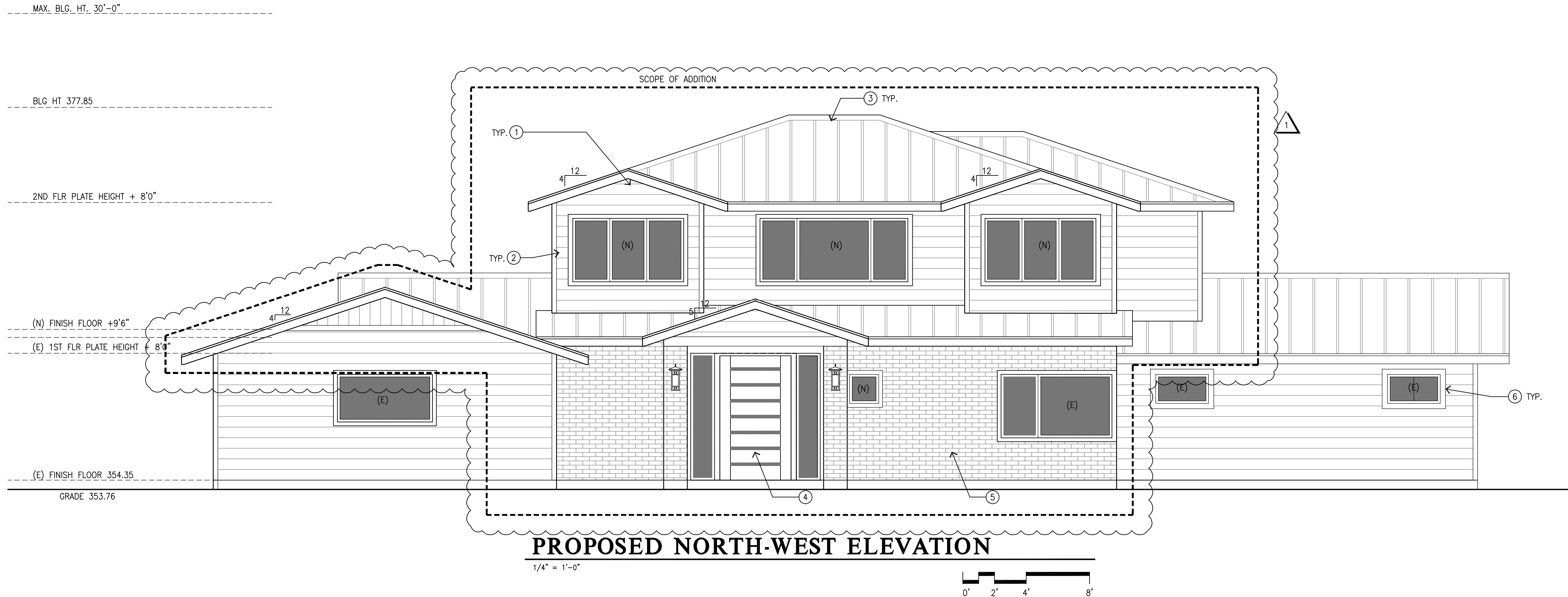
SECTION A

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

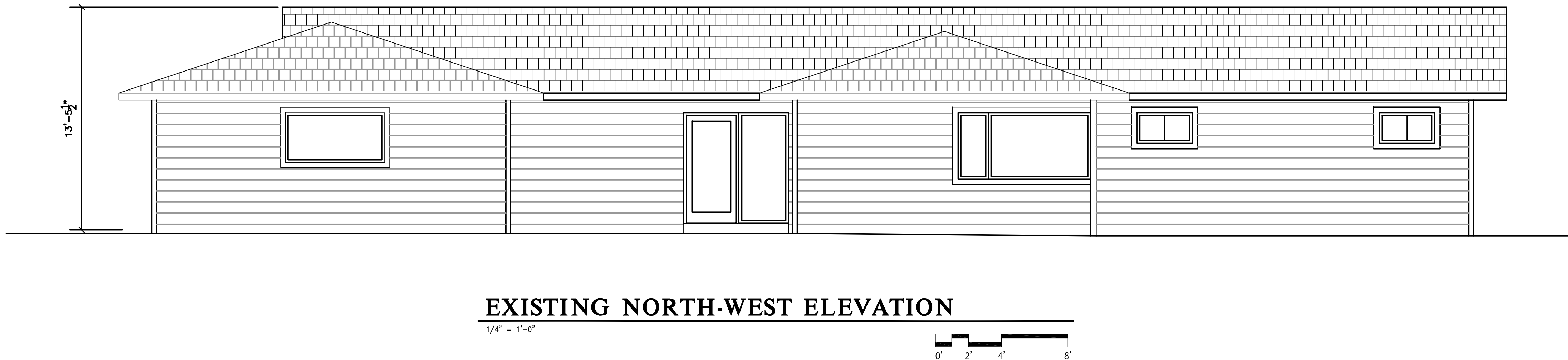


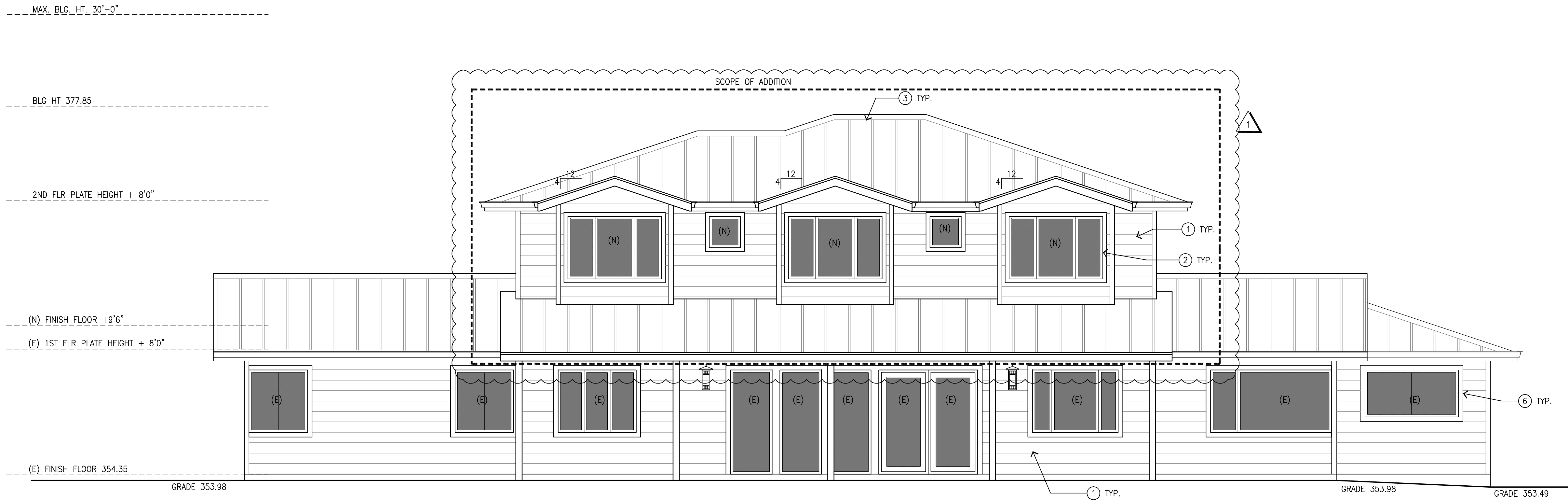
GENERAL NOTES

- A. ADDRESS LETTERS/NUMBERS SHALL BE MINIMUM FOUR (4) INCHES HIGH, WITH A MINIMUM STROKE WIDTH OF 1/2", AND SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL NOT BE SPELLED OUT.
- B. ALL EXTERIOR LIGHT FIXTURES SHALL MEET THE REQUIREMENTS OF TOWN CODE SECTION 29.10.09015 TO BE SHIELDED SO THAT NO BULB IS VISIBLE AND DIRECTED TO THE GROUND SURFACE SO LIGHT DOES NOT SPILL ONTO NEIGHBORING PARCELS OR PRODUCE A GLARE WHEN VIEWED FROM THE NEARBY HOMES.

EXTERIOR MATERIALS

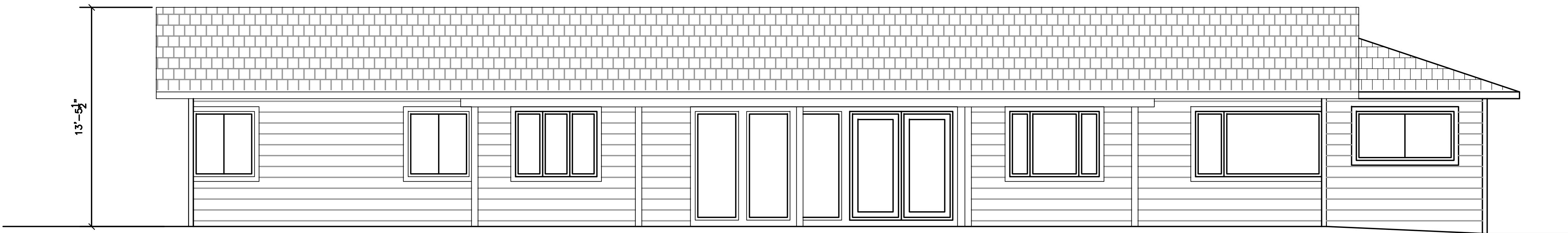
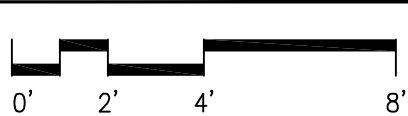
- ① HARDIE BOARD, ARTISAN HORIZONTAL LAP SIDING W/SMOOTH FINISH
- ② METAL CLAD WOOD WINDOWS.
- ③ STANDING SEAM METAL ROOF. INSTALL 0/ 30# ROOF FELTS, CLASS 'A' RATED.
- ④ METAL AND GLASS ENTRY DOOR SYSTEM.
- ⑤ BRICK VENEER
- ⑥ (E) WINDOWS TO REMAIN. PAINT FRAMES TO MATCH (N) WINDOWS.
- ⑦ (E) SIDING TO REMAIN. REPAINT TO MATCH (N) SIDING.





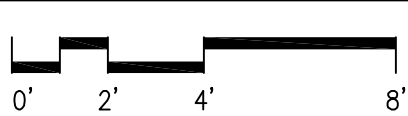
PROPOSED SOUTH-EAST ELEVATION

1/4" = 1'-0"



EXISTING SOUTH-EAST ELEVATION

1/4" = 1'-0"

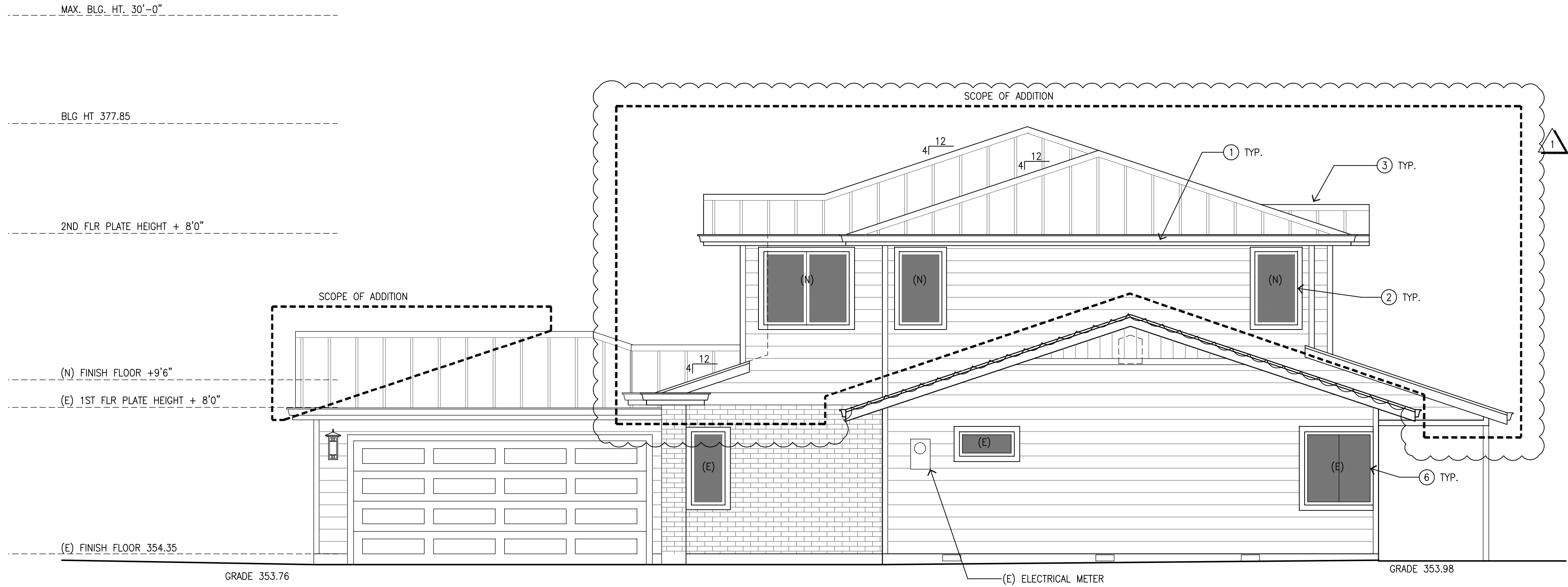


GENERAL NOTES

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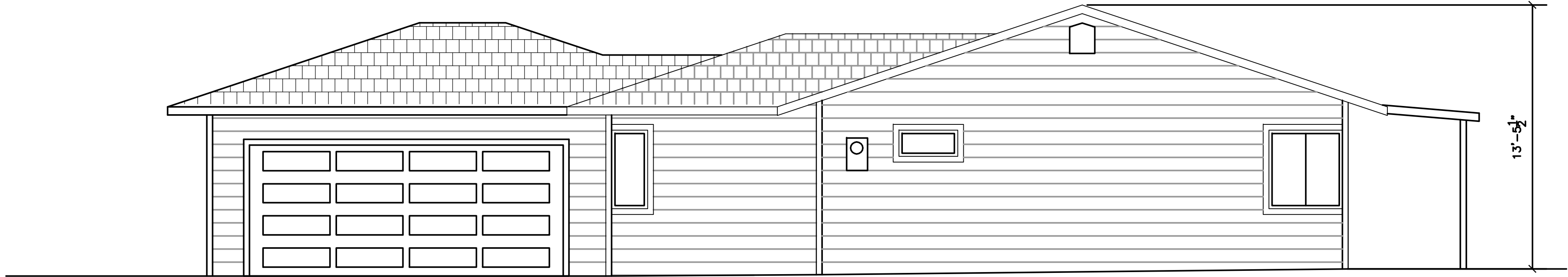
EXTERIOR MATERIALS

- ① HARDIE BOARD, ARTISAN HORIZONTAL LAP SIDING W/SMOOTH FINISH
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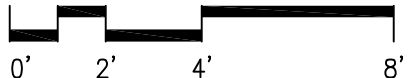
PROPOSED SOUTH-WEST ELEVATION

1/4" = 1'-0"



EXISTING SOUTH-WEST ELEVATION

1/4" = 1'-0"

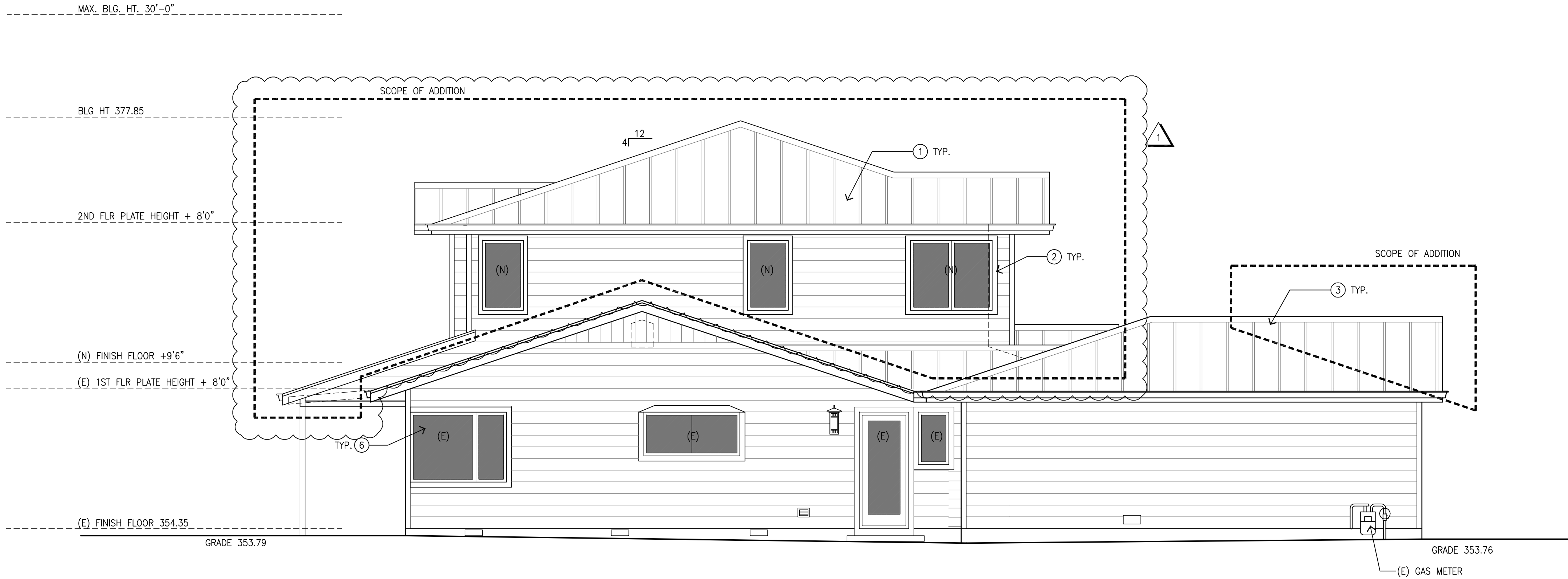


GENERAL NOTES

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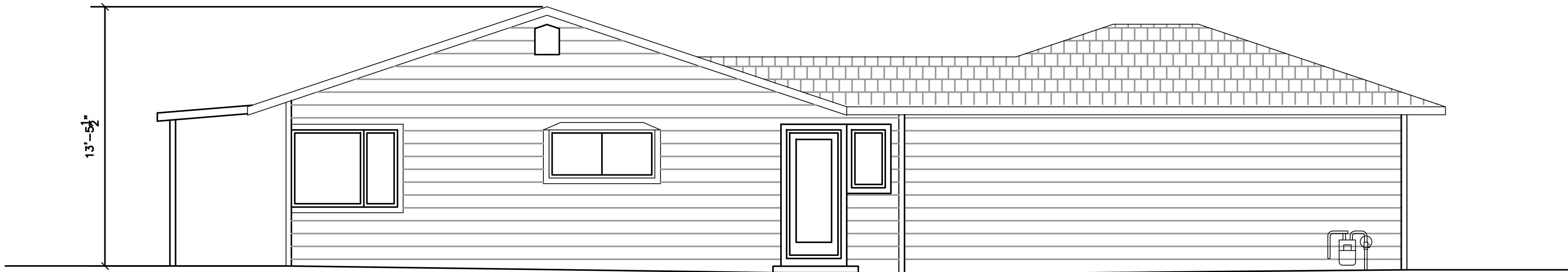
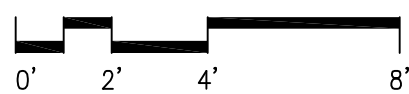
EXTERIOR MATERIALS

- 1 HARDIE BOARD, ARTISAN HORIZONTAL LAP SIDING W/SMOOTH FINISH
- 2 METAL CLAD WOOD WINDOWS.
- 3 STANDING SEAM METAL ROOF. INSTALL 0/ 30# ROOF FELTS, CLASS 'A' RATED.
- 4 METAL AND GLASS ENTRY DOOR SYSTEM.
- 5 BRICK VENEER
- 6 (E) WINDOWS TO REMAIN. PAINT FRAMES TO MATCH (N) WINDOWS.
- 7 (E) SIDING TO REMAIN. REPAINT TO MATCH (N) SIDING.



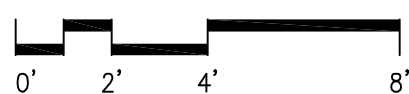
PROPOSED NORTH-EAST ELEVATION

1/4" = 1'-0"



EXISTING NORTH-EAST ELEVATION

1/4" = 1'-0"



GENERAL NOTES

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EXTERIOR MATERIALS

- ① HARDIE BOARD, ARTISAN HORIZONTAL LAP SIDING W/SMOOTH FINISH
- ② METAL CLAD WOOD WINDOWS.
- ③ STANDING SEAM METAL ROOF. INSTALL 0/ 30# ROOF FELTS, CLASS 'A' RATED.
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- ⑦ (E) SIDING TO REMAIN. REPAINT TO MATCH (N) SIDING.

RAO - JOHN RESIDENCE

Project No: 22202

114876 CLARA STREET, LOS GATOS, CA 95032

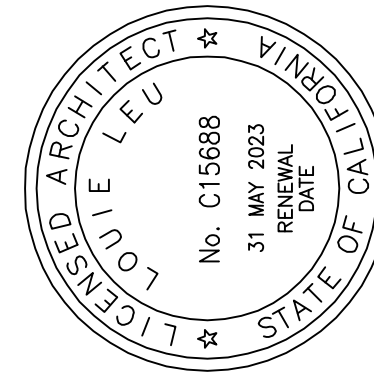
EXTERIOR ELEVATIONS

Date/Revisions:
09-16-22 PLANNING COMMENTS

Sheet No:

A - 4.4

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SIGNATURE DATE:

LOUIE LEU ARCHITECT INC.

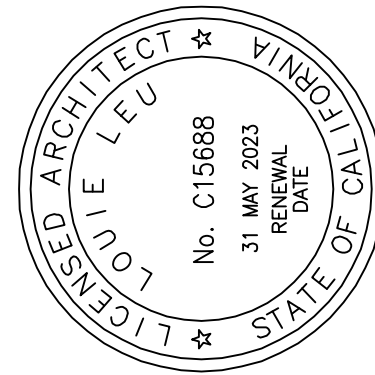
236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com



- PROPOSED NEW ROOF FRAMING. TYPICAL ROOF
MATERIAL: STANDING SEAM METAL ROOF
CUSTOM BUILT METAL-TITL SL 1750, 14"
WIDTH. INSTALL OVER 30# ROOF FELTS, CLASS
'A' RATED

GENERAL NOTES

- A. REPLACE (E) ASPHALT SHINGLE ROOF TILE WITH: STANDING SEAM METAL ROOF. CUSTOM BUILT METAL-TITL SL 1750, 14" WIDTH
INSTALL OVER 30# ROOF FELTS, CLASS 'A' RATED
- B. ATTIC AREAS HAVE SPRAY FOAM INSULATION APPLIED AT UNDERSIDE OF ROOF PLYWOOD. VENTILATION OF ATTIC IS NOT REQUIRED. SEE CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- C. INSTALL "GRACE" ICE AND WATERSHIELD FLEXIBLE MEMBRANE FLASHING @ RIDGES, HIPs, EAVES, VALLEYS, SKYLIGHTS & ROOF PROTRUSIONS, A 36" wide, 72" CAP SHEET SHALL BE PLACED IN ALL VALLEYS PRIOR TO ANY OTHER UNDERLAYMENT ROOFING MATERIAL & AT LOW SLOPE ROOFS LESS THAN 3/8":12 PITCH
- D. PROVIDE LEAF GUARDS @ ALL GUTTERS
- E. (N) ROOF DOWNSPOUTS TO BE TO DIRECTED TO SPLASH BLOCKS, MIN. 24" L. DIRECTED AWAY FROM BUILDING TO LANDSCAPE AREAS
- F. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS
- G. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION



SIGNATURE DATE:

LOUIE LEU ARCHITECT^{INC}

236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

Project No: 22202

RAO - JOHN RESIDENCE

14876 CLARA STREET, LOS GATOS, CA 95032

ROOF PLAN

Date/Revisions:

09-16-22 PLANNING COMMENTS

Sheet No:

A - 5.1

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