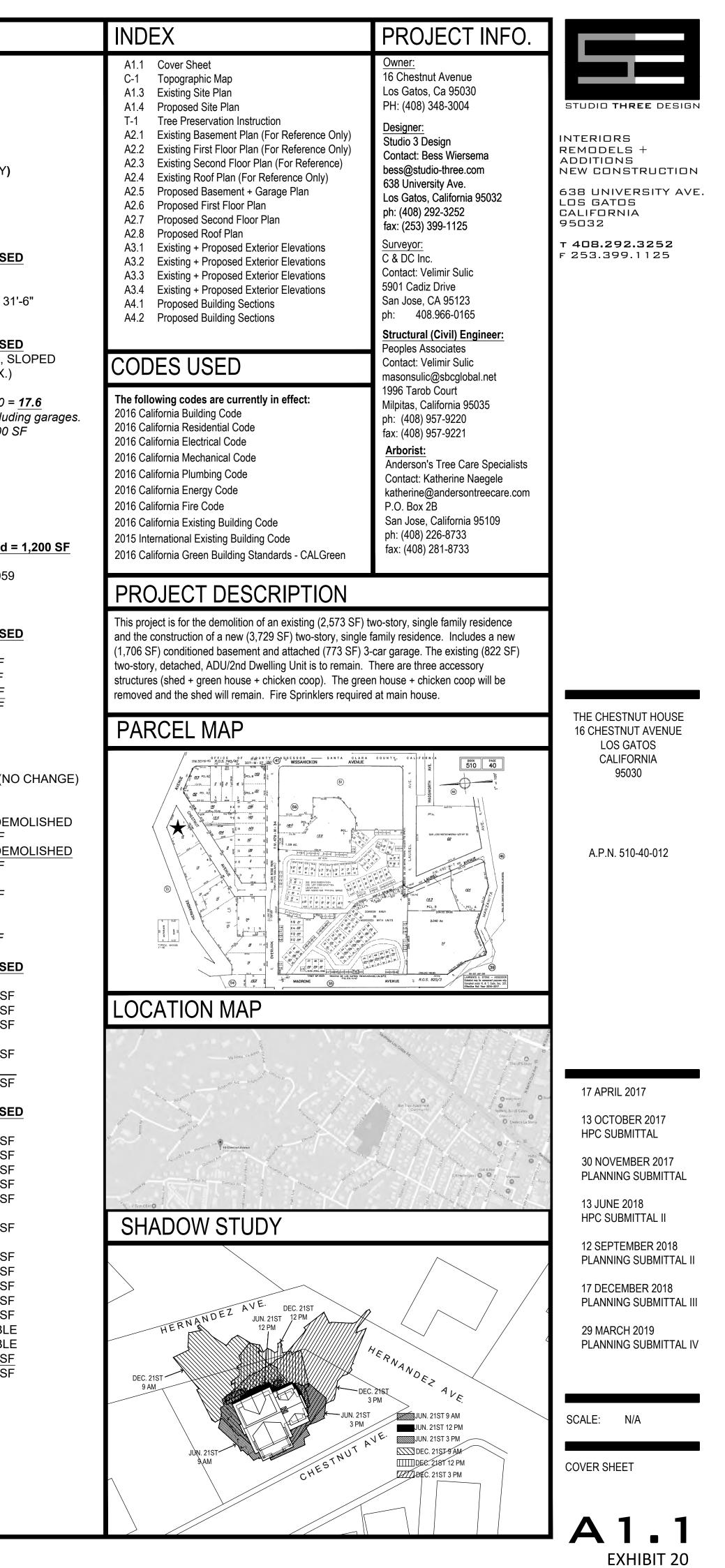
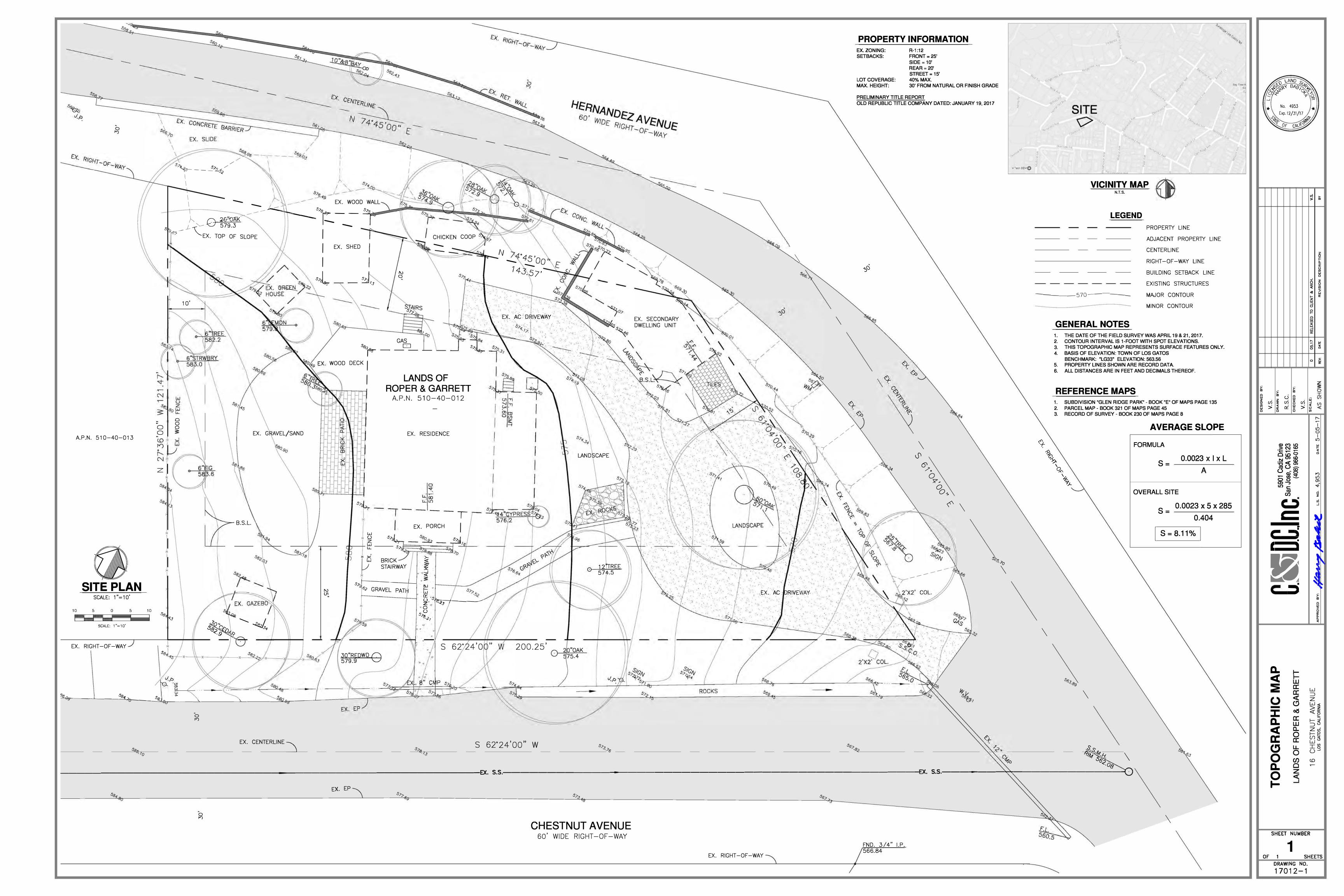
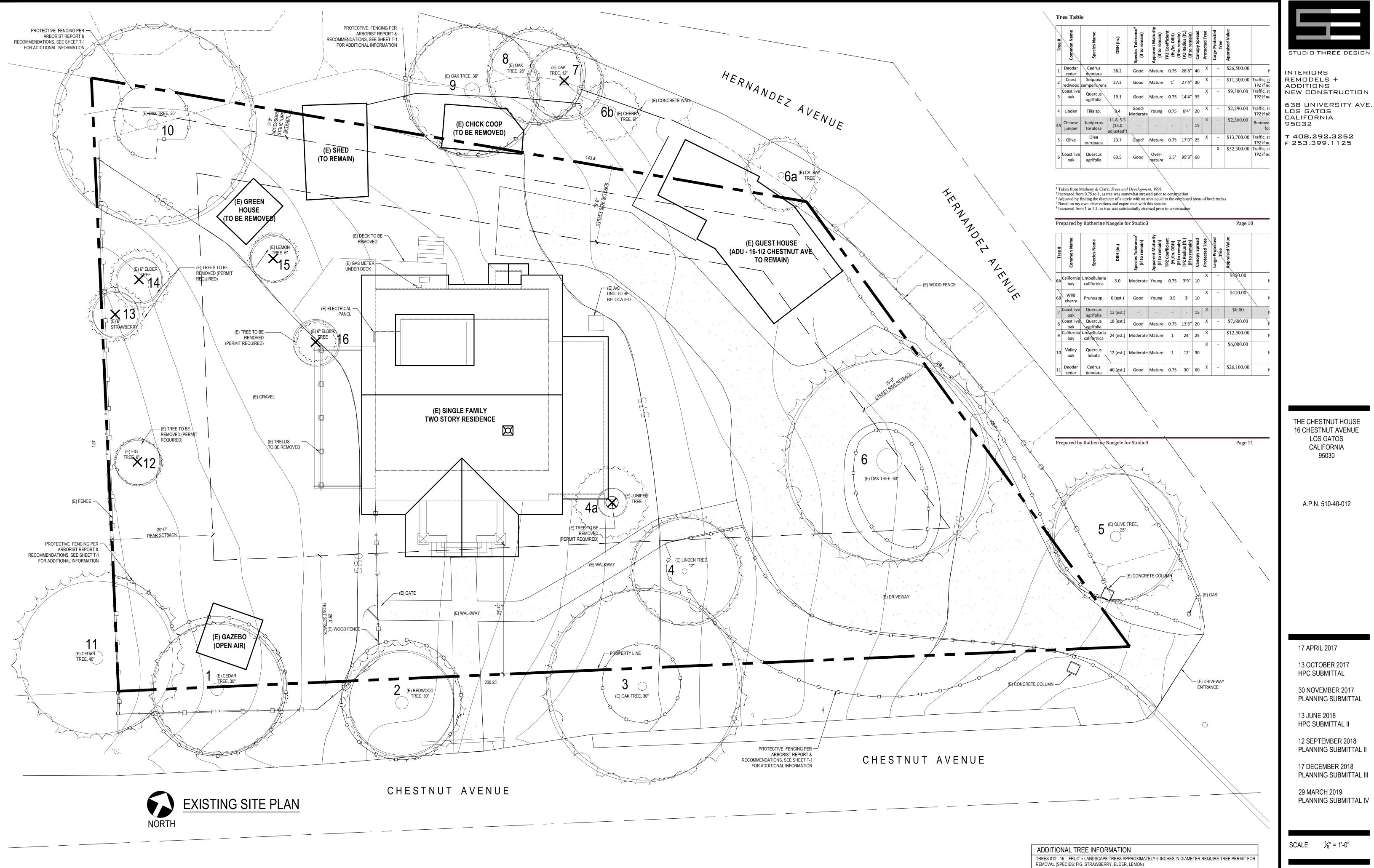


	PROJECT DATA			
	PROJECT ADDRESS: A.P.N. :	16 CHESTNUT / 510-40-012	AVENUE	
	LOT AREA: AVERAGE SLOPE: YEAR BUILT: ZONING: OCCUPANCY: CONSTRUCT TYPE: HISTORIC SITE: FLOOD ZONE: WUII:	±17,606 SF (per 8.11% 1910 R-1:12 R3 (SINGLE FA V-B NO D	County Records) MILY DWELLING) D URBAN INTERF	
	SETBACKS FRONT: INTERIOR SIDE: STREET SIDE:	<u>ALLOWED</u> 25'-0" 10'-0" 15'	EXISTING ±25'-6" ±52' ±49' / 25'	PROPOSE ±25'-0" ±49'-6" ±25'-6" / 31
and some some some some	REAR: <u>BUILDING HEIGHT</u> MAIN RESIDENCE:	20'-0" <u>ALLOWED</u> 30'-0"	N/A <u>EXISTING</u> ±28'-0"	N/A PROPOSE VARIES, SI
		allowed an addition Il increase from (.3	nal 10% in FAR sta 5) to (.45). Allowed 5 - (.50 x .2) = .35 -	andards, excludi I ADU = 1,200 S
		25	5 - (.50 x .2) = .45 - 4,440 = 1,722 SF,	
		<u>A - 5</u>])x.07 = .10 25 9,494 SF = 1,15 8	0 - (.58 x .07) = .10 3 S F	0 - (.041) = .059
and many and the provident	SQUARE FOOTAGE HABITABLE HOUSE: FIRST FLOOR:	<u>ALLOWED</u>	<u>EXISTING</u> 1,771 SF	PROPOSE
and the second second of the second sec	SECOND FLOOR: ATTIC AREA 0/5-FEET TOTAL	4,440 SF	802 SF	1,293 SF <u>63 SF</u> 3,729 SF
	ADU/GUEST HOUSE 1ST FLOOR 2ND FLOOR TOTAL	1,200 SF	575 SF 247 SF 822 SF	575 SF 247 SF 822 SF (NC
NORTH/EAST SIDE OF HERNANDEZ AVE.	ACCESSORY STRUCTURES GREEN HOUSE SHED CHICKEN COOP TOTAL		84 SF 232 SF 130 SF 446 SF	N/A, DEM 232 SF N/A, DEM 232 SF
	ATTACHED GARAGE: BASEMENT:	1,158 SF	N/A	773 SF
	BELOW GRADE: (EXE) BUILDING COVERAGE	,	876 SF	1,706 SF
I6 CHESTNUT AVE. 16 CHESTNUT AVE.	(40% MAX = 0.40 X 17,606) = HABITABLE HOUSE ATTACHED GARAGE: ADU/GUEST HOUSE GREEN HOUSE:	ALLOWED 7,042 SF 7,042 SF	EXISTING 1,771 SF N/A 575 SF 84 SF 232 SF 130 SF 2,792 SF	PROPOSE 2,373 SF 773 SF 575 SF N/A 232 SF N/A 3,953 SF
	SITE COVERAGE (40% MAX = 0.40 X 19,494) =	ALLOWED	EXISTING	PROPOSE
	HABITABLE HOUSE: ATTACHED GARAGE: ADU/GUEST HOUSE: FRONT PORCH: LIGHTWELL: GREEN HOUSE: SHED: CHICK COOP: GAZEBO: DECK:		1,771 SF N/A 575 SF 139 SF N/A 84 SF 232 SF 130 SF 107 SF 324 SF	2,373 SF 773 SF 575 SF 248 SF 232 SF N/A 232 SF N/A 107 SF 244 SF
21 CHESTNUT AVE. (5) - 29 CHESTNUT AVE.	PATIO AREA: POOL PATIO: BBQ PATIO: DRIVEWAY:		337 SF 4,114 SF	349 SF 397 SF 288 SF PERMIABLE
	WALKWAY: <u>POOL (SEPARATE PERMIT):</u> TOTAL	7,042 SF	765 SF 8,578 SF	PERMIABLE 840 SF 6,658 SF
	PERVIOUS COVERAGE IMPERVIOUS AREA COVERA CUT 652 CUBIC YARI	DS **	4,325 SF** 5,215 SF **	
3) - 200 HERNANDEZ AVE. (9) - 134 HERNANDEZ AVE.	FILL 110 CUBIC YARE** SEE CIVIL DRAWINGS FO		FORMATION	



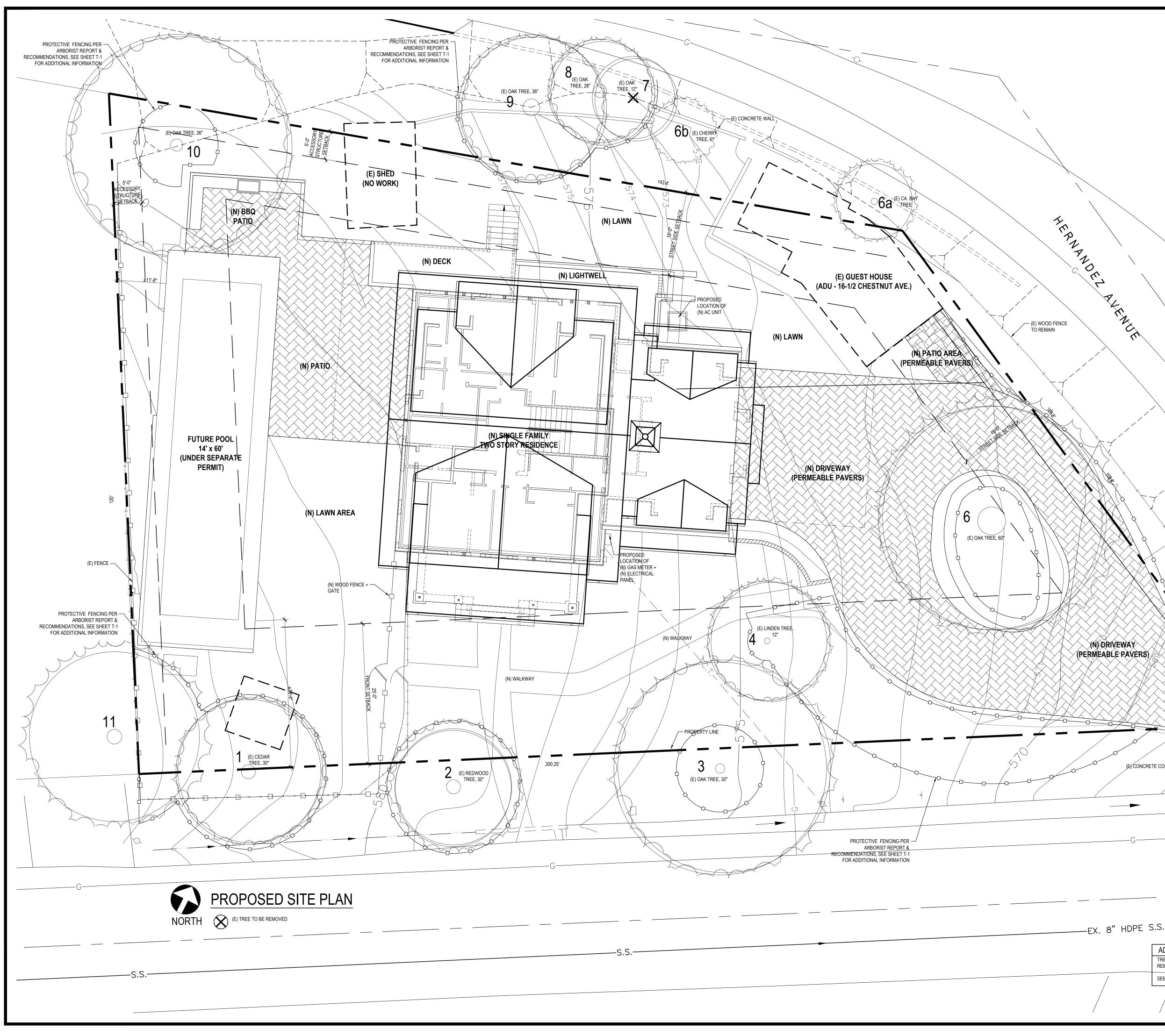




A1.3

EXISTING SITE PLAN

SEE SHEET T-1 FOR TREE PRESERVATION INSTRUCTIONS + ARBORIST RECOMMENDTIONS



Tree #	Common Name	Species Name	DBH (in.)	Species Tolerance ⁴ (if to remain)	Apparent Maturity (if to remain)	TPZ Coefficient (ft./in. DBH) (if to remain)	TPZ Radius (ft.) (if to remain)	Canopy Spread	Protected Tree	Large Protected Tree	Appraised Value	
1	Deodar cedar	Cedrus deodara	38.2	Good	Mature	0.75	28'8"	40	x	-	\$26,500.00	
2	Coast redwood	Sequoia sempervirens	27.3	Good	Mature	1 ⁵	27'4"	30	x	-	\$11,300.00	Traffic, TPZ if r
3	Coast live oak	Quercus agrifolia	19.1	Good	Mature	0.75	14'4"	35	x	-	\$9,300.00	Traffic, TPZ if r
4	Linden	Tilia sp.	8.4	Good- Moderate	Young	0.75	6'4"	20	x	-	\$2,290.00	Traffic, TPZ if r
4A	Chinese juniper	Juniperus torulosa	11.8, 5.5 (13.0 adjusted ⁶)	÷	÷	÷		15	x	-	\$2,360.00	Remov fo
5	Olive	Olea europaea	23.7	Good ⁷	Mature	0.75	17'9"	25	х	-	\$13,700.00	Traffic, : TPZ if r
6	Coast live oak	Quercus agrifolia	63.5	Good	Over- mature	1.5 ⁸	95'3"	60		X	\$52,300.00	Traffic, TPZ if r

⁴ Taken from Matheny & Clark, Trees and Development, 1998 ⁵ Increased from 0.75 to 1, as tree was somewhat stressed prior to construction ⁶ Adjusted by finding the diameter of a circle with an area equal to the combined areas of both trunks ⁷ Based on my own observations and experience with this species ⁸ Increased from 1 to 1.5, as tree was substantially stressed prior to construction

Prepared by Katherine Naegele for Studio3

5 (E) OLIVE TREE,

— (E) CONCRETE COLUMN

er (epared by	y Katherine I	Naegele fo	or Studio3							Page 10	
Tree #	Common Name	Speciés Name	DBH (in.)	Species Tolerance ⁴ (if to remain)	Apparent Maturity (if to remain)	TPZ Coefficient (ft./in. DBH) (if to remain)	TPZ Radius (ft.) (if to remain)	Canopy Spread	Protected Tree	Large Protected Tree	Appraised Value	
5A	California bay	Umbellularia californica	5.0	Moderate	Young	0.75	3'9"	10	Х	-	\$850.00	
5B	Wild cherry	Prunus sp.	6 (est.)	Good	Young	0.5	3'	10	Х	-	\$410.00	
7	Coast live oak	Quercus agrifolia	12 (est.)	~	-			15	x	-	\$0.00	
8	Coast live oak	Quercus agrifolia	18 (est.)	Good	Mature	0.75	13'6"	20	х	-	\$7,600.00	
१	California bay	Umbellularia californica	24 (est.)	Moderate	Mature	1	24'	25	х	-	\$12,500.00	
10	Valley oak	Quercus lobata	12 (est.)	Moderate	Mature	1	12'	30	Х	-	\$6,000.00	
11	Deodar cedar	Cedrus deodara	40 (est.)	Good	Mature	0.75	30'	60	х	-	\$26,100.00	

(N) DRIVEWAY (PERMEABLE RAVERS)

(E) CONCRETE COLUMN -

PLAN UN

ADDITIONAL TREE INFORMATION TREES #12 - 16 - FRUIT + LANDSCAPE TREES APPROXIMATELY 6-INCHES IN DIAMETER REQUIRE TREE PERMIT FOR REMOVAL (SPECIES: FIG, STRAWBERRY, ELDER, LEMON)

SEE SHEET T-1 FOR TREE PRESERVATION INSTRUCTIONS + ARBORIST RECOMMENDIONS



INTERIORS REMODELS + ADDITIONS NEW CONSTRUCTION 638 UNIVERSITY AVE. LOS GATOS

CALIFORNIA 95032

т 408.292.3252 F 253.399.1125

THE CHESTNUT HOUSE 16 CHESTNUT AVENUE LOS GATOS CALIFORNIA 95030

Page 11

— (E) DRIVEWAY ENTRANCE

 \bigcirc

A.P.N. 510-40-012

17 APRIL 2017

13 OCTOBER 2017 HPC SUBMITTAL

30 NOVEMBER 2017 PLANNING SUBMITTAL

13 JUNE 2018 HPC SUBMITTAL II

12 SEPTEMBER 2018 PLANNING SUBMITTAL II

17 DECEMBER 2018 PLANNING SUBMITTAL III

29 MARCH 2019 PLANNING SUBMITTAL IV



PROPOSED SITE PLAN



ARBORIST RECOMMENDATIONS

1. Remove trees #4A and 7 prior to commencing construction.

- 2. All tree removal and limb pruning must be performed by trained tree work personnel under the direction of an ISA-Certified Arborist.
- 3. Apply a growth regulator to tree #6.
- 4. Remove visible girdling roots from tree #6.
- 5. Install tree protection fencing for all other trees, conforming to the following specifications put forth in the Los Gatos Town Code, Section 29.10.1005:2
- a. Fencing shall consist of six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at leas (1) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported
- b. Fencing shall be installed around the tree protection zones (TPZ) specified in this report, approximately as shown on the Tree Map below.
 c. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain
- c. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain t record prior to removing a tree protection fence.
 d. Feach tree forces shall have preminently displayed on 8.5 x 11 inch size stating: "Werping. Tree Dretection Zone this force shall not be removed and is subject to permit."
- d. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning--Tree Protection Zone-this fence shall not be removed and is subject to pe 29.10.1025".
- e. All persons, shall comply with the following precautions:
- i. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around an which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the ii. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approxiii. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the TPZ of or in drainage channels, swales or areas that may lead to the iv. Prohibit the attachment of wires, signs or ropes to any protected tree.
- v. Design utility services and irrigation lines to be located outside of the dripline when feasible.
- vi. Retain the services of a certified or consulting arborist who shall serve as the Project Arborist for periodic monitoring of the project site and the health of those tress shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- vii. The Director and Project Arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administer 6. Spread wood chips within tree protection fencing to a depth of 3-6 inches.
- 7. Notify project arborist when gas line location has been determined.
- 8. Do not demolish driveway until all other construction is complete.
- 9. Driveway specifications will be addressed in a separate addendum to this report.
- 10.For new backyard fence
- a. Do not install until the house and new hardscape are complete.
- b. Tree protection fencing may be removed prior to fence installation if condition (a) is met.
- c. Excavate only to place fence posts. Place panels above grade to minimize root disturbance.
- 11.If live roots over one inch in diameter are encountered at any time, in any location, halt work in this area and contact the Project Arborist immediately.
- 12.After construction is complete:
- a. Install six 15-gallon trees to replace trees #4A and 7.
- b. Perform root zone remediation in all unpaved areas within the CRZ of tree #6:
- i. Decompact the soil with an air spade,
- ii. Incorporate compost into the soil with the air spade, and
- iii. Spread wood chips over the top of the decompacted soil to a depth of 3-6 inches.

ARBORIST REPORT BY ANDERSON TREE CARE SPECIALISTS, INC. DATED FEBRUARY 11, 2019

TOWN CONSULTING ARBORIST RECOMMENDATIONS

- 1. Place tree protection fence around the tree at a radius of 50 feet if the driveway is demolished early in the process. Otherwise place the fence at a radius of 15 feet to p if the driveway is to remain as recommended.
- Treat the trunk three times per year to help prevent bark beetle attacks (*Monothrum scutellare*) with (Permethrin) or (Bifenthrin) according the product labels.
 Maintain the existing driveway around the tree during the construction process until the new driveway is to be installed. This will significantly reduce construction imparts
- b) Maintain the existing driveway around the tree during the construction process until the new driveway is to be installed. This will significantly reduce construction impact phases.
 4. Do not execute the existing and executed the tree on all four sides within a 50 feet radius (ten times the trunk diameter). Execution for one side is listed below to set of the trunk diameter.
- 4. Do not excavate the existing soil grade around the tree on all four sides within a 50 foot radius (ten times the trunk diameter). Exception for one side is listed below to
- 5. Disturbance where the driveway is to be excavated must be outside six times the trunk diameter which is 30 feet. (Both the ISA Best Management Practices: Root Management Practices: Managing trees during construction, second edition, 2016 indicate linear cuts should be beyond six times the trunk diameter distance. Best Management (2017) states cutting roots at three times the diameter can result in loss of stability and anything closer would result in "severe loss of stability.") If this can recommended.
- 6. All paver installation within 50 feet should be above the existing soil surface with only minor scarification to even out the grade under the existing asphalt. If necessary incorporated as a sub-base treatment to provide a stable base on grade without significant compaction or excavation. **

**For recommendation #6, verify with soils engineer prior to installing Tensar Biaxial Geogrid.

CONSULTING ARBORIST: MONARCH CONSULTING ARBORIST LLC, ARBORIST REVIEW MEMO 2, DATED MARCH 7, 2019

TREE REPLACEMENT

LANDSCAPE PLANS TO BE SUBMITTED AND APPROVED BY TOWN PRIOR TO CONSTRUCTION. 16, 15-gallon trees (location + species TBD)

 In the yap current to be: I. Mees water inter at 10 million or yaped during the decky of making inter to be yaped. J. Mees with the state of the final agring during inter decky of the state of the sta		TREE PRESERVATION INSTRUCTIONS	
 Here to the trace. A less of the sol of the trace of the trace of the sol of		Town Code. The Town Code also requires a permit to prune more than 25% of a Protected Tree within a 3-year period, or to remove or cut any branch or root greater than 4 inches in diameter of any Large Protected Tree or Heritage Tree (see definitions below). Property owners may be subject to significant fines and civil actions by the Town if removal or pruning requiring a permit is	
 Joset to up output for a project during of the formation of the project of the project during of		done without first obtaining a permit.	
 A Hans which was an in the ray project density according to provide density of provide density according to provide den	least two	Protected Trees are defined in the Town Code as any of the following:	
 a list Calcyber of the topolation of the set of the s	orted by a concrete base.		
 c) c) c	tain the approval of the project arborist on		
 c) First Materia Materia c) First Materia d) First Materi	to penalty according to Town Code		
S. All bees which was 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees which was a 4 with or getter dimension bury development even. S. All bees with how as figured by the bark of all bees of all breaks or more in attilling all Ouk. Calibra 6 July and the set of all orders or more in attilling all Ouk. Calibra 6 July and the bees and all breaks or more in attilling all Ouk. All breaks and was a figured to all breaks and was an all breaks or more in attilling all Ouk. All breaks and was and do 5 do stock on its and all breaks or more in attilling all out all breaks and was an all		d- Pacific Madrone (Arbutus menziesii)	
 perint the termolal participant action perint termolal participant action p		5. All trees which have a 4 inch or greater diameter when removal relates to any development review.	
as brack to be preserved. The Project Advances Large Protected Tree(x) or a Herlinge Tree is) A Large Protected Tree(x) or a Herlinge Tree is) as brack to be preserved. The Project Advances A Large Protected Tree(x) or a Herlinge Tree is) A Large Protected Tree(x) or a Herlinge Tree is) as brack to be preserved. The Project Advances A Nontigo Tree is a bas sponticulty default or y school of the Toen Currol unich processes exceptional asehulis, bottogers, cultured or Herlinge Tree is) Dimensional of Herlinge Tree is the some tree curron of the Toen Currol unich processes exceptional asehulis, bottogers, cultured or Herlinge Tree is the some tree gene advanced grade. A perint is not ascurated in Herlinge Tree is) Dimensional or Herlinge Tree is the some tree dimensional or the tr			
Initial control of the status in the stat		A Large Protected Tree is any tree with a diameter of 48 inches or more. In addition, all Oak, California Buckeye, and	
biologisti, cultural, or historic value to the community Diameter of a Tree() Diameter of Tree() Diameter of Tree() Diameter of Tree() Diameter of Tree() Diameter of Tree() Diameter of Tree()			
Dispreticipants in reasonal of a legal to d.5 fee shows the average natural grade. For multi-fundad thesis, damater is the sum of all trunk damaters measured at 4.5 feet shows the average natural grade. A point is not required for removal or ranger nutring of any of the fully frequency			
 of all trutk danabas measured at 4.5 feet above the average natural grade. A permit is not required for nervoid or mergic grunning of any of the following trees: A hard is not the set truth if is indicating in the following trees in diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease that a float is diameter. Any of the following trees that are lease the diameter of the following trees that are lease that are lease the diameter of the following trees that are lease that are lease the diameter of the following trees that are lease the diameter of the following trees that are lease the diameter of the following the diameter of the following the diameter of the following the diameter of the state and built (Vicks). A completed application signed by the property control of any minor of the area floated to indicate on the diameter. A completed application signed by the property control of the area grants and the diameter of the state of the area of t			
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2. Arg of the following trees that are less than 24 inches in diamater: 9. Black Acade (Acade medium/op/) 1. Tup Tree (includention infighter) 1. Tree of Heaven (Alastinus abaseme) 9. Black Acade (Acade medium/op/) 9. Detect (Intervention) 9. Det			
 Tulp Tree (Lindendron Applied) Tree of Heaven (Alathum a Kassima) Bie Gum Eucelypus (E. globulas) Cher Loophys (E. globulas) Bie Gum Eucelypus (E. globulas) Other Eucelypus (E. globulas) Other Eucelypus (E. globulas) Paint (except Phoenic contents) Privat (Ligustrum Auditum) 		2. Any of the following trees that are less than 24 inches in diameter:	
Bue Gum Eucelyptis (E. gobulus) Partie (except Pheerix caraterises) Other Eucelyptis (E. samitulensis) Partie (except Pheerix caraterises) Partie (Liguistrum Audum) Dangerous Tree() A tree may be removed or severely pruned vibrout a permit when there is an imminent danger to life, property, utilities or essential transportation fabilities. Property owners are			
Prote Clauselybus (E. sons-kuluonis) Other Euclybus (E. sons-kuluonis) Other Euclybus (E. sons-kuluonis) Other Euclybus (E. sons-kuluonis) Privet (Liguistum buildum) Deageous Tree(s) A tree may be removed or severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are severely pruned without a permit when the prices and public Works Department at (400) 389-8070 Mondsy through Findsy between the hours of 0.00 m. or the Police Department at submitted to the Department of Parks and Public Works. Requirements for a Renoval or Pruning permit: 1. A completed septilation signed by the property owner. Applications are evailable online at the following lines are required to apply for a tere emoval or pruning line was and Public Works. Requirements for a Renoval or repuning to confirm the absence of active bird nests, particularly during the symptomere major as target on the tree/s) proposed for removal or pruning (for pruning, proposed cuts should be indicated on photo. 3. A completed tree replacation are port. 3. A completed tree replacation are port. 3. A completed tree replacation, a corflict or consulting arborists written report. S. If required by the Town Arbords target on the provi. S. If required by the Town Arbords target on a pruning permit. S. If required by the Town Arbords tarbord an major to any prevales or uniting secons (Photony			
Pain (sexapt Phoenix canarinesis) Privet (Ligustrum function) Dangerous Tree(s) A tree may be removed or severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property concers are still acquired to notify the Town pror to any removal or pruning and must receive approval from the Town before taking any mergency action. Charlos the Parks and Public Works peartment at (405) 395-5770 Monday through Friday between the hours of 7:00 a.m. b 4:00 p.m. or the Public Department at (403) 354-4500 derive transport from the Town before taking any derives of 7:00 a.m. b 4:00 p.m. or the Public Department at (403) 354-6500 derive hours or on weeknats to provide or pruning permits the following there hours on an weeknats to provide or pruning permit. 1.4 completed application signed by the orperty owner. Applications are available on the attempt of the following thereas and Public Works. Requirements for a Removal or Pruning Permit* The following there are required to apply for a tree memory or pruning querits. 1.4 completed application signed by the orperty owner. Applications are available online at the following there are required to apply for a tree memory or pruning there in the parks and Public Works Department, Monday through Priday there are the avail of the tree inplacement worksheet (located on the reverse also diff application). 3. A completed rear replacement worksheet (located on the reverse also diff application). 3. A completed free replacement worksheet (located on the reverse also diff application). 3. Fraquires by the Town Atomats to low many inflat inspection, a crifted or consuling atomats or utilities worther application. 3. Fraquing the Detained and or development explication, a crifted or consuling atomats or there are advelopment explication. 4. Frage area produced there or charase partiduated the teres of a development explication worksheet tor		Red Gum Eucalyptus (E. <i>camaldulensis</i>)	
Dangerous Tree(s) A tree may be removed or severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are set requised to notify the Town prior to any removal or pruning and must receive approval from the Town bors of the parts and Public Works mpact during the demolition and construction Within 22 hours following removal or pruning, photos and a description of the emergency action. Charle the Parks and Public Works. mpact during the demolition and construction Within 22 hours following removal or pruning, photos and a description of the emergency action taken must be submitted to the Department at 14(08) 393-48000 are hours or on weekend to report a dangerous three and request partory afformed must be submitted to the Department of Parks and Public Works. Management, 2017 and ISA Best st Management / Practices: Root is cannot be achieved a redesign is scannot be achieved a redesign is cannot be achieved a redesign is scannot be achieved a redesign is scannot be achieved and reduction and the tree spice commerce there is a scannot be achieved a redesign is scannot be achieved and the asses of the target is thous a during a the prior town with a tree removal or pruning proposed cure should be indicated on prior is scannot be achieved and reduction and the tree is prior bound there is prior and the tree stannot is scannot be achi			
A the may be removed or severely pruned without a permit when there is an immitent danger to life, property, utilities or essantial transportation facilities. Property owners are sill required that outry the Town prior to any removal or pruning and must receive approval from the Town before taking any emergency action. Contract the Parks and Public Works Department at (406) 399-6770 Monday through Friday between the hours of 7:00 am. to 4:00 p.m. or the Police Department at (406) 394-600 after hours or on weekens's to report a dangerous free and request approval from moval or pruning without a permit. Within 72 hours following removal or pruning, photos and a description of the emergency action taken must be submitted to the Department of Parks and Public Works. Requirements for a Removal or Pruning Permit * The following lems are required to apply for at the Parks and Public Works. Requirements for a Removal or pruning permit: 1. A completed application signed by the property owner. Applications are available online at http://www.logalosca.gov/DocumentCenter/Vew/14250 or at the Parks and Public Works Department, Monday through Friday between the hours of 8:00 am. and 1:00 p.m. 3. A completed the replacement worksheet (located on the reverse side of the application). 3. A completed the replacement worksheet (located on the reverse side of the application). 3. A completed the required the abuilding, mignitial inspection, a certified or consulting arborist's written report. 6. If part of a development application, a cortified or consulting arborist's written report. 6. If part of a development application, a cortified or consulting arborist's written report. 6. If part of a development application, a cortified or consulting arborist's written report. 6. If part of a development application, a cortified or consulting arborist's written report. 6. If part of a development applicat		Privet (Ligustrum <i>lucidum)</i>	
essential transportation facilities. Property owners are sell required to notify the Town prior to any removal or pruning and must receives approval form the Town before taking any emergency action. Contract the Parks and Public Works Department at (408) 399-5770 Monday through Friday between the hours of 7:00 a.m. to 4:00 p.m. or the Palice Department at (400) 354-6600 after hours or on weekends to report a dangerous tree and request approval for removal or pruning without a permit. Within 72 hours following removal or pruning, photos and a description of the emergency action taken must be submitted to the Department of Parks and Public Works. Requirements for a Removal or Pruning Permit * The following items are required to apply for a tree removal or pruning permit: 1. A completed application signed by the property owner. Applications are available online at http://www.loagatosca.gov/DocumentCenter/View/14925 or at the Parks and Public Works Department, Monday through Friday between the hours 0 8:00 a.m. and 1:00 p.m. 2.Photos and/or a site plan of the tree(s) proposed for removal or pruning (for pruning, proposed cuts should be indicated on photo). 3. A completed the replacement worksheet (located on the reverse side of the application). 4. Inspect trees prior to removal or major pruning (corp runing, proposed cuts should be indicated on photo). 3. I required by the Town Arboris following intitial inspection, a certified or consulting arborists written report. 6. If part of a development application, a cory of the assocribe tor register may be necessary to migrate the damages caused by the free. 8. For Large Protector The or Heritage Tree removal or pruning permits, notification will be sent to neighboring residents and property owners prior to susance by the Parks and Public Works Department (more information on noticing is provided on page 4 of this FAQ); 9. Payment of a permit frees, as established by Town resolution. The current fee is \$130 for one tree, plus \$65 for each additional tree included in t			
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prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is permitted unless approved and supervised by the certified or consulting arborist.		prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is	
Tree Protection Fencing Requirements*		Tree Protection Fencing Requirements*	
1. Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-feet deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished,			
posts may be supported by concrete base. 2.Posted eight and one-half-inch by eleven-inch sign on each tree fence stating: "Warning - Tree Protection Zone - This			
fence shall not be removed and is subject to penalty according to Town Code 29.10.1025" 3.Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits. 4.Tree protection fencing is required to remain in place throughout construction.		fence shall not be removed and is subject to penalty according to Town Code 29.10.1025" 3.Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits.	
*Any protected tree on-site will require replacement according to its appraised value if it is damaged beyond repair as a result of construction.			

Sec. 29.10.0985. - Determination and conditions of permit.

The Director shall determine whether to grant a permit. The Director may consult with other Town departments or outside agencies at his/her discretion. When a development application for any zoning approval, or subdivision of land, including lot line adjustment, is under consideration by the Planning Commission, the determination on the tree removal permit shall be made concurrently by the Planning Commission with the related matter. The Director or the deciding body shall impose, except when removal is permitted if the tree is dead or a Tree Risk Rating of Extreme or High is present, as a condition on which a protected tree removal permit is granted that two (2) or more replacement trees of a species and a size designated by the Director or designee, shall be planted in the following order of preference:

(1) Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private property. Table 3-1, Tree Canopy-Replacement Standard shall be used as a basis for this requirement. The person requesting the permit shall pay the cost of purchasing and planting the replacement trees.

(2) If a tree or trees cannot be reasonably planted on the subject property, an in-lieu payment in an amount set forth by the Town Council by resolution shall be paid to the Town Tree Replacement Fund to:

a. Add or replace trees on public property in the vicinity of the subject property; or

b. Add or replace trees or landscaping on other Town property; or

c. Support the Town's urban forestry management program.

Canopy Size of Removed Tree ¹	Replacement Requirement ^{2, 4}	Single Family Residential Replacement Option ^{3, 4}
10 feet or less	Two 24-inch box trees	Two 15-gallon trees
More than 10 feet to 25 feet	Three 24-inch box trees	Three 15-gallon trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees	Four 15-gallon trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees	Not Available
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees	Not Available

¹ To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

² Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

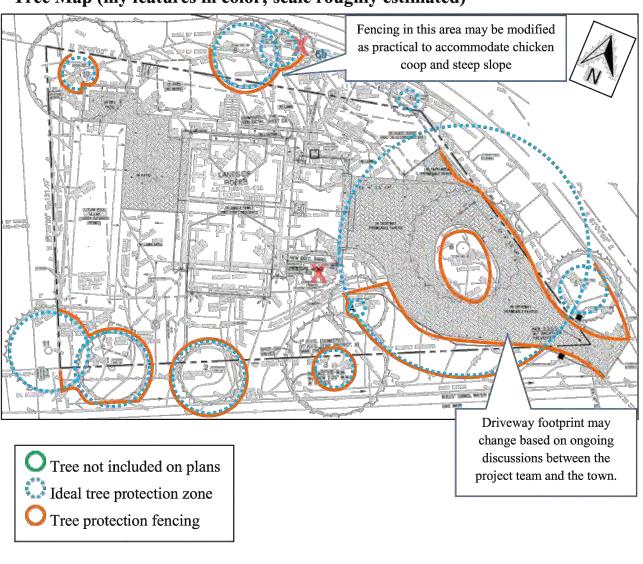
³ Single Family Residential Replacement Option is available for developed single family residential lots under n thousand (10,000) square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All fifteen-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on twenty-four-inch box tree rates as adopted by Town Council.

⁴ Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and section 29.10.0987 Special Provisions--Hillsides.

Replacement with native species is strongly encouraged. Most fruit and nut trees, palm trees, or "nuisance" species (see section 29.10.0970(2) of the Town Code) are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved, permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows: 24 inch box tree = \$250, 36 inch box tree = \$500

iii. Spread wood chips over the top of the decompacted soil to a depth of 3-6 inches.

Tree Map (my features in color; scale roughly estimated)³



³ Base imagery taken from plans provided to me by client via email

Prepared by Katherine Naegele for Studio3





INTERIORS REMODELS + ADDITIONS NEW CONSTRUCTION 638 UNIVERSITY AVE.

LOS GATOS CALIFORNIA 95032

т **408.292.3252** F 253.399.1125

THE CHESTNUT HOUSE 16 CHESTNUT AVENUE LOS GATOS CALIFORNIA 95030

A.P.N. 510-40-012

17 APRIL 2017

13 OCTOBER 2017 HPC SUBMITTAL

30 NOVEMBER 2017 PLANNING SUBMITTAL

13 JUNE 2018 HPC SUBMITTAL II

12 SEPTEMBER 2018 PLANNING SUBMITTAL II

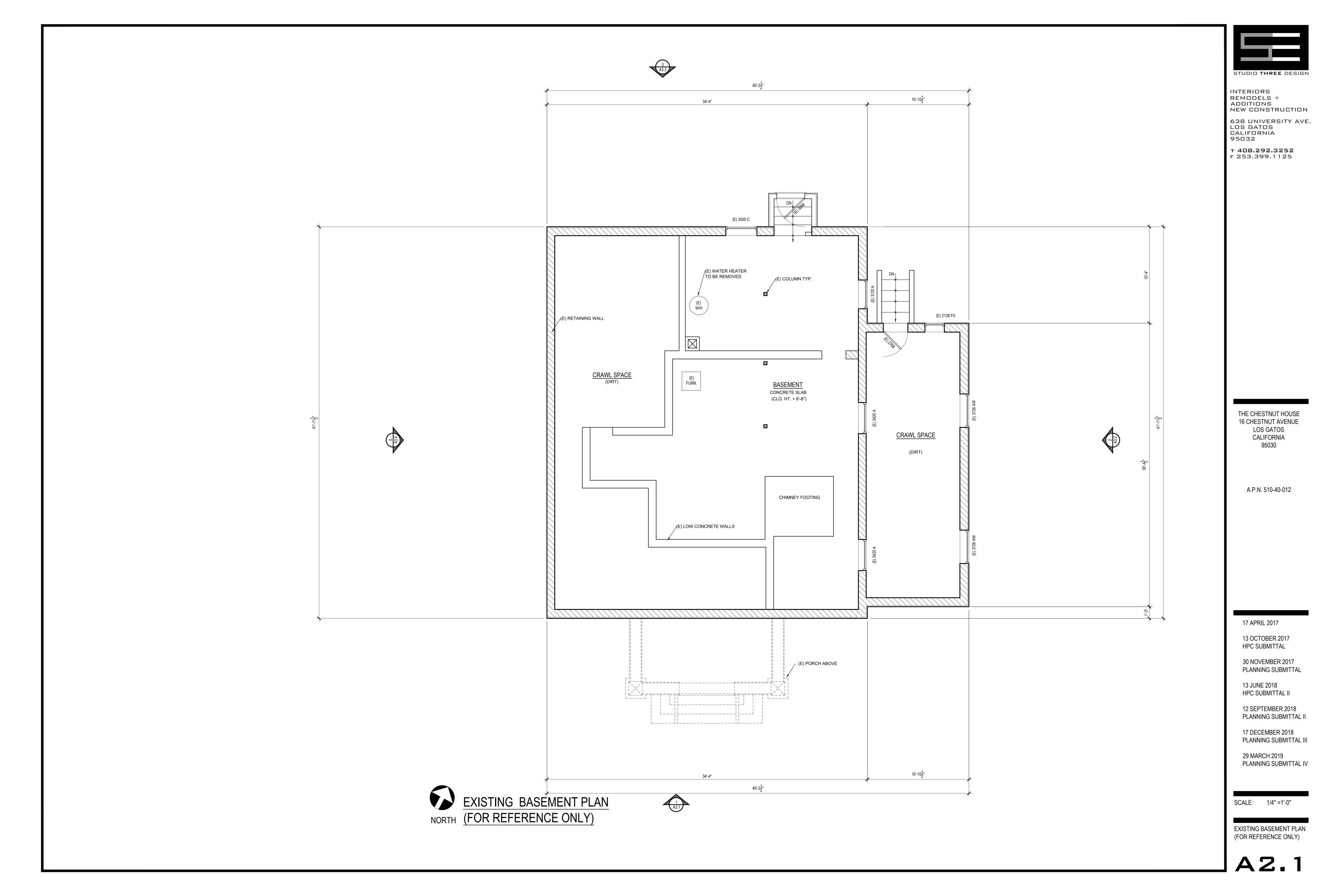
17 DECEMBER 2018 PLANNING SUBMITTAL III

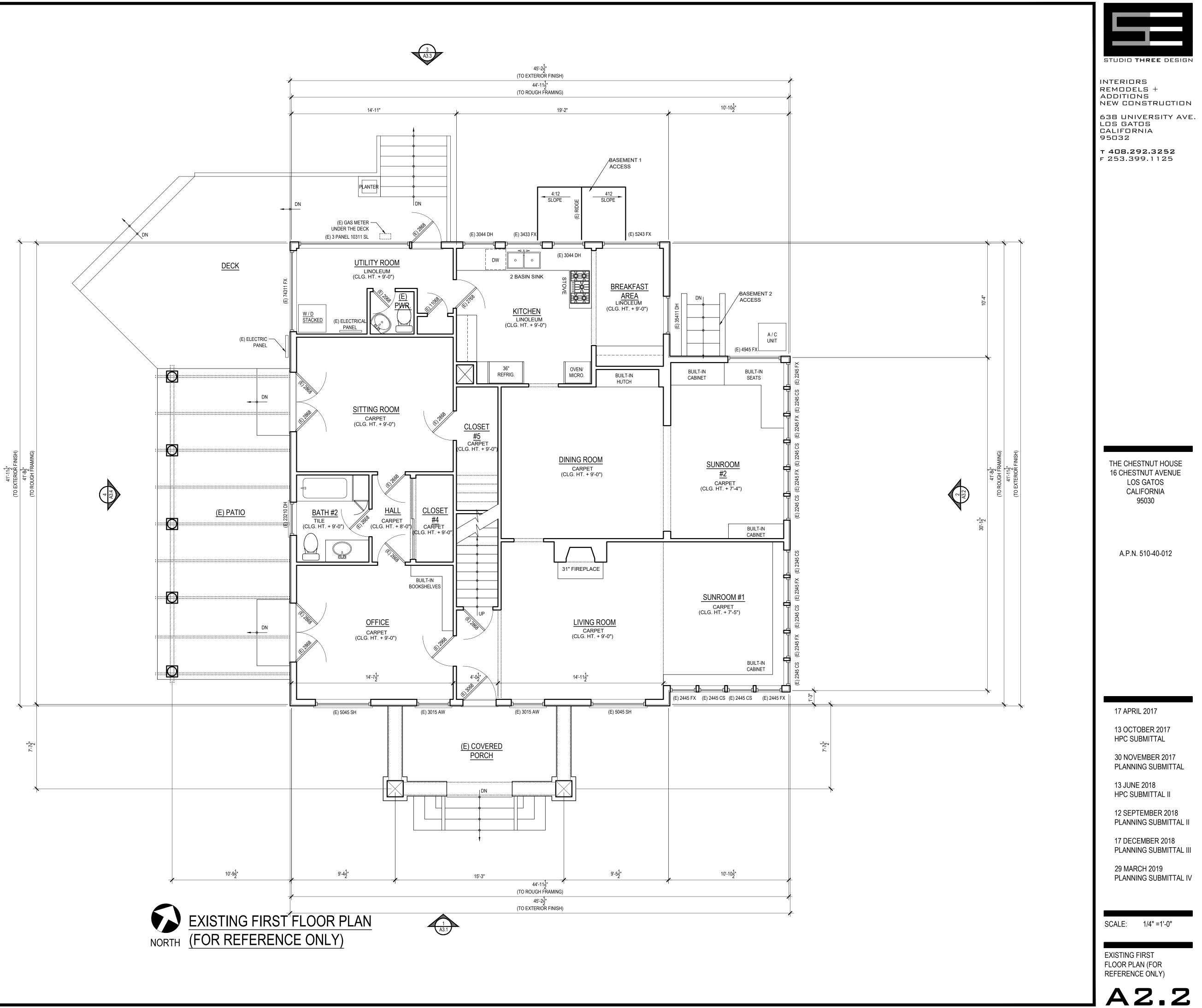
29 MARCH 2019 PLANNING SUBMITTAL IV

SCALE: N/A

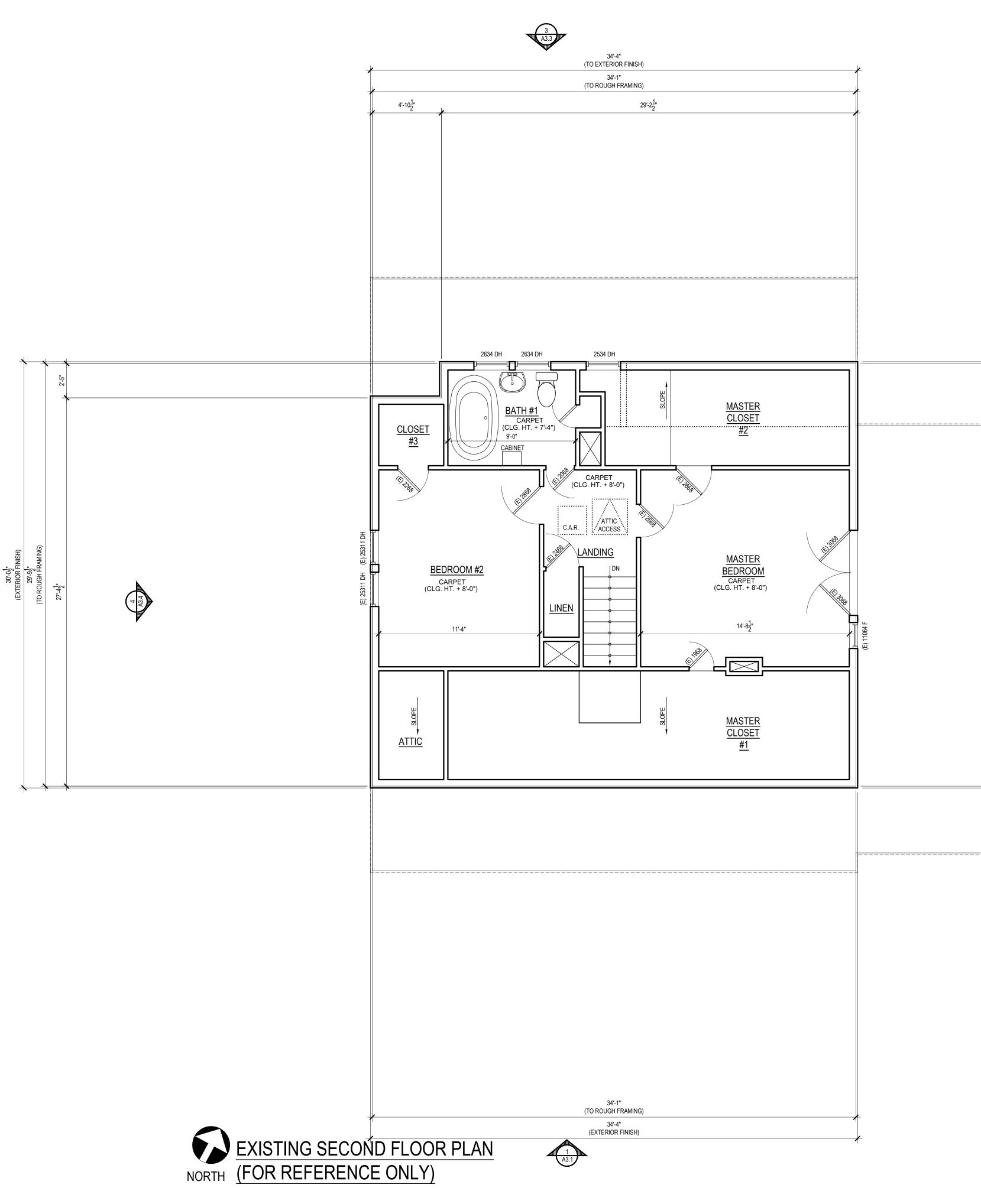
TREE PRESERVATION INSTRUCTIONS

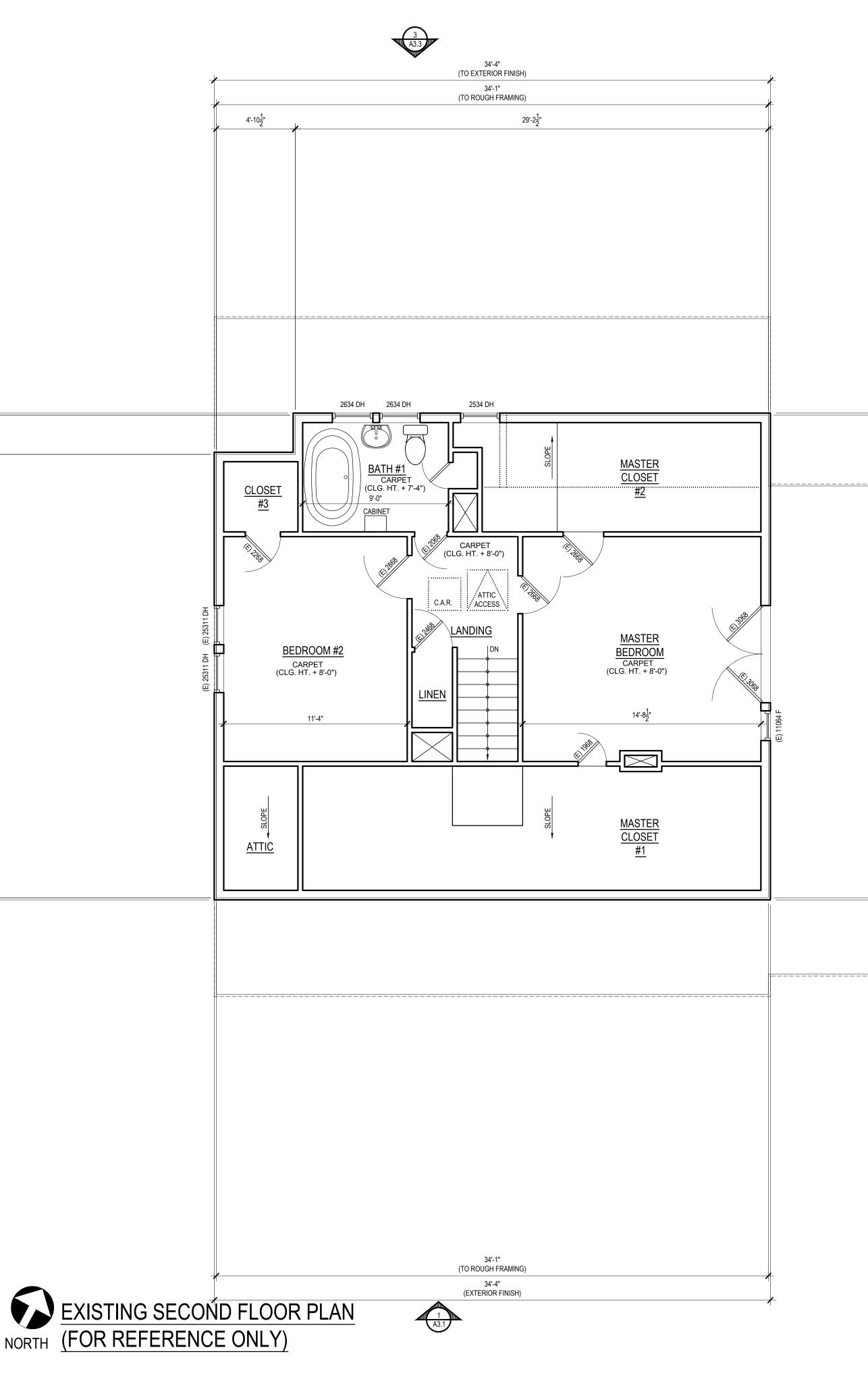
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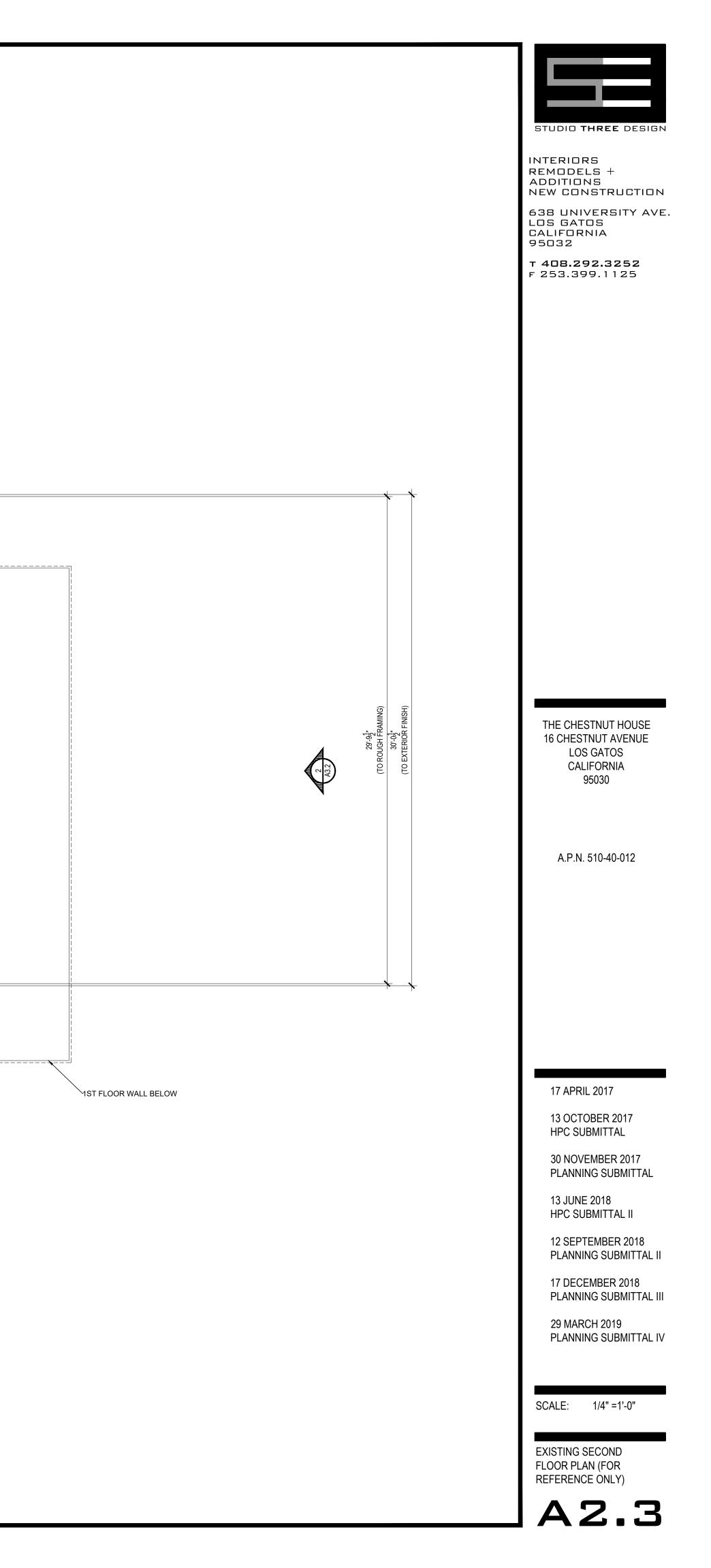


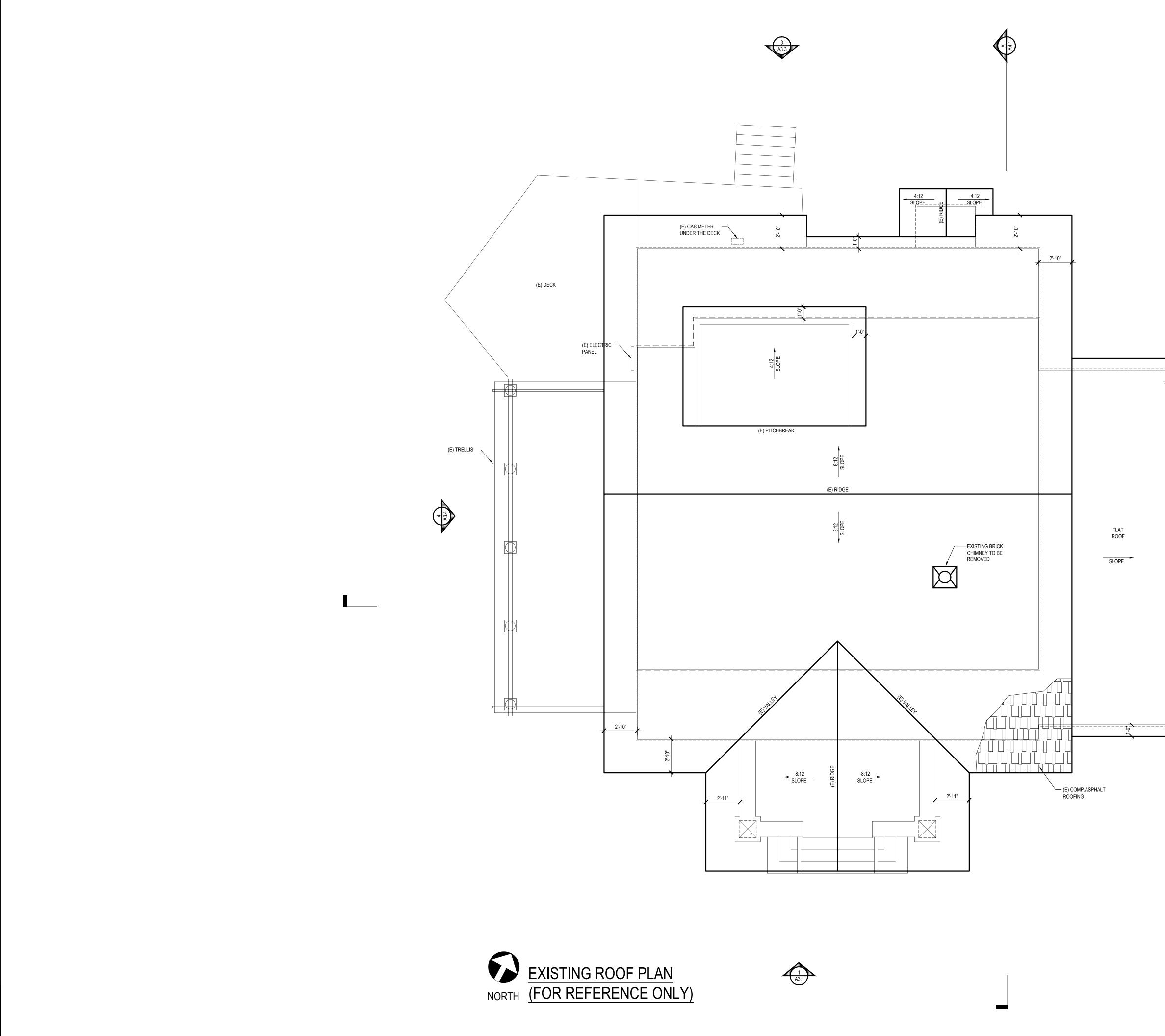


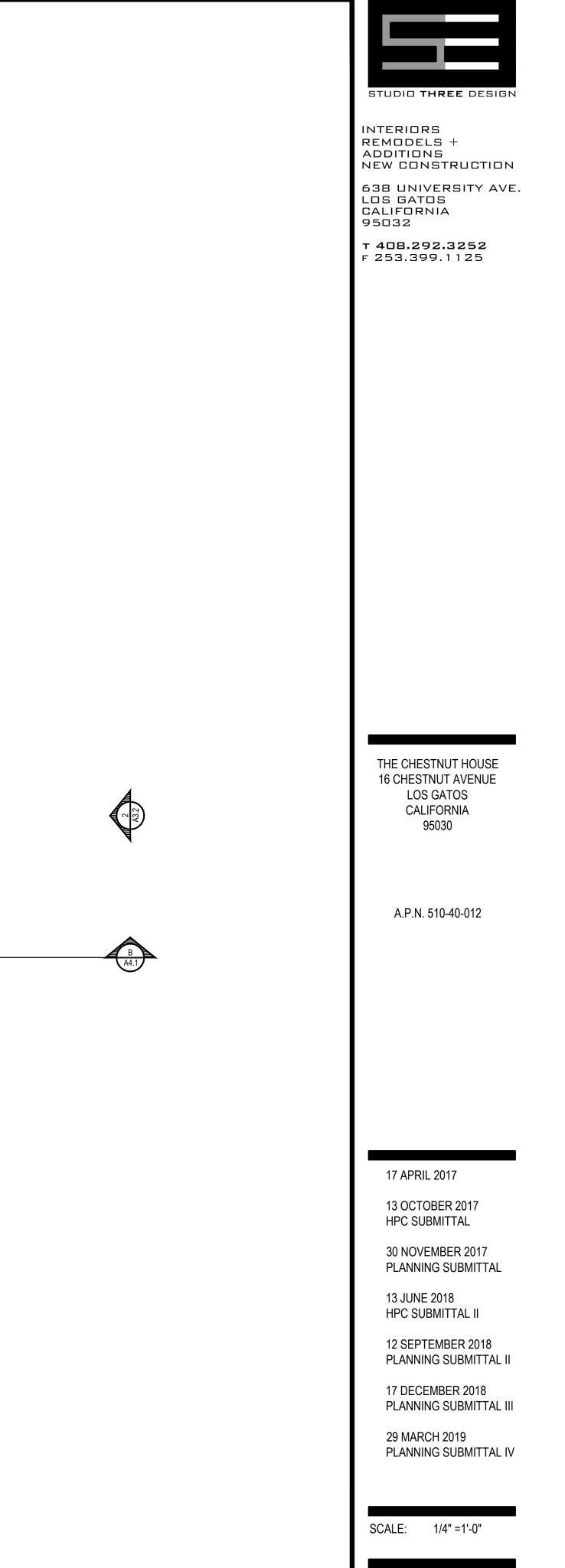






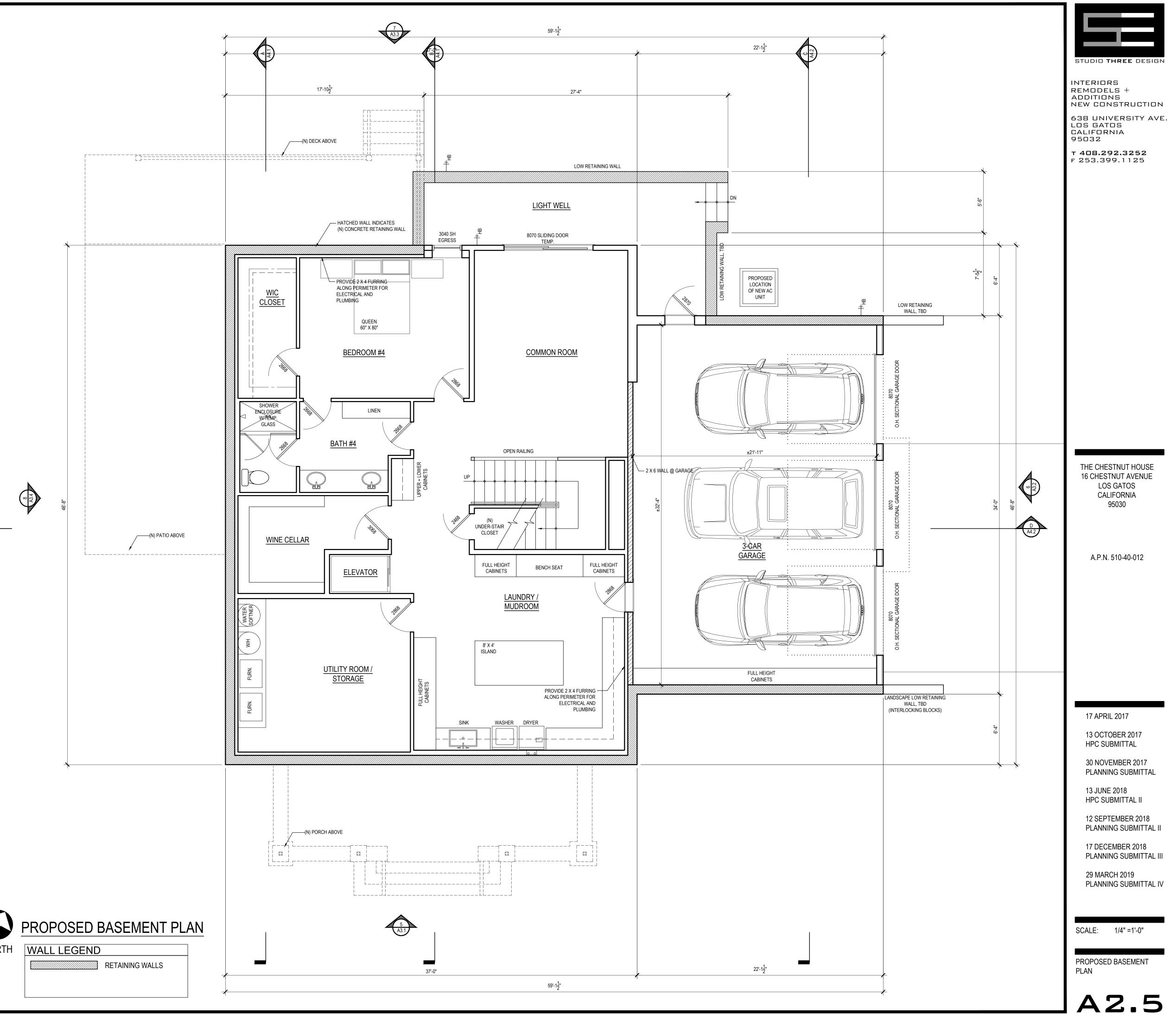


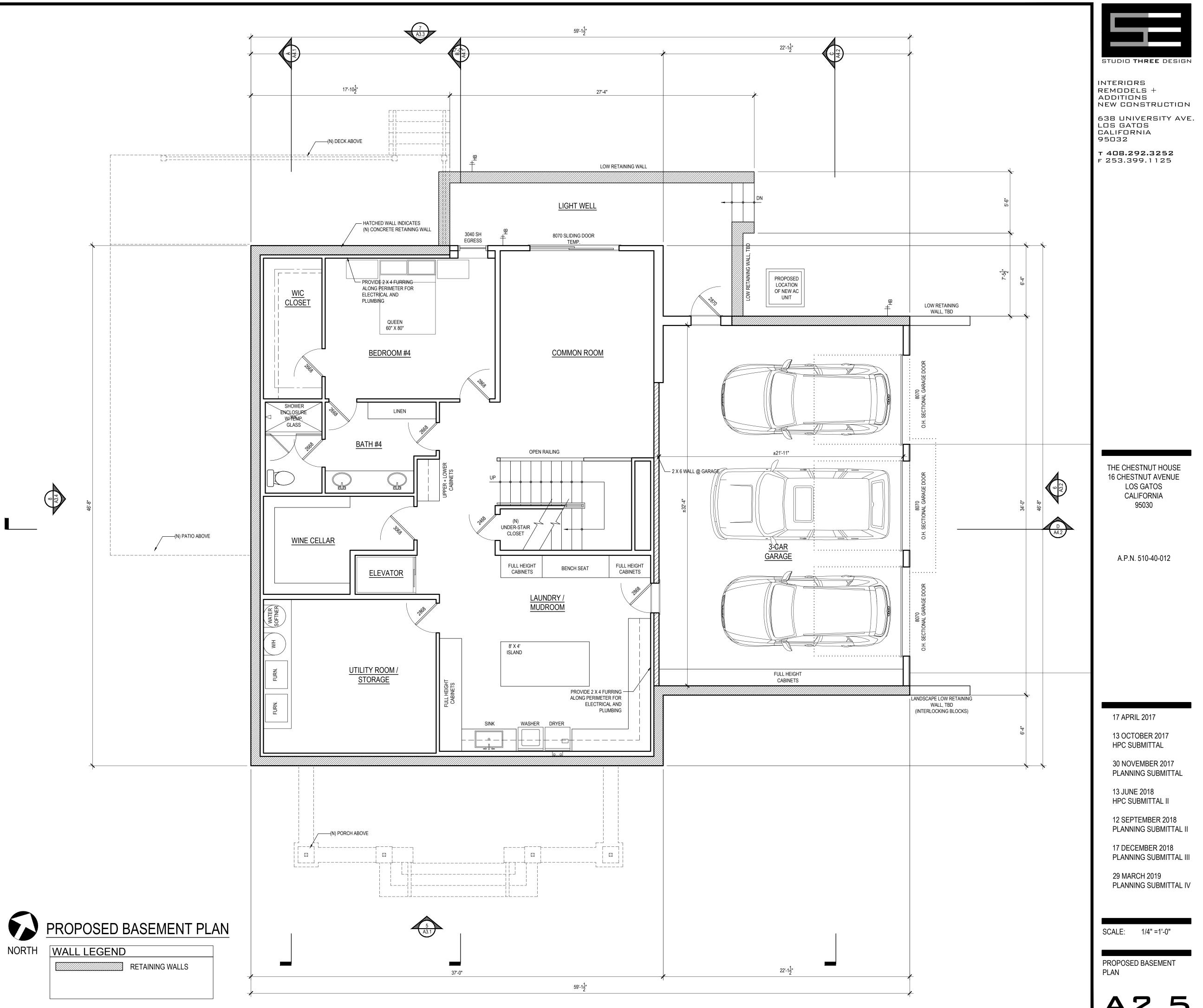


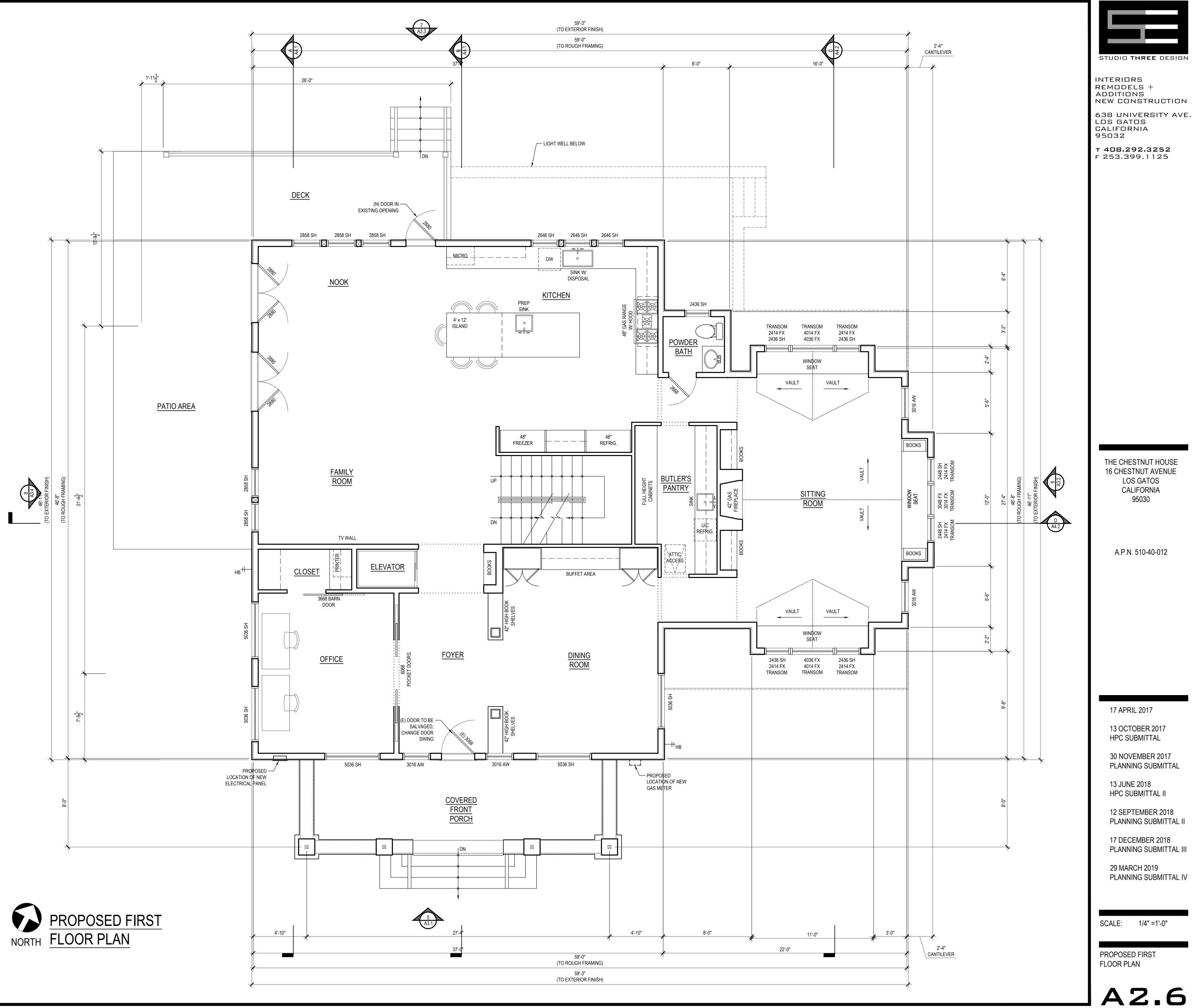


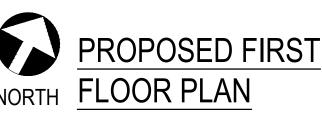


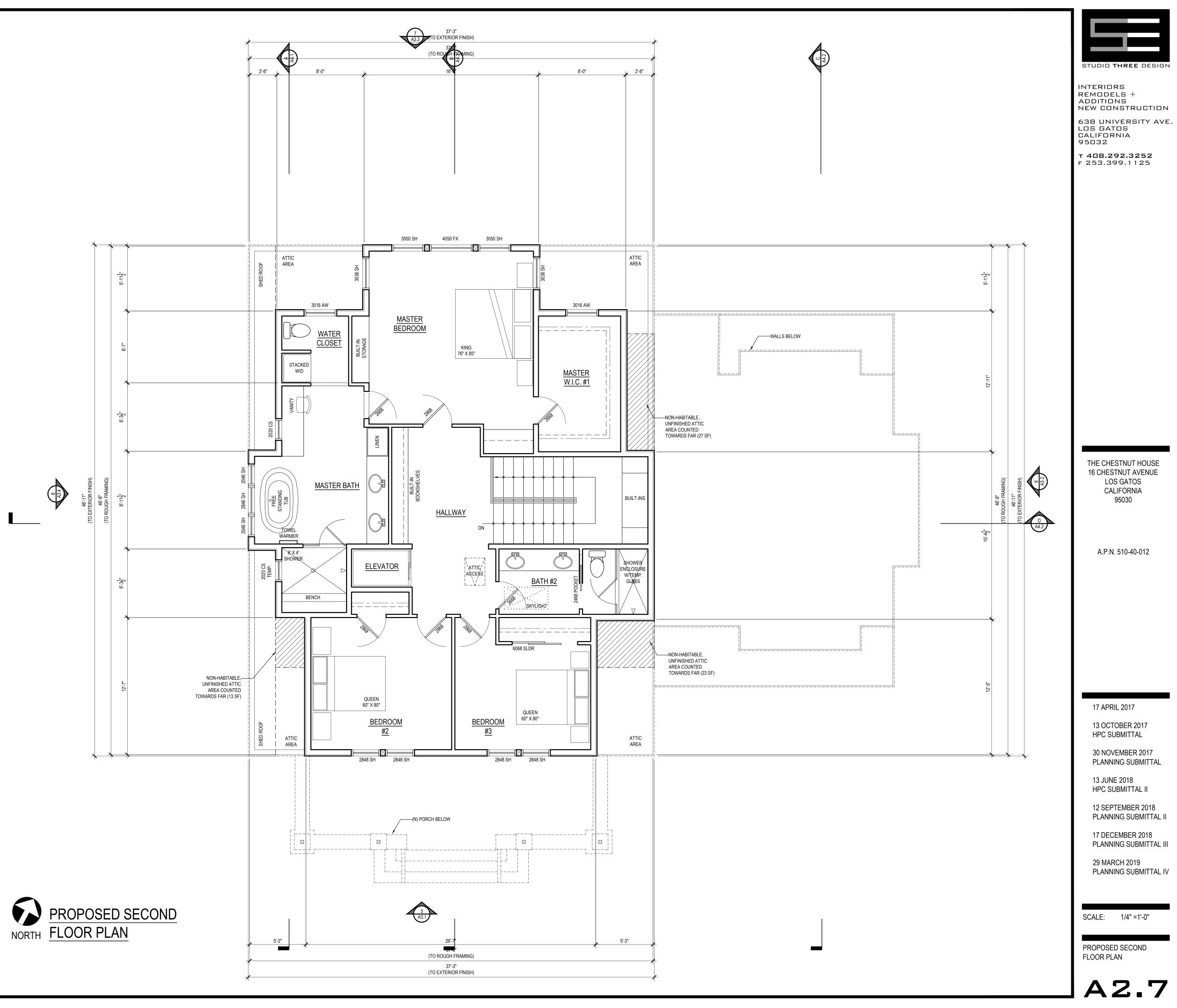




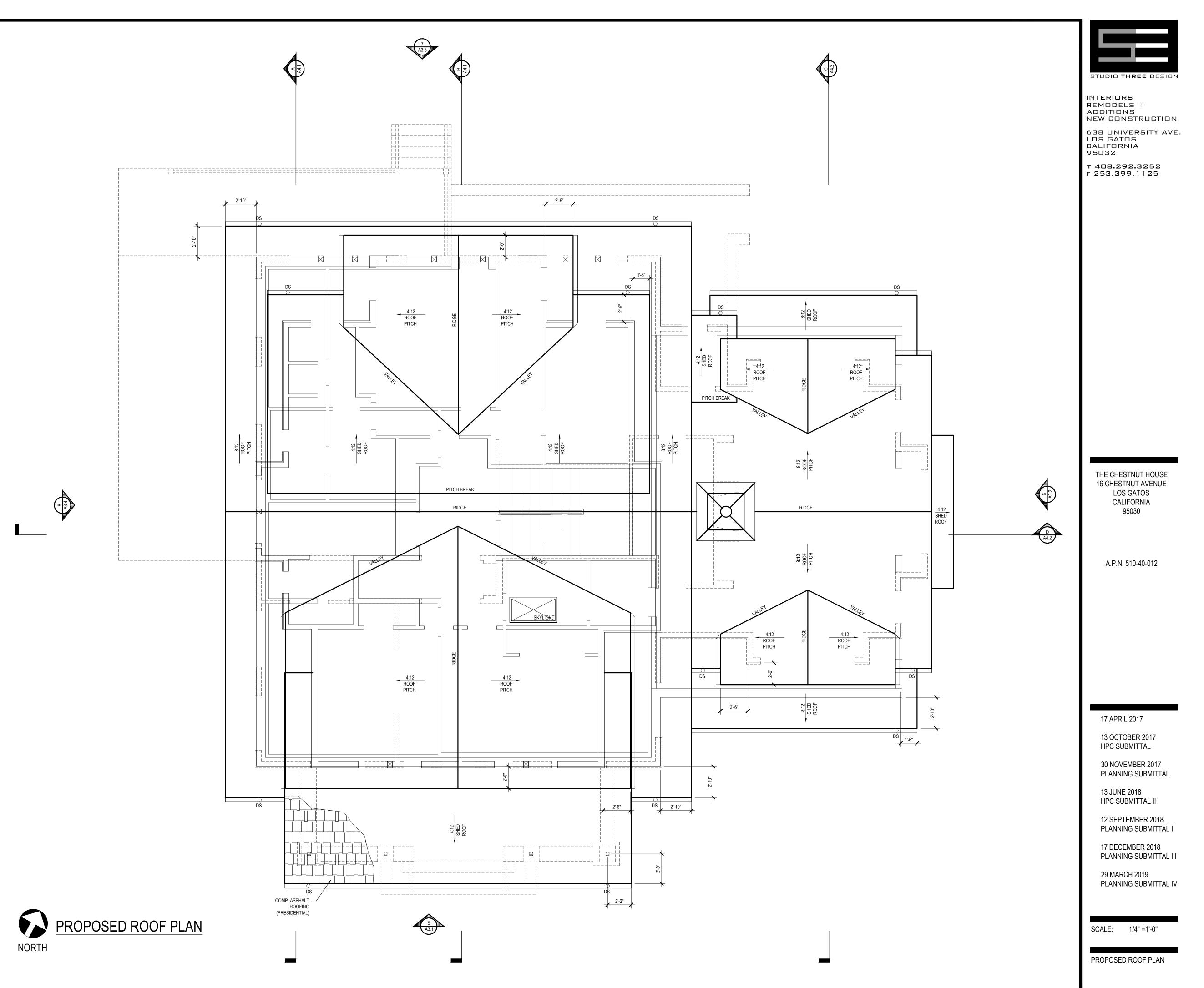




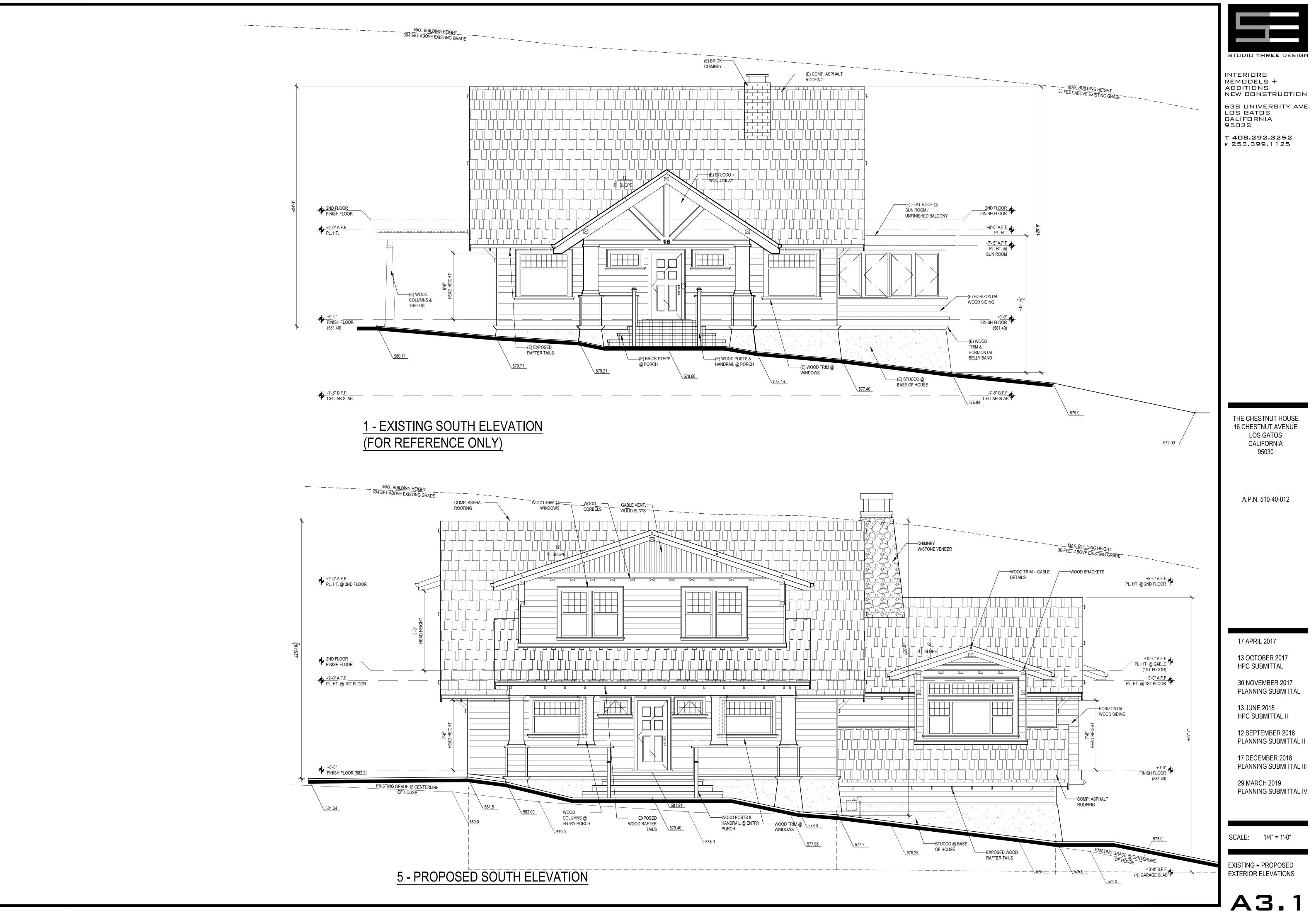










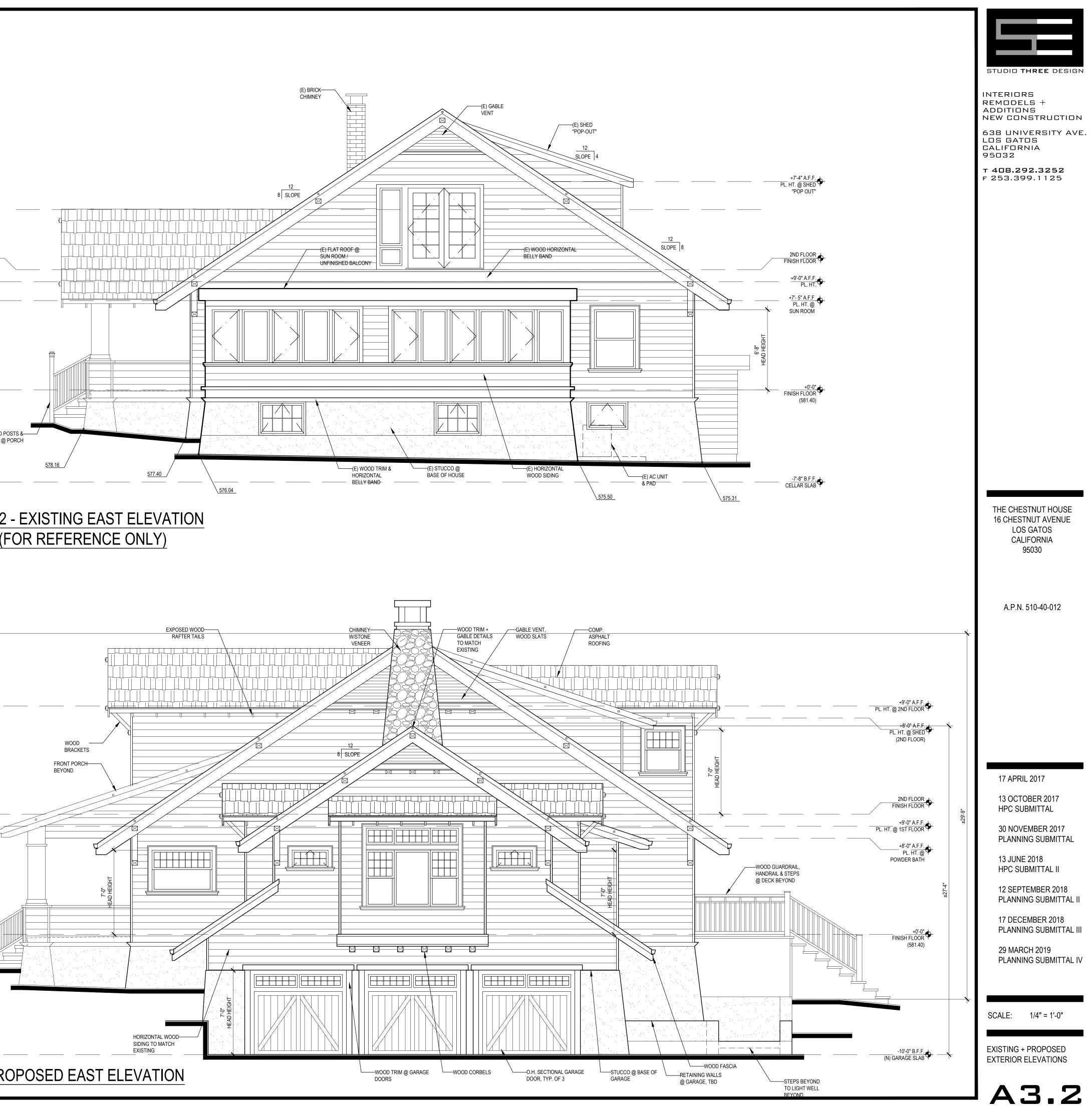




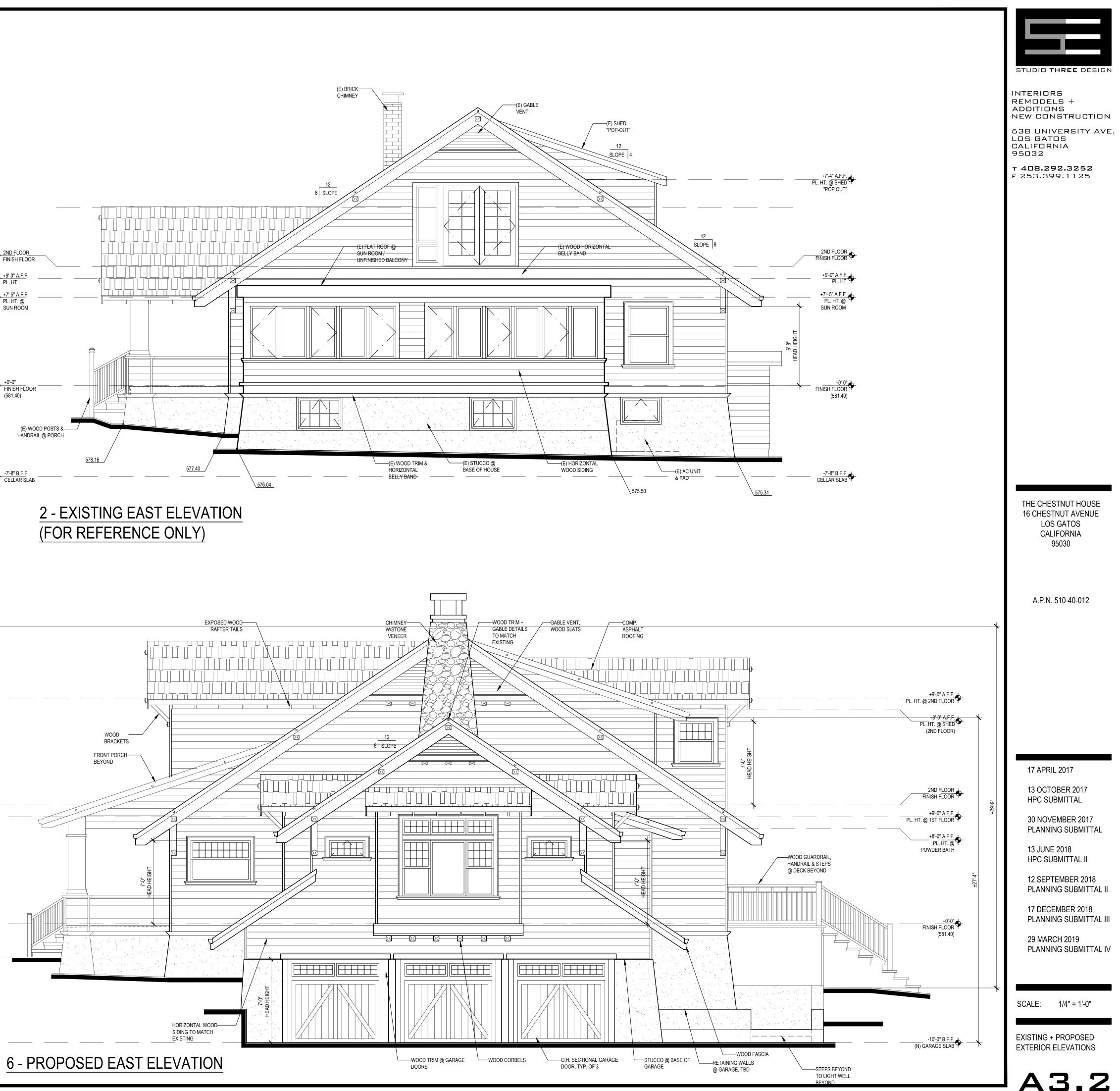
+0'-0" FINISH FLOOR (581.40)

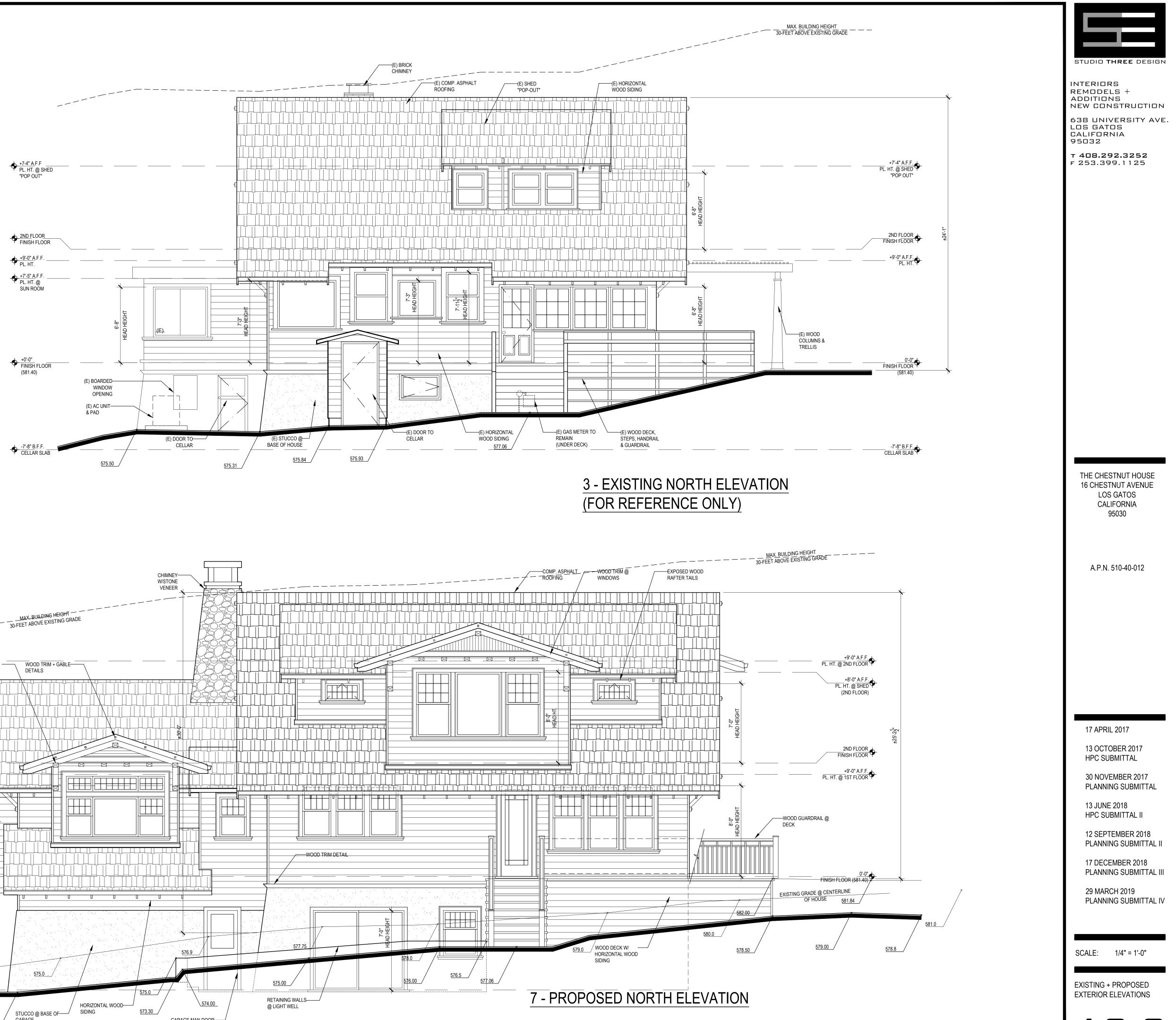
-7'-8" B.F.F. CELLAR SLAB

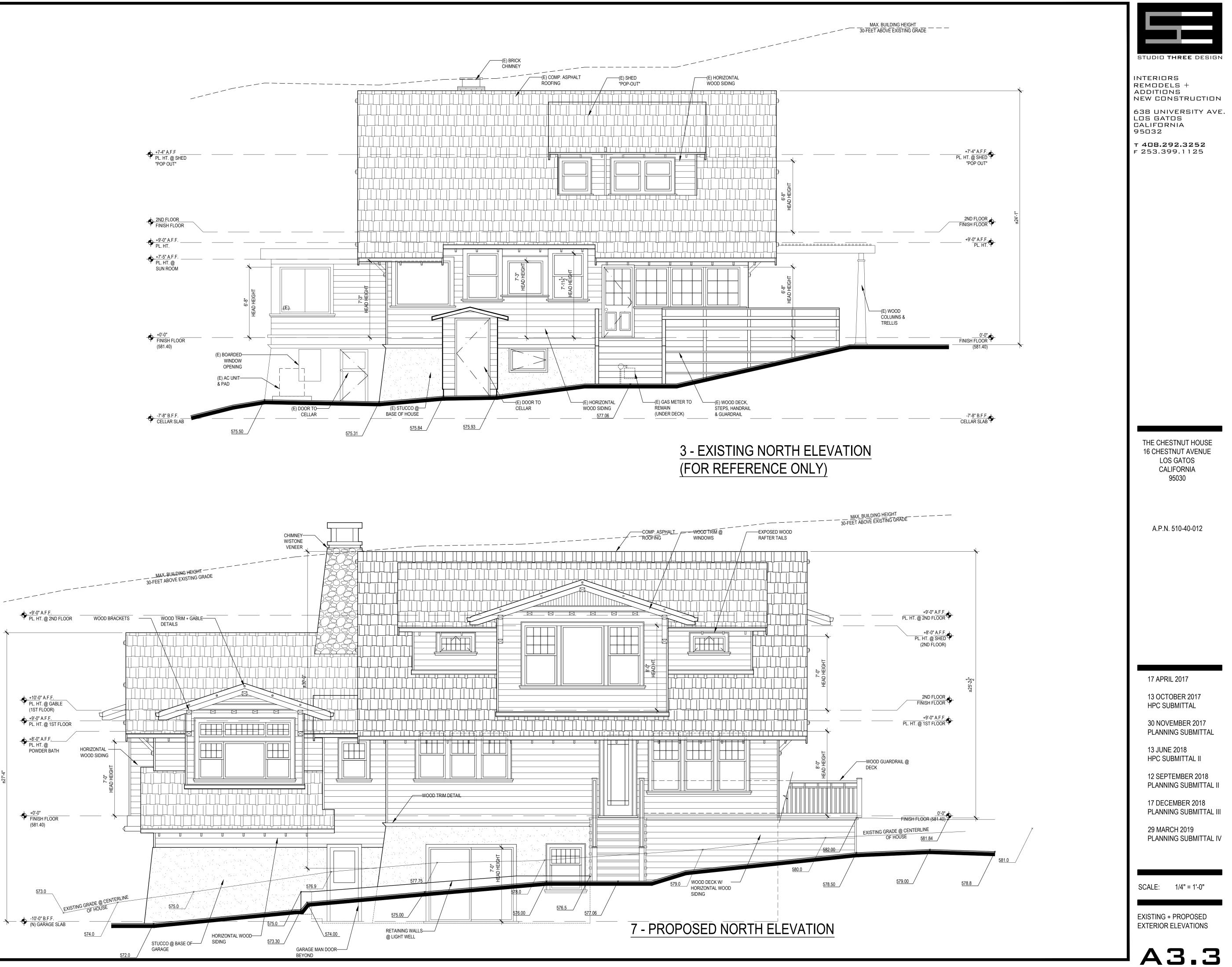
-	
 <u>→ 2ND FLOOR</u> FINISH FLOOR <u>+9'-0" A.</u>F.F. PL. HT. @ 1ST FLOOR 	
+0'-0" FINISH FLOOR (581.40)	

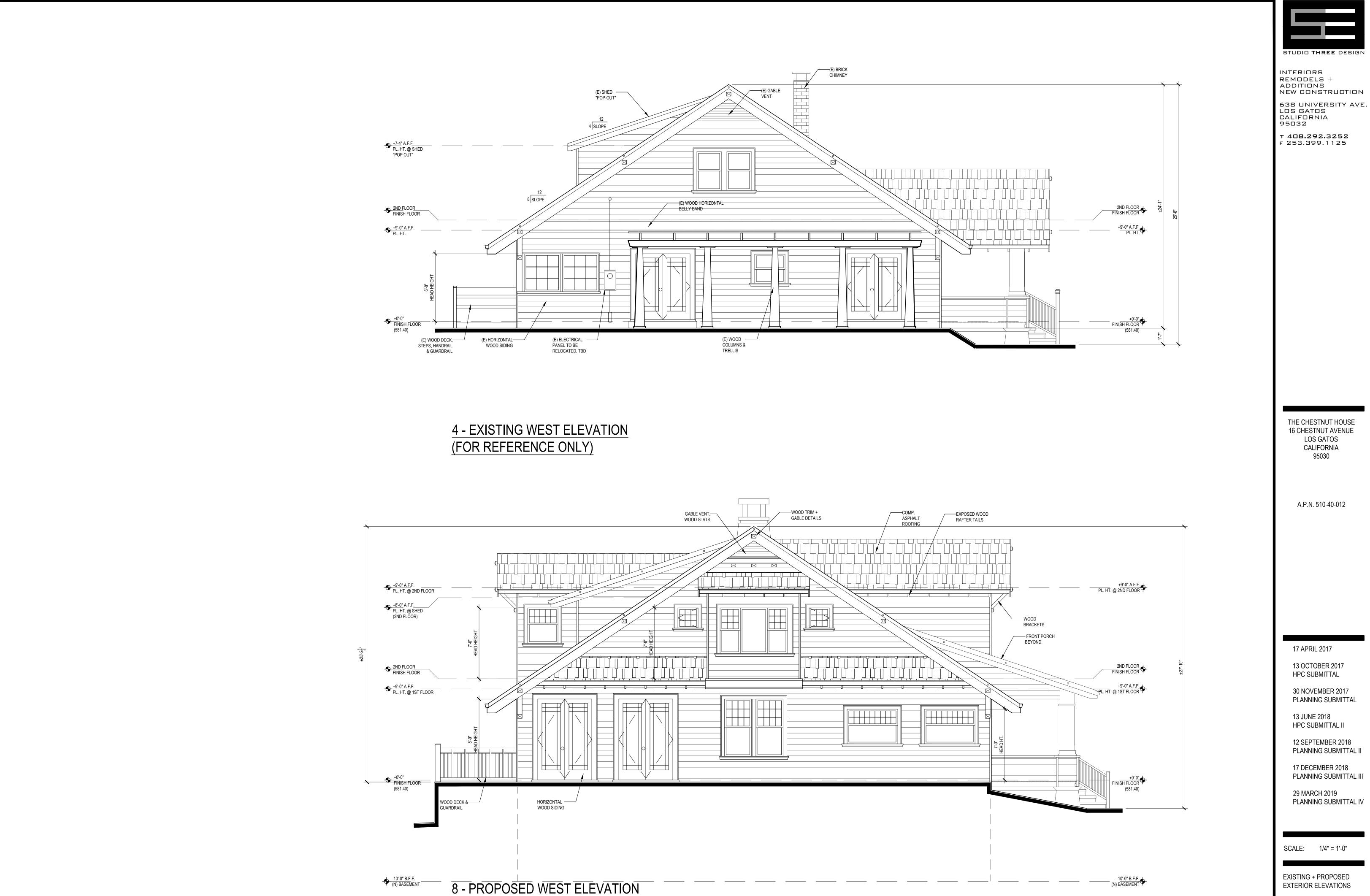


(FOR REFERENCE ONLY)

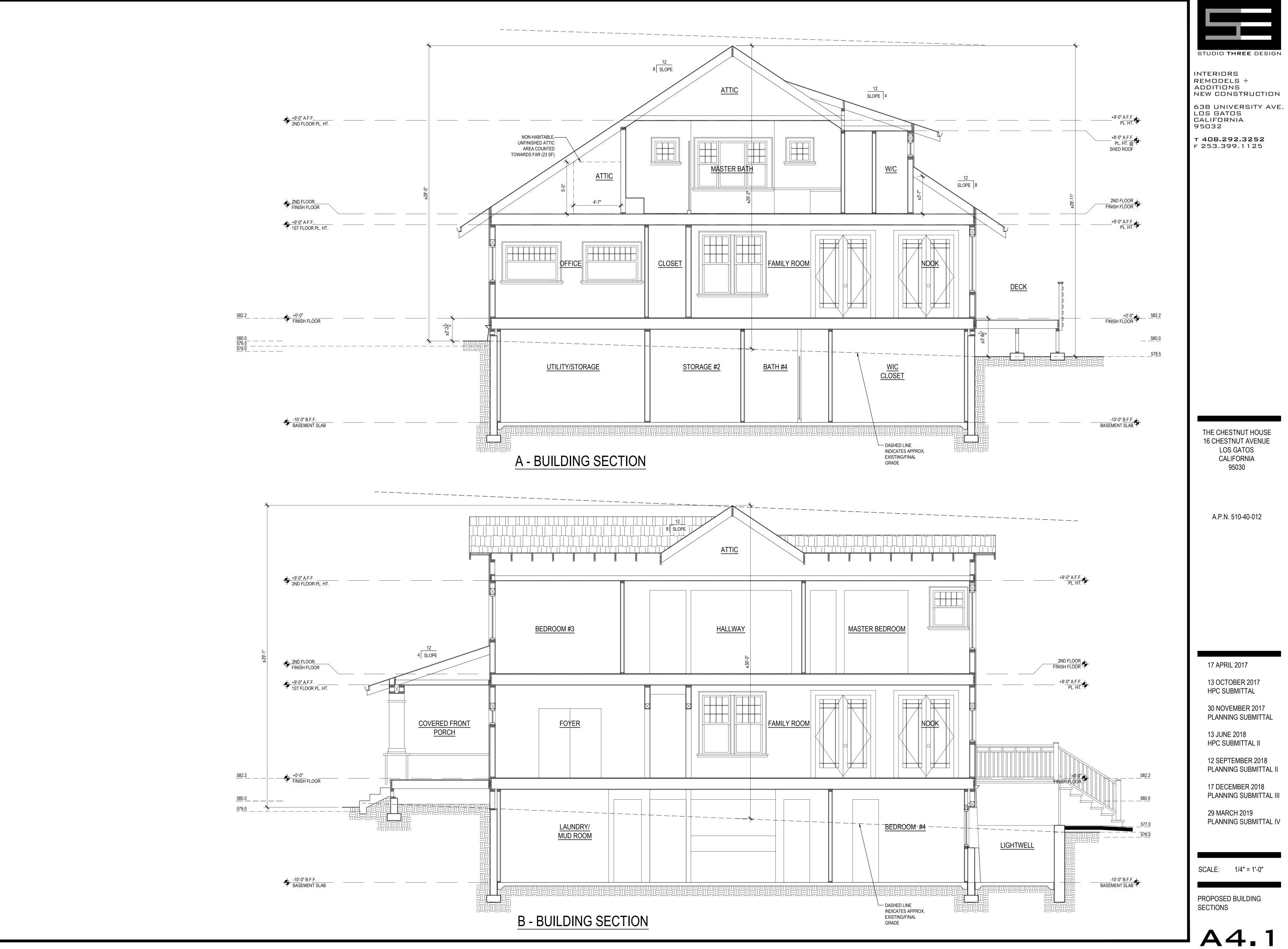




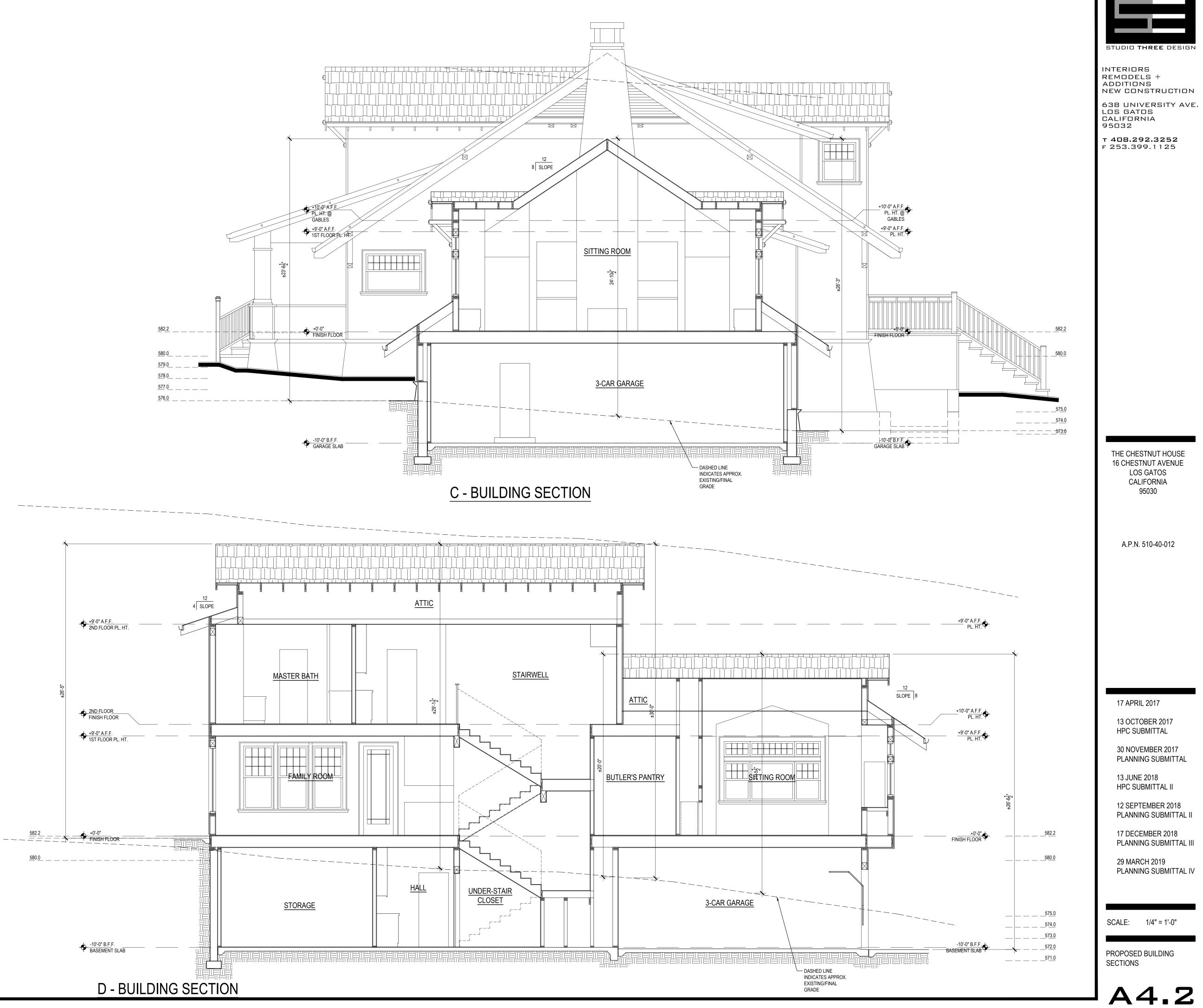


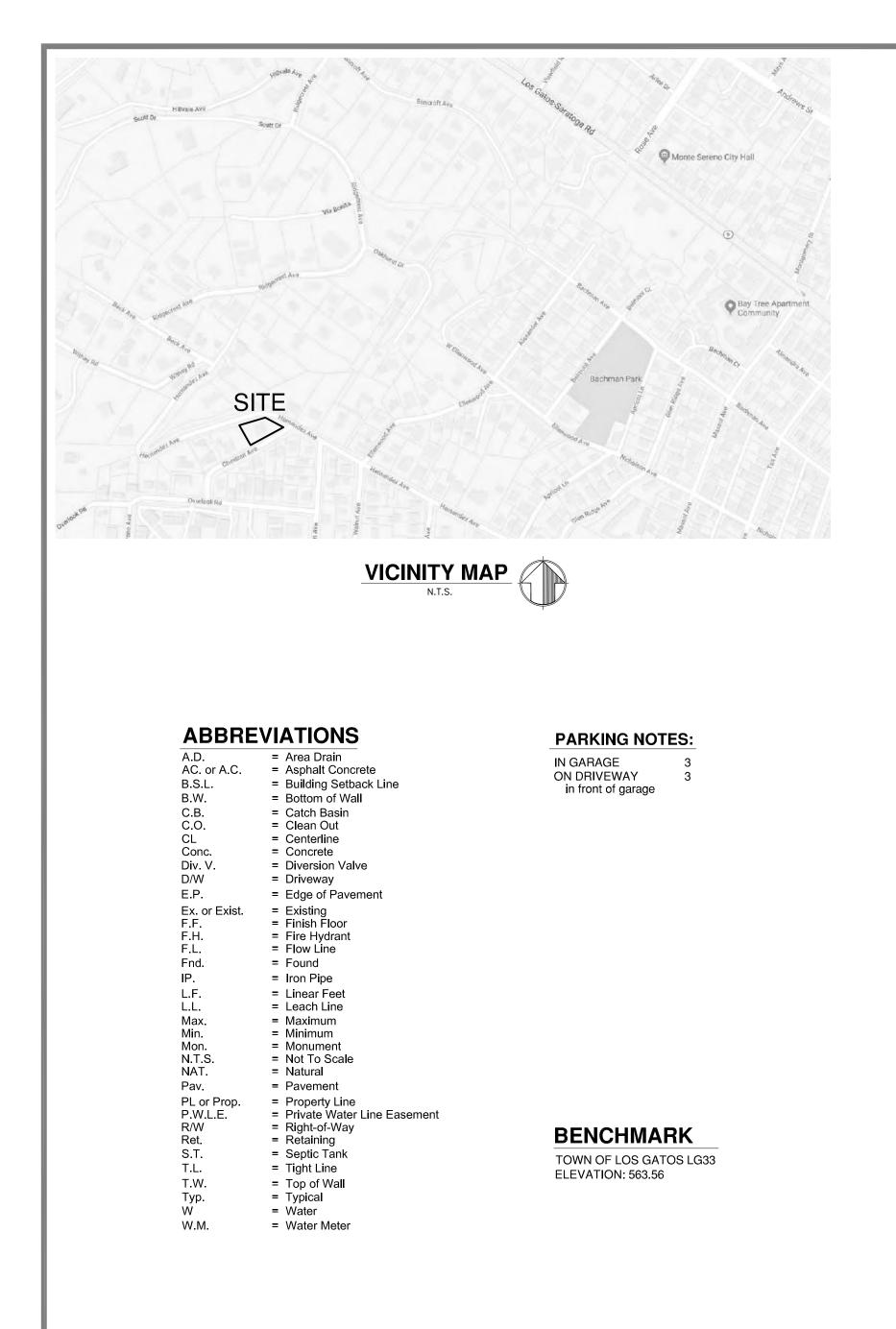


A3.4



580.0	_
579.0	_
578.0	_
577.0	_
576.0	



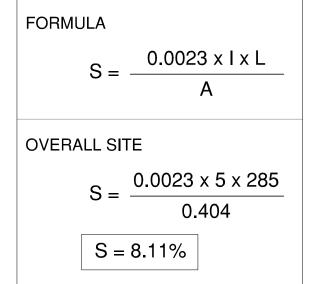


GRADING NOTE: ALL GRADING SHALL BE IN ACCORDANCE WITH "GEOTECHNICAL INVESTIGATION" PREPARED FOR THIS SITE BY: TING & ASSOCIATES, INC. DATED SEPTEMBER 25, 2018.

GENERAL NOTES

- 1. THE DATE OF THE FIELD SURVEY WAS APRIL 2017 & NOVEMBER 2018.
- 2. CONTOUR INTERVAL IS 1-FOOT WITH SPOT ELEVATIONS. 3. THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
- 4. BASIS OF ELEVATION: TOWN OF LOS GATOS BENCHMARK: "LG33" ELEVATION: 563.56
- 5. PROPERTY LINES SHOWN ARE RECORD DATA.
- 6. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF. 7. ALL GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TING & ASSOCIATES, INC. DATED SEPTEMBER 25, 2018.
- 8. THE DRIVEWAY SHALL BE 12' WIDE MIN. OR PER TOWN OF LOS GATOS STANDARDS.
- 9. THE LONGITUDINAL PROFILE OF THE DRIVEWAY SHALL FOLLOW THE EXISTING TERRAIN TO MINIMIZE GRADING. 10. MAINTAIN NATURAL DRAINAGE PATTERN AND EXISTING SHEET-FLOW
- INTO EXISTING CULVERTS. 11. ALL DOWNSPOUTS SHALL HAVE A SPLASH BOX AND DIVERT WATER
- AWAY FROM BUILDING INTO LANDSCAPED AREA.
- 12. ALL NEW UTILITIES SHALL BE UNDERGROUND

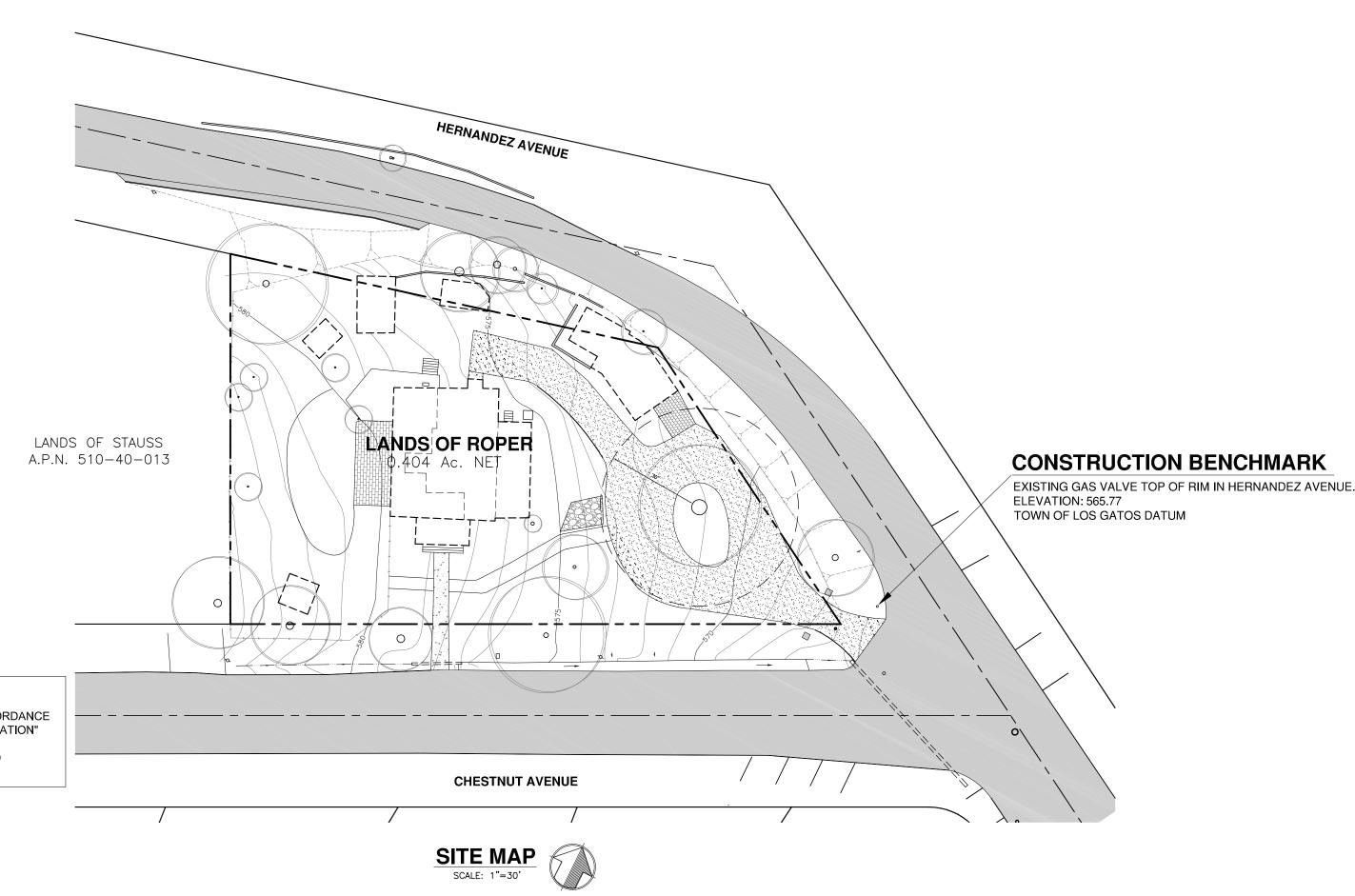
AVERAGE SLOPE



PLANS FOR THE ARCHITECTURE AND SITE APPROVAL (ASA) **NEW SINGLE FAMILY RESIDENCE**

LANDS OF ROPER 16 CHESTNUT AVENUE, LOS GATOS A.P.N. 510-40-012 TOWN OF LOS GATOS FILE NO. S-17-047

	SHEET INDEX
SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	UTILITY PLAN
C6	SECTIONS AND DETAILS
C7	EROSION CONTROL PLAN & TREE PROTECTION DETAILS
C8	BLUEPRINT FOR A CLEAN BAY



IMPERVIOUS COVERAGE

LOCATION	SQUARE FEET	
PRE-CONSTRUCTION (EXISTING)		
EX. HOUSE & PORCH ROOF*	2,300	
EX. GREEN HOUSE ROOF*	104	
EX. CHICKEN COOP ROOF*	181	
EX. AC DRIVEWAY*	3,585	
EX. BRICK PATIO & STAIRS*	367	
EX. TILES*	112	
EX. SECONDARY DWELLING ROOF	700	$ \longrightarrow$
EX. SHED ROOF	298	$ \longrightarrow$
EX. GAZEBO	128	$ \longrightarrow$
EX. CONCRETE WALKWAY	302	$ \longrightarrow$
EX. WALLS & ROCKS	165	\rightarrow
TOTAL	8,242	
	•	

* DEMOLISH AND REMOVE

IMPERVIOUS COVERAGE

LOCATION	SQUARE FEET
POST-CONSTRUCTION (NEW)	·
RESIDENCE ROOF	3,110
LIGHT WELL	180
POOL DECK	590
INTERLOCKING BLOCK WALL	55
EXISTING (TO REMAIN)	
EX. SECONDARY DWELLING ROOF	700
EX. SHED ROOF	298
EX. GAZEBO	128
EX. CONCRETE WALKWAY (PORTION)	100
EX. WALLS & ROCKS (PORTION)	54
TOTAL	5,215
3.027 S.F. LESS THAN PRE-CONSTRUCTIO	N (EXISTING)

3,027 S.F. LESS THAN PRE-CONSTRUCTION (EXISTING)

PERVIOUS COVERAGE

SQUARE

FEET

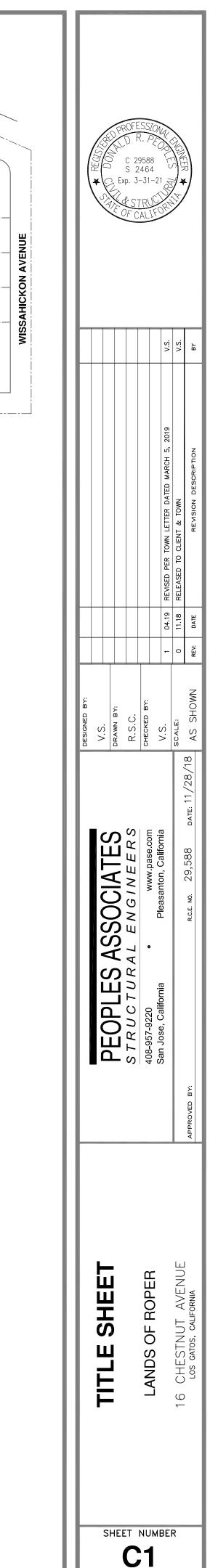
3,255

790

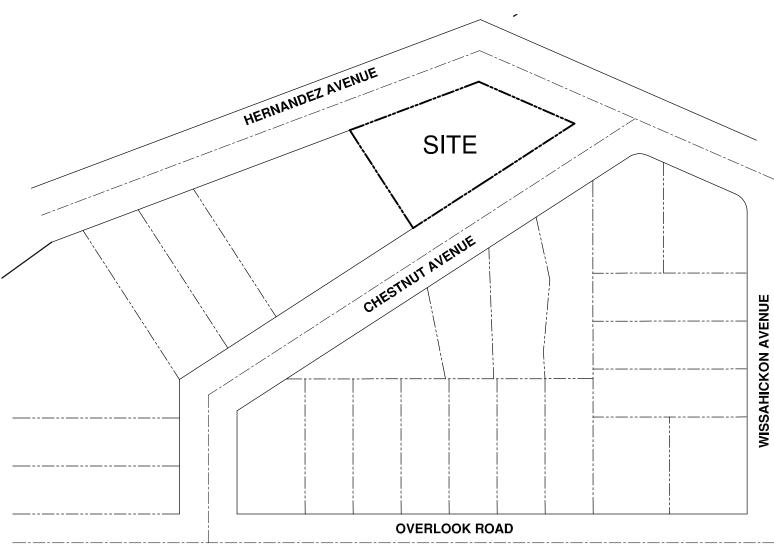
280

4,325

	LOCATION
POST-CONSTRU	JCTION
DRIVEWAY	
ΡΑΤΙΟ	
BBQ AREA	
	TOTAL



OF 8 SHEETS DRAWING NO. 18045-C1





GENERAL NOTES

	OWNERS:	KIM ROPER 13 CHESTNUT AVENUE LOS GATOS, CA 95030
	DEVELOPER:	KIM ROPER (SAME AS OWNER)
	ENGINEER:	PEOPLES ASSOCIATES (SEE TITLE BLOCK)
	PROPERTY ADDRESS:	16 CHESTNUT AVENUE LOS GATOS, CA 95030
	EXISTING ZONING:	R-1:12
	PROPOSED ZONING:	R-1:12
	NET ACREAGE:	17,606 S.F. (0.404 Ac.)
	EXISITNG USE:	SINGLE FAMILY RESIDENCE
	PROPOSED USE:	SINGLE FAMILY RESIDENCE
	STORM:	EXISTING NATURAL DRAINAGE PATTERNS EXISTING CULVERTS
	SANITARY:	WEST VALLEY SANITATION DISTRICT EXISTING IN CHESTNUT AVENUE AND ON-SITE
	WATER:	SAN JOSE WATER CO. EXISTING IN CHESTNUT AVENUE AND ON-SITE
	GAS:	P.G.&E. EXISTING IN CHESTNUT AVENUE AND ON-SITE
E.	ELECTRIC:	P.G.&E. EXISTING IN CHESTNUT AVENUE AND ON-SITE
	TELEPHONE:	AT&T EXISTING IN CHESTNUT AVENUE AND ON-SITE
	CABLE TV:	COMCAST EXISTING IN CHESTNUT AVENUE AND ON-SITE
	A.P.N.	510-40-012

PROPERTY INFORMATION

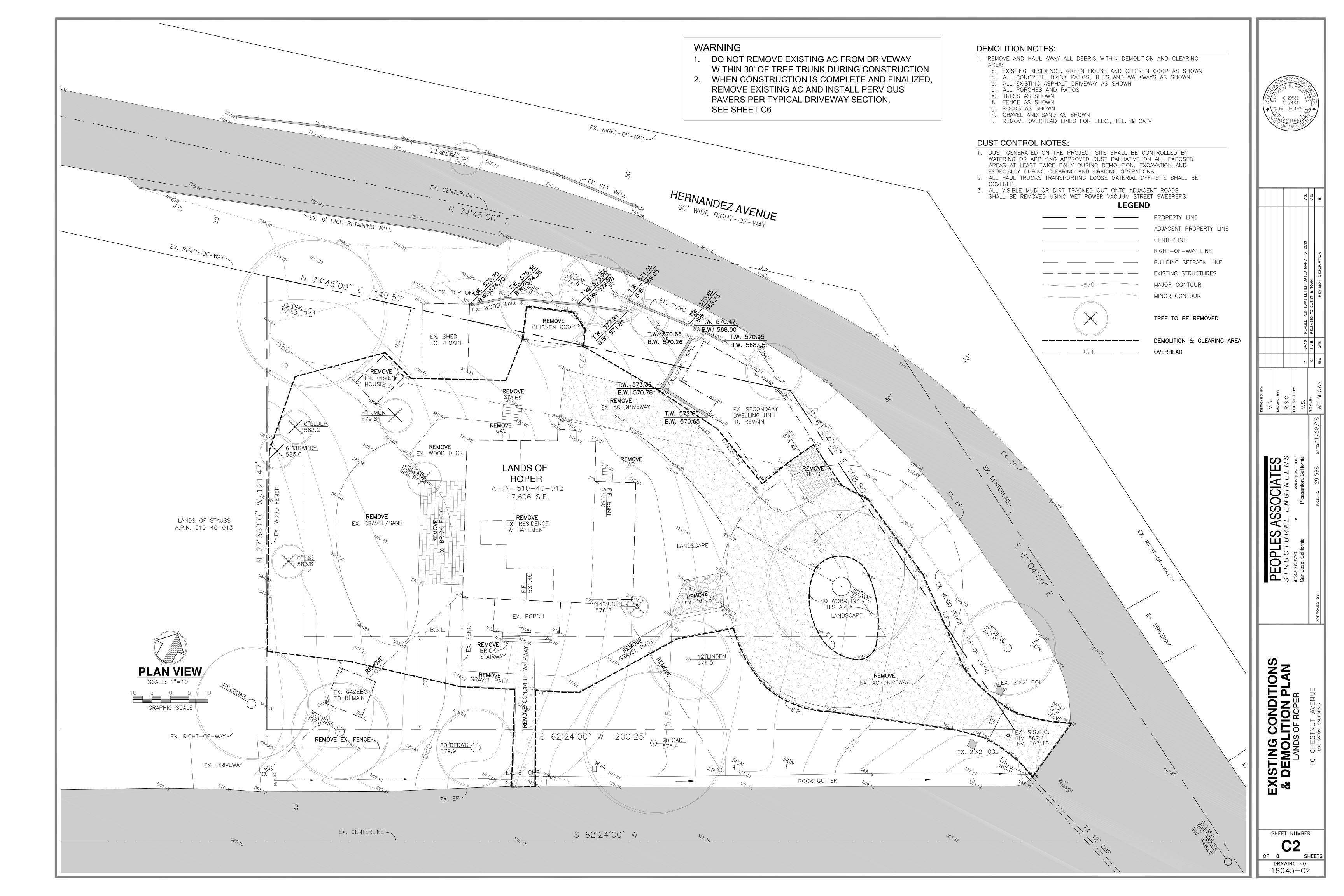
EX. ZONING:	R-1:12
SETBACKS:	FRONT = 25'
	SIDE = 10'
	REAR = 20'
	STREET = 15'
	POOL = 5'
LOT COVERAGE:	40% MAX.
MAX HEIGHT	30' FROM NATURAL OR FINISH GRADE
PRELIMINARY TITLE I	REPORT

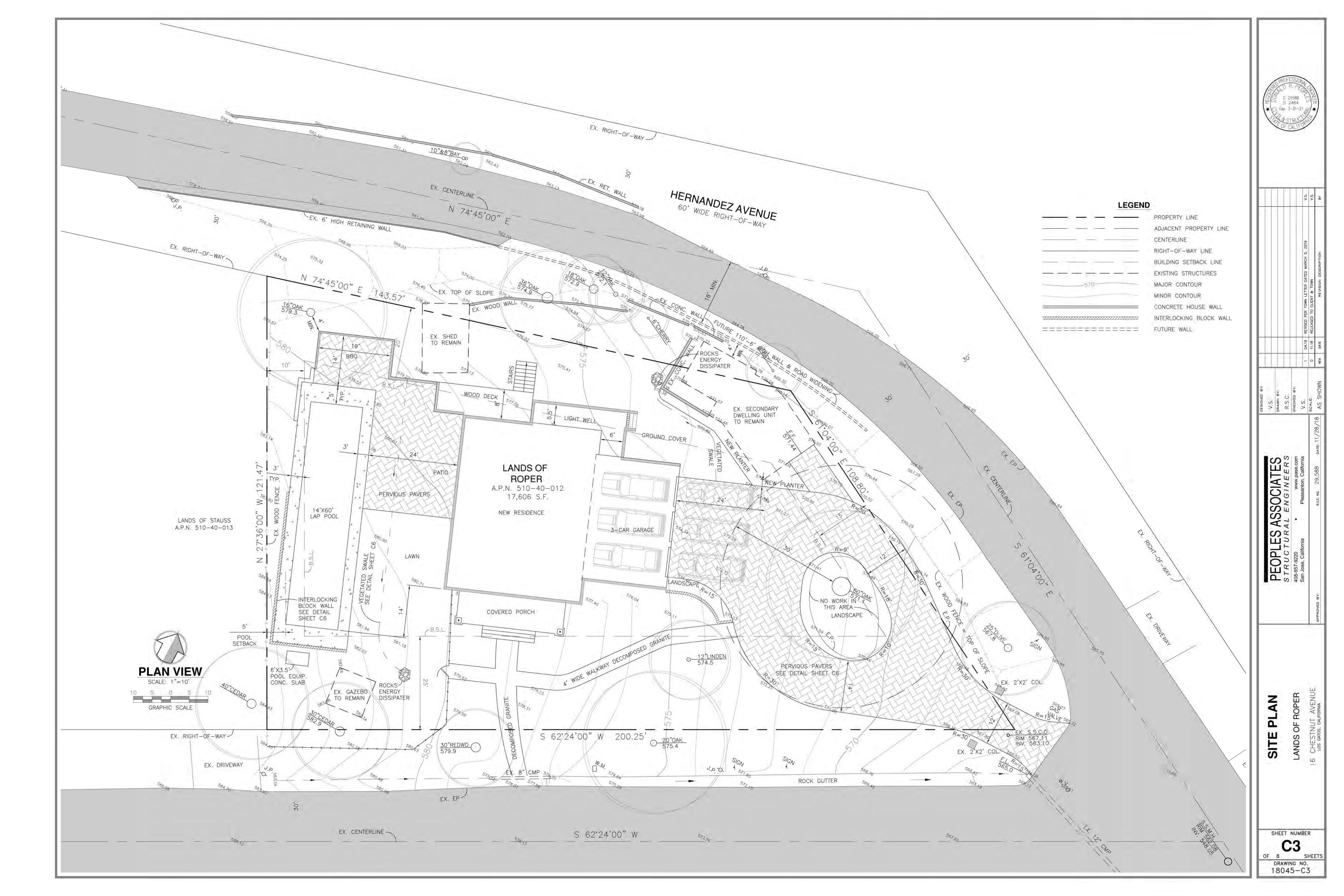
PRELIMINARY TITLE REPORT OLD REPUBLIC TITLE COMPANY DATED: JANUARY 19, 2017

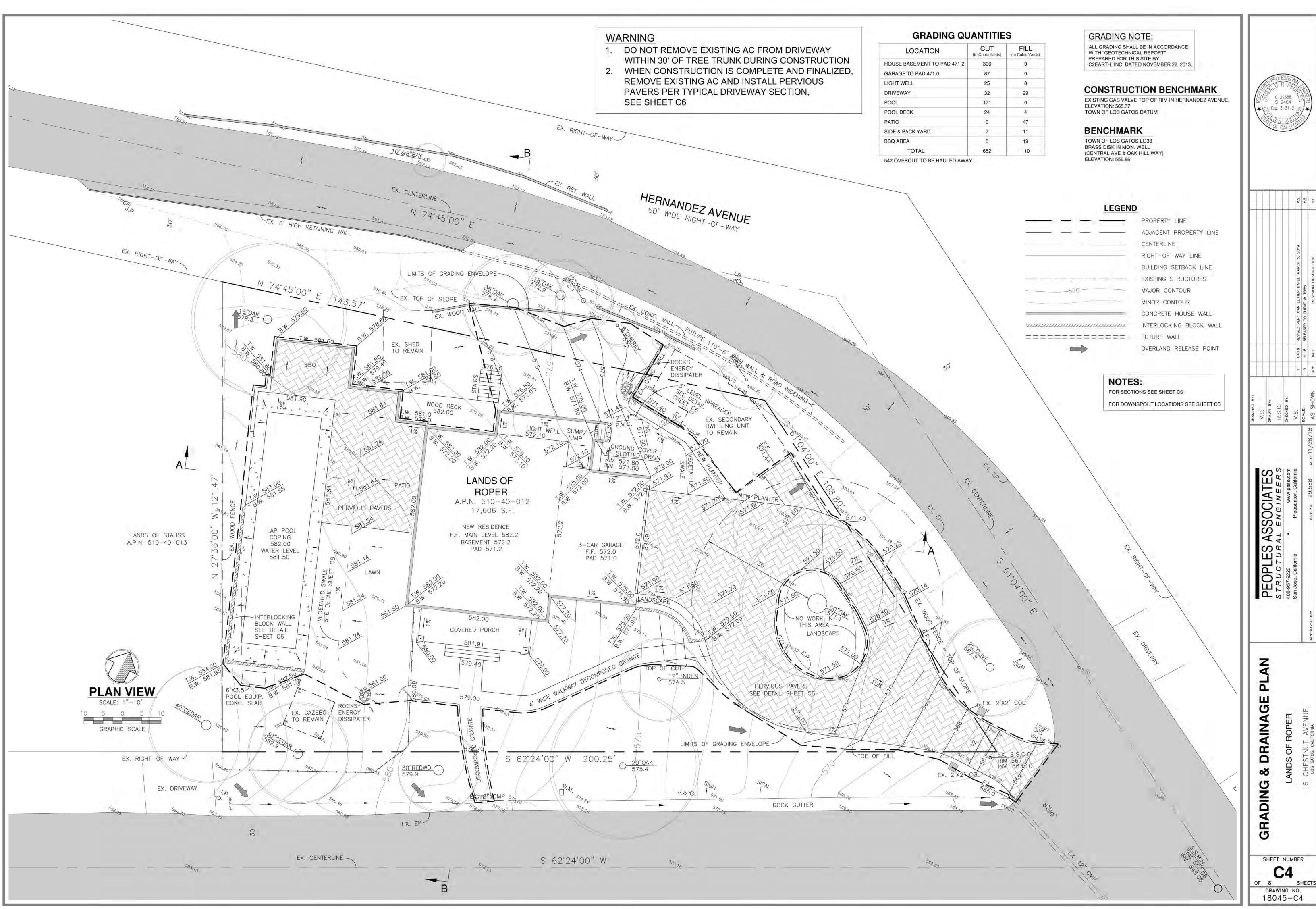
GRADING QUANTITIES

LOCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)
HOUSE BASEMENT TO PAD 471.2	306	0
GARAGE TO PAD 471.0	87	0
LIGHT WELL	25	0
DRIVEWAY	32	29
POOL	171	0
POOL DECK	24	4
ΡΑΤΙΟ	0	47
SIDE & BACK YARD	7	11
BBQ AREA	0	19
TOTAL	652	110

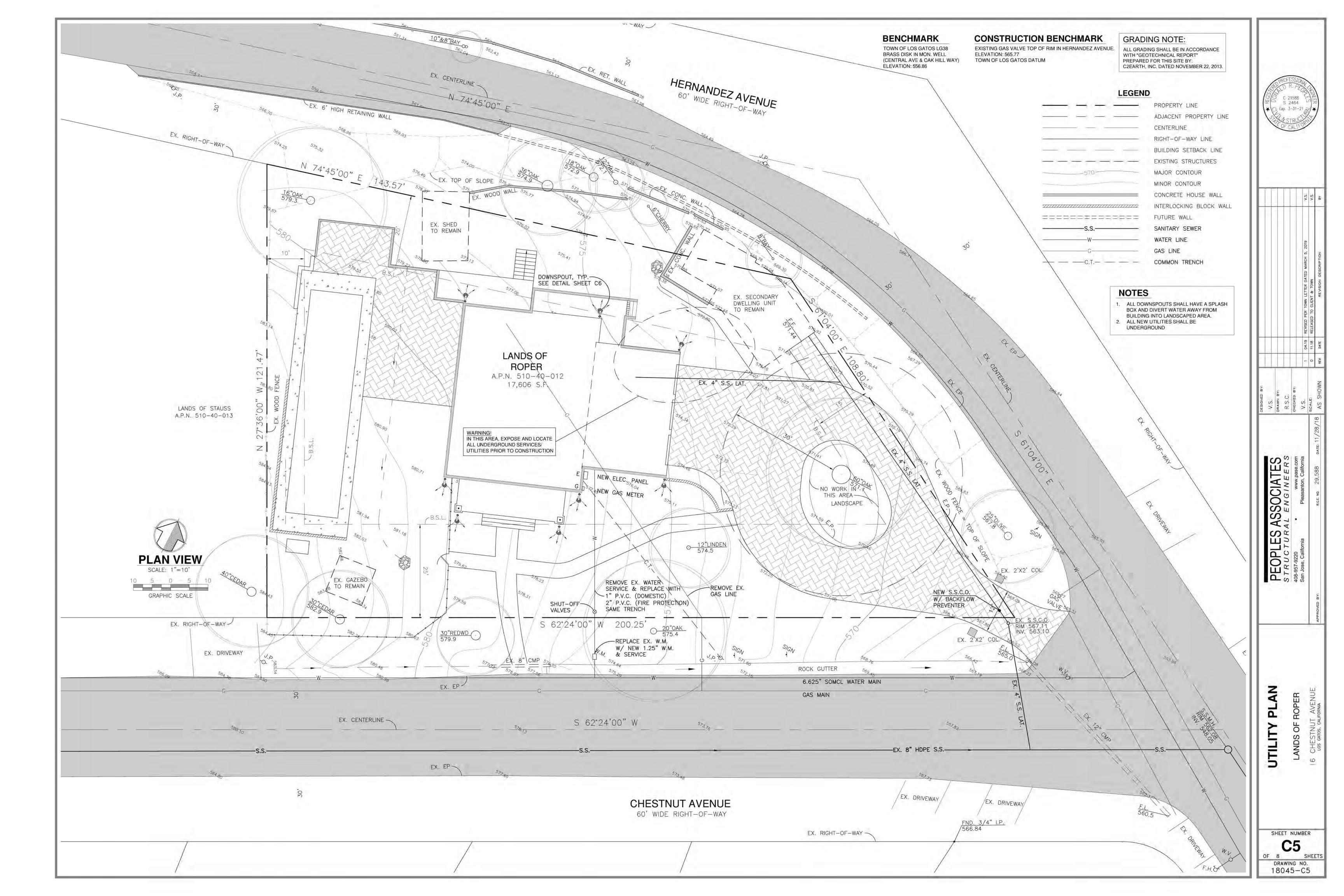
542 C.Y. OVERCUT TO BE HAULED AWAY.

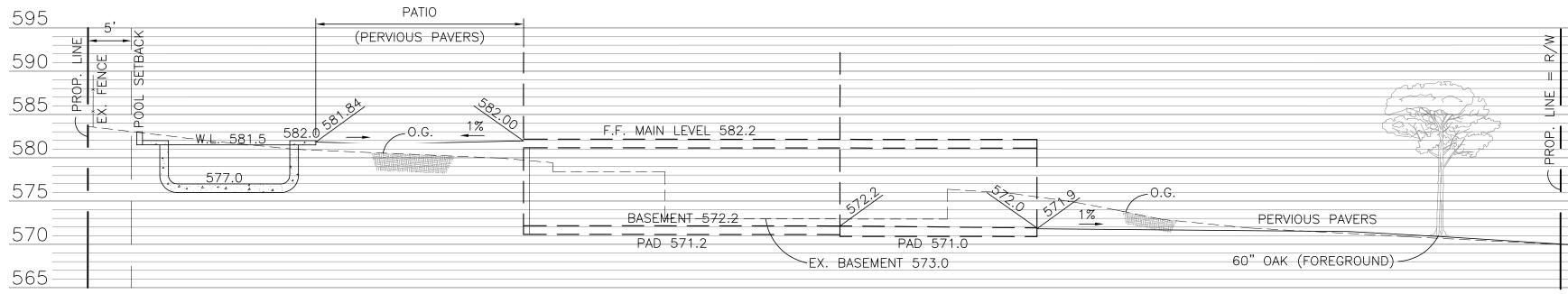






DCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)
SEMENT TO PAD 471.2	306	0
D PAD 471.0	87	0
L	25	0
	32	29
	171	0
<	24	4
	0	47
K YARD	7	11
	0	19
OTAL	652	110

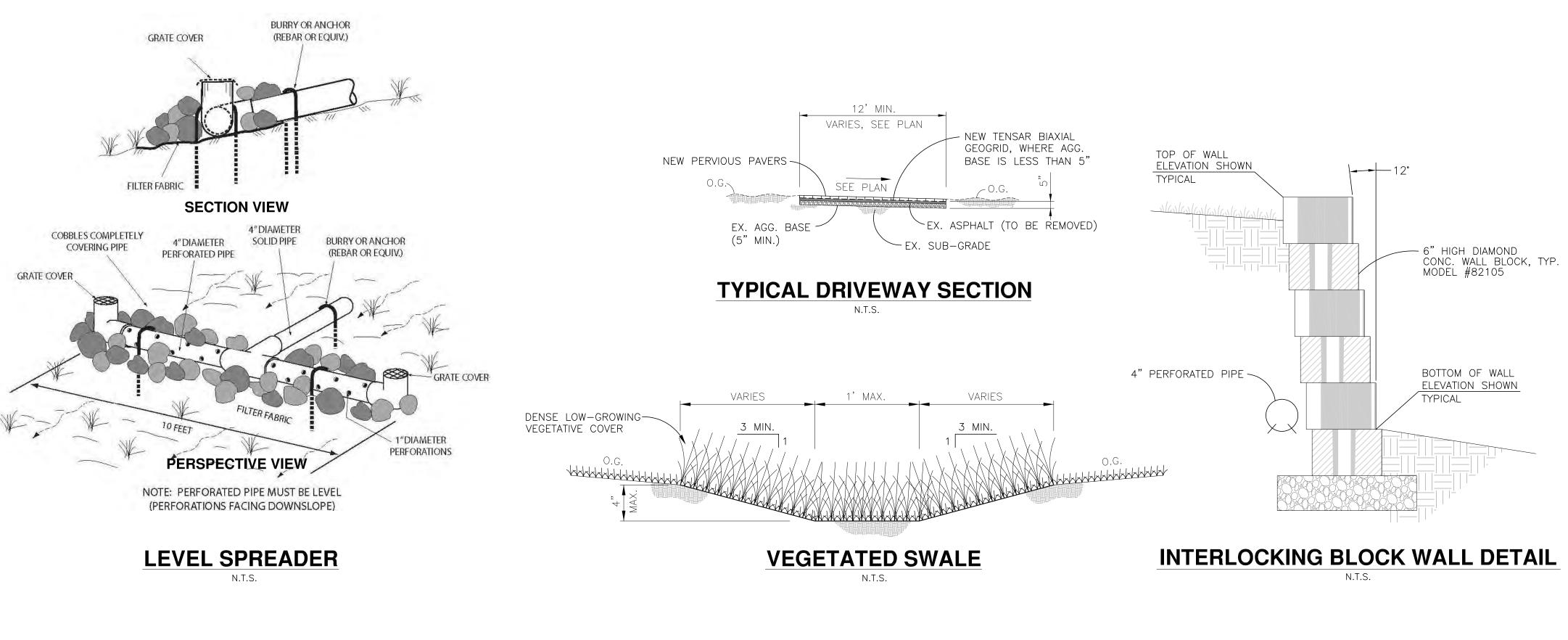




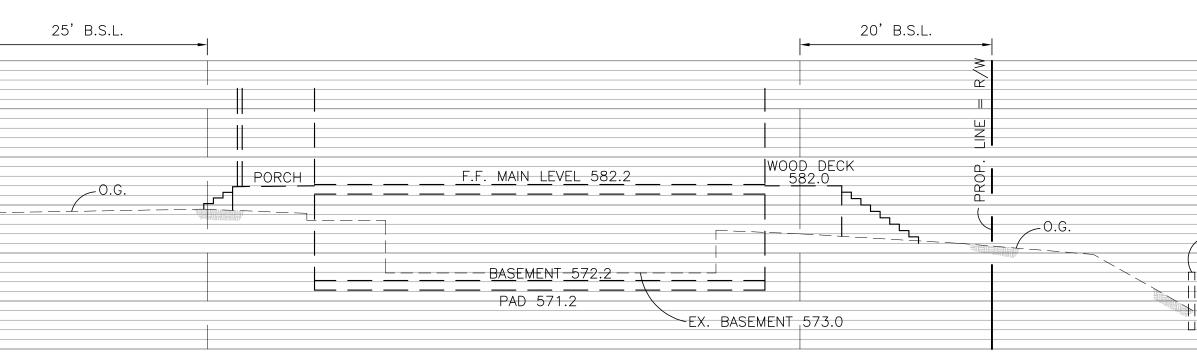
595		
590		
585	CHESTNUT AVENUE (60' WIDE RIGHT-OF-WAY)	
580	EX. AC ROAD	
575		
570		РКОР.
565		











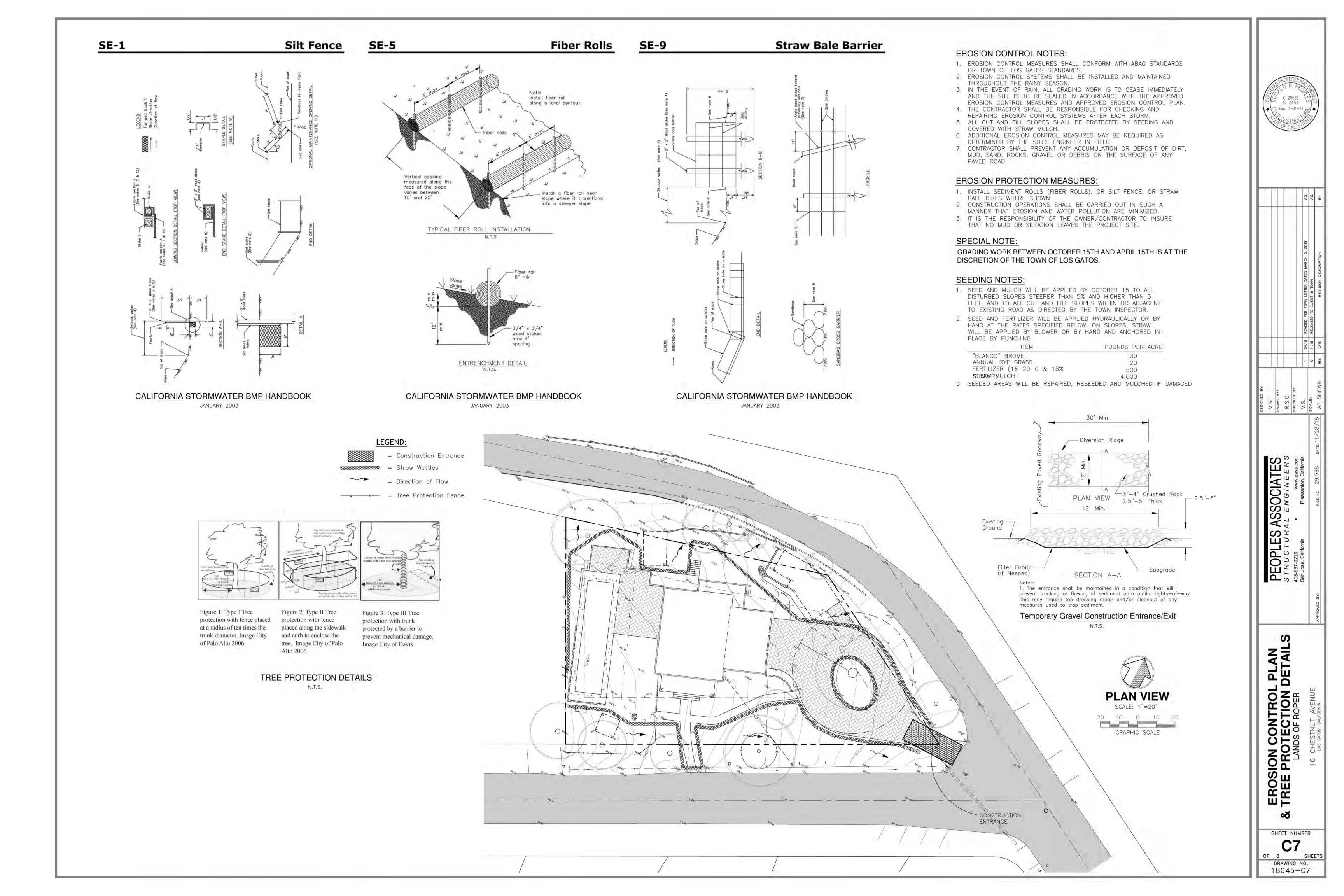


SCALE: 1"=10' HOR. & VERT.

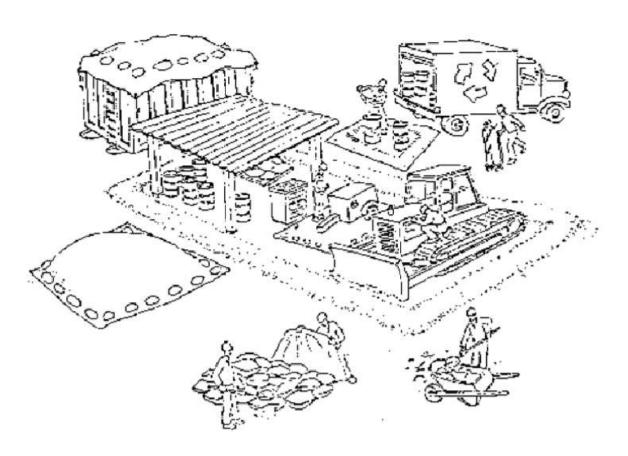
E REVIS		PF A A A A A A A A A A A A A A A A A A A		SS 46 -31 AL	4			ITTO L
						V.S.	V.S.	ВҮ
						04.19 REVISED PER TOWN LETTER DATED MARCH 5, 2019	11.18 RELEASED TO CLIENT & TOWN	DATE REVISION DESCRIPTION
						-	0	REV:
DESIGNED BY:	V.S.	DRAWN BY:	R.S.C.	СНЕСКЕД ВУ:	(V.S.	SCALE:	AS SHOWN
			STRUCTURAL ENGINEERS	408-957-9390 • www.pase.com				APPROVED BY: R.C.E. NO. 29,588 DATE: 11/28/18
	DETAILS & SECTIONS]					16 CHESTNUT AVENUE	LOS GATOS, CALIFORNIA
01	-	8 DRA	C		5	SI 10.	HEI	ETS

	595
	_
	590
	- 390
	_
	- 585
	_
	- 580
	_
	- 575
HERNANDEZ AVENUE	
(60' WIDE RIGHT-OF-WAY)	-570
	_
	-565
	- 505

	595
	590
	-585
	-580
FUTURE RETAINING WALL	_575
HERNANDEZ AVENUE	
(60' WIDE RIGHT-OF-WAY)	-570
EX. AC ROAD	
	565



Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- off the site.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- \checkmark Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- \checkmark Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- \checkmark When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.



A S M A A Hay Area Stormwater Management Agencies Association (BASMAA) 1-888-BAYWISE

 \checkmark Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.

✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt

- \checkmark Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- Mature vegetation is the best form of erosion control. Minimize disturbance to
- existing vegetation whenever possible. If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fastgrowing grasses as soon as possible. Place

hay bales down-slope until soil is secure.

✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.

Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

✓ Reuse water for dust control, irrigation. or another on-site purpose to the greatest extent possible.



- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal,

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut shurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner().
- \checkmark If saw cut shurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- \checkmark Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material under paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.

✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

Do not use water to wash down fresh asphalt concrete pavement.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



Concrete, grout, and mortar storage & waste disposal

- \checkmark Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
 - ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain. If a suitable dirt area is not
 - available, collect the wash water and remove it for appropriate disposal off site.

Painting

- \checkmark Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes. rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- \checkmark Paint out excess oil-based paint before cleaning brushes in thinner.
- \checkmark Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as bazardous waste.

