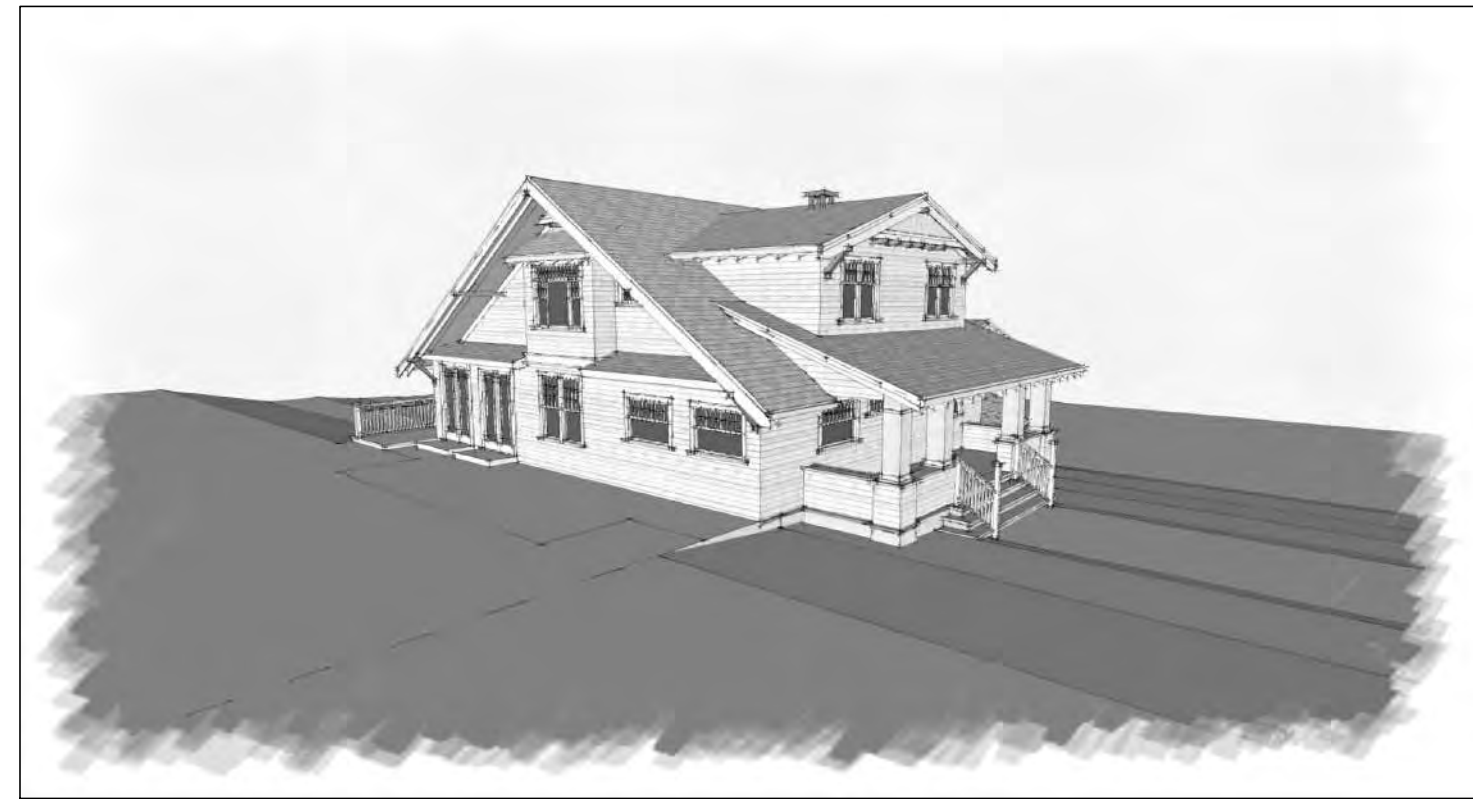
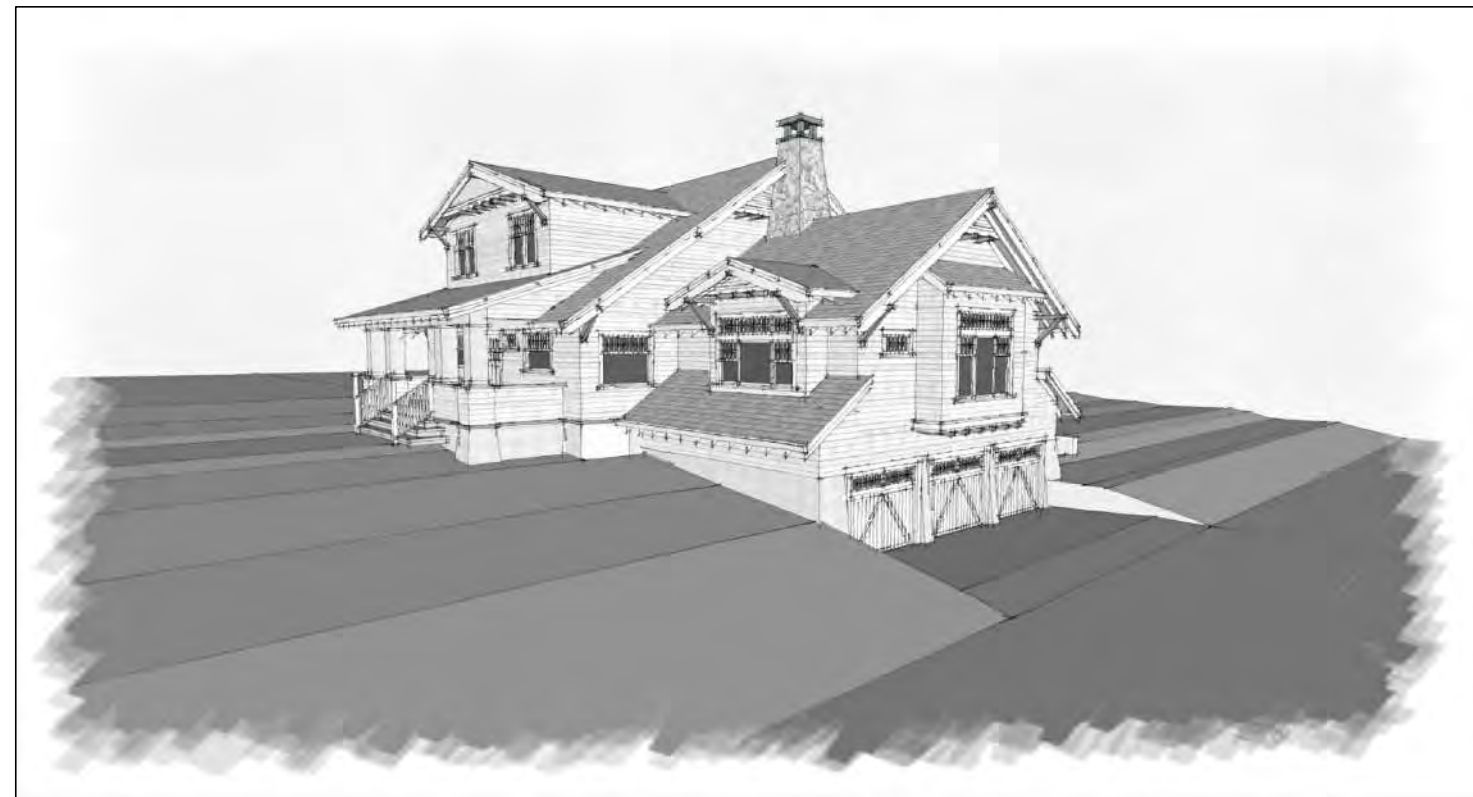
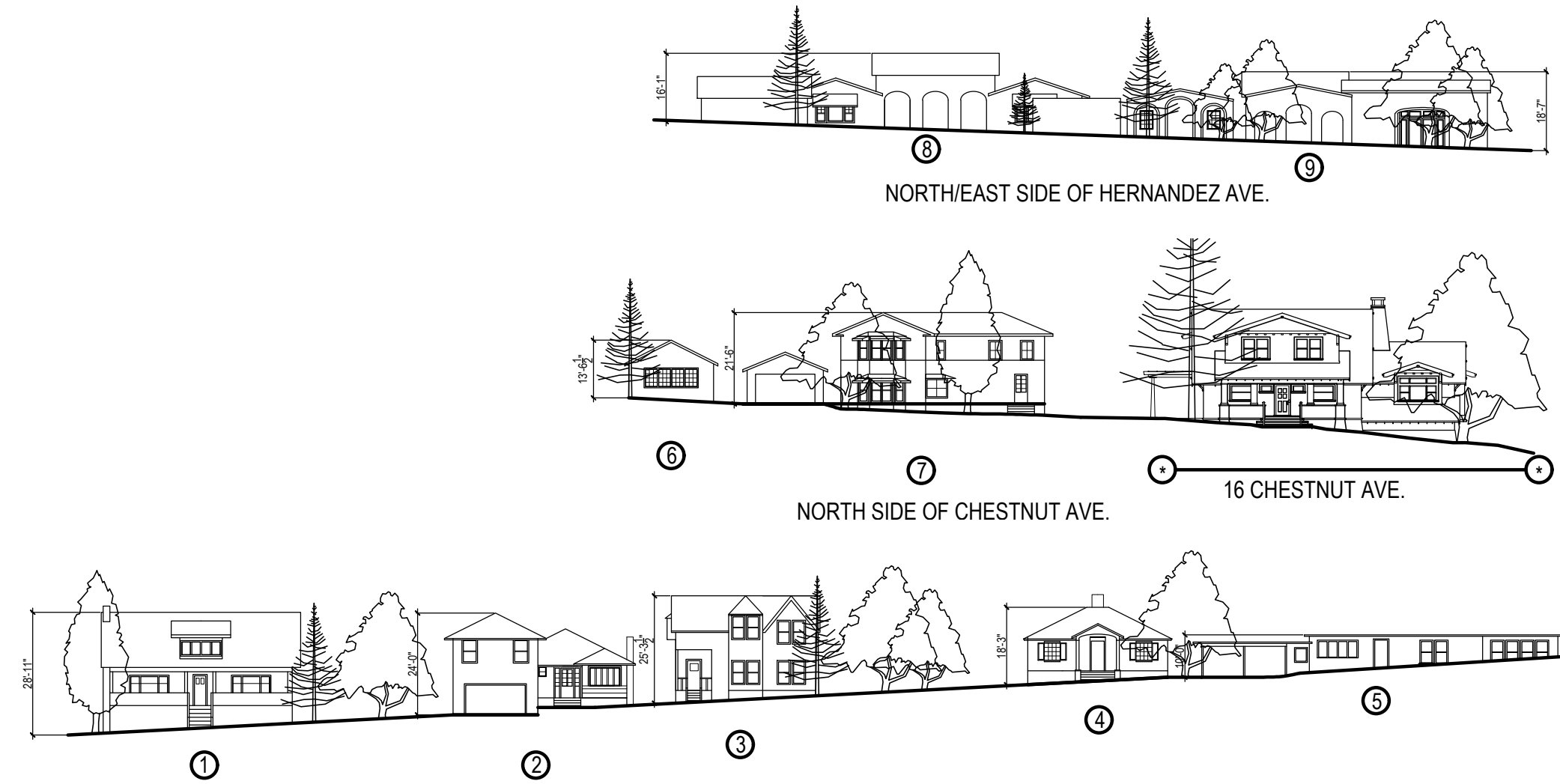
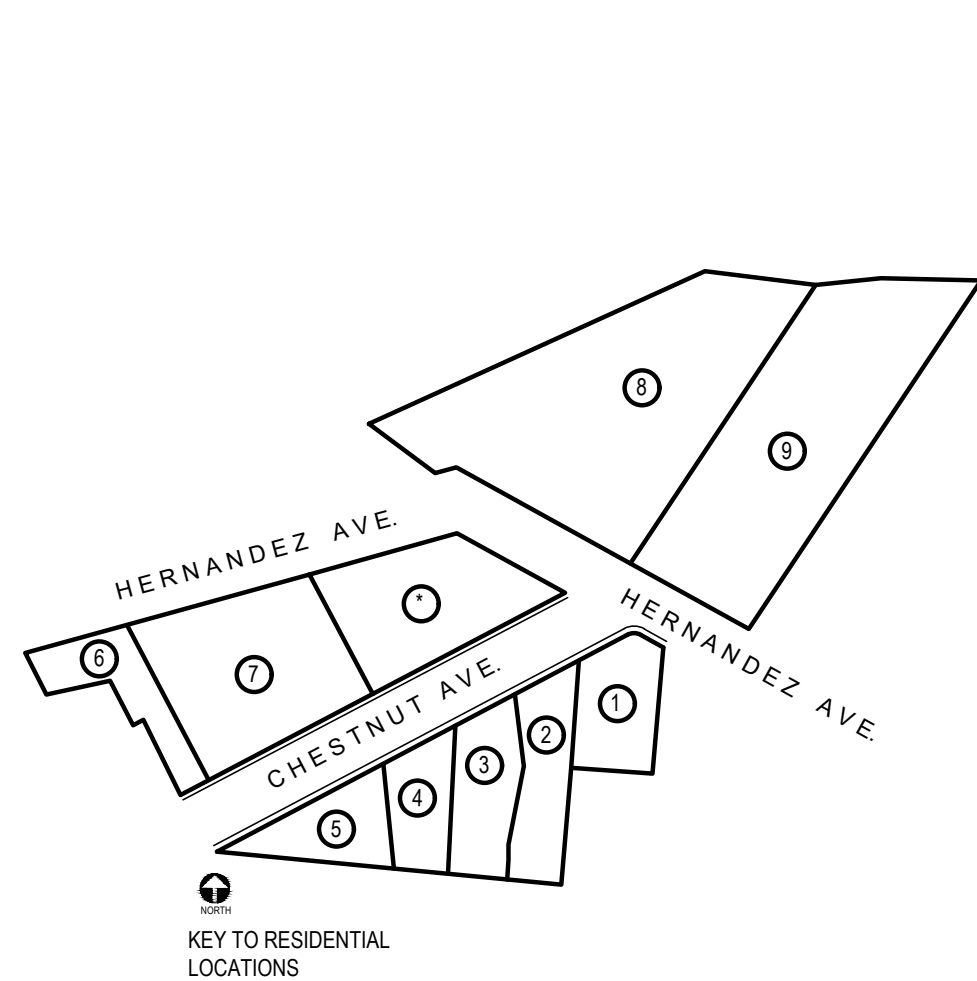


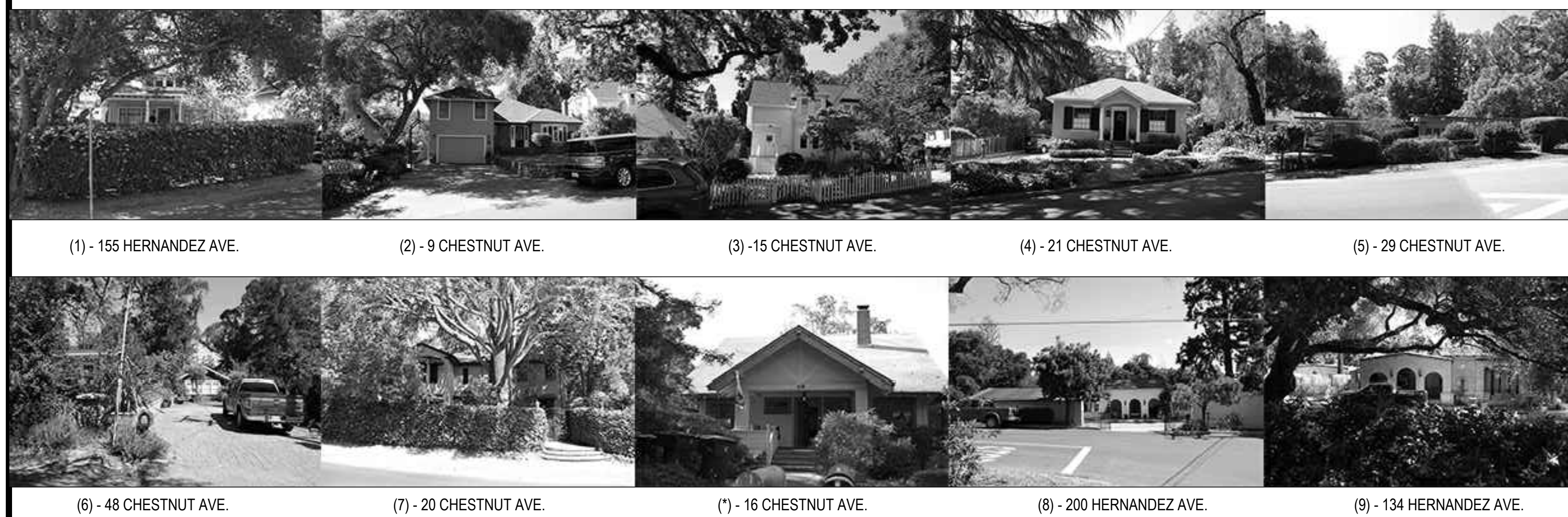
3D RENDERINGS



NEIGHBORHOOD STREETScape



STREET SCAPE



PROJECT DATA

PROJECT ADDRESS: 16 CHESTNUT AVENUE
A.P.N. : 510-40-012

LOT AREA: ±17,606 SF (per County Records)
AVERAGE SLOPE: 8.11%
YEAR BUILT: 1910
ZONING: R-1:12
OCCUPANCY: R3 (SINGLE FAMILY DWELLING) / U (UTILITY)
CONSTRUCT TYPE: V-B
HISTORIC SITE: NO
FLOOD ZONE: D
WUII: YES, WILDLAND URBAN INTERFACE

SETBACKS	ALLOWED	EXISTING	PROPOSED
FRONT:	25'-0"	±25'-6"	±25'-0"
INTERIOR SIDE:	10'-0"	±5'	±49'-6"
STREET SIDE:	15'	±49' / 25'	±25'-6" / 31'-6"
REAR:	20'-0"	N/A	N/A

BUILDING HEIGHT	ALLOWED	EXISTING	PROPOSED
MAIN RESIDENCE:	30'-0"	±28'-0"	VARIES, SLOPED (30' MAX.)

FLOOR AREA RATIO (F.A.R.) CALCULATION Where A = 17,606 SF / 1000 = 17.6
 Properties with ADA units are allowed an additional 10% in FAR standards, excluding garages.
 The allowable FAR formula will increase from (.35) to (.45). Allowed ADU = 1,200 SF

HOUSE = $.35 - \left(\frac{[A - 5]}{25} \right) \times .2 = .35 - (.50 \times .2) = .35 - (.10) = .250$
 = $.250 \times 17,606 \text{ SF} = 4,440 \text{ SF}$

ADU = $.45 - \left(\frac{[A - 5]}{25} \right) \times .2 = .45 - (.50 \times .2) = .45 - (.10) = .350$
 = $.350 \times 17,606 \text{ SF} = 6,162 - 4,440 = 1,722 \text{ SF}$, **Max Allowed = 1,200 SF**

GARAGE = $.10 - \left(\frac{[A - 5]}{25} \right) \times .07 = .10 - (.58 \times .07) = .10 - (.041) = .059$
 = $.059 \times 19,494 \text{ SF} = 1,158 \text{ SF}$

SQUARE FOOTAGE	ALLOWED	EXISTING	PROPOSED
HABITABLE HOUSE:			
FIRST FLOOR:		1,771 SF	2,373 SF
SECOND FLOOR:		802 SF	1,293 SF
ATTIC AREA 0/5-FEET			63 SF
TOTAL	4,440 SF	2,573 SF	3,729 SF

ADU/GUEST HOUSE			
1ST FLOOR		575 SF	575 SF
2ND FLOOR		247 SF	247 SF
TOTAL	1,200 SF	822 SF	822 SF (NO CHANGE)

ACCESSORY STRUCTURES:	ALLOWED	EXISTING	PROPOSED
GREEN HOUSE		84 SF	N/A, DEMOLISHED
SHED		232 SF	232 SF
CHICKEN COOP		130 SF	N/A, DEMOLISHED
TOTAL		446 SF	232 SF

ATTACHED GARAGE:	1,158 SF	N/A	773 SF
BASEMENT:			
BELOW GRADE: (EXEMPT FROM FAR)		876 SF	1,706 SF

BUILDING COVERAGE	ALLOWED	EXISTING	PROPOSED
(40% MAX = 0.40 X 17,606) =	7,042 SF		
HABITABLE HOUSE		1,771 SF	2,373 SF
ATTACHED GARAGE:		N/A	773 SF
ADU/GUEST HOUSE		575 SF	575 SF
GREEN HOUSE:		84 SF	N/A
SHED:		232 SF	232 SF
CHICK COOP:		130 SF	N/A
TOTAL	7,042 SF	2,792 SF	3,953 SF

SITE COVERAGE	ALLOWED	EXISTING	PROPOSED
(40% MAX = 0.40 X 19,494) =	7,042 SF		
HABITABLE HOUSE:		1,771 SF	2,373 SF
ATTACHED GARAGE:		N/A	773 SF
ADU/GUEST HOUSE:		575 SF	575 SF
FRONT PORCH:		139 SF	248 SF
LIGHTWELL:		N/A	232 SF
GREEN HOUSE:		84 SF	N/A
SHED:		232 SF	232 SF
CHICK COOP:		130 SF	N/A
GAZEBO:		107 SF	107 SF
DECK:		324 SF	244 SF
PATIO AREA:		337 SF	349 SF
POOL PATIO:			397 SF
BBQ PATIO:			288 SF
DRIVEWAY:		4,114 SF	PERMIABLE
WALKWAY:		765 SF	PERMIABLE
POOL (SEPARATE PERMIT):			840 SF
TOTAL	7,042 SF	8,578 SF	6,658 SF

PERVIOUS COVERAGE	N/A	4,325 SF**	
IMPERVIOUS AREA COVERAGE	5,540 SF	5,215 SF**	

CUT 652 CUBIC YARDS**
 FILL 110 CUBIC YARDS**
 ** SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

INDEX

- A1.1 Cover Sheet
- C-1 Topographic Map
- A1.3 Existing Site Plan
- A1.4 Proposed Site Plan
- T-1 Tree Preservation Instruction
- A2.1 Existing Basement Plan (For Reference Only)
- A2.2 Existing First Floor Plan (For Reference Only)
- A2.3 Existing Second Floor Plan (For Reference Only)
- A2.4 Existing Roof Plan (For Reference Only)
- A2.5 Proposed Basement + Garage Plan
- A2.6 Proposed First Floor Plan
- A2.7 Proposed Second Floor Plan
- A2.8 Proposed Roof Plan
- A3.1 Existing + Proposed Exterior Elevations
- A3.2 Existing + Proposed Exterior Elevations
- A3.3 Existing + Proposed Exterior Elevations
- A3.4 Existing + Proposed Exterior Elevations
- A4.1 Proposed Building Sections
- A4.2 Proposed Building Sections

PROJECT INFO.

Owner:
 16 Chestnut Avenue
 Los Gatos, Ca 95030
 PH: (408) 348-3004

Designer:
 Studio 3 Design
 Contact: Bess Wiersema
 bess@studio-three.com
 638 University Ave.
 Los Gatos, California 95032
 ph: (408) 292-3252
 fax: (253) 399-1125

Surveyor:
 C & DC Inc.
 Contact: Velimir Sulic
 5901 Cadiz Drive
 San Jose, CA 95123
 ph: 408.966-0165

Structural (Civil) Engineer:
 Peoples Associates
 Contact: Velimir Sulic
 masonsulic@sbcglobal.net
 1996 Tarob Court
 Milpitas, California 95035
 ph: (408) 957-9220
 fax: (408) 957-9221

Arborist:
 Anderson's Tree Care Specialists
 Contact: Katherine Naegele
 katherine@andersontreecare.com
 P.O. Box 2B
 San Jose, California 95109
 ph: (408) 286-8733
 fax: (408) 281-8733

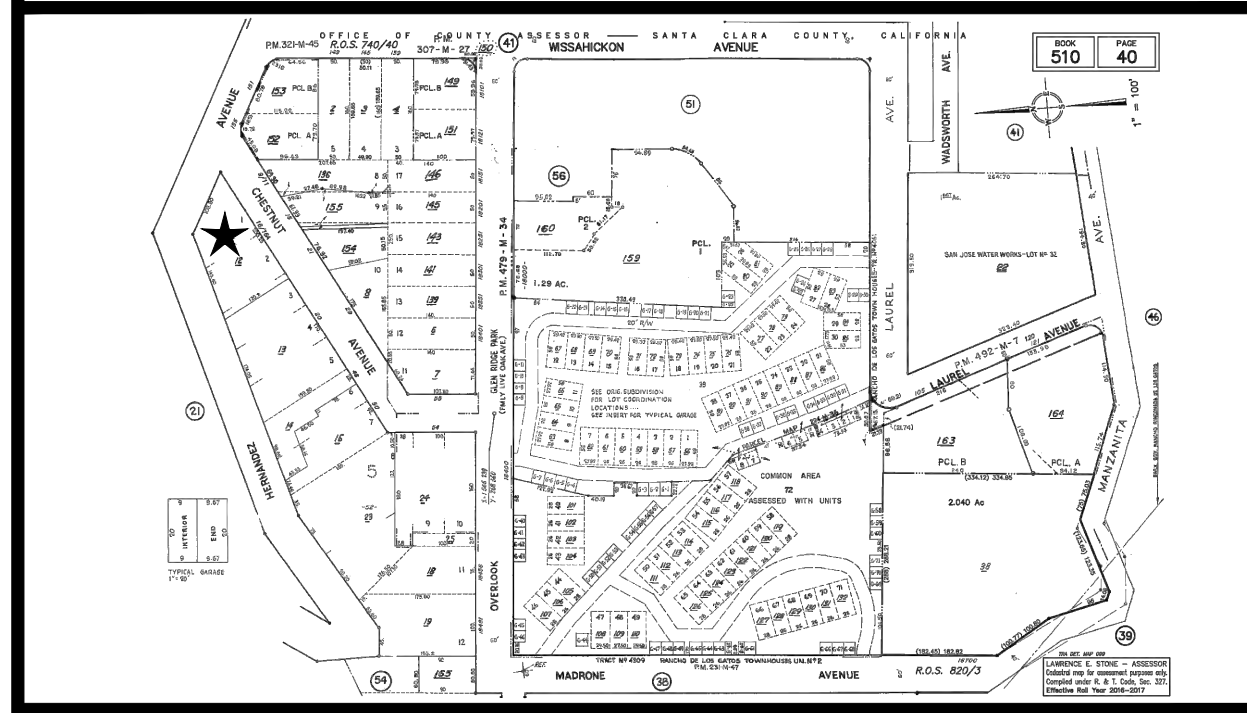
CODES USED

The following codes are currently in effect:
 2016 California Building Code
 2016 California Residential Code
 2016 California Electrical Code
 2016 California Mechanical Code
 2016 California Plumbing Code
 2016 California Energy Code
 2016 California Fire Code
 2016 California Existing Building Code
 2015 International Existing Building Code
 2016 California Green Building Standards - CALGreen

PROJECT DESCRIPTION

This project is for the demolition of an existing (2,573 SF) two-story, single family residence and the construction of a new (3,729 SF) two-story, single family residence. Includes a new (1,706 SF) conditioned basement and attached (773 SF) 3-car garage. The existing (822 SF) two-story, detached, ADU/2nd Dwelling Unit is to remain. There are three accessory structures (shed + green house + chicken coop). The green house + chicken coop will be removed and the shed will remain. Fire Sprinklers required at main house.

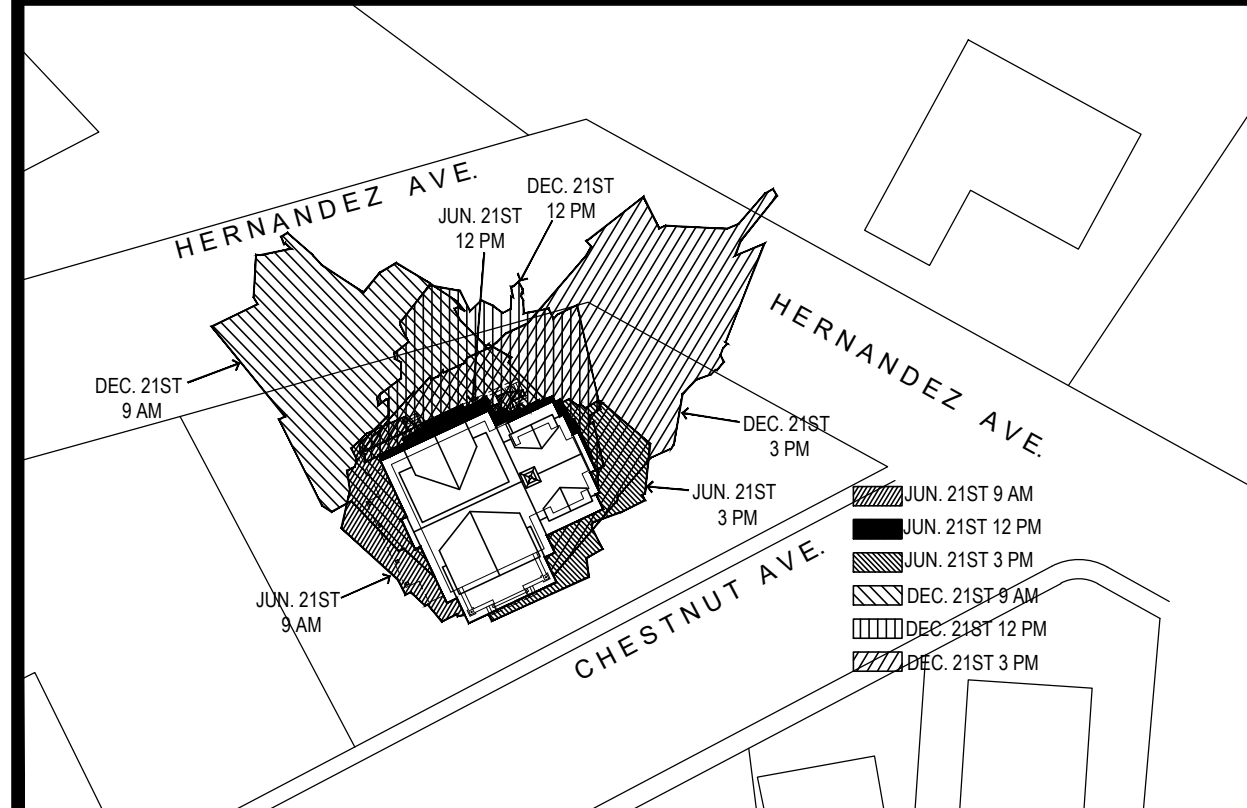
PARCEL MAP



LOCATION MAP



SHADOW STUDY



INTERIORS
 REMODELS +
 ADDITIONS
 NEW CONSTRUCTION

638 UNIVERSITY AVE.
 LOS GATOS
 CALIFORNIA
 95032

T 408.292.3252
 F 253.399.1125

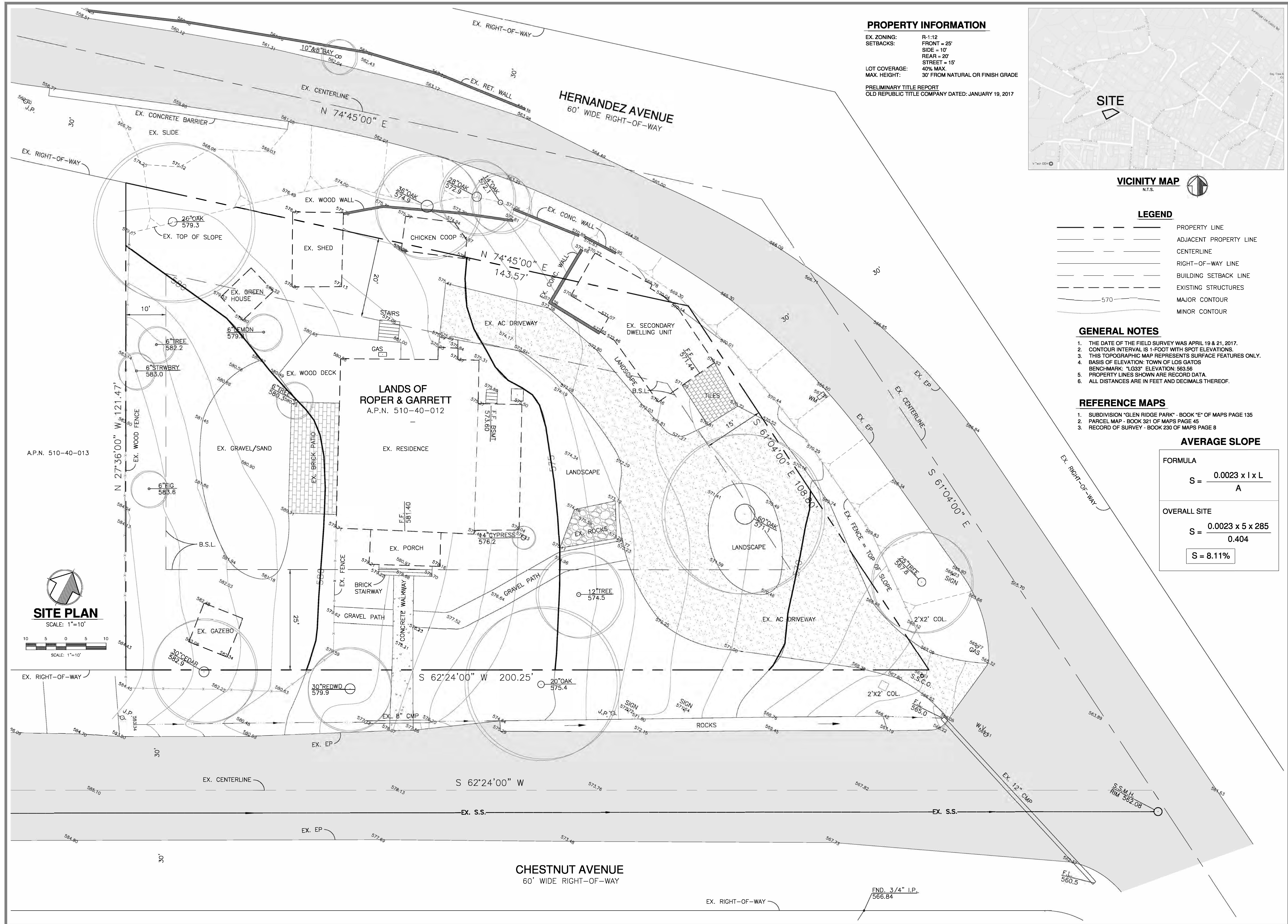
THE CHESTNUT HOUSE
 16 CHESTNUT AVENUE
 LOS GATOS
 CALIFORNIA
 95030

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SCALE: N/A

COVER SHEET



PROPERTY INFORMATION
 EX. ZONING: R-1-12
 SETBACKS: FRONT = 25'
 SIDE = 10'
 REAR = 20'
 STREET = 15'
 LOT COVERAGE: 40% MAX.
 MAX. HEIGHT: 30' FROM NATURAL OR FINISH GRADE
 PRELIMINARY TITLE REPORT
 OLD REPUBLIC TITLE COMPANY DATED: JANUARY 19, 2017



VICINITY MAP
 N.T.S.

LEGEND

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
---	CENTERLINE
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK LINE
---	EXISTING STRUCTURES
---	MAJOR CONTOUR
---	MINOR CONTOUR

- GENERAL NOTES**
1. THE DATE OF THE FIELD SURVEY WAS APRIL 19 & 21, 2017.
 2. CONTOUR INTERVAL IS 1-FOOT WITH SPOT ELEVATIONS.
 3. THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
 4. BASIS OF ELEVATION: TOWN OF LOS GATOS
 BENCHMARK: "LG33" ELEVATION: 563.56
 5. PROPERTY LINES SHOWN ARE RECORD DATA.
 6. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

- REFERENCE MAPS**
1. SUBDIVISION "GLEN RIDGE PARK" - BOOK "E" OF MAPS PAGE 135
 2. PARCEL MAP - BOOK 321 OF MAPS PAGE 45
 3. RECORD OF SURVEY - BOOK 230 OF MAPS PAGE 8

AVERAGE SLOPE

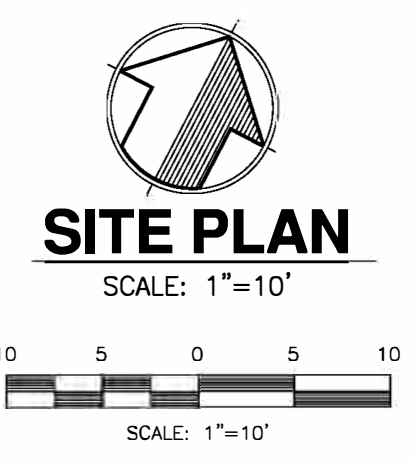
FORMULA

$$S = \frac{0.0023 \times l \times L}{A}$$

OVERALL SITE

$$S = \frac{0.0023 \times 5 \times 285}{0.404}$$

S = 8.11%



DESIGNED BY:	V.S.	DRAWN BY:	R.S.C.	CHECKED BY:	V.S.	DATE	REVISION DESCRIPTION
						05/17	RELEASED TO CLIENT & ARCH.

DESIGNED BY:	V.S.	DRAWN BY:	R.S.C.	CHECKED BY:	V.S.	DATE	REVISION DESCRIPTION
						05-17	AS SHOWN

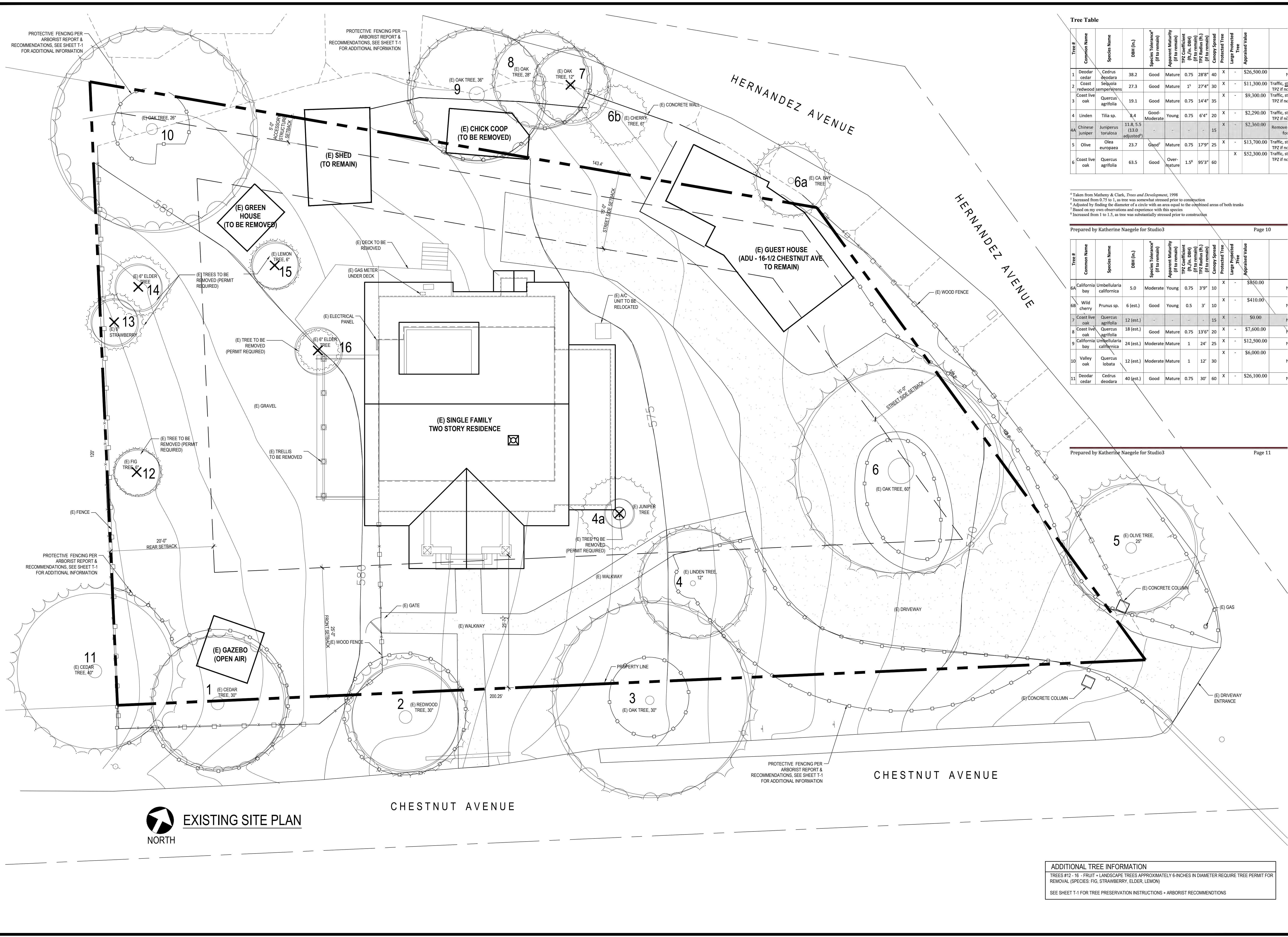
CSDG, Inc.
 5801 Credit Drive
 San Jose, CA 95123
 (408) 966-0165

APPROVED BY: *Harry Babiarz*
 L.S. NO. 4,953 DATE 5-05-17

TOPOGRAPHIC MAP
 LANDS OF ROPER & GARRETT
 16 CHESTNUT AVENUE
 LOS GATOS, CALIFORNIA



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
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Tree Table

Tree #	Common Name	Species Name	DBH (in.)	Species Tolerance* (If to remain)	Apparent Maturity (If to remain)	TPZ Coefficient (If to remain)	TPZ Radius (ft.)	Canopy Spread (If to remain)	Protected Tree	Large Protected Tree	Appraised Value
1	Deodar cedar	Cedrus deodara	38.2	Good	Mature	0.75	28'8"	40'	X	-	\$26,500.00
2	Coast redwood	Sequoia sempervirens	27.3	Good	Mature	1 ¹	27'4"	30'	X	-	\$11,300.00
3	Coast live oak	Quercus agrifolia	19.1	Good	Mature	0.75	14'4"	35'	X	-	\$9,300.00
4	Linden	Tilia sp.	8.4	Good-Moderate	Young	0.75	6'4"	20'	X	-	\$2,290.00
4A	Chinese Juniper	Juniperus torulosa (13.0 adjusted)	11.8, 5.5	-	-	-	-	15'	X	-	\$2,360.00
5	Olive	Olea europaea	23.7	Good ²	Mature	0.75	17'9"	25'	X	-	\$13,700.00
6	Coast live oak	Quercus agrifolia	63.5	Good	Over-mature	1.5 ³	95'3"	60'	X	X	\$52,300.00

* Taken from Matheny & Clark, *Trees and Development*, 1998
¹ Increased from 0.75 to 1, as tree was somewhat stressed prior to construction
² Adjusted by finding the diameter of a circle with an area equal to the combined areas of both trunks
³ Based on my own observations and experience with this species
 Increased from 1 to 1.5, as tree was substantially stressed prior to construction

Prepared by Katherine Naegele for Studio3 Page 10

Tree #	Common Name	Species Name	DBH (in.)	Species Tolerance* (If to remain)	Apparent Maturity (If to remain)	TPZ Coefficient (If to remain)	TPZ Radius (ft.)	Canopy Spread (If to remain)	Protected Tree	Large Protected Tree	Appraised Value
6A	California bay	Umbellularia californica	5.0	Moderate	Young	0.75	3'9"	10'	X	-	\$850.00
6B	Wild cherry	Prunus sp.	6 (est.)	Good	Young	0.5	3'	10'	X	-	\$410.00
7	Coast live oak	Quercus agrifolia	12 (est.)	-	-	-	-	15'	X	-	\$0.00
8	Coast live oak	Quercus agrifolia	18 (est.)	Good	Mature	0.75	13'6"	20'	X	-	\$7,600.00
9	California bay	Umbellularia californica	24 (est.)	Moderate	Mature	1	24'	25'	X	-	\$12,500.00
10	Valley oak	Quercus lobata	12 (est.)	Moderate	Mature	1	12'	30'	X	-	\$6,000.00
11	Deodar cedar	Cedrus deodara	40 (est.)	Good	Mature	0.75	30'	60'	X	-	\$26,100.00

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EXISTING SITE PLAN
NORTH

ADDITIONAL TREE INFORMATION
 TREES #12 - 16 - FRUIT + LANDSCAPE TREES APPROXIMATELY 6-INCHES IN DIAMETER REQUIRE TREE PERMIT FOR REMOVAL (SPECIES: FIG, STRAWBERRY, ELDER, LEMON)
 SEE SHEET T-1 FOR TREE PRESERVATION INSTRUCTIONS + ARBORIST RECOMMENDATIONS

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

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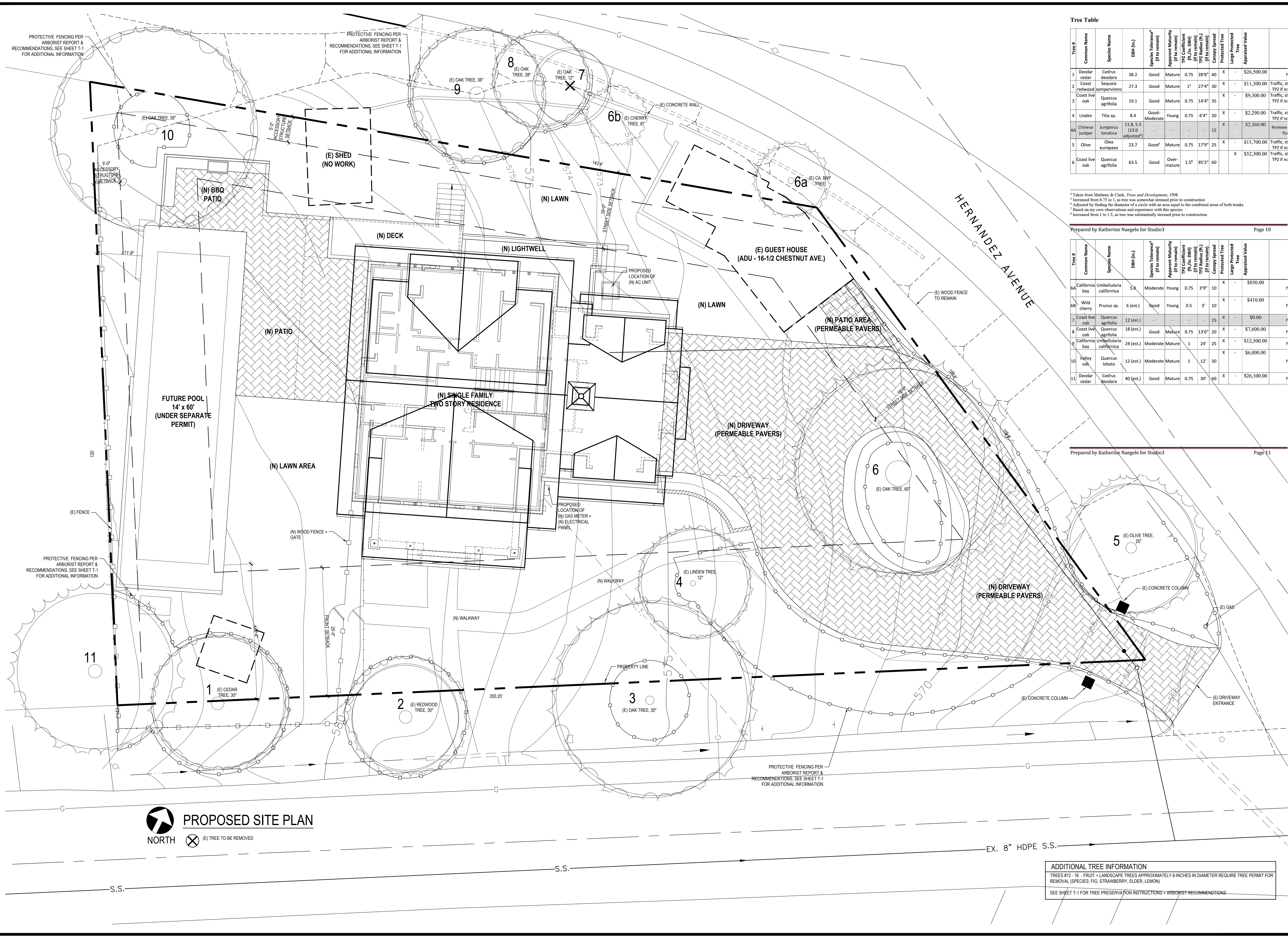
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EXISTING SITE PLAN

A1.3



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Tree Table

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4A	Chinese Juniper	Juniperus torulosa	11.8, 5.5 (13.0 adjusted)	-	-	-	-	15'	X	-	\$2,360.00
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* Taken from Matheny & Clark, *Trees and Development*, 1998
¹ Increased from 0.75 to 1, as tree was somewhat stressed prior to construction
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Tree #	Common Name	Species Name	DBH (in.)	Species Tolerance* (If to remain)	Apparent Maturity (If to remain)	TPZ Coefficient (If to remain)	TPZ Radius (ft.) (If to remain)	Canopy Spread (If to remain)	Protected Tree	Large Protected Tree	Appraised Value
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7	Coast live oak	Quercus agrifolia	12 (est.)	-	-	-	-	15'	X	-	\$0.00
8	Coast live oak	Quercus agrifolia	18 (est.)	-	-	-	-	20'	X	-	\$7,600.00
9	California bay	Umbellularia californica	24 (est.)	Moderate	Mature	1	24'	25'	X	-	\$12,500.00
10	Valley oak	Quercus lobata	12 (est.)	Moderate	Mature	1	12'	30'	X	-	\$6,000.00
11	Deodar cedar	Cedrus deodara	40 (est.)	Good	Mature	0.75	30'	60'	X	-	\$26,100.00

Prepared by Katherine Naegle for Studio3 Page 11

PROPOSED SITE PLAN
 NORTH (E) TREE TO BE REMOVED

ADDITIONAL TREE INFORMATION
 TREES #12 - 16 - FRUIT + LANDSCAPE TREES APPROXIMATELY 6-INCHES IN DIAMETER REQUIRE TREE PERMIT FOR REMOVAL (SPECIES: FIG, STRAWBERRY, ELDER, LEMON)
 SEE SHEET T-1 FOR TREE PRESERVATION INSTRUCTIONS + ARBORIST RECOMMENDATIONS

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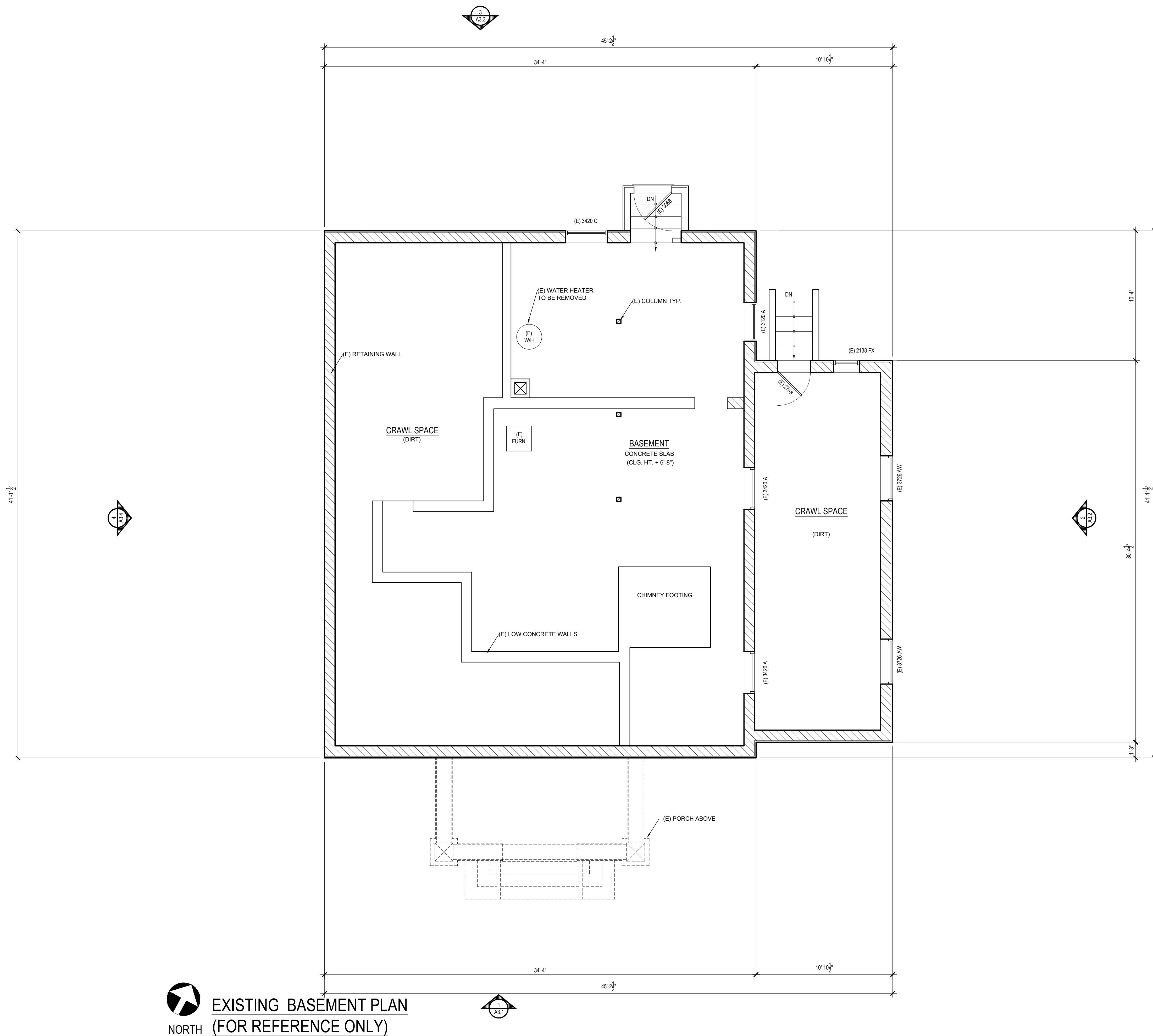
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PROPOSED SITE PLAN

A1.4



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EXISTING BASEMENT PLAN
(FOR REFERENCE ONLY)

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

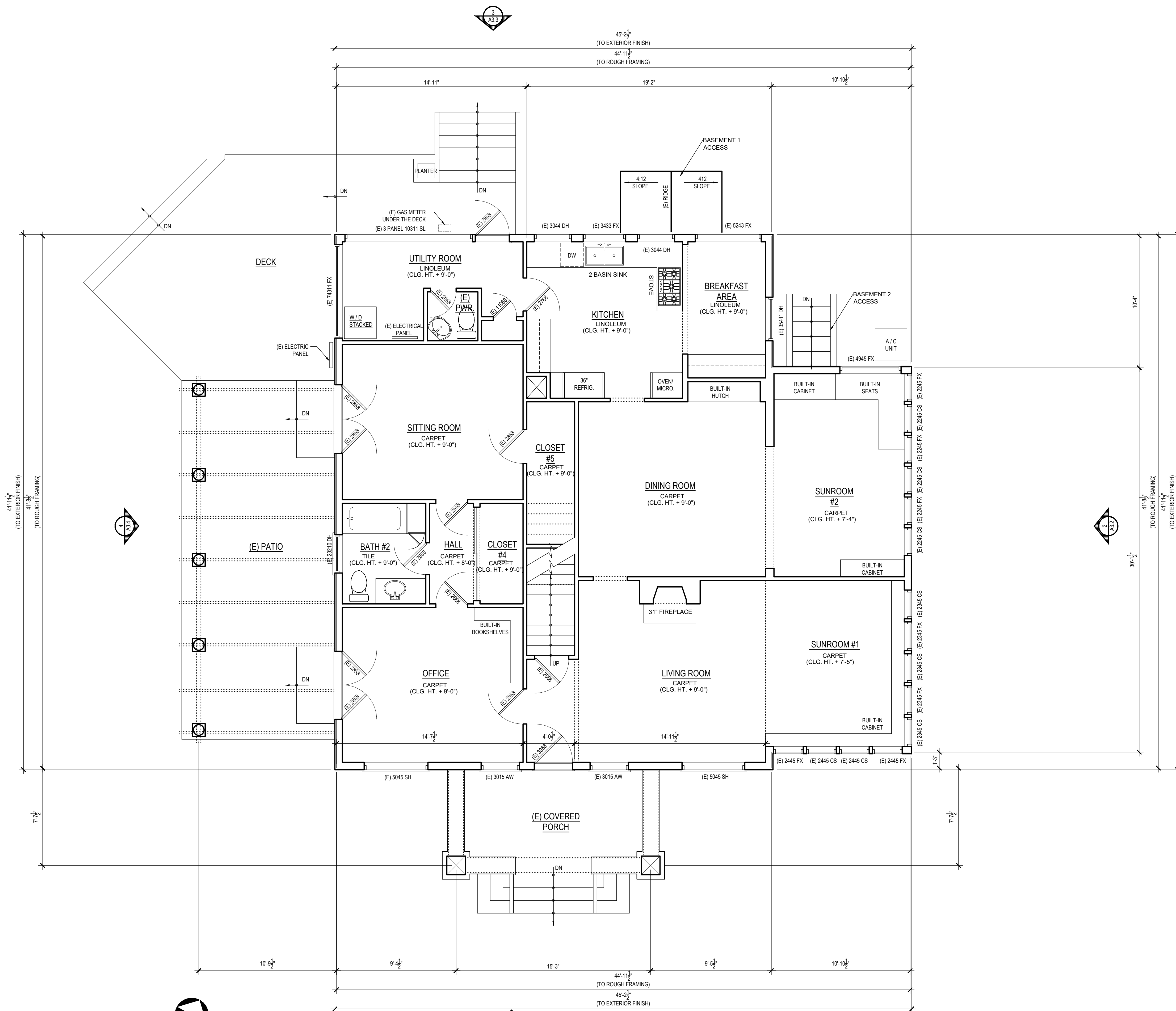
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PLANNING SUBMITTAL II
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

EXISTING BASEMENT PLAN
(FOR REFERENCE ONLY)



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032
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F 253.399.1125



EXISTING FIRST FLOOR PLAN
(FOR REFERENCE ONLY)

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

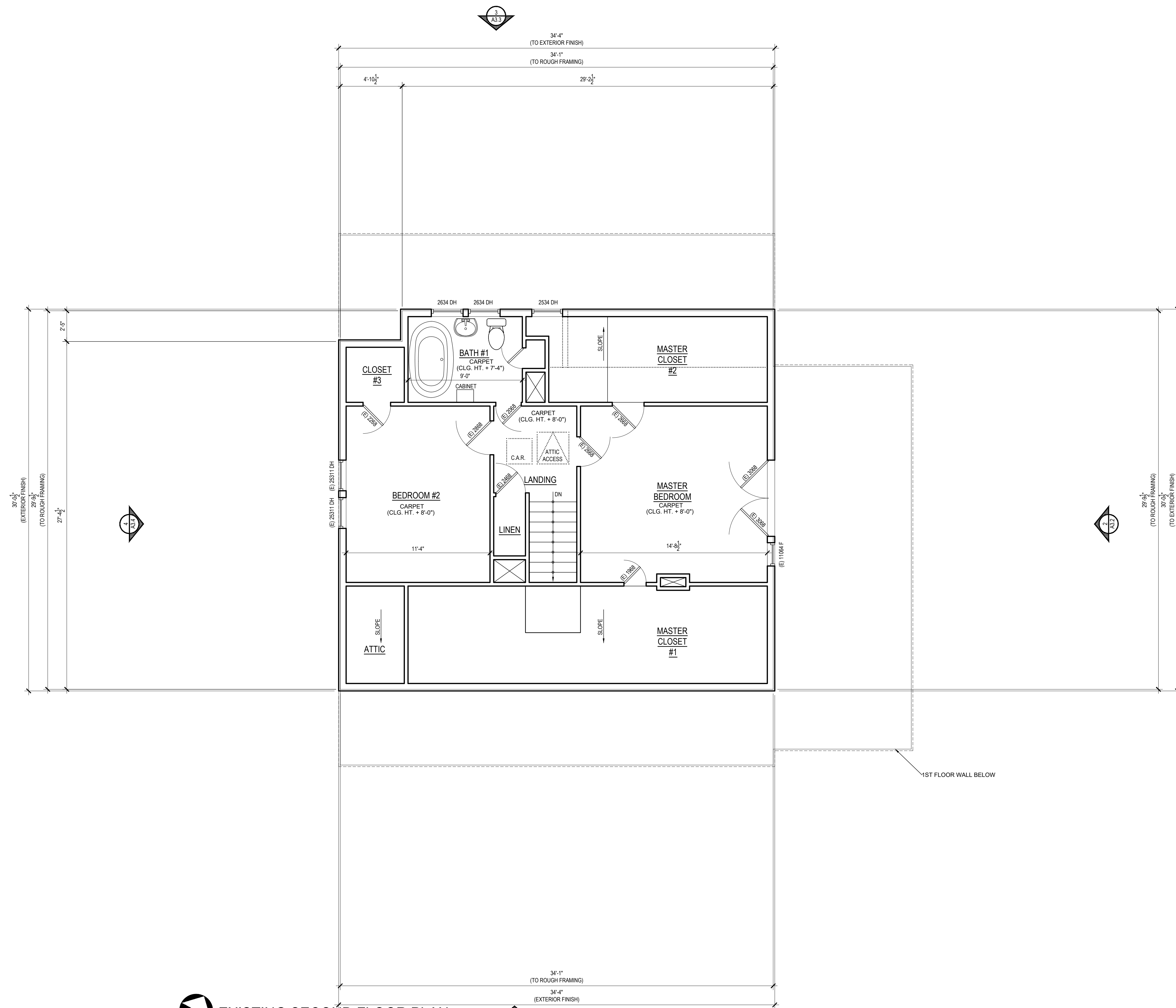
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PLANNING SUBMITTAL II
- 17 DECEMBER 2018
PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

EXISTING FIRST
FLOOR PLAN (FOR
REFERENCE ONLY)



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032
T 408.292.3252
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EXISTING SECOND FLOOR PLAN
(FOR REFERENCE ONLY)

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

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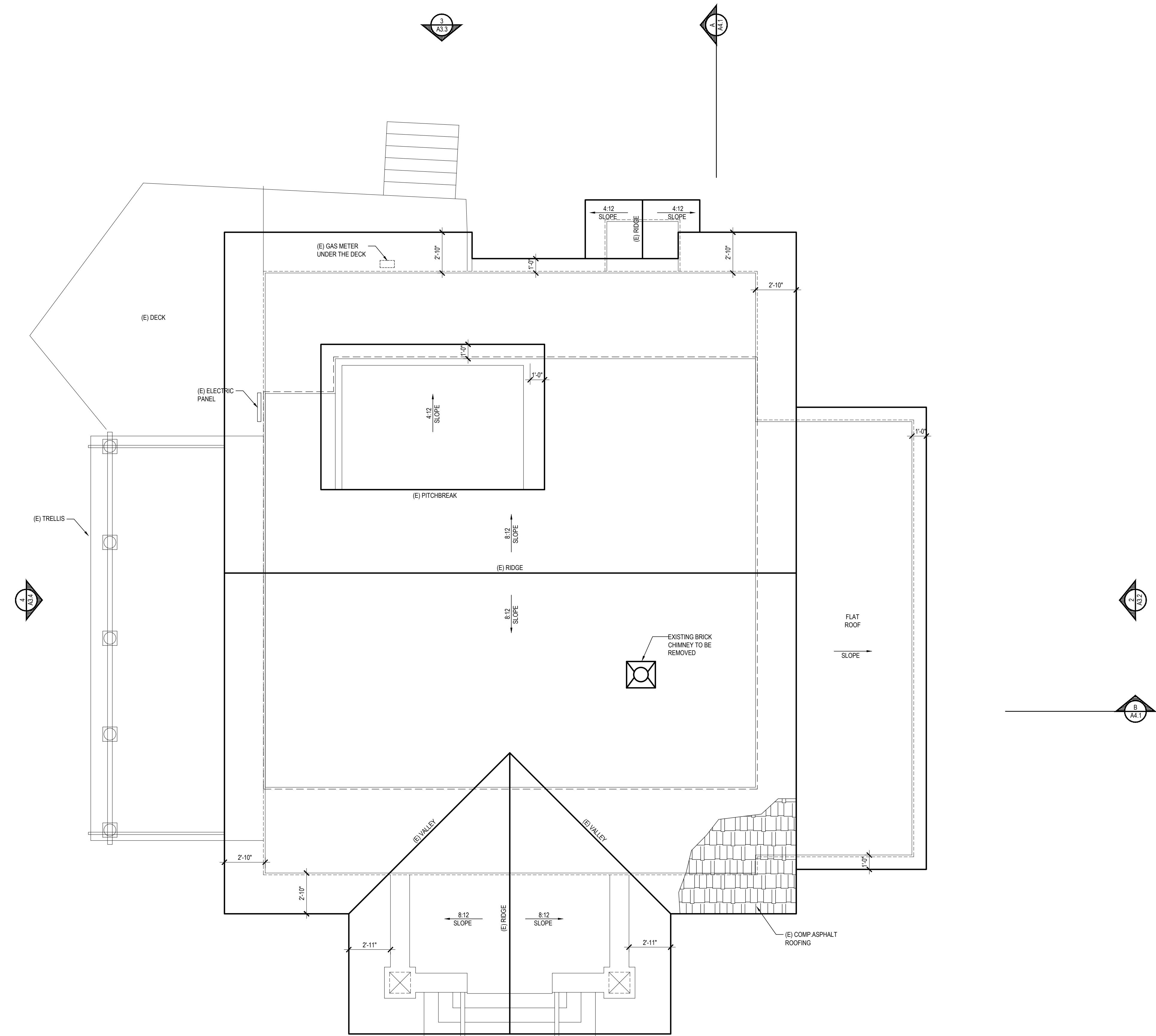
SCALE: 1/4" = 1'-0"

EXISTING SECOND
FLOOR PLAN (FOR
REFERENCE ONLY)

A2.3



INTERIORS
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ADDITIONS
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PLANNING SUBMITTAL II
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

 **EXISTING ROOF PLAN**
(FOR REFERENCE ONLY)

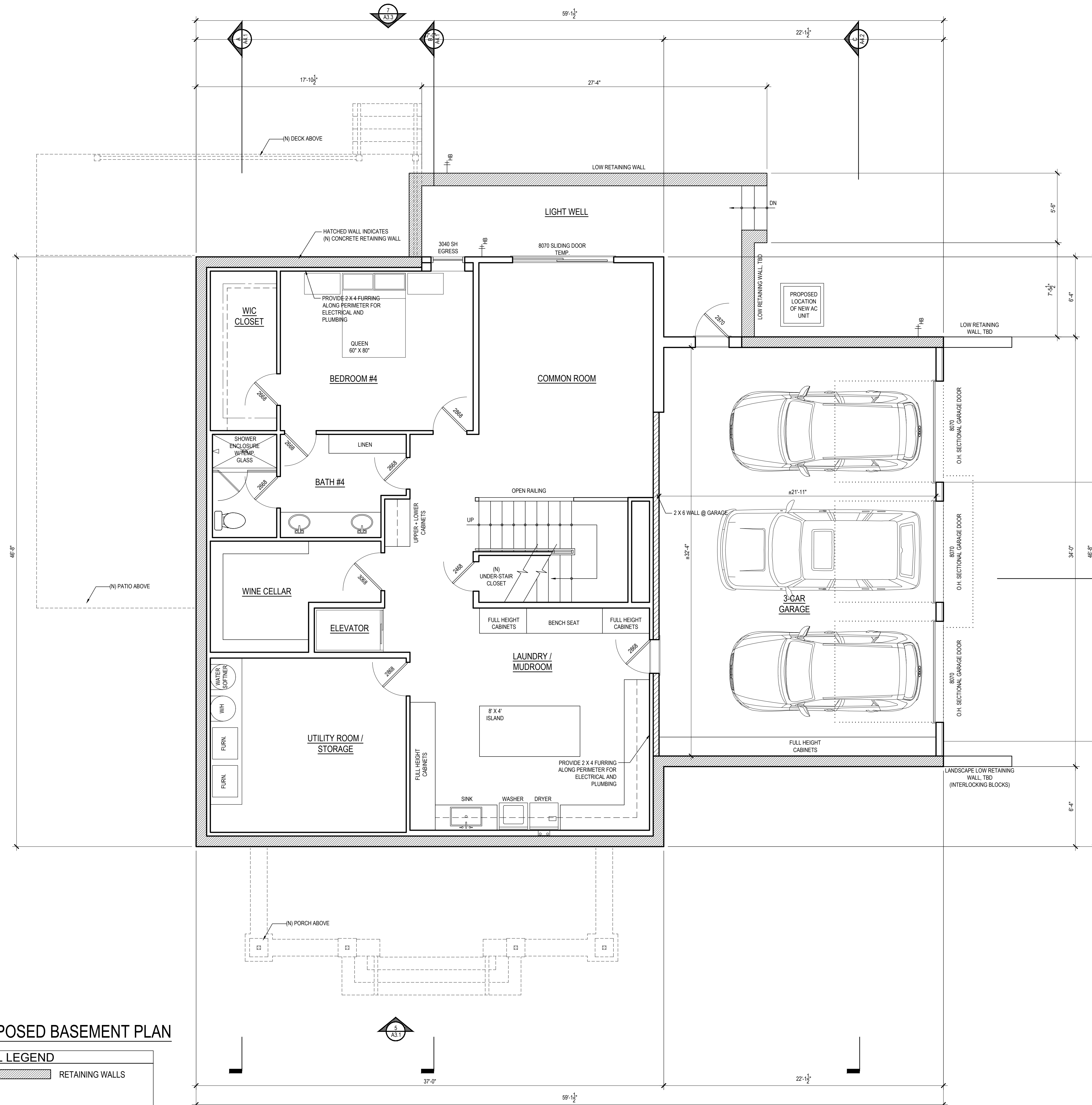
SCALE: 1/4" = 1'-0"

EXISTING ROOF PLAN
(FOR REFERENCE ONLY)

A2.4



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032
T 408.292.3252
F 253.399.1125



PROPOSED BASEMENT PLAN

NORTH

WALL LEGEND	
	RETAINING WALLS

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

- 17 APRIL 2017
- 13 OCTOBER 2017
HPC SUBMITTAL
- 30 NOVEMBER 2017
PLANNING SUBMITTAL
- 13 JUNE 2018
HPC SUBMITTAL II
- 12 SEPTEMBER 2018
PLANNING SUBMITTAL II
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

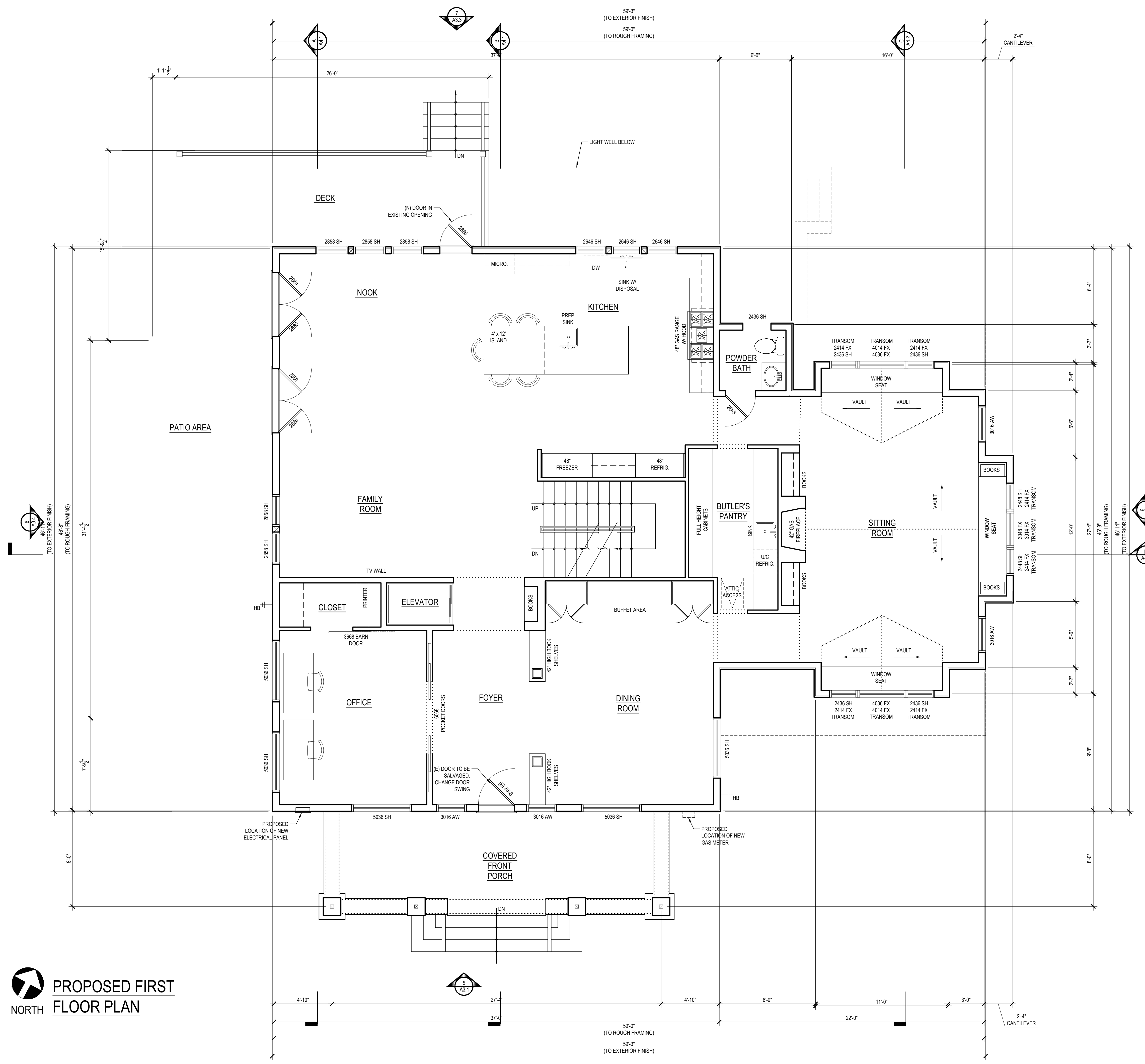
SCALE: 1/4" = 1'-0"

PROPOSED BASEMENT
PLAN

A2.5



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
638 UNIVERSITY AVE.
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 **PROPOSED FIRST FLOOR PLAN**

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

- 17 APRIL 2017
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN

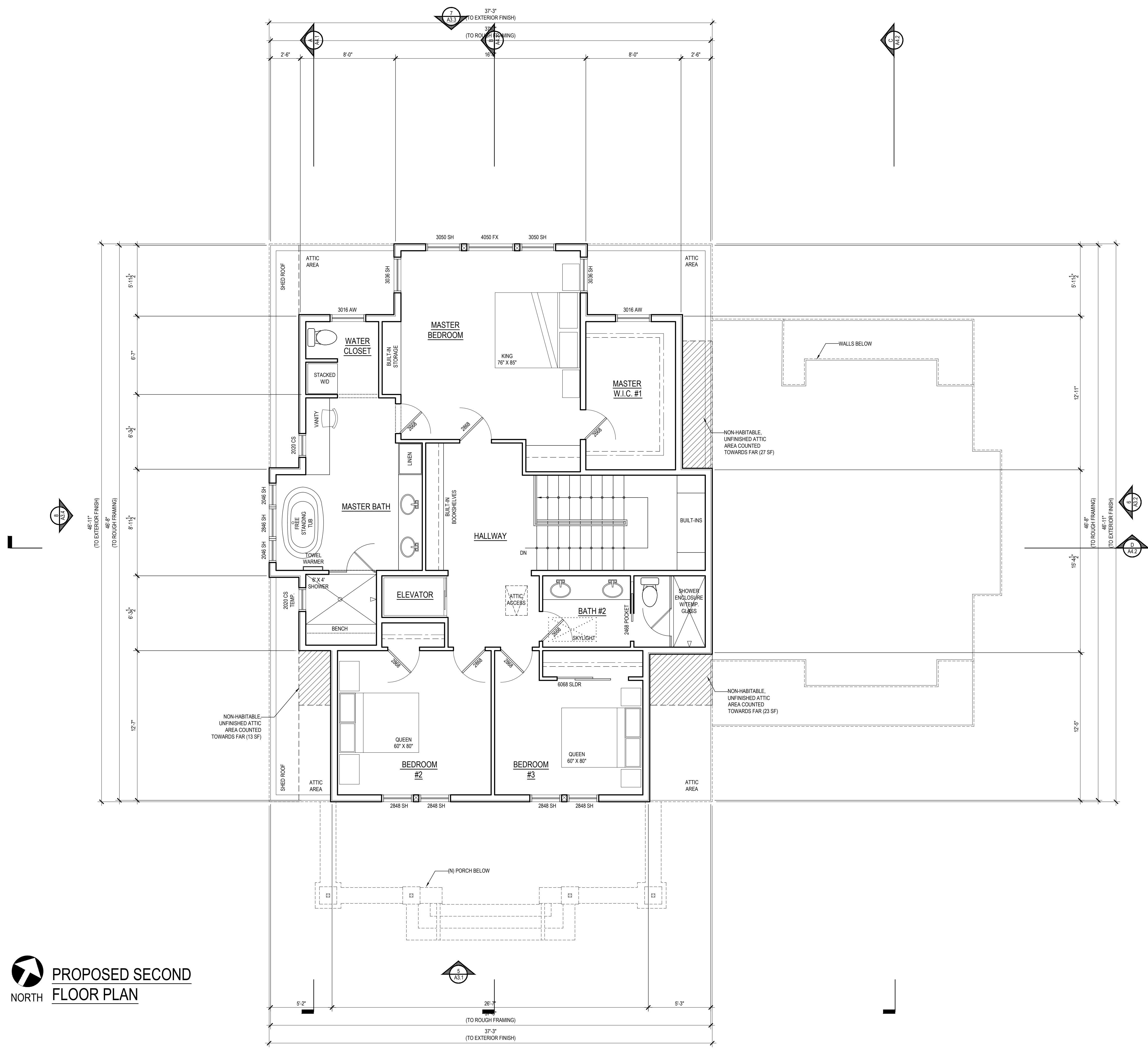
A2.6



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
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 **PROPOSED SECOND FLOOR PLAN**

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

- 17 APRIL 2017
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

PROPOSED SECOND FLOOR PLAN

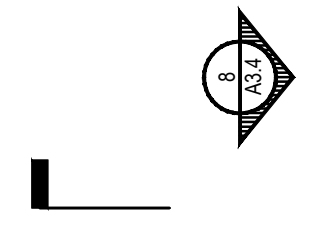
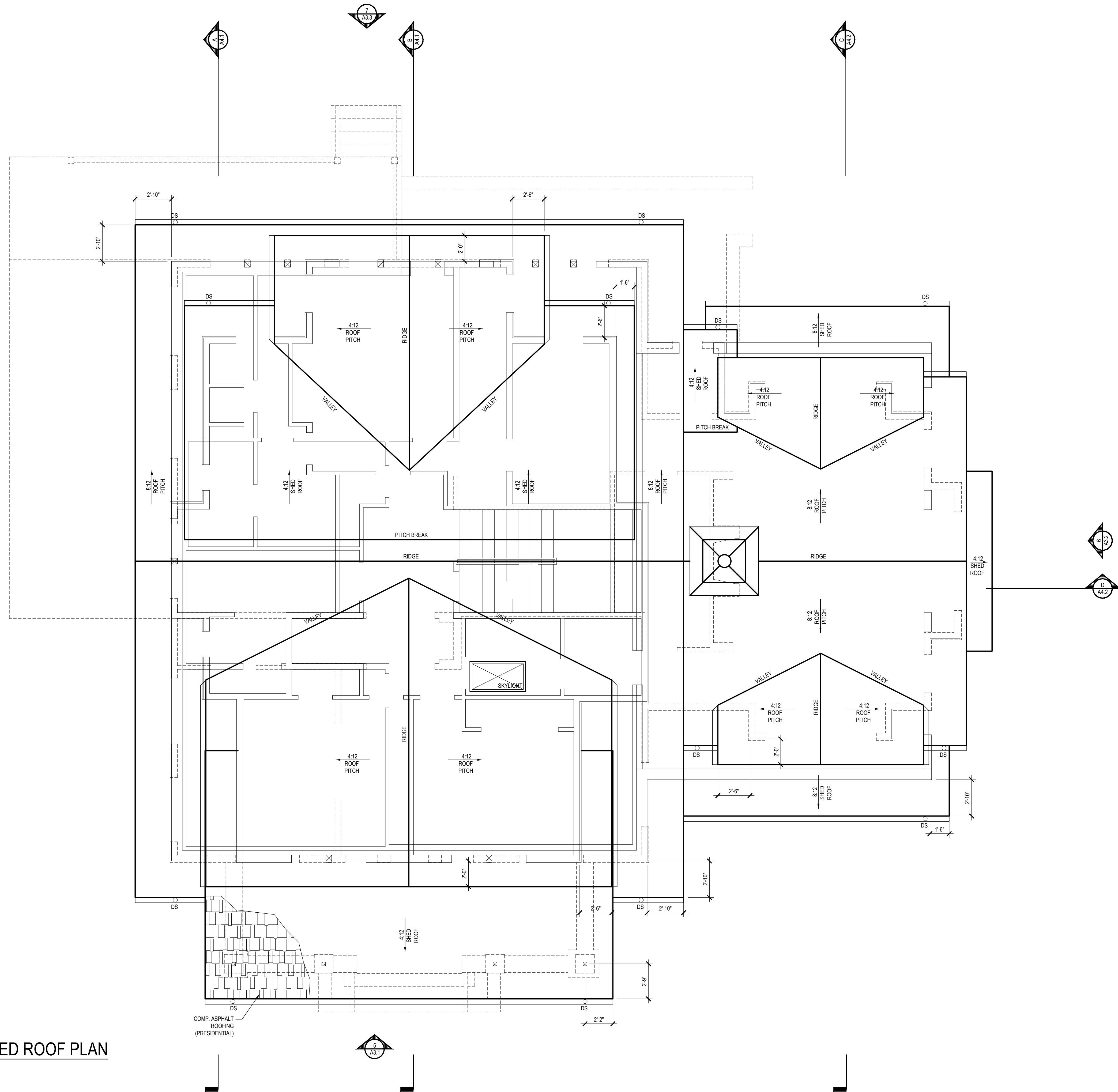
A2.7



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032

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 **PROPOSED ROOF PLAN**
NORTH

COMP ASPHALT
ROOFING
(PRESIDENTIAL)

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

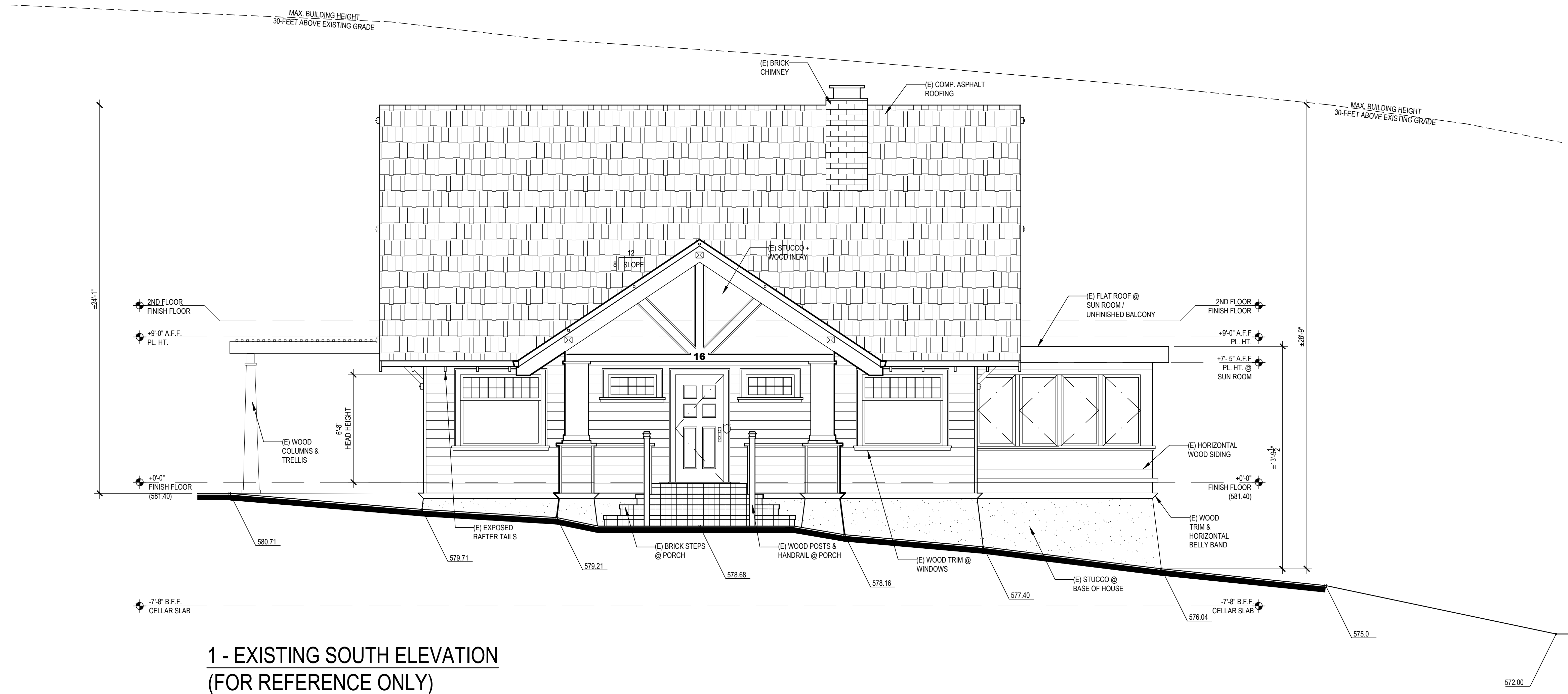
A.P.N. 510-40-012

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PLANNING SUBMITTAL IV

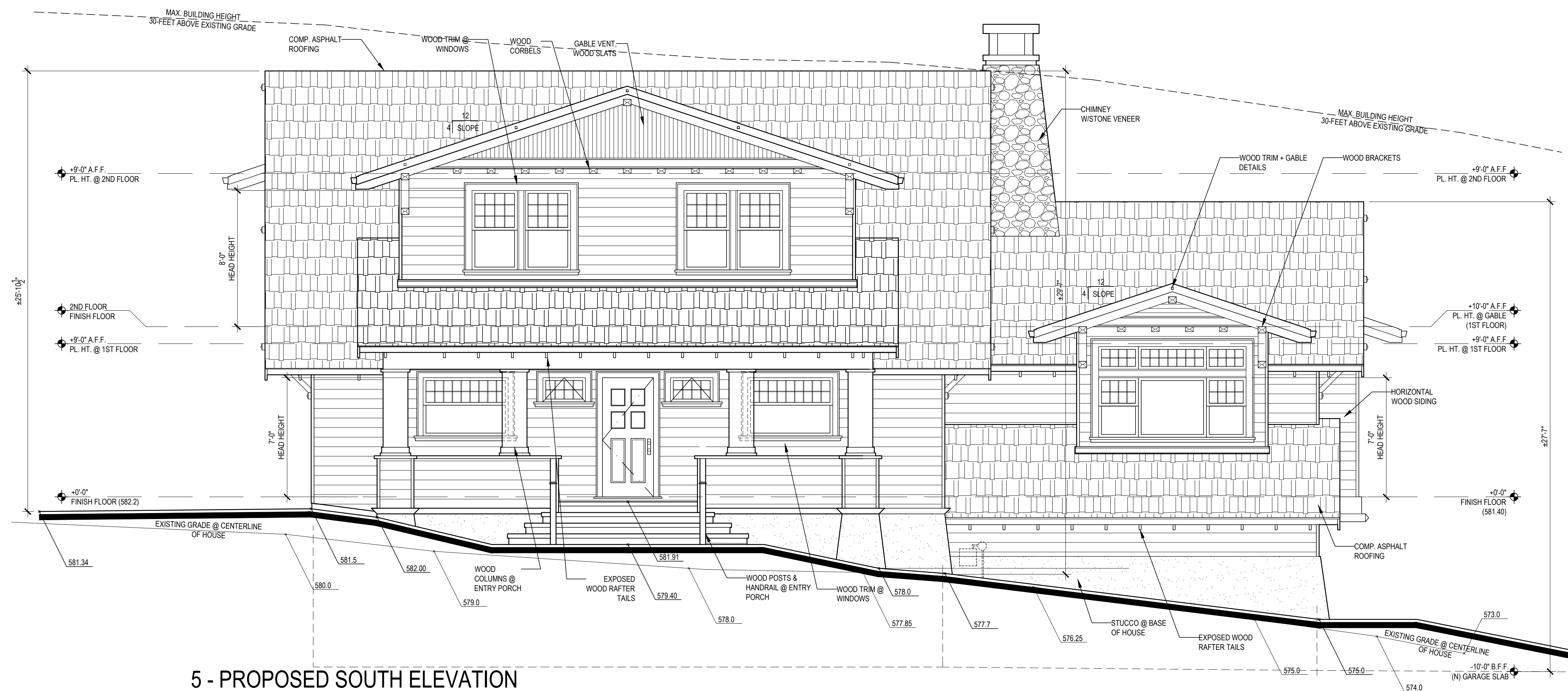
SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN

A2.8



**1 - EXISTING SOUTH ELEVATION
(FOR REFERENCE ONLY)**



5 - PROPOSED SOUTH ELEVATION

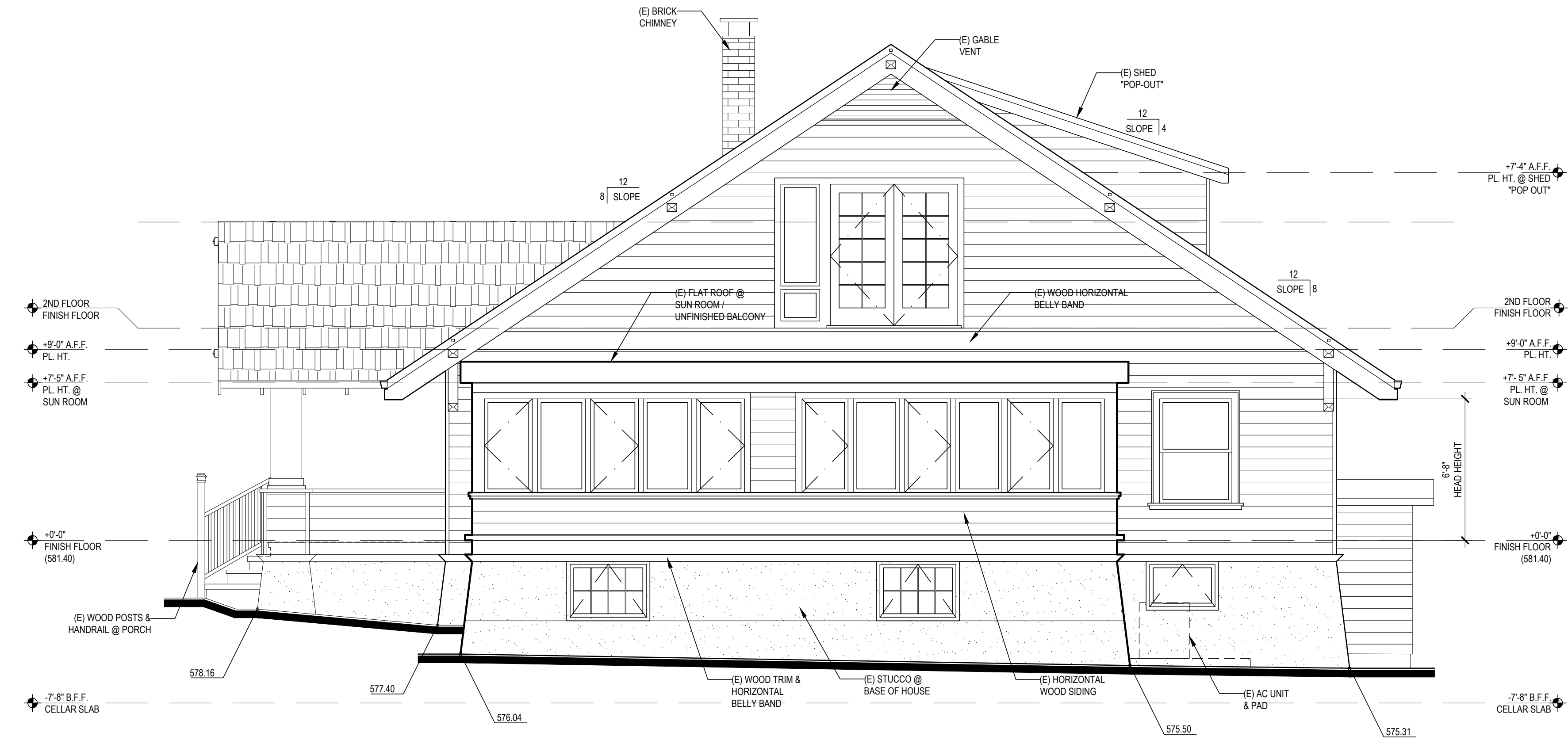
THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

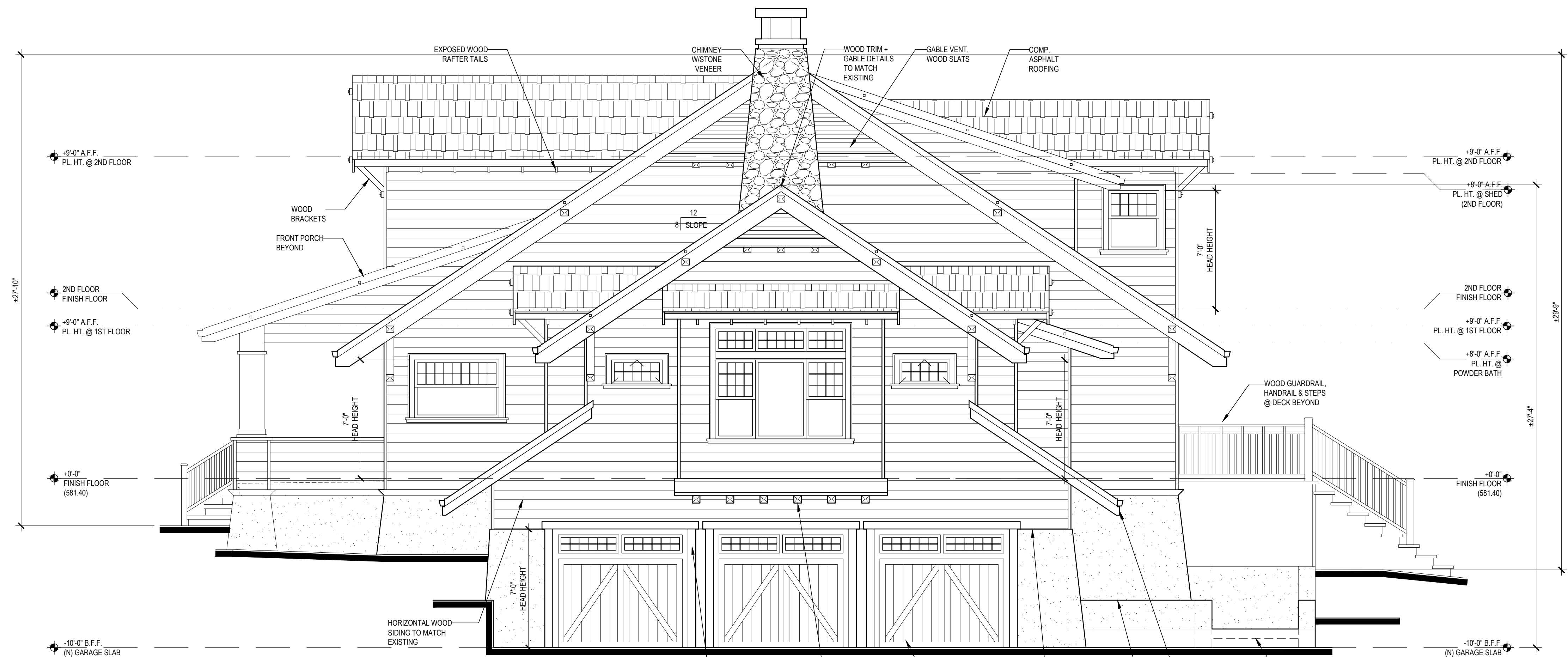
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

EXISTING + PROPOSED
EXTERIOR ELEVATIONS



2 - EXISTING EAST ELEVATION
 (FOR REFERENCE ONLY)



6 - PROPOSED EAST ELEVATION

THE CHESTNUT HOUSE
 16 CHESTNUT AVENUE
 LOS GATOS
 CALIFORNIA
 95030

A.P.N. 510-40-012

- 17 APRIL 2017
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

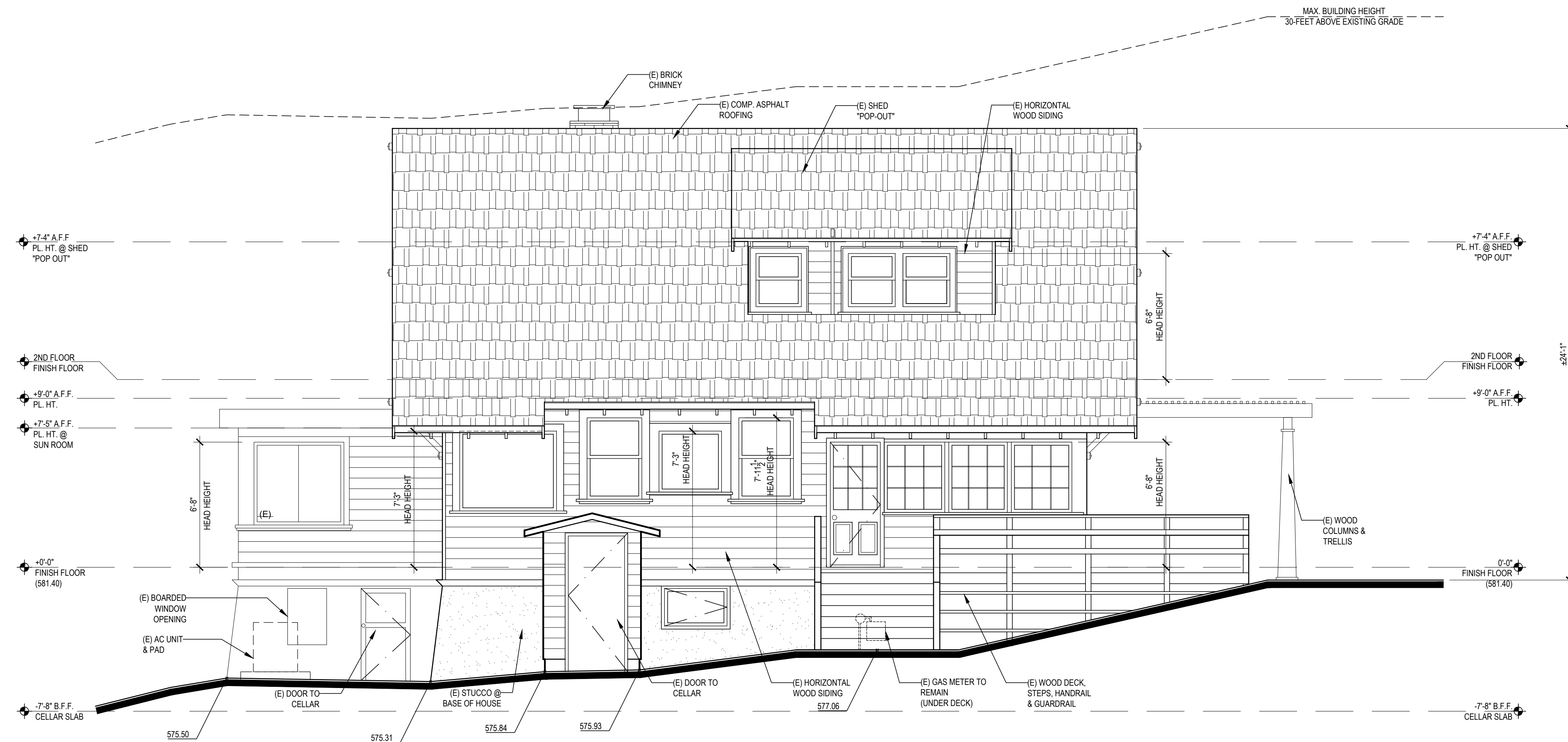
EXISTING + PROPOSED
 EXTERIOR ELEVATIONS



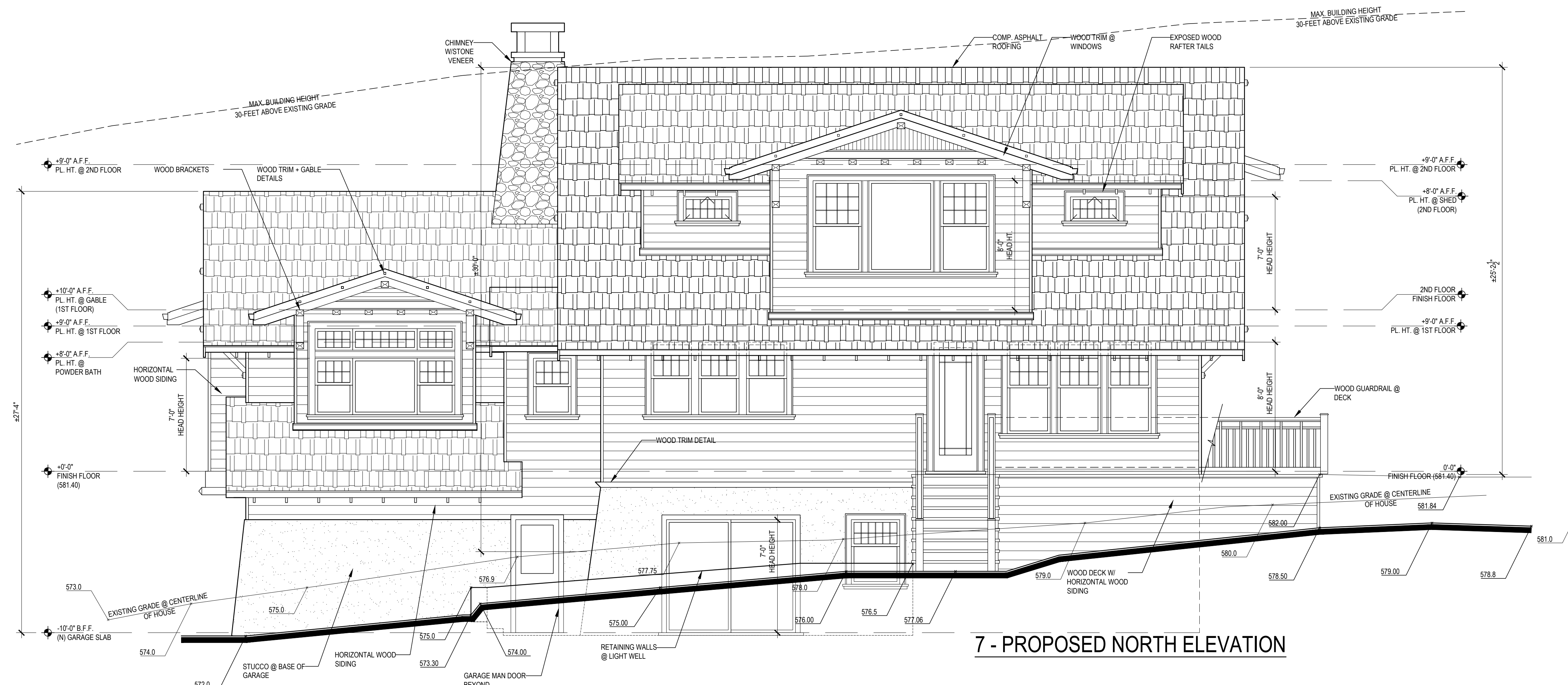
INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

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LOS GATOS
CALIFORNIA
95032

T 408.292.3252
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**3 - EXISTING NORTH ELEVATION
(FOR REFERENCE ONLY)**



7 - PROPOSED NORTH ELEVATION

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

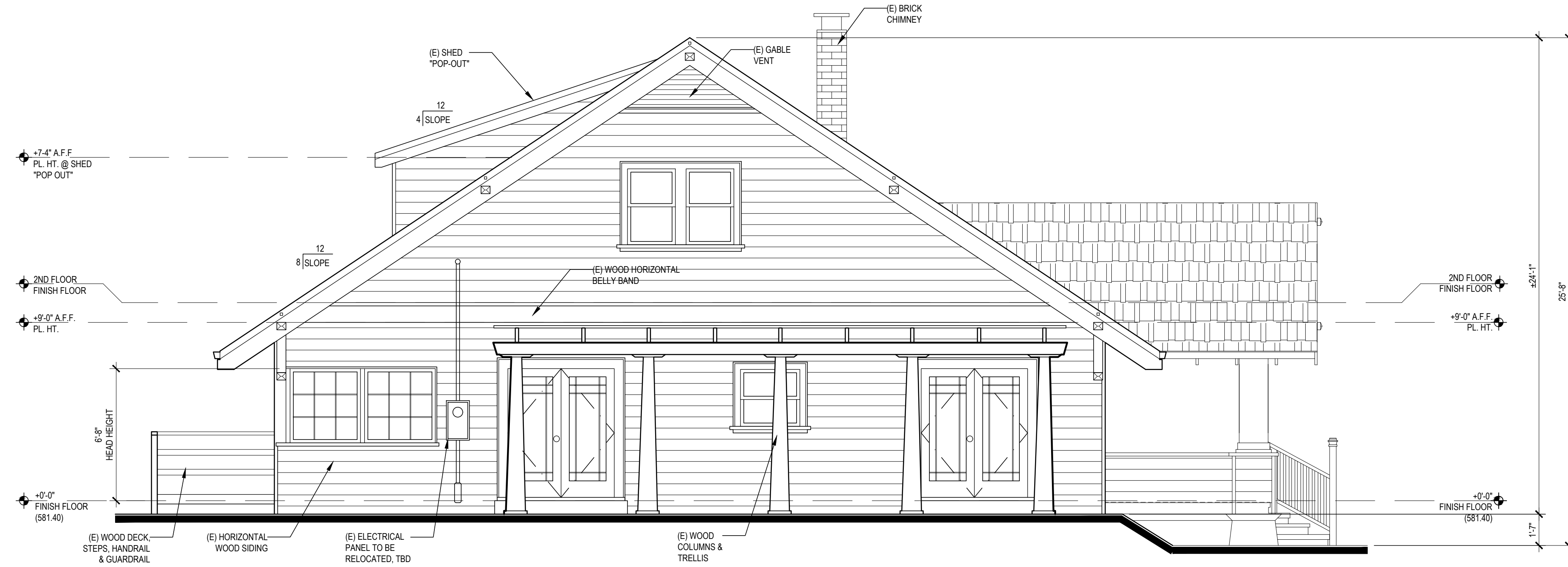
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PLANNING SUBMITTAL III
- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

EXISTING + PROPOSED
EXTERIOR ELEVATIONS

A3.3



4 - EXISTING WEST ELEVATION
(FOR REFERENCE ONLY)



8 - PROPOSED WEST ELEVATION

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

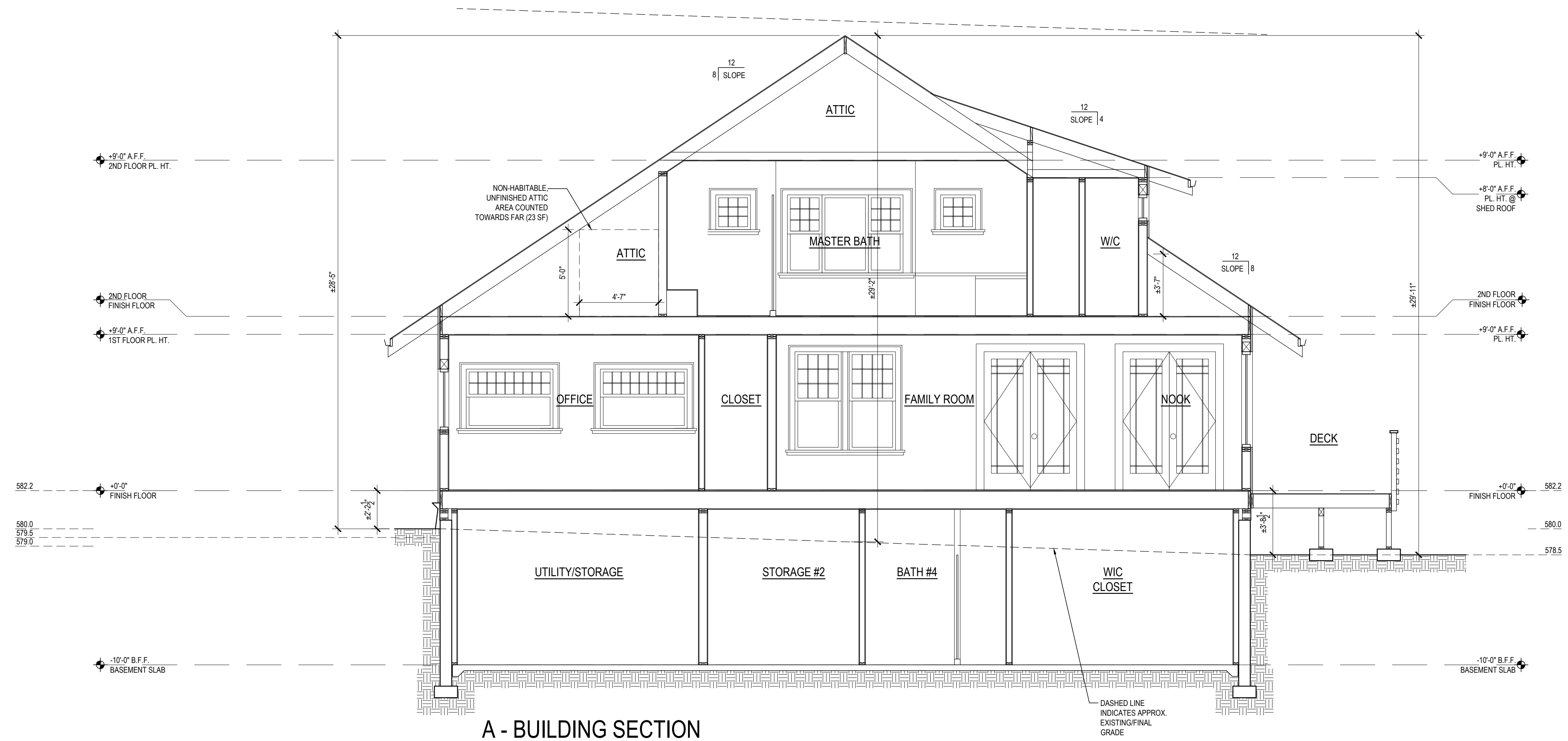
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- 29 MARCH 2019
PLANNING SUBMITTAL IV

SCALE: 1/4" = 1'-0"

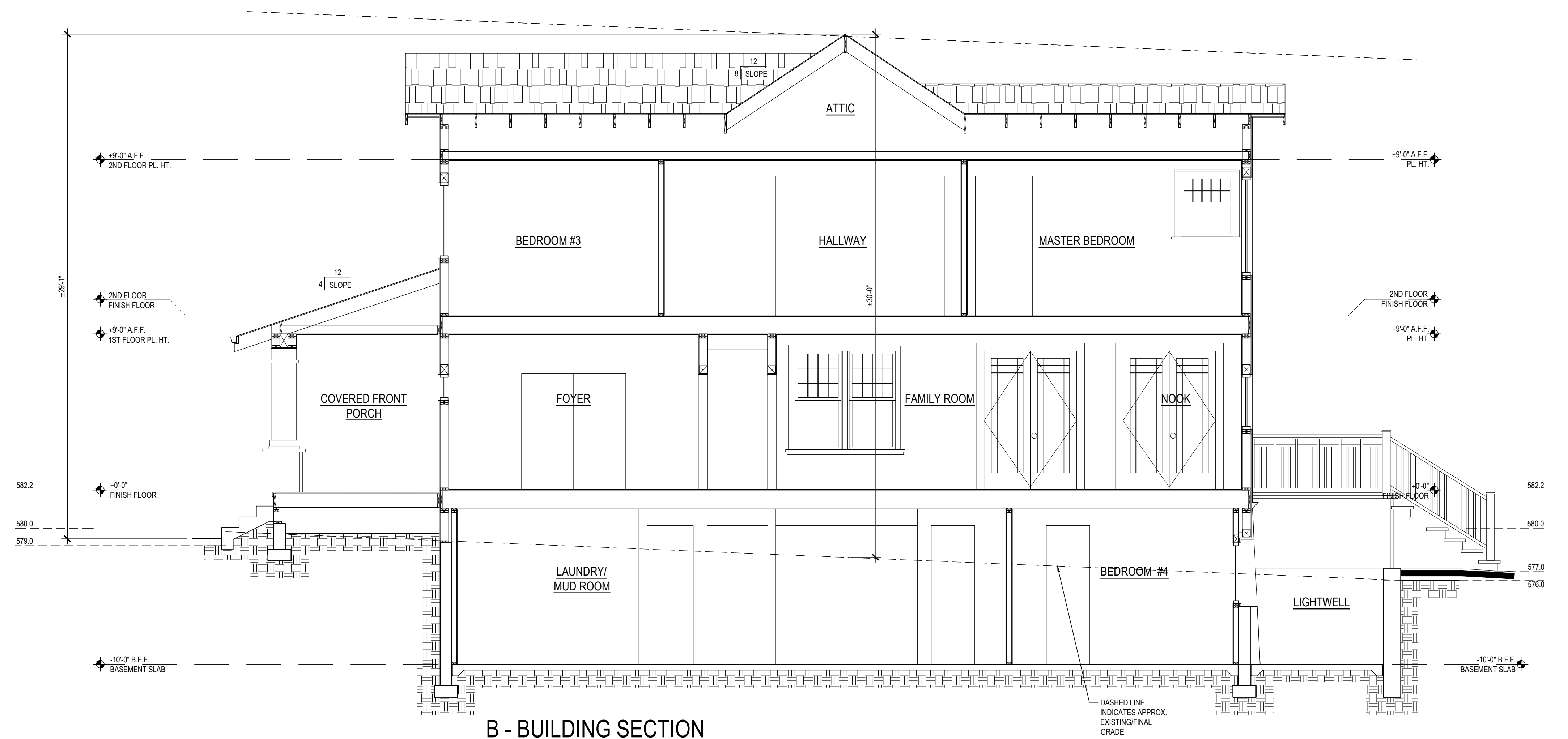
EXISTING + PROPOSED
EXTERIOR ELEVATIONS



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION
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CALIFORNIA
95032
T 408.292.3252
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A - BUILDING SECTION



B - BUILDING SECTION

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
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95030

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- 17 APRIL 2017
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SCALE: 1/4" = 1'-0"

PROPOSED BUILDING
SECTIONS

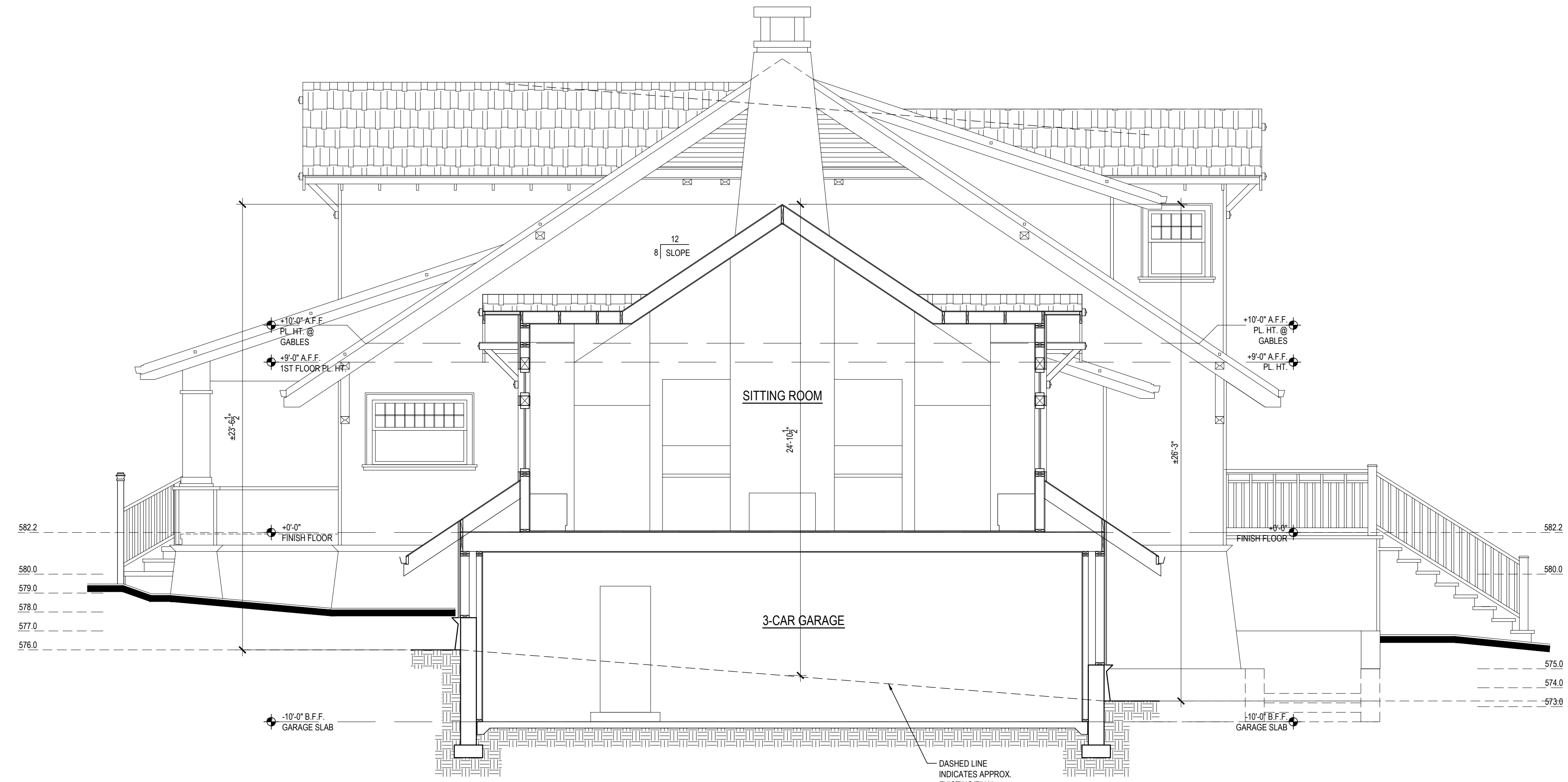
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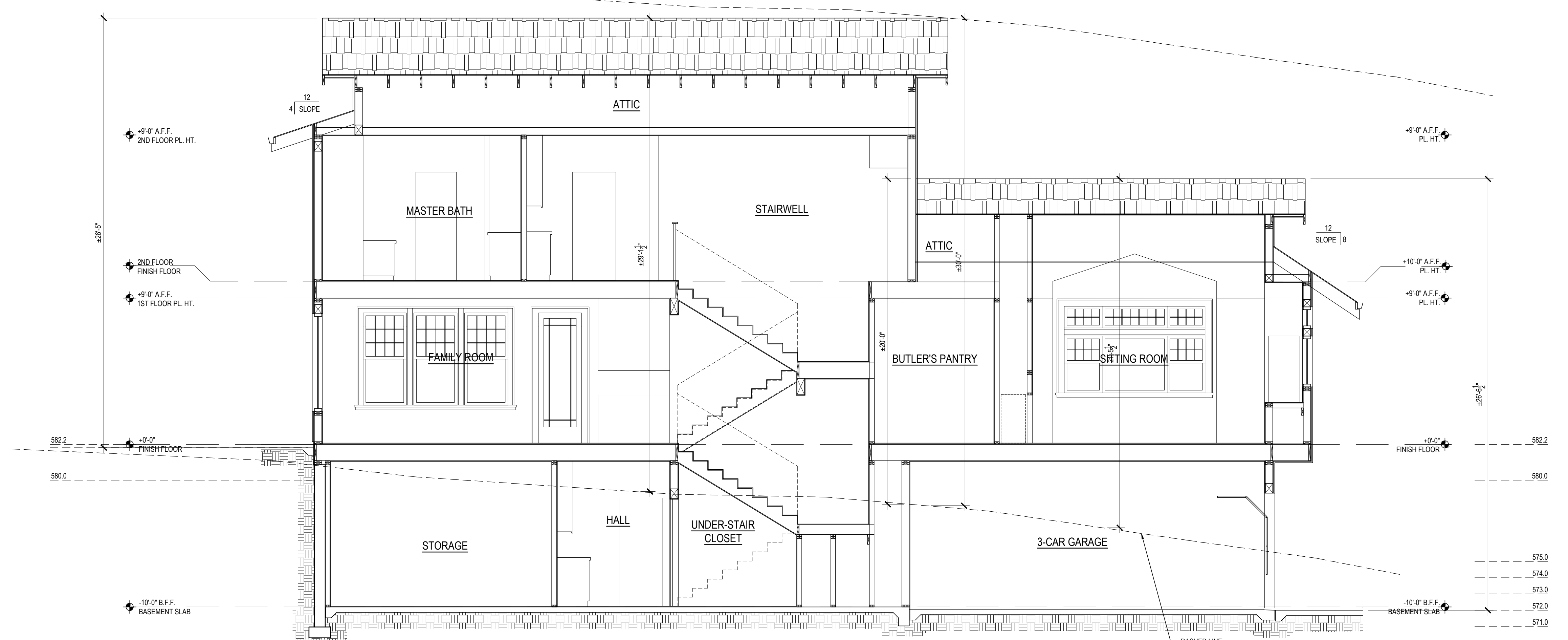
INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE.
LOS GATOS
CALIFORNIA
95032

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C - BUILDING SECTION



D - BUILDING SECTION

THE CHESTNUT HOUSE
16 CHESTNUT AVENUE
LOS GATOS
CALIFORNIA
95030

A.P.N. 510-40-012

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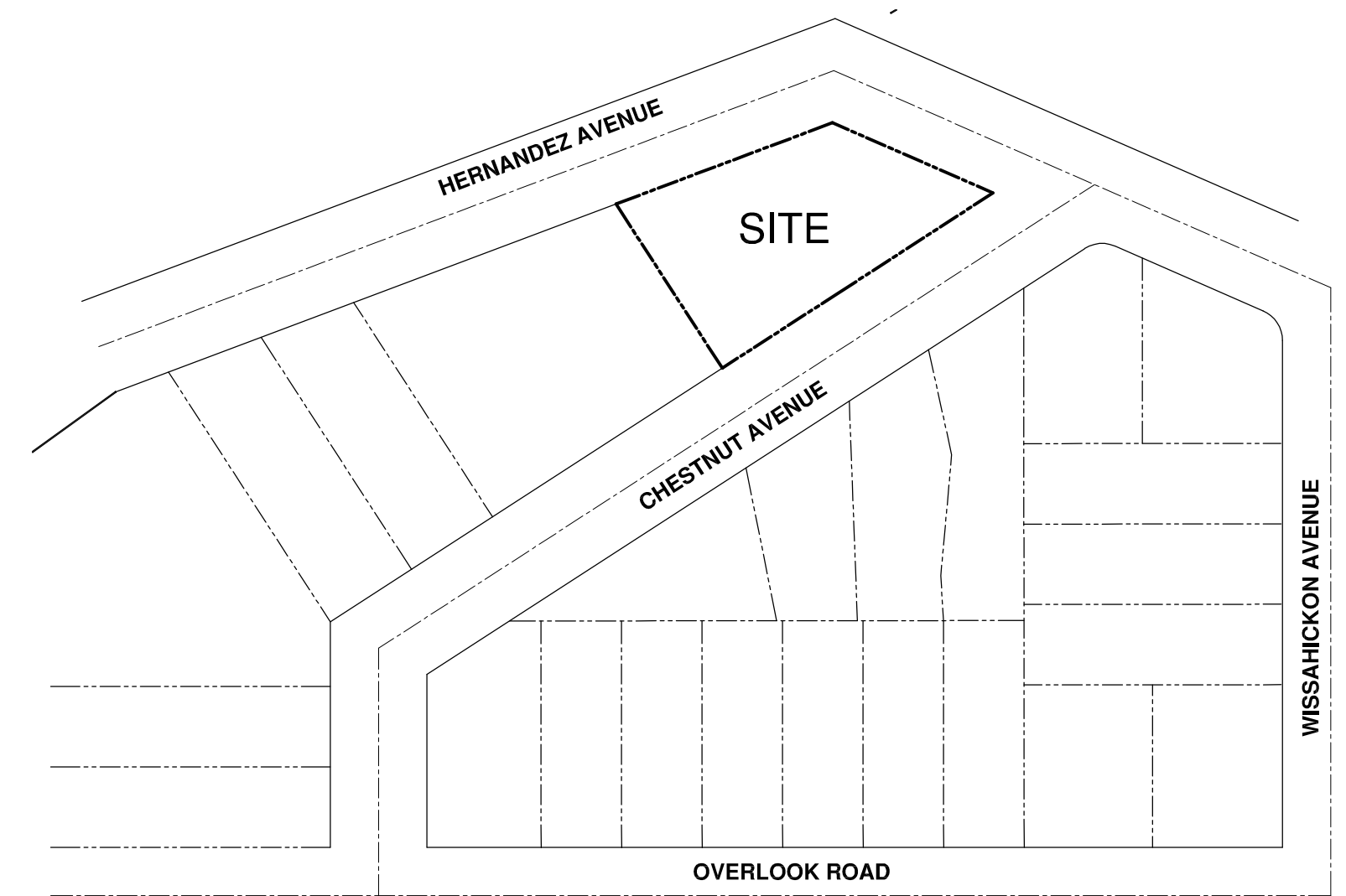
PROPOSED BUILDING
SECTIONS

PLANS FOR THE ARCHITECTURE AND SITE APPROVAL (ASA) NEW SINGLE FAMILY RESIDENCE

LANDS OF ROPER
16 CHESTNUT AVENUE, LOS GATOS
A.P.N. 510-40-012
TOWN OF LOS GATOS FILE NO. S-17-047



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	UTILITY PLAN
C6	SECTIONS AND DETAILS
C7	EROSION CONTROL PLAN & TREE PROTECTION DETAILS
C8	BLUEPRINT FOR A CLEAN BAY

ABBREVIATIONS

A.D.	= Area Drain
AC. or A.C.	= Asphalt Concrete
B.S.L.	= Building Setback Line
B.W.	= Bottom of Wall
C.B.	= Catch Basin
C.O.	= Clean Out
CL	= Centerline
Conc.	= Concrete
Div. V.	= Diversion Valve
D.W.	= Driveway
E.P.	= Edge of Pavement
Ex. or Exist.	= Existing
F.F.	= Finish Floor
F.H.	= Fire Hydrant
F.L.	= Flow Line
Fnd.	= Found
IP.	= Iron Pipe
L.F.	= Linear Feet
L.L.	= Leach Line
Max.	= Maximum
Min.	= Minimum
Mon.	= Monument
N.T.S.	= Not To Scale
NAT.	= Natural
Pav.	= Pavement
PL or Prop.	= Property Line
P.W.L.E.	= Private Water Line Easement
R.W.	= Right-of-Way
Ret.	= Retaining
S.T.	= Septic Tank
T.L.	= Tight Line
T.W.	= Top of Wall
Typ.	= Typical
W.	= Water
W.M.	= Water Meter

PARKING NOTES:

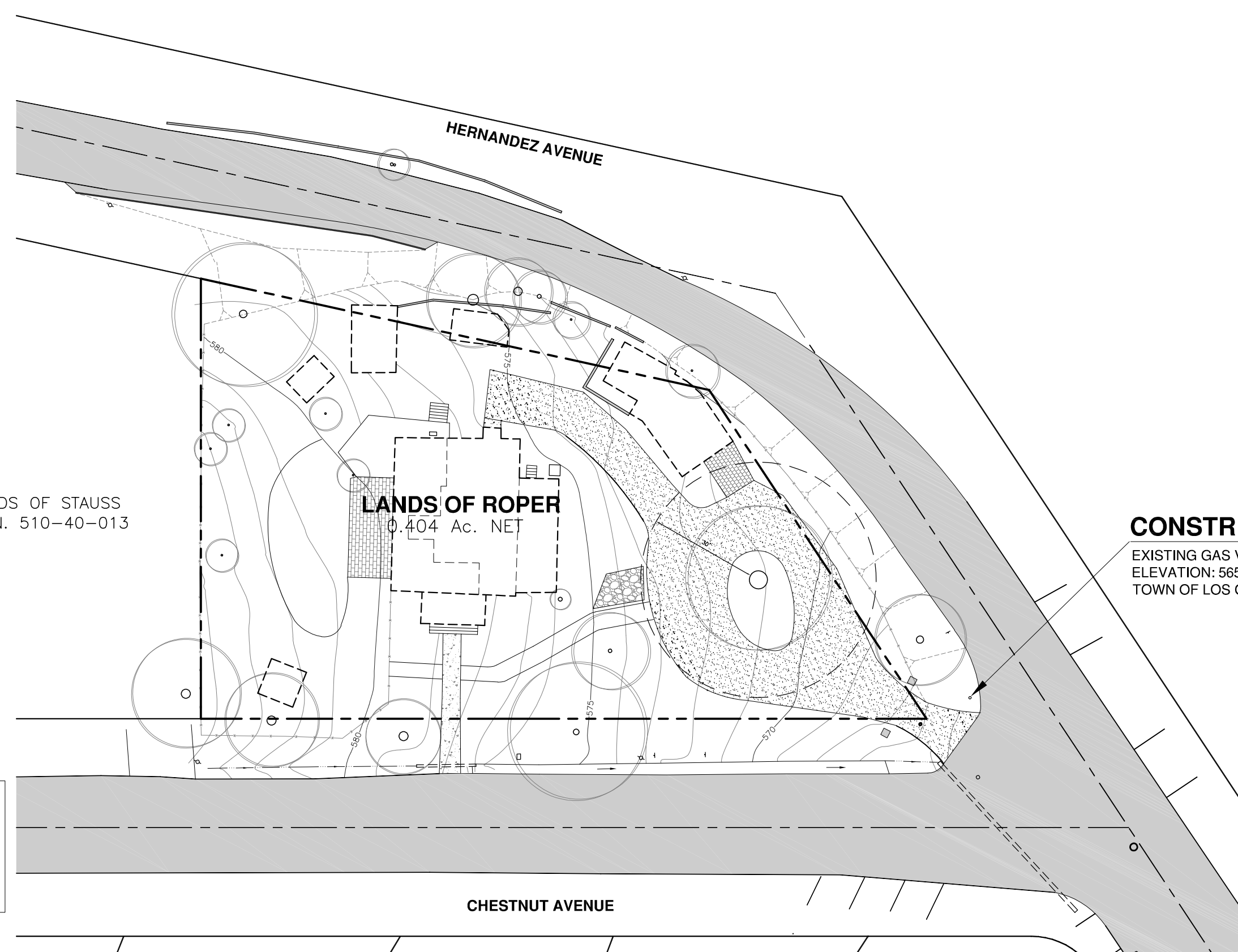
IN GARAGE	3
ON DRIVEWAY in front of garage	3

BENCHMARK

TOWN OF LOS GATOS LG33
ELEVATION: 563.56

GRADING NOTE:

ALL GRADING SHALL BE IN ACCORDANCE WITH "GEOTECHNICAL INVESTIGATION" PREPARED FOR THIS SITE BY: TING & ASSOCIATES, INC. DATED SEPTEMBER 25, 2018.



SITE MAP
SCALE: 1"=30'

GENERAL NOTES

OWNERS: KIM ROPER
13 CHESTNUT AVENUE
LOS GATOS, CA 95030

DEVELOPER: KIM ROPER
(SAME AS OWNER)

ENGINEER: PEOPLES ASSOCIATES
(SEE TITLE BLOCK)

PROPERTY ADDRESS: 16 CHESTNUT AVENUE
LOS GATOS, CA 95030

EXISTING ZONING: R-1:12
PROPOSED ZONING: R-1:12

NET ACREAGE: 17,806 S.F. (0.404 Ac.)
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE

STORM: EXISTING NATURAL DRAINAGE PATTERNS
EXISTING CULVERTS

SANITARY: WEST VALLEY SANITATION DISTRICT
EXISTING IN CHESTNUT AVENUE AND ON-SITE

WATER: SAN JOSE WATER CO.
EXISTING IN CHESTNUT AVENUE AND ON-SITE

GAS: P.G.&E.
EXISTING IN CHESTNUT AVENUE AND ON-SITE

ELECTRIC: P.G.&E.
EXISTING IN CHESTNUT AVENUE AND ON-SITE

TELEPHONE: AT&T
EXISTING IN CHESTNUT AVENUE AND ON-SITE

CABLE TV: COMCAST
EXISTING IN CHESTNUT AVENUE AND ON-SITE

A.P.N. 510-40-012

PROPERTY INFORMATION

EX. ZONING: R-1:12
SETBACKS: FRONT = 25'
SIDE = 10'
REAR = 20'
STREET = 15'
POOL = 5'

LOT COVERAGE: 40% MAX.
MAX. HEIGHT: 30' FROM NATURAL OR FINISH GRADE

PRELIMINARY TITLE REPORT
OLD REPUBLIC TITLE COMPANY DATED: JANUARY 19, 2017

GENERAL NOTES

- THE DATE OF THE FIELD SURVEY WAS APRIL 2017 & NOVEMBER 2018.
- CONTOUR INTERVAL IS 1-FOOT WITH SPOT ELEVATIONS.
- THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
- BASIS OF ELEVATION: TOWN OF LOS GATOS BENCHMARK: "LG33" ELEVATION: 563.56
- PROPERTY LINES SHOWN ARE RECORD DATA.
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
- ALL GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TING & ASSOCIATES, INC. DATED SEPTEMBER 25, 2018.
- THE DRIVEWAY SHALL BE 12' WIDE MIN. OR PER TOWN OF LOS GATOS STANDARDS.
- THE LONGITUDINAL PROFILE OF THE DRIVEWAY SHALL FOLLOW THE EXISTING TERRAIN TO MINIMIZE GRADING.
- MAINTAIN NATURAL DRAINAGE PATTERN AND EXISTING SHEET-FLOW INTO EXISTING CULVERTS.
- ALL DOWNSPOUTS SHALL HAVE A SPLASH BOX AND DIVERT WATER AWAY FROM BUILDING INTO LANDSCAPED AREA.
- ALL NEW UTILITIES SHALL BE UNDERGROUND

AVERAGE SLOPE

$$S = \frac{0.0023 \times l \times L}{A}$$

OVERALL SITE

$$S = \frac{0.0023 \times 5 \times 285}{0.404}$$

S = 8.11%

IMPERVIOUS COVERAGE

LOCATION	SQUARE FEET
PRE-CONSTRUCTION (EXISTING)	
EX. HOUSE & PORCH ROOF*	2,300
EX. GREEN HOUSE ROOF*	104
EX. CHICKEN COOP ROOF*	181
EX. AC DRIVEWAY*	3,585
EX. BRICK PATIO & STAIRS*	367
EX. TILES*	112
EX. SECONDARY DWELLING ROOF	700
EX. SHED ROOF	298
EX. GAZEBO	128
EX. CONCRETE WALKWAY	302
EX. WALLS & ROCKS	165
TOTAL	8,242

* DEMOLISH AND REMOVE

IMPERVIOUS COVERAGE

LOCATION	SQUARE FEET
POST-CONSTRUCTION (NEW)	
RESIDENCE ROOF	3,110
LIGHT WELL	180
POOL DECK	590
INTERLOCKING BLOCK WALL	55
EXISTING (TO REMAIN)	
EX. SECONDARY DWELLING ROOF	700
EX. SHED ROOF	298
EX. GAZEBO	128
EX. CONCRETE WALKWAY (PORTION)	100
EX. WALLS & ROCKS (PORTION)	54
TOTAL	5,215

3,027 S.F. LESS THAN PRE-CONSTRUCTION (EXISTING)

PERVIOUS COVERAGE

LOCATION	SQUARE FEET
POST-CONSTRUCTION	
DRIVEWAY	3,255
PATIO	790
BBQ AREA	280
TOTAL	4,325

GRADING QUANTITIES

LOCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)
HOUSE BASEMENT TO PAD 471.2	306	0
GARAGE TO PAD 471.0	87	0
LIGHT WELL	25	0
DRIVEWAY	32	29
POOL	171	0
POOL DECK	24	4
PATIO	0	47
SIDE & BACK YARD	7	11
BBQ AREA	0	19
TOTAL	652	110

542 C.Y. OVERCUT TO BE HAULED AWAY.



REV.	DATE	DESCRIPTION
1	04/19	REVISED PER TOWN LETTER DATED MARCH 5, 2019
0	11/18	RELEASED TO CLIENT & TOWN

DESIGNED BY: V.S.
DRAWN BY: R.S.C.
CHECKED BY: V.S.
SCALE: AS SHOWN
DATE: 11/28/18
PROJECT NO.: 29-558

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-672-0220
San Jose, California
www.peas.com
Pleasanton, California

WARNING

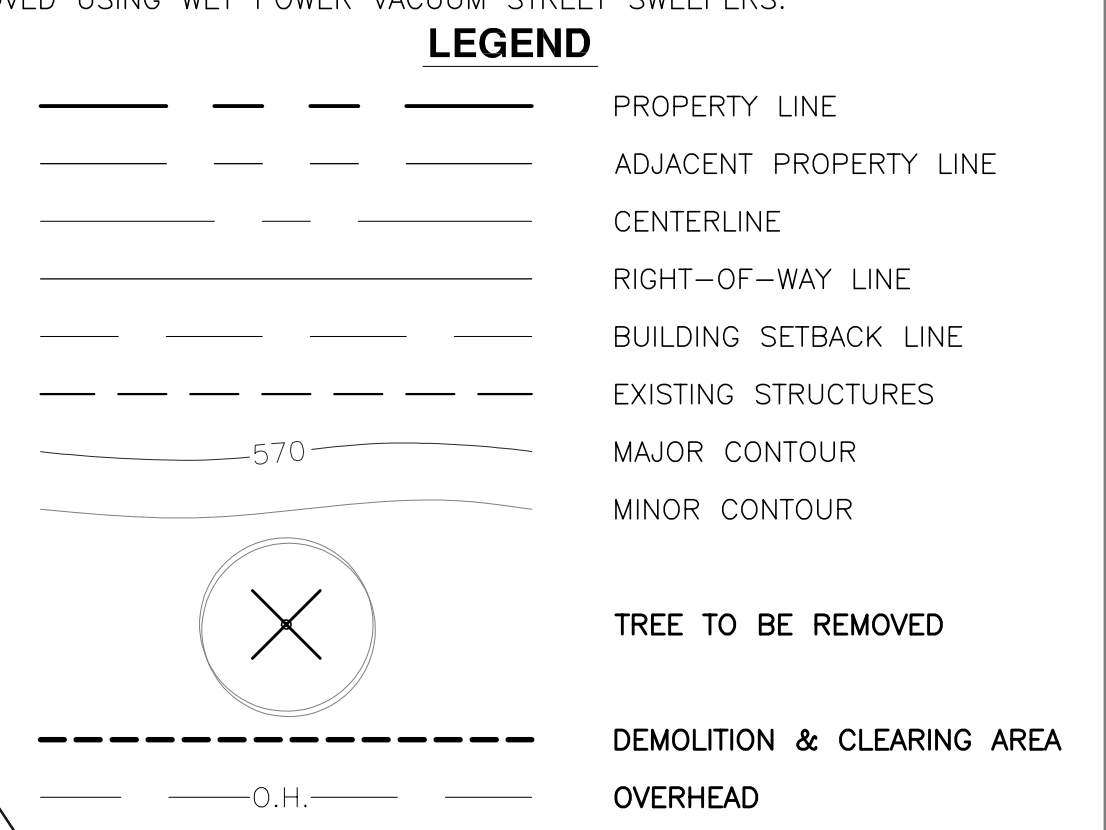
- DO NOT REMOVE EXISTING AC FROM DRIVEWAY WITHIN 30' OF TREE TRUNK DURING CONSTRUCTION
- WHEN CONSTRUCTION IS COMPLETE AND FINALIZED, REMOVE EXISTING AC AND INSTALL PERVIOUS PAVERS PER TYPICAL DRIVEWAY SECTION, SEE SHEET C6

DEMOLITION NOTES:

- REMOVE AND HAUL AWAY ALL DEBRIS WITHIN DEMOLITION AND CLEARING AREA:
 - EXISTING RESIDENCE, GREEN HOUSE AND CHICKEN COOP AS SHOWN
 - ALL CONCRETE, BRICK PATIOS, TILES AND WALKWAYS AS SHOWN
 - ALL EXISTING ASPHALT DRIVEWAY AS SHOWN
 - ALL PORCHES AND PATIOS
 - TRESS AS SHOWN
 - FENCE AS SHOWN
 - ROCKS AS SHOWN
 - GRAVEL AND SAND AS SHOWN
 - REMOVE OVERHEAD LINES FOR ELEC., TEL. & CATV

DUST CONTROL NOTES:

- DUST GENERATED ON THE PROJECT SITE SHALL BE CONTROLLED BY WATERING OR APPLYING APPROVED DUST PALLIATIVE ON ALL EXPOSED AREAS AT LEAST TWICE DAILY DURING DEMOLITION, EXCAVATION AND ESPECIALLY DURING CLEARING AND GRADING OPERATIONS.
- ALL HAUL TRUCKS TRANSPORTING LOOSE MATERIAL OFF-SITE SHALL BE COVERED.
- ALL VISIBLE MUD OR DIRT TRACKED OUT ONTO ADJACENT ROADS SHALL BE REMOVED USING WET POWER VACUUM STREET SWEEPERS.



REV.	DATE	DESCRIPTION
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 DRAWN BY: R.S.C.
 CHECKED BY: V.S.
 SCALE: AS SHOWN

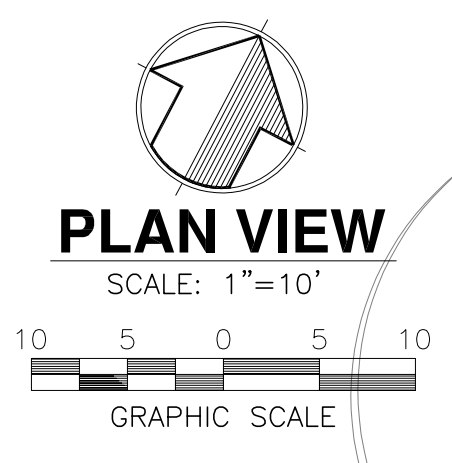
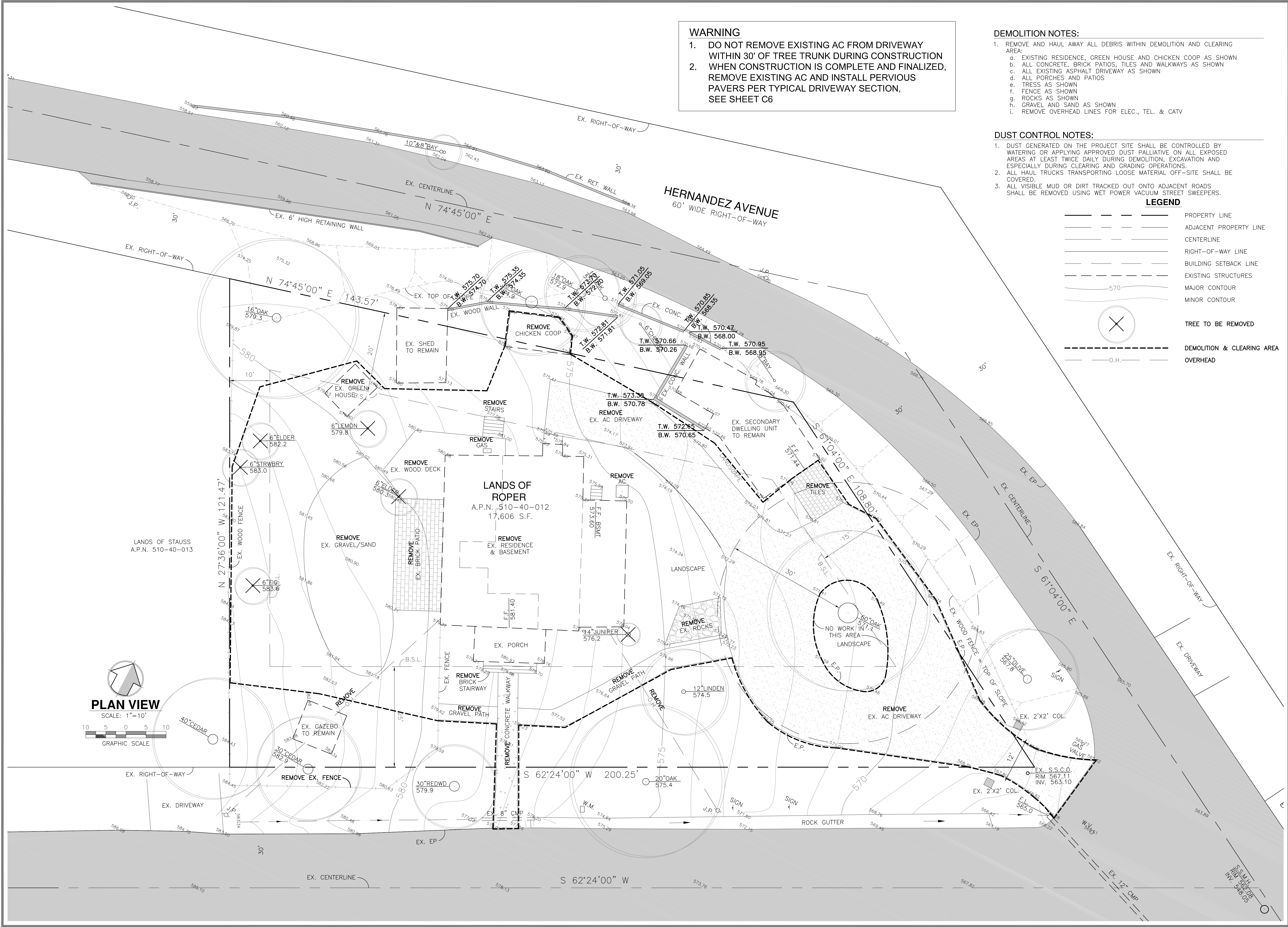
DATE: 11/28/18
 SHEET NO. 29.588

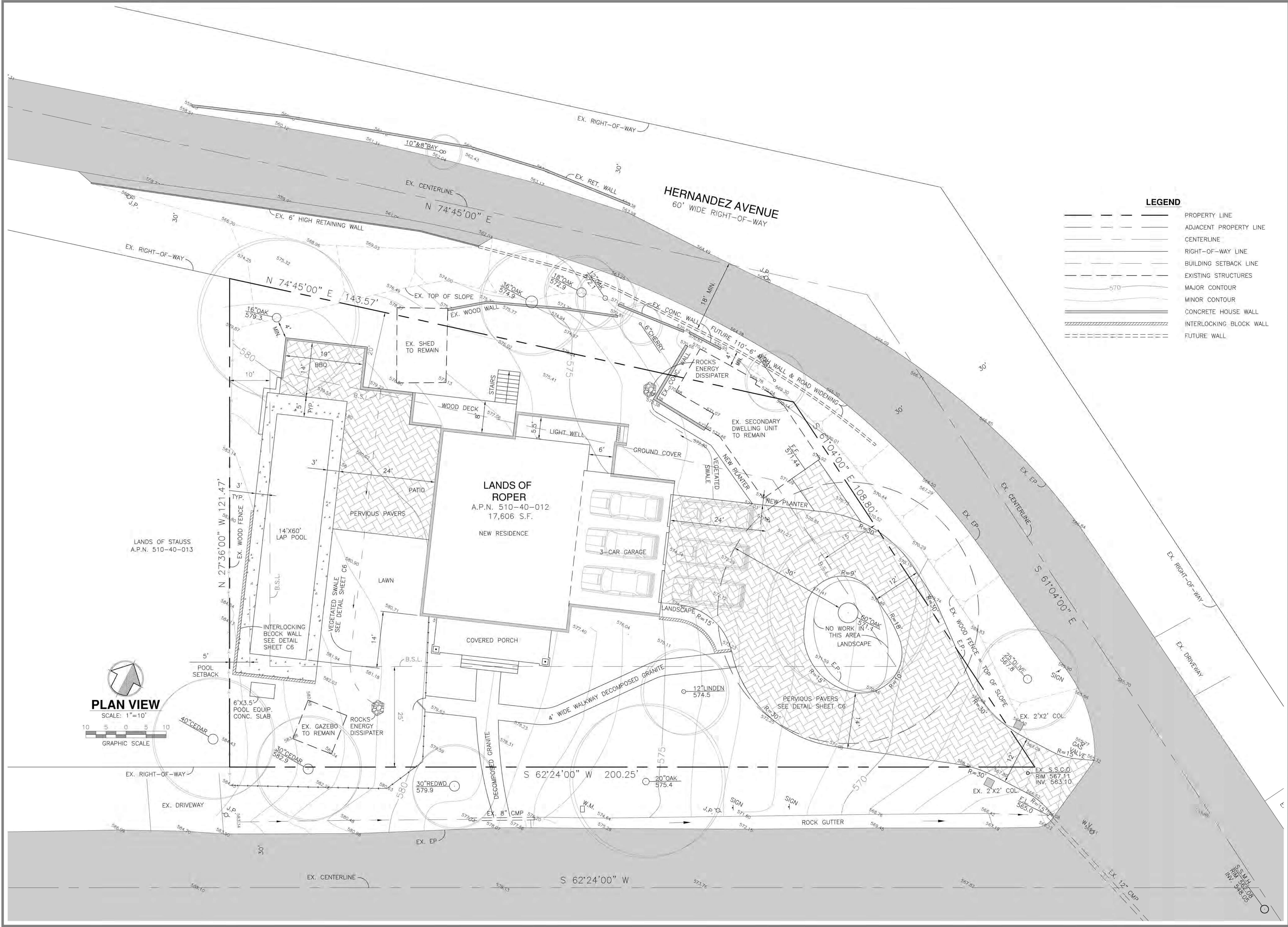
PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
 408-87-0220
 San Jose, California
 www.paee.com
 Pleasanton, California

APPROVED BY:

EXISTING CONDITIONS & DEMOLITION PLAN
LANDS OF ROPER
 16 CHESTNUT AVENUE
 LOS GATOS, CALIFORNIA

SHEET NUMBER
C2
 OF 8 SHEETS
 DRAWING NO.
 18045-C2





LEGEND

- — — — — PROPERTY LINE
- — — — — ADJACENT PROPERTY LINE
- — — — — CENTERLINE
- — — — — RIGHT-OF-WAY LINE
- — — — — BUILDING SETBACK LINE
- — — — — EXISTING STRUCTURES
- — — — — MAJOR CONTOUR
- — — — — MINOR CONTOUR
- — — — — CONCRETE HOUSE WALL
- — — — — INTERLOCKING BLOCK WALL
- — — — — FUTURE WALL

REV	DATE	DESCRIPTION
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 CHECKED BY: V.S.
 SCALE: AS SHOWN

DATE: 11/28/18
 FILE NO. 29-558

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
 408-977-9220
 San Jose, California
 www.paee.com
 Pleasanton, California

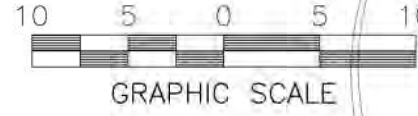
APPROVED BY:

SITE PLAN
LANDS OF ROPER
 16 CHESTNUT AVENUE
 LOS GATOS, CALIFORNIA

SHEET NUMBER
C3
 OF 8 SHEETS
 DRAWING NO.
 18045-C3

PLAN VIEW

SCALE: 1"=10'



WARNING

- DO NOT REMOVE EXISTING AC FROM DRIVEWAY WITHIN 30' OF TREE TRUNK DURING CONSTRUCTION
- WHEN CONSTRUCTION IS COMPLETE AND FINALIZED, REMOVE EXISTING AC AND INSTALL PERVIOUS PAVERS PER TYPICAL DRIVEWAY SECTION, SEE SHEET C6

GRADING QUANTITIES

LOCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)
HOUSE BASEMENT TO PAD 471.2	306	0
GARAGE TO PAD 471.0	87	0
LIGHT WELL	25	0
DRIVEWAY	32	29
POOL	171	0
POOL DECK	24	4
PATIO	0	47
SIDE & BACK YARD	7	11
BBQ AREA	0	19
TOTAL	652	110

542 OVERCUT TO BE HAULED AWAY.

GRADING NOTE:
ALL GRADING SHALL BE IN ACCORDANCE WITH "GEOTECHNICAL REPORT" PREPARED FOR THIS SITE BY: C2EARTH, INC. DATED NOVEMBER 22, 2013.

CONSTRUCTION BENCHMARK
EXISTING GAS VALVE TOP OF RIM IN HERNANDEZ AVENUE.
ELEVATION: 565.77
TOWN OF LOS GATOS DATUM

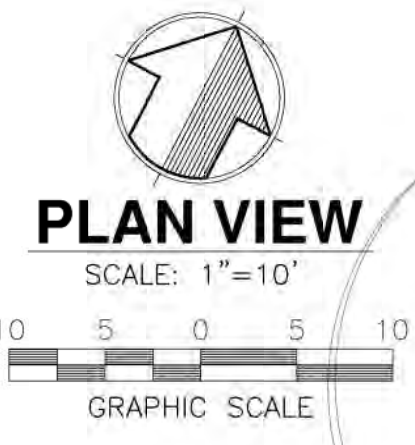
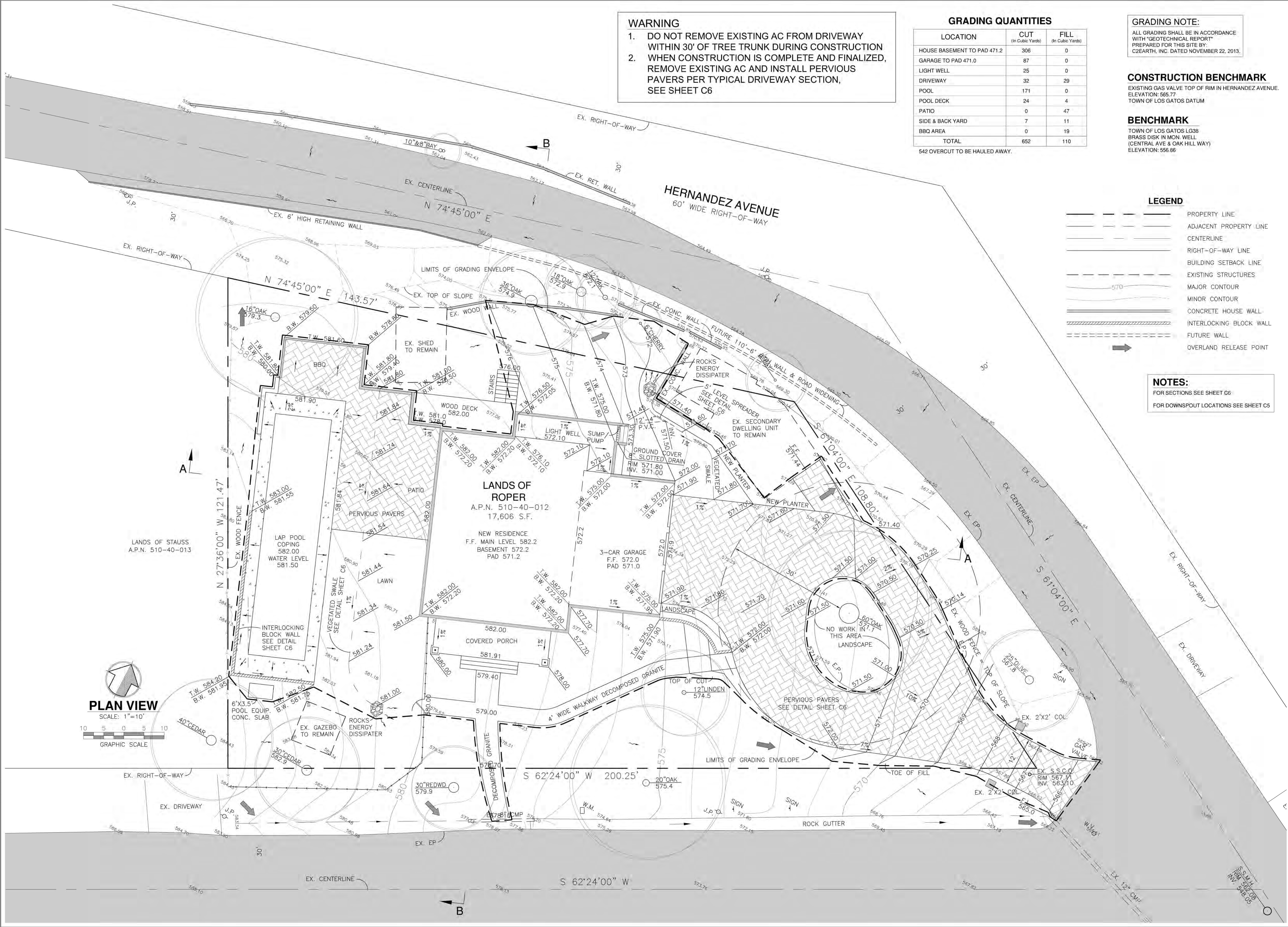
BENCHMARK
TOWN OF LOS GATOS LG38
BRASS DISK IN MON. WELL
(CENTRAL AVE & OAK HILL WAY)
ELEVATION: 556.86



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	EXISTING STRUCTURES
	MAJOR CONTOUR
	MINOR CONTOUR
	CONCRETE HOUSE WALL
	INTERLOCKING BLOCK WALL
	FUTURE WALL
	OVERLAND RELEASE POINT

NOTES:
FOR SECTIONS SEE SHEET C6
FOR DOWNSPOUT LOCATIONS SEE SHEET C5



REV.	DATE	DESCRIPTION
1	04-19	REVISED PER TOWN LETTER DATED MARCH 5, 2019
0	11-18	RELEASED TO CLIENT & TOWN

DESIGNED BY: V.S.
DRAWN BY: R.S.C.
CHECKED BY: V.S.
SCALE: AS SHOWN
DATE: 11/28/18

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-987-9220
San Jose, California
www.pea.com
Pleasanton, California

GRADING & DRAINAGE PLAN
LANDS OF ROPER
16 CHESTNUT AVENUE
LOS GATOS, CALIFORNIA

SHEET NUMBER
C4
OF 8 SHEETS
DRAWING NO.
18045-C4

BENCHMARK
 TOWN OF LOS GATOS LG38
 BRASS DISK IN MON. WELL
 (CENTRAL AVE & OAK HILL WAY)
 ELEVATION: 556.86

CONSTRUCTION BENCHMARK
 EXISTING GAS VALVE TOP OF RIM IN HERNANDEZ AVENUE.
 ELEVATION: 565.77
 TOWN OF LOS GATOS DATUM

GRADING NOTE:
 ALL GRADING SHALL BE IN ACCORDANCE
 WITH "GEOTECHNICAL REPORT"
 PREPARED FOR THIS SITE BY:
 C2EARTH, INC. DATED NOVEMBER 22, 2013.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING STRUCTURES
- MAJOR CONTOUR
- MINOR CONTOUR
- CONCRETE HOUSE WALL
- INTERLOCKING BLOCK WALL
- FUTURE WALL
- S.S. --- SANITARY SEWER
- W --- WATER LINE
- G --- GAS LINE
- C.T. --- COMMON TRENCH

NOTES

1. ALL DOWNSPOUTS SHALL HAVE A SPLASH BOX AND DIVERT WATER AWAY FROM BUILDING INTO LANDSCAPED AREA.
2. ALL NEW UTILITIES SHALL BE UNDERGROUND.



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DESIGNED BY: V.S.
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 SCALE: AS SHOWN

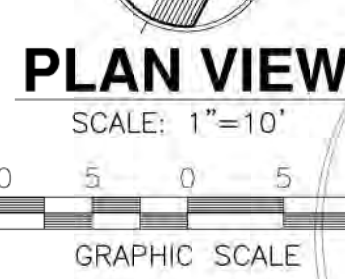
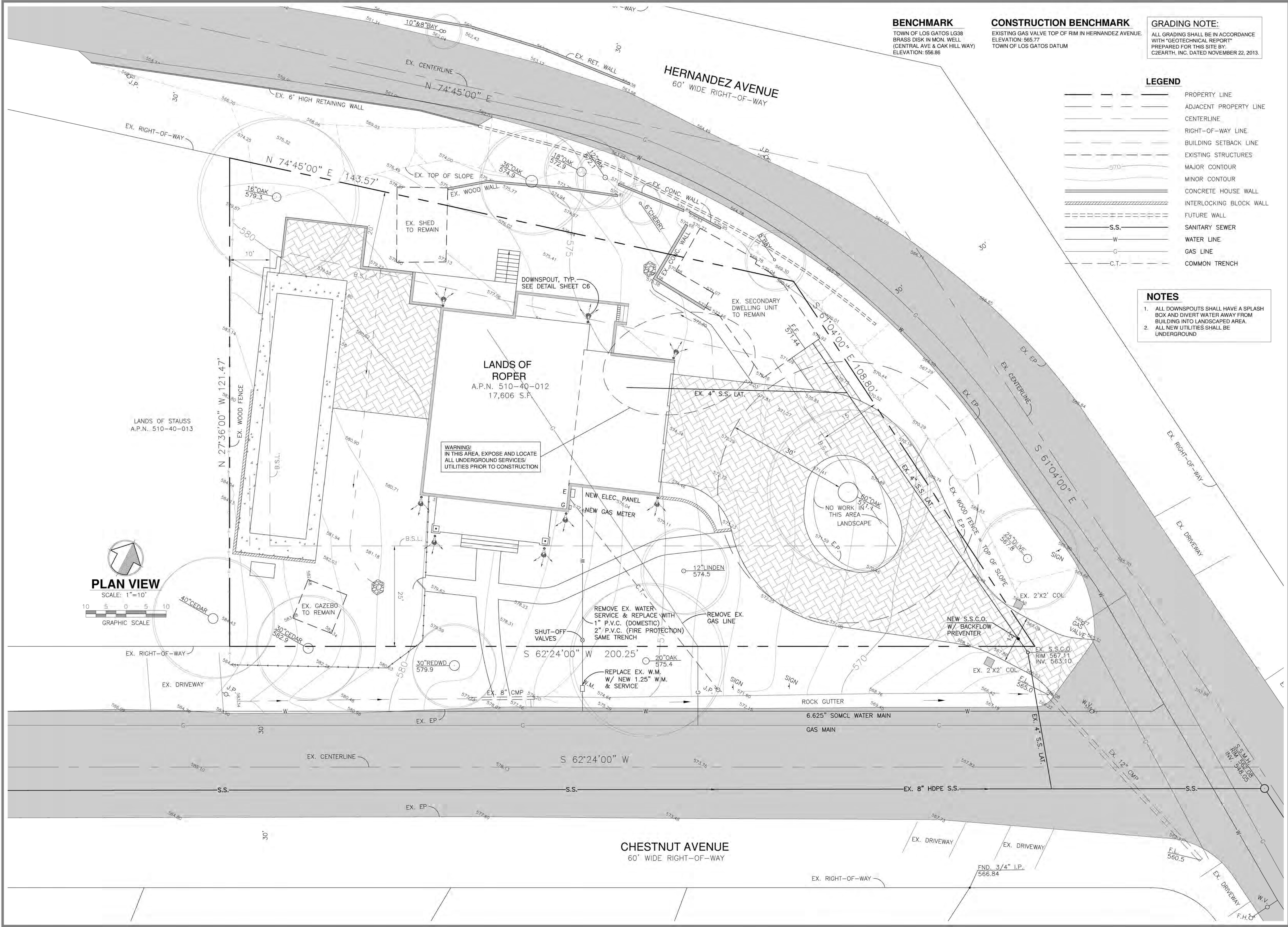
DATE: 11/28/18

PEOPLES ASSOCIATES
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 San Jose, California
 www.peaes.com
 Pleasanton, California

APPROVED BY:

UTILITY PLAN
 LANDS OF ROPER
 16 CHESTNUT AVENUE
 LOS GATOS, CALIFORNIA

SHEET NUMBER
C5
 OF 8 SHEETS
 DRAWING NO.
 18045-C5



WARNING!
 IN THIS AREA, EXPOSE AND LOCATE
 ALL UNDERGROUND SERVICES/
 UTILITIES PRIOR TO CONSTRUCTION

REMOVE EX. WATER SERVICE & REPLACE WITH 1" P.V.C. (DOMESTIC) 2" P.V.C. (FIRE PROTECTION) SAME TRENCH
 SHUT-OFF VALVES
 REPLACE EX. W.M. W/ NEW 1.25" W.M. & SERVICE
 REMOVE EX. GAS LINE

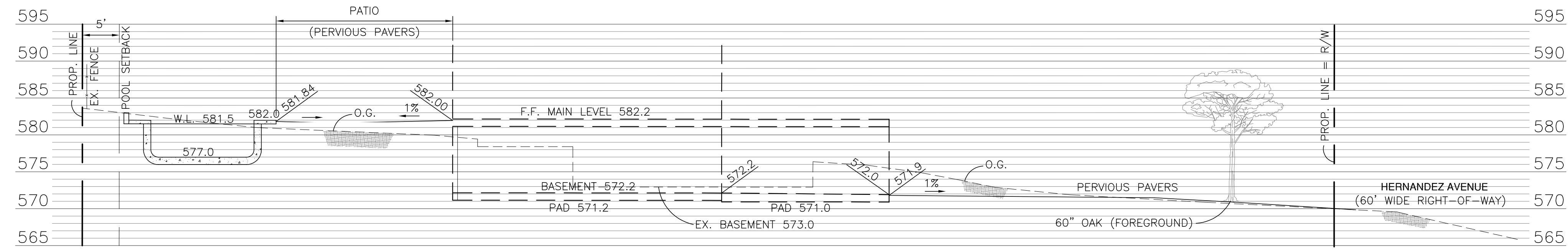
ROCK GUTTER
 6.625" SOMCL WATER MAIN
 GAS MAIN

CHESTNUT AVENUE
 60' WIDE RIGHT-OF-WAY

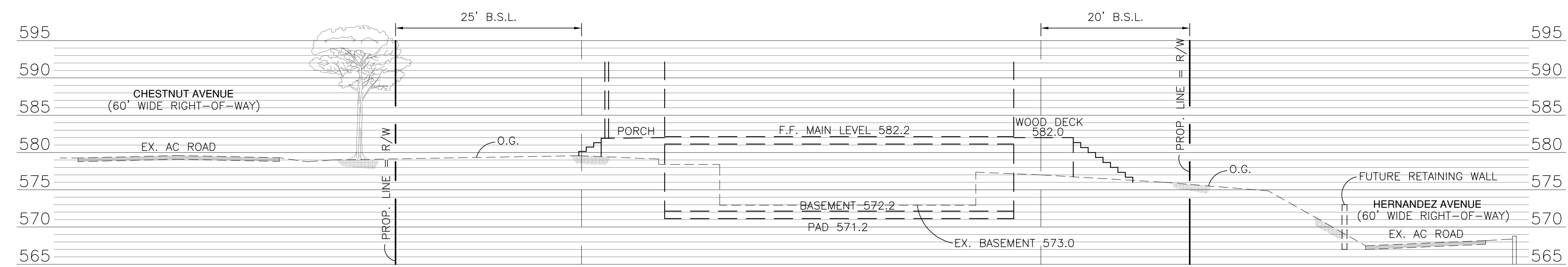
HERNANDEZ AVENUE
 60' WIDE RIGHT-OF-WAY

LANDS OF ROPER
 A.P.N. 510-40-012
 17,606 S.F.

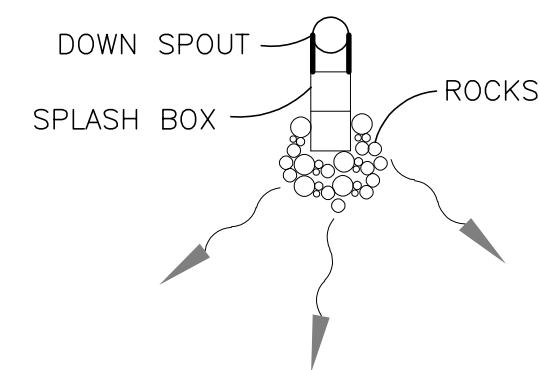
LANDS OF STAUSS
 A.P.N. 510-40-013



SECTION A-A
SCALE: 1"=10' HOR. & VERT.



SECTION B-B
SCALE: 1"=10' HOR. & VERT.



DOWN SPOUT
N.T.S.

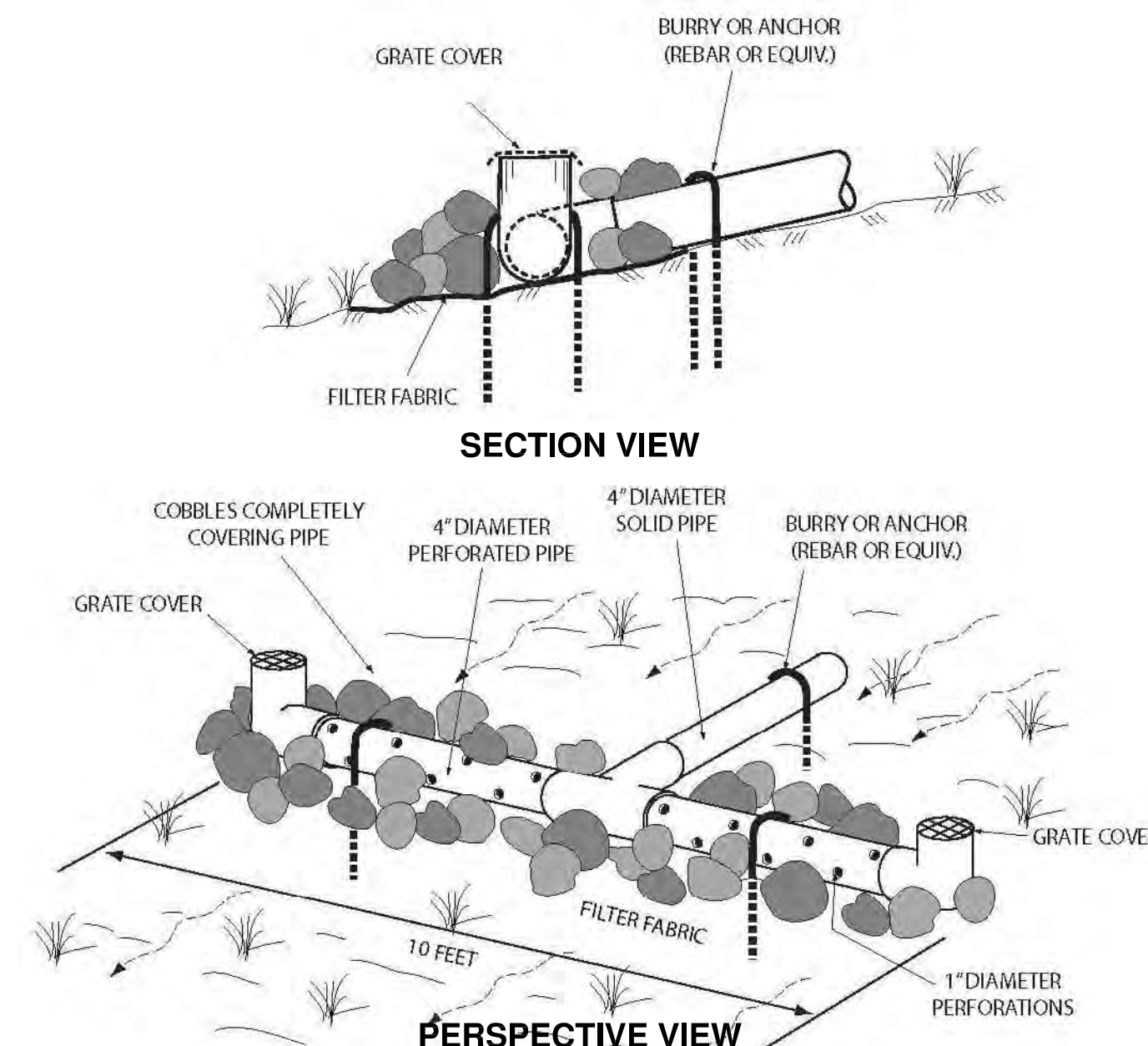


(INTO LANDSCAPE AREA)



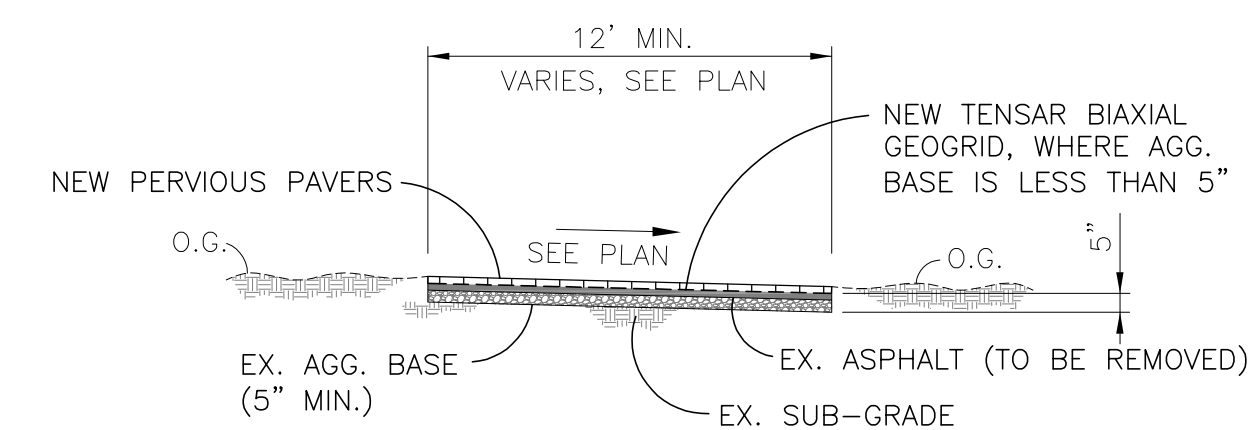
(INTO HARD SURFACE)

TYPICAL SPLASH BOX
N.T.S.

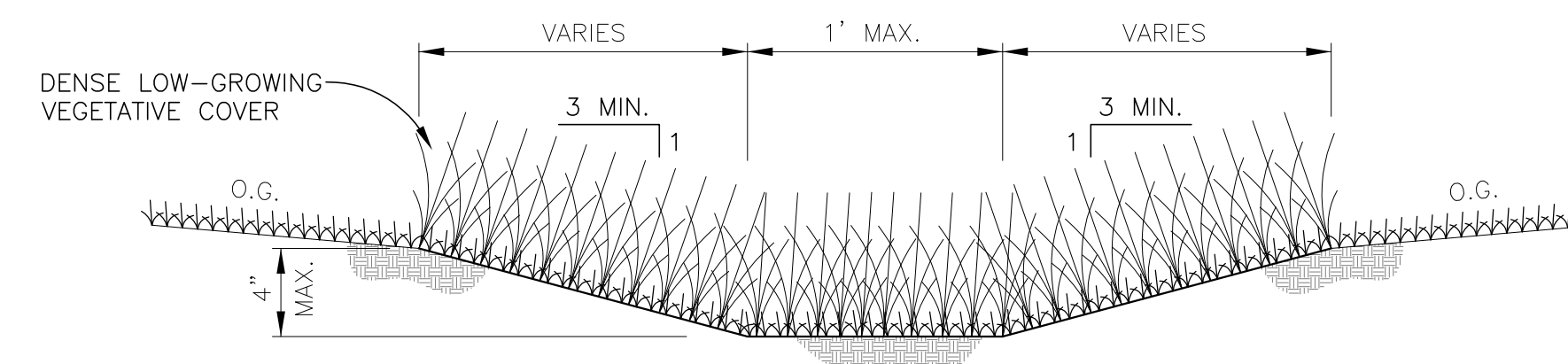


NOTE: PERFORATED PIPE MUST BE LEVEL (PERFORATIONS FACING DOWNSLOPE)

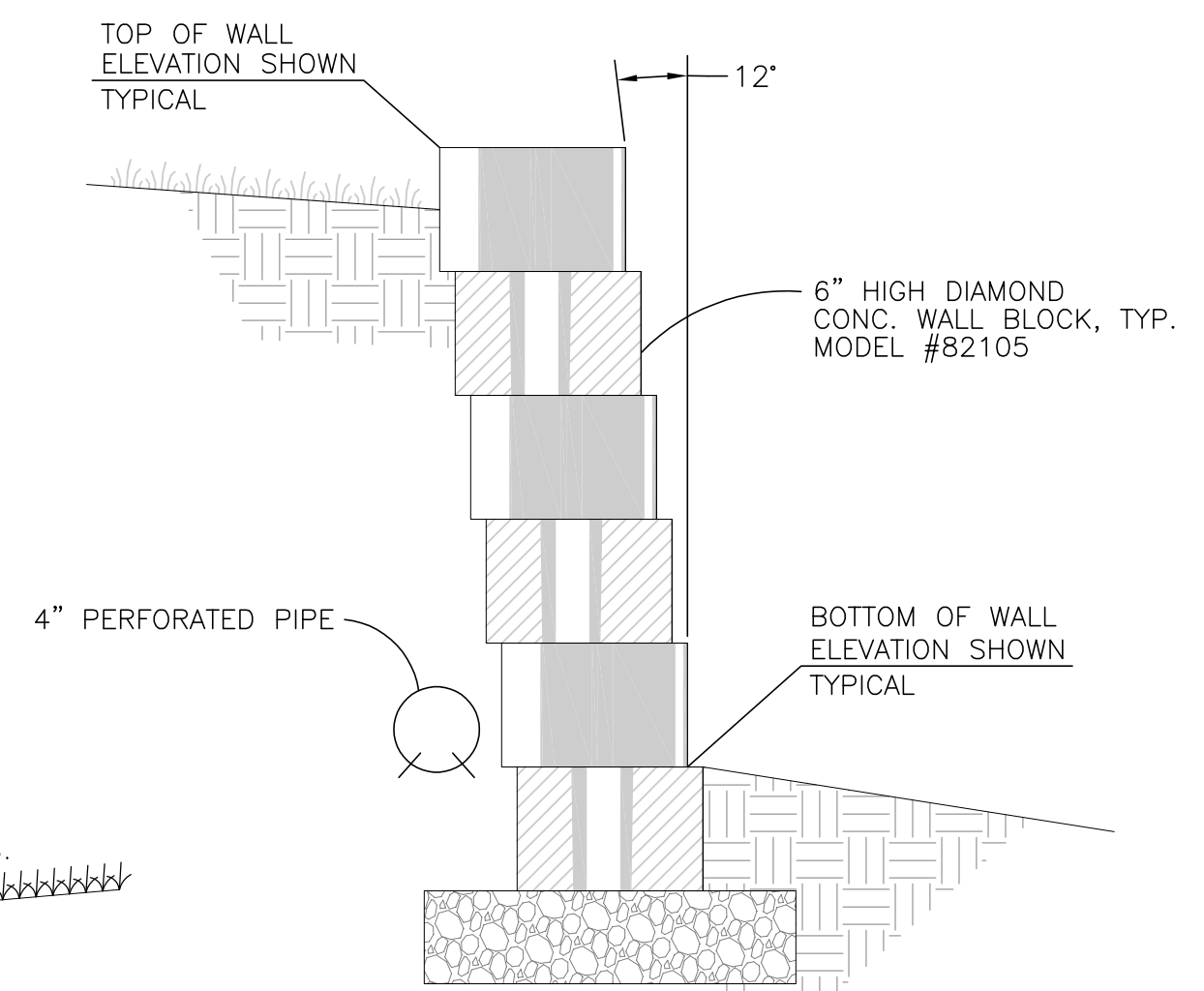
LEVEL SPREADER
N.T.S.



TYPICAL DRIVEWAY SECTION
N.T.S.



VEGETATED SWALE
N.T.S.



INTERLOCKING BLOCK WALL DETAIL
N.T.S.



DESIGNED BY:	V.S.	DATE	REVISION DESCRIPTION
DRAWN BY: <td>R.S.C. <td>04.19 <td>REVISED PER TOWN LETTER DATED MARCH 5, 2019</td> </td></td>	R.S.C. <td>04.19 <td>REVISED PER TOWN LETTER DATED MARCH 5, 2019</td> </td>	04.19 <td>REVISED PER TOWN LETTER DATED MARCH 5, 2019</td>	REVISED PER TOWN LETTER DATED MARCH 5, 2019
CHECKED BY: <td>V.S. <td>01.18 <td>RELEASED TO CLIENT & TOWN</td> </td></td>	V.S. <td>01.18 <td>RELEASED TO CLIENT & TOWN</td> </td>	01.18 <td>RELEASED TO CLIENT & TOWN</td>	RELEASED TO CLIENT & TOWN
SCALE: <td>AS SHOWN <td></td> <td></td> </td>	AS SHOWN <td></td> <td></td>		

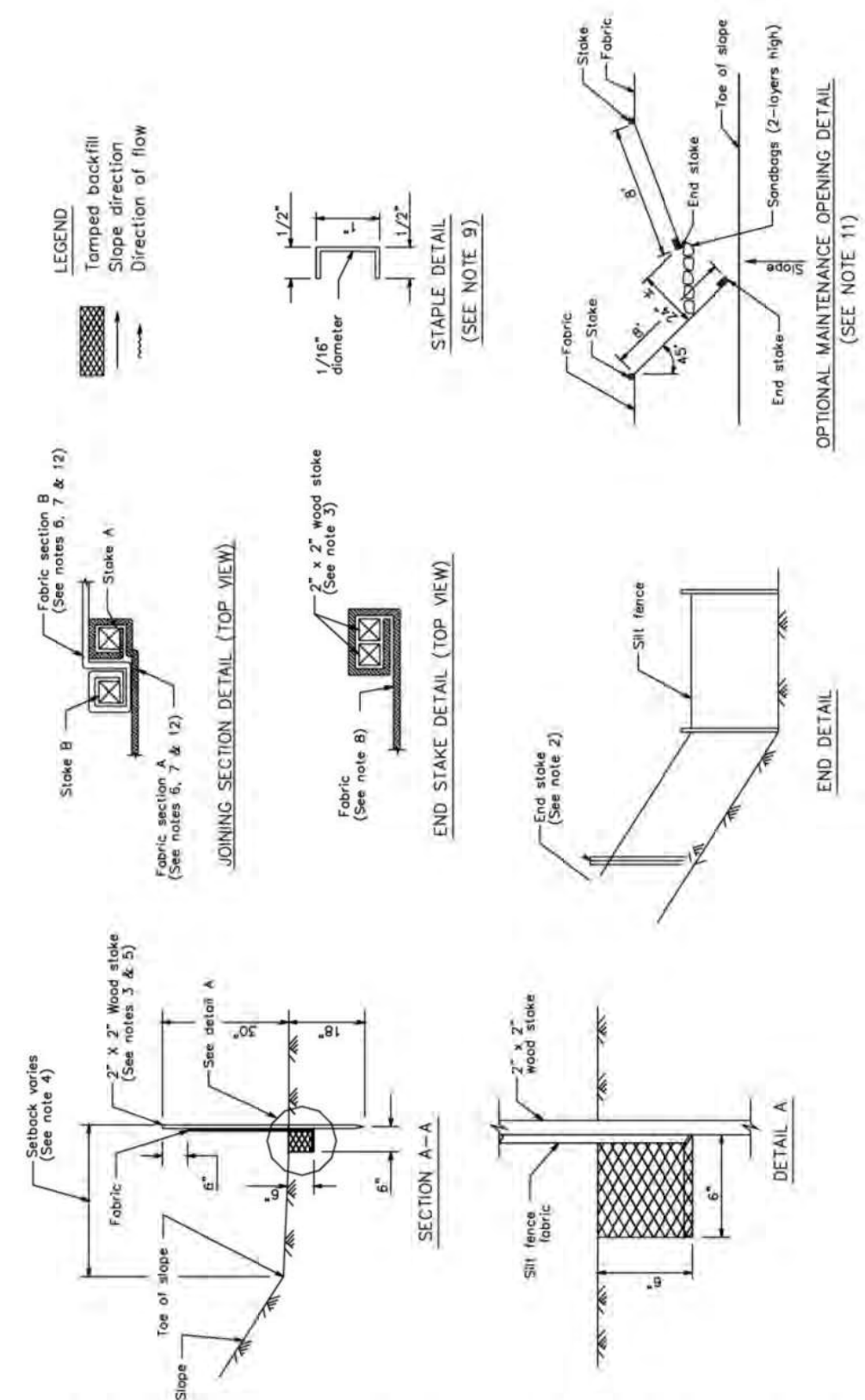
PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-87-0220
San Jose, California
www.paee.com
Pleasanton, California
P.E. No. 29,588
DATE: 11/28/18

DETAILS & SECTIONS
LANDS OF ROPER
16 CHESTNUT AVENUE
LOS GATOS, CALIFORNIA

SHEET NUMBER
C6
OF 8 SHEETS
DRAWING NO.
18045-C6

SE-1

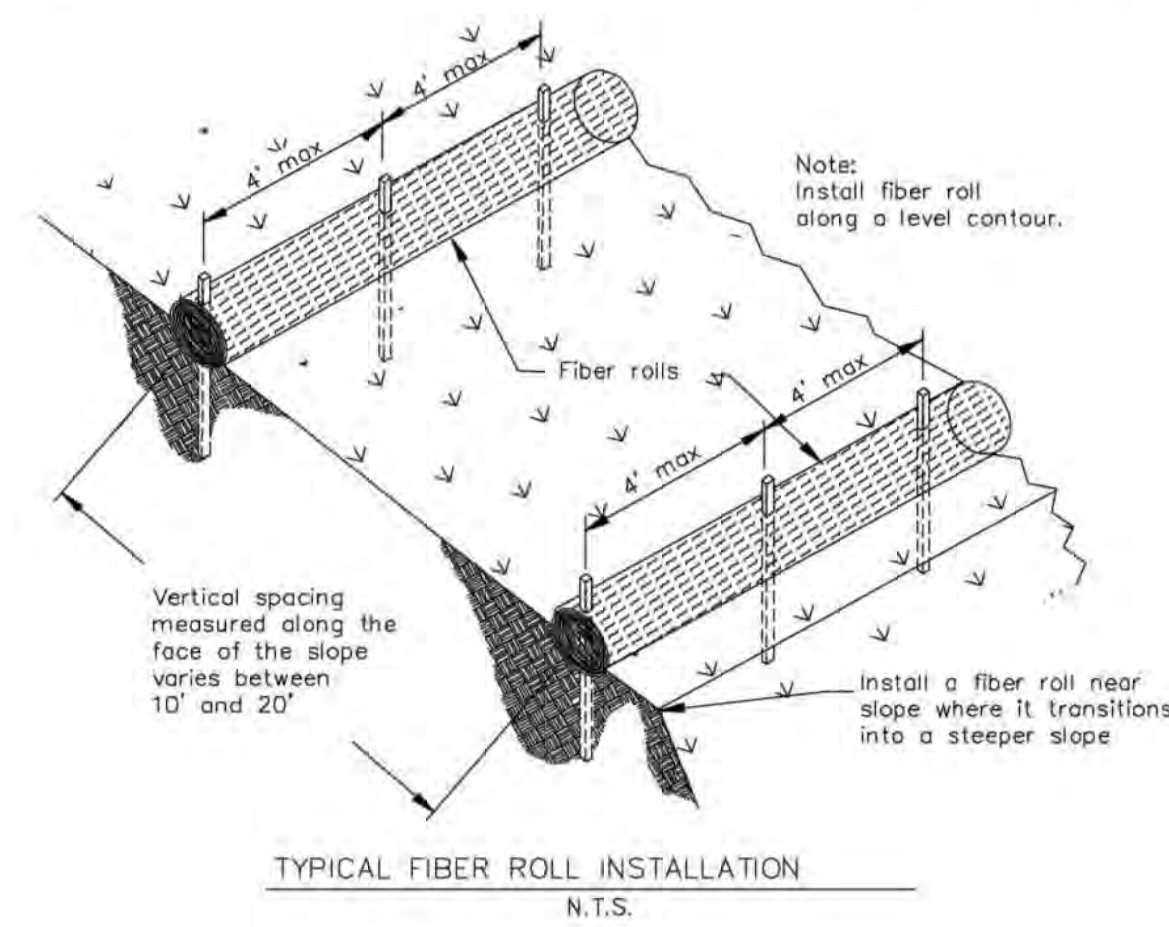
Silt Fence



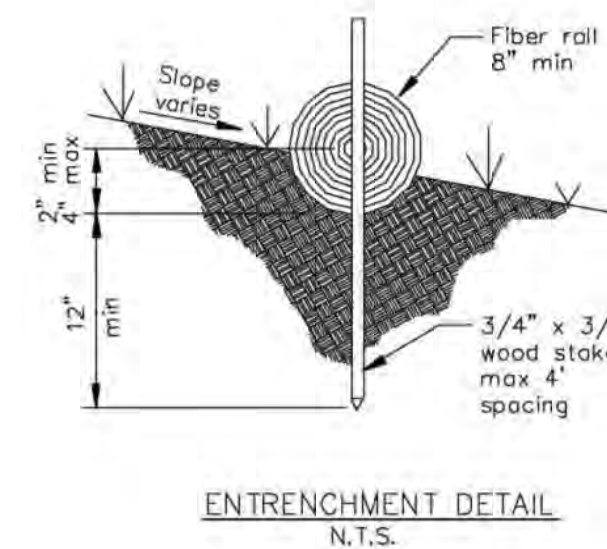
CALIFORNIA STORMWATER BMP HANDBOOK
JANUARY 2003

SE-5

Fiber Rolls



TYPICAL FIBER ROLL INSTALLATION
N.T.S.

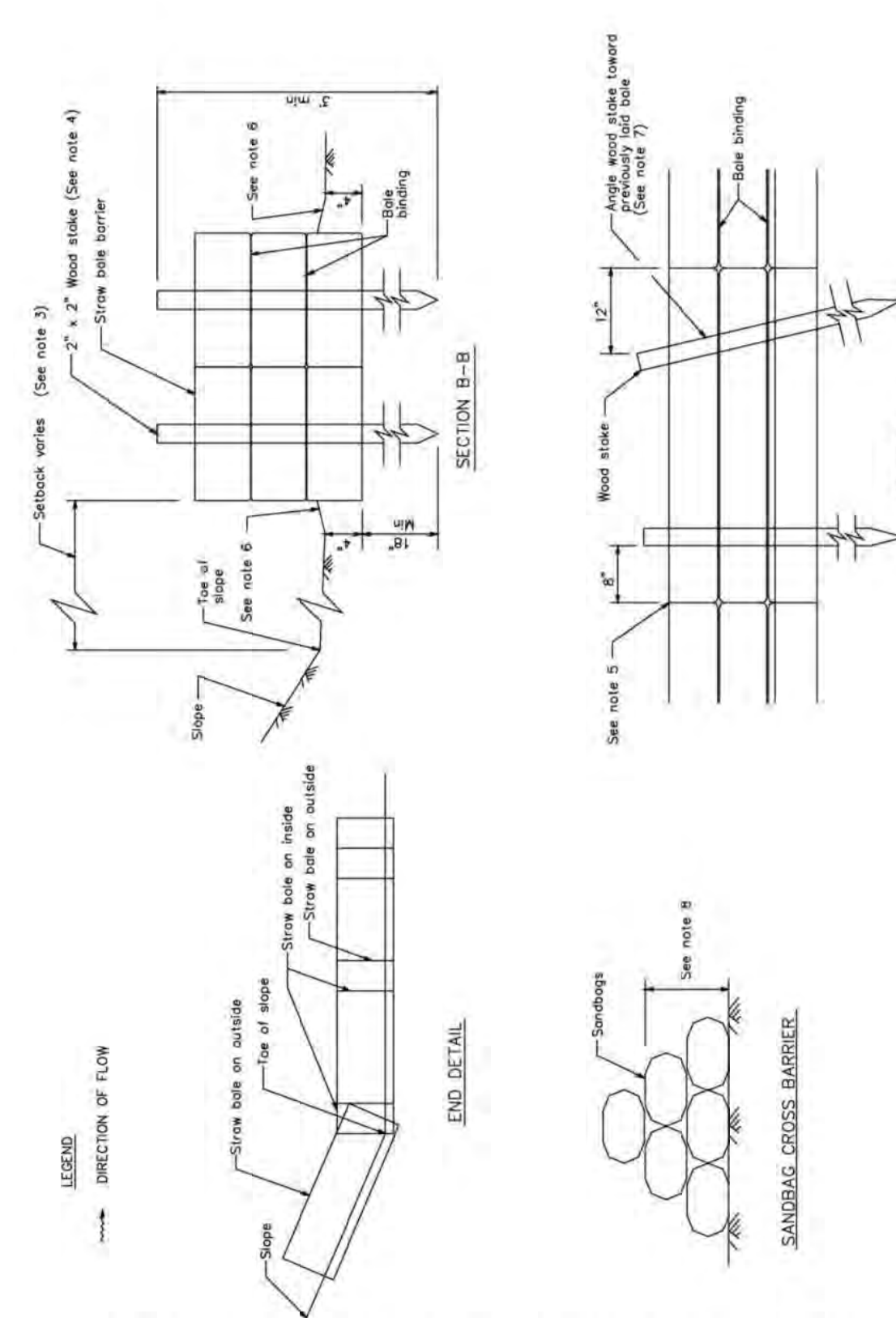


ENTRENCHMENT DETAIL
N.T.S.

CALIFORNIA STORMWATER BMP HANDBOOK
JANUARY 2003

SE-9

Straw Bale Barrier



CALIFORNIA STORMWATER BMP HANDBOOK
JANUARY 2003

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL CONFORM WITH ABAG STANDARDS OR TOWN OF LOS GATOS STANDARDS.
2. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON.
3. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
4. ALL CUT AND FILL SLOPES SHALL BE PROTECTED BY SEEDING AND COVERED WITH STRAW MULCH.
5. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE SOILS ENGINEER IN FIELD.
6. CONTRACTOR SHALL PREVENT ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY PAVED ROAD.

EROSION PROTECTION MEASURES:

1. INSTALL SEDIMENT ROLLS (FIBER ROLLS), OR SILT FENCE, OR STRAW BALE DIKES WHERE SHOWN.
2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
3. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INSURE THAT NO MUD OR SILTATION LEAVES THE PROJECT SITE.

SPECIAL NOTE:

GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE TOWN OF LOS GATOS.

SEEDING NOTES:

1. SEED AND MULCH WILL BE APPLIED BY OCTOBER 15 TO ALL DISTURBED SLOPES STEEPER THAN 5% AND HIGHER THAN 3 FEET, AND TO ALL CUT AND FILL SLOPES WITHIN OR ADJACENT TO EXISTING ROAD AS DIRECTED BY THE TOWN INSPECTOR.
2. SEED AND FERTILIZER WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW. ON SLOPES, STRAW WILL BE APPLIED BY BLOWER OR BY HAND AND ANCHORED IN PLACE BY PUNCHING.

ITEM	POUNDS PER ACRE
"BLANDO" BROME	30
ANNUAL RYE GRASS	20
FERTILIZER (16-20-0 & 15%)	500
STRAW/MULCH	4,000

3. SEEDED AREAS WILL BE REPAIRED, RESEEDED AND MULCHED IF DAMAGED

LEGEND:

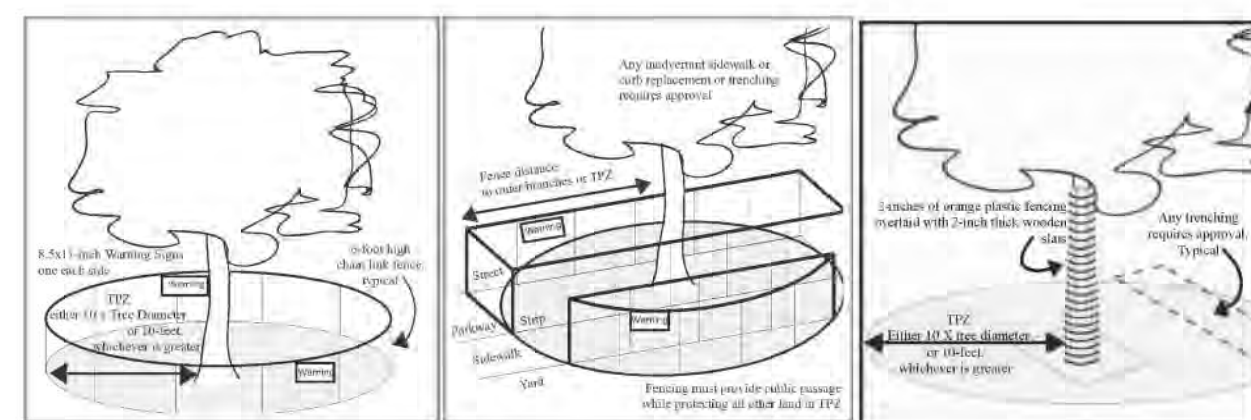
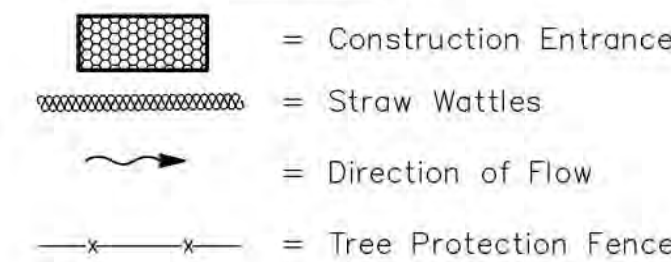


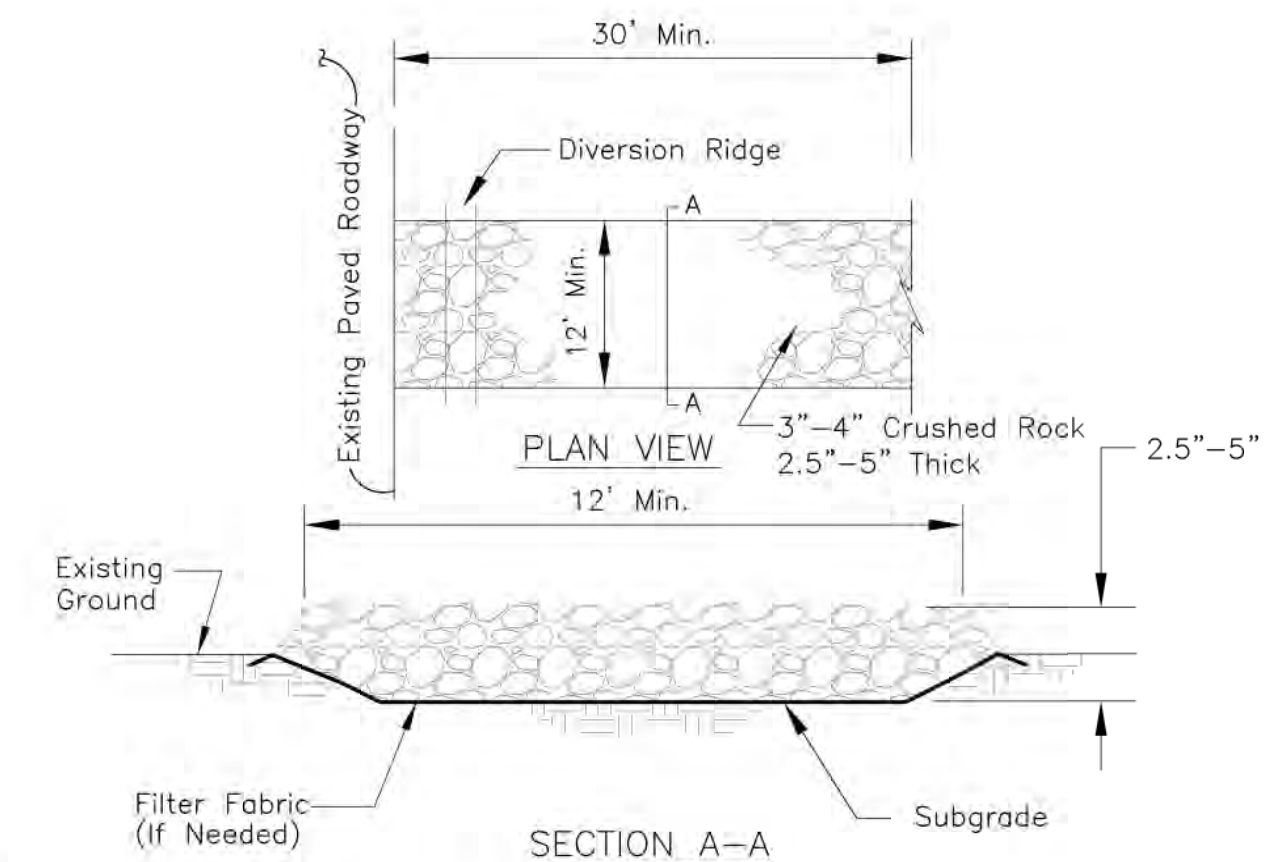
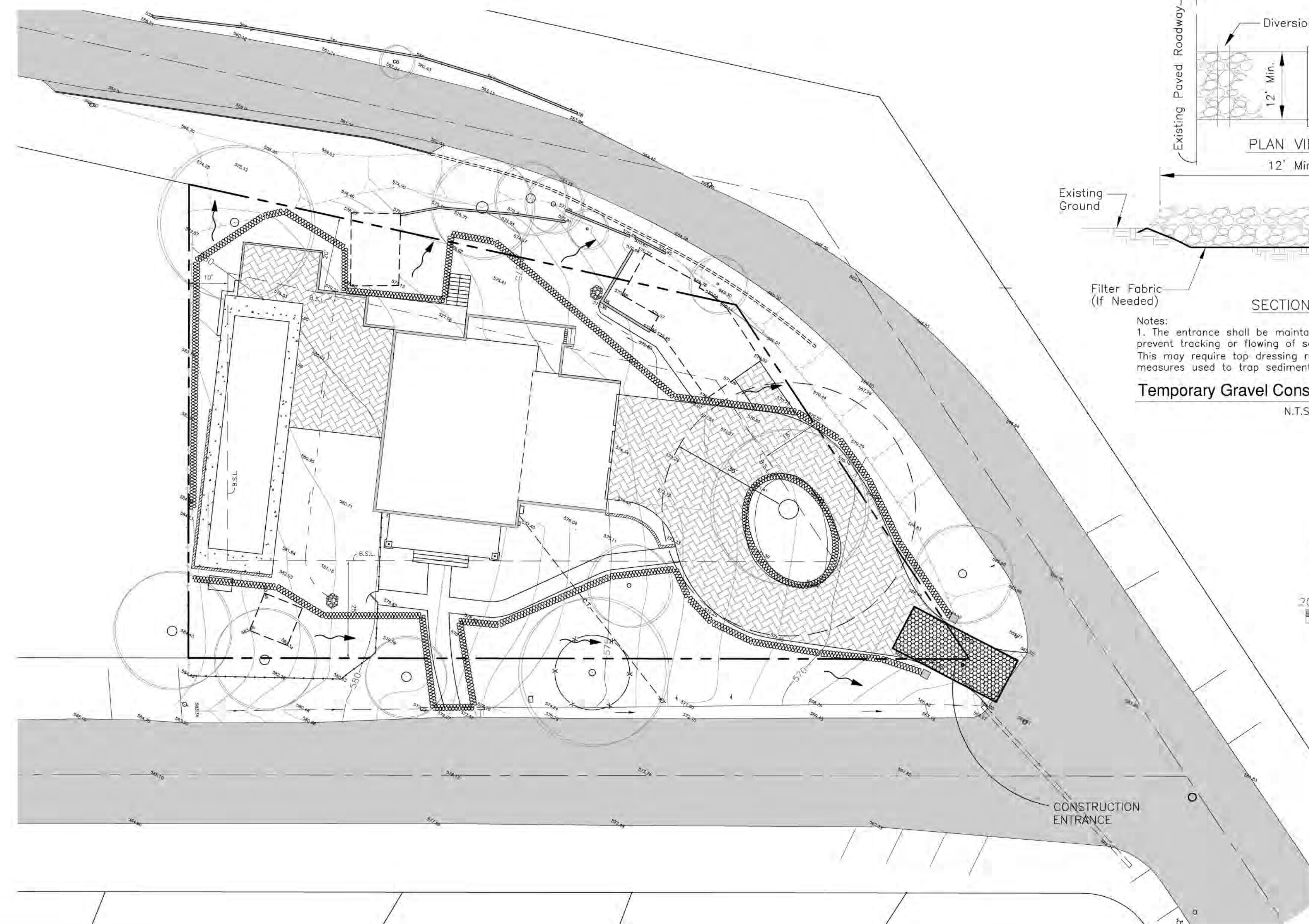
Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.

Figure 3: Type III Tree protection with trunk protected by a barrier to prevent mechanical damage. Image City of Davis.

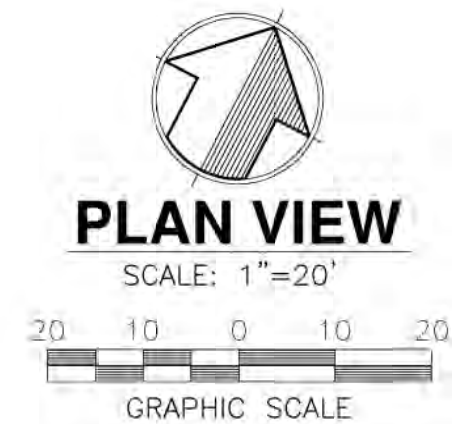
TREE PROTECTION DETAILS

N.T.S.



Notes:
1. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public rights-of-way. This may require top dressing repair and/or cleanout of any measures used to trap sediment.

Temporary Gravel Construction Entrance/Exit
N.T.S.



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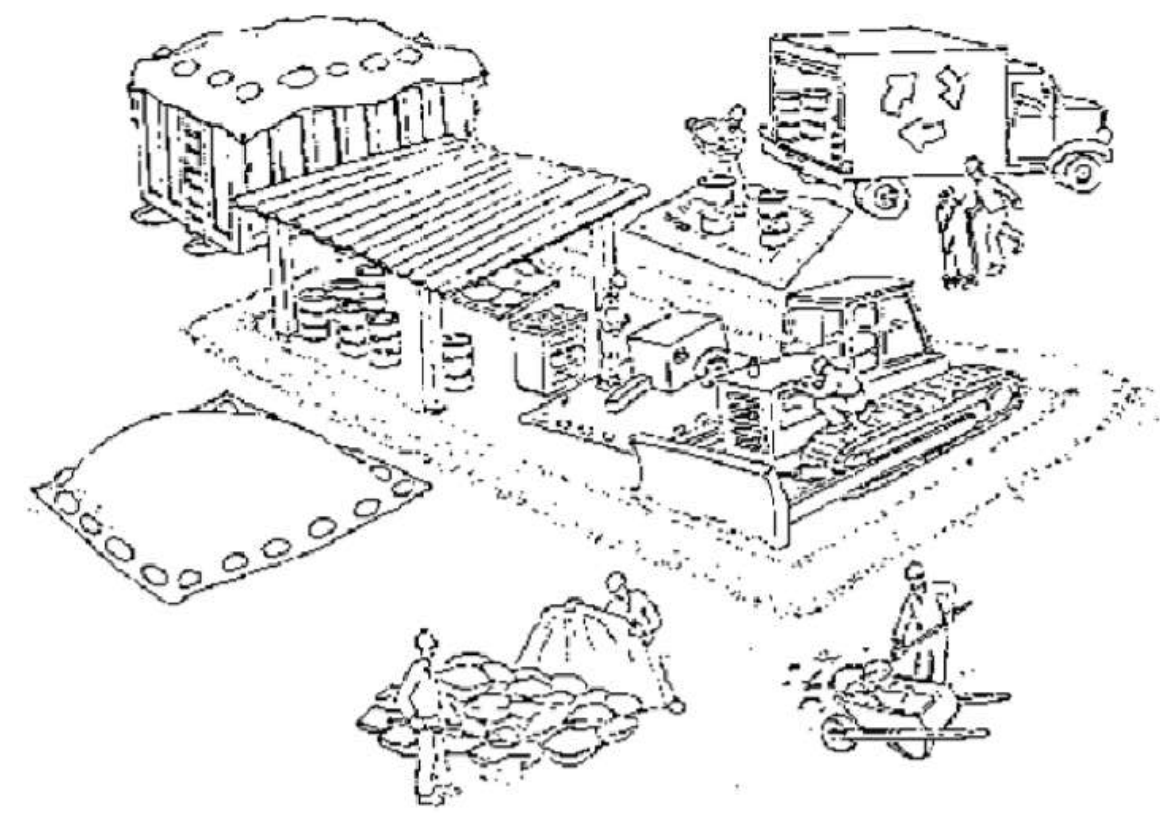
DESIGNED BY: V.S.
DRAWN BY: R.S.C.
CHECKED BY: V.S.
SCALE: AS SHOWN
DATE: 11/28/18
F.C.C. NO. 29-55B

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-957-9220
San Jose, California
www.paape.com
Placentia, California

EROSION CONTROL PLAN & TREE PROTECTION DETAILS
LANDS OF ROPER
16 CHESTNUT AVENUE
LOS GATOS, CALIFORNIA

SHEET NUMBER
C7
OF 8 SHEETS
DRAWING NO.
18045-C7

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water in a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



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DRAWN BY: R.S.C.
CHECKED BY: V.S.
SCALE: AS SHOWN

DATE: 11/28/18
P.L.E. No. 29,588

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-672-0220
www.paes.com
San Jose, California
Pleasanton, California

BLUEPRINT FOR CLEAN BAY
LANDS OF ROPER
16 CHESTNUT AVENUE
LOS GATOS, CALIFORNIA