



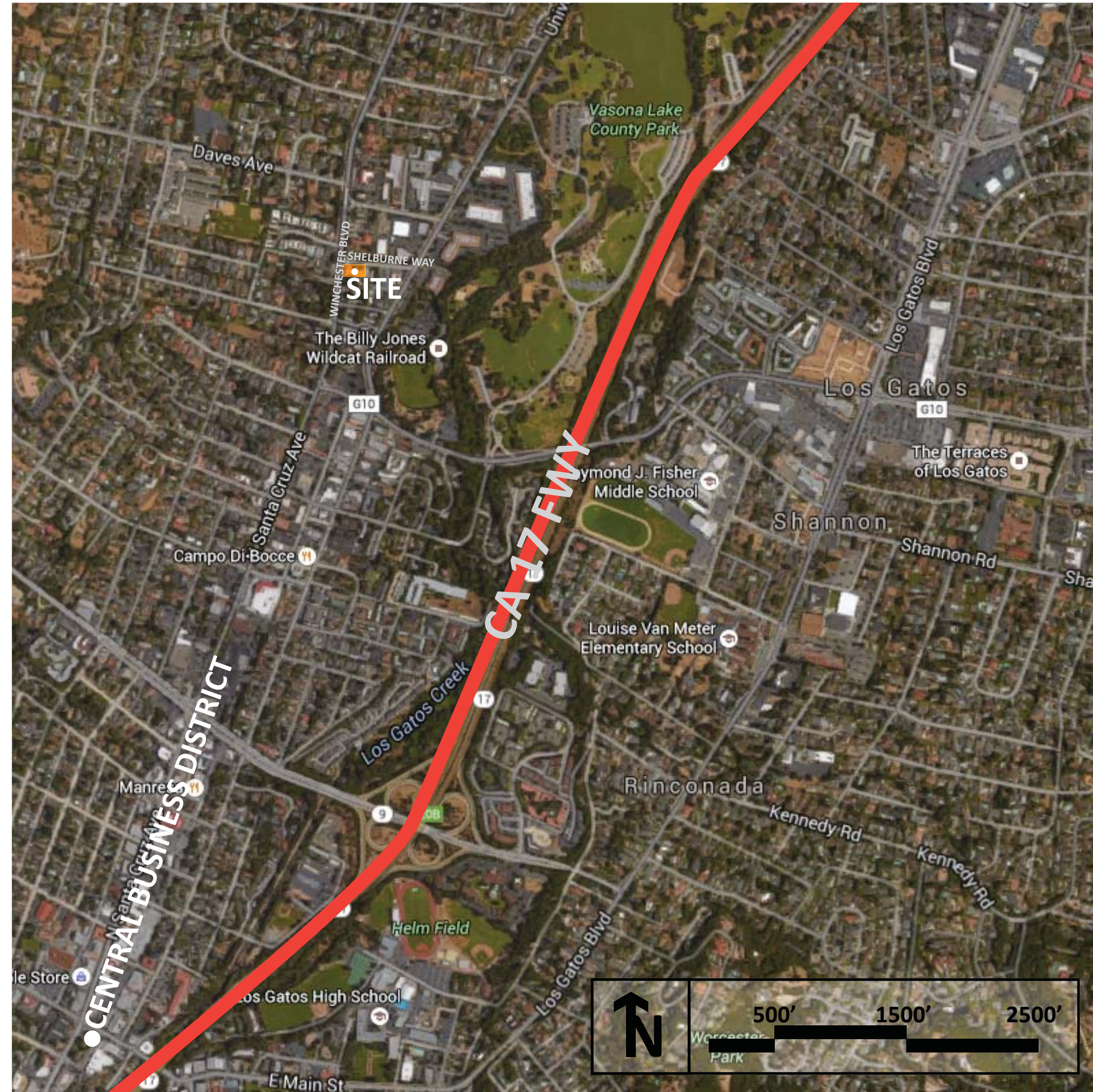
WINCHESTER BLVD. OFFICE - LOS GATOS, CA

March 14, 2017 - Submittal



EXHIBIT 5

VICINITY MAP:



PROPERTY INFORMATION:

15860, 15880, 15894
 Winchester Blvd, Los Gatos, CA
 APN: 529-11-013, -038, -039 and -040
 Proposed Land Use: Office

PROPOSED LAND USE:

Existing GP Designation: Office Professional
 Existing Land Use: Residential
 Proposed Land Use: Office
 Existing Zoning: O - Office
 Gross Acreage: 1.31 Acres

PROJECT SUMMARY:

SITE AREA: 1.31 ACRE
 GROSS OFFICE AREA: 30,070 SF
 LOT COVERAGE: 27.2% (40% MAX)
 PARKING REQUIRED: 128 (1 STALL / 235 SQ. FT.)
 PARKING PROVIDED: 128
 SUBTERRANEAN PODIUM GARAGE: TYPE IA, S-2 OCCUPANCY
 OFFICE BUILDING: TYPE IIIB, B OCCUPANCY

APPLICABLE CODES:

2013 CA Building Code
 2013 CA Electrical Code
 2013 CA Mechanical Code
 2013 CA Plumbing Code
 2013 CA Green Building Standards
 2013 CA Energy Efficiency Standards
 Town of Los Gatos Code of Ordinances

PROJECT TEAM:

APPLICANT:
 VALLEY OAK PARTNERS, LLC
 734 The Alameda
 San Jose, CA 95126
 Contact: DOUG RICH
 Phone: 408.282.0995

CIVIL ENGINEER:
 BKF Engineers
 1650 Technology Drive, Suite 650
 San Jose, CA 95110
 Contact: SCOTT SCHORK
 Phone: 408.467.9126

ARCHITECT/PLANNER:
 STUDIO T-SQ, INC.
 304 12th Street, Suite 2A
 Oakland, CA 94607
 Contact: CHEK TANG / CHRIS LEE
 Phone: 510.451.2850

LANDSCAPE ARCHITECT:
 GATES + ASSOCIATES
 2671 Crow Canyon Road
 San Ramon, CA 94583
 Contact: JANET KIYOI
 Phone: 925.736.8176 x246

STRUCTURAL ENGINEER:
 SW Structural, Inc.
 17582 San Benito Way,
 Los Gatos, CA 95030
 Contact: STEVE F. WADE
 Phone: 408.399.0623

SHEET INDEX:

G0.0	Data Sheet
SP1.0	Site Location
SP2.0	Site Context
SP3.0	General Plan Land Use
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C1.0	Civil Title Sheet
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C3.0	Preliminary Site Plan
C4.0	Preliminary Grading & Drainage Plan
C5.0	Preliminary Utility Plan
C6.0	Preliminary Stormwater Control Plan
L-1	Landscape Layout Plan
L-2	Tree Preservation and Removal Plan
L-3	Plant List and Plant Palette
L-4	Site Furnishings
L-5	Landscape Lighting
A1.0	Building Plan - Subterranean Level
A1.1	Building Plan - Ground Level
A1.2	Building Plan - Second Level
A1.3	Building Roof Plan
A2.0	Site Section
A3.0	Trash Enclosure Elevation & Section Elevations
A4.0	
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IM1.1	Perspective
IM1.2	Perspective
IM2.0	Materials and Colors



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 : Planning
 : Urban Design

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 : Oakland, California 94607
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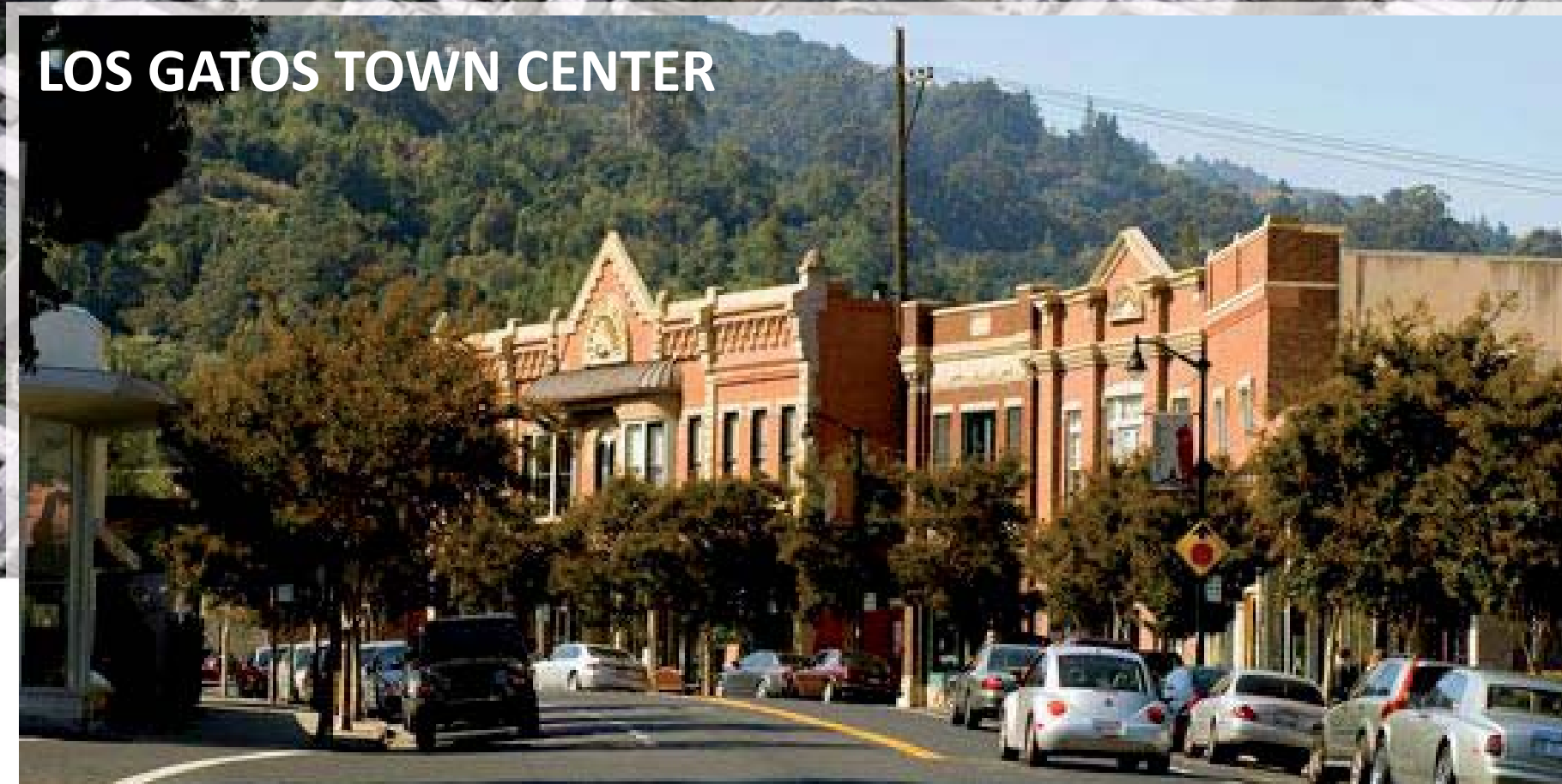
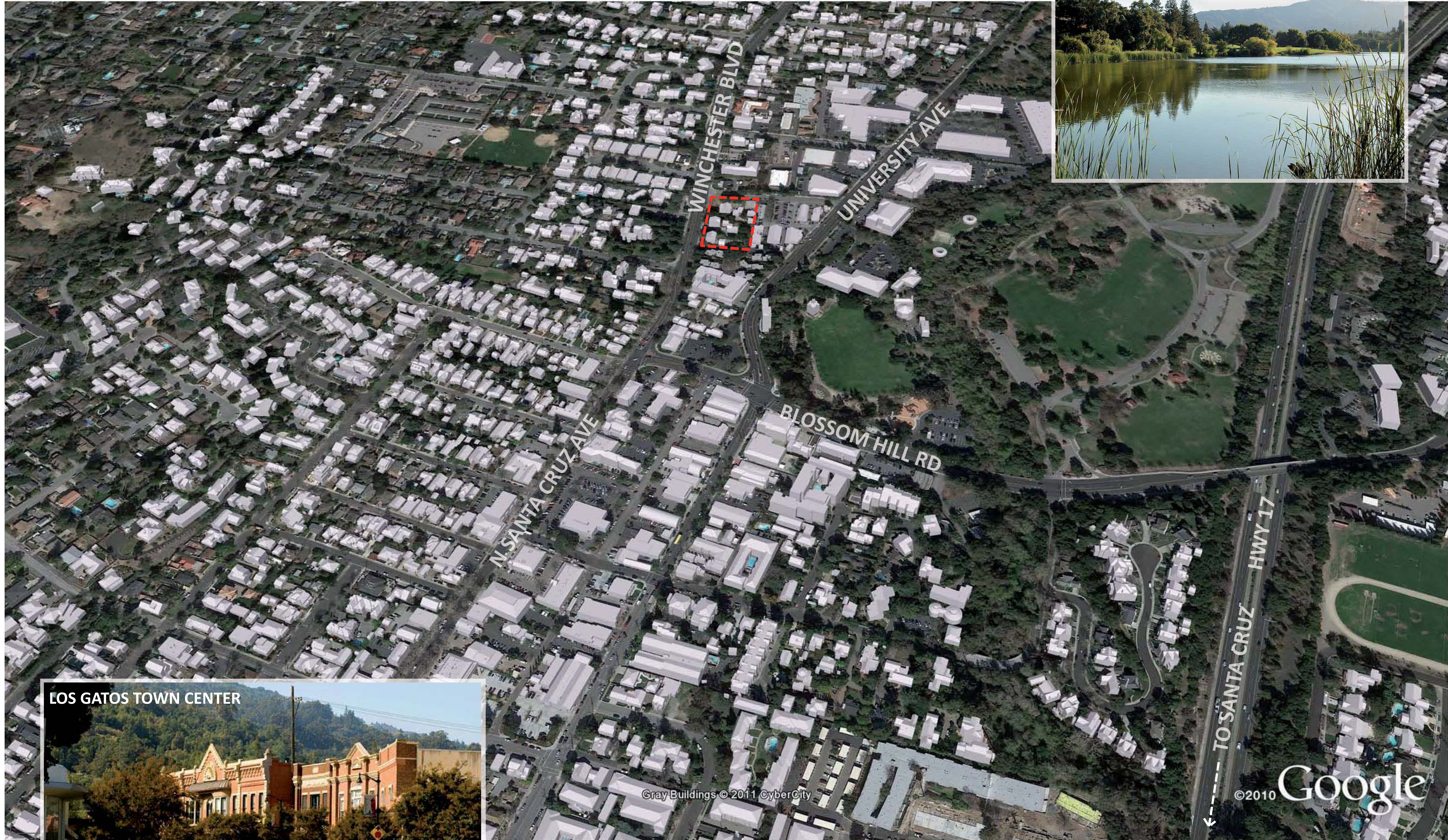
DATA SHEET

Job No. 15019
 Date: 03/14/2017
 Scale:
 Drawn By:

Sheet No:

G0.0

SANTA CLARA COUNTY



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Sheet Title:

SITE LOCATION

Job No. 15019
 Date: 03/14/2017
 Scale:
 Drawn By:

Sheet No:

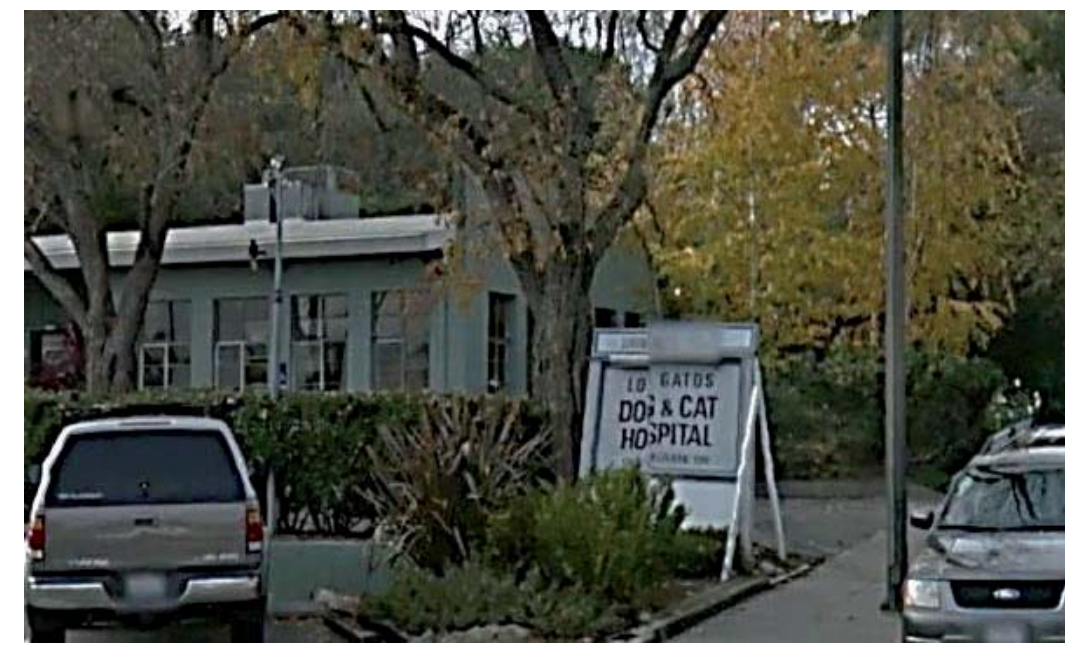
SP1.0



Tree-Lined Winchester Blvd



COMMERCIAL / SFD



DOG & CAT HOSPITAL



AUTO BODY SHOP ON SHELBURNE



Commercial on Winchester Blvd

Existing Site and Frontage

Adjacent Multi-Family Residential

Apartments on N Santa Cruz Ave



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Sheet Title:
SITE CONTEXT

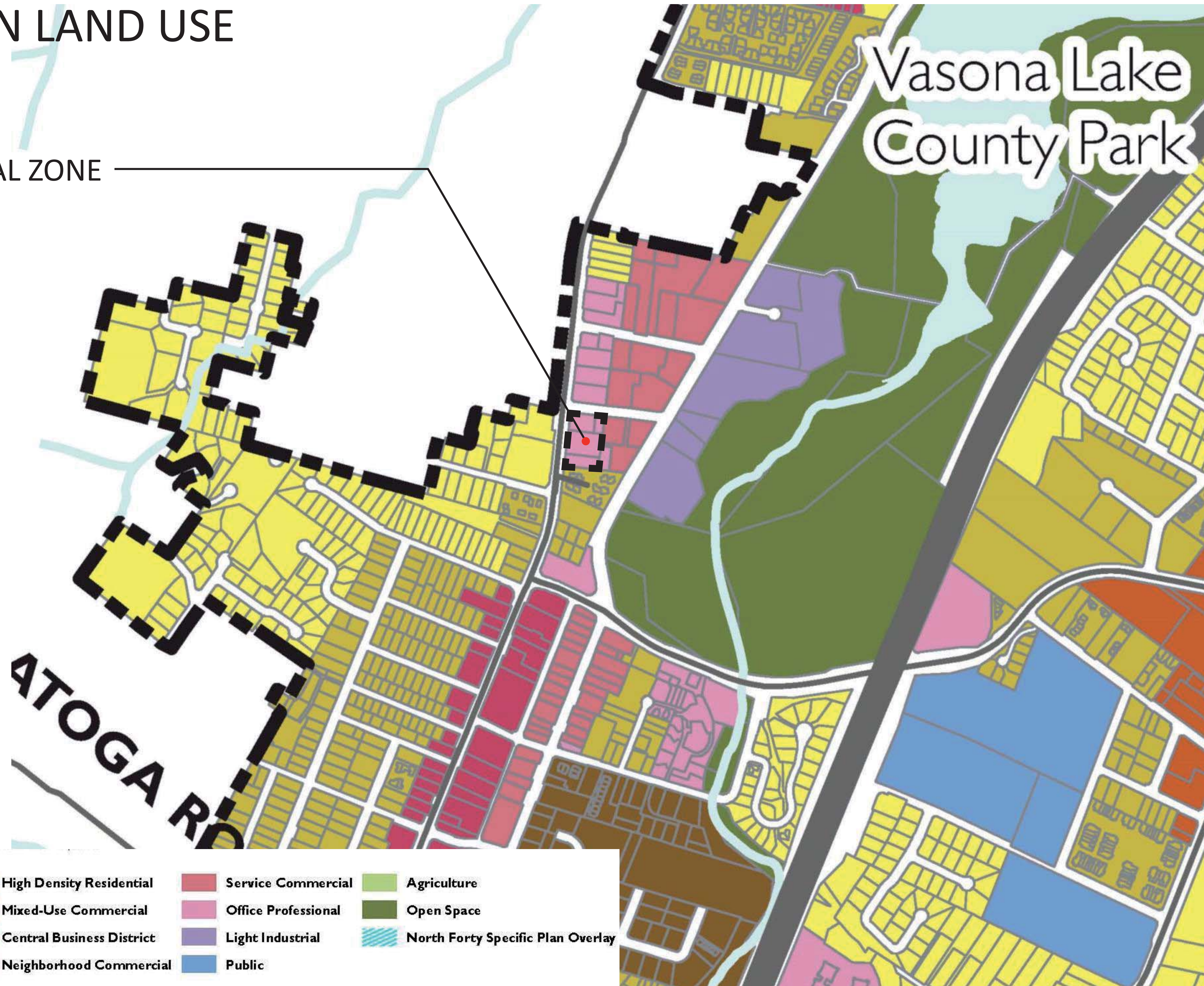
Job No. 15019
Date: 03/14/2017
Scale:
Drawn By:

Sheet No:

SP2.0

GENERAL PLAN LAND USE

OFFICE PROFESSIONAL ZONE



General Plan Land Use			
	Hillside Residential		High Density Residential
	Low Density Residential		Mixed-Use Commercial
	Medium Density Residential		Central Business District
	Neighborhood Commercial		Office Professional
	Service Commercial		Light Industrial
	Public		Agriculture
	Open Space		North Forty Specific Plan Overlay



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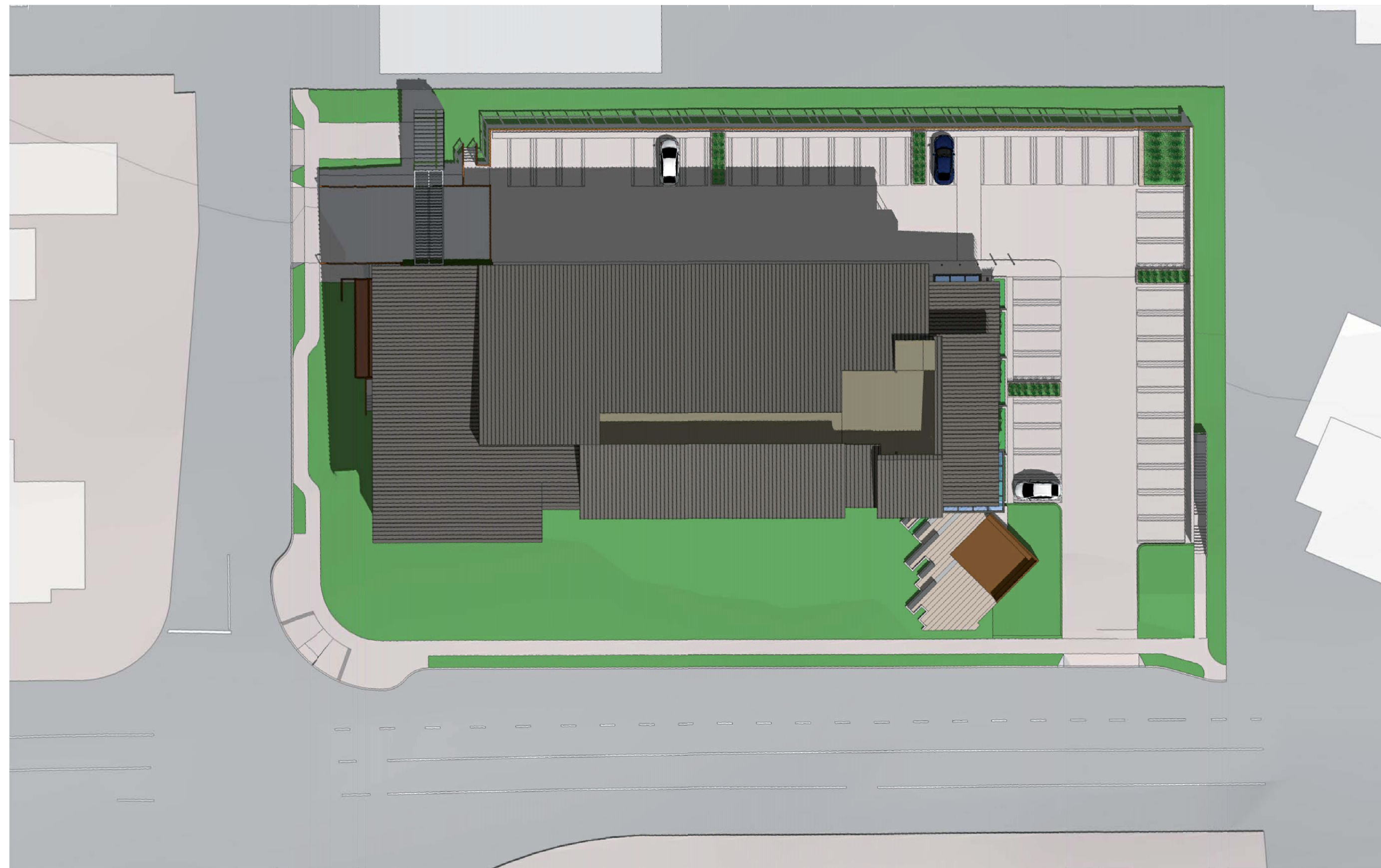
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Sheet Title:
GENERAL PLAN
LAND USE

Job No. 15019
Date: 03/14/2017
Scale:
Drawn By:

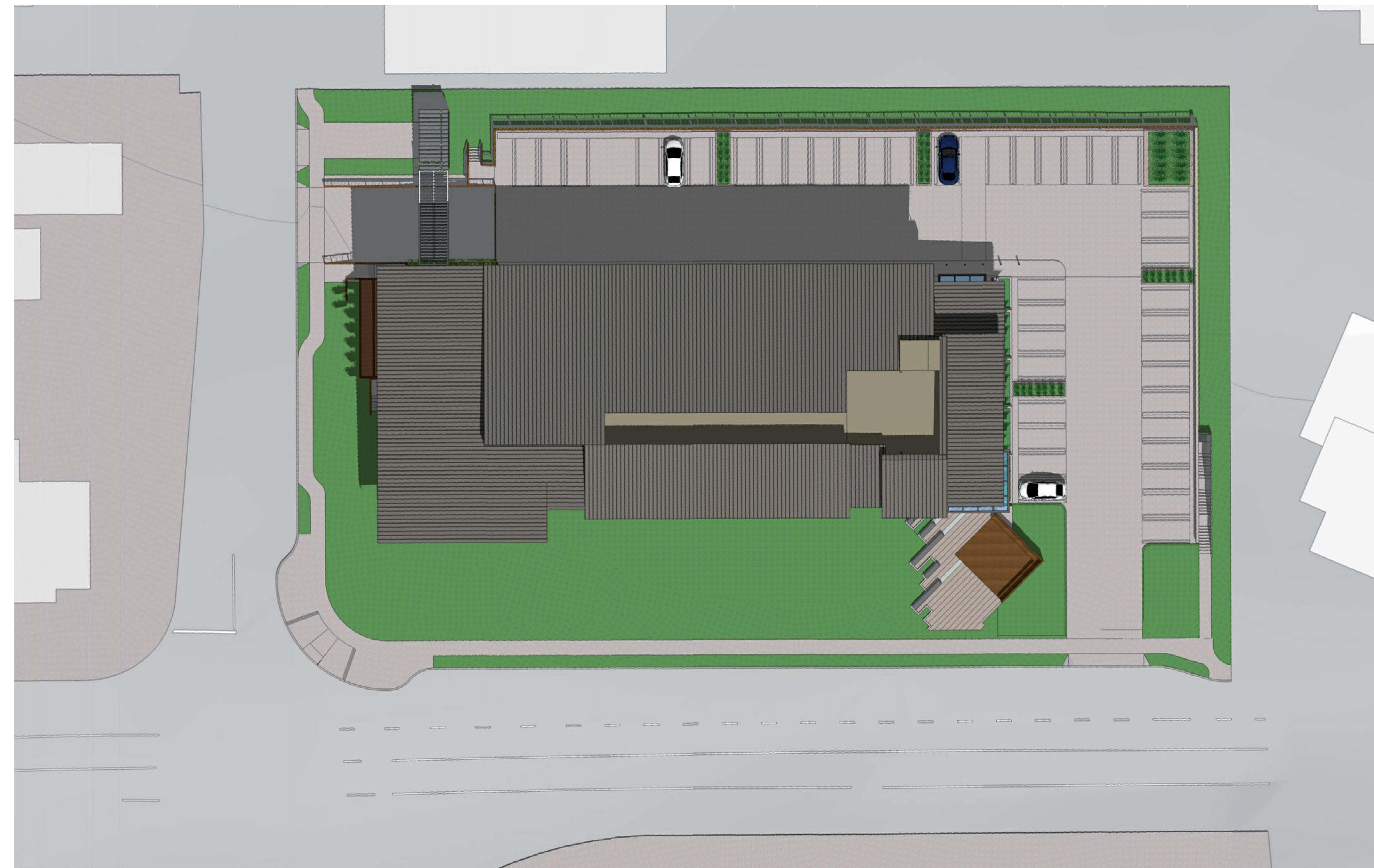
Sheet No:
SP3.0



Spring - April 15, at 3:00PM

2

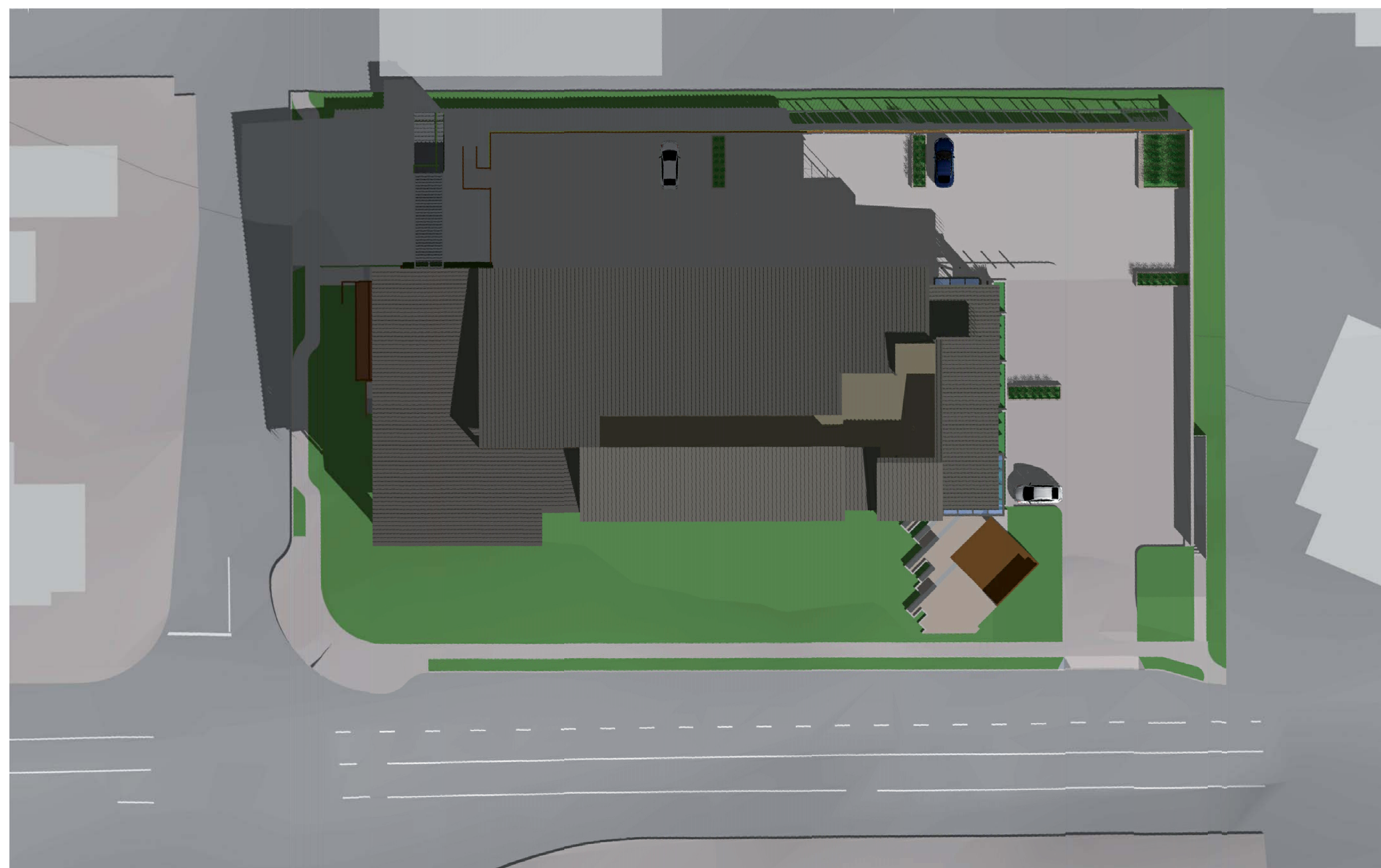
SCALE: 1/32" = 1' - 0"



Summer - July 15, at 3:00PM

1

SCALE: 1/32" = 1' - 0"



Autumn - October 15, at 3:00PM

4

SCALE: 1/32" = 1' - 0"



Winter - January 15, at 3:00PM

3

SCALE: 1/32" = 1' - 0"



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Sheet Title:

SHADOW STUDY
DIAGRAM

Job No. 15019
Date: 03/14/2017
Scale: 1/32" = 1'-0"
Drawn By:

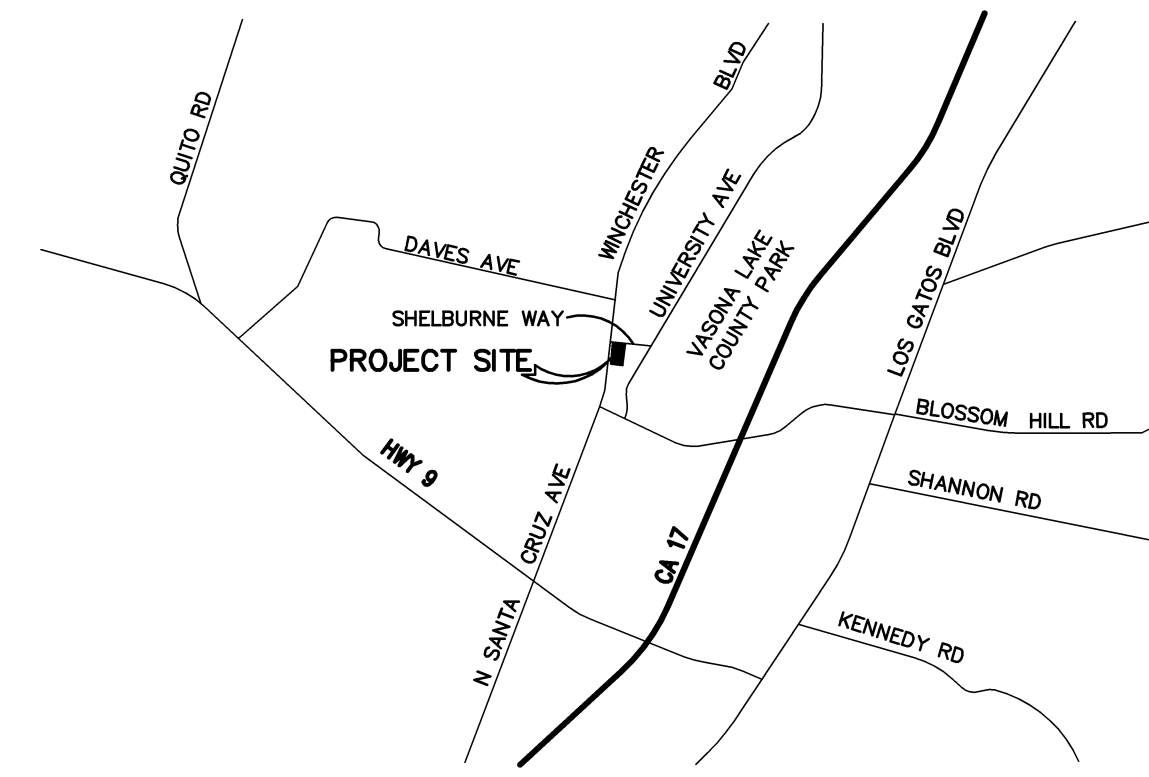
Sheet No:

SP4.0

ARCHITECTURE AND SITE REVIEW

WINCHESTER BLVD OFFICE

LOS GATOS, SANTA CLARA COUNTY, CALIFORNIA



VICINITY MAP
N.T.S.



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: Planning
: Urban Design

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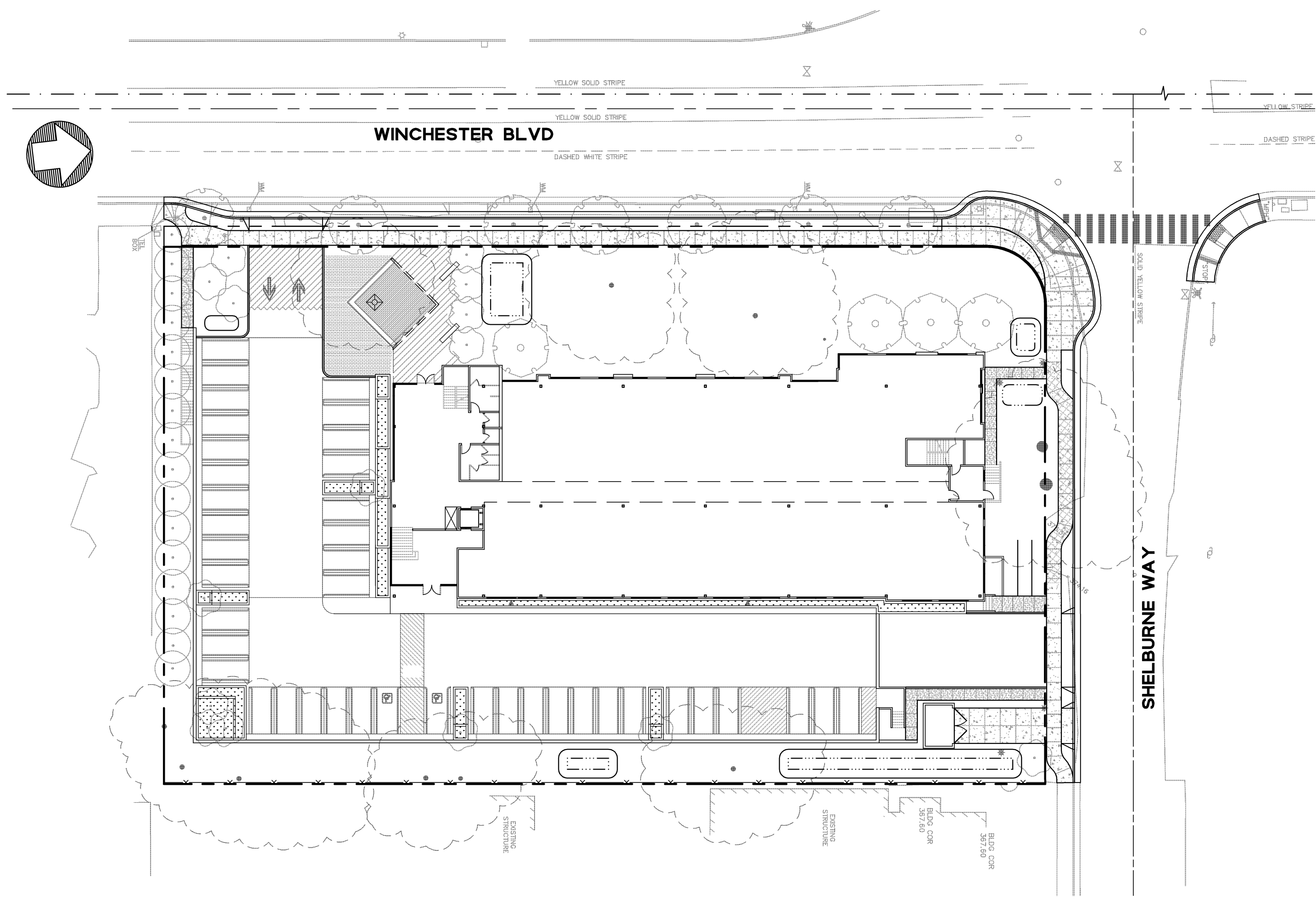
Bkf
ENGINEERS / SURVEYORS / PLANNERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

LEGEND

PROPERTY LINE	---
LOT LINE	- - - -
STREET CENTERLINE	---
MONUMENT LINE	---
CONTOUR LINE	39
STORM DRAIN LINE	30" SD
SANITARY SEWER LINE	10" SS
WATER LINE	8"W
ELECTRIC LINE	E
GAS LINE	6"G (ABS)
WATER VALVE	WV
FIRE HYDRANT	CO
CLEAN OUT	CO
SIGN	o
ELECTROLIER	o
GAS VALVE	GV
FENCE LINE	X

ABBREVIATIONS

AC	ASPHALT CONCRETE
B	BASEMENT SLAB ELEVATION
BB	BUBBLER BOX
BLDG	BUILDING
BW	BACK OF WALK/BOTTOM OF WALL
CB	CATCH BASIN
CONC	CONCRETE
COR	CORNER
CY	CUBIC YARD
DI	DRAIN INLET
E	ELECTRIC
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
GS	GARAGE SLAB ELEVATION
INV	INVERT ELEVATION
LG	LIP OF GUTTER
LS	LANDSCAPE
PIEE	PRIVATE INGRESS/EGRESS EASEMENT
PIV	POST INDICATOR VALVE
PS	PARKING STALL
PUE	PUBLIC UTILITY EASEMENT
R	ROOM
SF	SQUARE FEET
SJWC	SAN JOSE WATER COMPANY
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDE	PRIVATE STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSE	PRIVATE SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
SW	SIDEWALK
TC	TOP OF CURB
TYP	TYPICAL
TW	TOP OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE



UTILITY NOTES

WATER SUPPLY:	SAN JOSE WATER COMPANY
STORM DRAINAGE:	TOWN OF LOS GATOS
SANITARY SEWER:	WEST VALLEY SANITATION DISTRICT
GARBAGE COLLECTION:	WEST VALLEY COLLECTION & RECYCLING
GAS:	PACIFIC GAS & ELECTRIC
ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T/VERIZON CALIFORNIA
CABLE:	COMCAST

EARTHWORK SUMMARY		
	CUT (C.Y.)	FILL (C.Y.)
BUILDING/GARAGE	6,600	-
DRIVEWAY	20	-
LANDSCAPE	-	-
BIORETENTION	400	-
*TOTAL	7,020	-

*EARTHWORK QUANTITIES ARE SHOWN FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK CALCULATION.

PROJECT DATA

- PROJECT ADDRESS: 15860, 15880, 15894 WINCHESTER BLVD., AND SHELburne WAY, LOS GATOS, CA
- ASSESSORS PARCEL NO.: 529-11-013, 038, 039 AND 040
- EXISTING LAND USE: RESIDENTIAL
- PROPOSED LAND USE: OFFICE
- EXISTING ZONING: O-OFFICE
- PROPOSED ZONING: O-OFFICE
- GROSS ACREAGE: 1.31 ACRES
- ESTIMATED AREA OF LAND DISTURBANCE: 1.31 ACRES
- EXISTING NUMBER OF BUILDINGS: 9 RESIDENTIAL/CARPORTS/SHEDS
- NUMBER OF BUILDINGS REMOVED: 9
- PROPOSED NUMBER OF HOMES: 0
- PROPOSED NUMBER OF PARKING SPACE: 128 STALLS
- FLOOD ZONE: X, FIRM PANEL 376 OF 830, MAP NUMBER 06085C0376H, DATED 05/18/2009.
- BASIS OF BEARINGS:
THE BEARING S83°18'46"E OF THE MONUMENT LINE OF THE SHELburne WAY, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK "U" OF MAPS AT PAGES 34 AND 35, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.
- BENCHMARK LG 21: BRASS DISK IN MONUMENT WELL AT EASTERLY INTERSECTION OF UNIVERSITY AVENUE AND SHELburne WAY. ELEVATION: 351.65 (TOWN OF LOS GATOS DATUM)

CIVIL SHEET INDEX

SHEET	DESCRIPTION
C1.0	CIVIL TITLE SHEET
C2.0	EXISTING CONDITIONS & TREE REMOVAL PLAN
C3.0	PRELIMINARY SITE PLAN
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY STORMWATER CONTROL PLAN

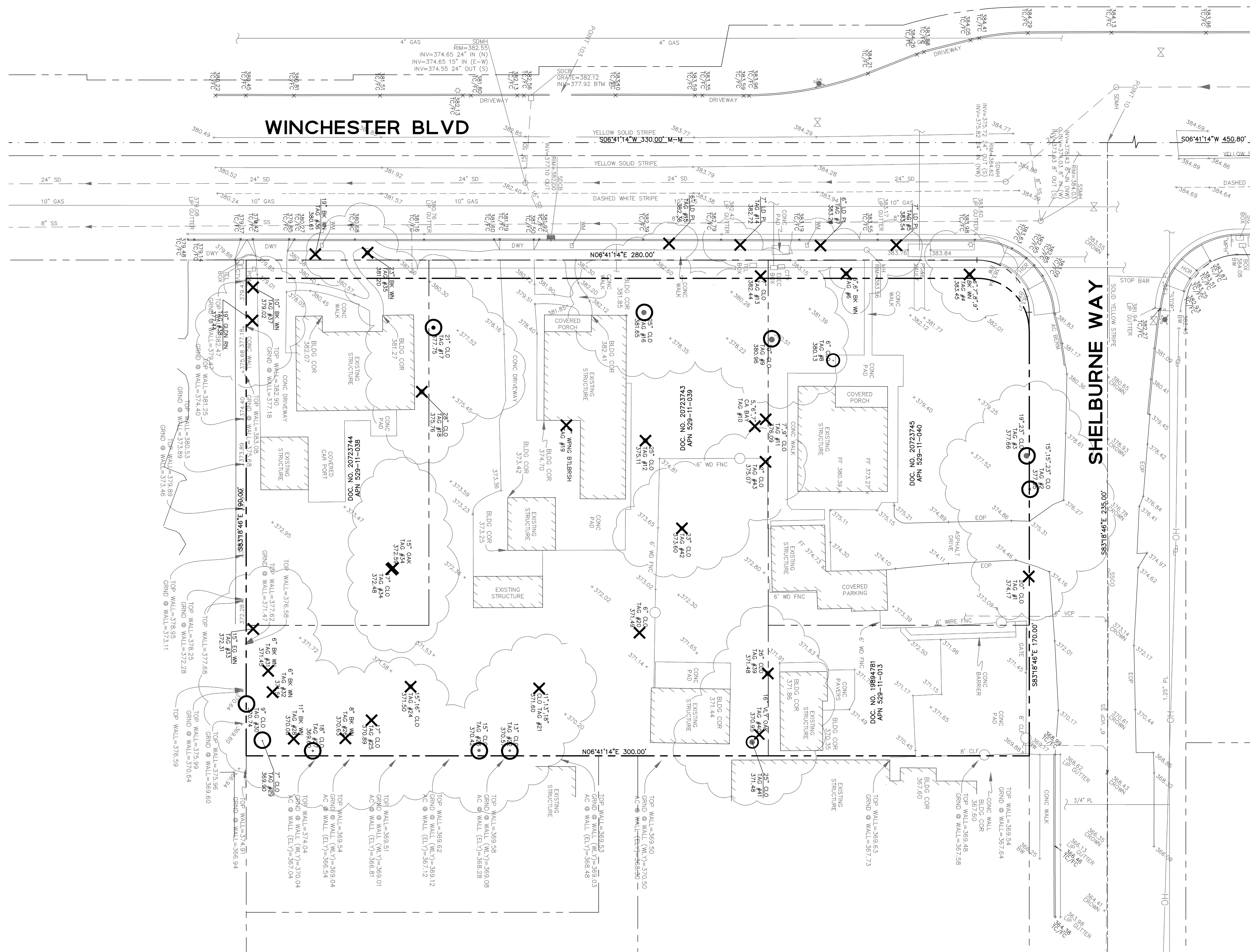
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Sheet Title:
CIVIL TITLE SHEET

BKF Job No. 20126028
Date: 3/13/2017
Scale:
Drawn By: PK

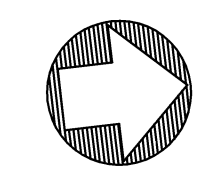
Sheet No:
C1.0



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- R/W RIGHT-OF-WAY
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- VV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

- X** TREE TO BE REMOVED
- O** TREE TO REMAIN



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



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- : Urban Design

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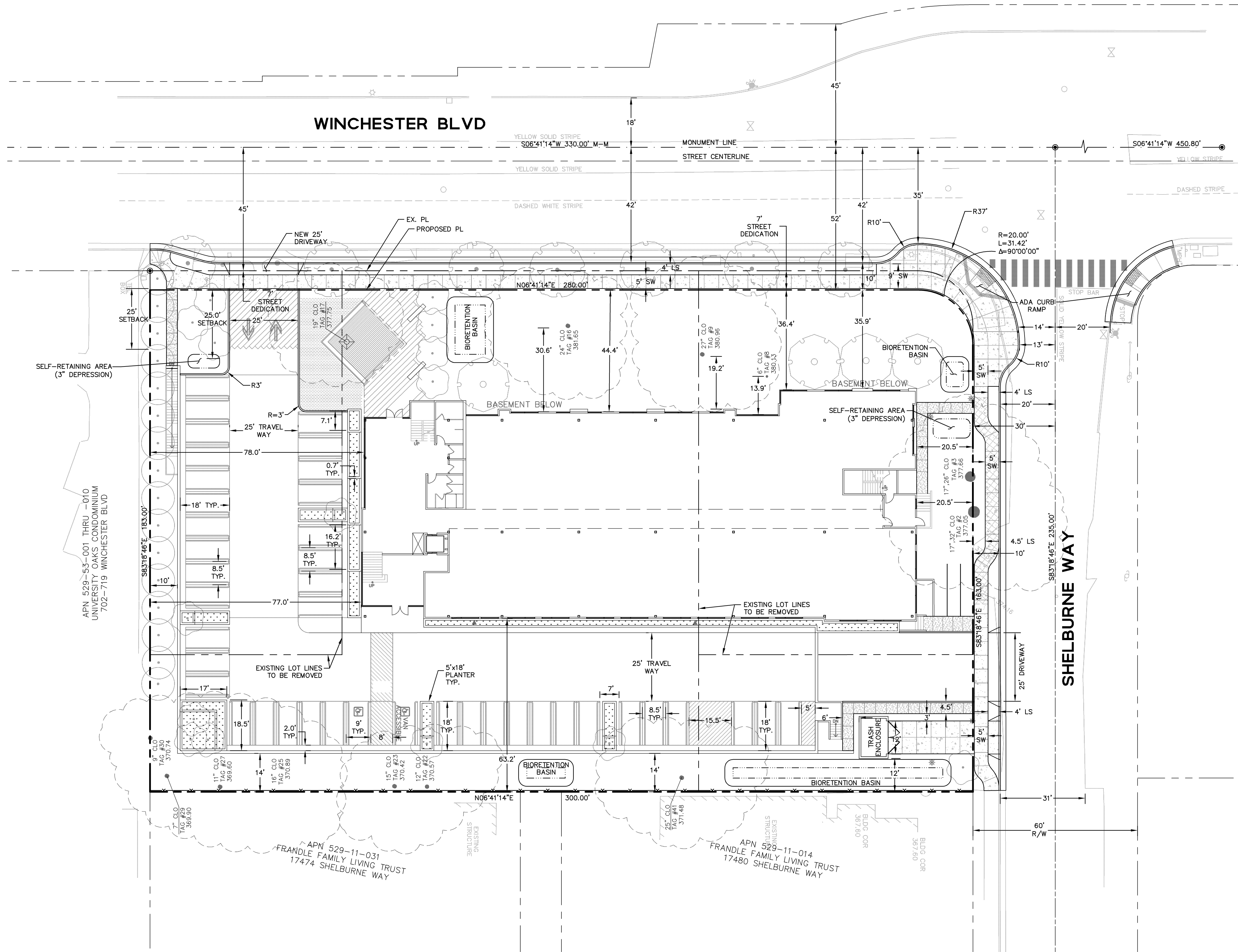
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Sheet Title:
**EXISTING
CONDITIONS & TREE
REMOVAL PLAN**

BKF Job No. 20126028
Date: 3/13/2017
Scale:
Drawn By: PK

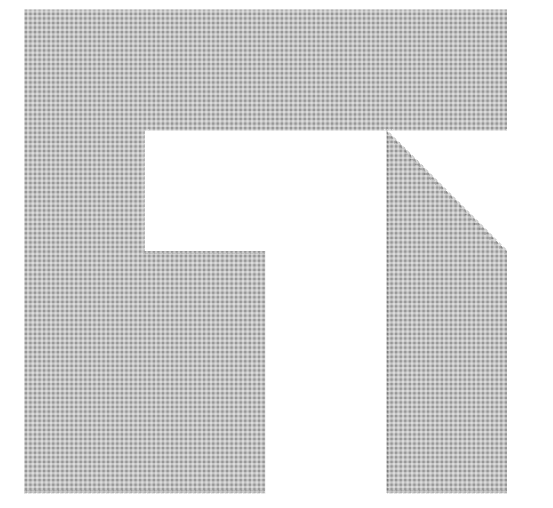
Sheet No:

C2.0



LEGEND

	PROPOSED	EXISTING
PROJECT BOUNDARY	---	---
LOT LINE	---	---
ADJACENT LOT LINE	---	---
STREET CENTERLINE	---	---
MONUMENT LINE	---	---
VERTICAL CURB	---	---
VERTICAL CURB & GUTTER	---	---
6" WOOD FENCE W/ LATTICE (SEE LANDSCAPE PLANS)	---	---
RETAINING WALL (SEE SECTIONS FOR FENCING)	---	---
CONCRETE PAVING	---	---
STRUCTURAL SOIL	---	---



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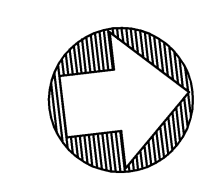
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Sheet Title:
PRELIMINARY SITE PLAN

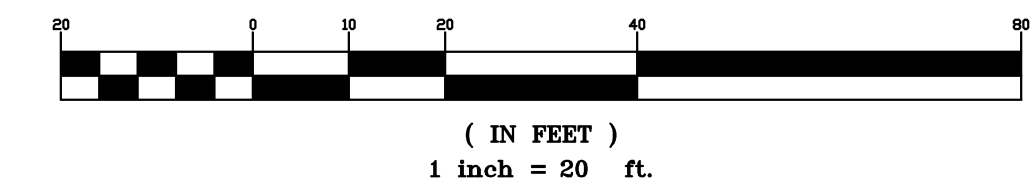
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 Date: 3/13/2017
 Scale:
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Sheet No:

C3.0



GRAPHIC SCALE



WINCHESTER BLVD

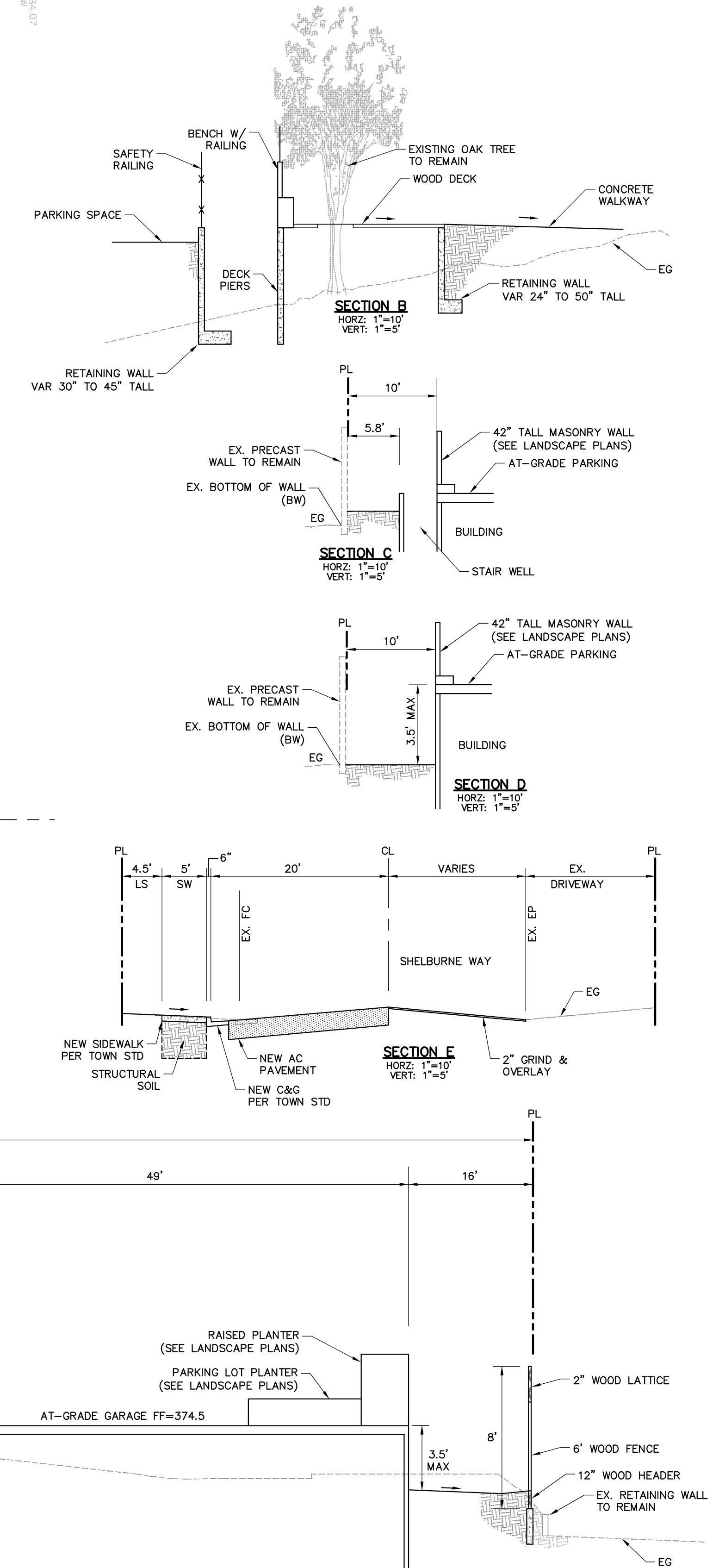
SHELburne WAY

LEGEND

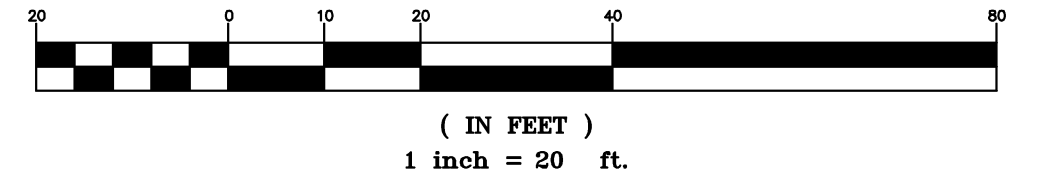
PROJECT BOUNDARY	PROPOSED	PUBLIC AC - DEEP LIFT
LOT LINE	NEW AC PAVEMENT	2" GRIND & OVERLAY
MONUMENT LINE	BIORETENTION BASIN	STORM DRAIN CLEANOUT
VERTICAL CURB	AREA DRAIN	DRAIN INLET
VERTICAL CURB & GUTTER	OVERFLOW DRAIN	STORM DRAIN MANHOLE
6" WOOD FENCE W/ LATTICE (SEE LANDSCAPE PLANS)	BUBBLER BOX	OVERLAND RELEASE
RETAINING WALL (SEE SECTIONS FOR FENCING)	(E) TREE TO BE PROTECTED	
CONCRETE PAVING		
STRUCTURAL SOIL		

NOTES

1. SEE LANDSCAPE PLANS FOR LANDSCAPE WALL HEIGHTS AND DECK DETAILS.



GRAPHIC SCALE



: Architecture
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: Urban Design

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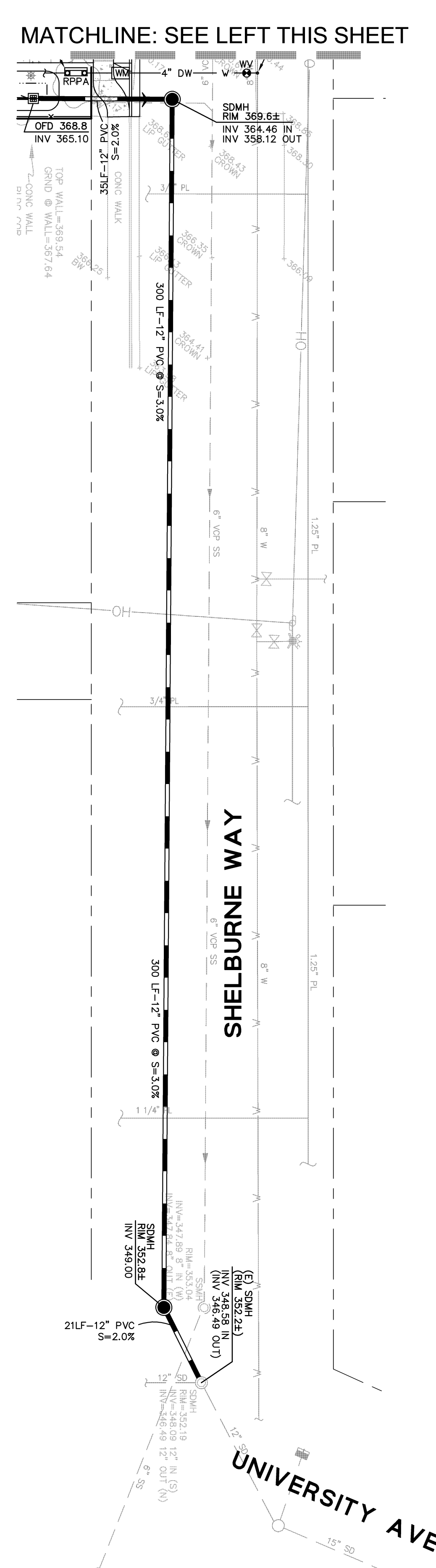
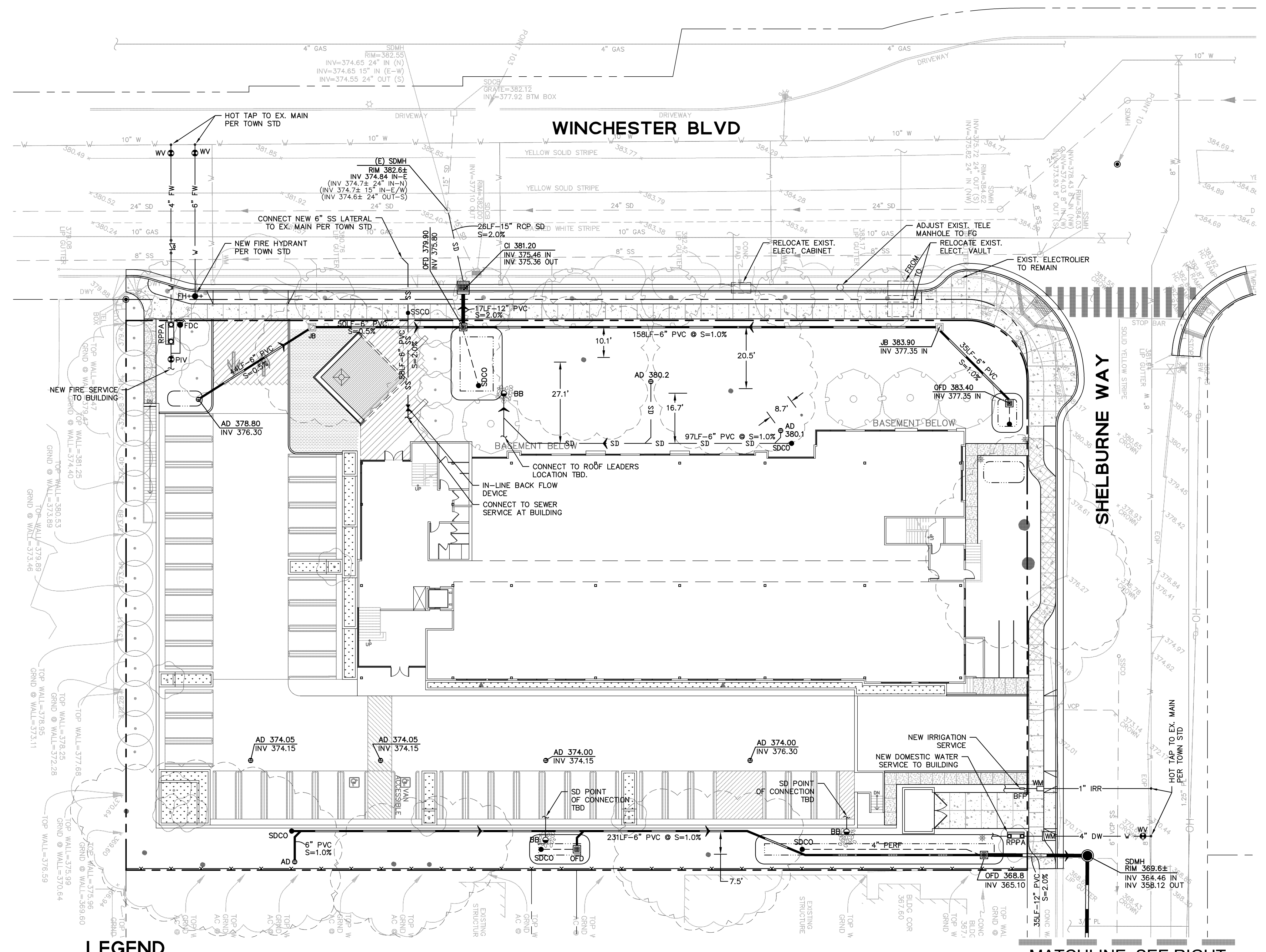
Sheet Title:
PRELIMINARY GRADING AND DRAINAGE PLAN

BKF Job No. 20126028
Date: 3/13/2017
Scale:
Drawn By: PK

Sheet No:
C4.0

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K:\ENG\21\26028\DWG\PLANNING\SHEETS\0555-UT5.0.dwg 10 Mar 2017 3:24:06pm kiet



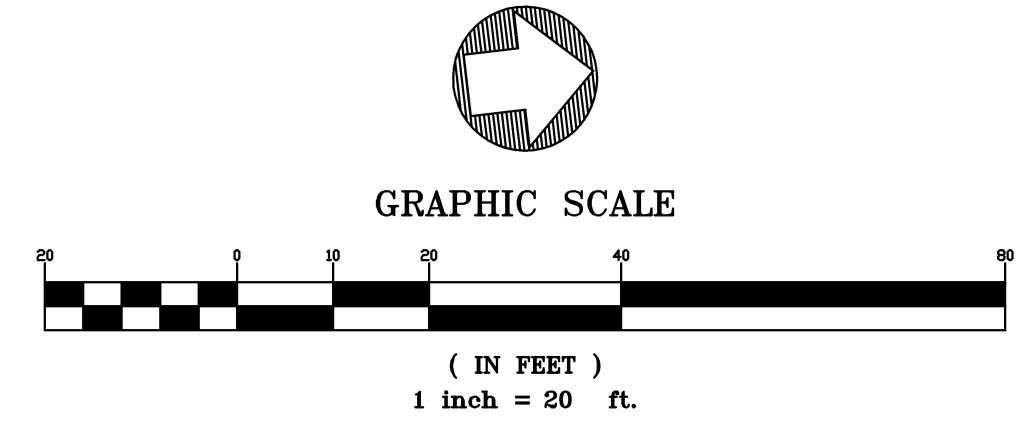
LEGEND

- | | | | |
|--|--------------------------------------|--|-------------------------------------|
| | STORM DRAIN LINE (TREATED) | | REDUCED PRESSURE PRINCIPLE ASSEMBLY |
| | STORM DRAIN LINE (UNTREATED) | | 2-WAY FIRE DEPARTMENT CONNECTION |
| | SANITARY SEWER LINE | | POST INDICATOR VALVE |
| | DOMESTIC WATER LINE | | DETECTOR CHECK VALVE BY SJWC |
| | JOINT TRENCH LINE (DESIGN BY OTHERS) | | IN-LINE BACK FLOW DEVICE |
| | FIRE WATER LINE | | |
| | STORM DRAIN MANHOLE | | |
| | DRAINAGE INLET | | |
| | JUNCTION BOX | | |
| | AREA DRAIN | | |
| | BUBBLER BOX | | |
| | STORM DRAIN CLEANOUT | | |
| | SANITARY SEWER MANHOLE | | |
| | SANITARY SEWER CLEANOUT | | |
| | WATER METER | | |
| | WATER VALVE | | |

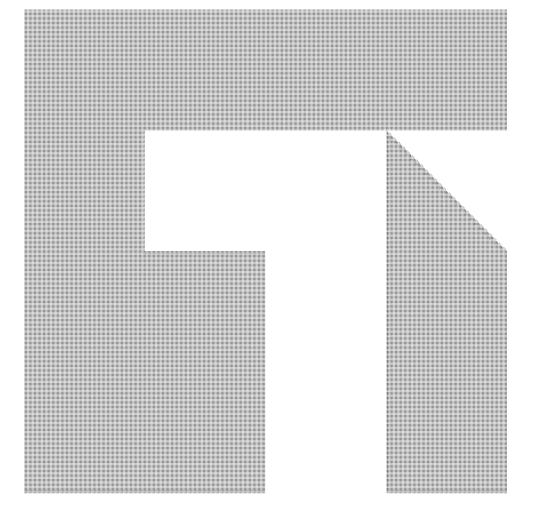
NOTES

1. TRASH ENCLOSURE SHALL BE COVERED. ANY DISCHARGE FROM TRASH ENCLOSURE SHALL BE DIRECTED TO SANITARY SEWER.

MATCHLINE: SEE RIGHT THIS SHEET



MATCHLINE: SEE LEFT THIS SHEET



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SUITE 600
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408-467-9100
408-467-9199 (FAX)

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Winchester Blvd. and Shelburne Way, Los Gatos, CA

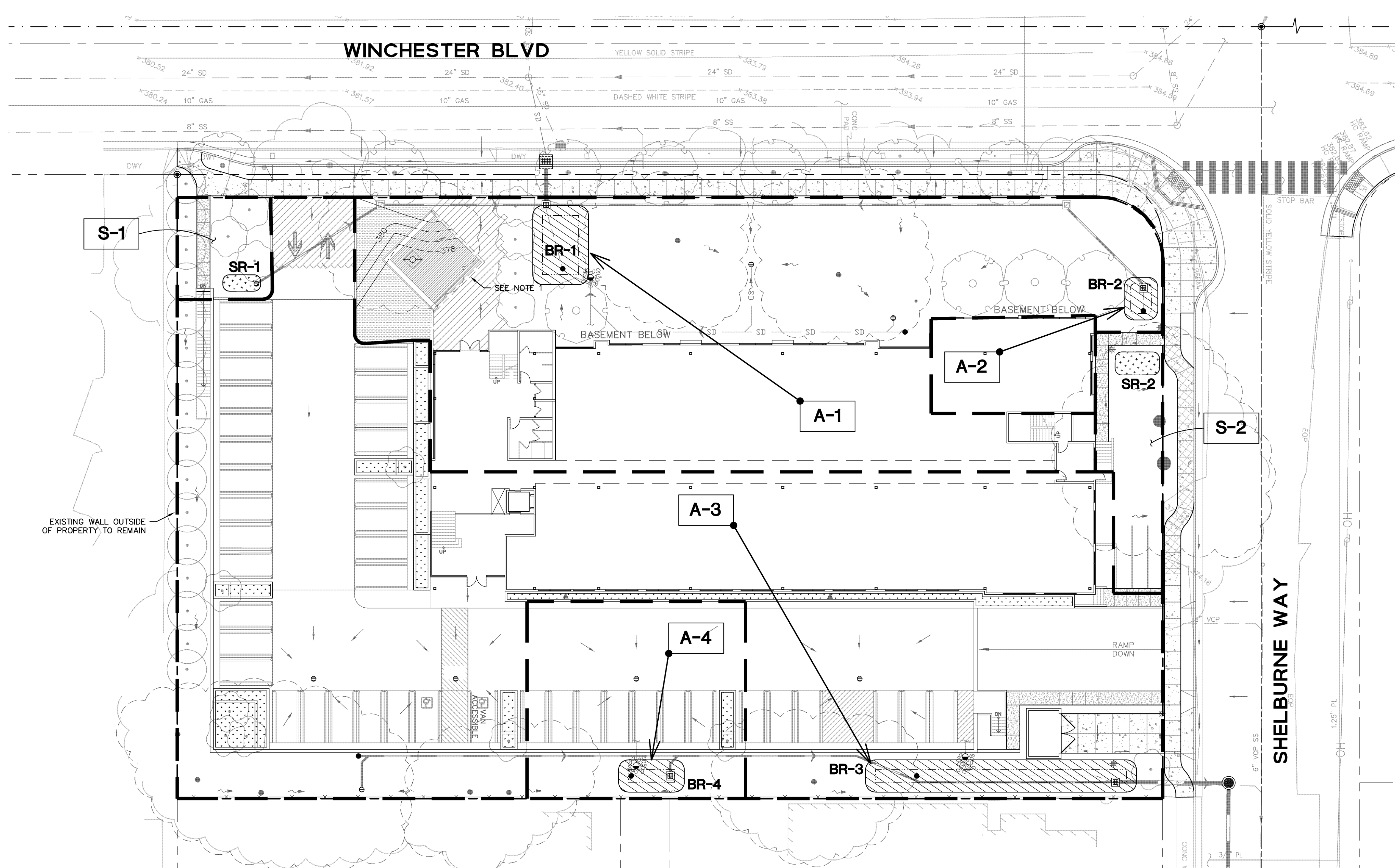
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Sheet Title:
PRELIMINARY UTILITY PLAN

BKF Job No. 20126028
Date: 3/13/2017
Scale:
Drawn By: PK

Sheet No:

C5.0



LEGEND

- DRAINAGE AREA BOUNDARY
- RETENTION AREA DESIGNATION
- SELF-RETAINING AREA
- DIRECTION OF FLOW

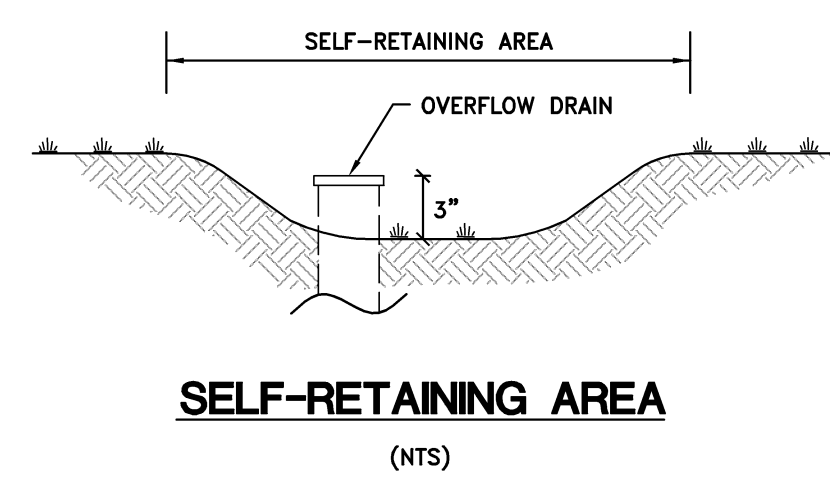
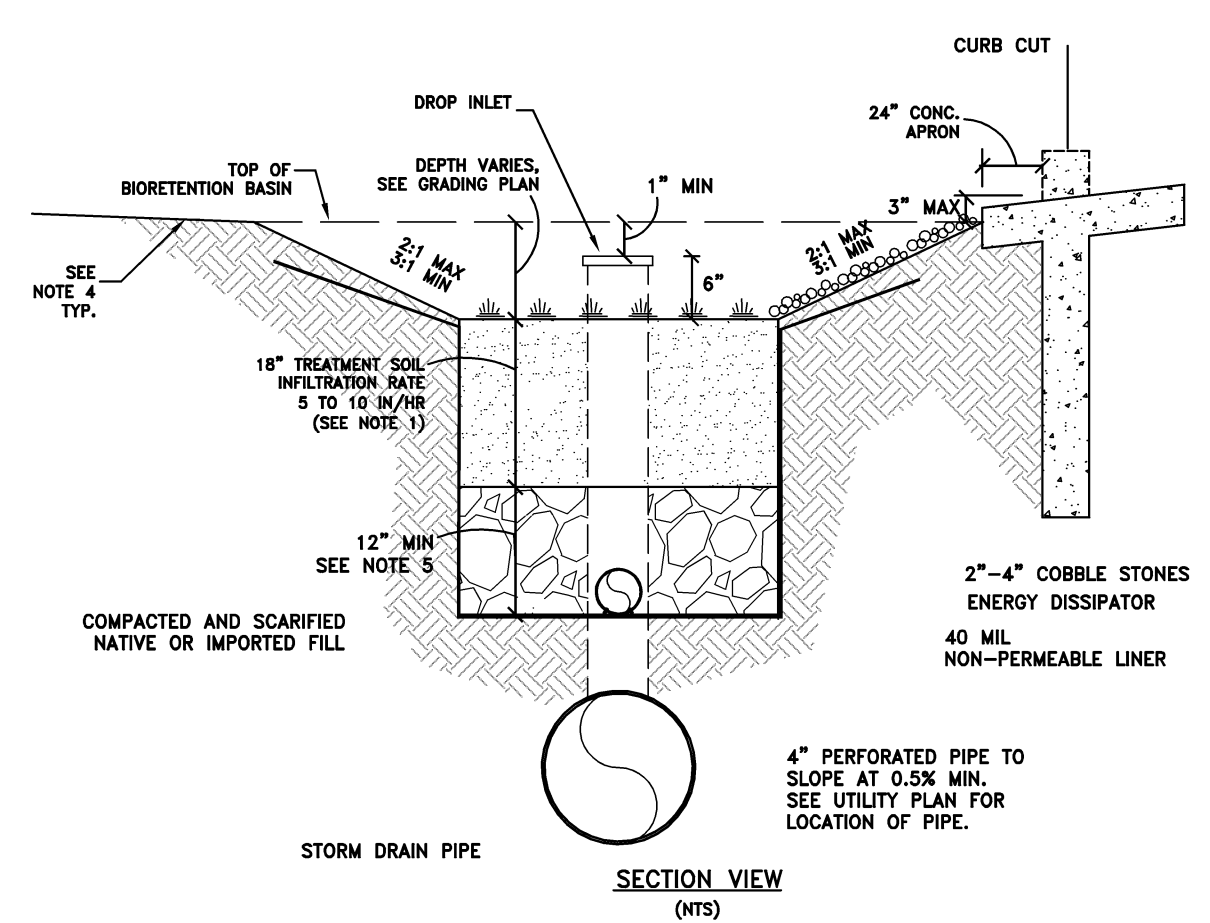
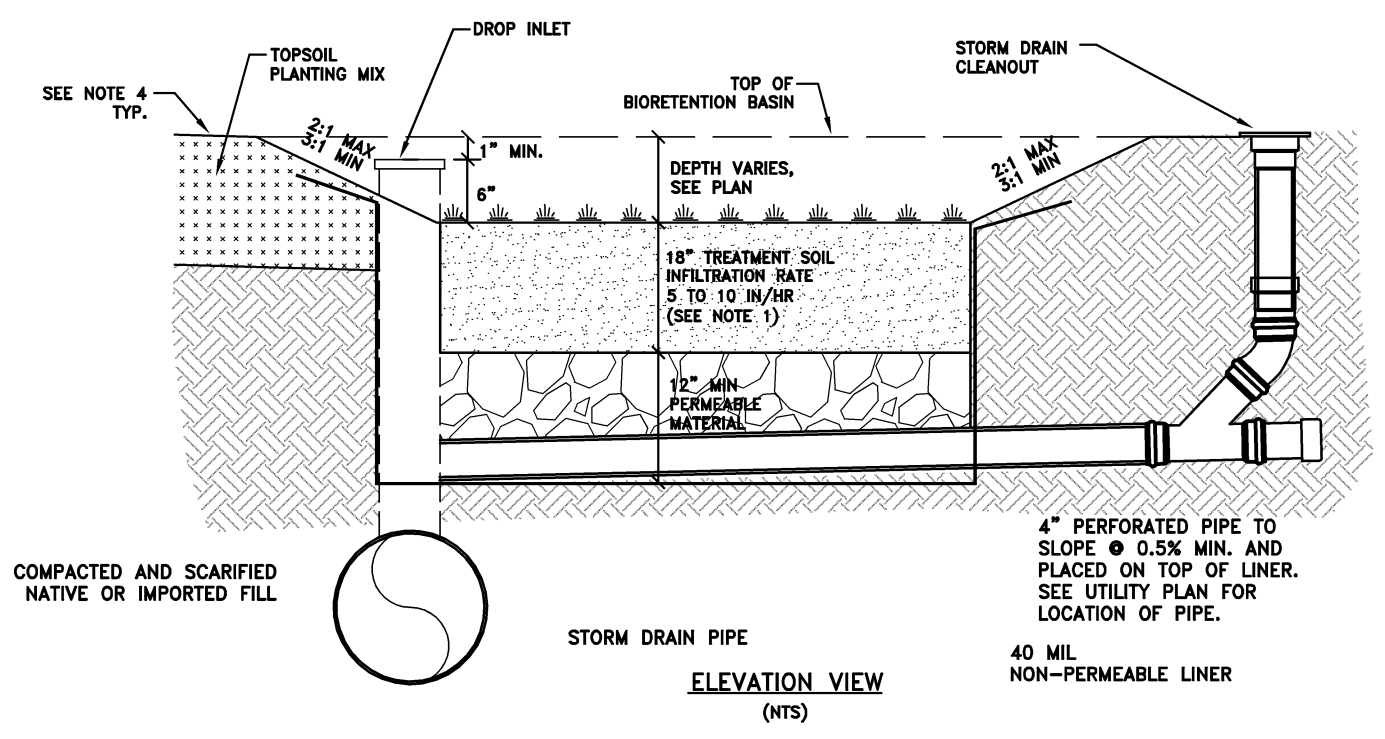


TABLE A

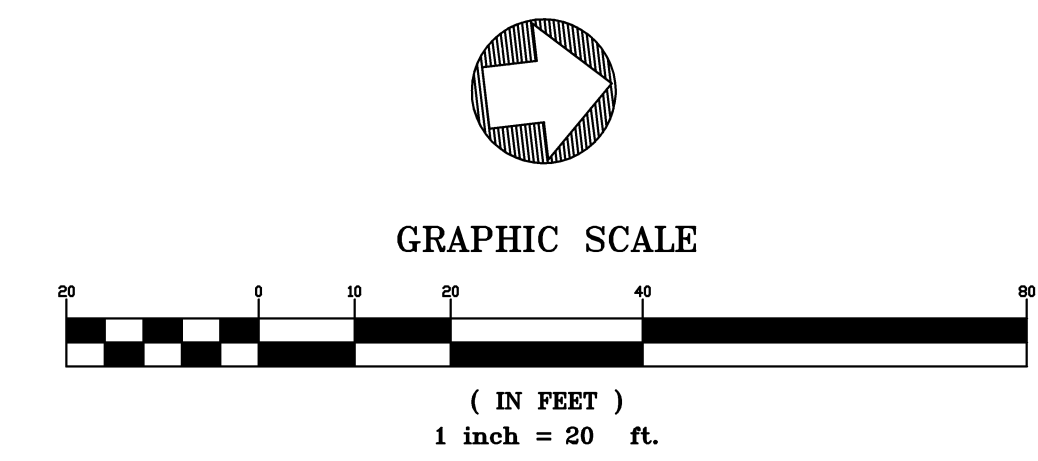
PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
		PROJECT PHASE NUMBER (N/A, 1, 2, 3, ETC.):	
		1	
TOTAL SITE (ACRES):	1.29	TOTAL AREA OF SITE DISTURBED (ACRES):	1.29
IMPERVIOUS SURFACES	EXISTING CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	
		REPLACED	NEW
ROOF AREA(S)	7,770	7,770	8,080
PARKING	1,444	1,444	5,696
SIDEWALKS, PODIUM, PATHS, ETC.	8,076	559	0
STREETS (PUBLIC)	0	0	0
STREETS (PRIVATE)	0	0	9,210
TOTAL IMPERVIOUS SURFACES:	17,290	9,773	22,986
PERVIOUS SURFACES			
LANDSCAPE AREA	38,990	23,689	0
PERVIOUS PAVING	0	0	0
OTHER PERVIOUS SURFACES (GREEN ROOF, ETC)	0	0	0
TOTAL PERVIOUS SURFACES:	38,990	23,689	0
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:		32,759	
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:		23,689	

TREATMENT CONTROL MEASURE SUMMARY											
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	IMPERVIOUS SURFACE TYPE (SQ. FT.)			TREATMENT REQUIRED (SQ. FT.)	TREATMENT PROVIDED (SQ. FT.)	PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
					ROOF (C=0.90)	CONC (C=0.90)	AS (C=0.70)				
A-1	17,214	10,354	LANDSCAPE (C=0.10)	6,860	6,860	0	0	274	400	BIORETENTION	YES
A-2	1,466	0	LANDSCAPE (C=0.10)	1,466	1,466	0	0	59	125	BIORETENTION	YES
A-3	29,836	10,530	LANDSCAPE (C=0.10)	19,306	7,360	11,946	0	772	800	BIORETENTION	YES
A-4	3,990	866	LANDSCAPE (C=0.10)	3,124	0	3,124	0	125	190	BIORETENTION	YES
SR-1	888	776	LANDSCAPE (C=0.10)	112	0	112	0	56	56	SELF-RETAINING	YES
SR-2	1,423	1,275	LANDSCAPE (C=0.10)	200	0	144	0	100	100	SELF-RETAINING	YES



- NOTE:**
- FOR TREATMENT SOIL SPECIFICATION, SEE APPENDIX C IN SCVURPPP CS STORMWATER HANDBOOK DATED APRIL 2012.
 - BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR MUST COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.
 - CONTACT THE CITY'S URBAN RUNOFF COORDINATOR FOR INSPECTION DURING INSTALLATION OF BIOTREATMENT SOIL, OF THE TREE POD SYSTEM, AND FINAL LANDSCAPING. RESULT FROM A PERCOLATION RATE SHALL BE GREATER THAN 5.0 IN/HR AND LESS THAN 10.0 IN/HR.
 - A MINIMUM 2-FOOT LEVEL CLEARANCE (MAX 2%) SHALL BE PROVIDE BETWEEN THE TOP OF BASIN AND WALKWAYS/PUBLIC SIDEWALKS.
 - DRAIN ROCK TO BE CLASS 2 PERMEABLE MATERIAL PER CALTRANS STANDARD SPECIFICATIONS, SECTION 68-2.02F.

BIORETENTION BASIN (AT GRADE)



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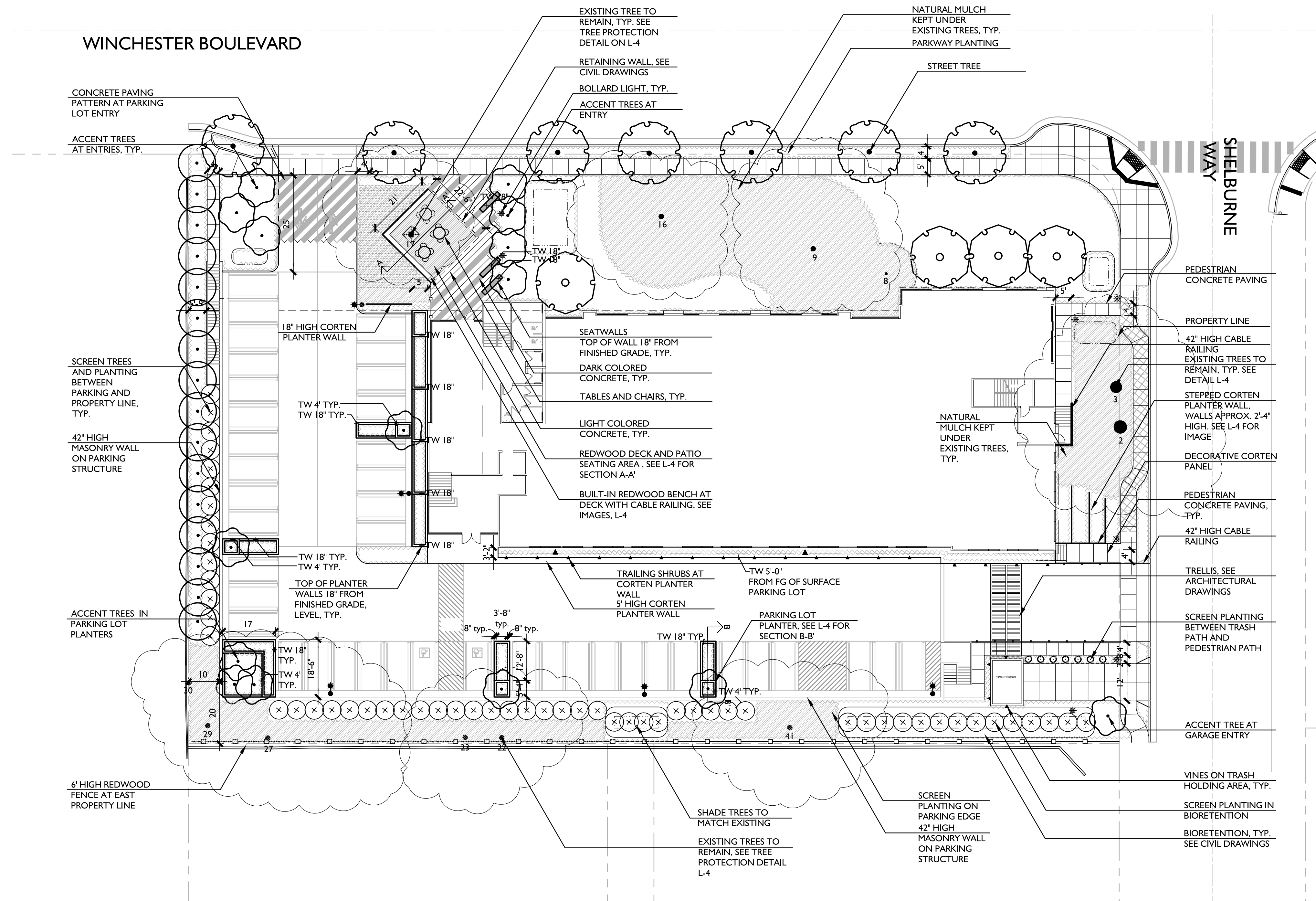
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San Jose, California

Sheet Title:
PRELIMINARY STORMWATER CONTROL PLAN

BKF Job No. 20126028
Date: 3/13/2017
Scale:
Drawn By: PK

Sheet No:
C6.0

K:\ENG\2\166028\DWG\PLANNING\SHEETS\06SS-SWE.0.dwg 10 Mar 2017 3:24:33pm kiet



FOR ALL LANDSCAPE ELEVATIONS, BOTTOM OF WALL IS FINISHED GRADE OR FROM THE SURFACE OF THE PARKING LOT.

- *SEE L-2 FOR TREES TO PRESERVE AND REMOVE
- *SEE L-3 FOR PLANTING LIST AND LEGEND
- *SEE L-4 FOR SITE FURNISHINGS
- *SEE L-5 FOR LANDSCAPE LIGHTING



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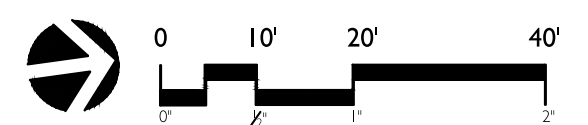
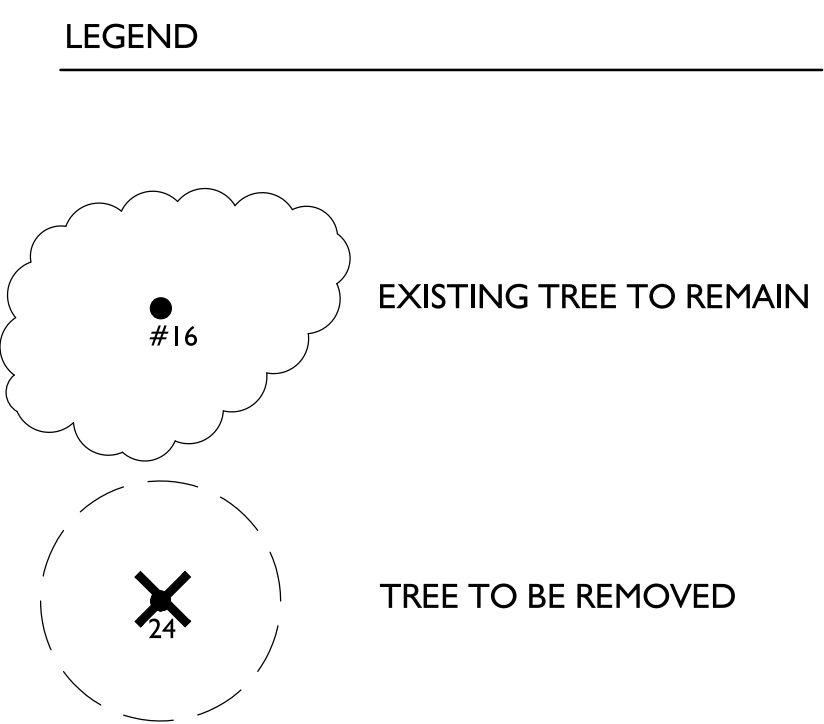
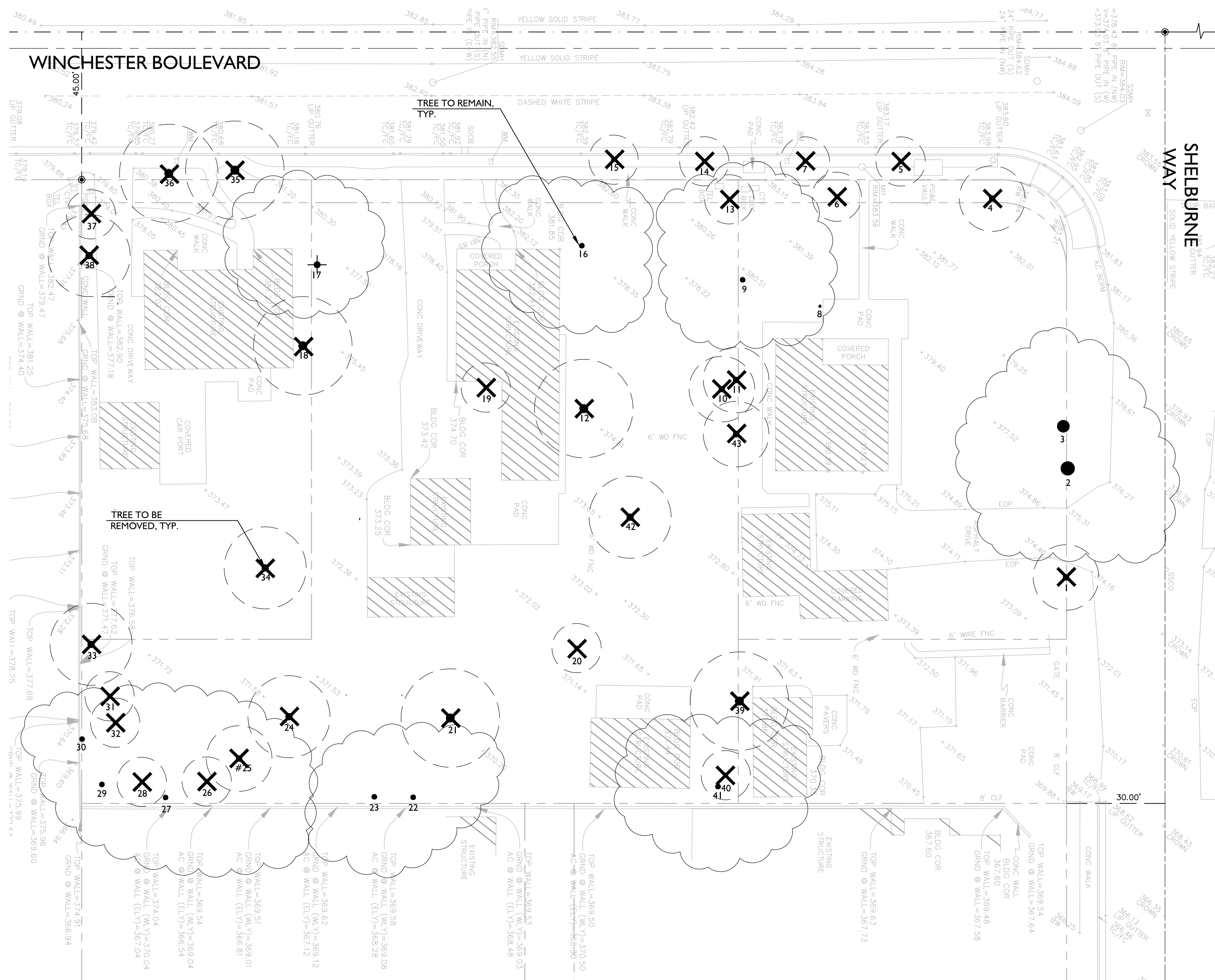
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San Jose, California

Sheet Title:
LANDSCAPE LAYOUT PLAN

Job No. P4724
Date: 03/14/2017
Scale: 1"=20'
Drawn By: JK

Sheet No: **L-1**



TREE INVENTORY						
TREE NO.	COMMON NAME	BOTANICAL NAME	TRUNK DIAMETER	PRESERVATION SUITABILITY	ACTION	REASON FOR REMOVAL
1	Coast Live Oak	Quercus agrifolia	20	Good	Removed	Construction
2	Coast Live Oak	Quercus agrifolia	15,15,23	Fair/Good	Saved	
3	Coast Live Oak	Quercus agrifolia	19,23	Fair/Good	Saved	
4	California Black Walnut	Juglans californica				
5	London Plane Tree	Platanus x acerifolia	7	Fair/Poor	Removed	Construction
6	California Black Walnut	Juglans californica				
7	London Plane Tree	Platanus x acerifolia	6	Fair/Poor	Removed	Construction
8	Coast Live Oak	Quercus agrifolia	6	Fair	Saved	Construction
9	Coast Live Oak	Quercus agrifolia	30 (3)	Good	Saved	
10	California Bay Laurel	Umbellularia californica	5,6,7	Fair	Removed	Construction
11	Coast Live Oak	Quercus agrifolia	7,9	Fair	Removed	Construction
12	Coast Live Oak	Quercus agrifolia	25	Good	Removed	Construction
13	Coast Live Oak	Quercus agrifolia	7	Fair/Good	Removed	Construction
14	London Plane Tree	Platanus x acerifolia	7	Fair/Poor	Removed	Construction
15	London Plane Tree	Platanus x acerifolia	6	Fair/Poor	Removed	Construction
16	Coast Live Oak	Quercus agrifolia	25	Good	Saved	
17	Coast Live Oak	Quercus agrifolia	21	Good	Saved	
18	Coast Live Oak	Quercus agrifolia	28	Good	Removed	Construction
19	Weeping bottlebrush	Callistemon viminalis	7	Fair	Removed	Construction
20	Coast Live Oak	Quercus agrifolia	6	Fair/Poor	Removed	Construction
21	Coast Live Oak	Quercus agrifolia	11,13,18	Fair/Good	Removed	Construction
22	Coast Live Oak	Quercus agrifolia	13	Fair	Saved	
23	Coast Live Oak	Quercus agrifolia	15	Fair/Good	Saved	
24	Coast Live Oak	Quercus agrifolia	15,16	Fair/Good	Removed	Construction
25	Coast Live Oak	Quercus agrifolia	17	Fair/Good	Removed	Construction
26	California Black Walnut	Juglans californica				
27	Coast Live Oak	Quercus agrifolia	18	Fair	Saved	
28	California Black Walnut	Juglans californica				
29	Coast Live Oak	Quercus agrifolia	7	Fair	Saved	
30	Coast Live Oak	Quercus agrifolia				
31	California Black Walnut	Juglans californica				
32	California Black Walnut	Juglans californica				
33	English Walnut	Juglans regia				
34	Coast Live Oak	Quercus agrifolia	17	Good	Removed	Construction
35	California Black Walnut	Juglans californica	23(3.5)	Poor	Removed	Construction/Structure
36	California Black Walnut	Juglans californica	19(3.5)	Poor/Unacceptable	Removed	Construction/Structure
37	California Black Walnut	Juglans californica				
38	Golden Rain Tree	Koeleruteria paniculata	19(4)	Fair/Good	Removed	Construction
39	Coast Live Oak	Quercus agrifolia	26	Good	Removed	Construction
40	Valley Oak	Quercus lobata	16	Good	Removed	Construction
41	Coast Live Oak	Quercus agrifolia	25	Good	Saved	
42	Coast Live Oak	Quercus agrifolia	23	Good	Removed	Construction
43	Coast Live Oak	Quercus agrifolia	12	Fair/Poor	Removed	Construction

* SHADED CELLS ARE TREES THAT ARE LESS THAN PROTECTED SIZE



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Sheet Title:
TREE PRESERVATION AND REMOVAL PLAN

Job No. P4724
Date: 03/14/2017
Scale: 1"=20'
Drawn By: JK

Sheet No: **L-2**

SITE FURNISHINGS



Stepped Corten Planter Wall



Laser Cut Corten Planter



Tables and Chairs



Concrete Seatwall



Deck with Tree Cutouts



Built-in Benches



Cable Railing



Pedestrian Concrete Colored Paving



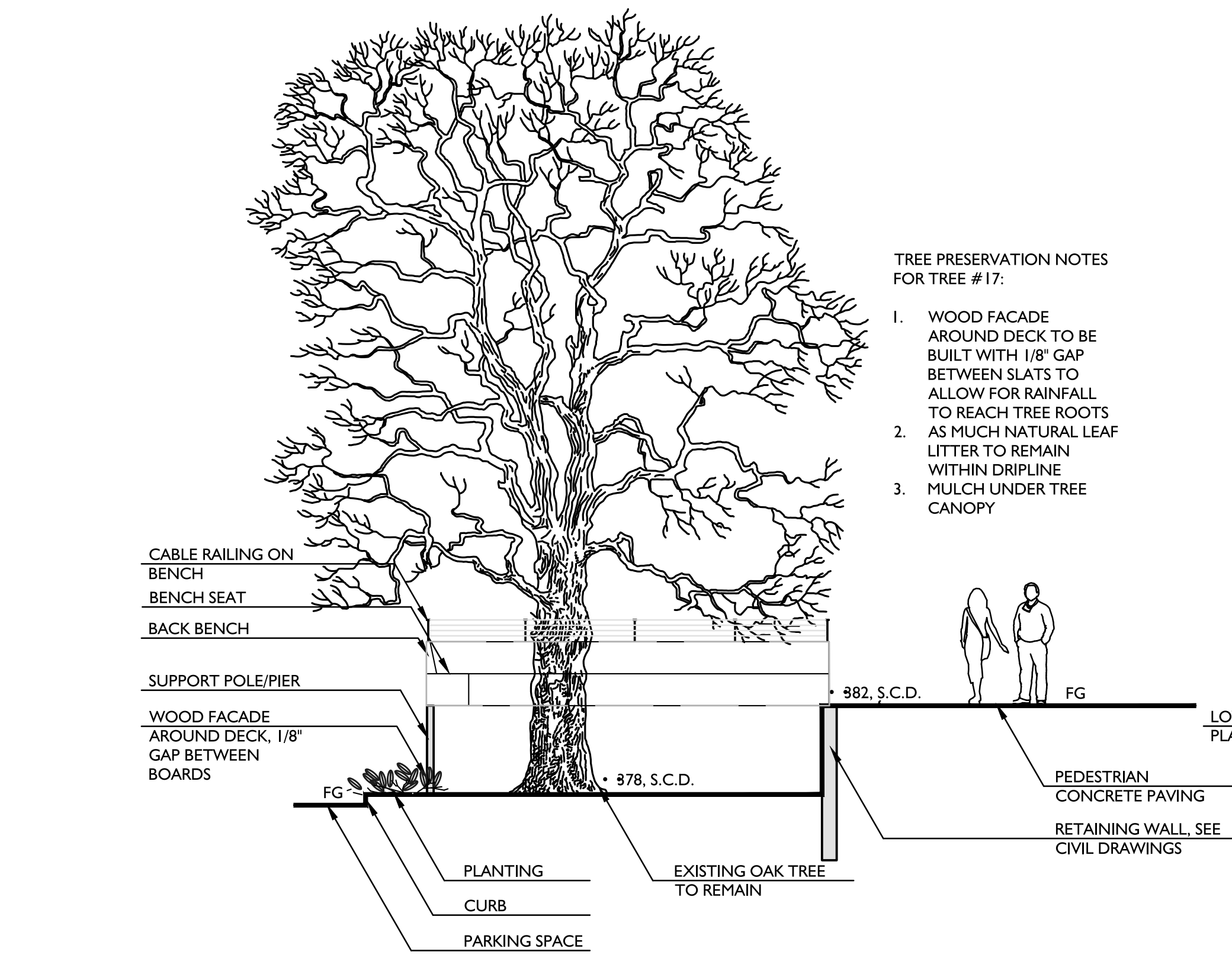
6' HIGH REDWOOD FENCE



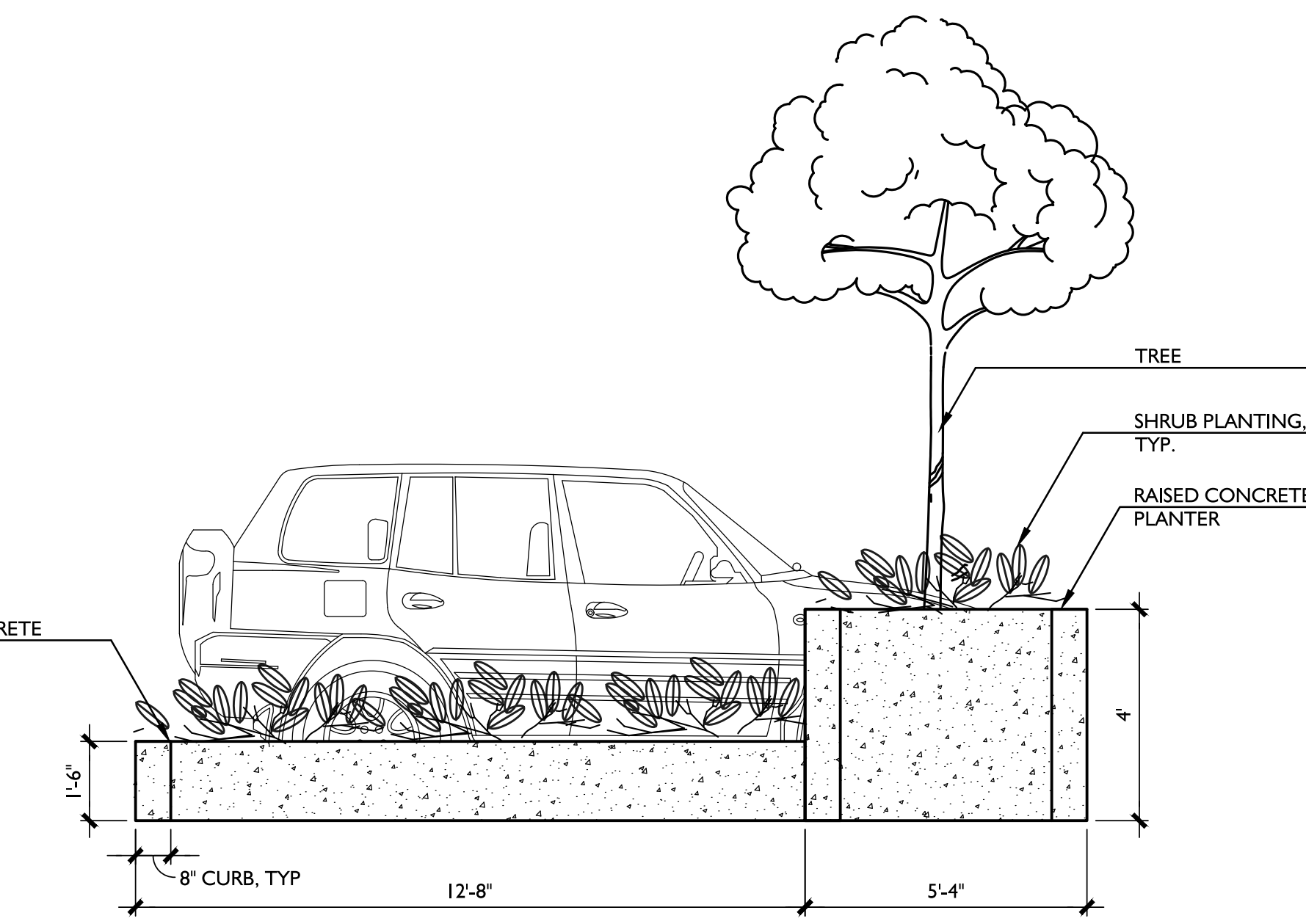
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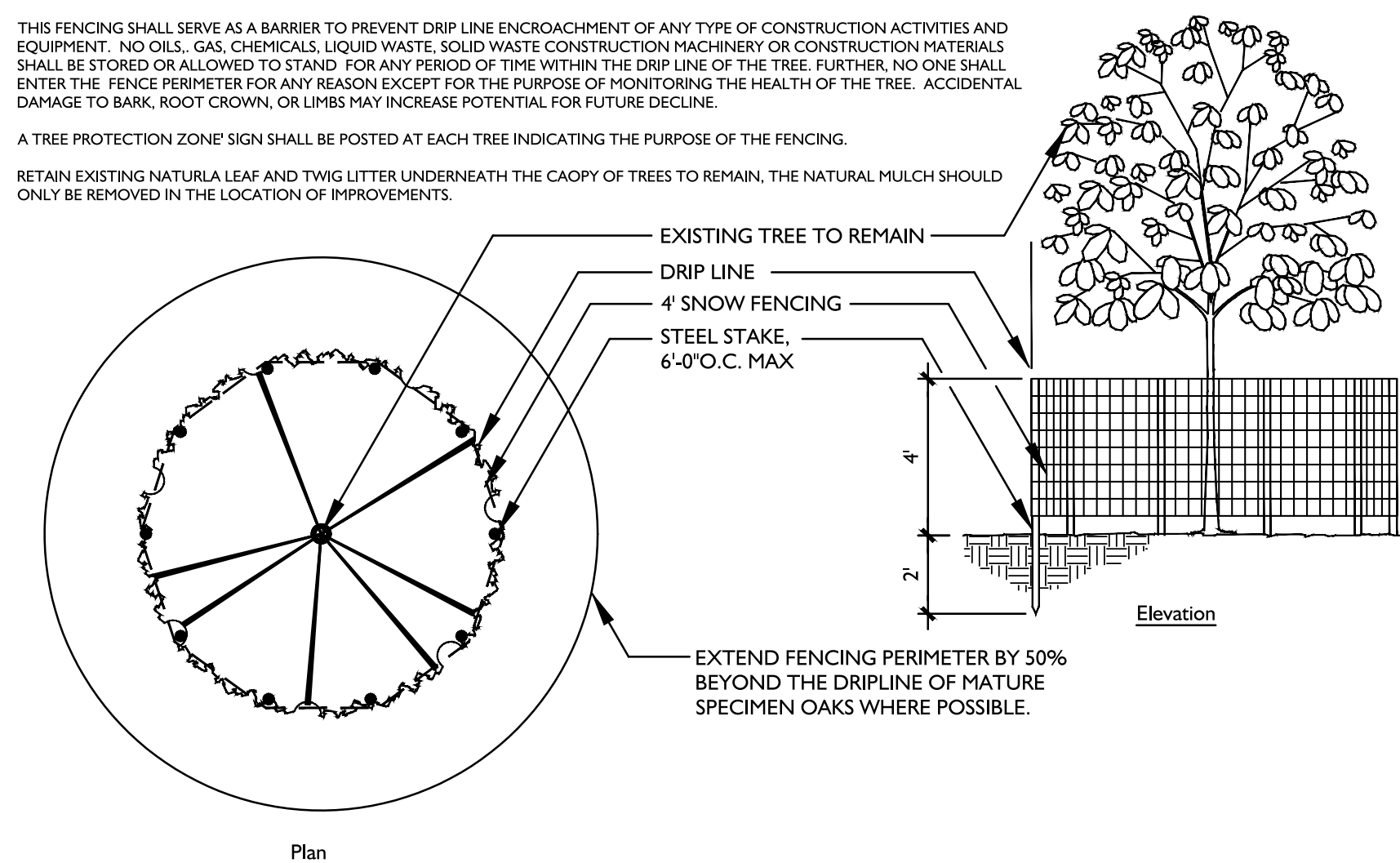
A DECK AROUND TREE
SCALE: 3/16" = 1'-0"



B PARKING LOT PLANTER
SCALE: 3/8" = 1'-0"

TREE PROTECTION NOTES:

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED AT EACH SITE TREE. FENCING SHALL BE LOCATED AT OR BEYOND THE CANOPY DRIP LINE SO THAT 100% OF THE DRIP LINE WILL BE PROTECTED BY FENCING. TO REDUCE SOIL COMPACTION FROM EQUIPMENT, ERECT STORY POSTS PER ARBORIST REPORT PRIOR TO PRUNING.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES AS NEEDED PER ARBORISTS RECOMMENDATIONS TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. SIX FEET DIAMETER, MINIMUM, BY SIX INCH TALL EARTH BERMS SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS TEMPORARY WATERING BASINS DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE REQUIREMENTS. APPROVED MULCH OF 1/2 INCH SIZED WOOD CHIPS SHALL BE PLACED AT A DEPTH OF 4 INCHES WHERE NO EXCAVATION IS TO OCCUR IN THE VICINITY OF THE TREES TO BE PROTECTED.
- LOW HANGING LIMBS OF SAVED TREES SHALL BE PRUNED PRIOR TO GRADING, OR ANY EQUIPMENT MOBILIZATION ON SITE. THE PURPOSE OF THIS REQUIREMENT IS TO AVOID TEARING LIMBS BY HEAVY EQUIPMENT.
- THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIP LINE ENCRoACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES AND EQUIPMENT. NO OILS, GAS, CHEMICALS, LIQUID WASTE, SOLID WASTE, CONSTRUCTION MACHINERY OR CONSTRUCTION MATERIALS SHALL BE STORED OR ALLOWED TO STAND FOR ANY PERIOD OF TIME WITHIN THE DRIP LINE OF THE TREE. FURTHER, NO ONE SHALL ENTER THE FENCE PERIMETER FOR ANY REASON EXCEPT FOR THE PURPOSE OF MONITORING THE HEALTH OF THE TREE. ACCIDENTAL DAMAGE TO BARK, ROOT CROWN, OR LIMBS MAY INCREASE POTENTIAL FOR FUTURE DECLINE.
- A TREE PROTECTION ZONE SIGN SHALL BE POSTED AT EACH TREE INDICATING THE PURPOSE OF THE FENCING.
- RETAIN EXISTING NATURAL LEAF AND TWIG LITTER UNDERNEATH THE CAOPY OF TREES TO REMAIN, THE NATURAL MULCH SHOULD ONLY BE REMOVED IN THE LOCATION OF IMPROVEMENTS.



C EXISTING TREE PROTECTIVE FENCING
SCALE: 1/4" = 1'-0"

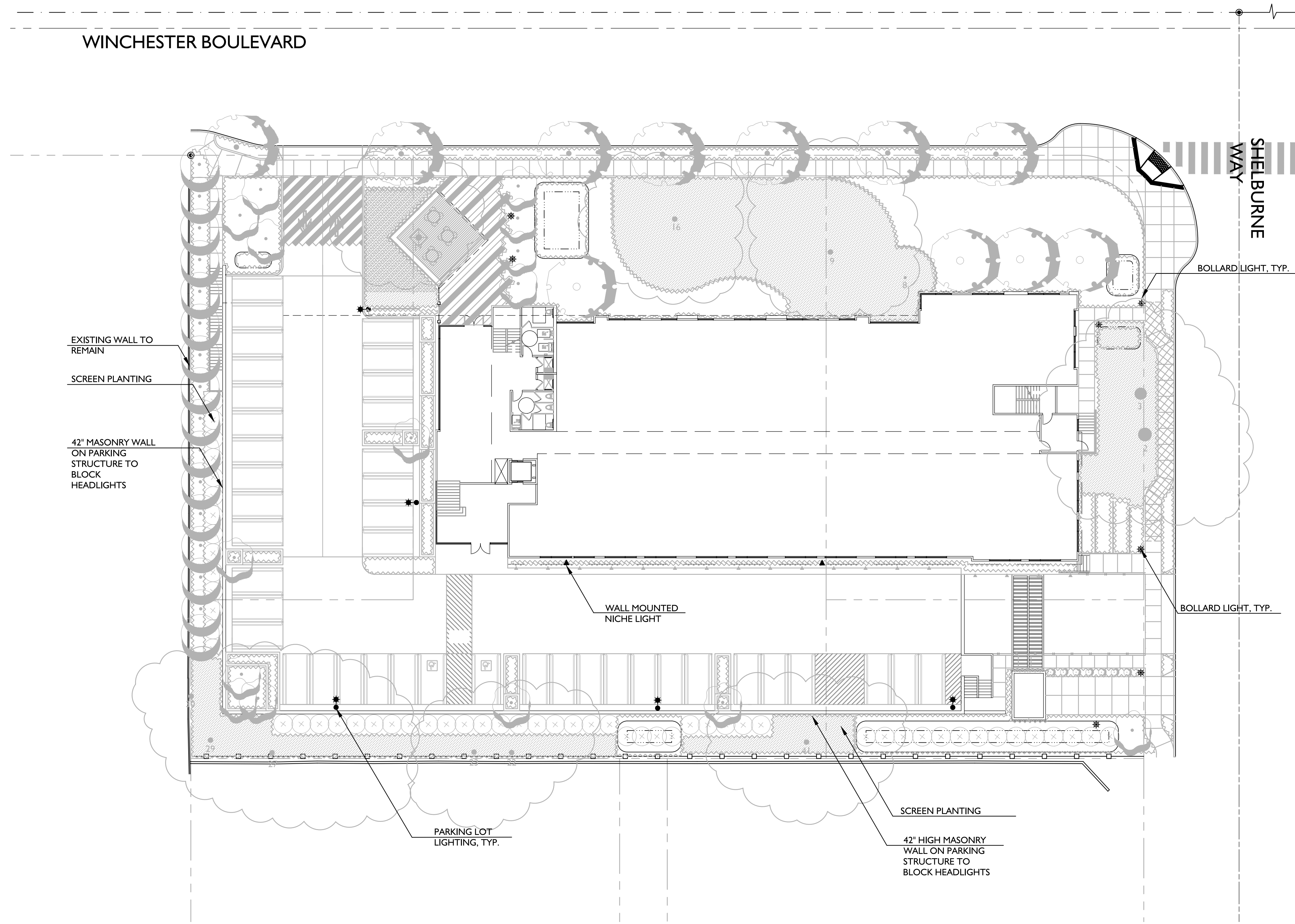
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Sheet Title:
SITE FURNISHINGS

Job No. P4724
Date: 03/14/2017
Scale:
Drawn By: JK

Sheet No: **L-4**



WINCHESTER BOULEVARD

SHELburne WAY

EXISTING WALL TO REMAIN
SCREEN PLANTING
42' MASONRY WALL ON PARKING STRUCTURE TO BLOCK HEADLIGHTS

BOLLARD LIGHT, TYP.

WALL MOUNTED NICHE LIGHT

BOLLARD LIGHT, TYP.

PARKING LOT LIGHTING, TYP.

42' HIGH MASONRY WALL ON PARKING STRUCTURE TO BLOCK HEADLIGHTS

LIGHTING LEGEND

- * BOLLARD LIGHT
- PARKING LOT LIGHT
- ▲ WALL MOUNTED NICHE LIGHT

LIGHTING IMAGES



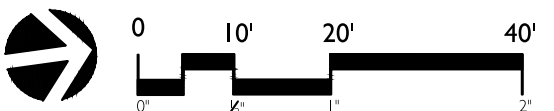
Bollard Light
MFR: Landscape Forms
Model: Multiplicity



Parking Lot Light
MFR: McGraw-Edison
Model: Galleon LED area and roadway luminaire 70 CRI, 4000K, 1A Lightsquares and spill light eliminator optics with house side shield



Wall-mounted Niche Light
MFR: Cooper
Model: Impact Elite Luminaire Lightbar



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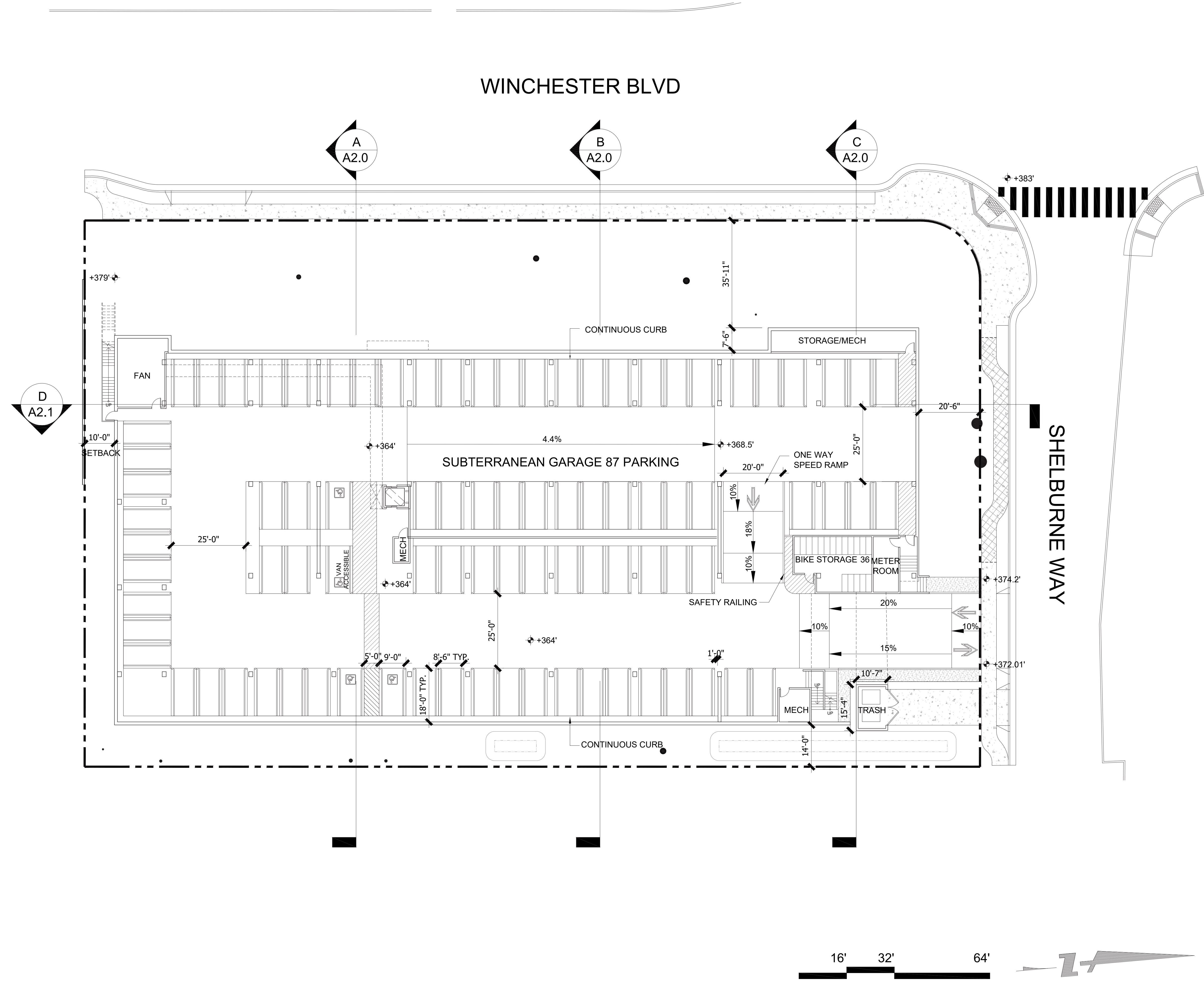
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Sheet Title:
LANDSCAPE LIGHTING

Job No. P4724
Date: 03/14/2017
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Sheet No: **L-5**



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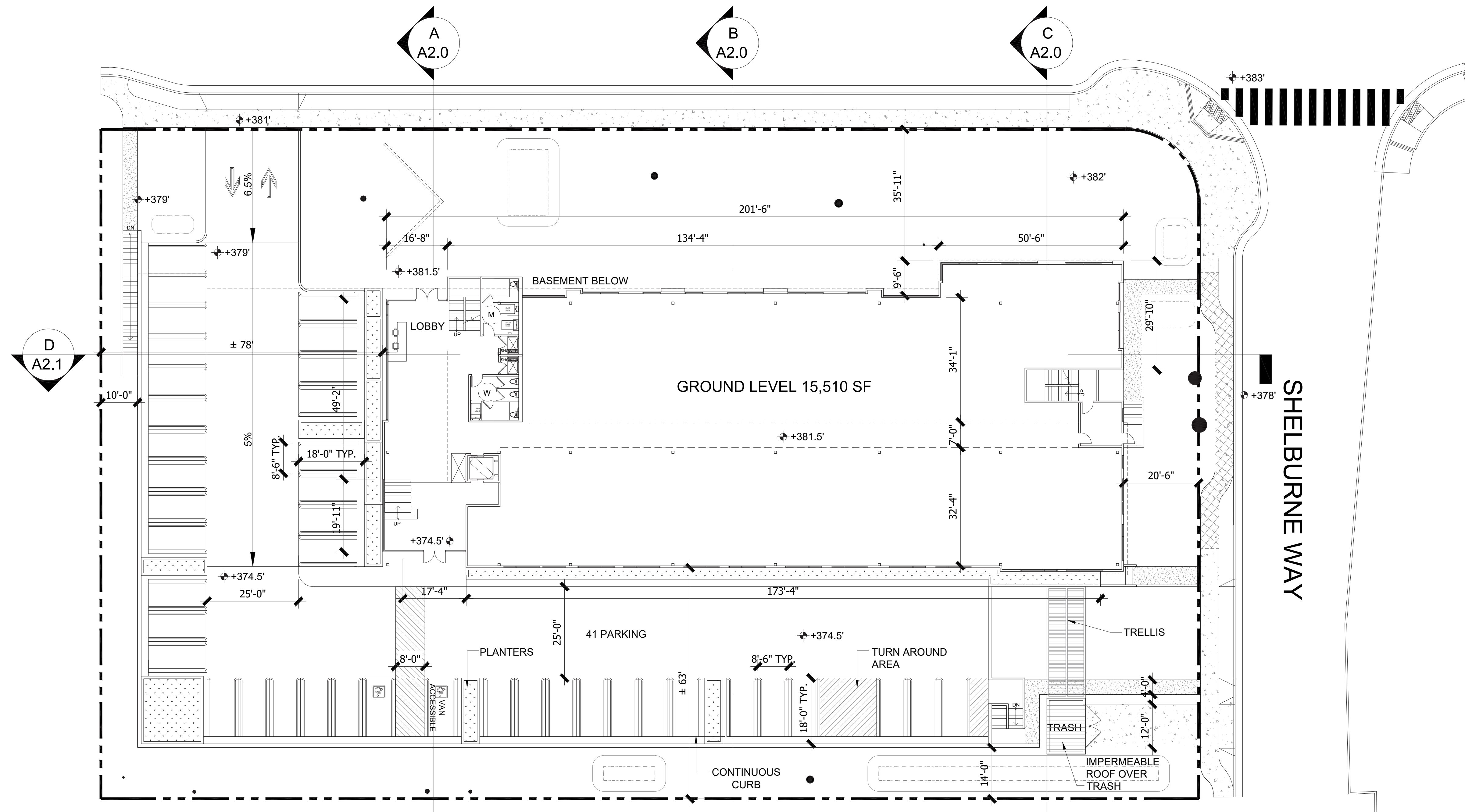
Sheet Title:
**BUILDING PLAN
 SUBTERRANEAN
 LEVEL**

Job No. 15019
 Date: 03/14/2017
 Scale: 1/16" = 1'-0"
 Drawn By:

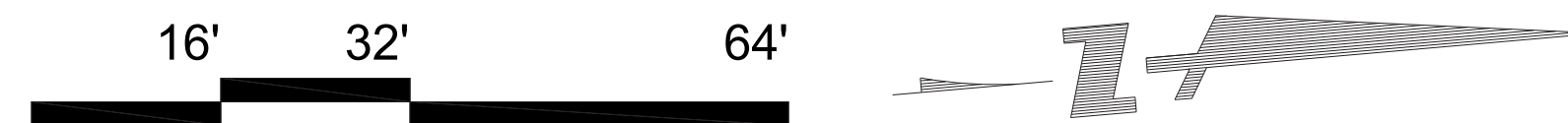
Sheet No:

A1.0

WINCHESTER BLVD



SITE (GROSS): 1.31 ACRE
 OFFICE (GROSS): 30,070 SF
 PARKING REQ'D: 128 CARS
 PARKING PRV'D: 128 CARS
 COVERAGE: 27.2% (40% MAX)



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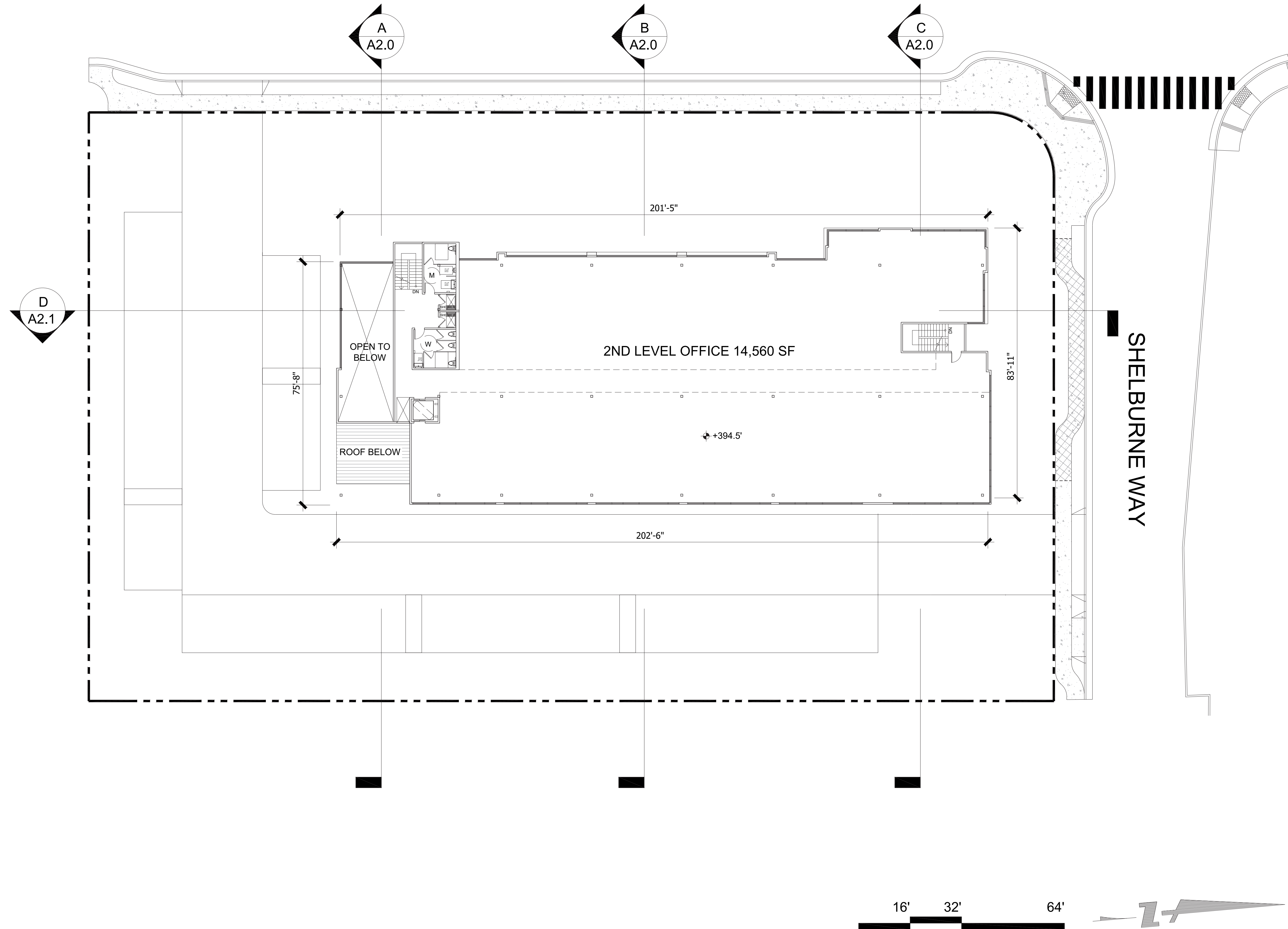
Sheet Title:
 BUILDING PLAN
 GROUND LEVEL

Job No. 15019
 Date: 03/14/2017
 Scale: 1/16" = 1'-0"
 Drawn By:

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WINCHESTER BLVD



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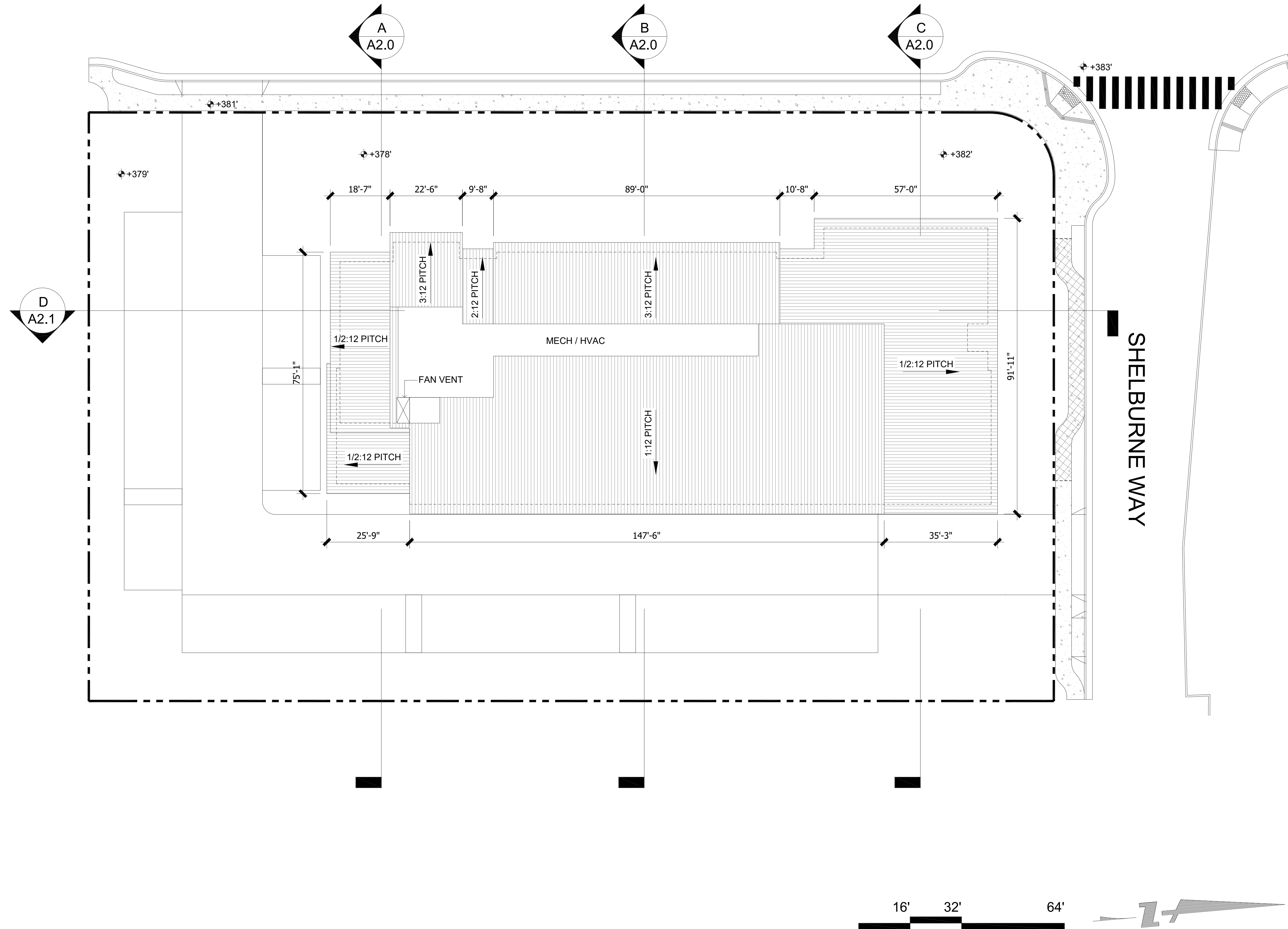
**BUILDING PLAN
SECOND LEVEL**

Job No. 15019
Date: 03/14/2017
Scale: 1/16" = 1'-0"
Drawn By:

Sheet No:

A1.2

WINCHESTER BLVD



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Sheet Title:
**BUILDING
 ROOF PLAN**

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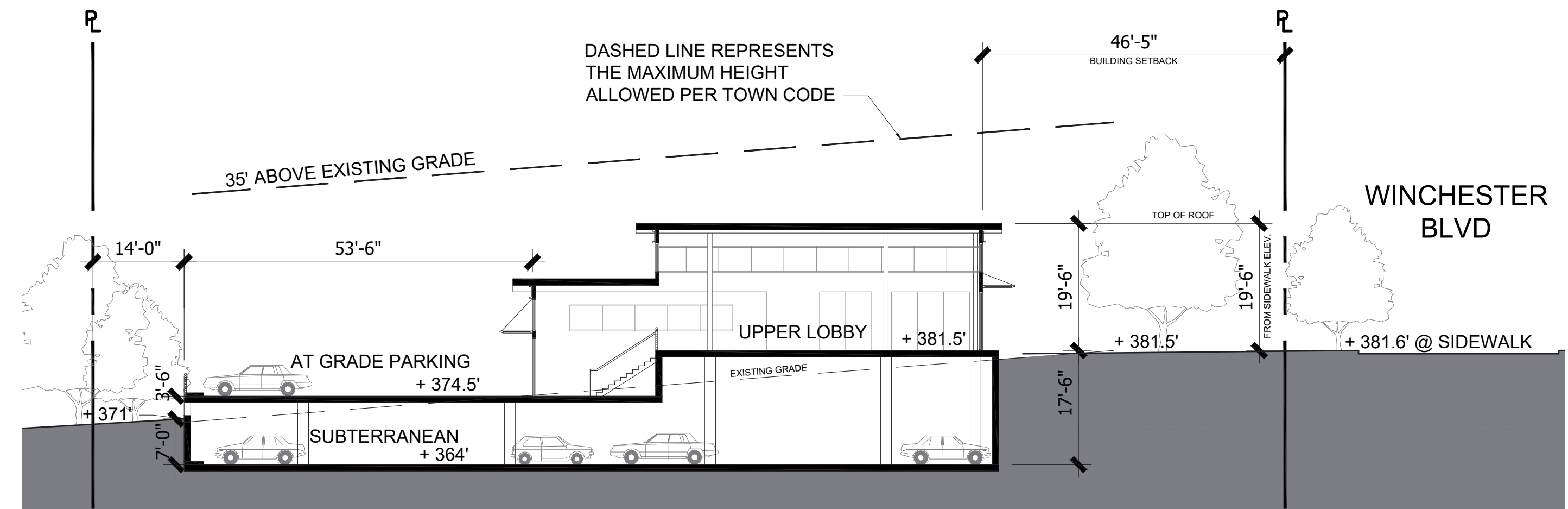
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KEY MAP

SCALE: 1/32" = 1' - 0"

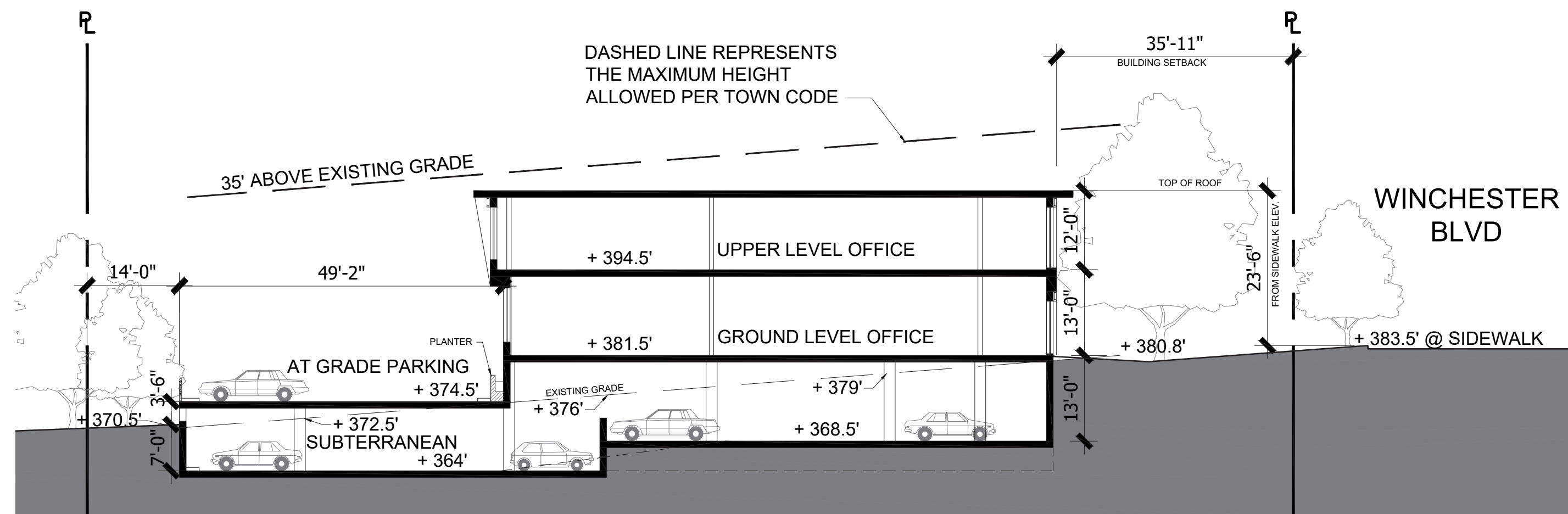
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SECTION A

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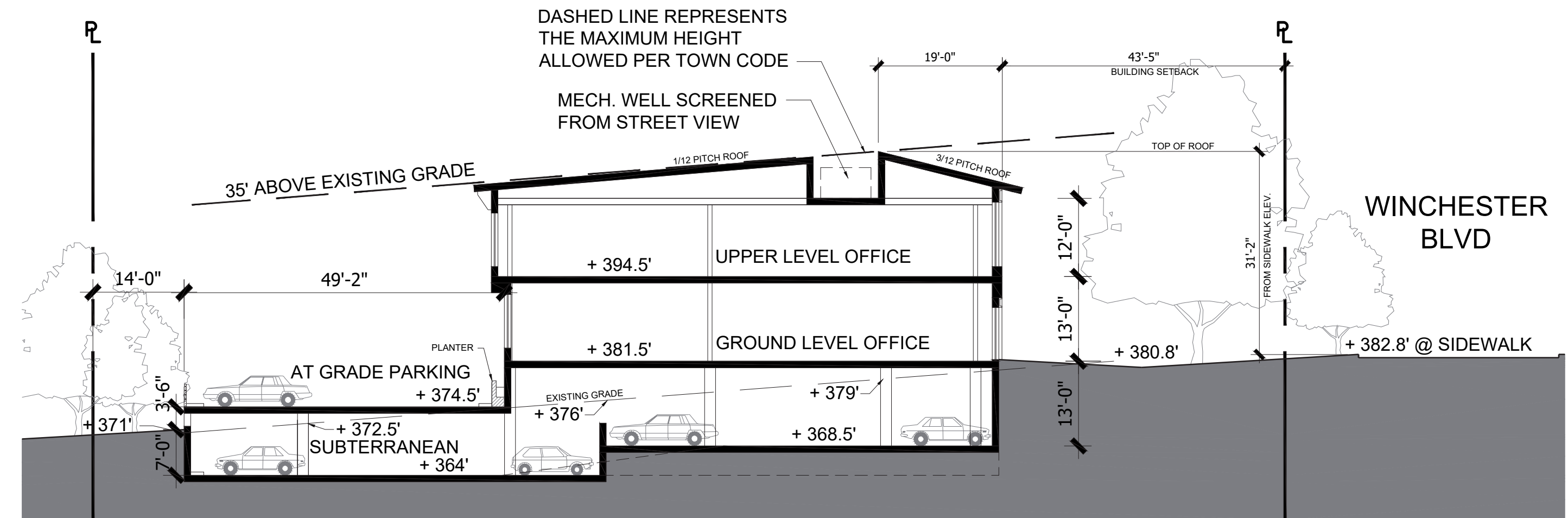
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SECTION C

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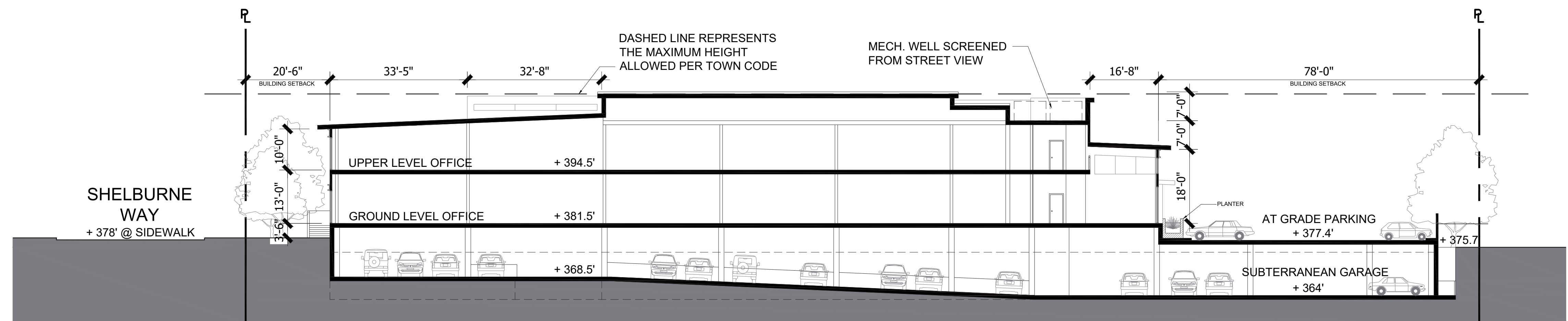
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SECTION B

SCALE: 1/16" = 1' - 0"

3



SECTION D

SCALE: 1/16" = 1' - 0"

5



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Sheet Title:
SITE SECTION

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Date: 03/14/2017
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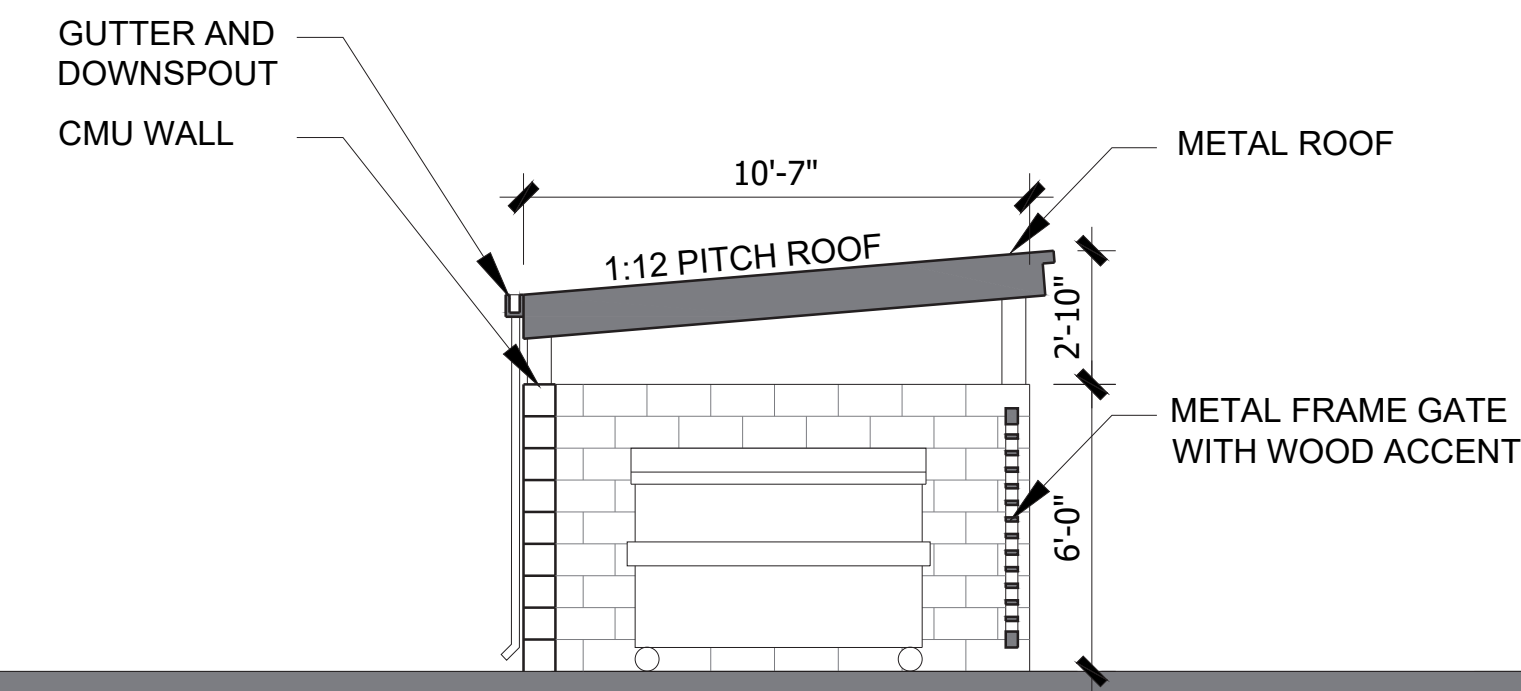
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Sheet Title:
TRASH ENCLOSURE
ELEVATION
& SECTION

Job No. 15019
Date: 03/14/2017
Scale: 1/4" = 1'-0"
Drawn By:

Sheet No:

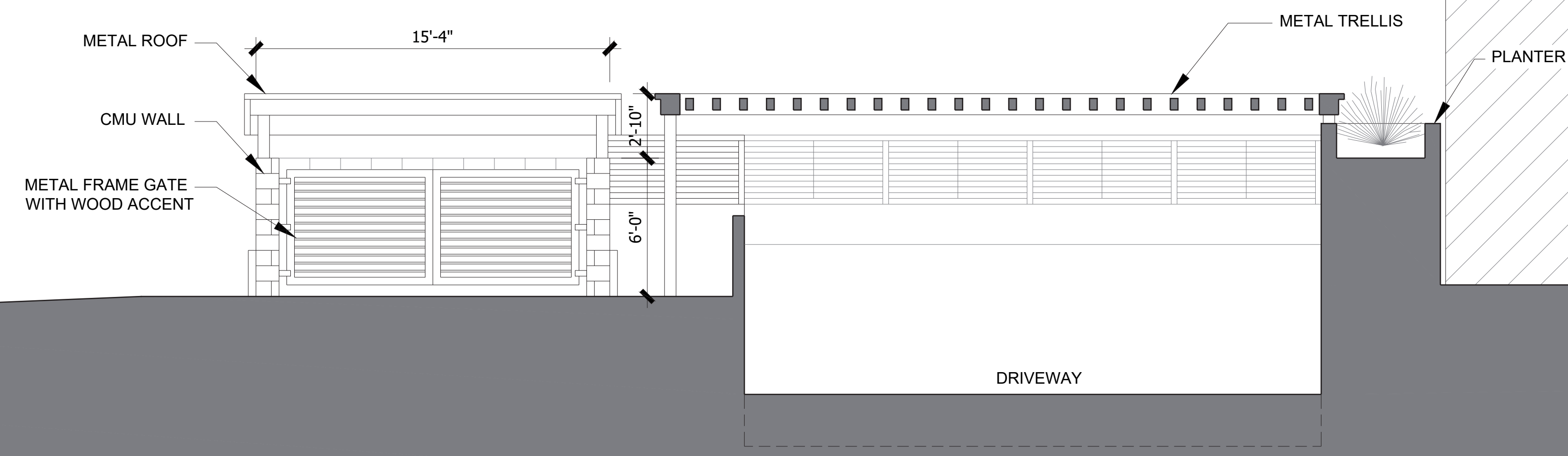
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TRASH ENCLOSURE SECTION

2

SCALE: 1/4" = 1' - 0"



TRASH ENCLOSURE SECTION

1

SCALE: 1/4" = 1' - 0"



WEST ELEVATION 1
SCALE: 1/16" = 1' - 0"



EAST ELEVATION 2
SCALE: 1/16" = 1' - 0"



SOUTH ELEVATION 4
SCALE: 1/16" = 1' - 0"



NORTH ELEVATION 3
SCALE: 1/16" = 1' - 0"



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Sheet Title:
ELEVATIONS

Job No. 15019
Date: 03/14/2017
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**PERSPECTIVE -
VIEW FROM
WINCHESTER**

Job No. 15019
Date: 03/14/2017
Scale:
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Sheet No:

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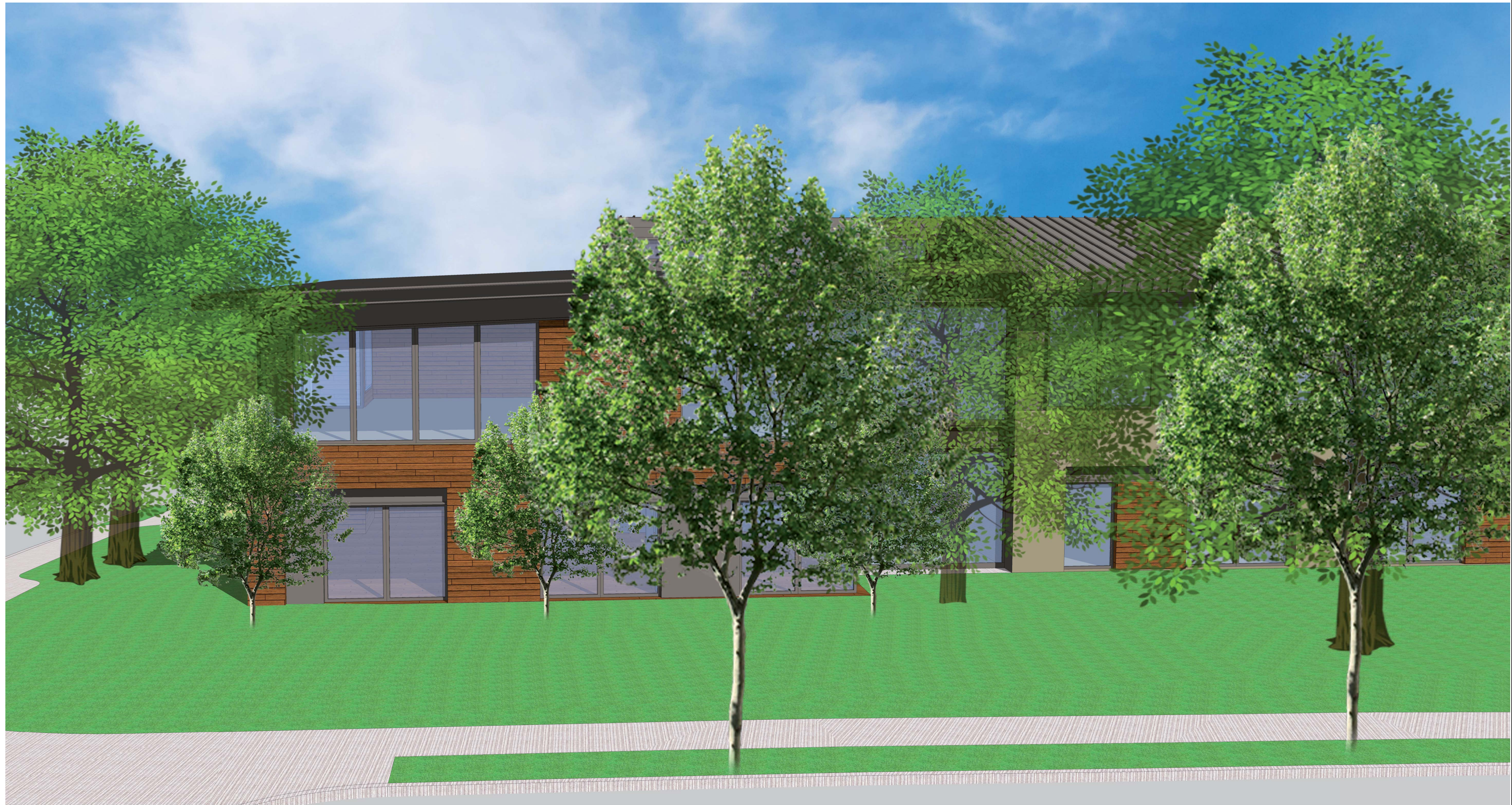
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Job No. 15019
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PERSPECTIVE

Job No. 15019
Date: 03/14/2017
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Sheet No:

IM1.2



7 CANOPY
METAL



6 OFFICE ENTRY
ALUMINUM WITH CLEAR GLASS



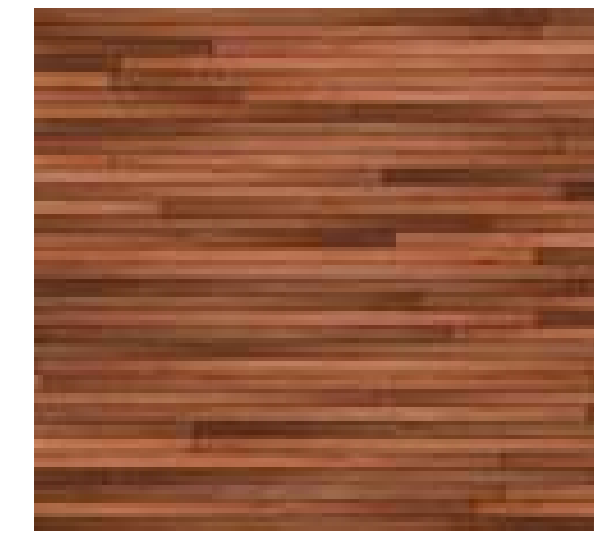
5 WINDOW
ALUMINUM ALL WEATHER



4 ROOF
STANDING SEAM METAL



3 WALL
METAL PANEL SIDING



2 WALL
WOOD-COLORED SIDING



1 WALL
SMOOTH TROWELED PLASTER



WEST ELEVATION

SCALE: 3/32" = 1' - 0"

1



EAST ELEVATION

SCALE: 3/32" = 1' - 0"

2



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Sheet Title:

MATERIALS
AND COLORS

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