

GARAGE ADDITION W/ ADU AND BASEMENT BARRAGAN RESIDENCE

OWNER

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CONSULTANTS

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GKM ENGINEERING
285 CARLTON WAY
LOS GATOS, CA 95032

STRUCTURAL
NAME
ADDRESS
CITY, CA ZIP

PROJECT SCOPE

DEMOLISH EXISTING GARAGE FOR NEW BASEMENT UNDER GARAGE.
ADDITION TO EXISTING GARAGE ENVELOPE. GARAGE TO BE BUILT IN SAME LOCATION AS PREVIOUSLY LOCATED. NEW FUTURE ADU UNDER A SEPARATE PERMIT ABOVE THE GARAGE WITH A REAR AND FRONT DECK AND BASEMENT BELOW THE GARAGE. RESIDENTIAL STANDBY GENERATOR AND SUMP PUMP FOR BASEMENT

REAR YARD - NEW POOL AND GAZEBO. REMOVE 2 TREES AND REPLACE WITH NEW TREES
FRONT YARD - NEW SPORTS COURT WITH 12FT BLACK MESH FENCE AND 8FT TALL REDWOOD FENCE.
SITE WORK INCLUDING RETAINING WALLS, FRONT PATIO EXTENSION, FRONT PAVEMENT PARKING AREA.

BUILDING INFORMATION

- APN 529-44-021
- ZONING SFR R-1:20 HILLSIDE
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLERED: YES
- YEAR BUILT 2017
- WUI YES
- HISTORIC NO
- AVERAGE SLOPE 19.45% PER GKM ENGINEERING SURVEY

PROJECT SUMMARY TABLE

DEVELOPMENT INTENSITY:
30,090 SF LOT SIZE
19.45% AVERAGE LOT SLOPE
28.9% REDUCTION OF NET SITE AREA
21,394 NET SITE AREA

NET LOT AREA	30,090 SF WITH ADU 0.210 FAR				TOTAL	ADU DECK	GAZEBO	BASEMENT
FLOOR AREA	MAIN RESIDENCE	GARAGE	ADU		5,236			
EXISTING	4,628	608	-	-	-	-	-	-
PROPOSED	90(GAR BATH)	258	-	-	348	180	956	
TOTAL SF	4,718	866	-	-	5,584	180	956	

MAX ALLOWED 4,900 400 1,200
PROPOSED 4,718 +466 = 5,184 SF EXCEEDING MAX FAR BY 284 SF

LOT COVERAGE
MAX LOT COVERAGE 40% ALL BUILDINGS 12,036 SF
PROPOSED LOT COVERAGE 6,497 SF

SETBACKS:
FRONT 30'
SIDE 15'
REAR 25'

HEIGHT REQUIREMENTS:
25 FEET IS THE MAXIMUM HEIGHT FROM THE NATURAL OR FINISHED GRADE, TO THE UPPERMOST POINT OF THE ROOF EDGE FOR ANY PRINCIPLE BUILDING

15 FEET IS THE MAXIMUM HEIGHT FOR AN ACCESSORY BUILDING

DETACHED ACCESSORY BUILDINGS MAY NOT OCCUPY MORE THAN 15 PERCENT OF THE LOT, TO BE CALCULATED EXCLUSIVE OF THE REQUIRED BUILDING SETBACKS.
15,720 SF EXCLUSIVE OF SETBACKS
15% = 2,358 SF MAX TOTAL

DETACHED GARAGE	956 SF
GAZEBO	180 SF
TOTAL	1,136 SF

INDEX TO DRAWINGS

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CVR-2 BLUEPRINT FOR A CLEAN BAY
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C2.0 GRADING AND DRAINAGE PLAN EAST
C2.1 GRADING AND DRAINAGE PLAN WEST
C4.0 TOPOGRAPHIC SITE SURVEY EAST
C4.1 TOPOGRAPHIC SITE SURVEY WEST
- ARCHITECTURAL**
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A0.2 SITE ELEVATIONS
A1.0 EXISTING PLANS
A2-0 ARCHITECTURAL NOTES
A2.1 BASEMENT FLOOR PLAN NEW
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A9.1 GAZEBO PLANS
- GPR GREEN POINT RATING

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WORK HOURS

8:00AM - 6:00PM WEEKDAYS
9:00AM - 4:00PM SATURDAY
TOWN MUNICIPAL CODE SECTION 16.20.035

ABBREVIATIONS

A.B.	AGGREGATE BASE	F.O.S.	FACE OF STUD FOOTING	P.T.	PRESSURE TREATED
A.C.	ASPHALT CONCRETE	GA.	GAUGE	Q.T.	QUARRY TILE
A/C	AIR CONDITIONING	GALV	GALVANIZED	RAD	RADIUS
ACC	ACCESSIBLE	GLB	GLUE LAMINATED BEAM	R.D.	ROOF DRAIN
A.D.	AREA DRAIN	G.S.M.	GALVANIZED SHEET METAL	REIN	REINFORCE
ADJ	ADJUSTABLE	CWB	GYPSON WALLBOARD	REQ'D	REQUIRED
A.F.F.	ABOVE FINISH FLOOR	H.B.	HOSE BIBB	RM	ROOM
ALT	ALTERNATE	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
ALUM	ALUMINUM	HDWR	HARDWARE	RWD	REDWOOD
APPROX	APPROXIMATE	HDWD	HARDWOOD	RWL	RAIN WATER LEADER
A.T.	ACOUSTIC TILE	H.M.	HOLLOW METAL	R.H.W.S.	ROUND HEAD WOOD SCREW
BLDG	BUILDING	HORIZ	HORIZONTAL	SAF	SELF-ADHERED FLASHING
BLKG	BLOCKING	HT	HEIGHT	S.C.	SOLID CORE
B.O.	BOTTOM OF	I.D.	INSIDE DIAMETER	SDE	SIDE DRAINAGE EASEMENT
BTM	BOTTOM	INSUL	INSULATION	SHT	SHEET
B.U.R.	BUILT UP ROOFING	INT	INTERIOR	SIM	SIMILAR
CAB	CABINET	JAN	JANITOR	S.M.S.	SHEET METAL SCREW
CCB	CALIFORNIA BUILDING CODE	JT	JOINT	SPEC	SPECIFICATION
C.C.	CONSTRUCTION JOINT	L	LENGTH	SQ	SQUARE
CLG	CEILING	LAM	LAMINATED	S.S.	STAINLESS STEEL
CLR	CLEAR	LAV	LAVATORY	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	LB	POUND	S.T.S.	SELF-TAPPING SCREW
C.O.	CLEAN OUT	L.S.	LAG SCREW	STOR	STORAGE
COL	COLUMN	LT	LIGHT	STRUC	STRUCTURAL
COMP	COMPOSITION	MFR	MANUFACTURER	SUSP	SUSPENDED
CONT	CONTINUOUS	MAX	MAXIMUM	SYM	SYMMETRICAL
CONC	CONCRETE	MCH	MECHANICAL	T&G	TONGUE & GROOVE
CTSK	COUNTERSUNK	MIN	MINIMUM	TEL	TELEPHONE
D	DEPTH	MISC	MISCELLANEOUS	THK	THICK
DTL	DETAIL	MPE	MULTI-PURPOSE EASEMENT	T.O.	TOP OF
D.F.	DRINKING FOUNTAIN	M.O.	MASONRY OPENING	T.O.C.	TOP OF CONCRETE
DIA	DIAMETER	M.R.	MOISTURE RESISTANT	TYP	TYPICAL
DN	DOWN	(N)	NEW	U.O.N	UNLESS OTHERWISE NOTED
DS	DOWNSPOUT	N.I.C.	NOT IN CONTRACT	UR	URINAL
DW	DISHWASHER	NO.	NUMBER	VCT	VINYL COMPOSITION TILE
DWG	DRAWING	NOM	NOMINAL	VERT	VERTICAL
(E)	EXISTING	OBSC	OBSCURE	VEST.	VESTIBULE
EA	EACH	O.C.	ON CENTER	VWC	VINYL WALL COVERING
E.J.	EXPANSION JOINT	O.C.C.	ON CENTER	W	WIDTH
ELEC	ELECTRICAL	O.D.	OUTSIDE DIAMETER	WC	WATER CLOSET
ELEV	ELEVATION	OPP	OPPOSITE	WD	WOOD
EQ	EQUAL	OZ	OUNCE	W.H.	WATER HEATER
EQUIP	EQUIPMENT	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	WSC	WAINSCOT
EXT	EXTERIOR	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	WT	WEIGHT
(F)	FUTURE	PERF	PERFORATED		
F.D.	FLOOR DRAIN	PL	PLATE	&	AND
F.E.	FIRE EXTINGUISHER	PLAS	PLASTIC	∠	ANGLE
F.E.C.	FIRE EXTINGUISHER CABINET	PLMB	PLUMBING	@	AT
F.F.E.	FINISH FLOOR ELEVATION	PLYWD	PLYWOOD	∅	CENTER LINE
F.G.	FINISH GRADE	PMF	PRESSED METAL FRAME	∅	DIAMETER
F.H.	FIRE HYDRANT	PR	PAIR	#	NUMBER
F.H.W.S.	FLAT HEAD WOOD SCREW	PSI	POUNDS PER SQUARE INCH	O/	OVER
FIN.	FINISH			W/	WITH
FLR	FLOOR				
FLUOR	FLUORESCENT				
F.O.F.	FACE OF FINISH				
F.O.M.	FACE OF MASONRY				

SYMBOLS

ROOM NAME	ROOM NAME
100	ROOM NUMBER
1-2	INTERIOR ELEVATIONS
2	DETAIL NUMBER
A1.1	SHEET NUMBER
2	SECTION NUMBER
A4.1	SHEET NUMBER
(OR)	
1	SECTION NUMBER
A1.1	SHEET NUMBER
1	ELEVATION NUMBER
10.1	SHEET NUMBER
BC24A	KEYNOTE
C100A	DOOR NUMBER
4	WINDOW NUMBER
∅6	WALL TYPE / STUD SIZE
+9'-0"	INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN
+6'-10"	ELEVATION SYMBOL
A.F.F.	
4:12	ROOF PITCH
2435.12	NEW GRADE ELEVATION
T.O.P.	
2.500 LB	(E) GRADE ELEVATION
A	GRID BUBBLE
A001	SIGN NUMBER
RI	SIGN TYPE

APPLICABLE CODES

2019 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2019:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2019 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2.5 - 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2019 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2019 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2019 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2019 CALIFORNIA FIRE CODE (FC)
TITLE 24 CCR, PART 10 - 2019 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2019 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

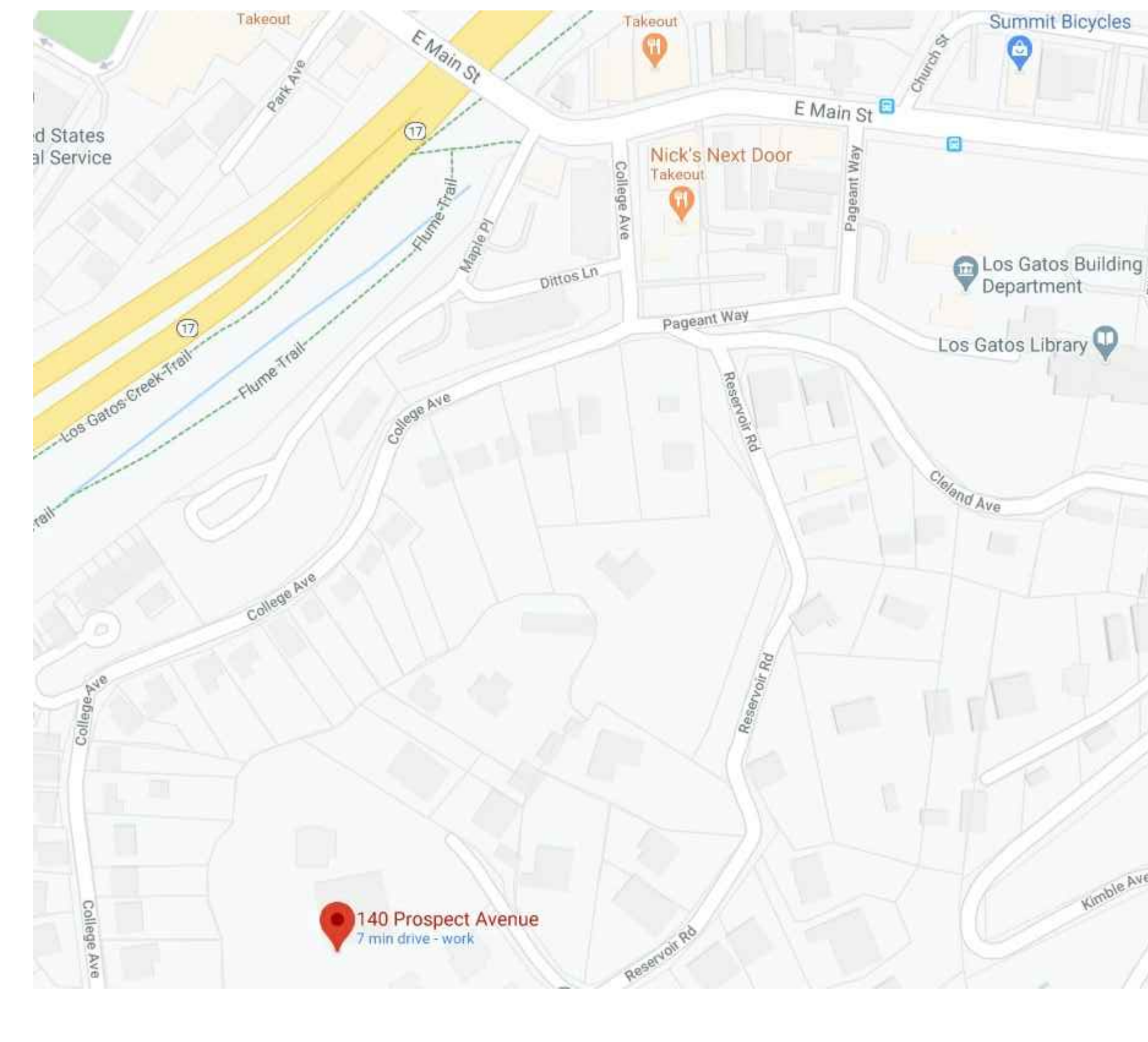
DEFERRED SUBMITTAL

- A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- FIRE SPRINKLERS PER NFPA 13D
- STANDBY GENERATOR

CONDITIONS OF APPROVAL

- THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.07.020 AND 6.120.020

PROJECT LOCATION



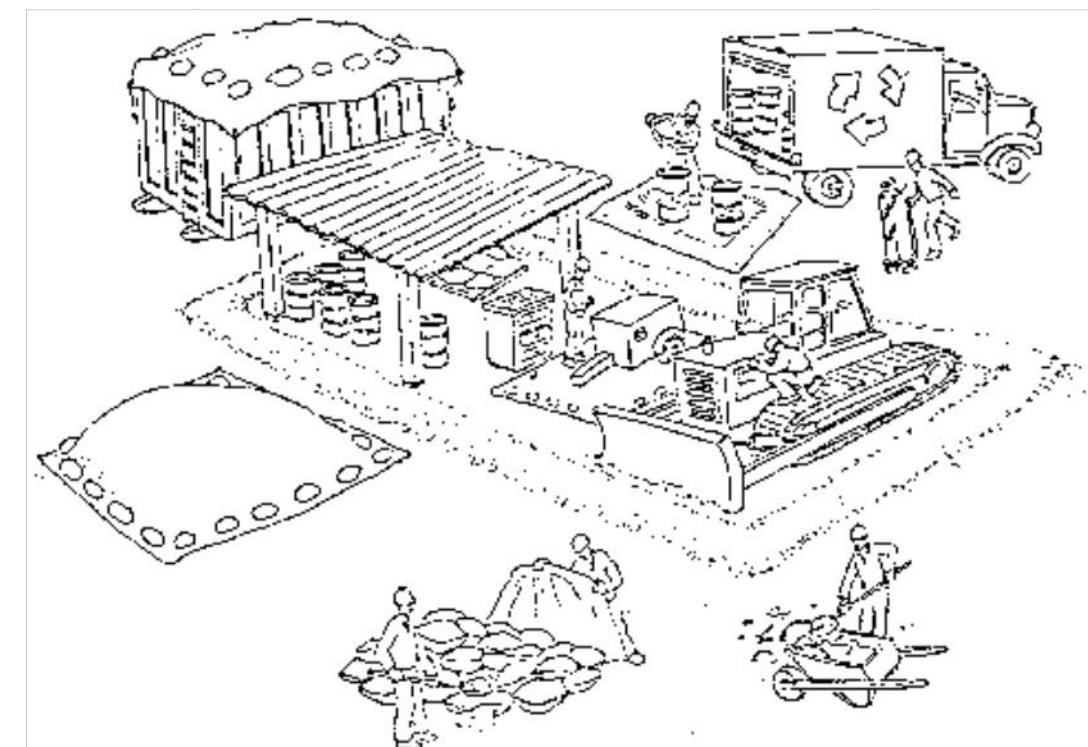
COVER SHEET

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934
SHEET: **CVR-1**

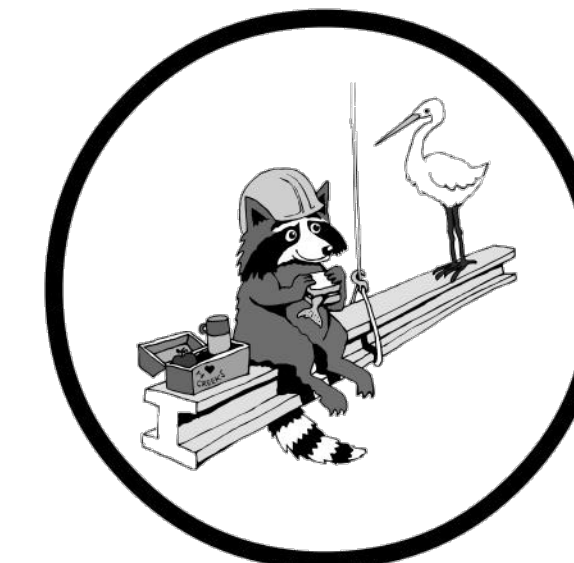
EXHIBIT 6

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

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SAN JOSE, CA 95117

PAGE TITLE
BLUEPRINT FOR A CLEAN BAY

NEW JARL OVER GARAGE
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934

SHEET:
CVR-2

REVISIONS	DATE

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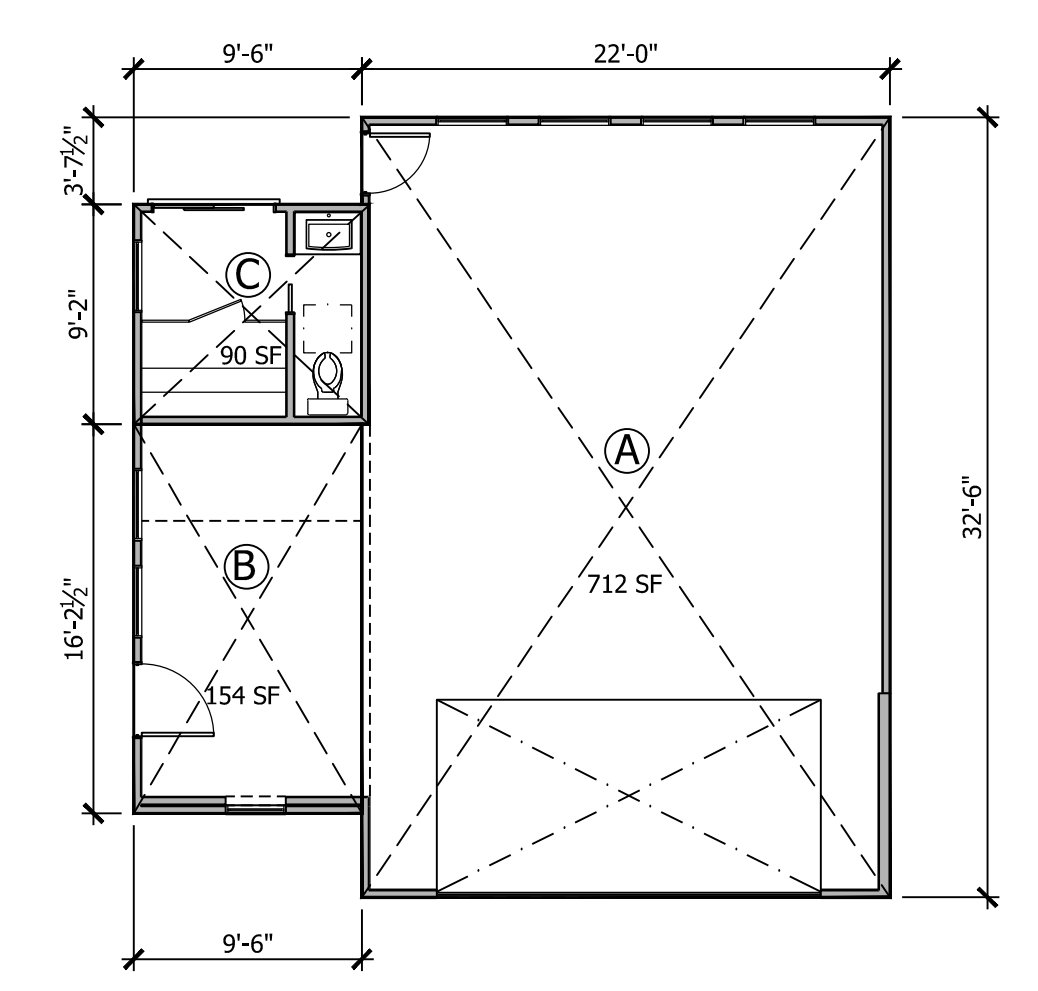
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 SAN JOSE, CA 95117

FLOOR AREA RATIO

NEW ADD OVER GARAGE:
 BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

DATE: 2020.06.01
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SHEET:
PLN-1



A	GARAGE	712 SF
B	GARAGE	154 SF
TOTAL GARAGE		866 SF
C	LIVING	90 SF

140 PROSPECT FLOOR AREA CALCULATION

1/8" = 1'-0"

REVISIONS	DATE

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PAGE TITLE
NEIGHBORHOOD ELEVATIONS

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PLN-2



87 PROSPECT



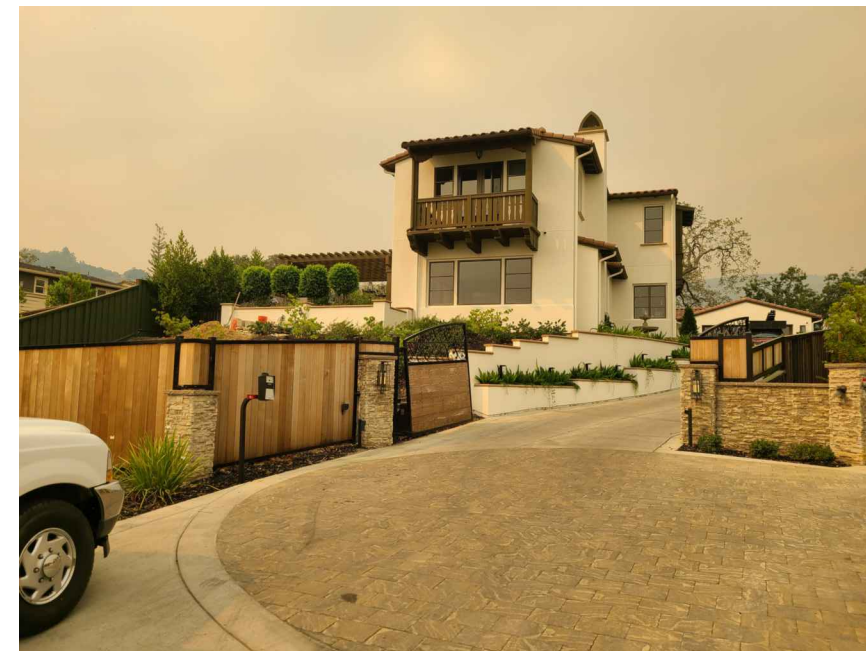
100 PROSPECT



120 PROSPECT



130 PROSPECT



140 PROSPECT FRONT



140 PROSPECT REAR



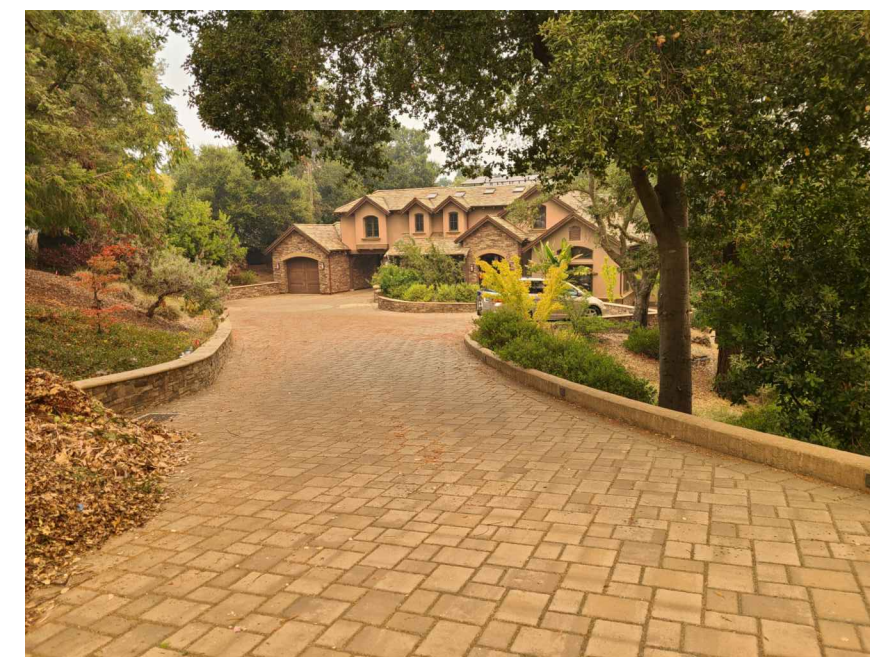
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150 PROSPECT



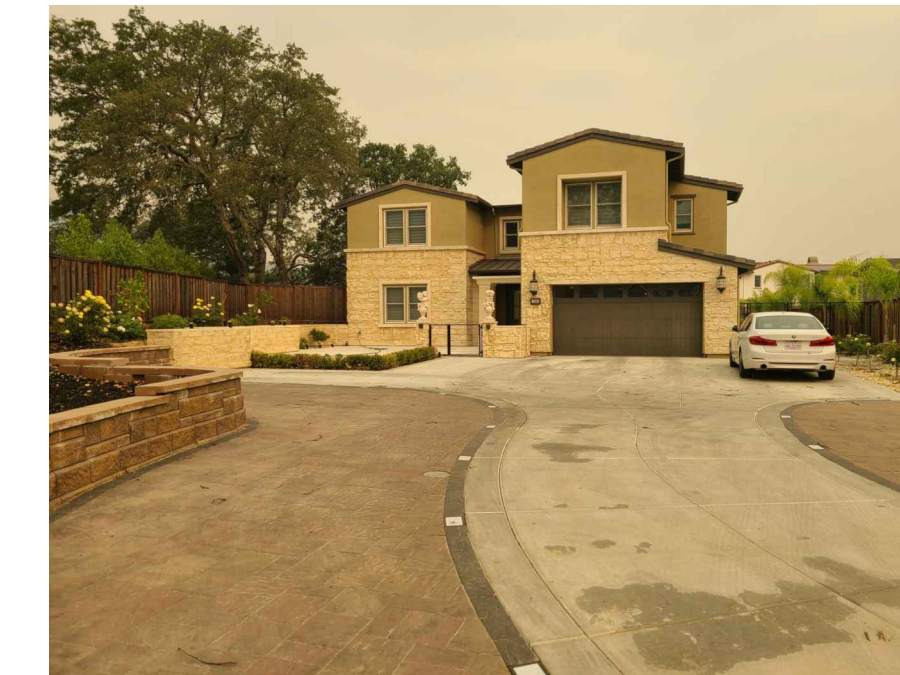
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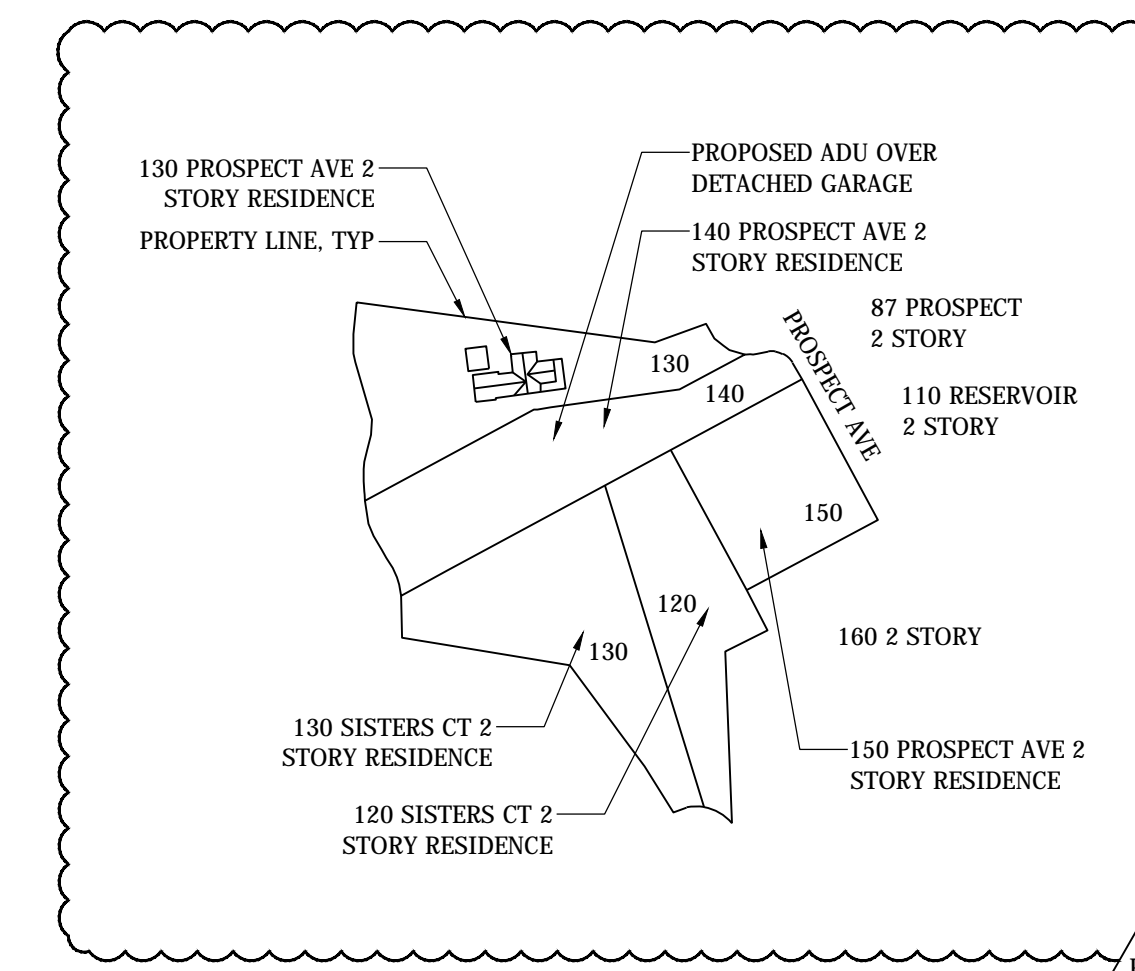
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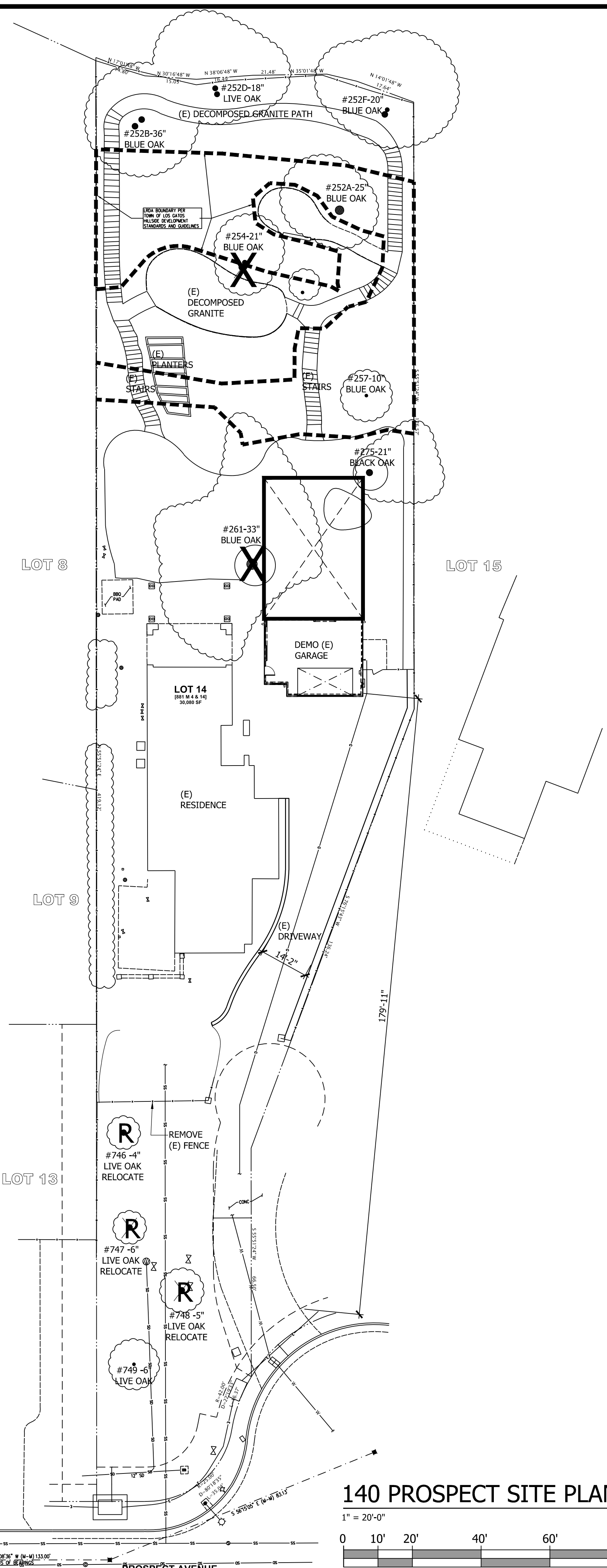


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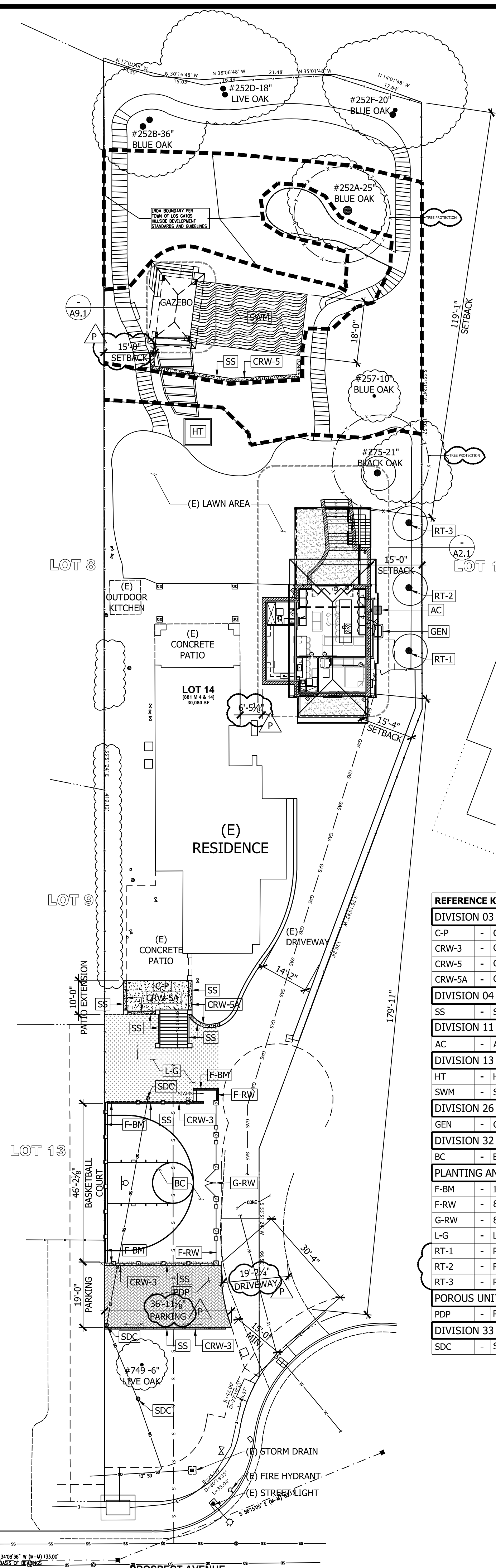
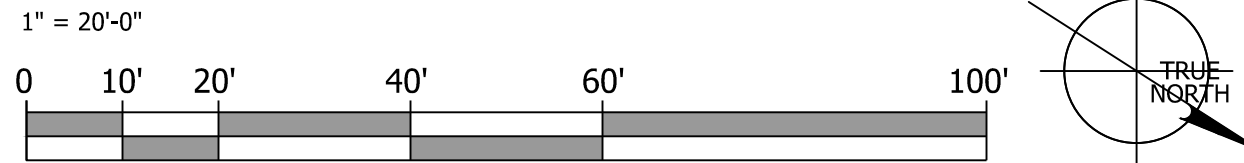


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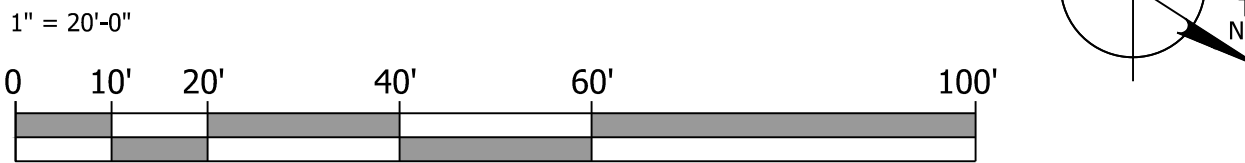




140 PROSPECT SITE PLAN EXISTING



140 PROSPECT SITE PLAN NEW



LOS GATOS HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES, CHAPTER 6. SITE ELEMENTS - LIGHTING

- B. DRIVEWAY ENTRIES-**
 STANDARD: 3. LIGHTING FIXTURES AT ENTRYWAYS SHALL DIRECT LIGHT DOWNWARDS AND SHALL BE DESIGNED SO THAT NO PART OF THE LIGHT SOURCE IS VISIBLE FROM THE STREET.
- C. RETAINING WALLS-**
 STANDARD: 2. RETAINING WALLS THAT ARE VISIBLE FROM THE PUBLIC STREET SHALL HAVE A VENEER OF NATURAL STONE, STAINED CONCRETE, OR TEXTURED SURFACE TO HELP BLEND THE WALL WITH THE NATURAL HILLSIDE ENVIRONMENT AND PROMOTE RURAL CHARACTER.
- D. OUTDOOR LIGHTING-**
 STANDARD 1. OUTDOOR LIGHTING MUST COMPLY WITH THE TOWN OF LOS GATOS ZONING ORDINANCE.
 STANDARD 2. LIGHTING SHALL BE THE MINIMUM NEEDED FOR PEDESTRIAN SAFETY, AND SHALL BE LOW LEVEL, DIRECTED DOWNWARD, AND SHIELDED SO THAT NO BULBS VISIBLE AND NO LIGHT OR GLARE ENCLOSES ONTO NEIGHBORING PROPERTIES.
 STANDARD 3. UNSHADED AND NON-RECESSED SPOTLIGHTS ARE PROHIBITED.
 STANDARD 4. LIGHTING FOR PURELY DECORATIVE PURPOSES IS PROHIBITED. UP LIGHTING OF TREES, LIGHTING OF FACADES AND ARCHITECTURAL FEATURES IS PROHIBITED.
 STANDARD 5. LIGHTING FOR NIGHT USE OF OUTDOOR GAMES COURTS IS PROHIBITED.
- E. MATERIALS AND COLORS-**
 STANDARD 1. THE HOME IS LOCATED WITHIN THE HILLSIDE AREA AND SUBJECT TO A MAXIMUM LRV OF 30. EXTERIOR MATERIAL COLORS MAY USE COLOR AVERAGING TO MEET THE MAX LRV OF 30 AND SHALL BLEND WITH THE NATURAL VEGETATION.
 STANDARD 2. ROOF MATERIALS SHALL BE CALCULATED SEPARATELY AND SHALL NOT EXCEED 30 LRV.
 STANDARD 3. ACCESSORY STRUCTURES SHALL BE COMPATIBLE WITH THE PRIMARY STRUCTURE.

LEGEND

- UNDERGROUND WASTE
- UNDERGROUND STORM DRAIN
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND ELEC
- TREE PROTECTION

REFERENCE KEYNOTES

DIVISION 03 - CONCRETE	
C-P	- CONCRETE PATIO TO MATCH EXISTING
CRW-3	- CONCRETE RETAINING WALL APPROXIMATELY 3 FEET TALL WITH OCEAN MIST LEDGE STONE VENEER, MAX LRV 30, SEE C
CRW-5	- CONCRETE RETAINING WALL APPROXIMATELY 5 FEET TALL AND TAPERS DOWN TO 2 FEET TALL WITH OCEAN MIST LEDGE
CRW-5A	- CONCRETE RETAINING WALL APPROXIMATELY 5 FEET TALL WITH OCEAN MIST LEDGE STONE VENEER, MAX LRV 30, SEE C
DIVISION 04 - MASONRY	
SS	- SITE STONE ELDORADO STONE AUSTIN CREAM LIMESTONE OR SIMILAR TO MATCH EXISTING SITE STONE WORK
DIVISION 11 - EQUIPMENT	
AC	- AIR CONDITIONER
DIVISION 13 - SPECIAL CONSTRUCTION	
HT	- HOT TUB
SWM	- SWIMMING POOL
DIVISION 26 - ELECTRICAL	
GEN	- GENERAC GUARDIAN 24KW HOME BACKUP GENERATOR WITH PWRview TRANSFER SWITCH
DIVISION 32 - EXTERIOR IMPROVEMENTS	
BC	- BASKETBALL COURT WITH POWERGAME SPORTS COURT TILE OVER PERVIOUS CONCRETE
PLANTING AND ACCESSORIES -	
F-BM	- 12 FOOT TALL BLACK MESH SPORTS COURT FENCE
F-RW	- 8 FOOT TALL REDWOOD FENCE WITH 16 INCH SQUARE COLUMNS AT 8 FT O.C.
G-RW	- 8 FOOT TALL REDWOOD GATE
L-G	- LANDSCAPE GRASS
RT-1	- RELOCATE EXISTING FRONT YARD TREE #746
RT-2	- RELOCATE EXISTING FRONT YARD TREE #747
RT-3	- RELOCATE EXISTING FRONT YARD TREE #748
POROUS UNIT PAVING -	
PDP	- PERMEABLE DRIVEWAY PAVERS, BELGARD AQUALINE WITH HARRINGBONE PALLET CONFIGURATION, OR SIMILAR
DIVISION 33 - UTILITIES	
SDC	- STORM DRAINAGE COVER, SEE CIVIL

REVISIONS	DATE

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PAGE TITLE: **ARCHITECTURAL SITE PLAN**

NEW JOB OVER GARAGE: **BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030**

DATE: 2020.06.01
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1934
 SHEET: **A0.1**

FILENAME: E:\GNYT\GSHARED\KUOP DESIGNS\PROJECTS\20-005-140 PROSPECT_140 PROSPECT\SITE\A0.1 ARCHITECTURAL SITE PLAN.DWG

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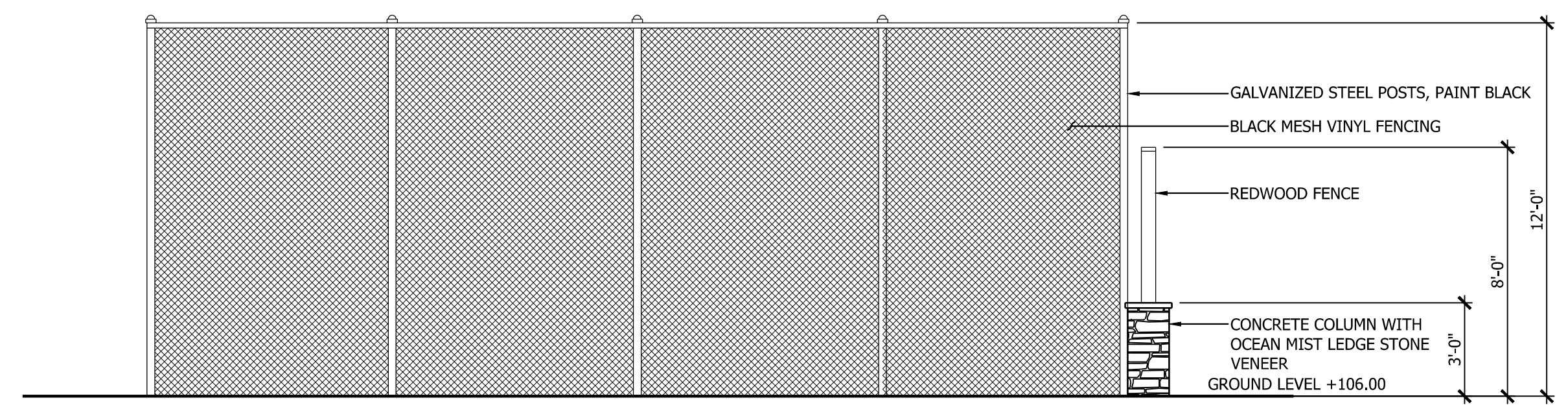
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PAGE TITLE
SITE ELEVATIONS

NEW ADD OVER GARAGE:
 BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

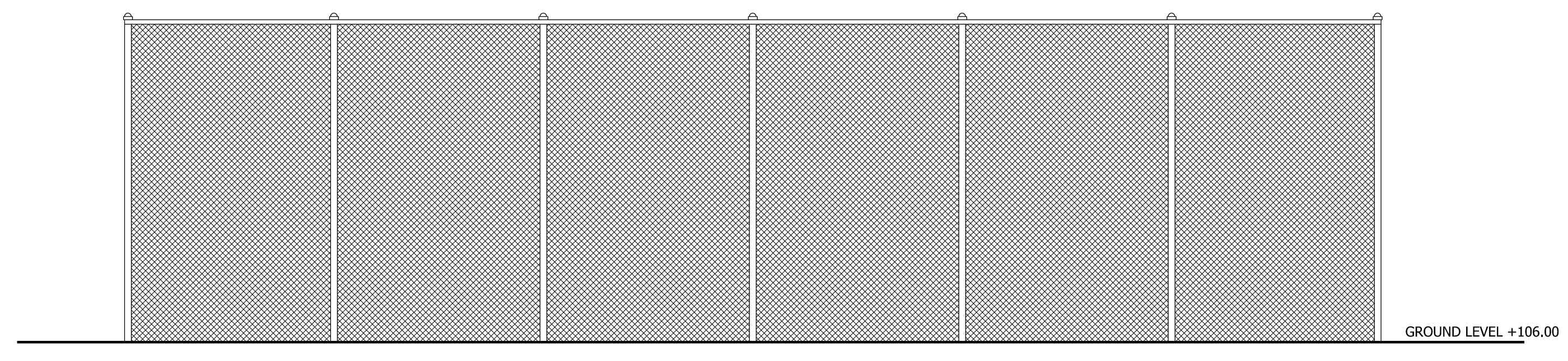
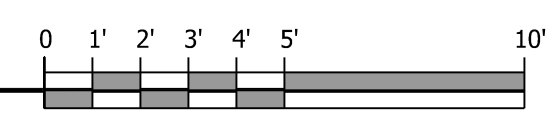
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 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1934

SHEET:
A0.2



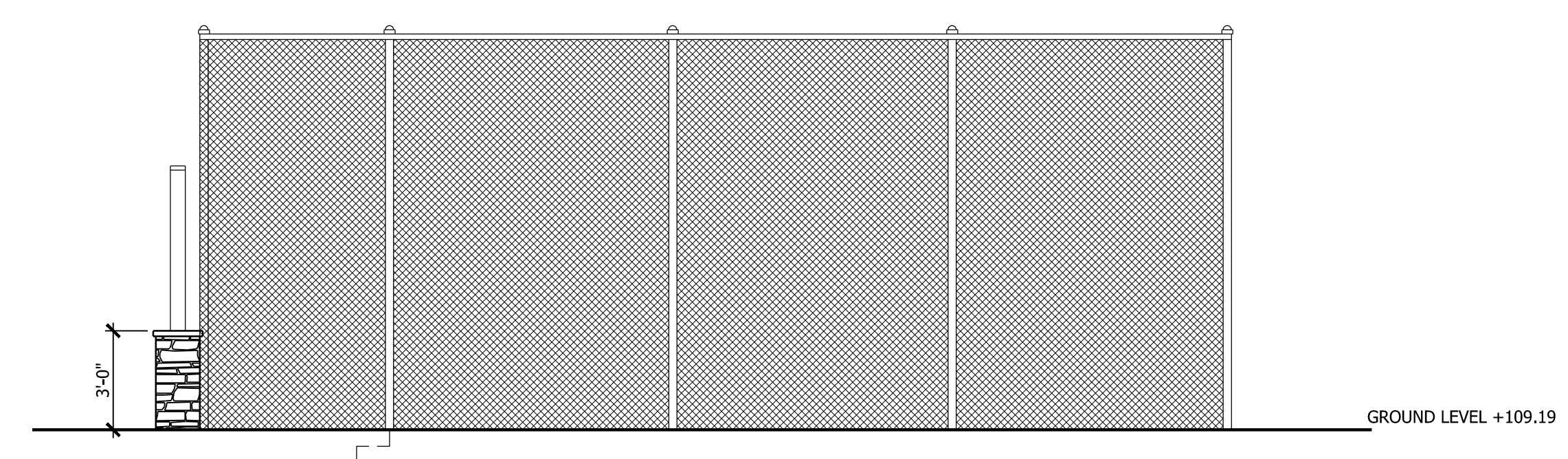
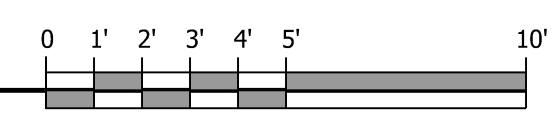
FRONT (EAST) ELEVATION

1/4" = 1'-0"



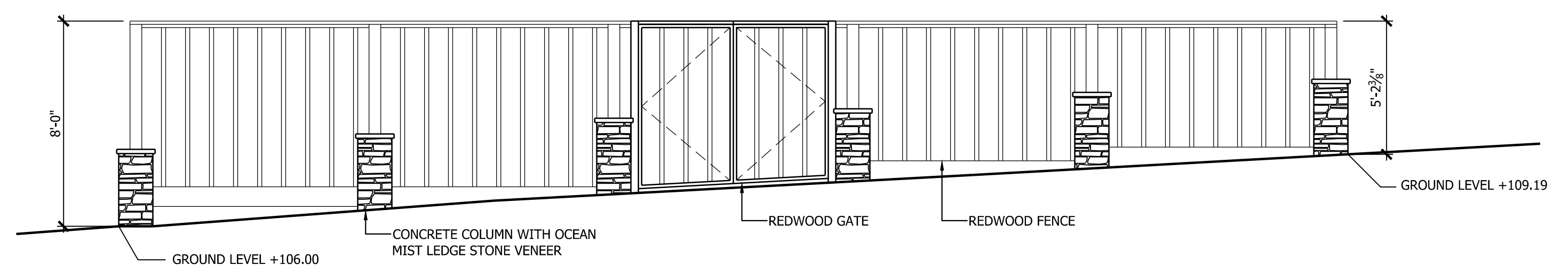
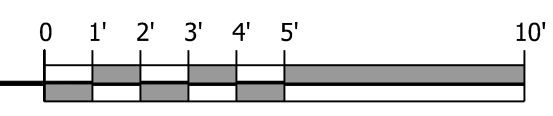
LEFT (SOUTH) ELEVATION

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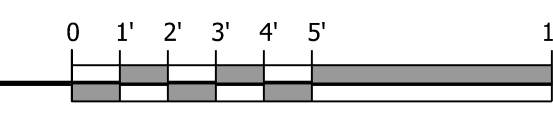
REAR (WEST) ELEVATION

1/4" = 1'-0"



RIGHT (NORTH) ELEVATION

1/4" = 1'-0"



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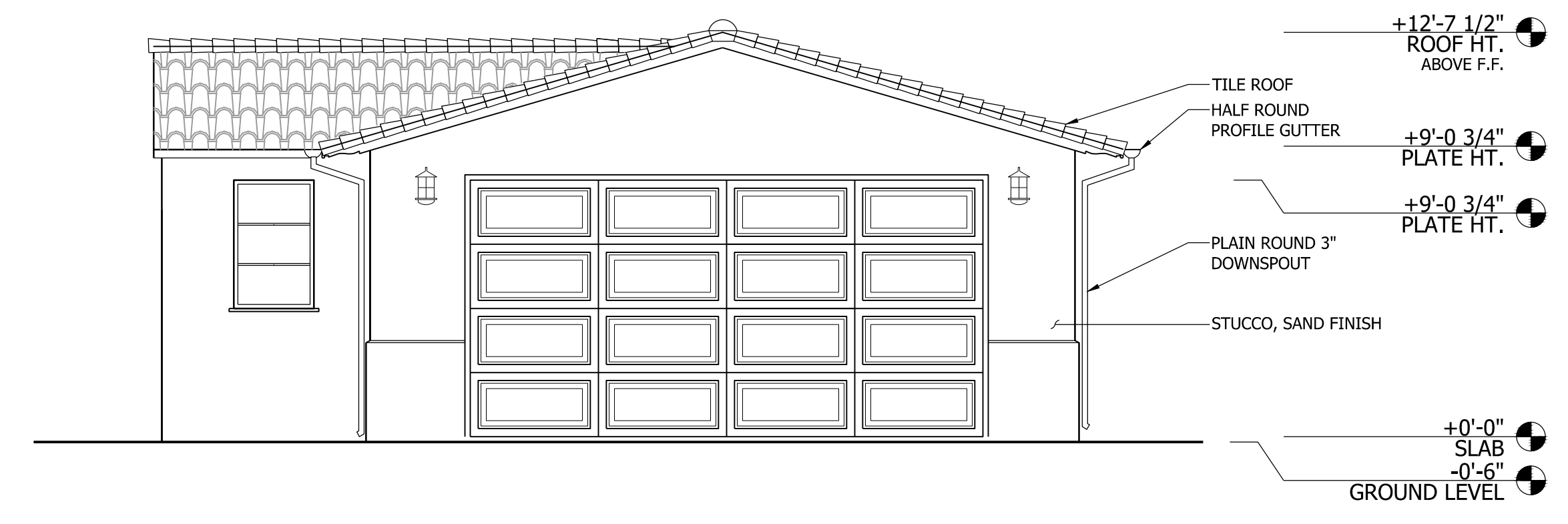
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PAGE TITLE
EXISTING PLANS

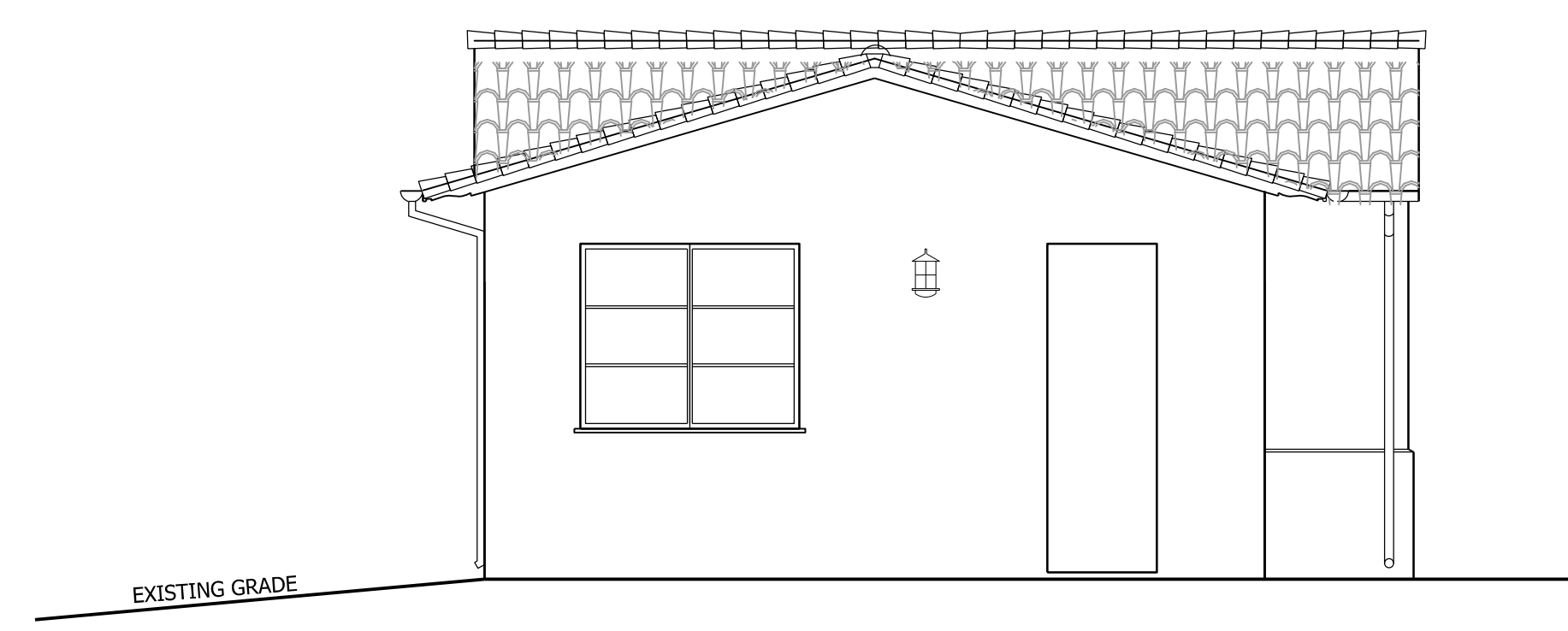
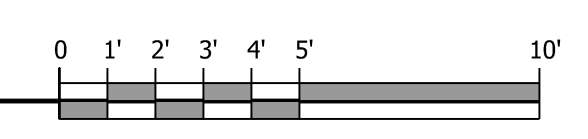
NEW ADD OVER GARAGE
 BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

DATE: 2020.06.01
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 PLAN NO.: 1934

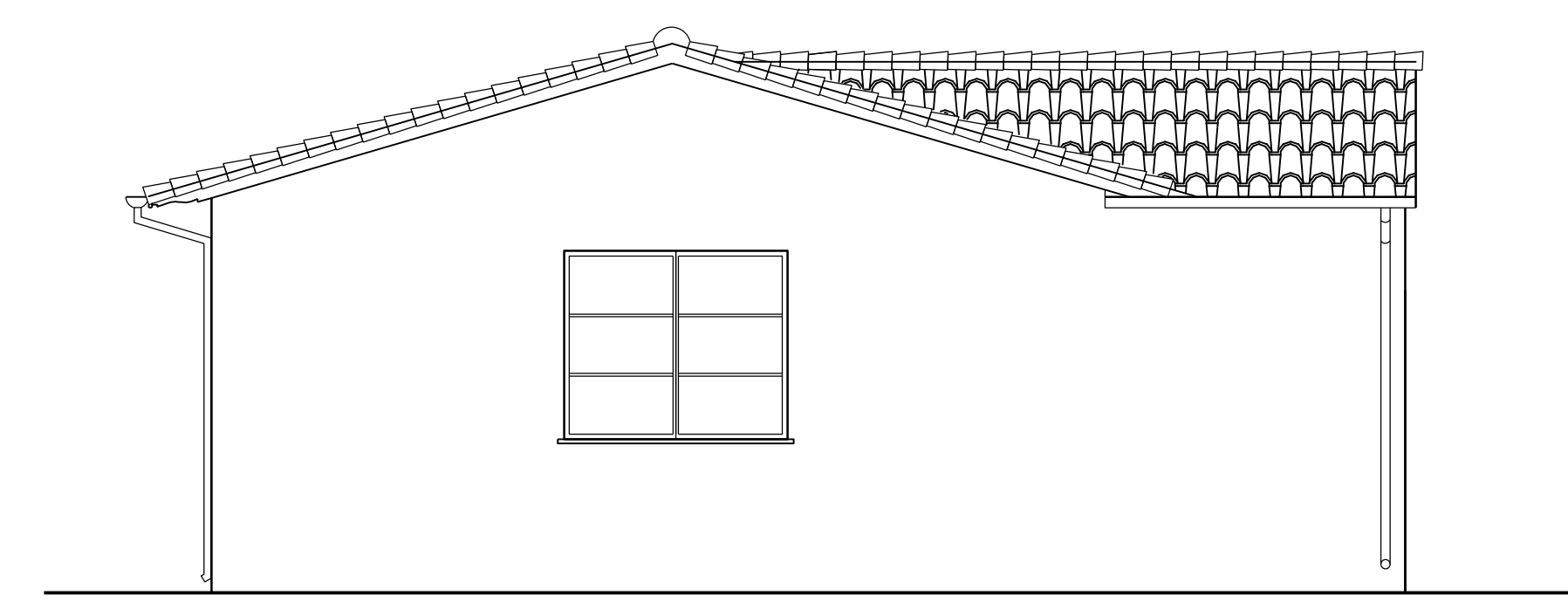
SHEET:
A1.0



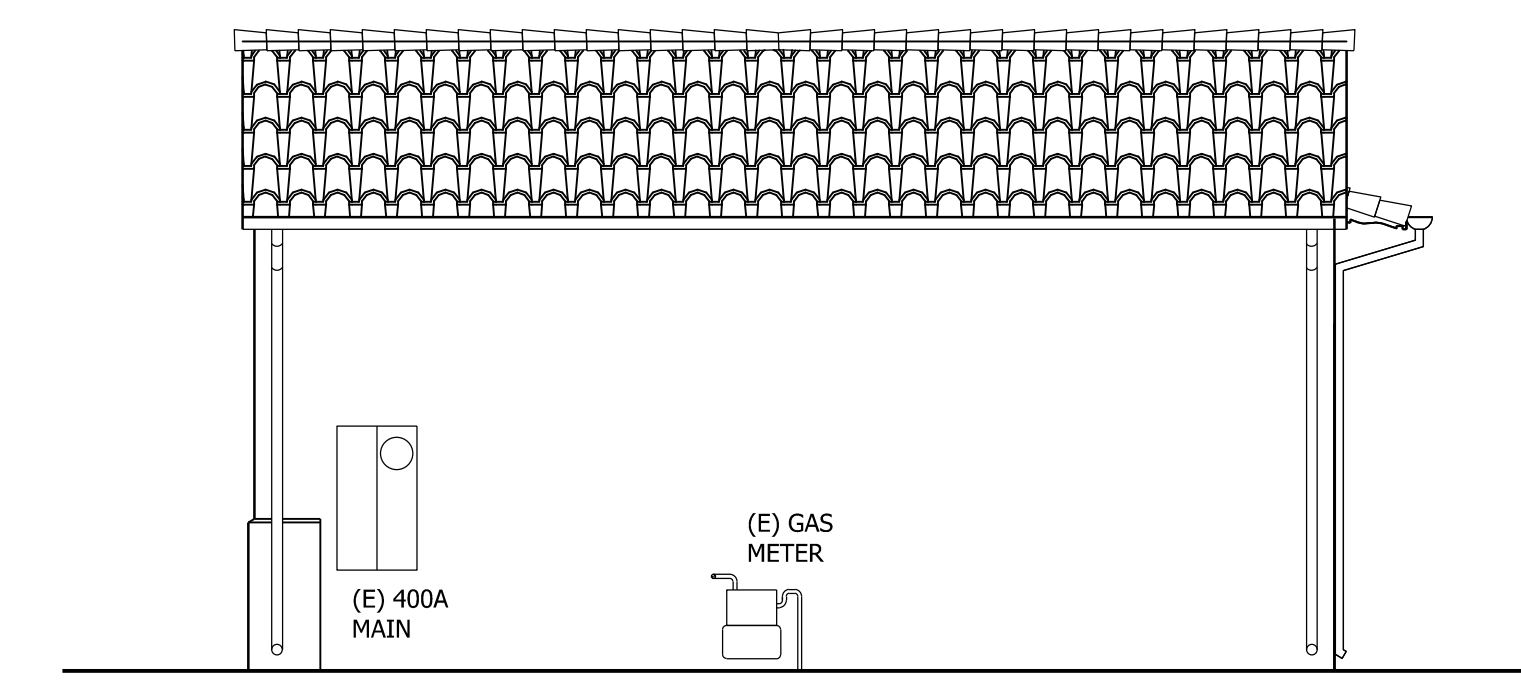
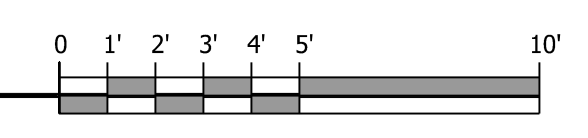
FRONT (EAST) ELEVATION
 1/4" = 1'-0"



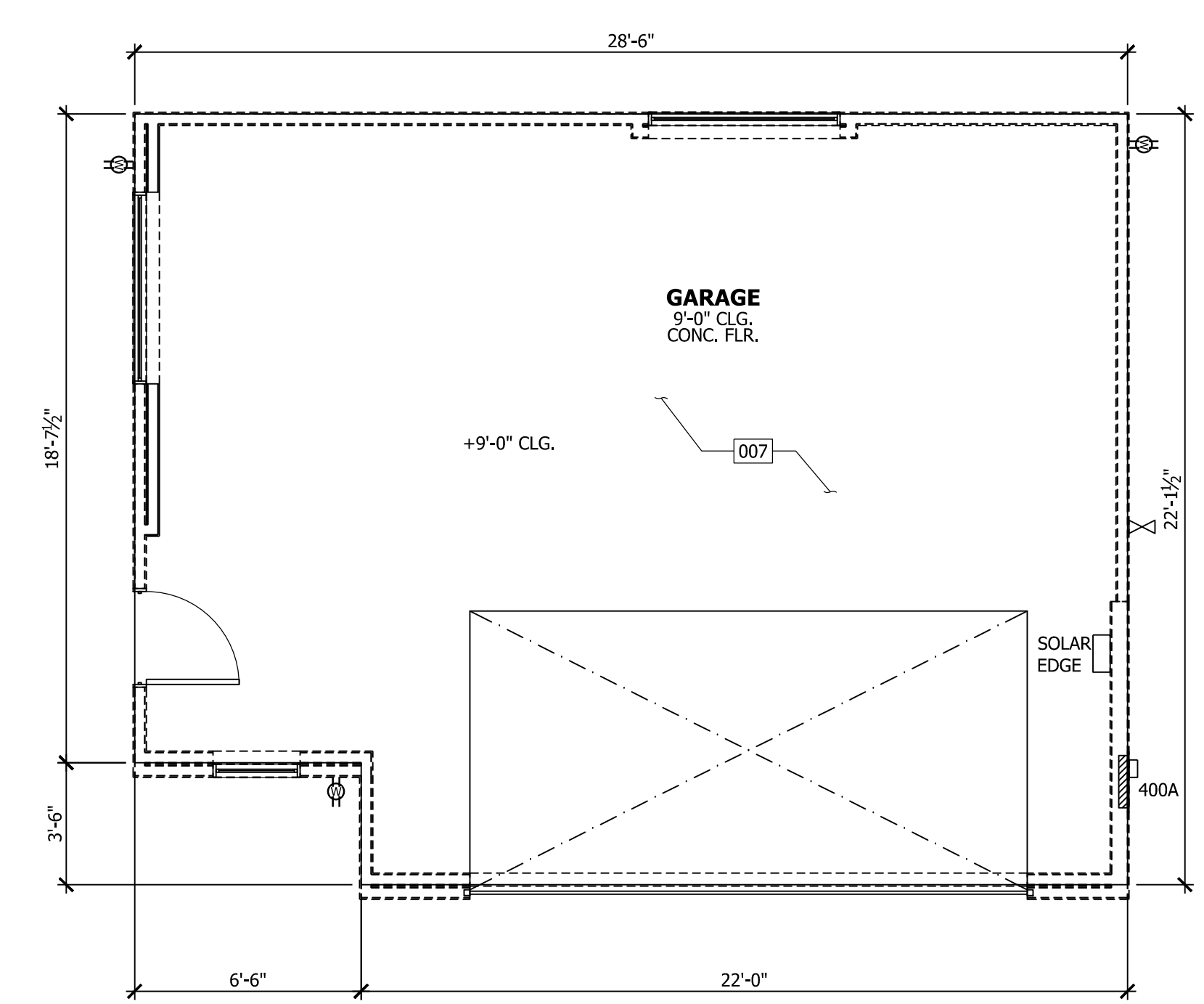
LEFT (SOUTH) ELEVATION
 1/4" = 1'-0"



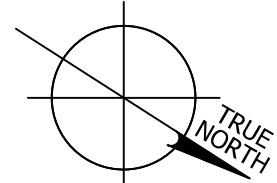
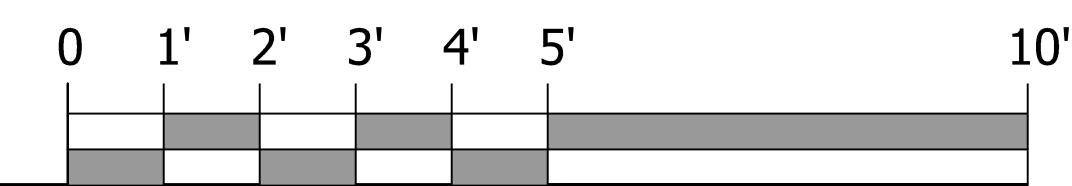
REAR (WEST) ELEVATION
 1/4" = 1'-0"



RIGHT (NORTH) ELEVATION
 1/4" = 1'-0"



140 PROSPECT GARAGE PLAN EXISTING
 1/4" = 1'-0"



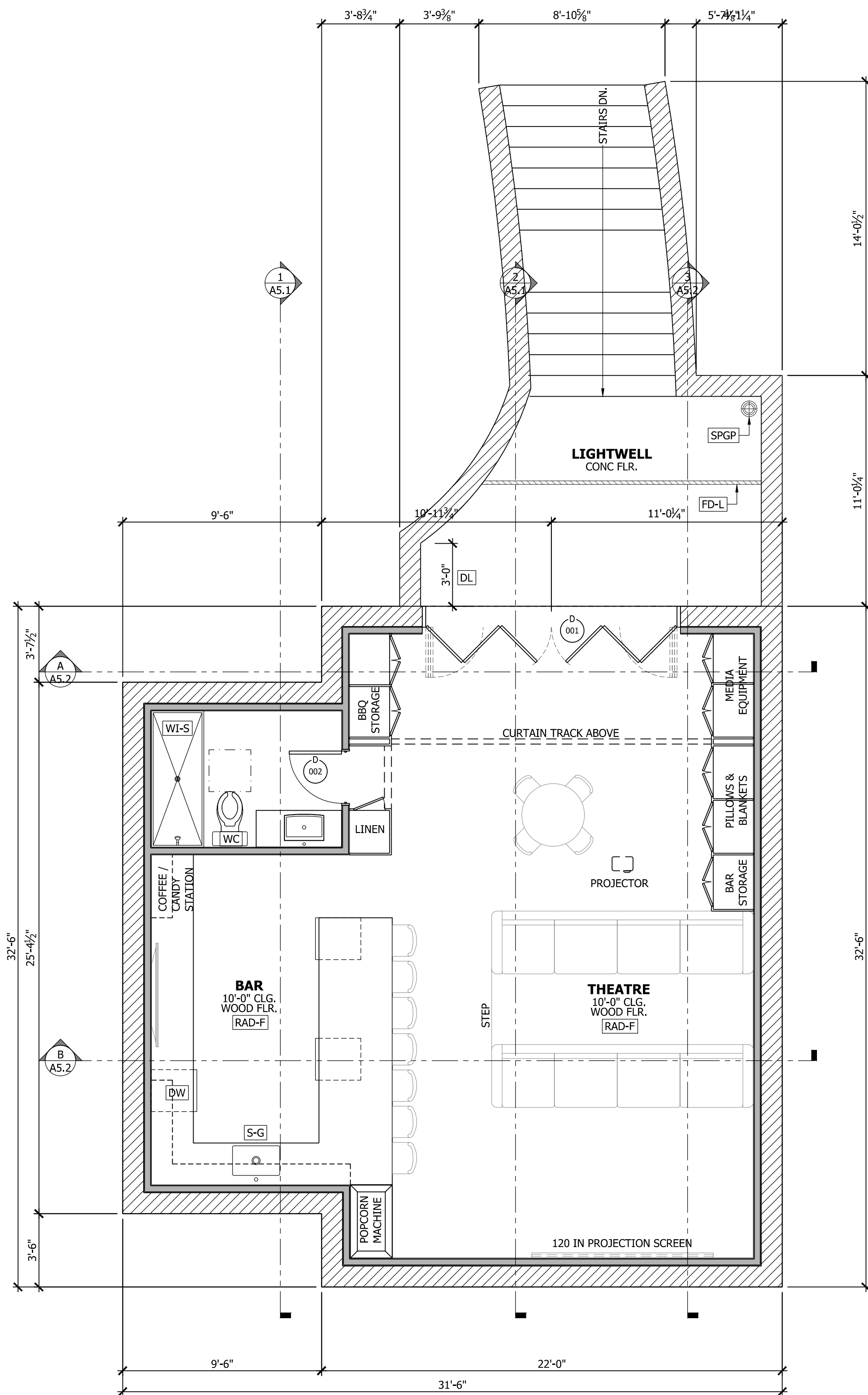
REFERENCE KEYNOTES

DIVISION 02 - DEMOLITION	
007	EXISTING GARAGE TO BE DEMOLISHED FOR NEW BASEMENT

WALL LEGEND

	NEW WALL (SEE GENERAL NOTE #7/A0.1)
	EXISTING WALL
	DEMOLITION WALL

	1 HR FIRE WALL
	SHEAR WALL, SEE STRUCTURAL DRAWINGS

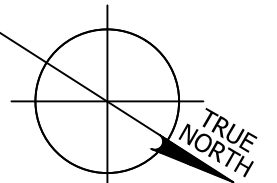
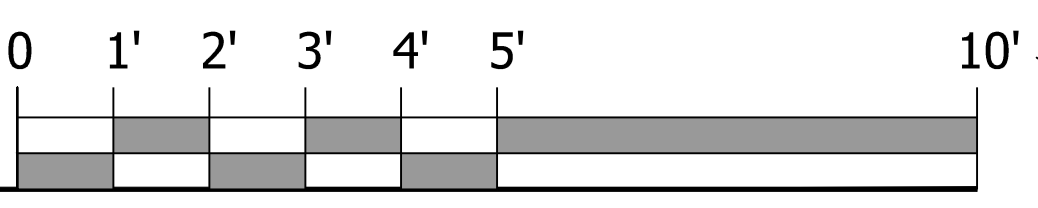


DOOR AND FRAME SCHEDULE										
Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
001	PR 6'-0" x 8'-0" x 1-3/4"	ACCORDION DOUBLE	--	--	--/A	--	--	--	--	--
002	2'-6" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--

- REFERENCE KEYNOTES**
- DIVISION 08 - DOORS AND WINDOWS
 - DL - LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
 - DIVISION 11 - EQUIPMENT
 - DW - DISHWASHER
 - DIVISION 22 - PLUMBING
 - FD-L - LINEAR FLOOR DRAIN
 - S-G - SINK W/ GARBAGE DISPOSAL
 - SPGP - SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710
 - WC - WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
 - WI-S - WALK-IN SHOWER, FLUSH, SEE SHOWER NOTES SHEET A1.1
 - DIVISION 23 - HVAC
 - RAD-F - RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1

140 PROSPECT BASEMENT FLOOR PLAN NEW

1/4" = 1'-0"



WALL LEGEND	
	NEW WALL (SEE GENERAL NOTE #7/A0.1)
	EXISTING WALL
	DEMOLITION WALL
	1 HR FIRE WALL
	SHEAR WALL, SEE STRUCTURAL DRAWINGS

REVISIONS	DATE

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BASEMENT FLOOR PLAN

NEW ADJL OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
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SHEET: **A2.1**

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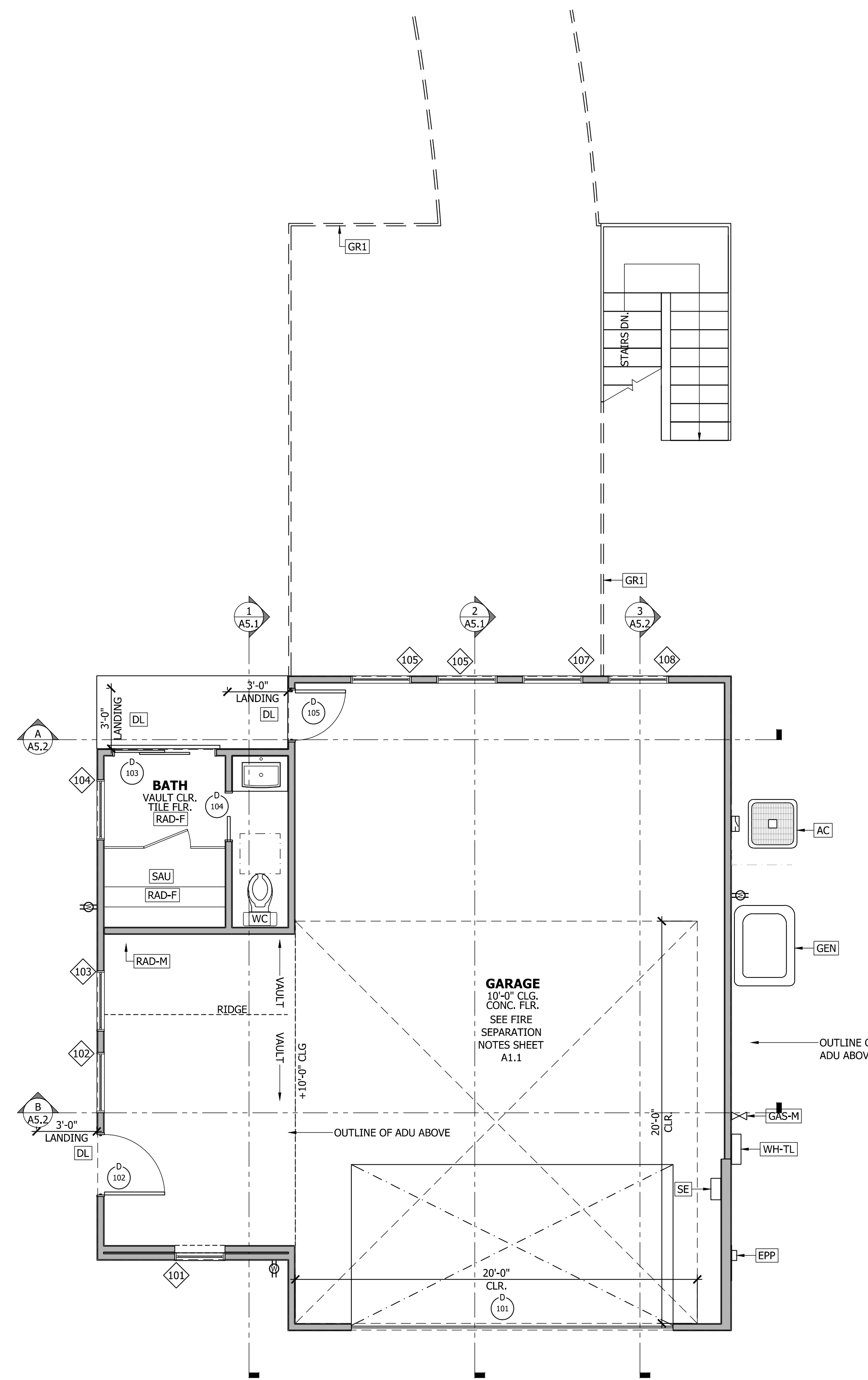
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PAGE TITLE
1ST FLOOR PLAN NEW

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934

SHEET:
A2.2



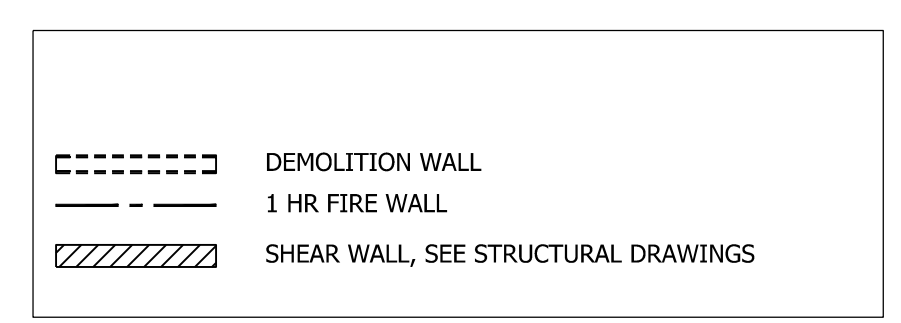
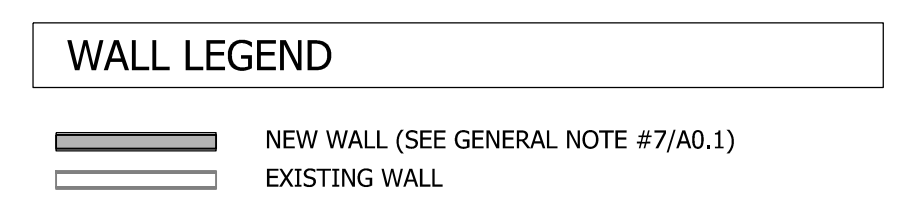
WINDOW SCHEDULE

NUMBER	SIZE		STYLE	DETAIL			HEAD HEIGHT	FIRE RATING	SHCG	U-FACTOR	MANUFACTURE	MODEL	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL								
101	2'-6"	4'-6"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
102	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
103	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
104	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
105	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
106	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
107	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
108	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--

DOOR AND FRAME SCHEDULE

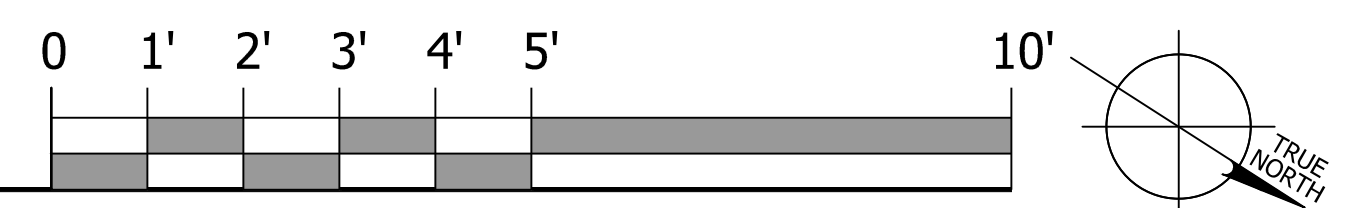
Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
101	16'-0" x 8'-0" x 1"	OVERHEAD SECTIONAL	--	--	--/A	--	--	--	--	--
102	3'-0" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--
103	PR 2'-6" x 8'-0" x 1-3/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--
104	2'-4" x 8'-0" x 1-3/4"	POCKET	--	--	--/A	--	--	--	--	--
105	2'-6" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--

- #### REFERENCE KEYNOTES
- DIVISION 05 - METALS
 - GR1 - GUARDRAIL, SEE DETAIL XX/A10.1.
 - DIVISION 08 - DOORS AND WINDOWS
 - DL - LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
 - DIVISION 11 - EQUIPMENT
 - AC - AIR CONDITIONER
 - GAS-M - GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES
 - DIVISION 13 - SPECIAL CONSTRUCTION
 - SAU - SAUNA, 6'-1 1/2" X 5'-0" CLEAR DIMENSIONS, VERIFY DIMENSIONS PRIOR TO ORDERING
 - SE - SOLAR EDGE WALL INVERTER
 - DIVISION 22 - PLUMBING
 - WC - WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
 - WH-TL - TANKLESS WATER HEATER/BOILER SIMILAR TO NAVIEN NPE-240A, DIRECT VENT
 - DIVISION 23 - HVAC
 - RAD-F - RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1
 - RAD-M - RADIANT HEATING SLAB MULTI LOOP MANIFOLD
 - DIVISION 26 - ELECTRICAL
 - EPP - ELECTRICAL POWER PANEL
 - GEN - GENERAC GUARDIAN 24KW HOME BACKUP GENERATOR WITH PWRview TRANSFER SWITCH



140 PROSPECT 1ST FLOOR PLAN NEW

1/4" = 1'-0"



REVISIONS	DATE

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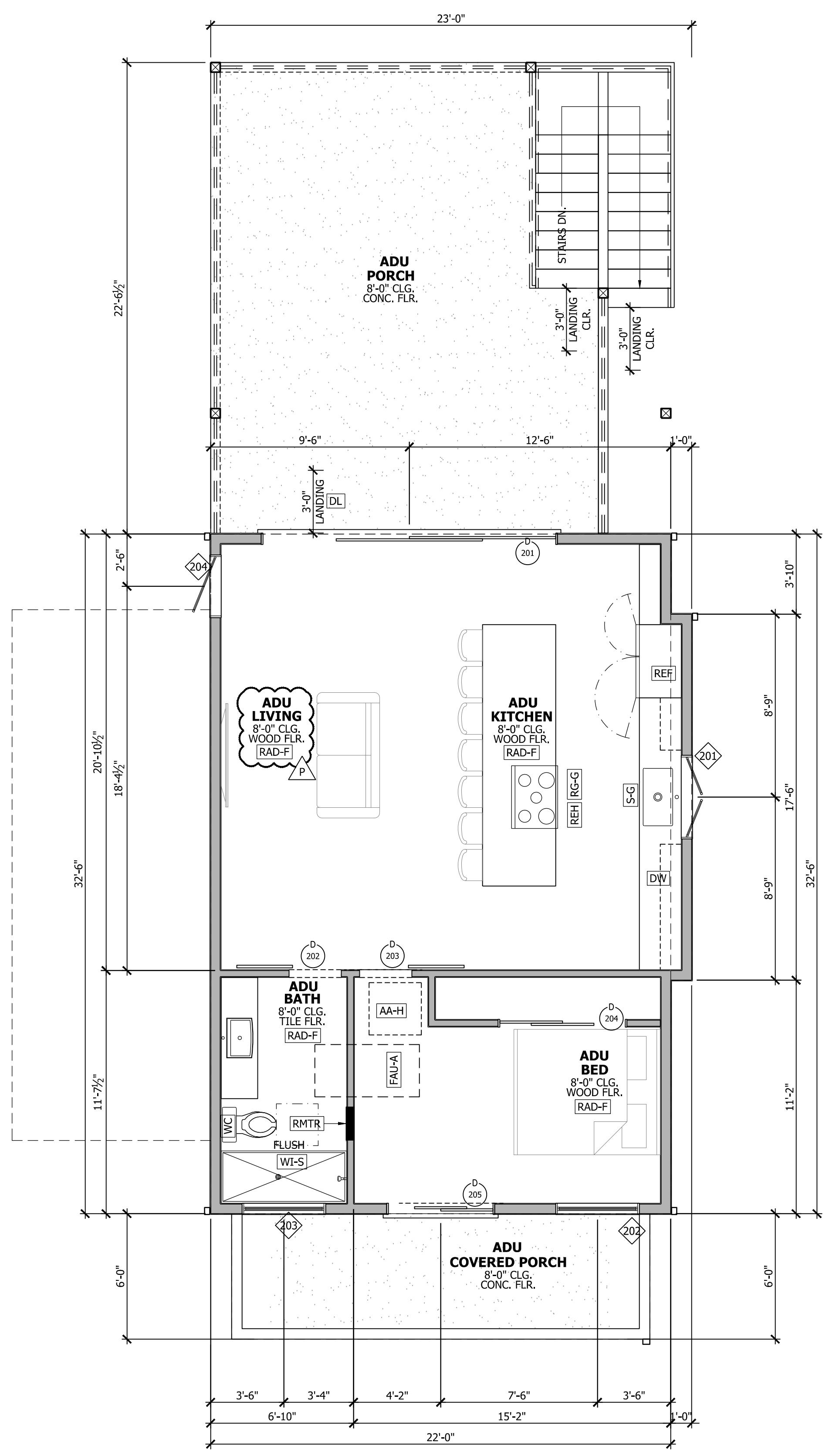
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PAGE TITLE
2ND FLOOR PLAN NEW

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 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

DATE: 2020.06.01
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SHEET:
A2.3



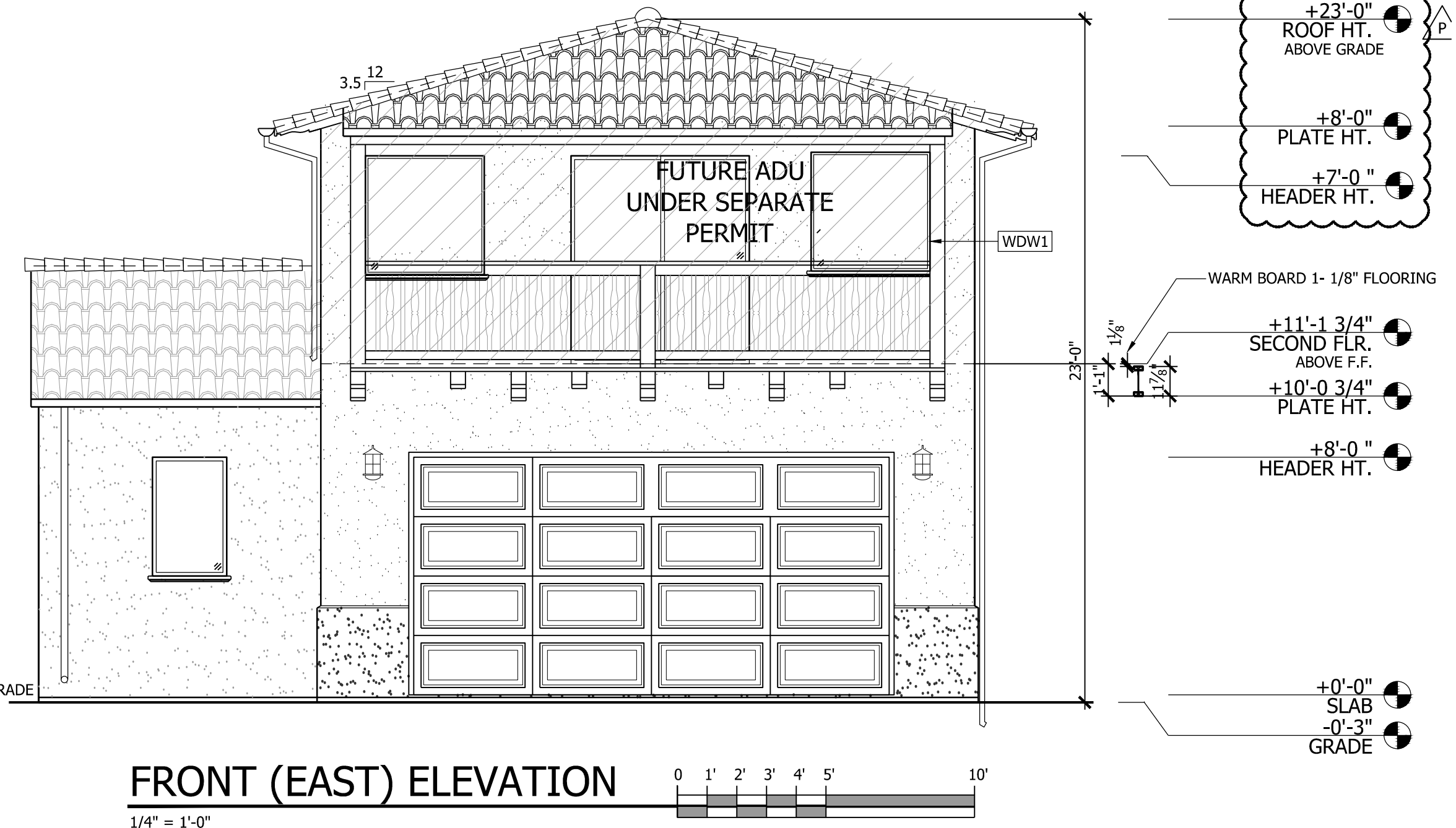
WINDOW SCHEDULE														
NUMBER	SIZE		STYLE	DETAIL			HEAD HEIGHT	FIRE RATING	SHGC	U-FACTOR	MANUFACTURE	MODEL	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL								
201	4'-0"	3'-6"	DOUBLE CASEMENT	--	--	--	8'-0"		.25	.32	?	?	?	--
202	4'-0"	4'-0"	SINGLE HUNG	--	--	--	8'-0"		.25	.32	?	?	?	--
203	4'-0"	4'-0"	SINGLE HUNG	--	--	--	8'-0"		.25	.32	?	?	?	--
204	3'-0"	5'-6"	CASEMENT	--	--	--	8'-0"		.25	.32	?	?	?	--

DOOR AND FRAME SCHEDULE										
Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
201	PR 7'-0" x 7'-0" x 1-1/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--
202	2'-6" x 7'-0" x 1-3/4"	SINGLE BARN	--	--	--/A	--	--	--	--	--
203	2'-6" x 7'-0" x 1-3/4"	SINGLE BARN	--	--	--/A	--	--	--	--	--
204	PR 3'-0" x 7'-0" x 1-1/4"	SLIDING - INTERIOR	--	--	--/A	--	--	--	--	--
205	PR 2'-6" x 7'-0" x 1-1/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--

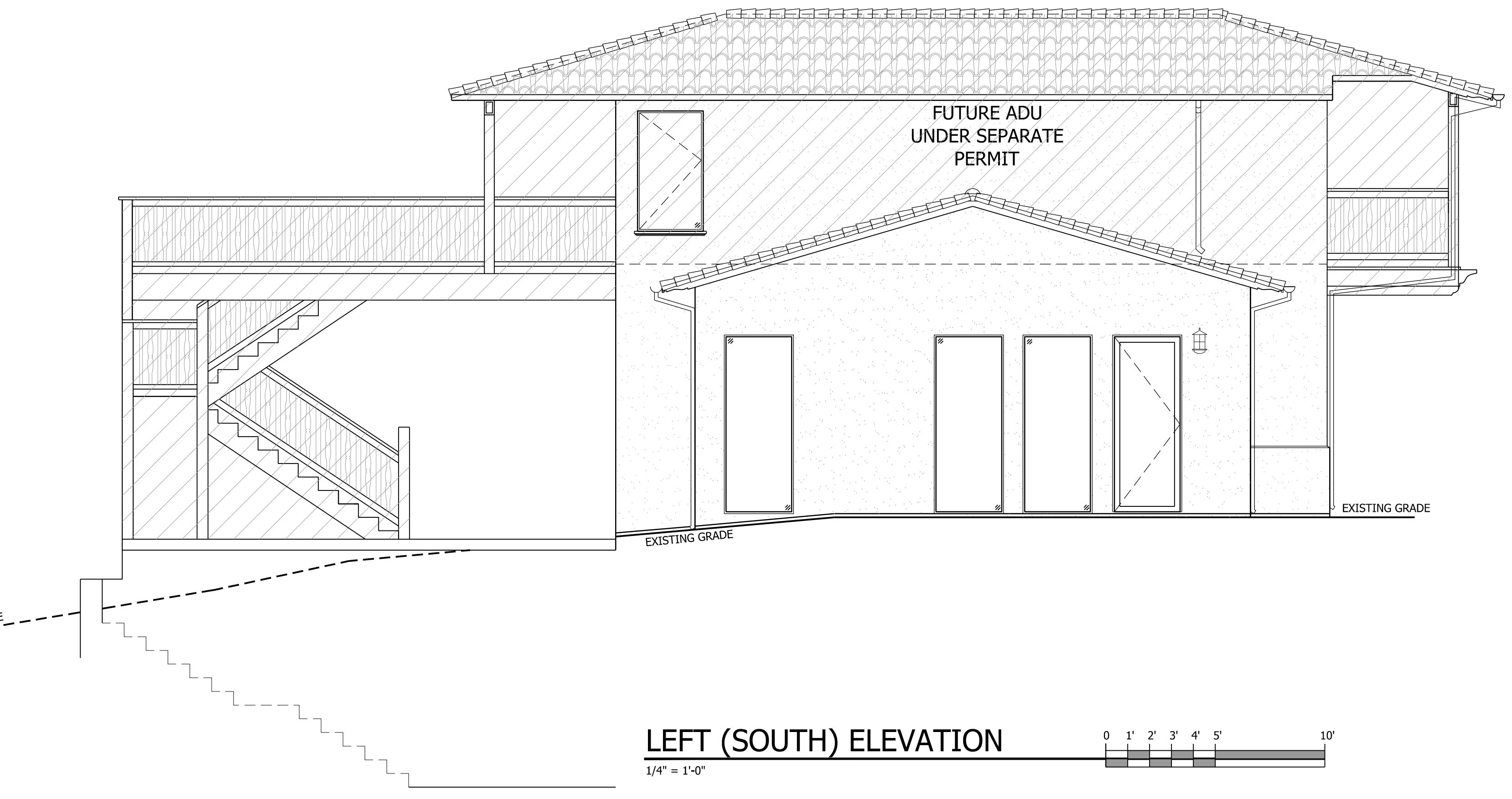
- REFERENCE KEYNOTES**
- DIVISION 08 - DOORS AND WINDOWS
 - DL - LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
 - SKY-U - UNIT SKYLIGHT; SEE DETAIL 8/A10.1
 - DIVISION 10 - SPECIALTIES
 - TOILET ACCESSORIES -
 - RMTR - RECESSED ELECTRIC TOWEL RACK
 - DIVISION 11 - EQUIPMENT
 - AA-H - ATTIC ACCESS HATCH 22" X 30" MIN. BASED ON FAU IN ATTIC SIZE REQUIREMENTS
 - DW - DISHWASHER
 - REF - REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
 - REH - RANGE EXHAUST HOOD, VENTED
 - RG-G - RANGE; GAS
 - DIVISION 22 - PLUMBING
 - S-G - SINK W/ GARBAGE DISPOSAL
 - WC - WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
 - WI-S - WALK-IN SHOWER, FLUSH, SEE SHOWER NOTES SHEET A1.1
 - DIVISION 23 - HVAC
 - FAU-A - DIRECT VENT FORCED AIR UNIT IN ATTIC. SEE DETAIL 17/A10.1
 - RAD-F - RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1

WALL LEGEND	
	NEW WALL (SEE GENERAL NOTE #7/A2.0)
	EXISTING WALL
	DEMOLITION WALL
	1 HR FIRE WALL
	SHEAR WALL, SEE STRUCTURAL DRAWINGS

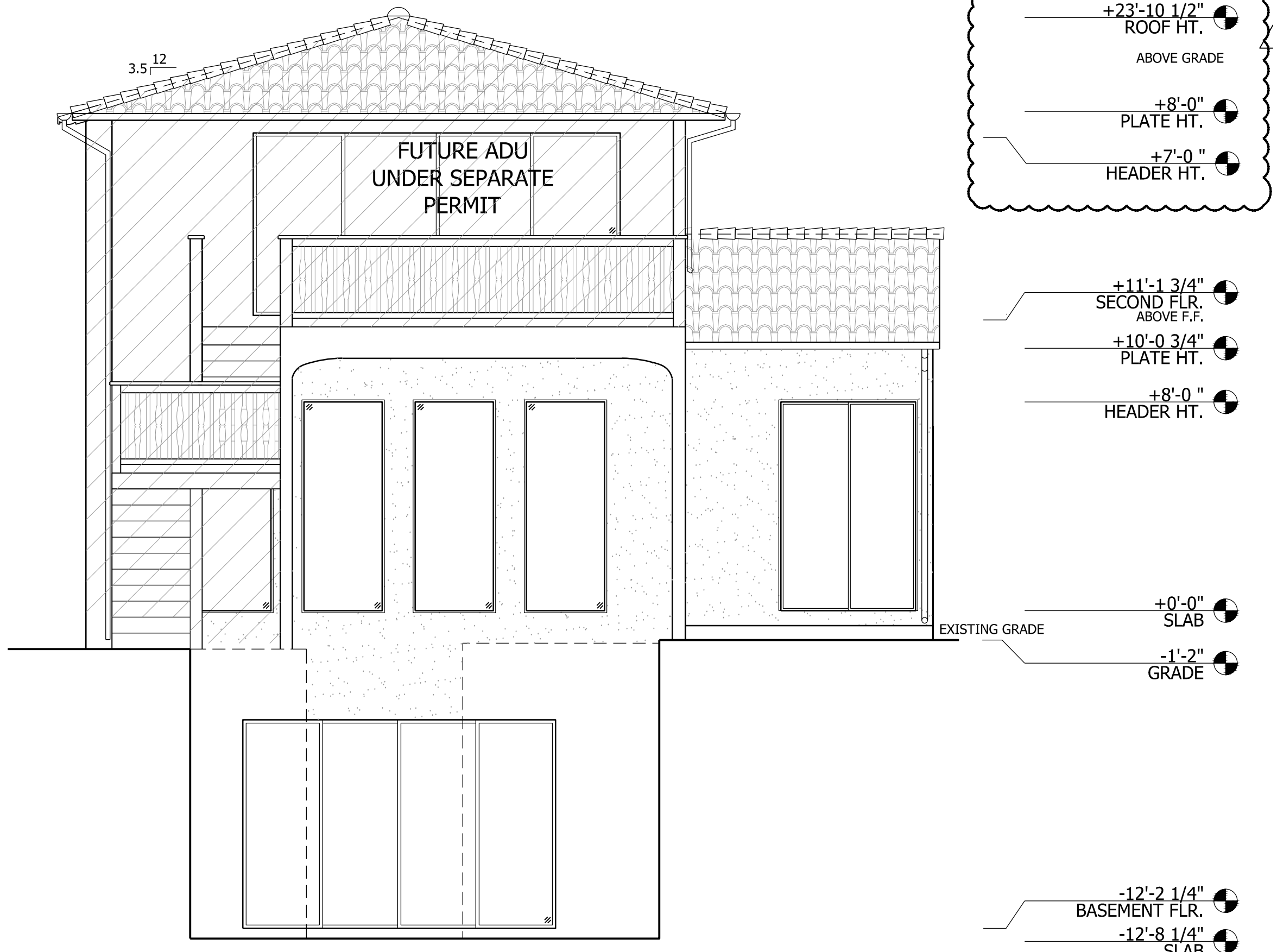
140 PROSPECT 2ND FLOOR PLAN NEW
 1/4" = 1'-0"



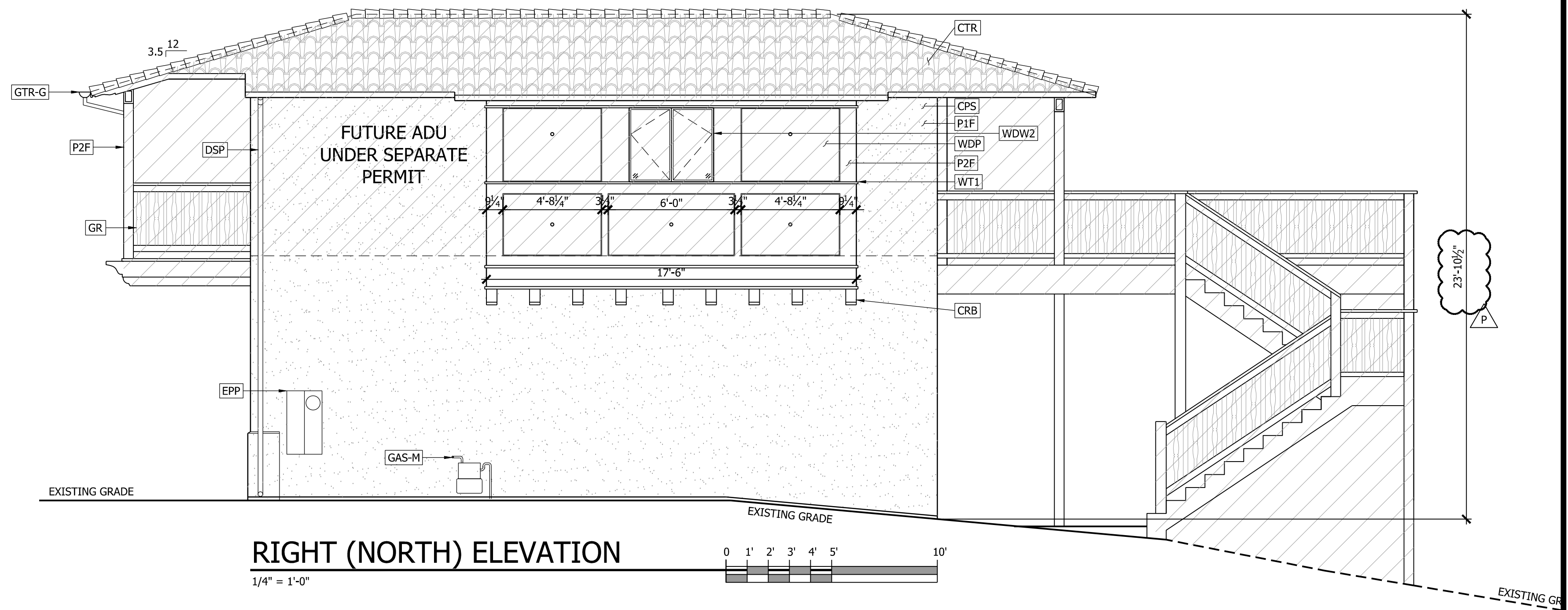
FRONT (EAST) ELEVATION
1/4" = 1'-0"



LEFT (SOUTH) ELEVATION
1/4" = 1'-0"



REAR (WEST) ELEVATION
1/4" = 1'-0"



RIGHT (NORTH) ELEVATION
1/4" = 1'-0"

REFERENCE KEYNOTES

DIVISION 05 - METALS	
GR	- GUARDRAIL, WOOD, TO MATCH PAINT P2F, SEE DETAIL XX/XXX
DIVISION 06 - WOOD AND PLASTICS	
CRB	- CORBEL, MATCH PAINT P2F
MISCELLANEOUS -	
WDP	- WOOD PANELING, MATCH PAINT P2F
WT1	- WOOD TRIM, MATCH PAINT P2F
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
DSP	- DOWNSPOUT, 3 INCH ROUND, PAINT TO MATCH STUCCO, CONNECT TO STORM DRAIN
FLASHING AND SHEET METAL -	
GTR-G	- GUTTER, HALF ROUND PROFILE, MATCH PAINT P2F
ROOFING AND SIDING -	
CTR	- CLAY TILE ROOFING, MATCH EXISTING RESIDENCE, LRV 30 MAXIMUM

DIVISION 08 - DOORS AND WINDOWS	
WDW1	- RECESSED ALUMINUM CLAD WINDOW WITH PRECAST WINDOW SILL, TO MATCH EXISTING RESIDENCE
WDW2	- ALUMINUM CLAD WINDOW WITH 1 INCH WOOD TRIM AND SILL, TO MATCH EXISTING RESIDENCE
DIVISION 09 - FINISHES	
APPLIED FINISHES -	
P1F	- PAINT, BENJAMIN MOORE CSP-570 NOTRE DAME, LRV -8, FLAT
P2F	- PAINT, BENJAMIN MOORE 2128-10 BLACK BEAUTY, LRV -5, FLAT
CEMENT PLASTER -	
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, SAND FINISH
DIVISION 11 - EQUIPMENT	
GAS-M	- GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL

REVISIONS	DATE

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EXTERIOR ELEVATIONS NEW

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
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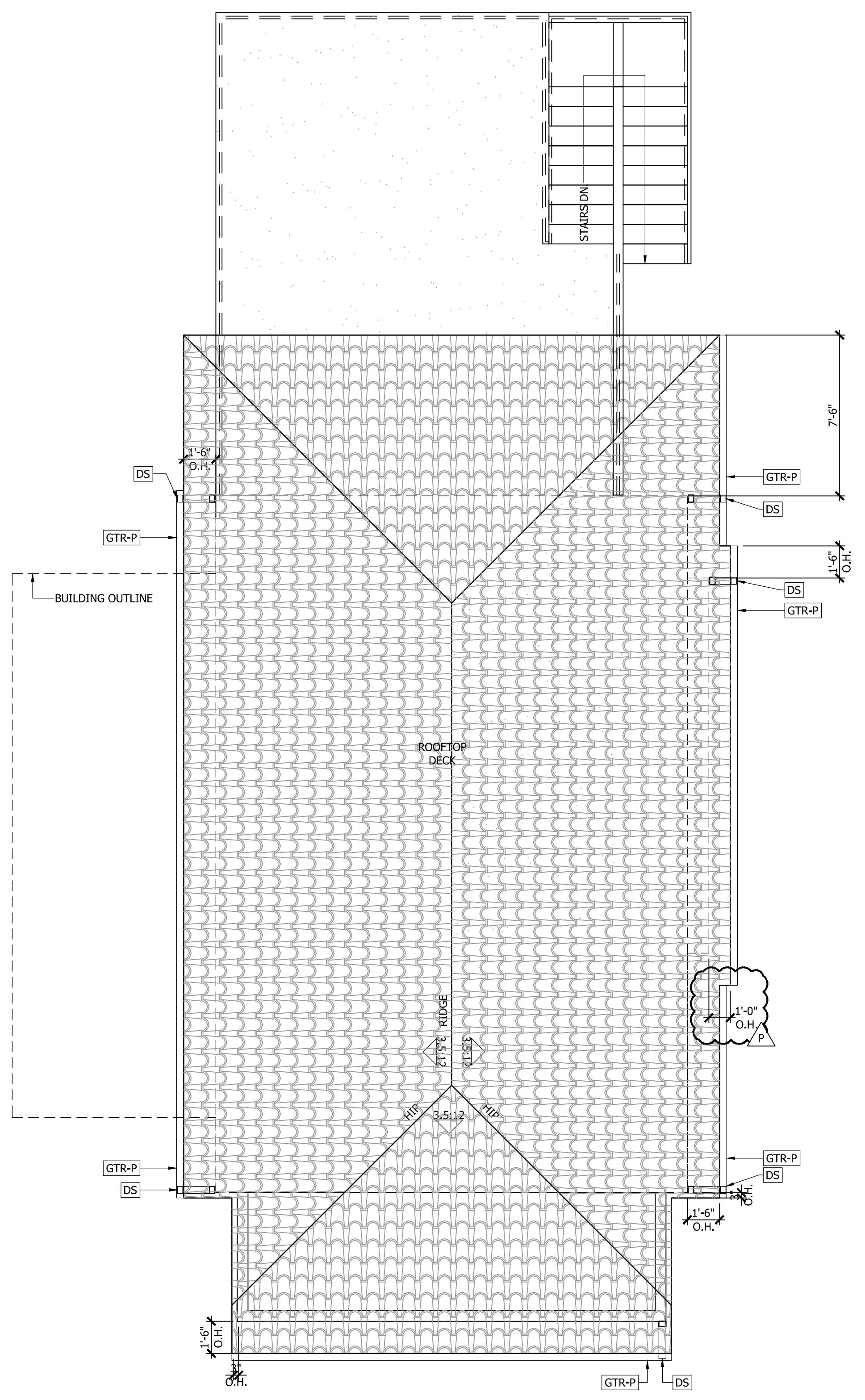
KUOP
DESIGNS
 davidk@kuopdesigns.com
 408.357.0818
 3141 STEVENS CREEK BLVD #104
 SAN JOSE, CA 95117

PAGE TITLE
ROOF PLAN

NEW ADU OVER GARAGE:
 BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

DATE: 2020.06.01
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1934

SHEET:
A4.1



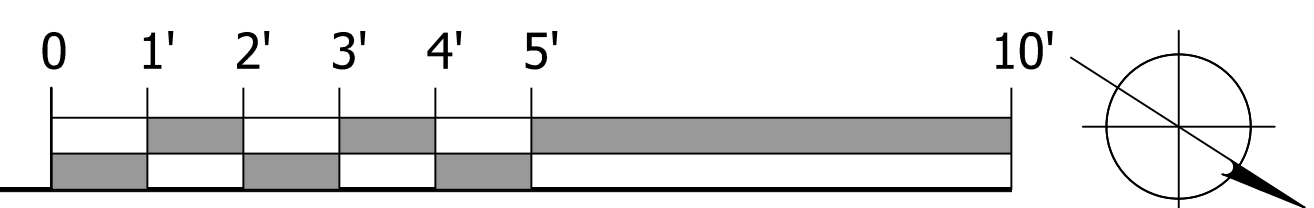
REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
DS	- NEW DOWNSPOUT WITH SPLASH BLOCK; N.I.W.
GTR-P	- GUTTER, PREFINISH, PREFINISHED TO MATCH TRIM, SEE DETAIL 1/A10.1

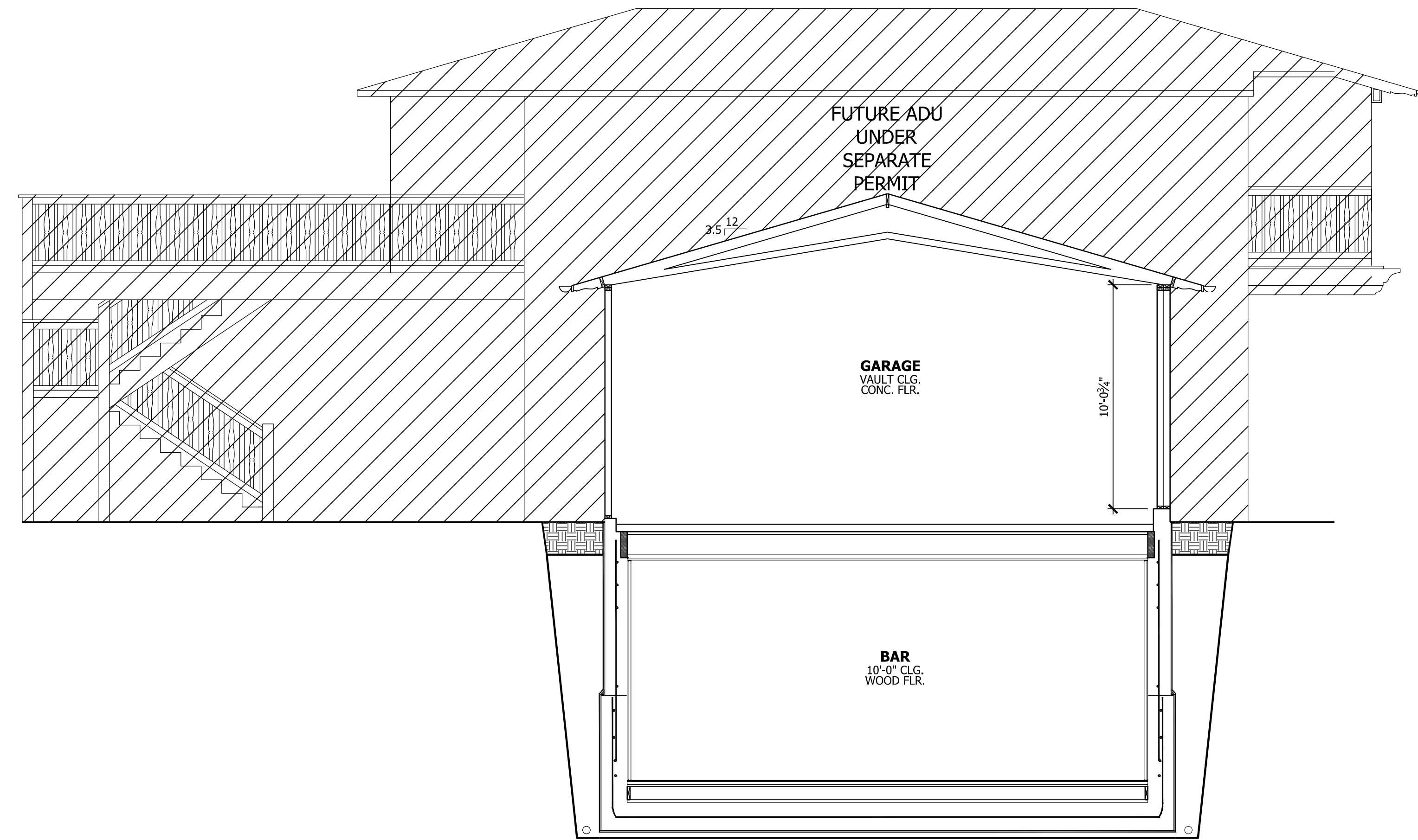
ATTIC VENTILATION CALCULATIONS:

732 SF ATTIC/300 EQUAL TOTAL 2.44 SF
 NEED 40%-50% TOTAL REQUIRED SF HIGH VENT
 (4) LOW PRO VENTS @ .3 SF EACH 1.2 SF
 NEED 1.22 SF LOW VENT
 (5) LOW PRO VENTS @ .3 SF EACH 1.5 SF
 TOTAL TO BE INSTALLED 2.7 SF

140 PROSPECT ROOF PLAN

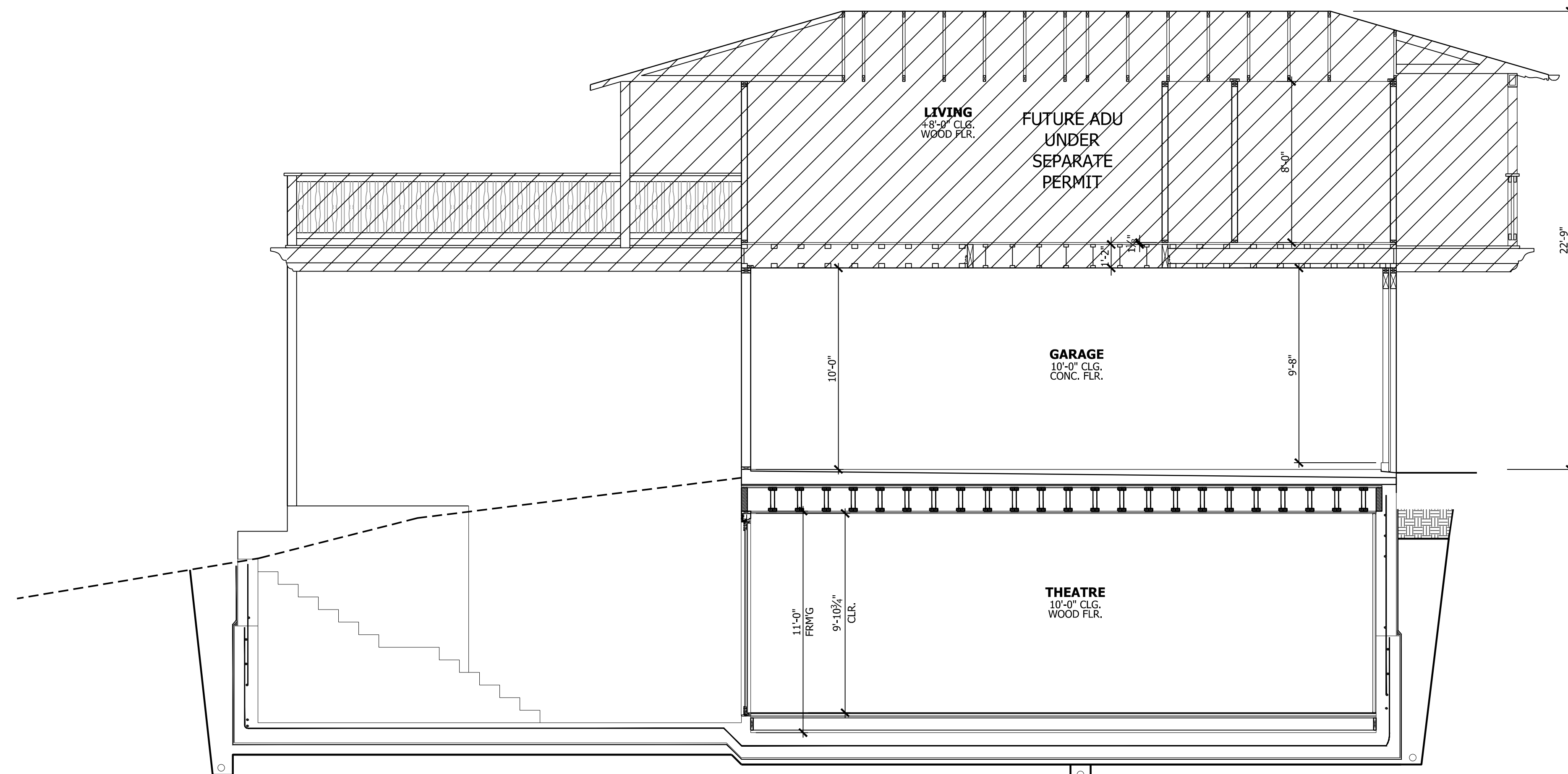
1/4" = 1'-0"





SECTION 1

1/4" = 1'-0"



SECTION 2

1/4" = 1'-0"

REVISIONS	DATE

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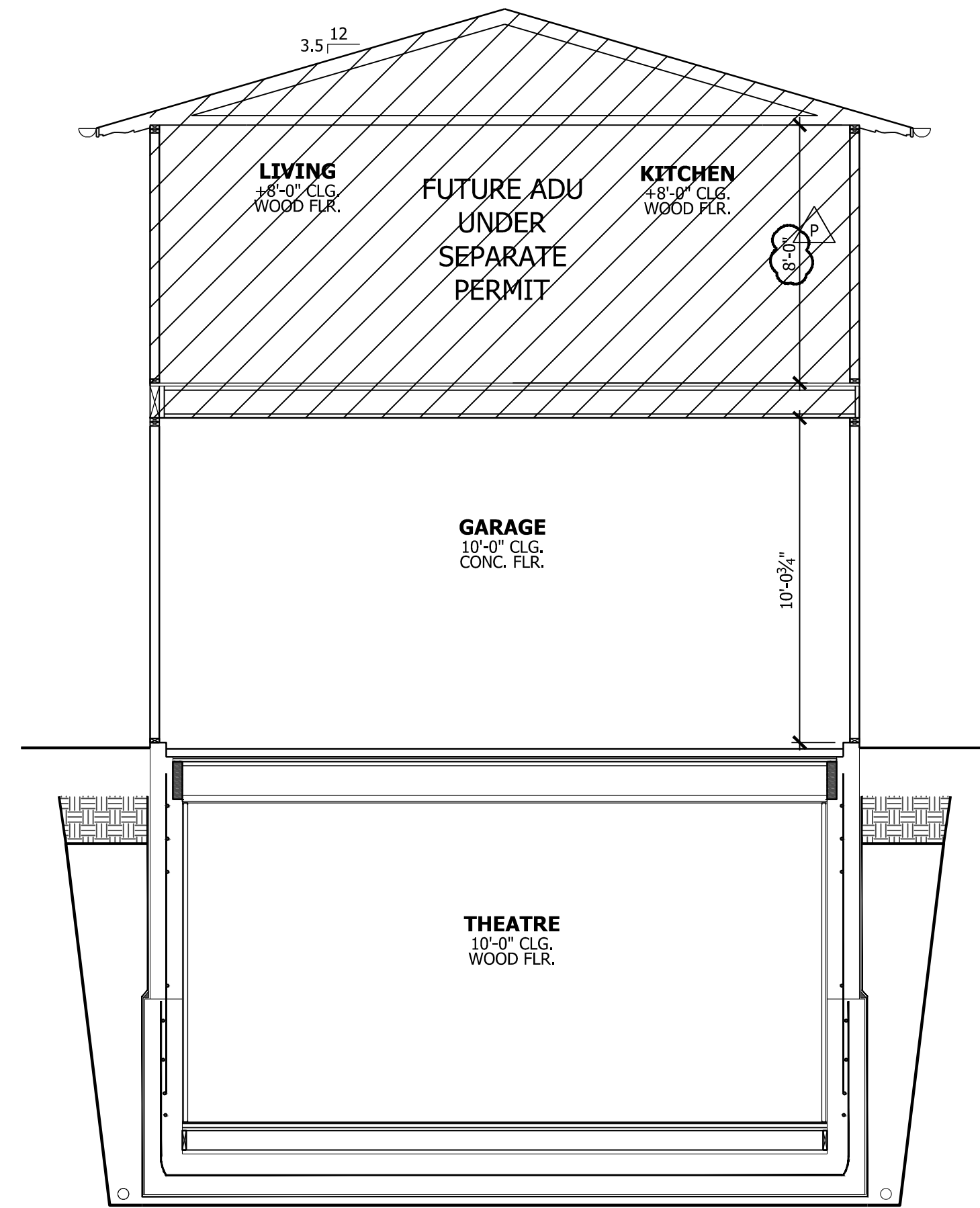
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SAN JOSE, CA 95117

SECTIONS

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

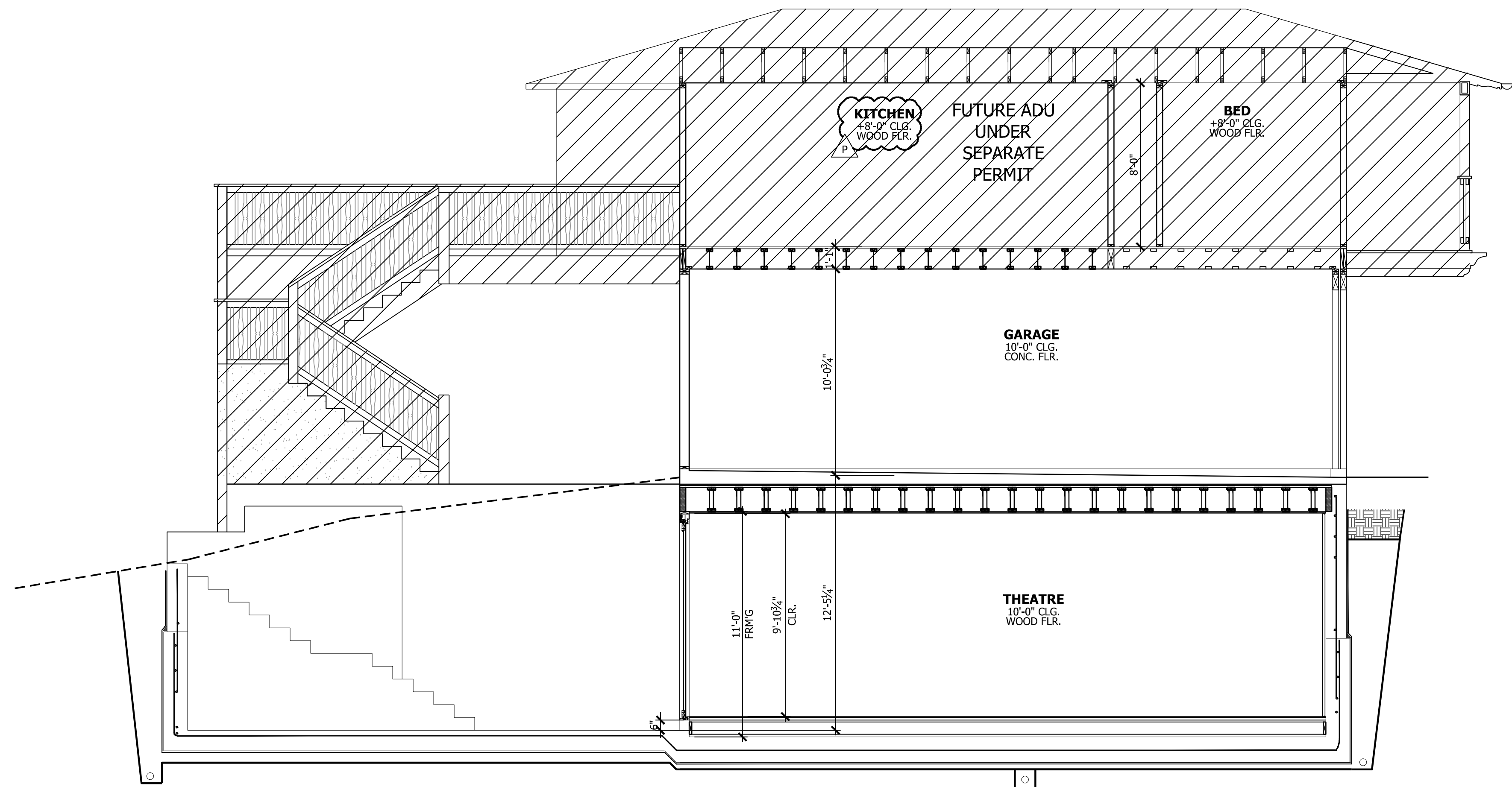
DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934

SHEET:
A5.1



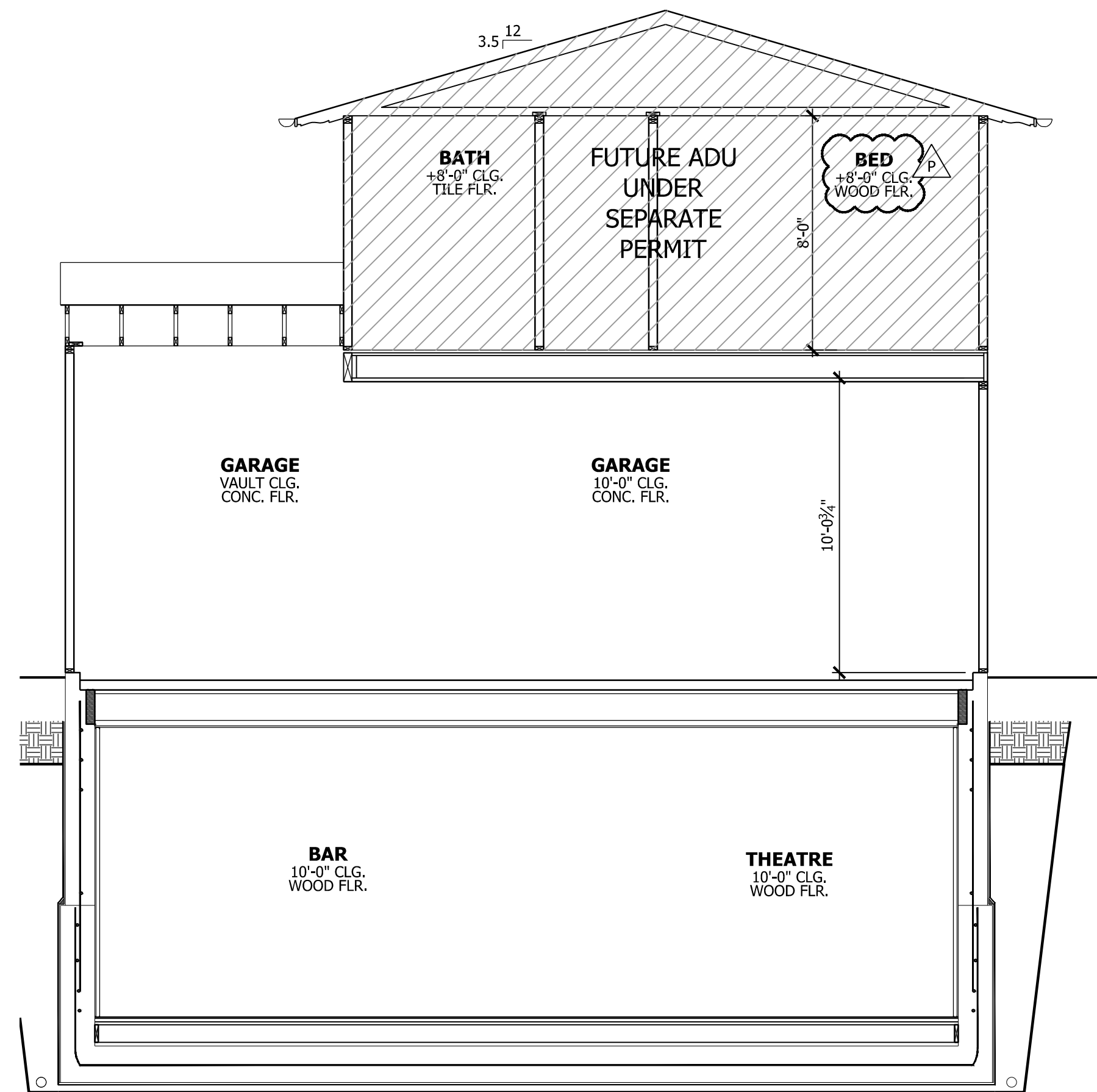
SECTION A

1/4" = 1'-0"



SECTION 3

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

REVISIONS	DATE

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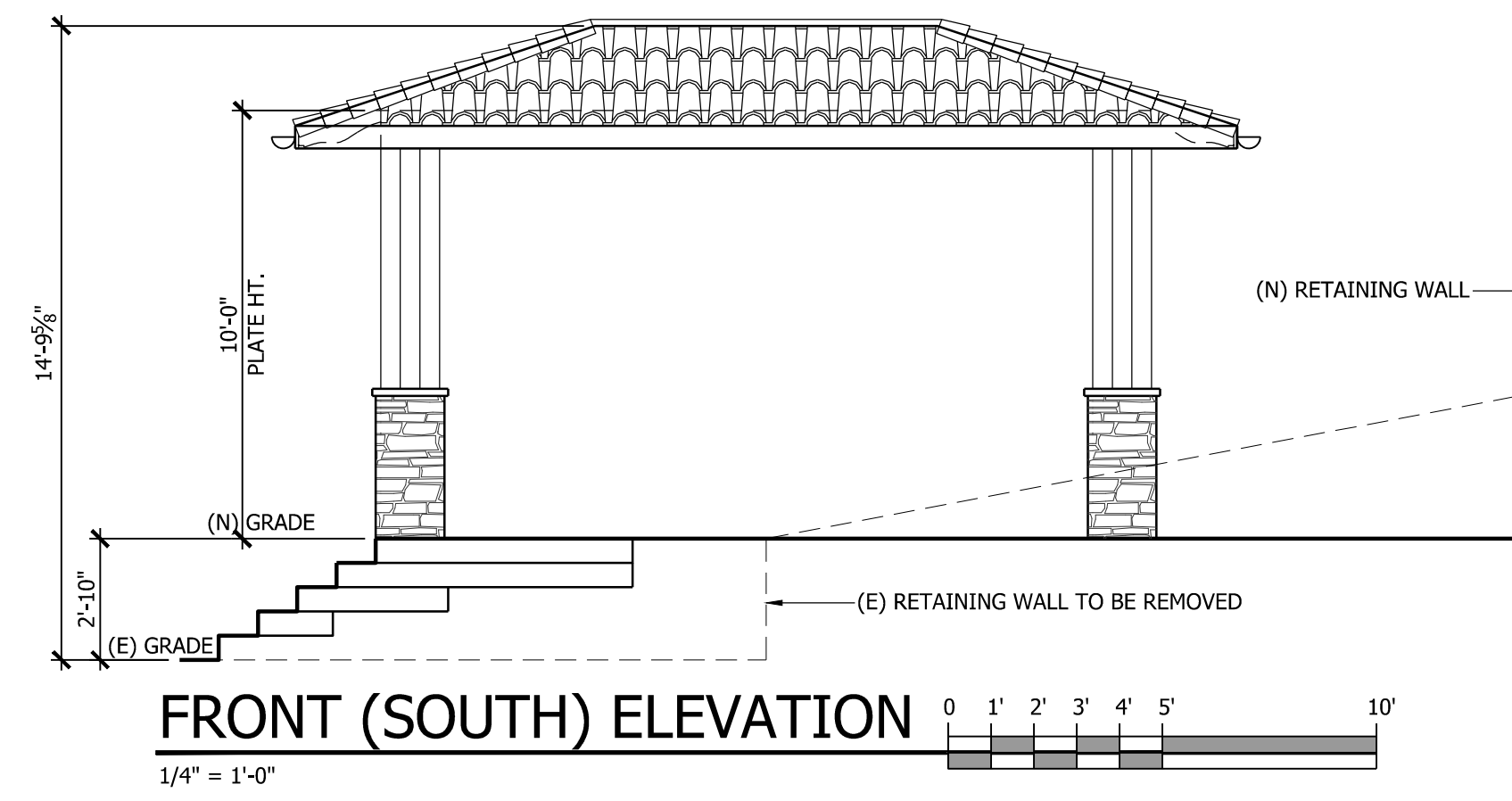
SECTIONS

NEW ADU OVER GARAGE:
 BARRAGAN RESIDENCE
 140 PROSPECT AVENUE
 LOS GATOS, CA 95030

DATE: 2020.06.01
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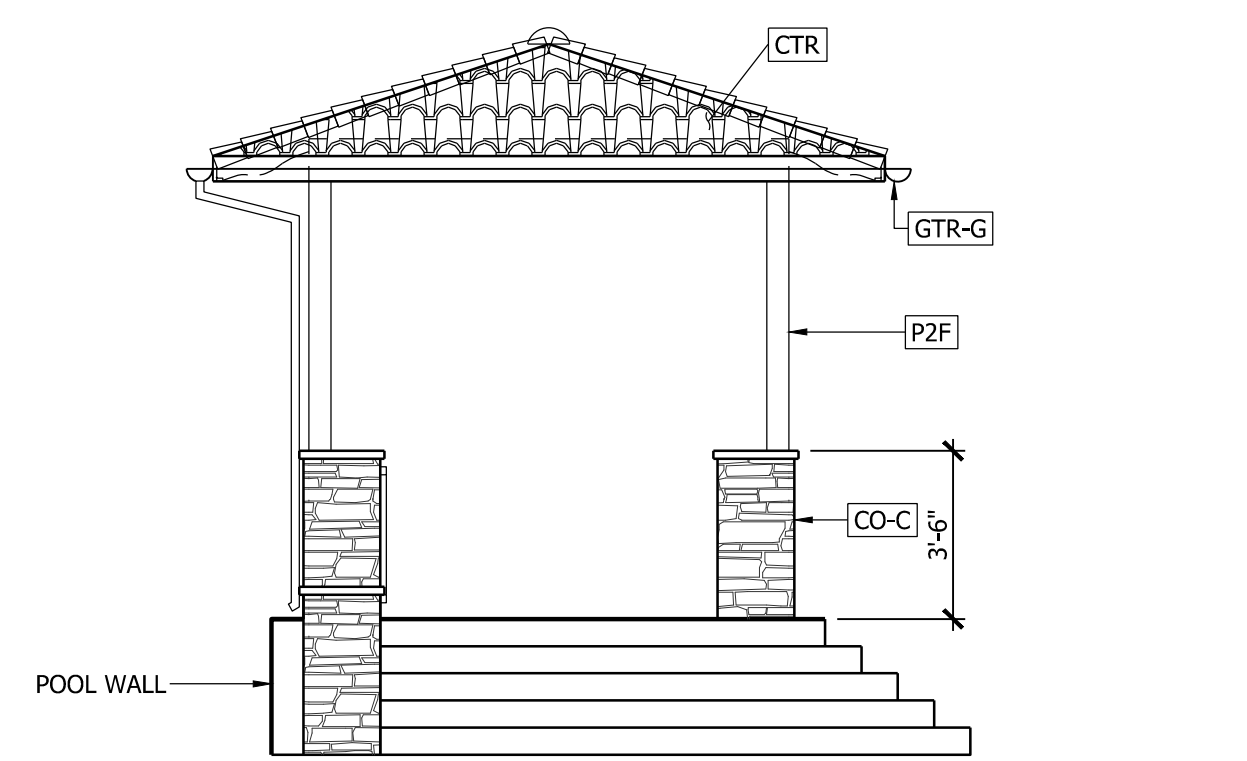
SHEET:
A5.2

REFERENCE KEYNOTES	
DIVISION 03 - CONCRETE	
CO-C	CONCRETE COLUMN, OCEAN MIST LEDGE STONE VENEER, MAX LRV 30
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
GTR-G	GUTTER, HALF ROUND PROFILE, MATCH PAINT P2F
ROOFING AND SIDING -	
CTR	CLAY TILE ROOFING, MATCH EXISTING RESIDENCE, LRV 30 MAXIMUM
DIVISION 09 - FINISHES	
APPLIED FINISHES -	
P2F	PAINT, BENJAMIN MOORE 2128-10 BLACK BEAUTY, LRV -5, FLAT



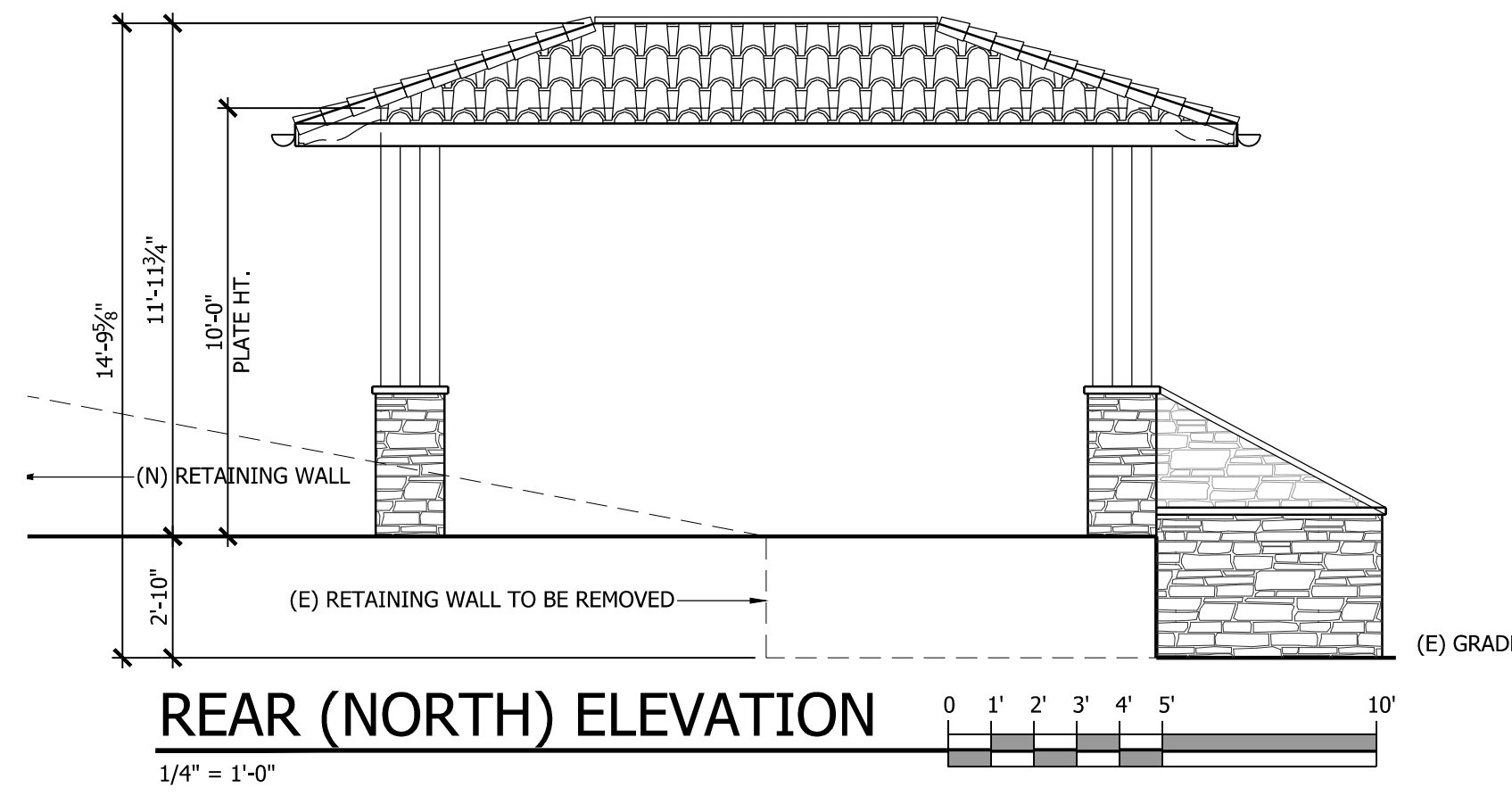
FRONT (SOUTH) ELEVATION

1/4" = 1'-0"



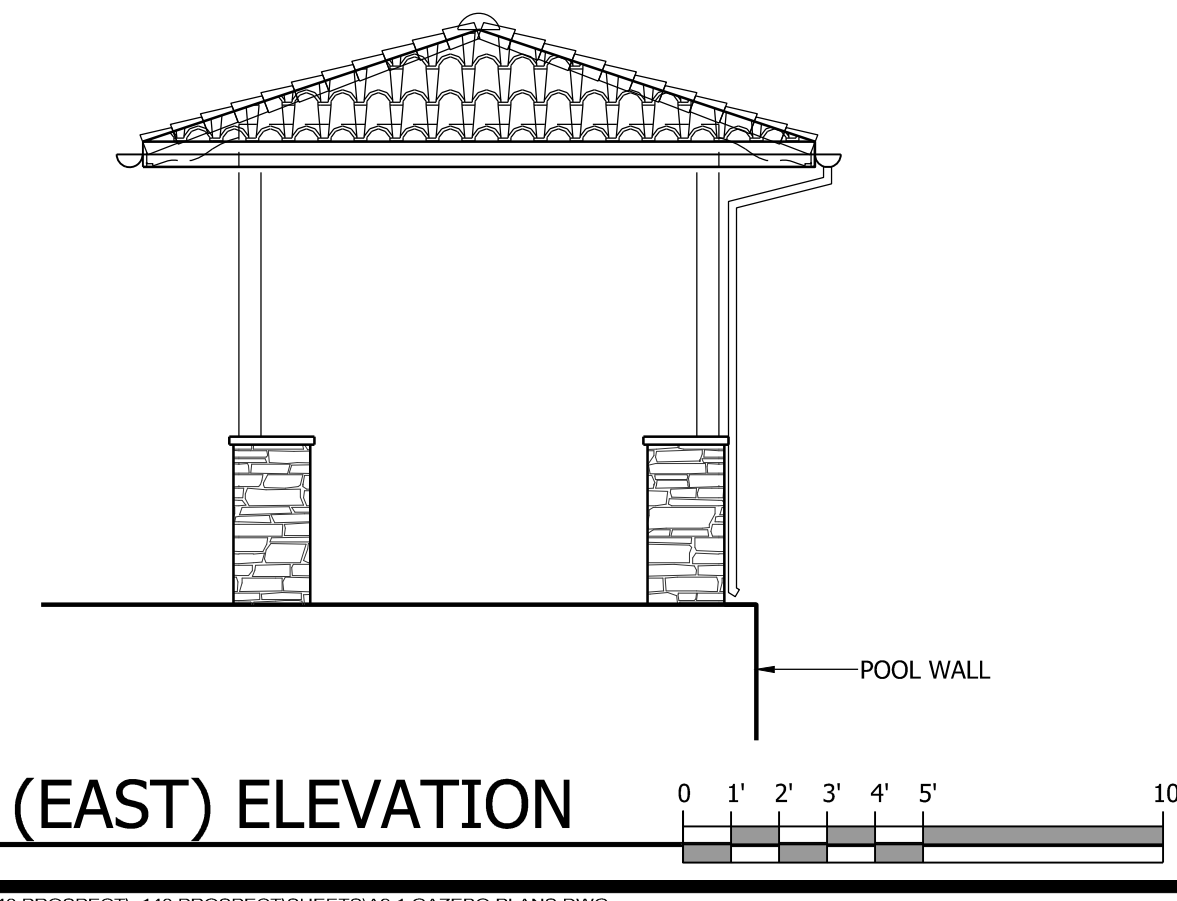
LEFT (WEST) ELEVATION

1/4" = 1'-0"



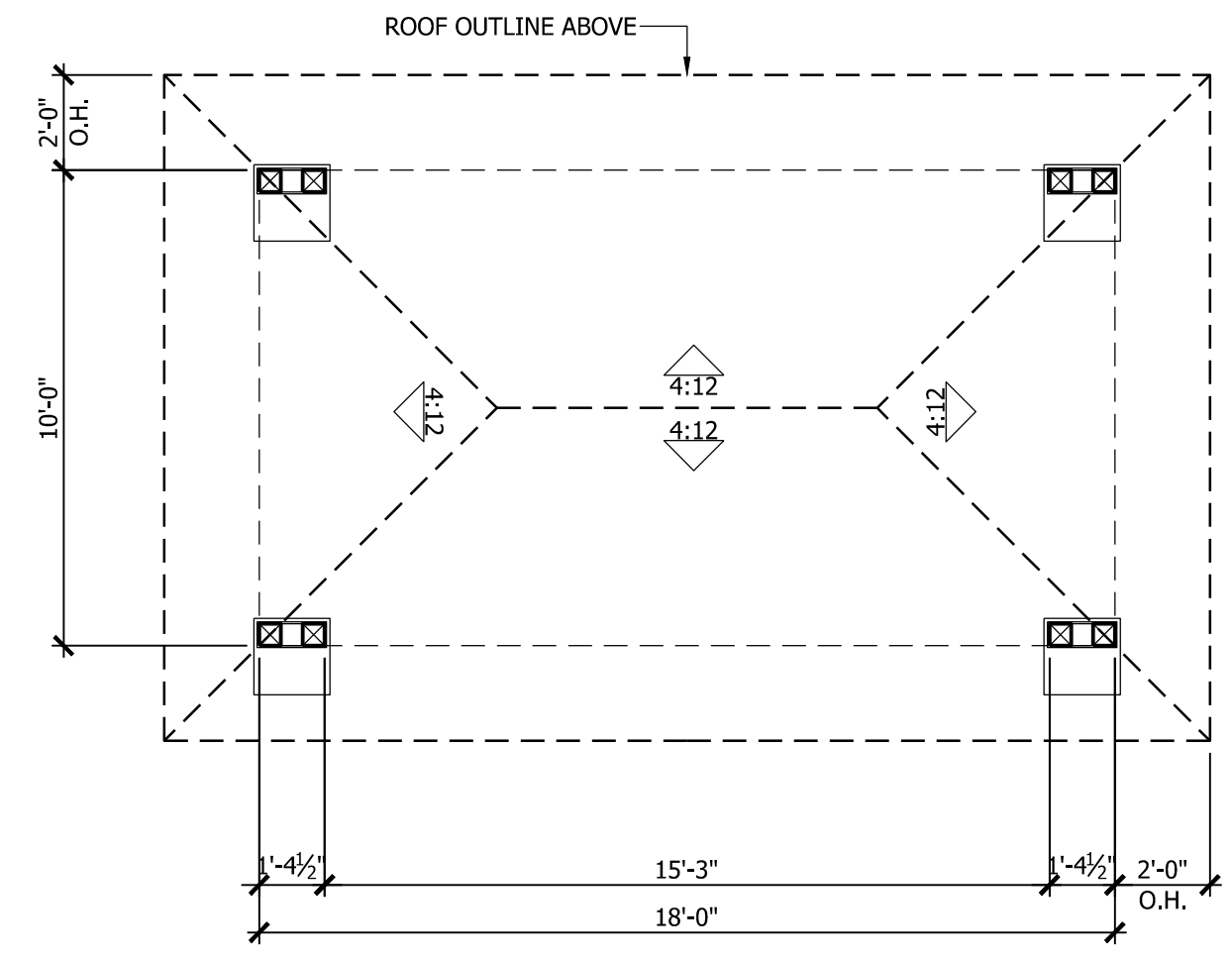
REAR (NORTH) ELEVATION

1/4" = 1'-0"



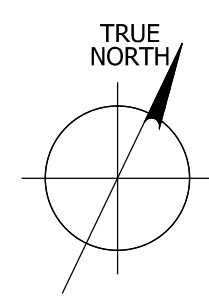
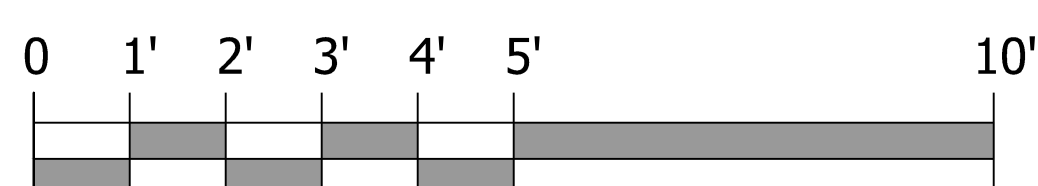
RIGHT (EAST) ELEVATION

1/4" = 1'-0"



140 PROSPECT GAZEBO FLOOR PLAN

1/4" = 1'-0"



REVISIONS	DATE

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GAZEBO PLANS

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LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934

SHEET:
A9.1

NEW ADU AND SITE FEATURES

APN: 529-44-021

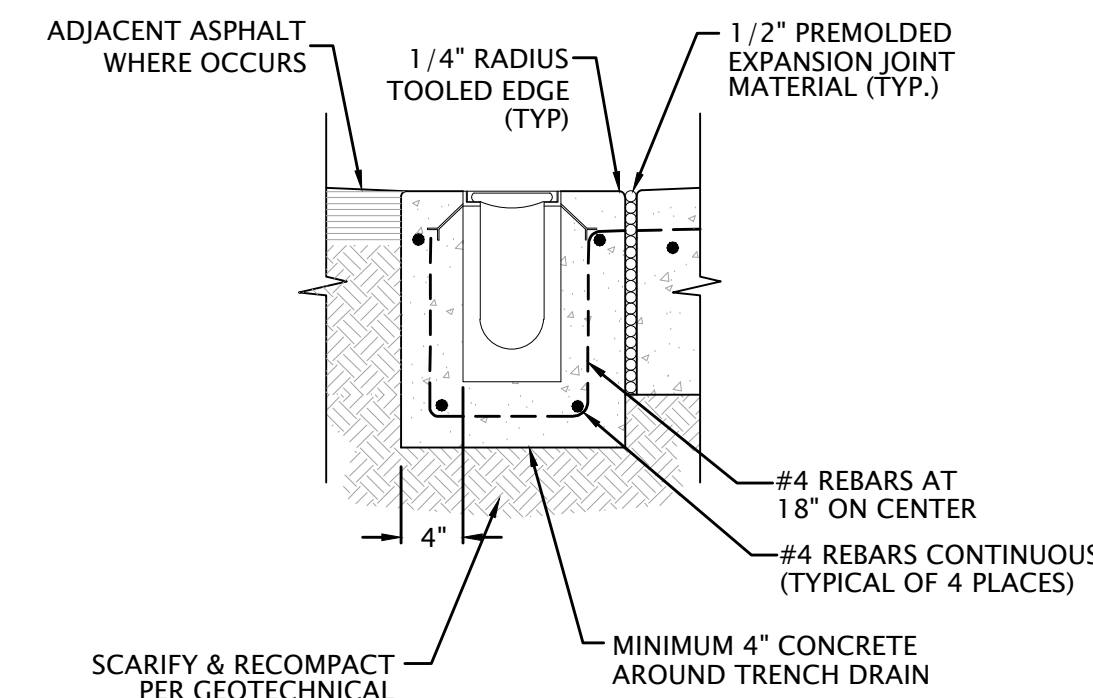
140 PROSPECT AVENUE, LOS GATOS, CA



Know what's below.
Call 811 before you dig.

GENERAL NOTES

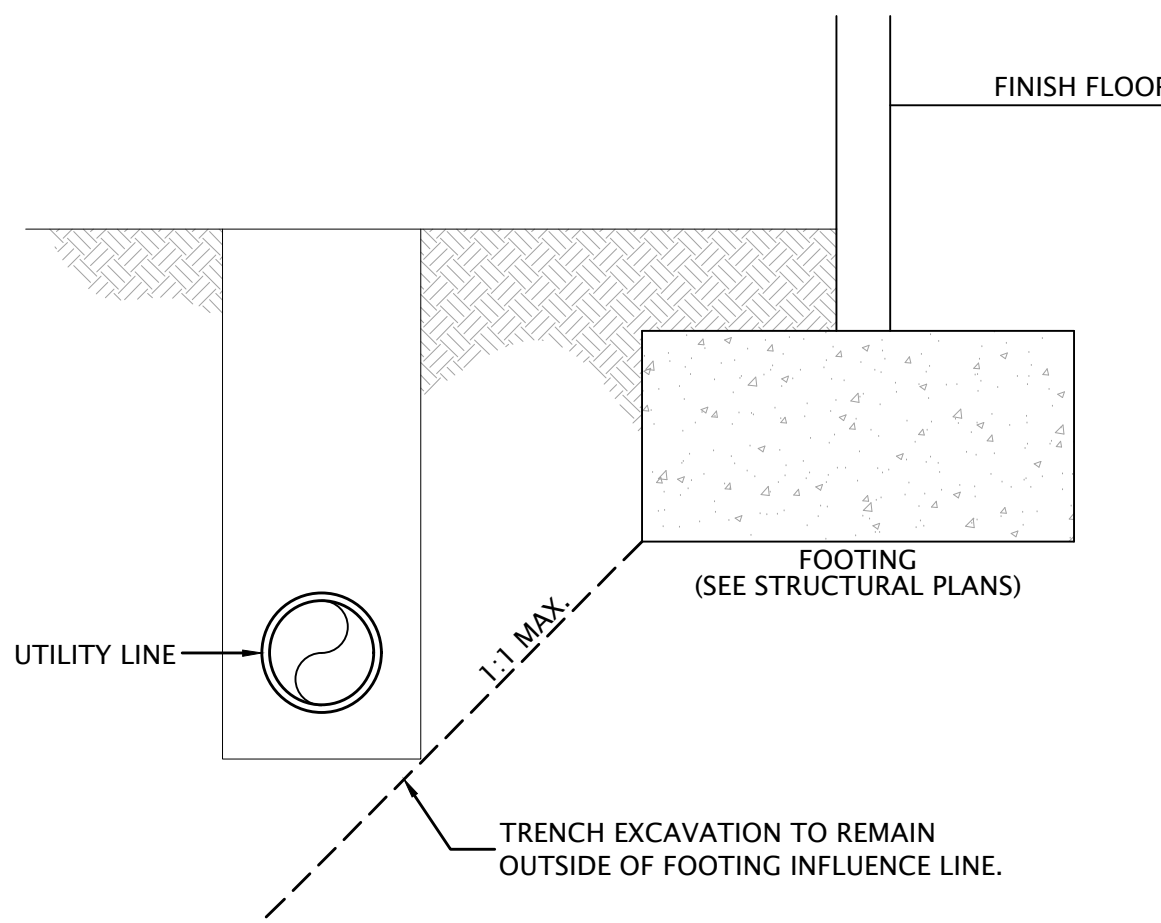
- GENERAL:
 - ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
 - COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
 - CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
 - SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY GKM ENGINEERS, AT (408) 656-5917 BEFORE ADJUSTING UTILITY DESIGN.
 - CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL GKM ENGINEERS AT (408) 656-5917 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
 - THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.
 - STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.
 - ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
 - ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.
 - CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
 - PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
 - ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY GKM, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. GKM ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.
 - WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
 - THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
 - CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
 - WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.
 - ALL PIPES SHALL HAVE A MINIMUM COVER OF 3" FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - BENCHMARK:.....



NOT TO SCALE

TRENCH DRAIN

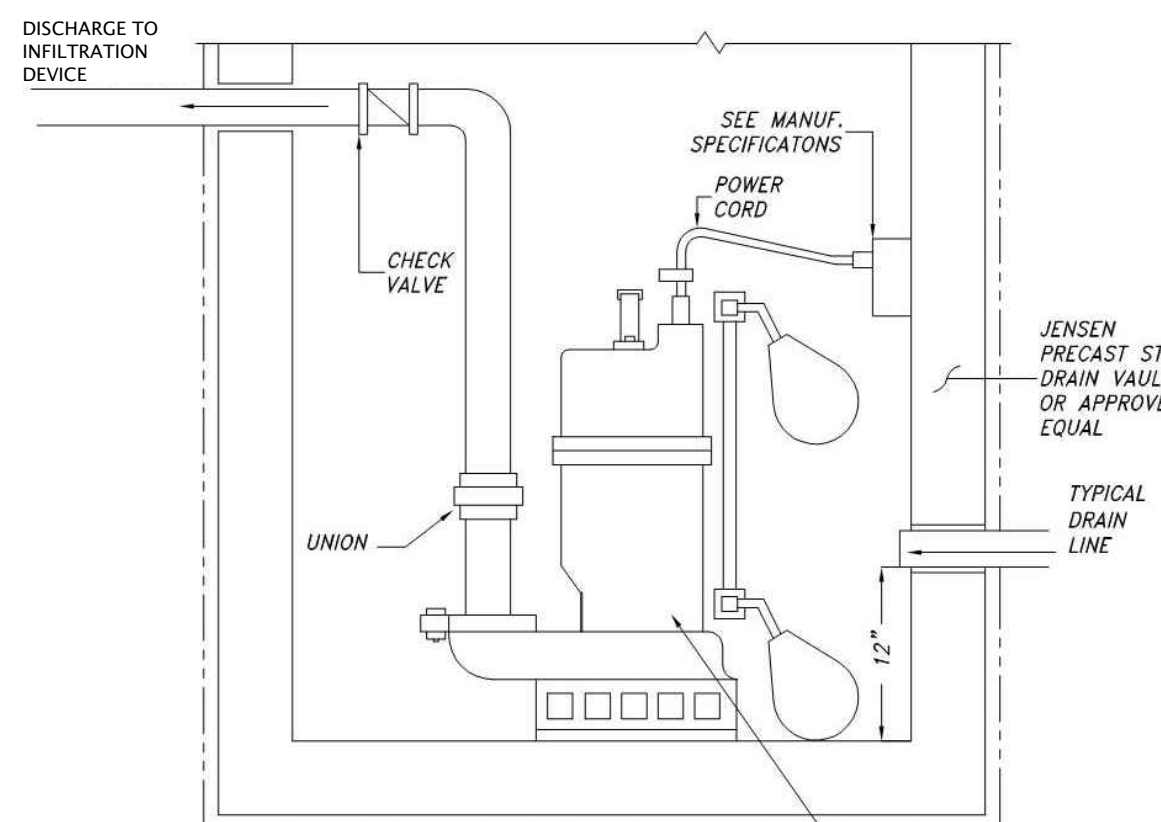
8



NOT TO SCALE

UTILITY LINE PARALLEL TO FOOTING

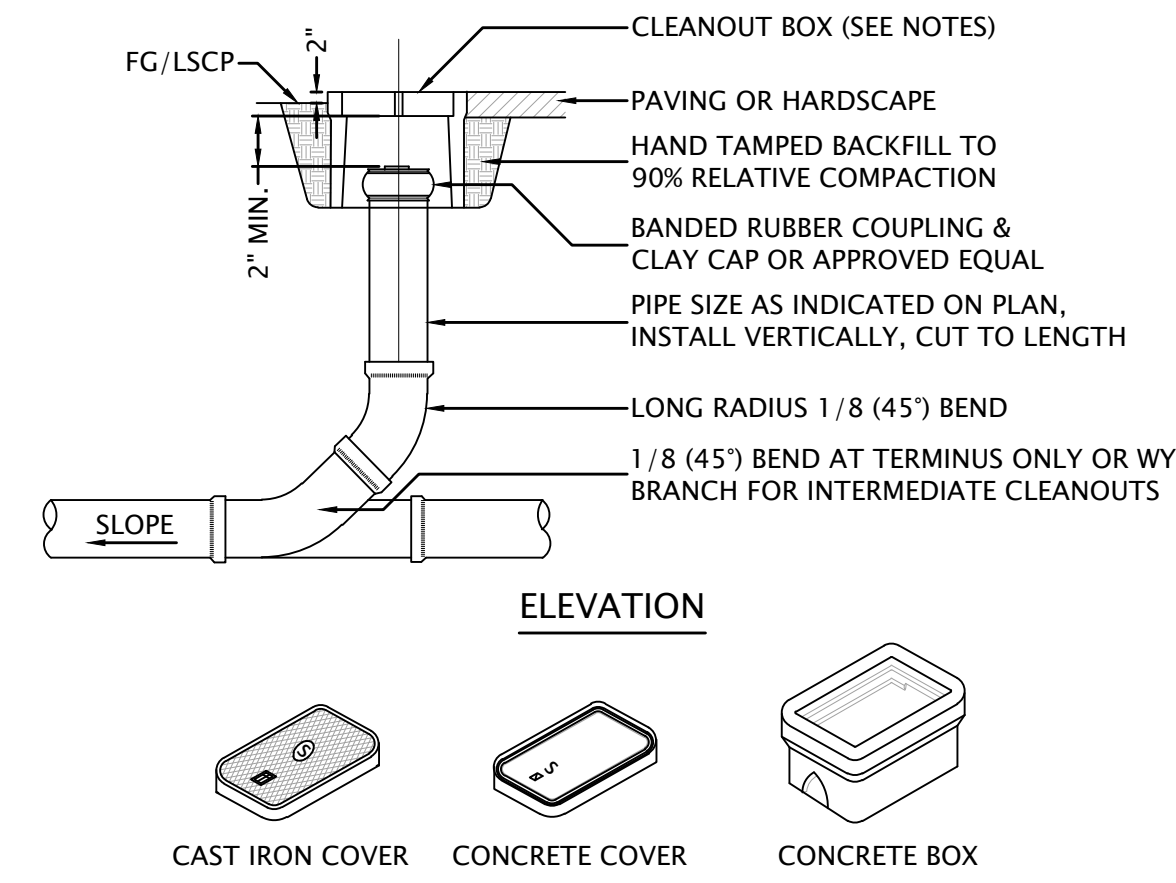
5



NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE AVAILABLE POWER AND ORDER THE PUMP AND CONTROLS ACCORDINGLY. WATERPROOFING - SEE PLANS BY OTHERS. EBARA SUBMERSIBLE PUMP MODEL EPD-3 WITH 1/3HP/60/115V SINGLE PHASE MOTOR, 20 GPM @ 20 TDH, OR APPROVED EQUAL.

SUMP PUMP

10



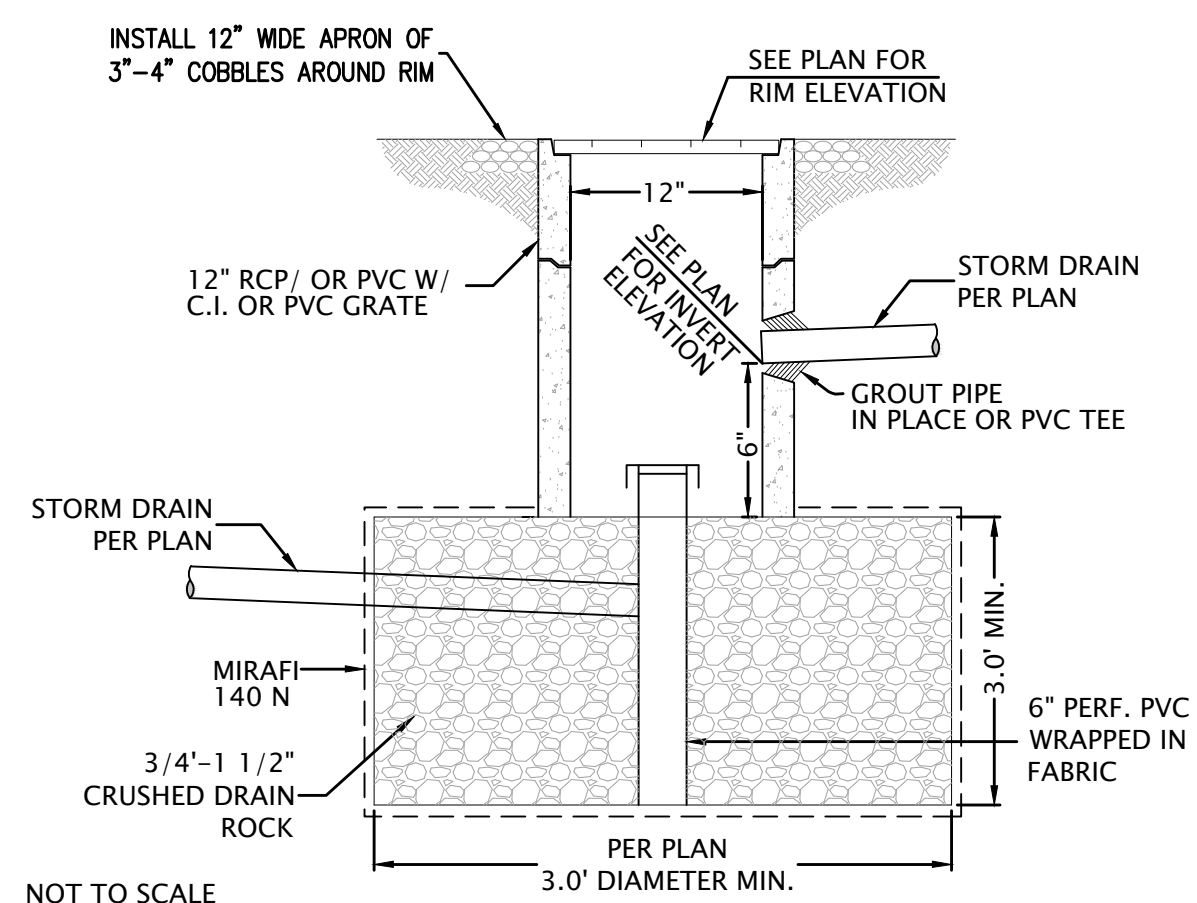
NOTES:

- A RECTANGULAR BOX AS SHOWN ABOVE SHALL BE USED FOR CLEANOUTS THAT ARE CAPPED USING A BANDED RUBBER COUPLING.
- CIRCULAR BOXES ARE PERMITTED FOR CLEANOUTS THAT ARE CAPPED WITH A SCREW TYPE CAP OR OTHER APPROVED TOP OPENING CAPS. TYPE AND MANUFACTURER SUBJECT TO APPROVAL BY ENGINEER.
- CIRCULAR BOXES INSTALLED IN SIDEWALK AREAS SHALL HAVE A SOLID COVER WITHOUT HOLES.
- APPROVED RECTANGULAR BOXES ARE:
 - CHRISTY CONCRETE PRODUCT B3 BOX WITH A B3D CONCRETE LID OR A B3C METAL LID, OR
 - BROOKS PRODUCTS, INC. NO.3 METER BOX WITH A NO.3 HEAVY DUTY CONCRETE LID OR A NO.3 CAST IRON TRAFFIC LID OR APPROVED EQUAL.
- CONCRETE LIDS ARE ACCEPTABLE FOR USE IN NON VEHICULAR TRAFFIC AREAS, METAL TRAFFIC RATED LIDS MUST BE USED IN TRAFFIC AREAS.
- ALL CLEANOUT BOX LIDS SHALL BE MARKED WITH A LETTER "S" OR THE WORD "SEWER".
- TERMINATE CLEANOUT AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.

NOT TO SCALE

CLEANOUT TO GRADE

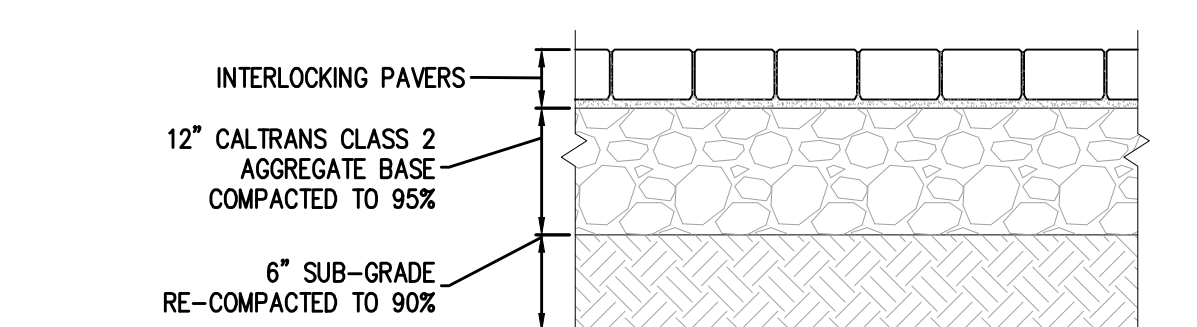
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NOT TO SCALE

INFILTRATION DEVICE

6



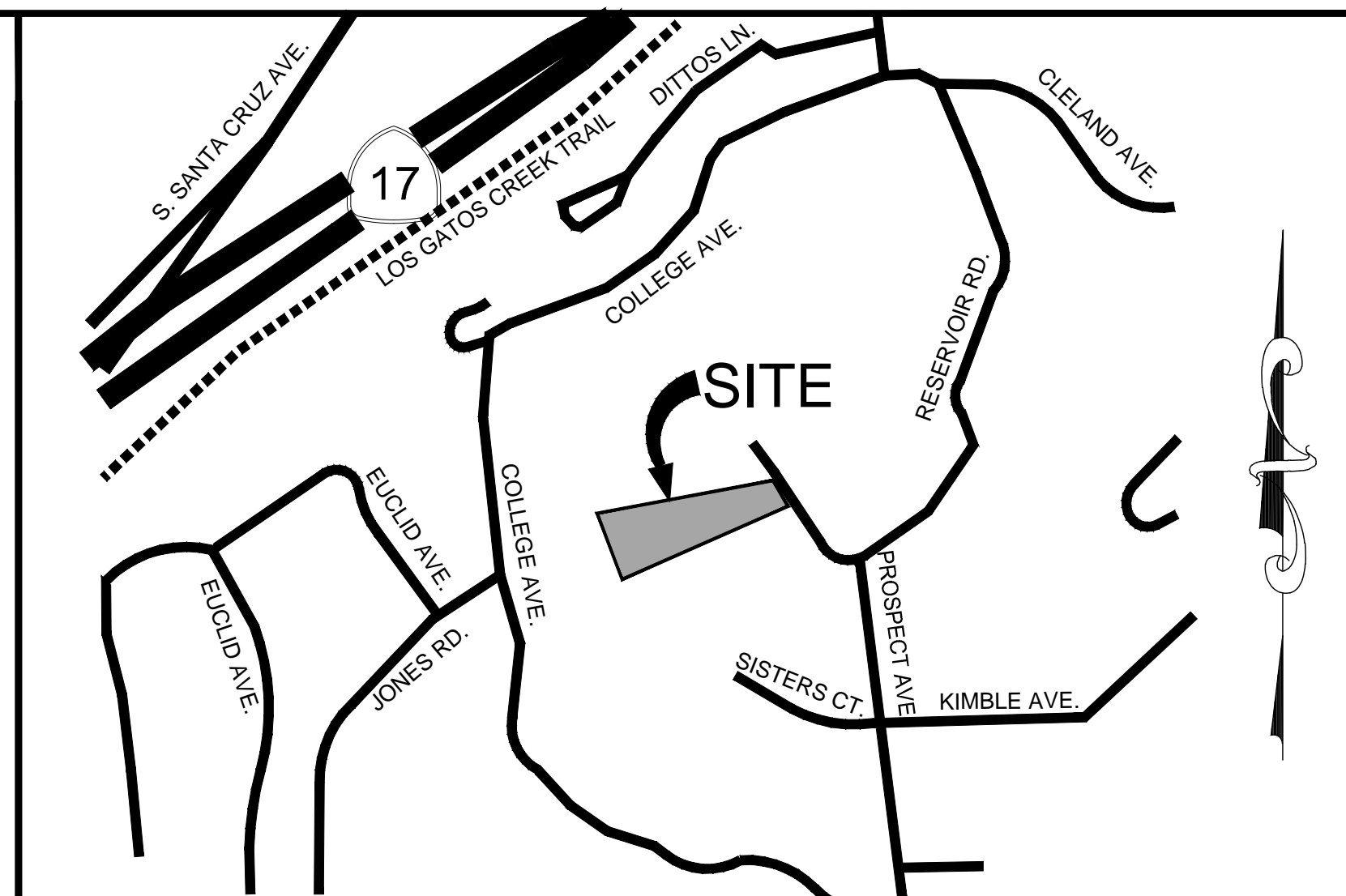
NOTES:

- REFER TO GEOTECHNICAL INVESTIGATION FOR INFORMATION NOT SHOWN OR NOTED.

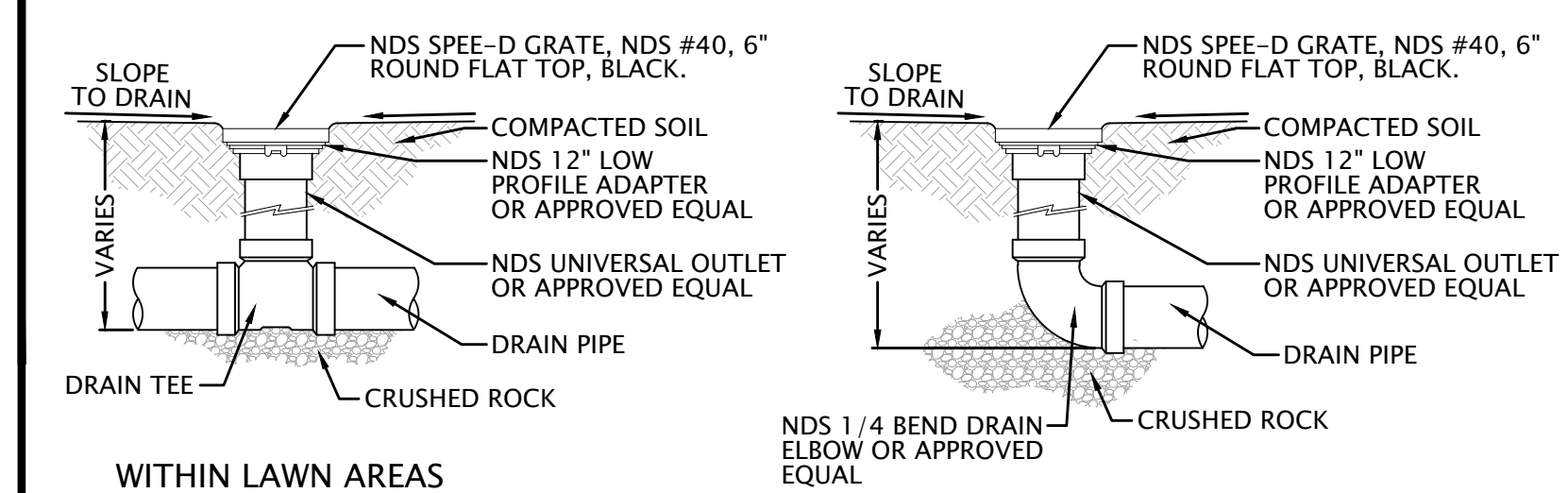
NOT TO SCALE

PARKING PAVEMENT SECTION

6



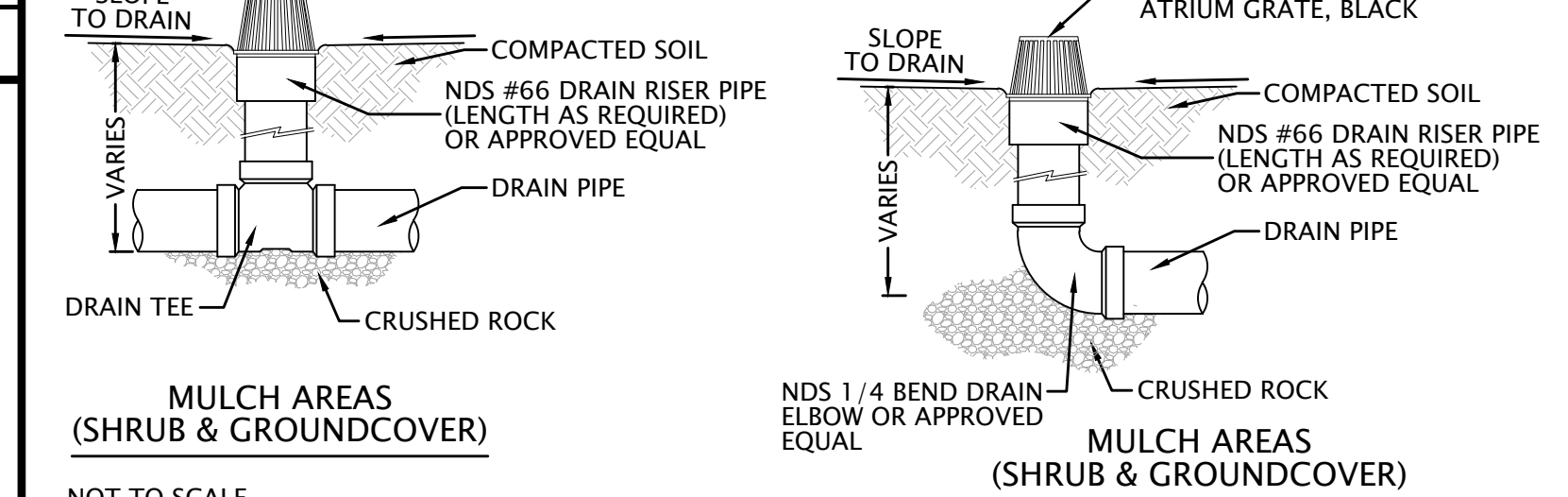
VICINITY MAP



NOT TO SCALE

AREA DRAIN

1



NOT TO SCALE

CONCRETE PAVEMENT SECTION

7

SHEET INDEX

- | | |
|------|---------------------------------------|
| C1.0 | COVER SHEET, DETAILS, & GENERAL NOTES |
| C2.0 | GRADING AND DRAINAGE PLAN EAST |
| C2.1 | GRADING AND DRAINAGE PLAN WEST |
| C3.0 | EROSION CONTROL PLAN |
| C4.0 | TOPOGRAPHIC SITE SURVEY EAST |
| C4.1 | TOPOGRAPHIC SITE SURVEY WEST |

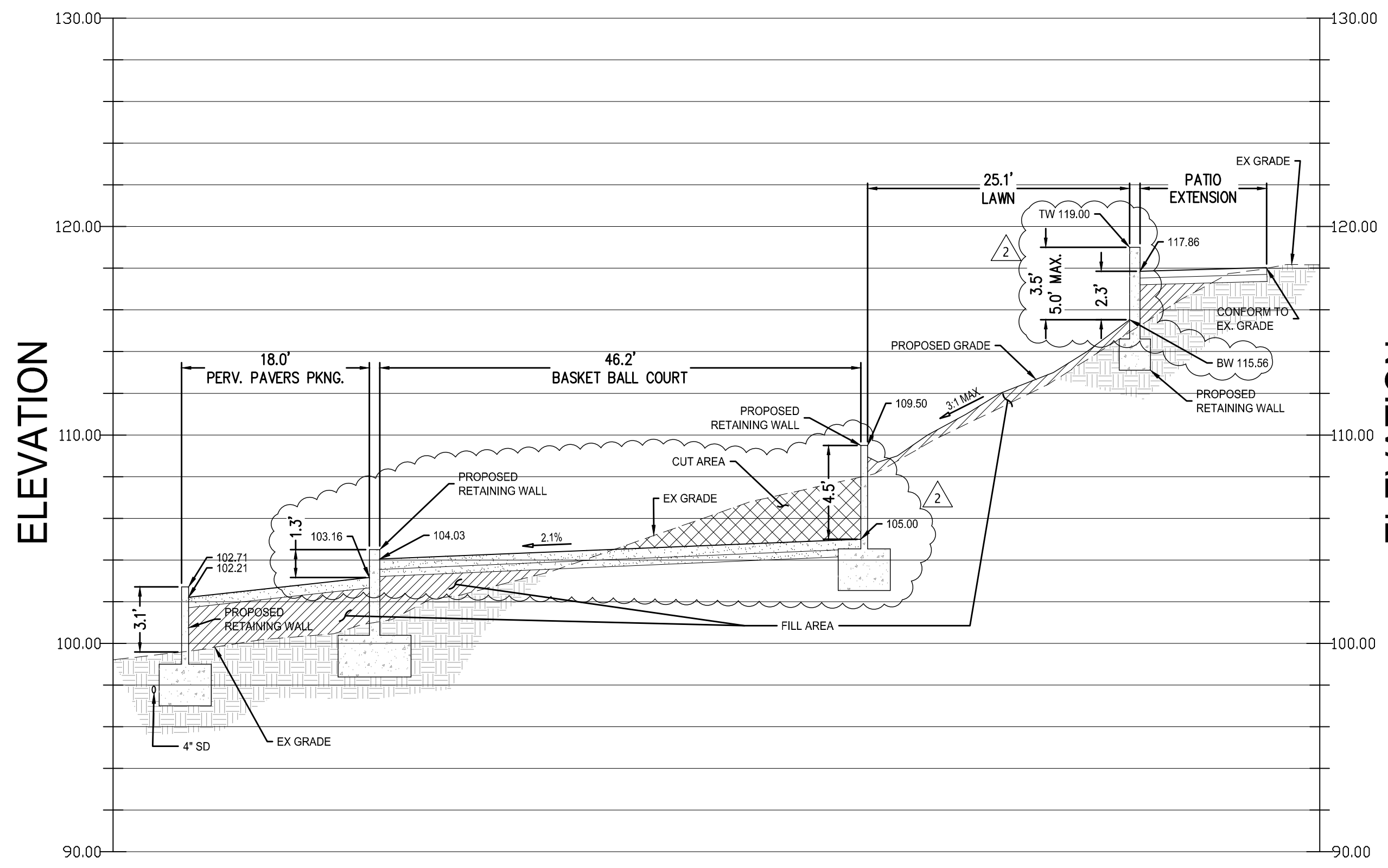


FOR PLANNING PURPOSES ONLY

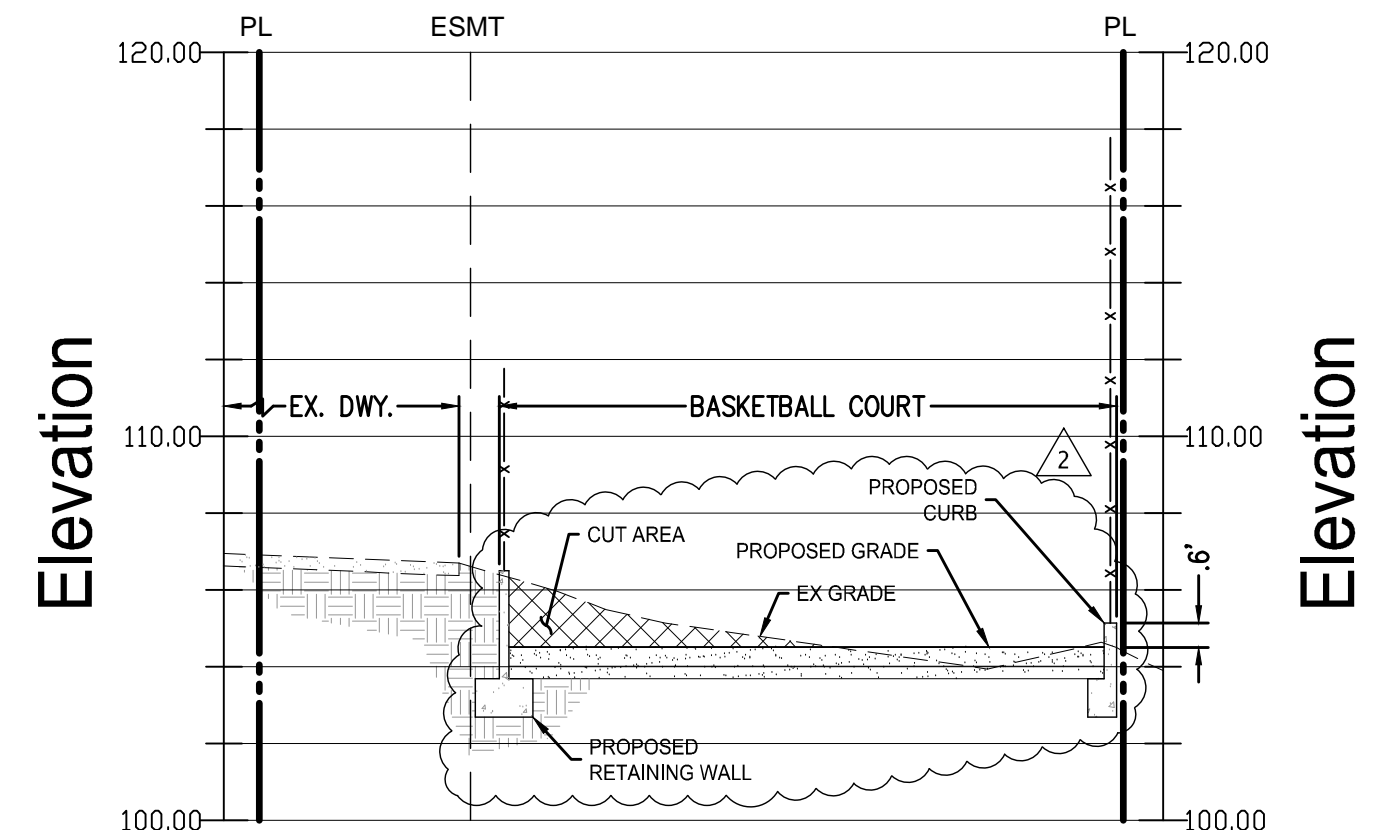
COVER SHEET, DETAILS AND GENERAL NOTES
NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS, CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C1.0
OF	6 SHEETS

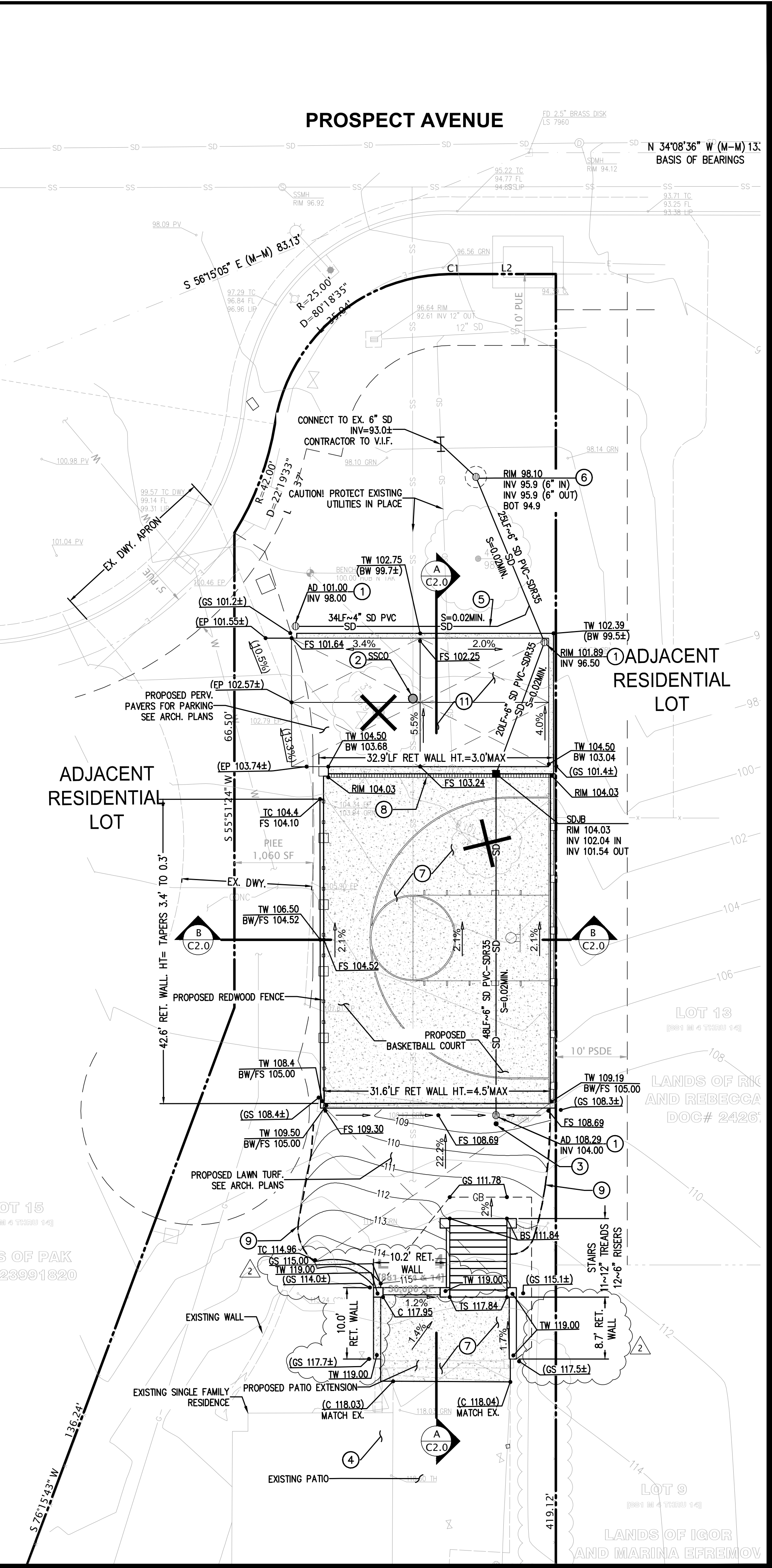
GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd., Suite 205
Los Gatos, CA 95032
(408) 656-5917
CKMengineering.com



SECTION A
SCALE: H: 1" = 10'
V: 1" = 5'



SECTION B
SCALE: H: 1" = 10'
V: 1" = 5'



GRADING AND DRAINAGE PLAN EAST

RAINWATER LEADER NOTE
All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

UNDERGROUNDING REQUIREMENTS NOTE
per the Town's Undergrounding Requirements, all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines shall be installed underground.

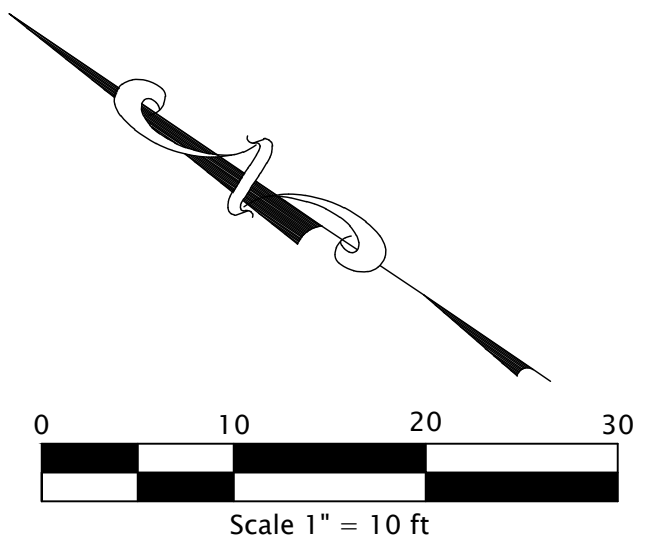
- CONSTRUCTION NOTES**
- 1 PROVIDE AREA DRAIN PER DETAIL 1/C1.0.
 - 2 ADJUST EXISTING STRUCTURE TO GRADE
 - 3 PROVIDE CLEAN OUT PER DETAIL 3/C1.0
 - 4 ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW
 - 5 SEE DETAIL 5/C1.0 FOR UTILITY LINE PARALLEL TO FOOTING.
 - 6 PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.
 - 7 NEW CONCRETE PAVING PER DETAIL 7/C1.0.
 - 8 PROVIDE TRENCH DRAIN PER DETAIL 8/C1.0
 - 9 LIMITS OF GRADING
 - 10 PROVIDE PUMP STATION PER DETAIL 10/C1.0
 - 11 NEW PAVERS PER DETAIL 11/C1.0. SEE ARCH. PLANS PAVES SPECIFICATIONS

LEGEND

	(CONCRETE PAVING)
	EASEMENT LINE
	SD STORM DRAIN LINE
	FM STORM DRAIN FORCE MAIN
	RIM STORM DRAIN JUNCTION BOX
	SD STORM DRAIN AREA DRAIN
	SD STORM DRAIN INFILTRATION DEVICE
	SD STORM DRAIN TRENCH DRAIN
	SS EXISTING SANITARY SEWER
	110 PROPOSED CONTOUR
	110 EXISTING CONTOUR
	GB GRADE BREAK
	R RIDGE LINE
	GS 102.18 LIMITS OF GRADING
	GS 102.18 SPOT GRADE
	EX GRADE
	OR (GS 102.18) DIRECTION OF FLOW
	X TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	INV	INVERT ELEVATION
AC	ASPHALTIC CONCRETE	IRR	IRRIGATION
AD	AREA DRAIN	L/S	LANDSCAPE
BOT	BOTTOM	MAX	MAXIMUM
BS	BOTTOM OF STEP	MIN	MINIMUM
BW	BACK OF WALK	NO.	NUMBER
C&G	CURB AND GUTTER	O.C.	ON CENTER
CL	CENTERLINE	PV	PAVEMENT
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RIM	RIM ELEVATION
DWY	DRIVEWAY	RWL	RAIN WATER LEADER
EP	EDGE OF PAVEMENT	RYSB	REAR YARD SETBACK
EX	EXISTING	SD	STORM DRAIN
FF	FINISH FLOOR	SDCB	STORM DRAIN CATCH BASIN
FL	FLOW LINE	SDCO	STORM DRAIN CLEAN OUT
FS	FINISH SURFACE	SDJB	STORM DRAIN JUNCTION BOX
FYSB	FRONT YARD SETBACK	STD.	STANDARD
GB	GRADE BREAK	YSB	SIDE YARD SETBACK
GS	GROUND SURFACE	TS	TOP OF STEP
HP	HIGH POINT	TYP.	TYPICAL
ICV	IRRIGATION CONTROL VALVE	W/	WITH



CROSS SECTION

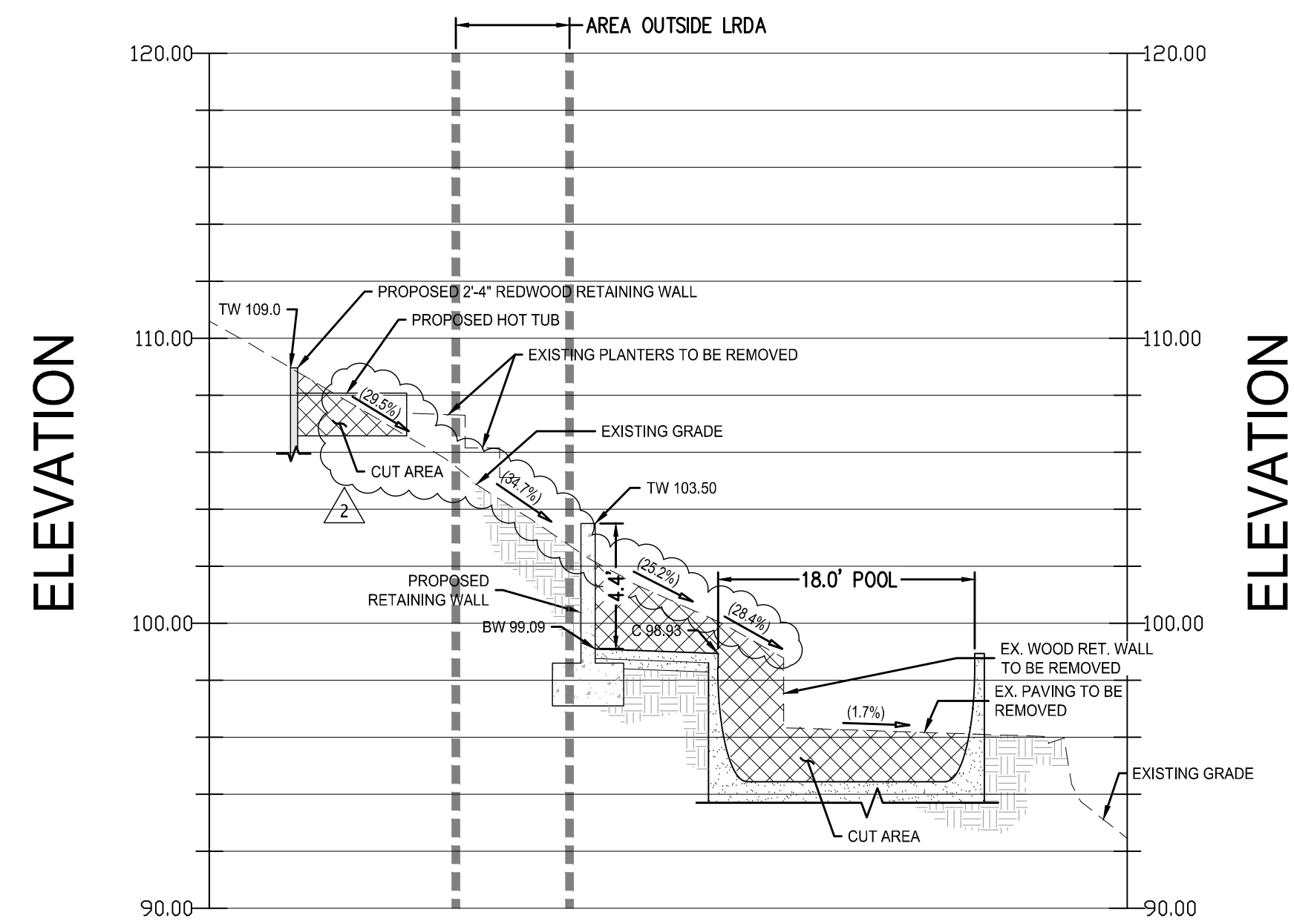
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161.85 Los Gatos Blvd., Suite 205
Los Gatos, CA 95032
CKMEngineering.com

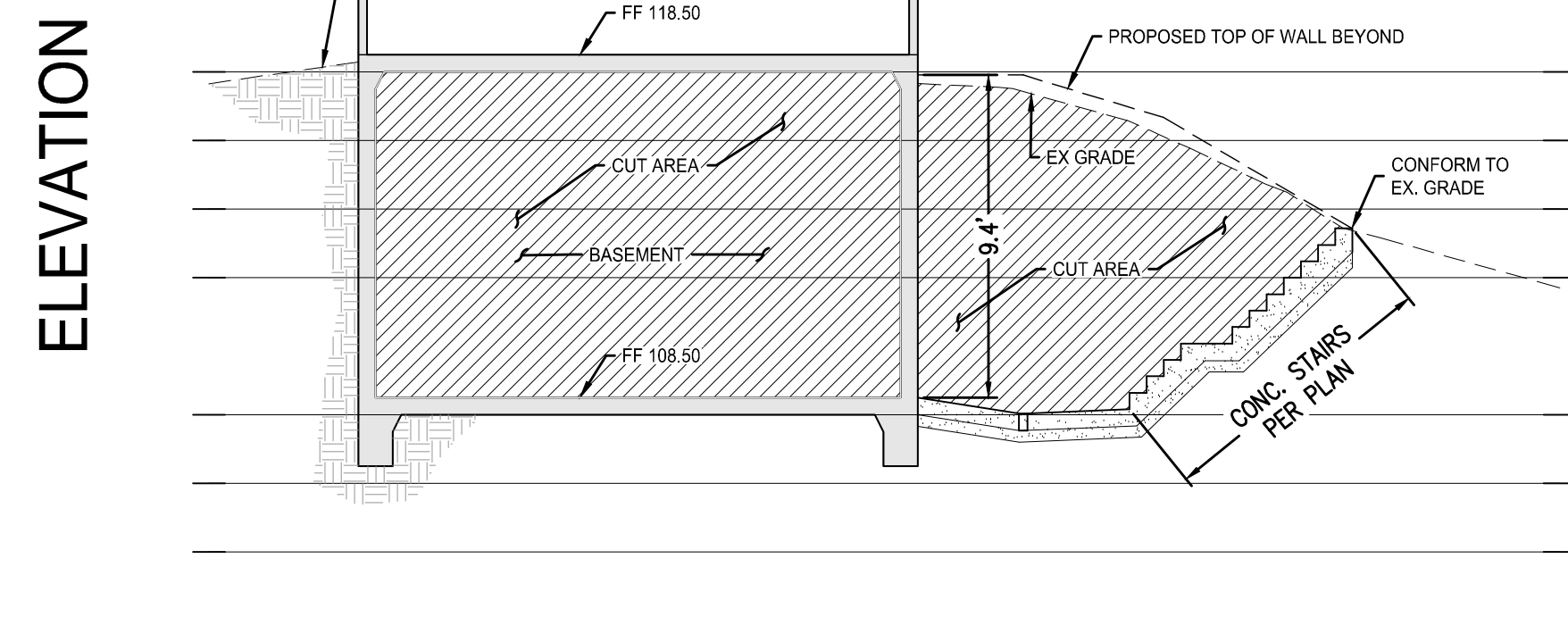
**GRADING AND DRAINAGE PLAN EAST
NEW ADU AND SITE FEATURES**
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DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C2.0
OF	6 SHEETS

REVISION
No. 1
BY
RESPONSE TO COMMENTS DATED 11/23/2020
RESPONSE TO COMMENTS DATED 6/9/2021

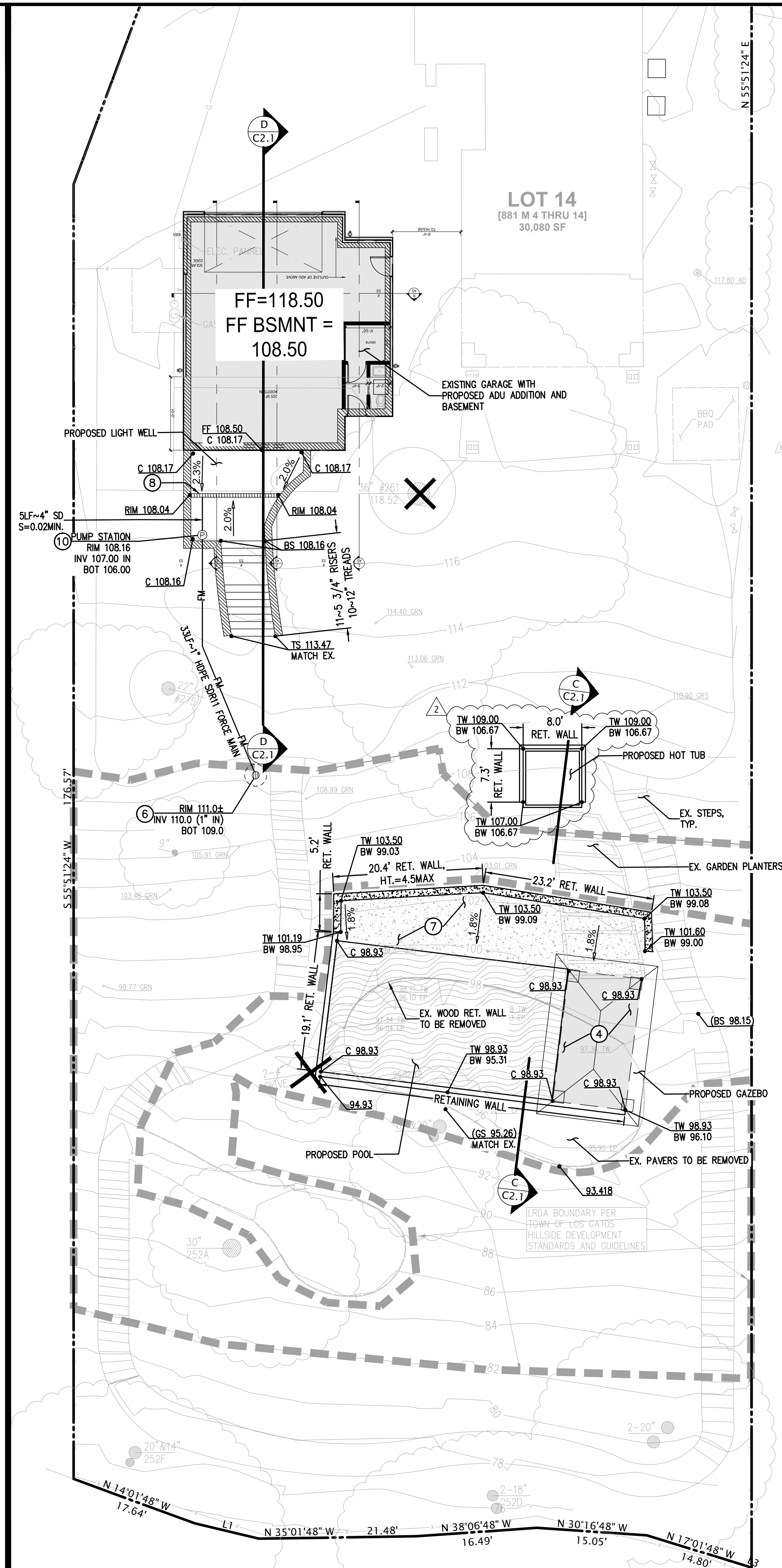


SECTION C
SCALE: H: 1" = 10'
V: 1" = 5'



SECTION D
SCALE: H: 1" = 10'
V: 1" = 5'

CROSS SECTIONS



GRADING AND DRAINAGE PLAN WEST

RAINWATER LEADER NOTE

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

CONSTRUCTION NOTES

- 1 PROVIDE AREA DRAIN PER DETAIL 1/C1.0.
- 2 ADJUST EXISTING STRUCTURE TO GRADE
- 3 PROVIDE CLEAN OUT PER DETAIL 3/C1.0
- 4 ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW
- 5 SEE DETAIL 5/C1.0 FOR UTILITY LINE PARALLEL TO FOOTING.
- 6 PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.
- 7 NEW CONCRETE PAVING PER DETAIL 7/C1.0.
- 8 PROVIDE TRENCH DRAIN PER DETAIL 8/C1.0
- 9 LIMITS OF GRADING
- 10 PROVIDE PUMP STATION PER DETAIL 10/C1.0
- 11 NEW PAVERS PER DETAIL 11/C1.0. SEE ARCH. PLANS PAVER SPECIFICATI

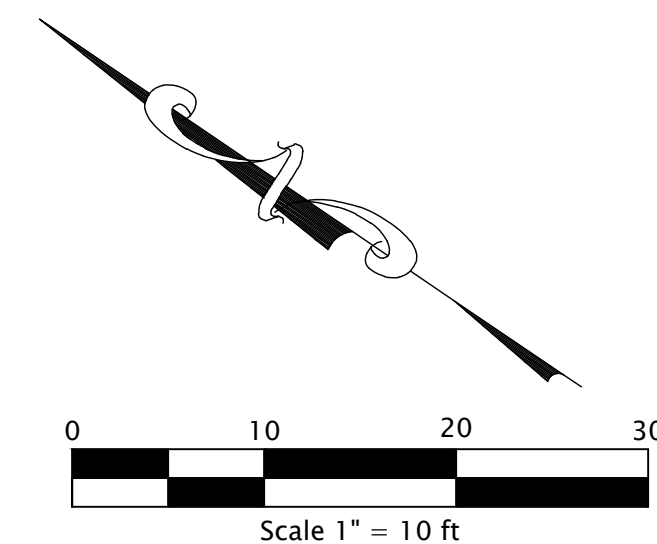
PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

Project Phase Number:			
Total Site (acres):	0.691	Total Area of Site Disturbed (acres):	N/A
	Existing Conditions	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced	New
Roof Area(s)	3,364	751	461
Pools	0	420	258
Sidewalks, Patios, Paths, etc	4,584	0	3,137
Streets (Public)	0	0	0
Streets (Private)	0	0	0
Total Impervious Surfaces	7,948	1,171	3,856
Pervious Surfaces			
Landscaped Areas	22,142	1,003	0
Pervious Paving	0	0	0
Other Pervious Surfaces (green roof, etc.)	0	0	0
Total Pervious Surfaces:	22,142	1,003	0
Total Proposed Replaced + New Impervious Surfaces:		5,027	
Total Proposed Replaced + New Pervious Surfaces:		1,003	

EARTHWORK QUANTITIES

SITE ELEMENT	CUYD CUT***	CUYD FILL***	MAX FT. CUT	MAX FT. FILL
GAZEBO	2.19	6.7	-2.1	+2.8
GARAGE BASEMENT & LIGHT WELLS	326.0	0.0	-9.4	0.0
POOL, POOL PATIO, & HOT TUB	68.8	0.0	-3.5	0.0
DRIVEWAY & PARKING	0.0	27.0	0.0	+2.0
TURF, SPORT COURT & PATIO EXTENSION	19.0	57.6	-3.4	+2.6
TOTAL	415.7	91.3		

- * INCLUDES CUT FOR BASEMENT & LIGHT WELL EXCAVATION
- ** EXCLUDES CUT FOR POOL EXCAVATION
- *** CUT AND FILL YARDAGE IS TAKEN FROM FINISHED SURFACE TO FINISHED SURFACE INCLUDING BASEMENT AND POOL EXCAVATIONS. CUT AND FILL YARDAGE DOES NOT INCLUDE BASE ROCK OR FOUNDATION EXCAVATIONS



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 Los Gatos, CA 95032
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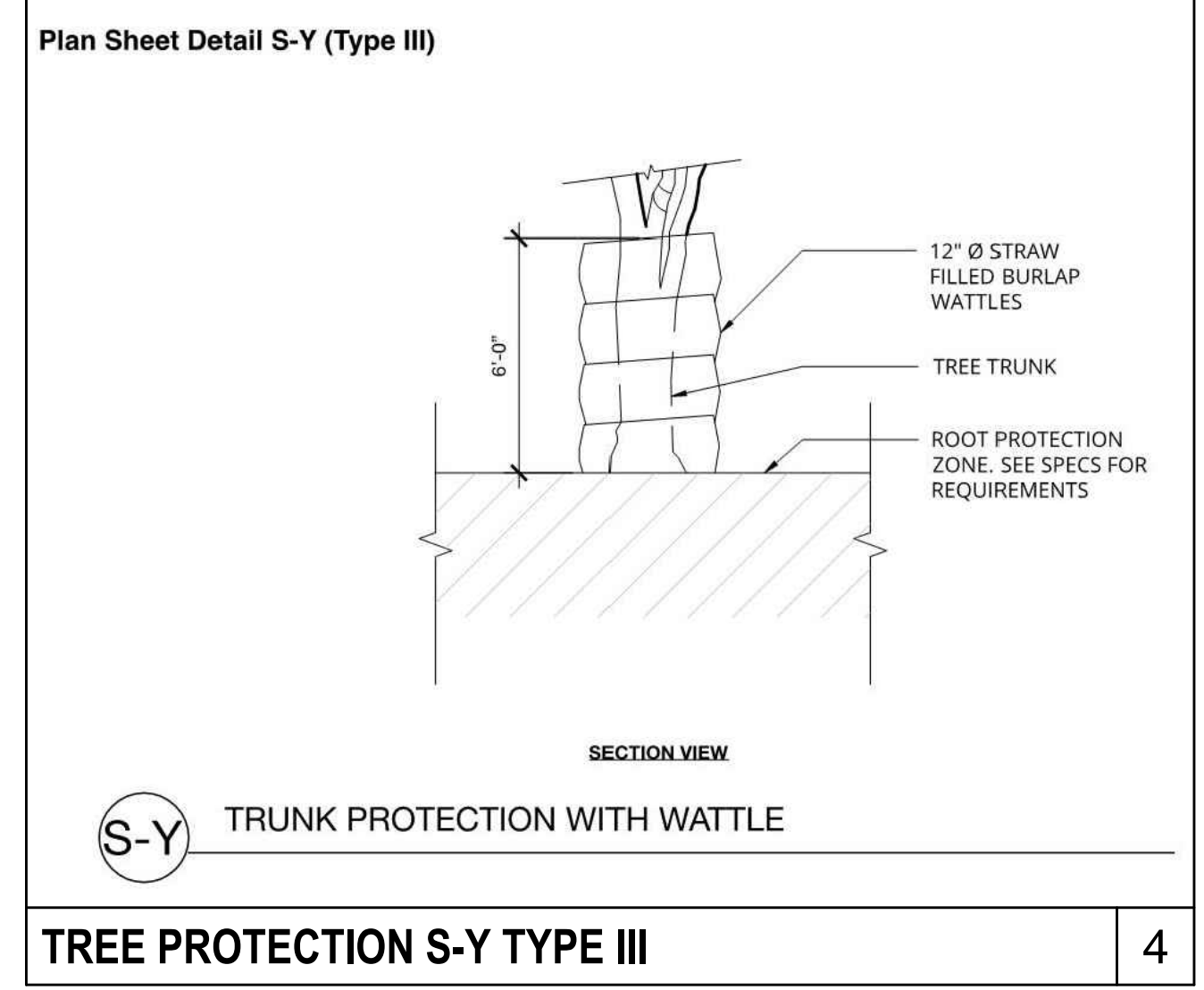
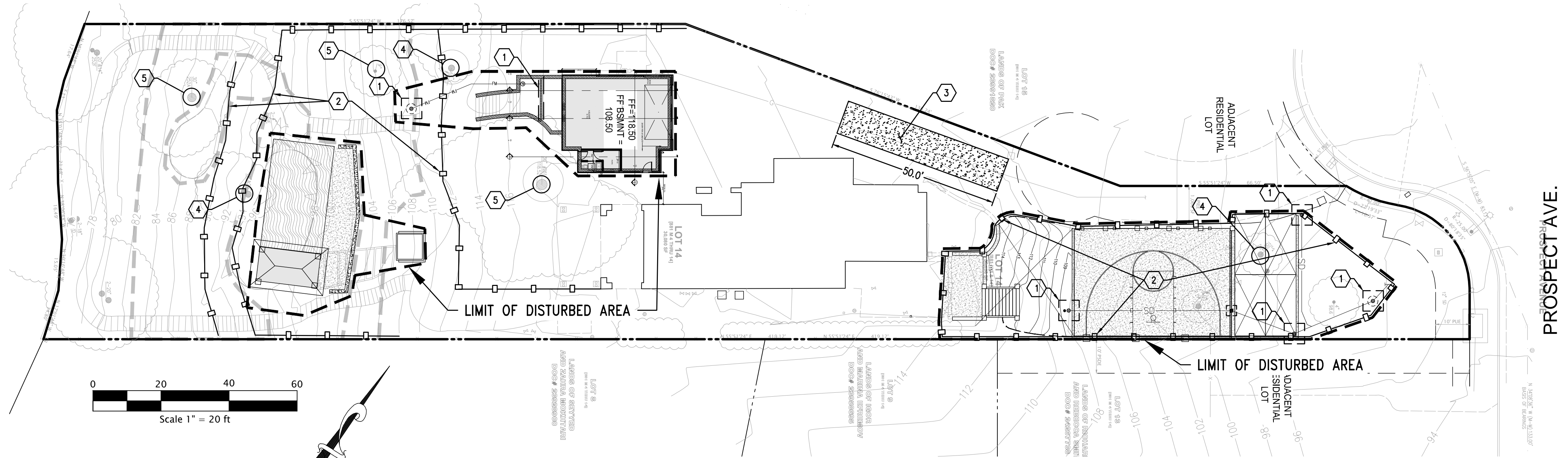
CALIFORNIA
 GRADING AND DRAINAGE PLAN WEST
 NEW ADU AND SITE FEATURES
 APN: 529-44-021
 140 PROSPECT AVENUE
 LOS GATOS

REVISION	BY	NO.	DATE	DESCRIPTION
1				
2				
3				
4				
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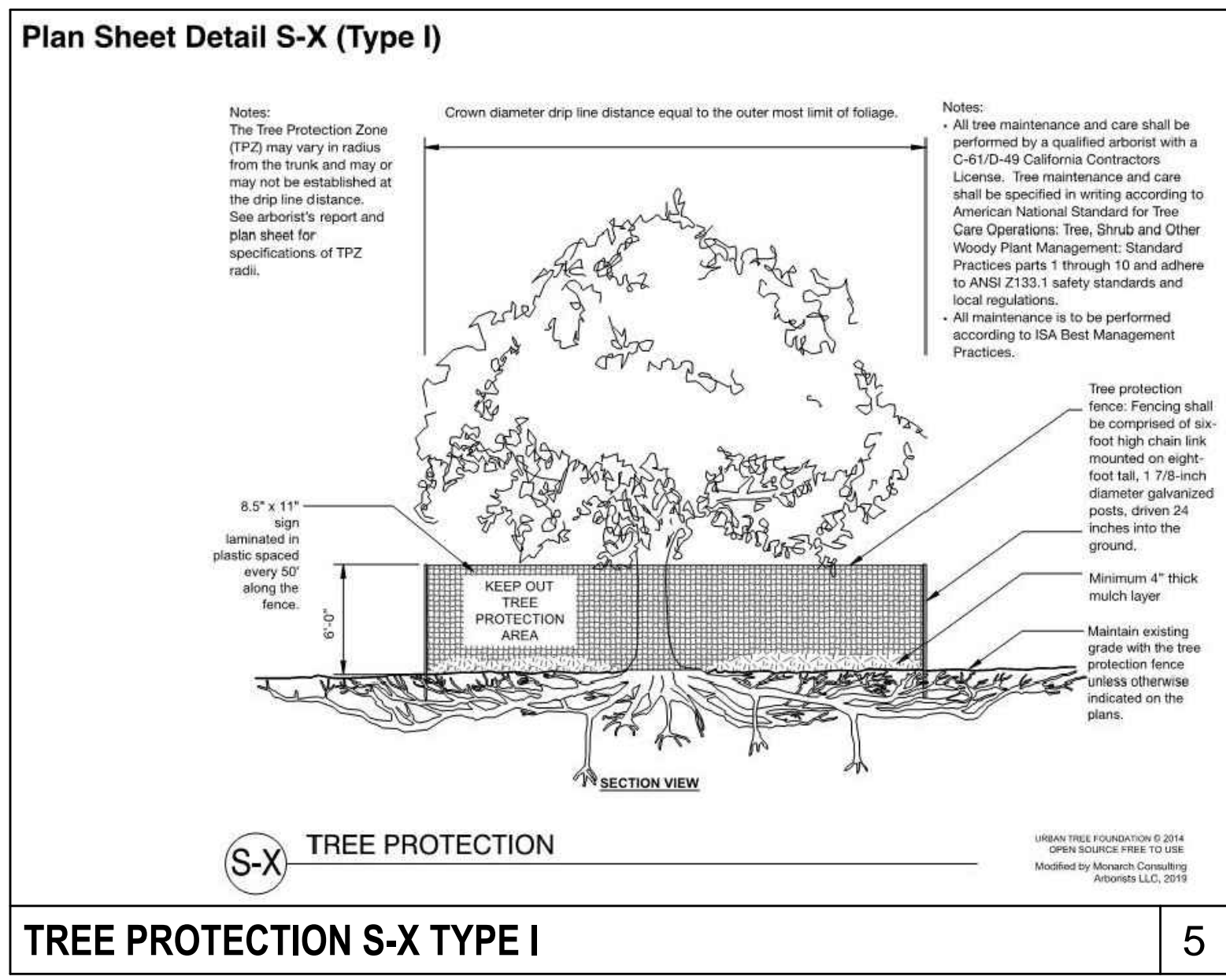
DATE: July 2021
 SCALE: AS SHOWN
 DESIGNER: GM
 DRAFTER: GM
 JOB: A200204
 SHEET: **C2.1**
 OF 6 SHEETS

EROSION CONTROL NOTES

- EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 15, OR UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
- CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (GREATER THAN 3" BUT SMALLER THAN 6" IN DIAMETER) AT LEAST TWELVE (12) INCHES THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AND MAINTAINED IN PLACE AROUND EACH STORM INLET AS INDICATED ON THE DEMOLITION PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
- FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
- AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAR THE OUTLET PIPE OF ANY BLOCKAGE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.



TREE PROTECTION S-Y TYPE III 4

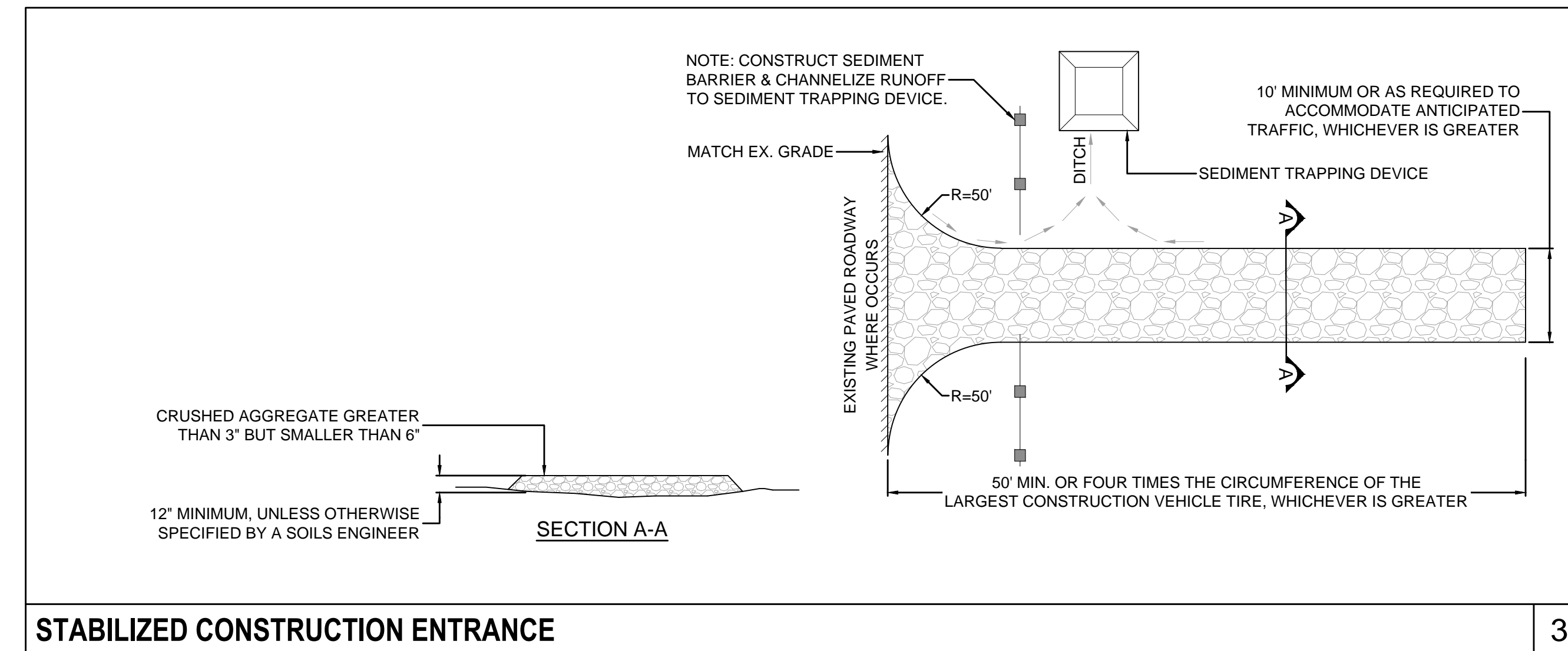
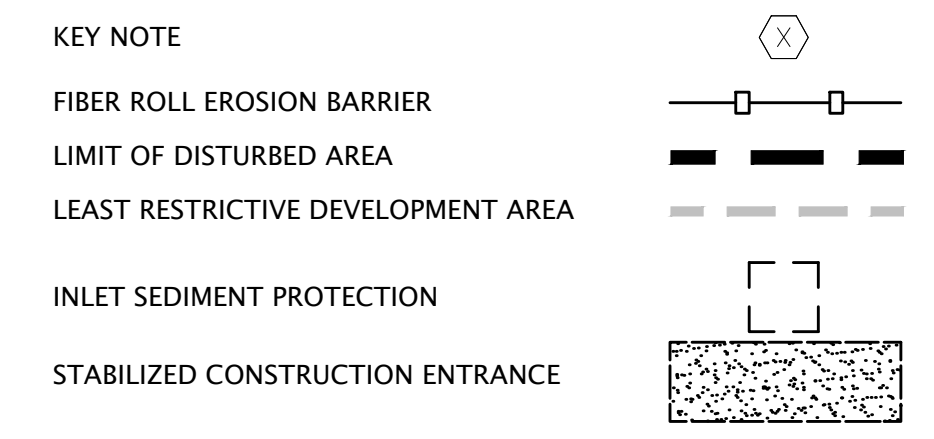


TREE PROTECTION S-X TYPE I 5

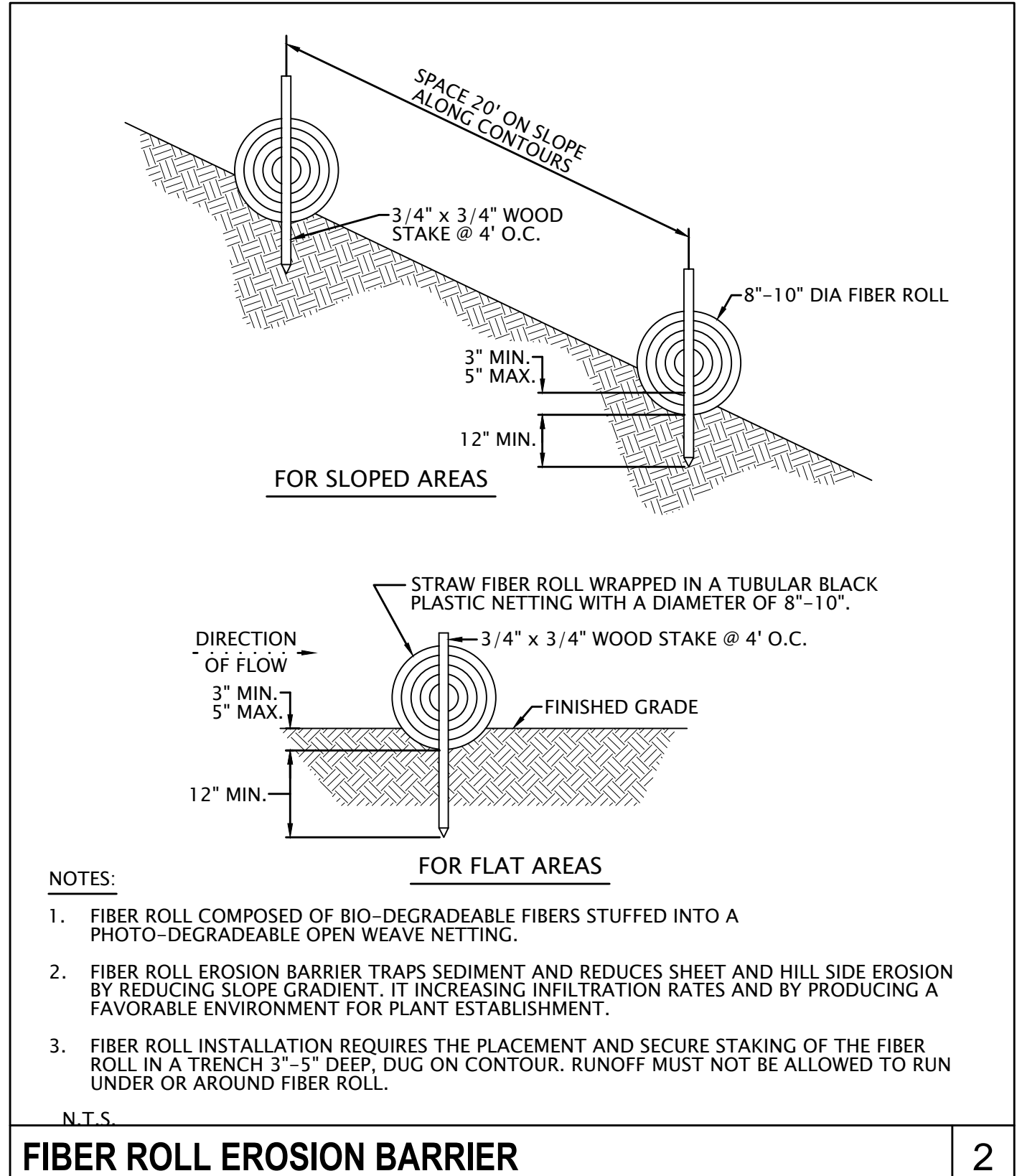
EROSION CONTROL NOTES

- PROVIDE INLET PROTECTION PER DETAIL 1 THIS SHEET.
- PROVIDE FIBER ROLL EROSION BARRIER PER DETAIL 2 THIS SHEET.
- PROVIDE CONSTRUCTION ENTRANCE PER DETAIL 3 THIS SHEET.
- TREE PROTECTION S-Y TYPE III, PER DETAIL 4 THIS SHEET
- TREE PROTECTION S-X TYPE I, PER DETAIL 5 THIS SHEET

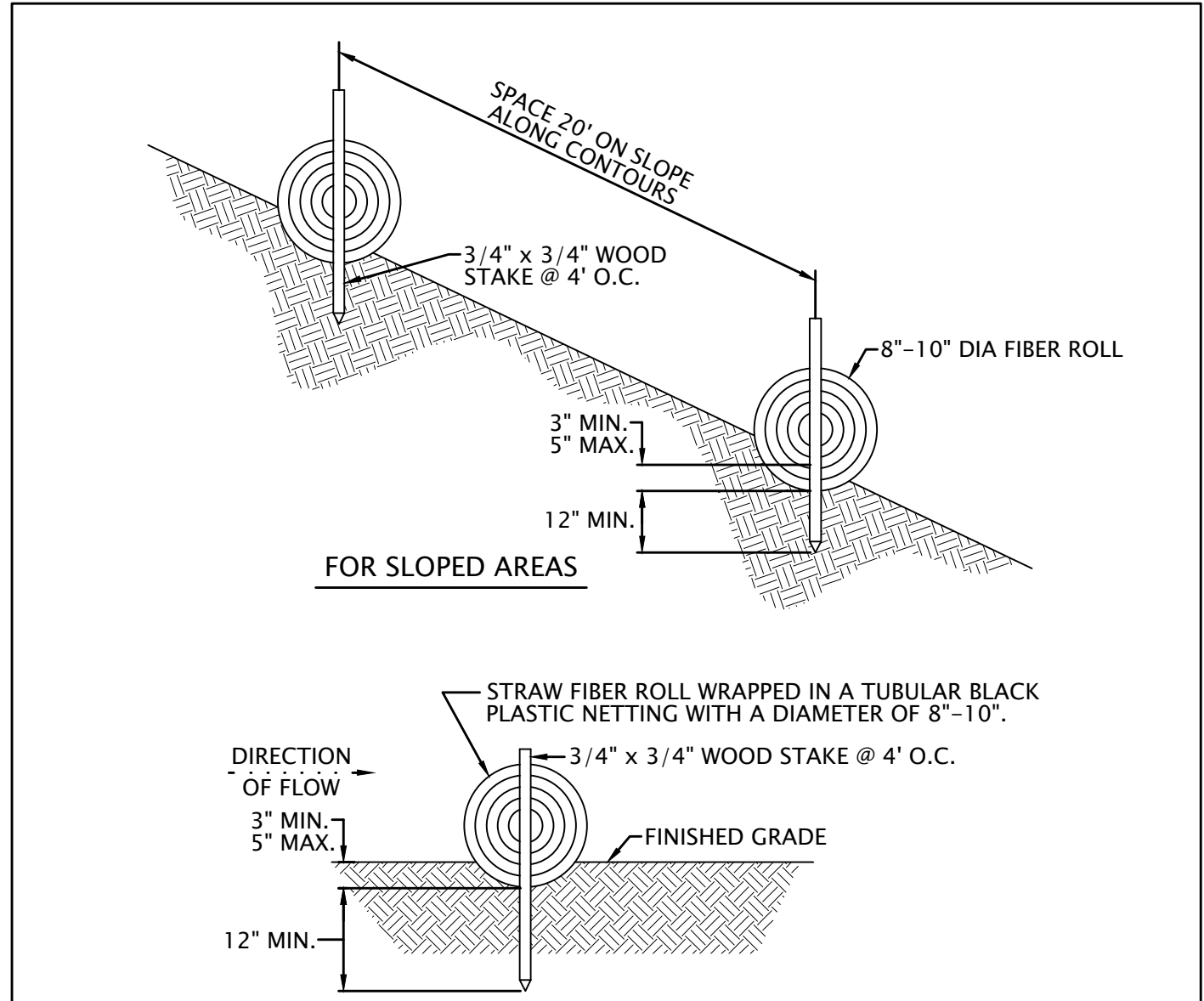
LEGEND



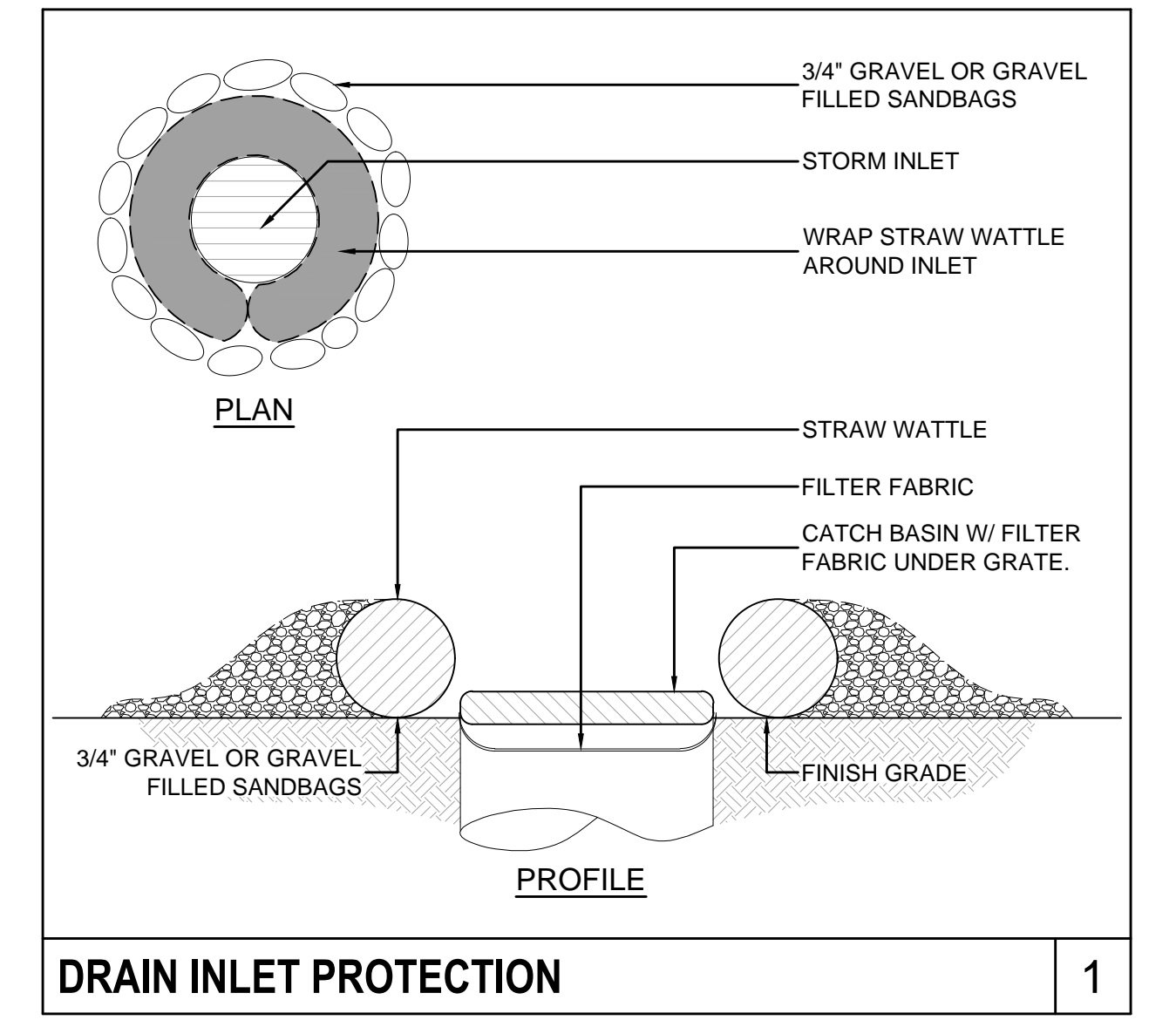
STABILIZED CONSTRUCTION ENTRANCE 3



1



2

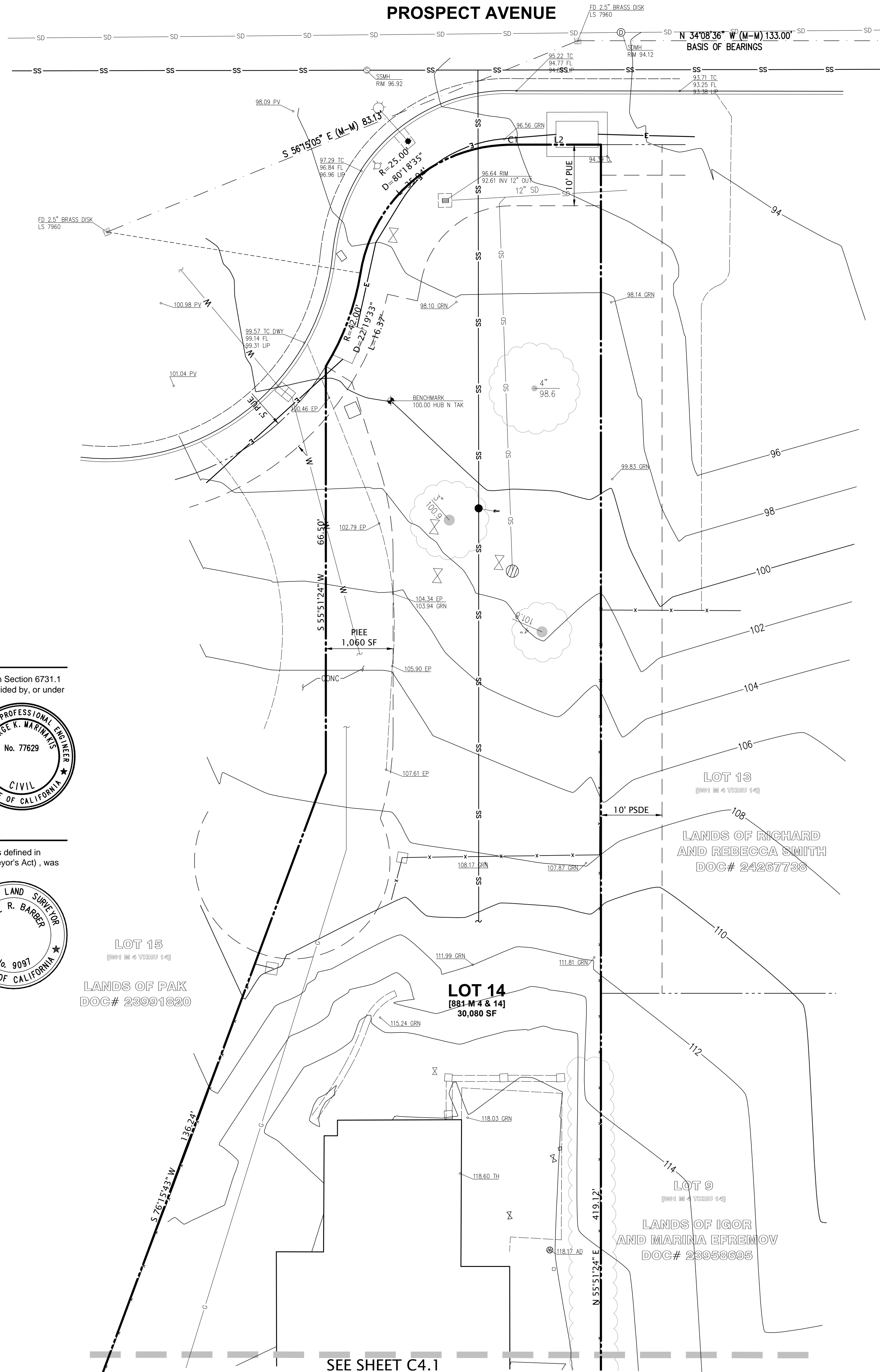


1

BY					
REVISION					
No.					
DATE	11/25/2020				
RESPONSE TO COMMENTS DATED	6/9/2021				
GKM Engineering CIVIL ENGINEERING • SURVEYING • LAND PLANNING 16185 Los Gatos Blvd., Suite 205 Los Gatos, Ca 95032 (408) 656 5917 CKMengineering.com					
EROSION CONTROL PLAN NEW ADU AND SITE FEATURES APN: 529-44-021 140 PROSPECT AVENUE LOS GATOS, CALIFORNIA					
DATE	July 2021				
SCALE	AS SHOWN				
DESIGNER	GM				
DRAFTER	GM				
JOB	A200204				
SHEET	C3.0				
OF	6 SHEETS				

FOR PLANNING PURPOSES ONLY

PROSPECT AVENUE



NOTES

- The boundary easements, and other encumbrances shown on this drawing are based solely upon information contained in the following documents: Tract No. 10275 Recorded in the county of Santa Clara Book 881 of Maps Page 4-14. No liability is assumed for matters of record not stated in said documents that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- Benchmark:**
A temporary benchmark was set on a hub and tack on site
Assumed Elevation: 100.00
- APN: 529-44-021
- Basis of Bearings:**
The bearing of North 34°08'36" West taken on the centerline of Prospect Ave. as shown on that certain Tract Map filed for record on March 9th, 2015 in Book 881 of Maps at Page 4-14, Santa Clara County Records was taken as the Basis of all Bearings shown hereon.

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
MONUMENT LINE	---
BUILDING LINE WITH DOOR	---
BENCHMARK	+
CLEAN OUT	•
GAS METER	⊗
UTILITY POLE W/ GUY WIRE	⊙
VALVE	×
CATCH BASIN / DROP INLET	⊕
WATER METER	⊕
UTILITY BOX (SIZE VARIES)	⊕
SIGN	+
POST	+
TREE W/ SIZE AND ELEVATION	⊙
SPOT ELEVATION	•
CURB	---
CURB AND GUTTER	---
CONCRETE	---
FENCE	---
EDGE OF PAVEMENT	---
SINGLE TREE	⊙
TREES AND BRUSH	---
SANITARY SEWER	---
STORM DRAIN	---
WATER	---
GAS	---
UNDERGROUND ELECTRIC	---
TELEPHONE/COMMUNICATION OVERHEAD	---
MINOR CONTOUR	---
MAJOR CONTOUR	---

LINE TABLE:

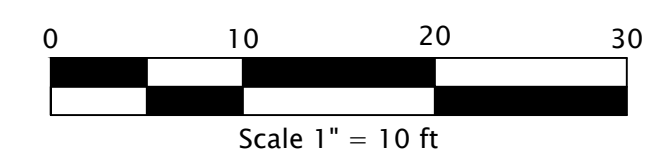
LINE	BEARING	DISTANCE
L1	N 20°41'48" W	8.96'
L2	N 34°08'36" W	13.78'
L3	N 09°31'48" W	0.15'

CURVE TABLE:

CURVE	RADIUS	DELTA	LENGTH
C1	232.00'	0°16'14"	1.10'

ABBREVIATIONS

APN:	ASSESSORS PARCEL NUMBER
BRK:	BRICK HARDSCAPE
BS:	BOTTOM OF STEP
BW:	BACK OF WALK
COM:	COMMUNICATION
C:	CONCRETE
DWY:	DRIVEWAY
EB:	ELECTRIC BOX
ELEC:	ELECTRICAL
FF:	FINISH FLOOR
FL:	FLOW LINE
GS:	GROUND SURFACE
O.R.:	OFFICIAL RECORD
P.U.E.:	PUBLIC UTILITY EASEMENT
PV:	PAVEMENT
RIM:	RIM ELEVATION
S/W:	SIDEWALK
SSCO:	SANITARY SEWER CLEAN OUT
SW:	SIDEWALK
TC:	TOP OF CURB
TS:	TOP OF STEP
WM:	WATER METER



ENGINEER'S STATEMENT

The existing fixed works and Topographic Survey shown hereon, as defined in Section 6731.1 of the Business and Professions Code (Professional Engineers Act), was provided by, or under the direct supervision of George K. Marinakis

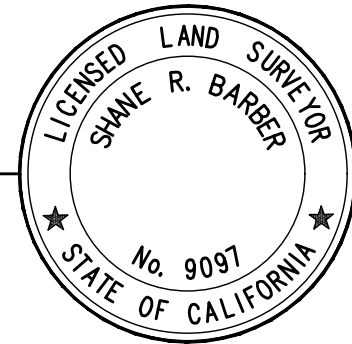
1/21/2021
DATE
GEORGE K. MARINAKIS, RCE 77629



SURVEYOR'S STATEMENT

The existing boundary lines, easements and encumbrances shown hereon, as defined in Section 8726 of the Business and Professions Code (Professional Land Surveyor's Act), was provided by, or under the direct supervision of Shane R. Barber

1/21/2021
DATE
SHANE R. BARBER L.S. 9097



LOT 15
[881-M 4 & 14]
LANDS OF PAK
DOC# 23991820

LOT 14
[881-M 4 & 14]
30,080 SF

LOT 13
[881-M 4 & 14]
LANDS OF RICHARD
AND REBECCA SMITH
DOC# 24267738

LOT 9
[881-M 4 & 14]
LANDS OF IGOR
AND MARINA EFREMOV
DOC# 23958695

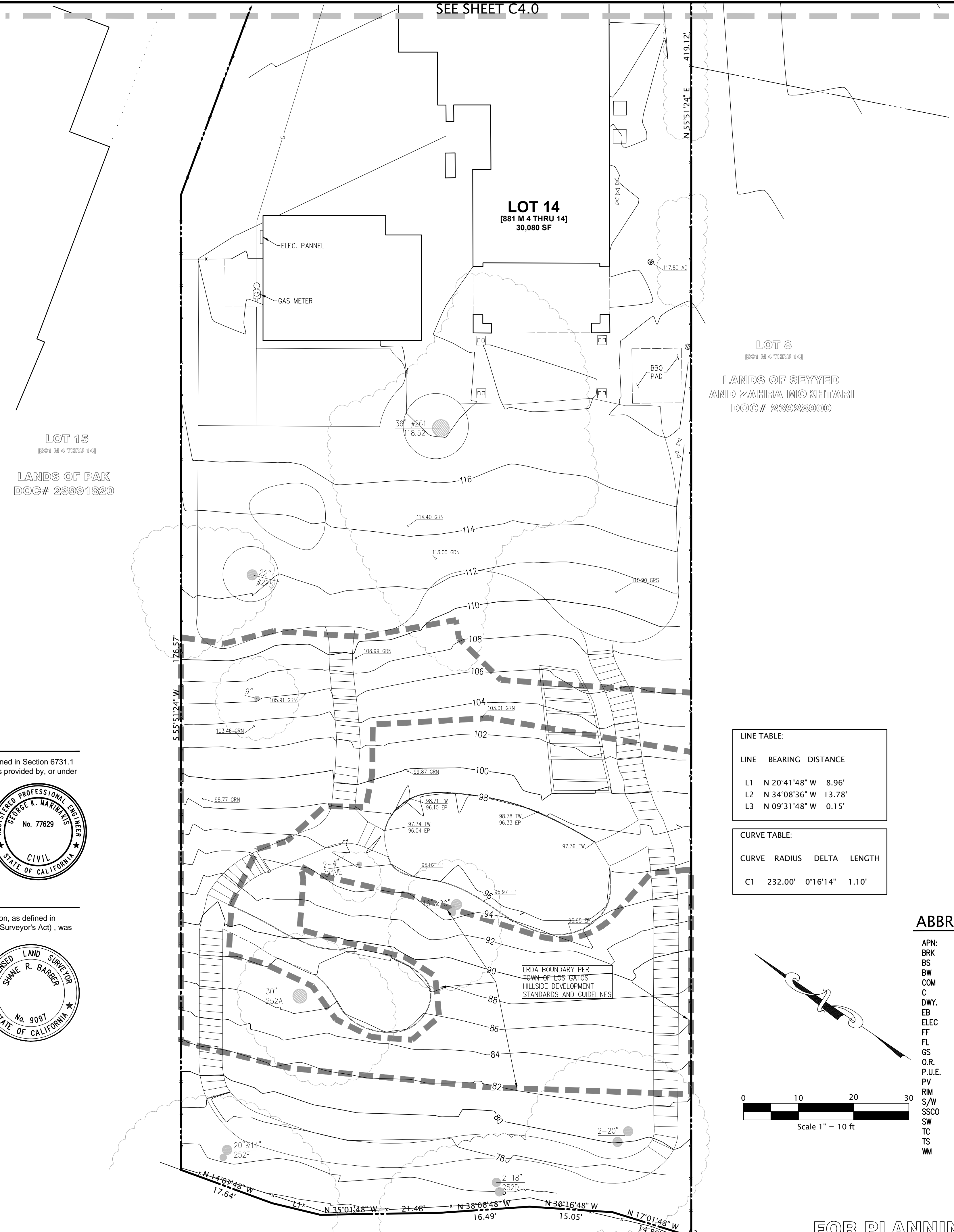
SEE SHEET C4.1

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Los Gatos, Ca 95032
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TOPOGRAPHIC SITE SURVEY EAST
NEW ADU AND SITE FEATURES
APN: 529-44-021
1-40 PROSPECT AVENUE
LOS GATOS, CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C4.0
OF	6 SHEETS



SEE SHEET C4.0

LOT 15
[881 M 4 THRU 14]
LANDS OF PAK
DOC# 23991820

LOT 14
[881 M 4 THRU 14]
30,080 SF

LOT 8
[881 M 4 THRU 14]
LANDS OF SEYYED
AND ZAHRA MOKHTARI
DOC# 23928900

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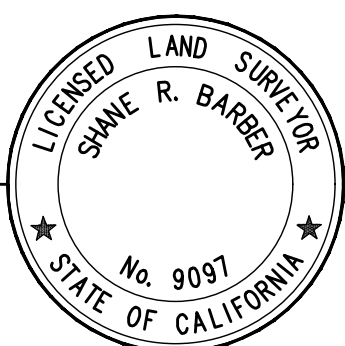
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1/21/2021
DATE
SHANE R. BARBER L.S. 9097



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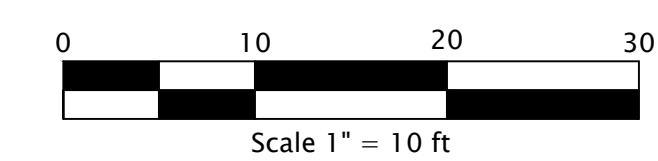
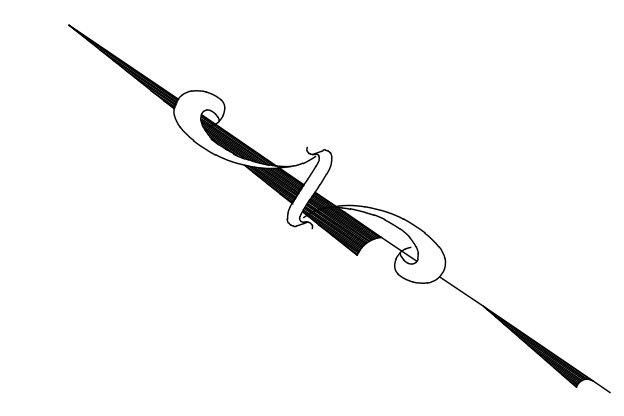
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FOR PLANNING PURPOSES ONLY

BY	No.	REVISION	RESPONSE TO COMMENTS DATED 11/23/2020
			RESPONSE TO COMMENTS DATED 6/9/2021
BY	No.	REVISION	RESPONSE TO COMMENTS DATED 6/9/2021
			RESPONSE TO COMMENTS DATED 6/9/2021
GKM Engineering CIVIL ENGINEERING • SURVEYING • LAND PLANNING 16185 Los Gatos Blvd., Suite 205 Los Gatos, CA 95032 (408) 656 5917 GKMEngineering.com			TOPOGRAPHIC SITE SURVEY WEST NEW ADU AND SITE FEATURES APN: 529-44-021 140 PROSPECT AVENUE LOS GATOS, CALIFORNIA
DATE	July 2021	SCALE	AS SHOWN
DESIGNER	GM	DRAFTER	GM
JOB	A200204	SHEET	C4.1
OF	6	SHEETS	