

GENERAL PROJECT NOTES

- A. THIS WORK SHALL COMPLY WITH ALL 2019 CBC, CMC, CFC, CEC, CALIFORNIA ENERGY CODE, AND CALIFORNIA RESIDENTIAL CODE, AND ALL OTHER REGULATIONS AS AMENDED TO DATES APPROVED BY THE TOWN OF LOS GATOS.
- B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- C. IF THE CONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE CONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF ANY SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THAT SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR, WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE DIRECTING THE SUBCONTRACTOR TO PROCEED WITH THAT PORTION OF THE WORK.
- D. NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE TO AND/OR FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT OR THE OWNER.
- E. ALL MATERIALS USED SHALL BE EQUAL TO, OR EXCEED, ALL APPLICABLE STATE AND LOCAL CODES AND REQUIREMENTS.
- F. THE CONTRACTOR SHALL PROMPTLY AND LEGALLY REMOVE ALL ACCUMULATED DEBRIS DAILY, SHALL PROTECT ALL EXPOSED PORTIONS OF THE WORK FROM WEATHER ELEMENTS, SHALL AVOID OVER-LOADING THE STRUCTURE WITH CONSTRUCTION MATERIALS, AND SHALL SECURELY STORE ALL ITEMS TO BE USED FOR AND IN THE CONSTRUCTION OF THE WORK.
- G. ALL GLASS IN HAZARDOUS AREAS (INCLUDING TUBS AND/OR SHOWERS), ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, AND ALL GLASS WITHIN 24" OF AN OPERABLE DOOR SHALL BE SAFETY GLASS, AND SHALL BE PERMANENTLY LABELED AS SUCH.
- H. THE CONTRACTOR SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION.
- I. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- J. ALL ELECTRICAL CALCULATIONS AND WIRE SIZES SHALL BE PROVIDED BY A CALIFORNIA-LICENSED ELECTRICAL CONTRACTOR. RECEPTACLE, SWITCH, FIXTURE, AND EQUIPMENT LOCATIONS SHALL BE FOUND ON THE SITE PLAN AND PROPOSED FLOOR PLANS WITHIN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, FIXTURE TYPES, AND EQUIPMENT WITH THE OWNER PRIOR TO PURCHASE AND INSTALLATION.
- K. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- L. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES.
- M. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- N. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN IN CONCEALED SPACES, AND ALL FRAMING SHALL BE ADEQUATELY SIZED TO ACCOMPLISH THIS RESULT WITHOUT CAUSING ANY DEFORMATION IN THE WALL PLANE.
- O. INTERIOR DIMENSIONS ARE SHOWN FROM CENTER OF WALL AND EXTERIOR DIMENSIONS ARE SHOWN FROM FACE OF STUD.
- P. EACH BEDROOM SHALL HAVE ONE EXTERIOR EGRESS-COMPLIANT WINDOW OR DOOR THAT IS OPENABLE FROM THE BEDROOM'S INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- Q. ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- R. EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- S. SEE STRUCTURAL SHEETS FOR PROJECT CONSTRUCTION NOTES AND DETAILS.
- T. SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATIONS FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.

CONSULTANTS

ENERGY COMP.

NRG COMPLIANCE LP
PO BOX 3111
SANTA ROSA, CA
707-231-6957

STRUCTURAL ENGINEERING

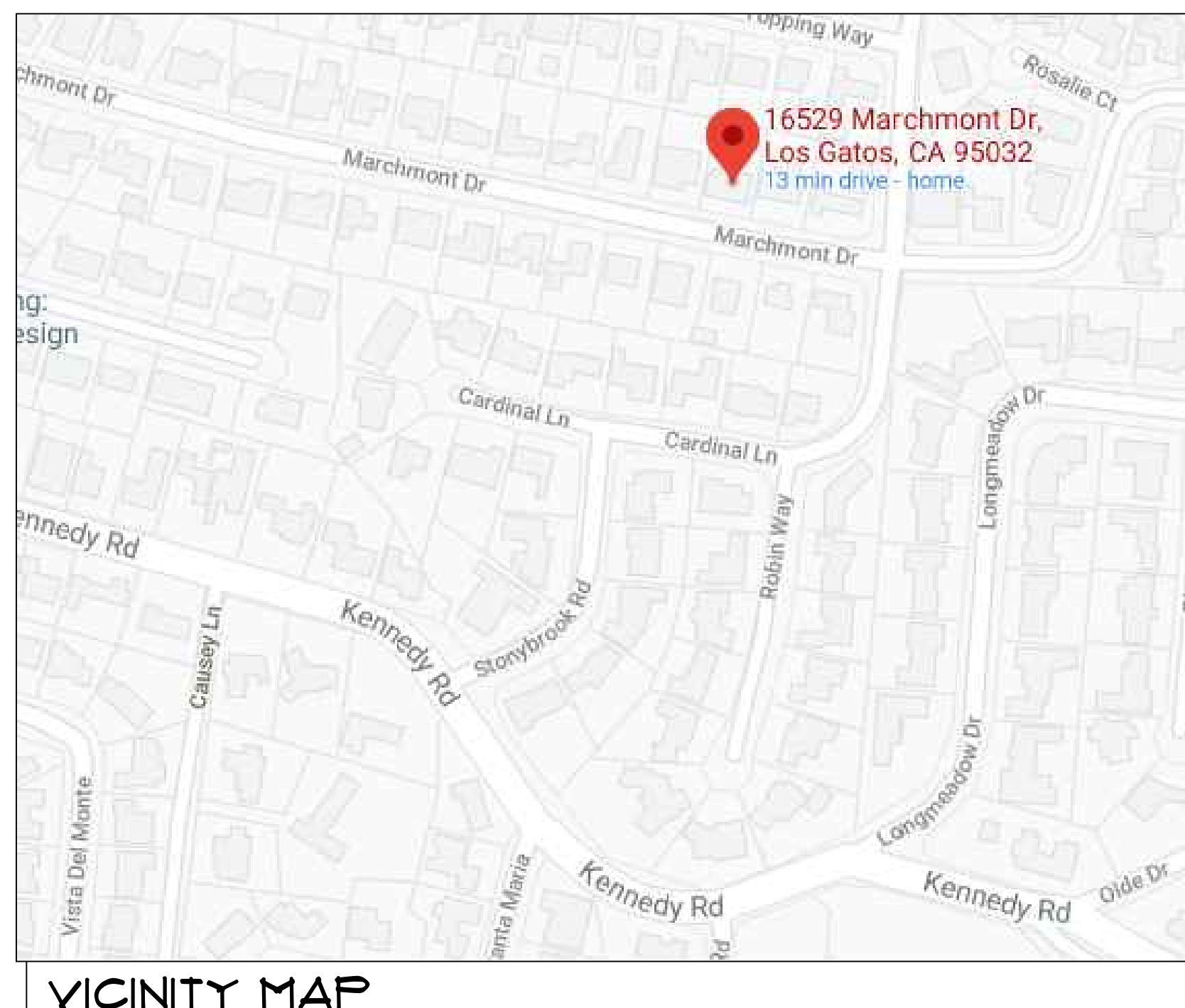
STEVE BENZING - ARCHITECT
12403 FREDERICKSBURG DR
SARATOGA, CA
408 805 1328

OWNERS

MARY & BRENDON CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

16529 Marchmont Drive – APN 532-09-033			
PROJECT DATA			
	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
Zoning district	R-1.8	same	-
Land use	single family residence	same	-
General Plan Designation	low density residential	same	-
Lot size			
Gross Lot Area	10,960 s.f.	same	8,000 sq. ft. minimum
Exterior materials (type):			
siding	Stucco		
windows	Wood		
roofing	Composition		
Building floor area:			
first floor	2222 s.f.	1715	
second floor	0 s.f.	1381	
accessory structure	198 s.f.	846	
Total	2,420 s.f.	3,942	Max House 3,313 s.f.+ 1,096 ADU= 4,409 s.f.
Garage	520 s.f.	509	Max Garage 913 s.f.
House Setbacks (ft.):			
front	29 ft – 7 in	Same	25 feet minimum
rear	65 ft – 9 in	Same	20 feet minimum
side	8 ft – 8 in	Same	8 feet minimum
side	8 ft - 11 in.	8 ft – 0 in.	8 feet minimum
Lot Coverage	2,940 s.f. – 26.8%	3,070 s.f. – 28%	(4384 s.f.) 40% of lot
House Max. Height (ft)	19 ft- 2 in	25 ft-5 in	30 ft. maximum
Stories	1	2	
Garage Parking Spaces	1	2	2 min.
Sewer or septic	sewer	same	-
Protected Tree Removal	-	No trees proposed to be removed	

N:\DEV\ERN WERN WMR Applications- Erin\Marchmont Dr., 16529MR-21-xxxx, Marchmont Dr., 16529Marchmont Dr, 16529-DmsSH.doc



VICINITY MAP

SCOPE OF WORK

- FIRST FLOOR
- CONVERSION OF AN EXISTING M. SUITE TO A 2 CAR GARAGE
- NEW KITCHEN.
- CONVERSION OF A G. BEDROOM TO A PANTRY, POOL BATHROOM & EXERCISE ROOM
- ADDITION OF A SECOND FLOOR CONSISTING OF A LAUNDRY ROOM, 2 BEDROOMS W/ BATH & A M. SUITE
- CONVERSION OF THE EXISTING DETACHED GARAGE & POOL ROOM TO AN ACCESSORY DWELLING UNIT. THIS HAS BEEN APPROVED BY PLANNING - PERMIT D-21-015, BUILDING PERMIT HAS NOT BEEN APPLIED FOR YET
- NO GRADING WORK IS PROPOSED FOR THIS PROJECT

SHEET INDEX

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BLDG REQUIREMENTS

FOUNDATION INSPECTIONS: A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:

- BUILDING PAD ELEVATION
- FINISH FLOOR ELEVATION
- FOUNDATION CORNER LOCATIONS
- RETAINING WALL(S) LOCATIONS AND ELEVATIONS

ABBREVIATIONS AND INDICATIONS

A.B.	ANCHOR BOLT	NTS	NOT TO SCALE		CONCRETE
A/C	ASPHALTIC CONC	NOM	NOMINAL		GRAVEL
ACC.	ACCOUSTIC	O/C	ON CENTER		EARTH
ALUM	ALUMINUM	OPG.	OPENING		GYP SUM BOARD
BLK	BLOCK	LAM PLAS	LAMINATED PLASTIC		INSULATION
C.J.	COLD JOINT	FL GL	PLATE GLASS		METAL
CONC	CONCRETE	FLY	PLYWOOD		MASONRY
CONT	CONTINUOUS	RDWD	REDWOOD		MORTAR, GROUT
C.I.	CAST IRON	RUL	RAIN WATER LEADER		CEMENT PLASTER
DF	DOUGLAS FIR	SIM	SIMILAR		PLYWOOD
ELEV	ELEVATION	TEMP GL	TEMPERED GLASS		FINISH WOOD
(E)	EXISTING	T & G	TONGUE AND GROOVE		ROUGH WOOD
EXIST	EXISTING	T.O.C	TOP OF CURB		SECTION NO.
EXT	EXTERIOR	T.O.P.	TOP OF PLATE		BUILDING SECTION SHEET NO.
F.E.	FIRE EXTINGUISHER	TYP	TYPICAL		DETAIL INDICATION
FIN	FINISH	UN	UNLESS OTHERWISE NOTED		DOOR INDICATION
F.O.C	FACE OF CONC	VGDF	VERTICAL GRAIN DOUGLAS FIR		WINDOW SYMBOL
F.O.B	FACE OF BLOCK	W/	WITH		
F.O.S	FACE OF STUD	WC	WATER CLOSET		
FDN	FOUNDATION	WUF	WELDED WIRE FABRIC		
FTG	FOOTING	TH	THRESHOLD		
GALV	GALVANIZED				
G.I.	GALVANIZED IRON				
GYP. BD.	GYP SUM BOARD				
H.B.	HOSE BIBB				
INSUL	INSULATION				
INT	INTERIOR				
INV	INVERT				
M.B.	MACHINE BOLT				
M.C.	MEDICINE CHEST				
MIN.	MINIMUM				

PROJECT INFO

APN - 532-09-033
ZONING - R-1-8
LAND USE DES - RES LOW
OCCUPANCY - R-3 & U
TYPE OF CONSTRUCTION - V-B

NO NEW LANDSCAPING IS PROPOSED FOR THIS PROJECT

NO TREE WILL BE REMOVED OR IMPACTED WITH THIS PROJECT.

THERE ARE NO EASEMENTS ON THIS PROPERTY.

DEFERRED APPROVAL

PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED PER NFPA 13D NOTE A SEPARATE PERMIT FOR THE SPRINKLER SYSTEM IS APPLIED FOR WITH THE FIRE PROTECTION DISTRICT.

FIRE DEPT CONDITIONS

WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.

FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.1.

5. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

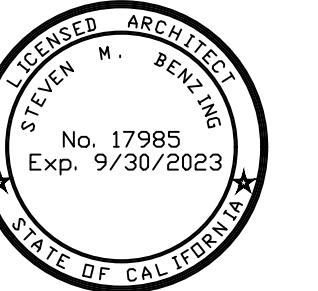
6. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 91-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

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COVER SHEET

ADDITON & ALTERATIONS TO RESIDENCE AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:

FOR:

MARY & BRENDON CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

DATE: 7/26/21

SCALE: NOTED

DRAWN BY: SMB

JOB NO. 2026

SHEET

A1

OF 10 SHEETS

EXHIBIT 14



MUTUAL MATERIALS HARDSCAPE PRODUCT DATA SHEET

ECO-PRIORA®

Pavers



With its unique, patented interlocking spacer lugs, Eco-Priora® provides secure structural performance for permeable interlocking concrete pavements (PICPs). It works well under vehicular traffic, especially when compared to other "non-interlocking" permeable pavers.

The flat, durable surface is also well suited for pedestrian pavements and the narrow joints comply with the most recent requirements of the ADA (Americans with Disabilities Act).

PRODUCT DATA*

	Stones / sq ft	Pieces / Pallet	Coverage / Pallet	Weight / Unit	Weight / Pallet	Net Void
4 x 8 Unit	4.5	432	93.2 ft ² (8.65 m ²)	8 lbs (3.6 kg)	3,456 lbs (1,567 kg)	13%
8 x 8 Unit	2.25	192	83.04 ft ² (7.71 m ²)	16 lbs (7.2 kg)	3,172 lbs (1,439 kg)	9%

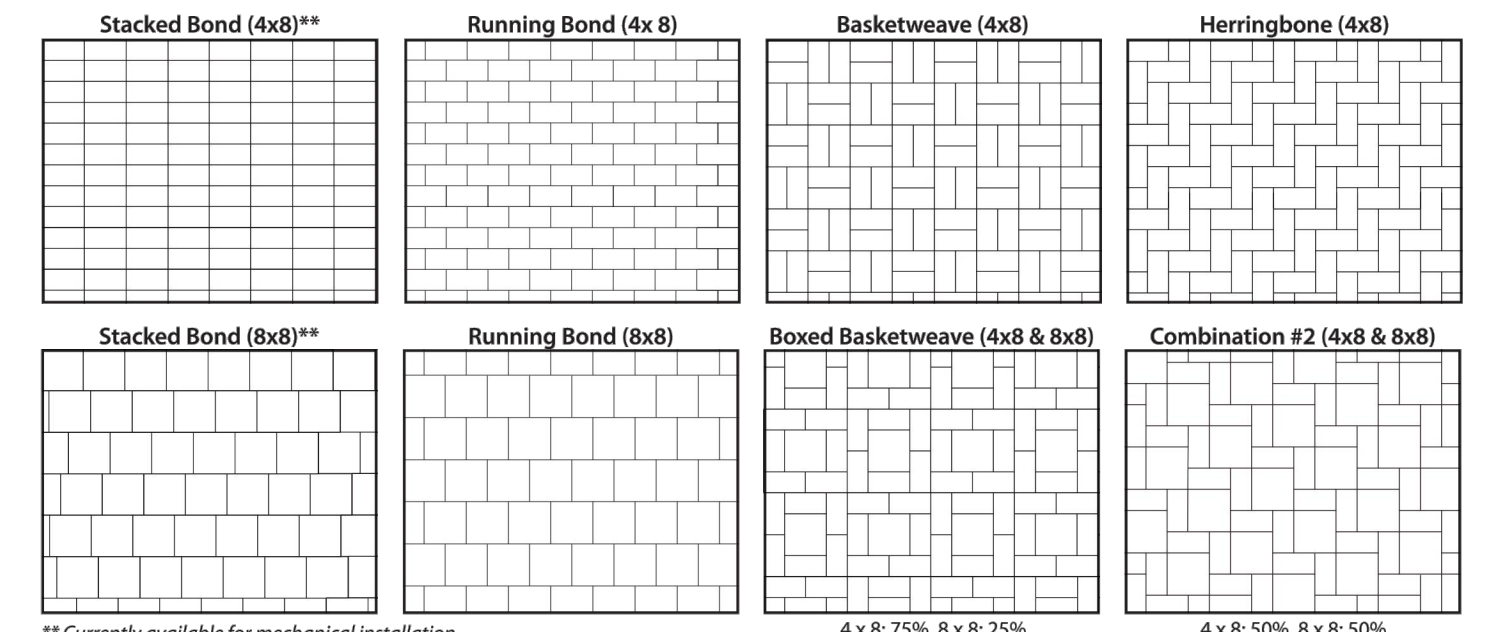
All Weight per Pallet noted above include a 50 lb pallet weight.

* All metric dimensions are soft converted to Imperial.

STANDARD SPECIFICATION

Eco-Priora is manufactured to the same high quality specifications as all other Mutual Materials interlocking concrete pavers and meet or exceed the requirements in ASTM C 936, "Standard Specification for Solid Concrete Interlocking Paving Units."

INSTALLATION PATTERNS

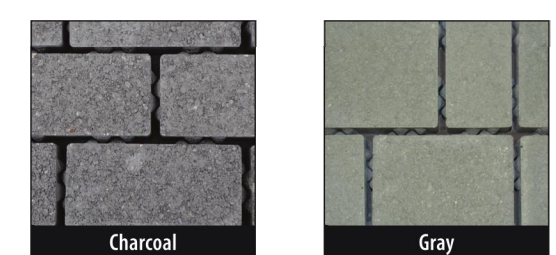


** Currently available for mechanical installation. 4 x 8: 75%, 8 x 8: 25%. 4 x 8: 50%, 8 x 8: 50%.

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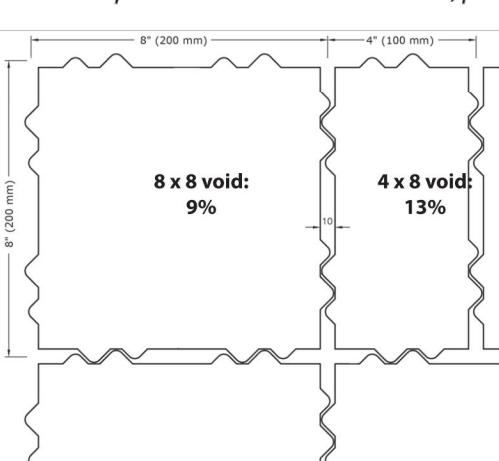
AVAILABLE COLORS

Custom colors are available. For more information please contact your Mutual Materials sales representative.



PERMEABLE PAVEMENT DESIGN

For more specific and detailed instructions, please contact your Mutual Materials sales representative.

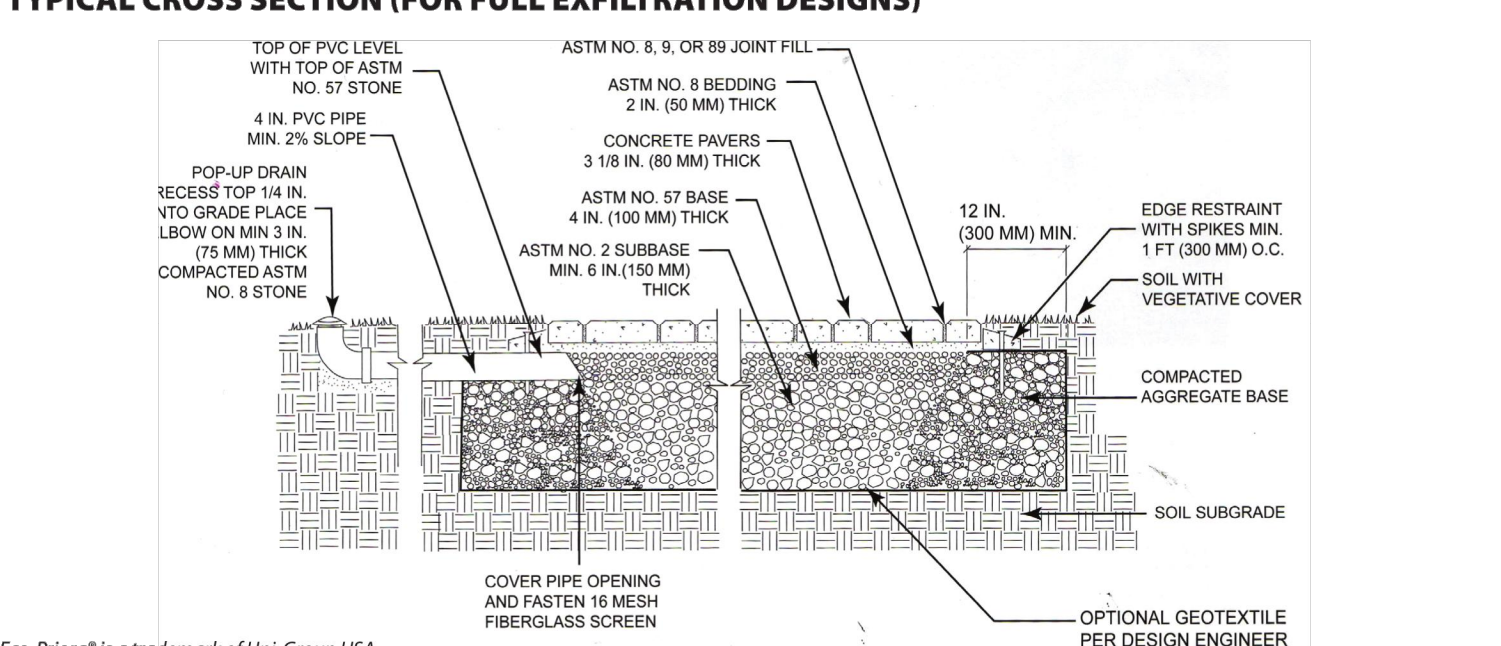


When building permeable pavement structures with Eco-Priora 4 x 8 or 8 x 8, follow design and construction recommendations found in "Permeable Interlocking Concrete Pavements- 4th Edition" as published by the Interlocking Concrete Pavement Institute (ICPI, 2011). Copies are available from ICPI (www.ICPI.org) or your Mutual Materials representative.

Also, LEED credits may be available for stormwater management, urban heat island reduction, and innovative design (according to the project certification process established by the USGBC).

Green Note: EcoPriora permeable pavers may contribute towards LEED credits as determined by the USGBC. Credits vary by project and by manufacturer. For more specific information on how EcoPriora might contribute towards LEED certification for your project, please contact your Mutual Materials sales representative.

TYPICAL CROSS SECTION (FOR FULL EXFILTRATION DESIGNS)



Eco-Priora® is a trademark of Uni-Group USA.

MUTUAL MATERIALS LOCATIONS

For product information and customer service, call 1-888-MUTUAL0 (688-8250).

WASHINGTON	OREGON	IDAHO	MONTANA
Auburn	Port Orchard	Bend	Missoula
Bellevue	South Seattle	Boise	
Bellingham	Spokane	Clackamas	
Marysville	Tacoma (Parkland)	Durham	
Olympia (Turmwater)	Vancouver, WA	Portland	
		Salem	
		Hayden	



RIGHT PRODUCT | RIGHT PLACE | RIGHT TIME

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Steve Benzing Architect

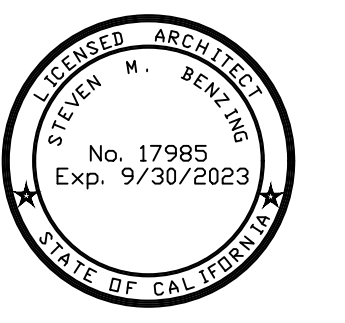
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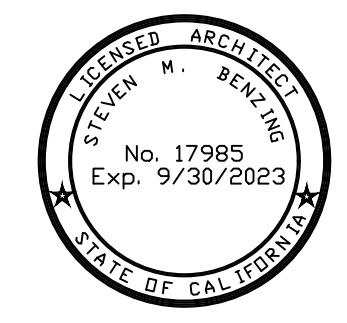
PERMEABLE PAVER INFO

ADDITON & ALTERATIONS TO RESIDENCE AT: 16529 MARCHMONT DR. LOS GATOS, CA FOR:

MARY & BRENDON CASSIDY 16529 MARCHMONT DR. LOS GATOS, CA

DATE: 7/26/21 SCALE: NOTED DRAWN BY: SMB JOB NO. 2026

SHEET A1.1 OF 10 SHTS



SITE PLAN & FAR CALCS

ADDITON & ALTERATIONS TO RESIDENCE AT:
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LOS GATOS, CA
FOR:

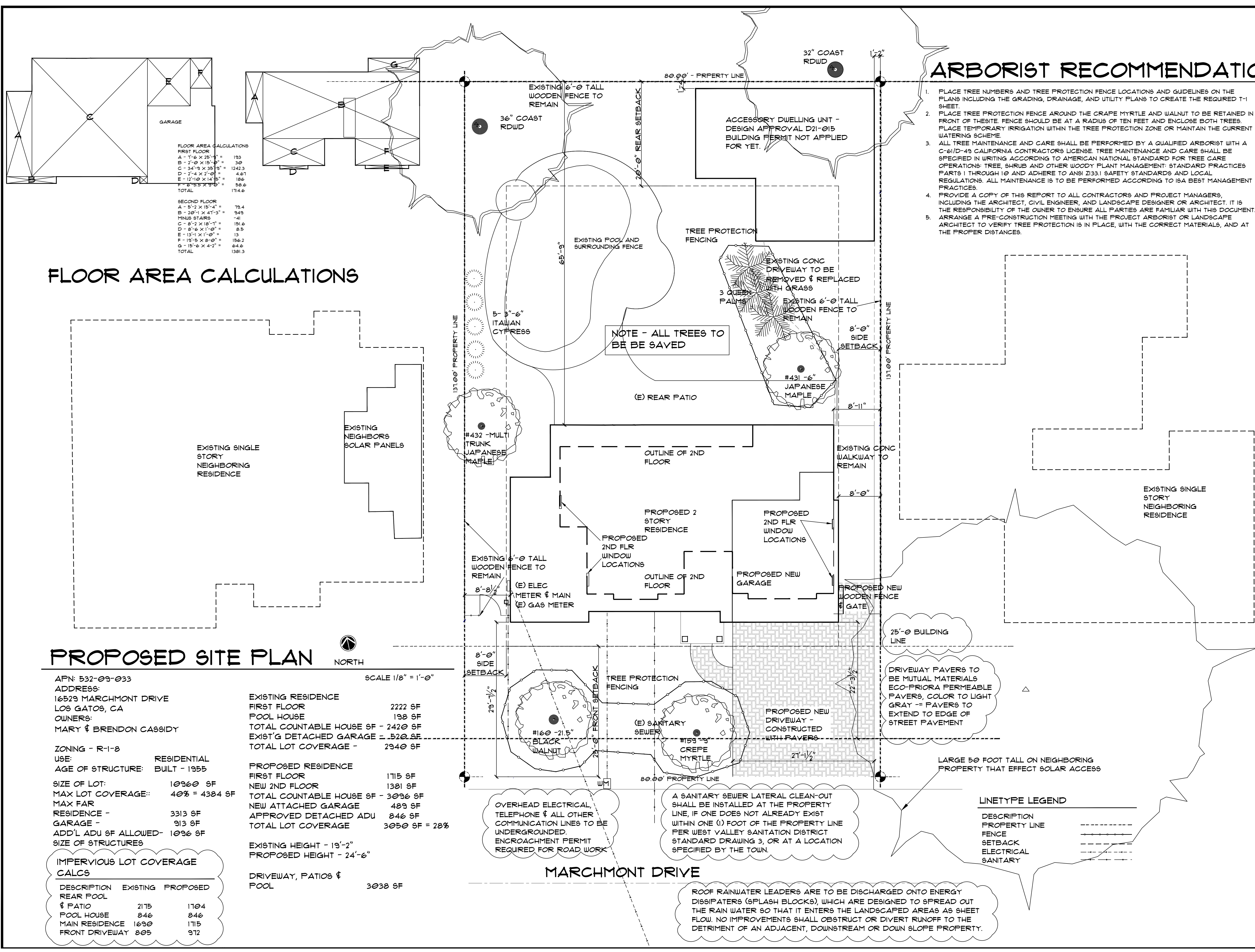
FOR:
MARY & BRENDON
CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

DATE: 1/26/21
SCALE: NOTED
DRAWN BY: SMB
JOB NO. 2026

SHEET
A2
OF 10 9475

ARBORIST RECOMMENDATIONS

1. PLACE TREE NUMBERS AND TREE PROTECTION FENCE LOCATIONS AND GUIDELINES ON THE PLANS INCLUDING THE GRADING, DRAINAGE, AND UTILITY PLANS TO CREATE THE REQUIRED T-1 SHEET.
2. PLACE TREE PROTECTION FENCE AROUND THE CRAPE MYRTLE AND WALNUT TO BE RETAINED IN FRONT OF THE SITE. FENCE SHOULD BE AT A RADIUS OF TEN FEET AND ENCLOSE BOTH TREES. PLACE TEMPORARY IRRIGATION WITHIN THE TREE PROTECTION ZONE OR MAINTAIN THE CURRENT WATERING SCHEME.
3. ALL TREE MAINTENANCE AND CARE SHALL BE PERFORMED BY A QUALIFIED ARBORIST WITH A C-61/D-49 CALIFORNIA CONTRACTORS LICENSE. TREE MAINTENANCE AND CARE SHALL BE SPECIFIED IN WRITING ACCORDING TO AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS: TREE, SHRUB AND OTHER WOODY PLANT MANAGEMENT: STANDARD PRACTICES PARTS 1 THROUGH 10 AND ADHERE TO ANSI Z133.1 SAFETY STANDARDS AND LOCAL REGULATIONS. ALL MAINTENANCE IS TO BE PERFORMED ACCORDING TO ISA BEST MANAGEMENT PRACTICES.
4. PROVIDE A COPY OF THIS REPORT TO ALL CONTRACTORS AND PROJECT MANAGERS, INCLUDING THE ARCHITECT, CIVIL ENGINEER, AND LANDSCAPE DESIGNER OR ARCHITECT. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL PARTIES ARE FAMILIAR WITH THIS DOCUMENT.
5. ARRANGE A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST OR LANDSCAPE ARCHITECT TO VERIFY TREE PROTECTION IS IN PLACE, WITH THE CORRECT MATERIALS, AND AT THE PROPER DISTANCES.



FLOOR AREA CALCULATIONS

FLOOR AREA CALCULATIONS

FIRST FLOOR

A - 1'-6" X 25'-11"	39
B - 2'-0" X 15'-4"	30.9
C - 34'-9" X 35'-9"	1242.3
D - 2'-4" X 2'-0"	4.8
E - 12'-0" X 14'-5"	173.6
F - 7'-6" X 3'-0"	22.8
TOTAL	1714.6

SECOND FLOOR

A - 5'-2" X 15'-4"	79.4
B - 20'-1" X 41'-3"	829
MINUS STAIRS	-41
C - 8'-2" X 18'-1"	147.6
D - 8'-6" X 1'-0"	8.5
E - 13'-1" X 1'-0"	13
F - 13'-9" X 2'-0"	26.2
G - 15'-6" X 4'-2"	64.6
TOTAL	1381.3

PROPOSED SITE PLAN

APN: 532-09-033
ADDRESS:
16529 MARCHMONT DRIVE
LOS GATOS, CA
OWNERS:
MARY & BRENDON CASSIDY

ZONING - R-1-B
USE: RESIDENTIAL
AGE OF STRUCTURE: BUILT - 1955

SIZE OF LOT: 10960 SF
MAX LOT COVERAGE: 40% = 4384 SF
MAX FAR RESIDENCE - 3313 SF
GARAGE - 913 SF
ADD'L ADU SF ALLOWED- 1096 SF
SIZE OF STRUCTURES

EXISTING RESIDENCE	
FIRST FLOOR	2222 SF
POOL HOUSE	198 SF
TOTAL COUNTABLE HOUSE SF	2420 SF
EXIST'G DETACHED GARAGE	520 SF
TOTAL LOT COVERAGE	2940 SF
PROPOSED RESIDENCE	
FIRST FLOOR	1715 SF
NEW 2ND FLOOR	1381 SF
TOTAL COUNTABLE HOUSE SF	3096 SF
NEW ATTACHED GARAGE	489 SF
APPROVED DETACHED ADU	846 SF
TOTAL LOT COVERAGE	3050 SF = 28%

IMPERVIOUS LOT COVERAGE CALCS

DESCRIPTION	EXISTING	PROPOSED
REAR POOL		
& PATIO	215	1704
POOL HOUSE	846	846
MAIN RESIDENCE	1690	1715
FRONT DRIVEWAY	805	912

EXISTING HEIGHT - 19'-2"
PROPOSED HEIGHT - 24'-6"

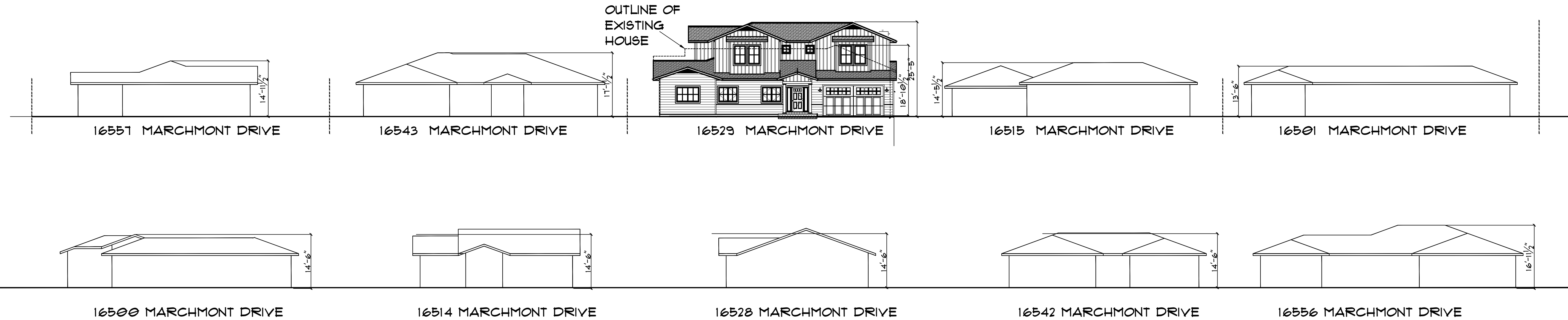
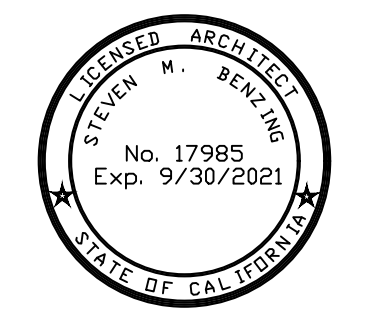
DRIVEWAY, PATIOS & POOL 3038 SF

MARCHMONT DRIVE

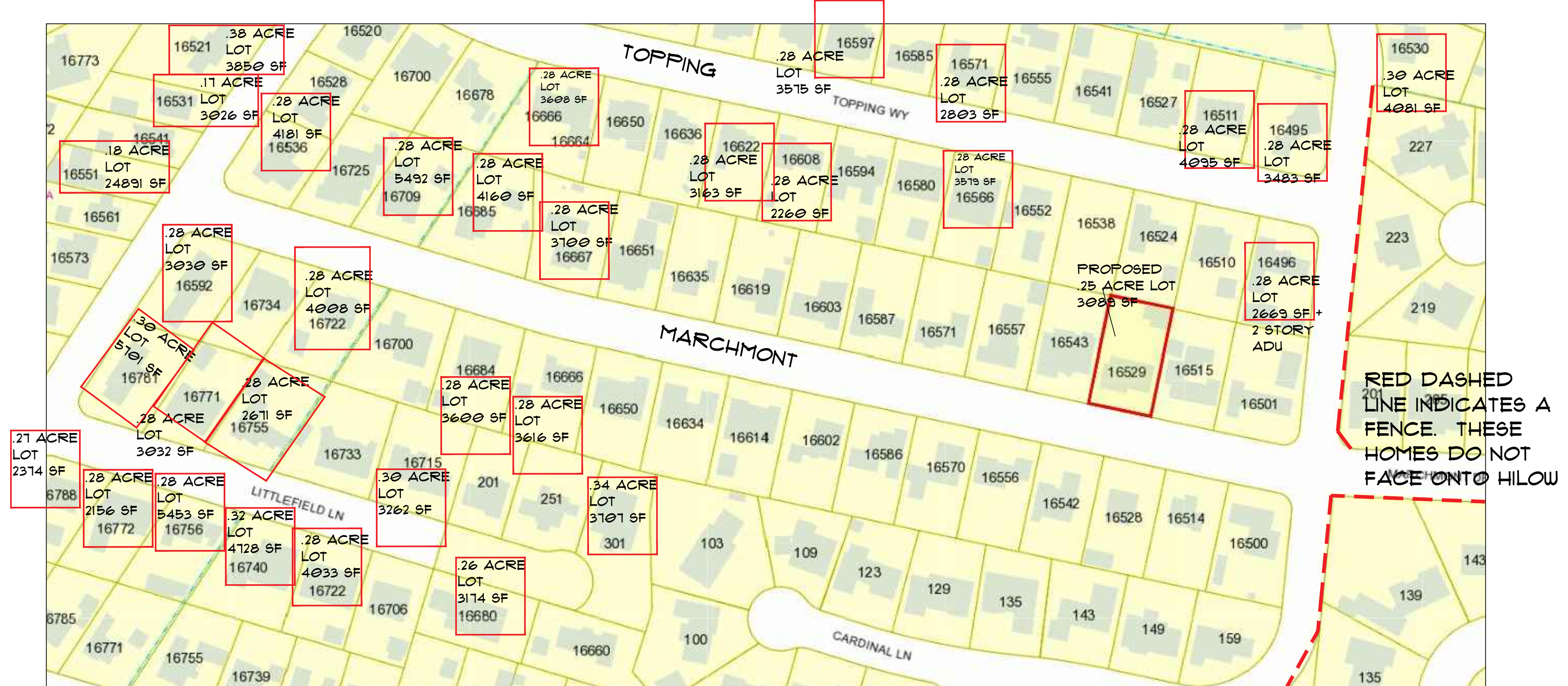
ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO ENERGY DISSIPATORS (SPASH BLOCKS), WHICH ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPED AREAS AS SHEET FLOW. NO IMPROVEMENTS SHALL OBSTRUCT OR DIVERT RUNOFF TO THE DETRIMENT OF AN ADJACENT, DOWNSTREAM OR DOWN SLOPE PROPERTY.

LINETYPE LEGEND

DESCRIPTION	
PROPERTY LINE	-----
FENCE	-----
SETBACK	-----
ELECTRICAL	-----
SANITARY	-----



GRADE ON THIS SIDE OF MARCHMONT IS AT LEAST 3 FEET HIGHER THAN THE ROAD



RED DASHED LINE INDICATES A FENCE. THESE HOMES DO NOT FACE ONTO HILOW

EXPANDED NEIGHBORHOOD - SHOWING EXISTING 2 STORY HOMES & HOMES WITH SIMILAR SQUARE FOOTAGE

- RED SQUARES INDICATE EXISTING 2 STORY HOMES WITH THEIR LOT SIZE & SQUARE FOOTAGE LISTED
- | | | |
|------------------------------|----------------------------|--------------------------------|
| TWO STORY HOMES ON MARCHMONT | TWO STORY HOMES ON TOPPING | TWO STORY HOMES ON LITTLEFIELD |
| 16722 MARCHMONT | 16608 TOPPING | 16781 LITTLEFIELD |
| 16684 MARCHMONT | 16622 TOPPING | 16711 LITTLEFIELD |
| 16666 MARCHMONT | 16678 TOPPING | 16755 LITTLEFIELD |
| 16709 MARCHMONT | 16496 TOPPING | 16715 LITTLEFIELD |
| 16685 MARCHMONT | 16495 TOPPING | 301 LITTLEFIELD |
| 16667 MARCHMONT | 16511 TOPPING | 16680 LITTLEFIELD |
| 16592 ENGLEWOOD | 16566 TOPPING | |
| 16536 ENGLEWOOD | 16571 TOPPING | |
| 16521 ENGLEWOOD | 16591 TOPPING | |
| 16531 ENGLEWOOD | 16530 HILOW | |

STREET SCOPE & LOCATION OF 2 STORY HOMES IN EXPANDED NEIGHBORHOOD

ADDITION & ALTERATIONS TO RESIDENCE AT: 16529 MARCHMONT DR. LOS GATOS, CA FOR:

FOR: MARY & BRENDON CASSIDY 16529 MARCHMONT DR. LOS GATOS, CA

DATE: 7/26/21
SCALE: NOTED
DRAWN BY: SMB
JOB NO. 2026

SHEET **A3**
OF 10 SHTS



16543 MARCHMONT



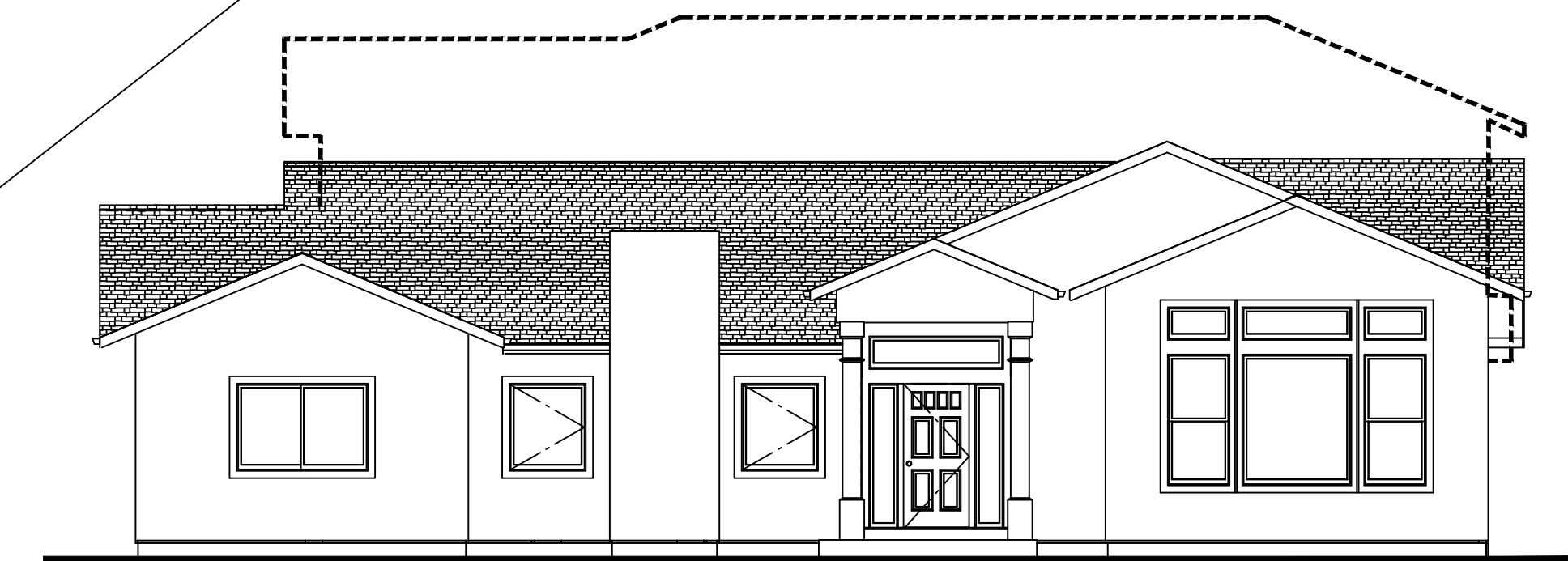
16529 MARCHMONT - PROPOSED



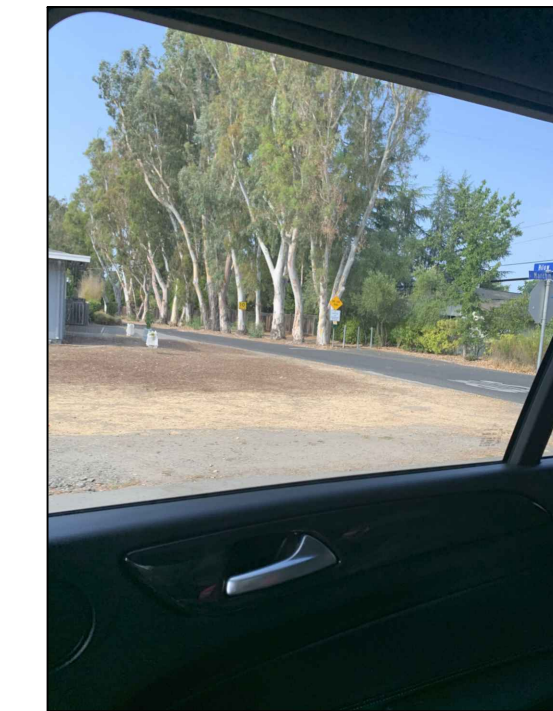
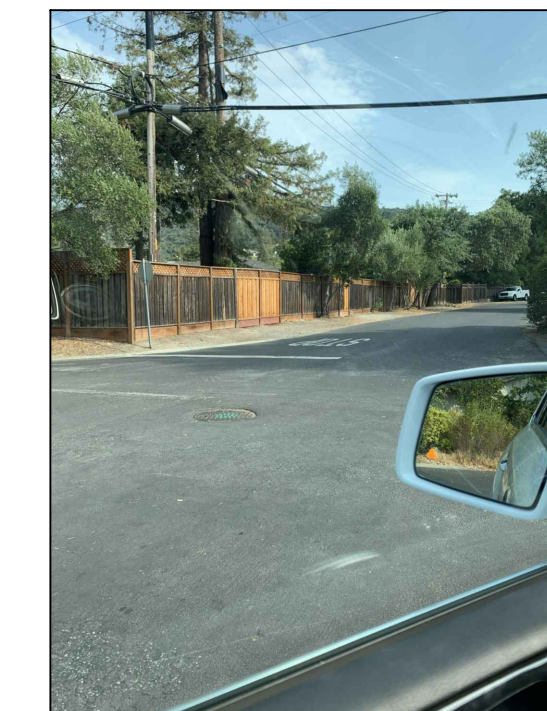
16515 MARCHMONT



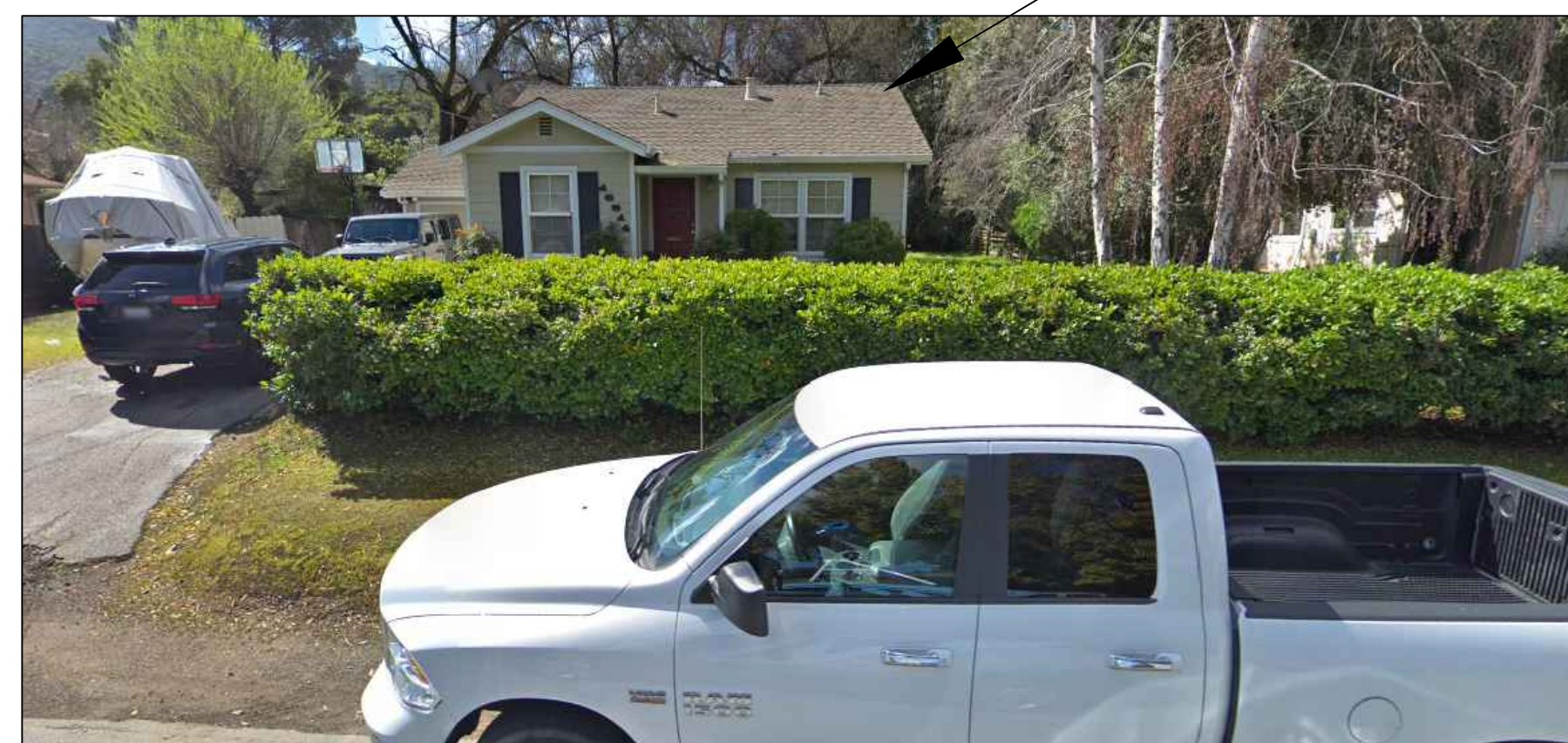
16529 MARCHMONT- EXISTING



16529 MARCHMONT-EXISTING
W/OUTLINE OF ADDED 2ND FLOOR



VIEW ALONG HILOW AT END OF MARCHMONT



16542 MARCHMONT



16528 MARCHMONT



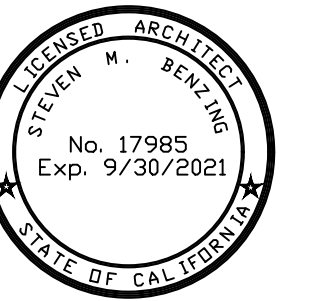
16514 MARCHMONT

Steve Benzing Architect C-17985

12403 FREDERICKSBURG SARATOGA CALIFORNIA

TEL 408 205 1328 EMAIL STEVE@BENZARCH.COM WEBSITE: BENZARCH.COM

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STREET SCAPE

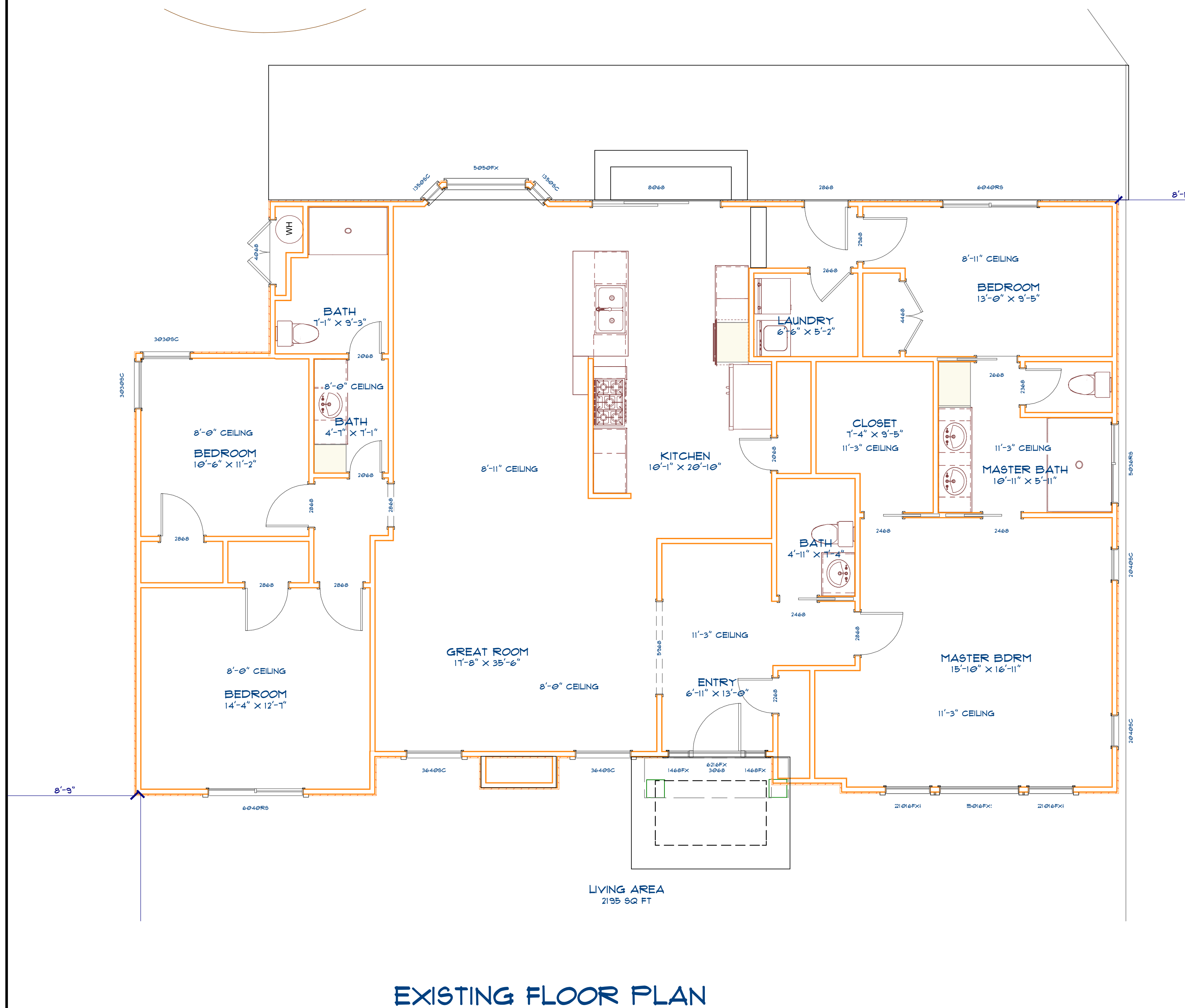
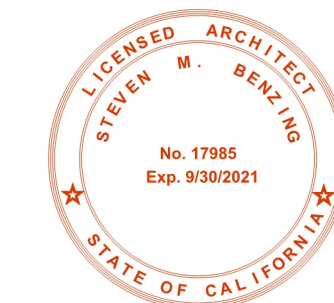
ADDITON & ALTERATIONS TO RESIDENCE AT: 16529 MARCHMONT DR. LOS GATOS, CA FOR:

FOR: MARY & BRENDON CASSIDY 16529 MARCHMONT DR. LOS GATOS, CA

DATE: 1/26/21 SCALE: NOTED DRAWN BY: SMB JOB NO. 2026

SHEET A3.1 OF 10 SHTS

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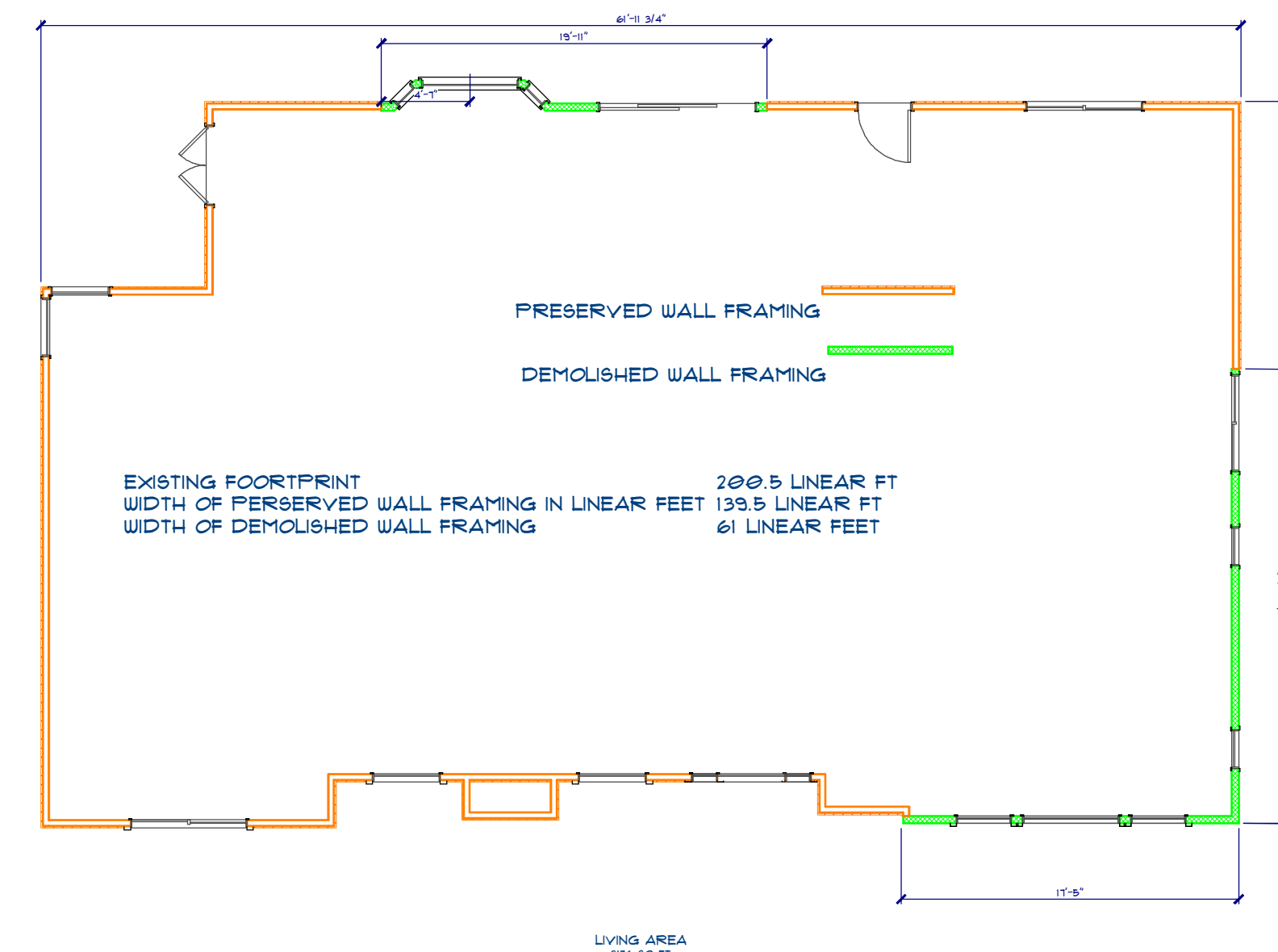


EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"



ELEVATION 1



DEMOLITION PLAN

EXISTING FLOOR PLAN & DEMOLITION PLAN

ADDITION & ALTERATIONS TO RESIDENCE AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:

BRENDON & MARY CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

DATE: 7/26/21
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2026
SHEET

A4

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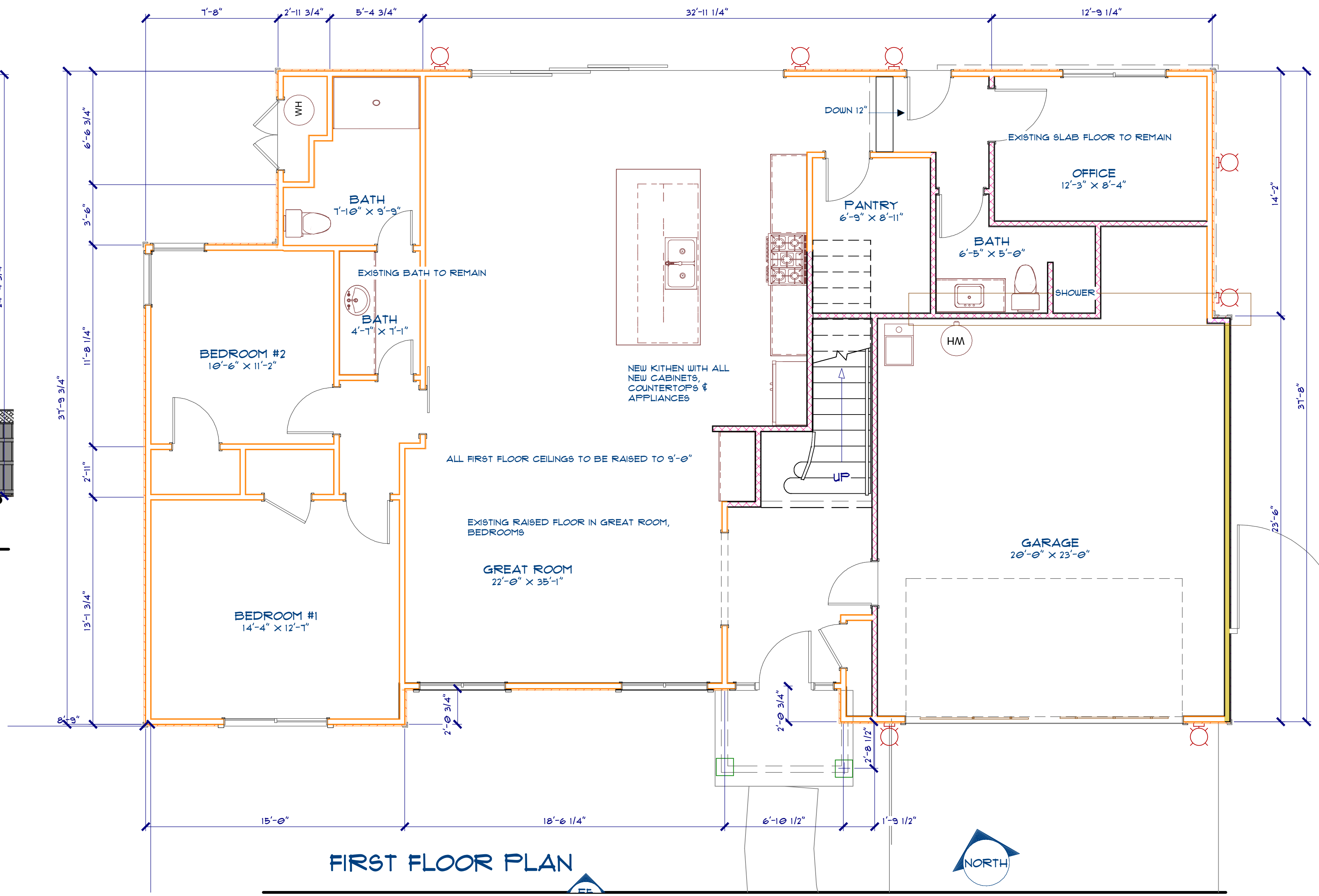
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WEST ELEVATION

SCALE 1/4" = 1'-0"

NOTE ALL GRADES ARE EXISTING TO REMAIN NO CHANGE



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN & EXTERIOR ELEVATIONS

ADDITION & ALTERATIONS TO RESIDENCE AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:

BRENDON & MARY CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA



SOUTH (FRONT) ELEVATION

EXISTING FINISH GRADE TO REMAIN

SCALE 1/4" = 1'-0"

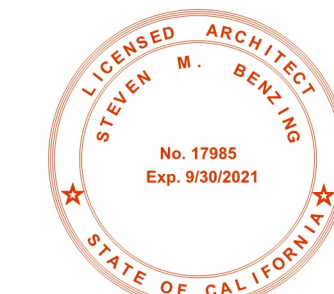
LIST OF MATERIALS

- ROOFING
 - MAIN ROOF - CELOTEX PRESIDENTIAL SHAKE - 40 YEAR COMPOSTION SHINGLES
 - COLOR SHADOW GREY
 - ACCENT ROOFS - STANDING SEAM METAL ROOF (PAC-CLAD OR EQUAL) COLOR MATTE BLACK.
- SIDING
 - UPPER FLOOR - BOARD & BATT - COLOR - BENJAMIN MOORE - DOVE WHITE
 - LOWER FLOOR - 1X8 SHIPLAP - COLOR BENJAMIN MORRE - DOVE WHITE
 - ALL TRIM -WOOD- BENJAMIN MOORE - DOVE WHITE
 - PORCH COLUMNS - WOOD-DOVE WHITE W/ STONE BASE
 - FRONT COLUMNS BASE - GREY LEDGESTONE
- WINDOWS
 - DARK GREY/BLACK FRAMES
- FRONT DOOR
 - BENJAMIN MOORE - IRON ORE
- GARAGE DOOR
 - BENJAMIN MOORE -DOVE WHITE

DATE: 7/26/21
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2026
SHEET

A5

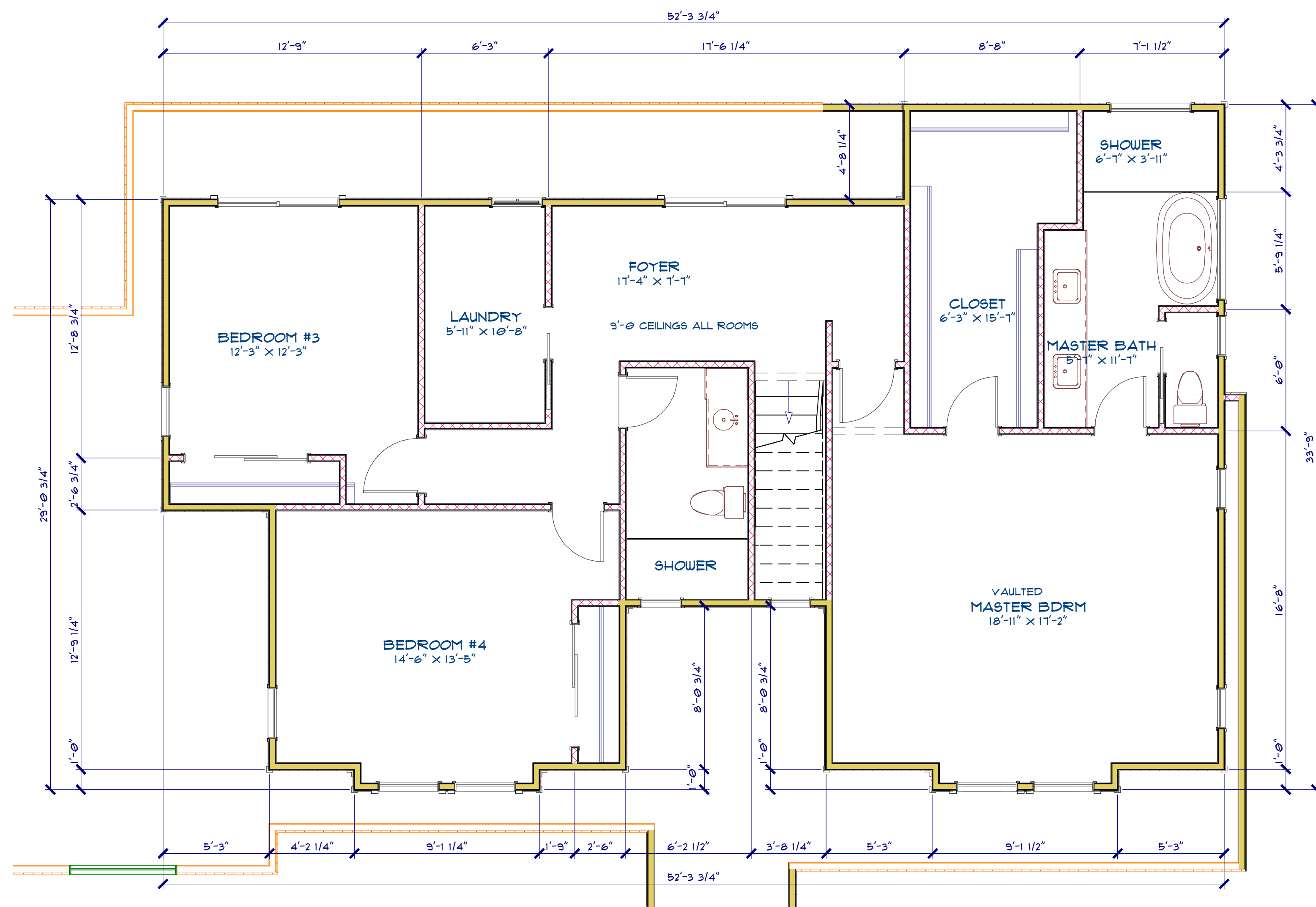
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EAST ELEVATION

SCALE 1/4" = 1'-0"

NOTE ALL GRADES ARE EXISTING TO REMAIN NO CHANGE



2ND FLOOR PLAN

SCALE 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN & EXTERIOR ELEVATIONS

ADDITION & ALTERATIONS TO RESIDENCE AT: 16529 MARCHMONT DR. LOS GATOS, CA FOR:

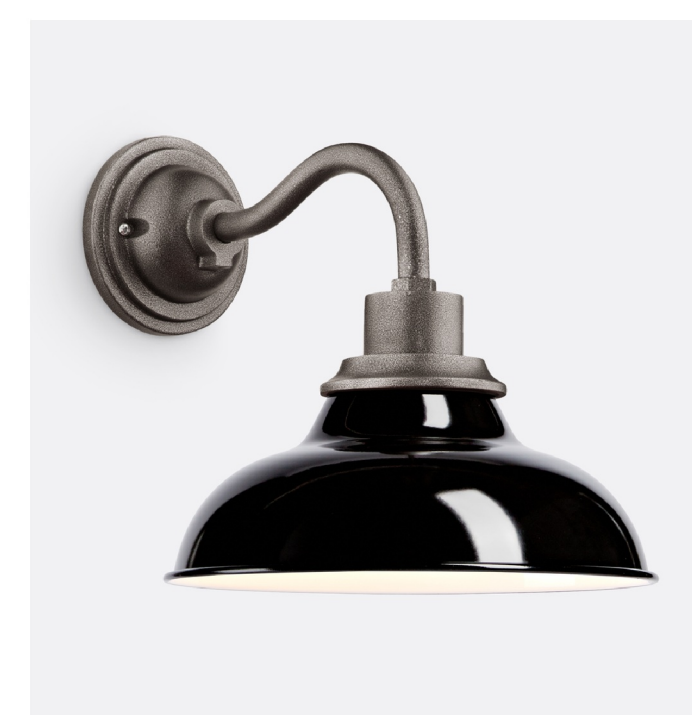
BRENDON & MARY CASSIDY 16529 MARCHMONT DR. LOS GATOS, CA



NORTH (REAR) ELEVATION

SCALE 1/4" = 1'-0"

REJUVENATION



Carson 12" Wall Sconce
Gloss Black
Item #A0154
<http://www.rejuvenation.com/s/18fxs>

Specification	Detail
Item #	A0154
Width	11-1/2"
Height	13"
Projection	16"
Canopy Diameter	5"
Number of Sockets	1
Wattage	100W

Price as shown: \$229.00
*Shipping and handling fees apply

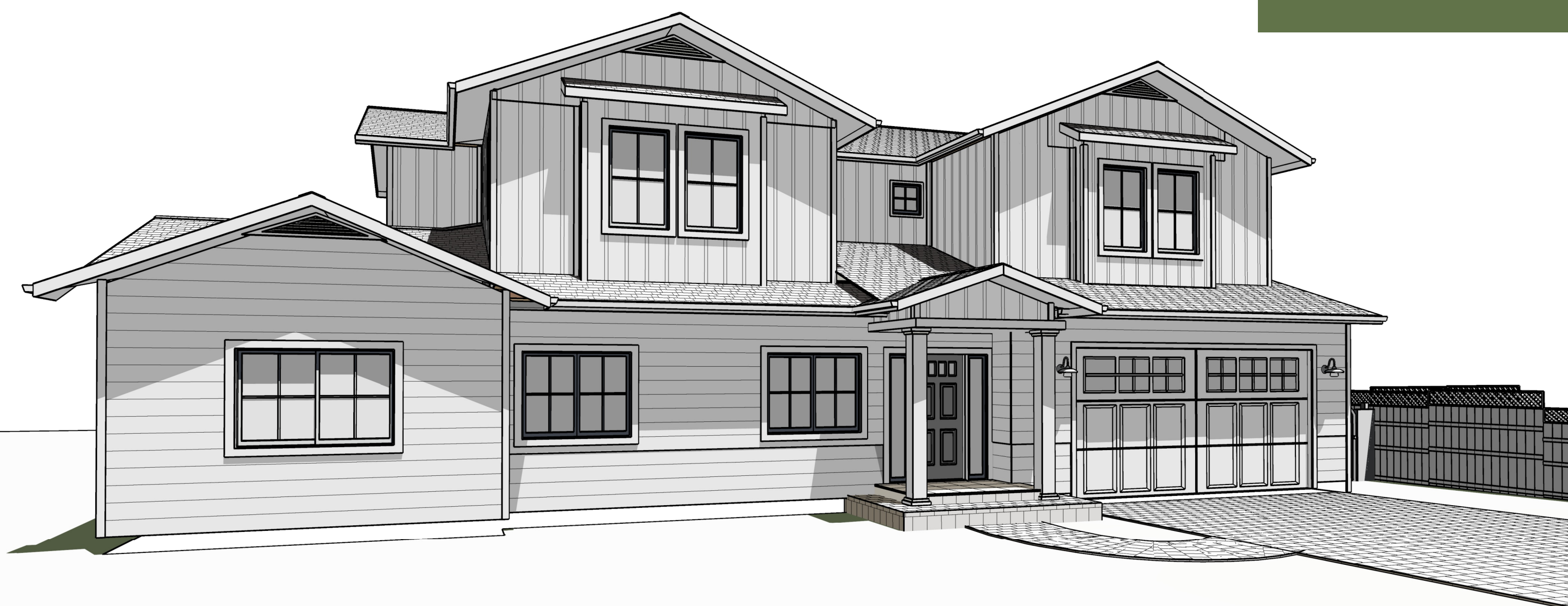
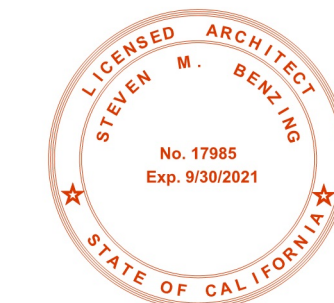
DATE: 7/26/21
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2026
SHEET

A6

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MAIN HOUSE - 3D VIEWS

ADDITION & ALTERATIONS TO RESIDENCE
AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:
BRENDON & MARY CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

DATE: 7/26/21
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JOB NO. 2026
SHEET





STREET PERSPECTIVE

THIS PERSPECTIVE OF THE HOUSE IS SUPERIMPOSED ON AN ACTUAL PICTURE OF THE STREET AND DOES NOT ONE HUNDRED PERCENT ACCURATELY REPRESENT THE FINAL APPEARANCE. SOME ITEMS, LIKE THE DRIVEWAY AND THE SIDE GATE ARE THE EXISTING AND WILL BE CHNGED DURING FINAL CONSTRUCTION

Steve Benzing
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NEIGHBORHOOD PERSPECTIVE

ADDITION & ALTERATIONS TO RESIDENCE
AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:

BRENDON & MARY CASSIDY
16529 MARCHMONT DR.
LOS GATOS, CA

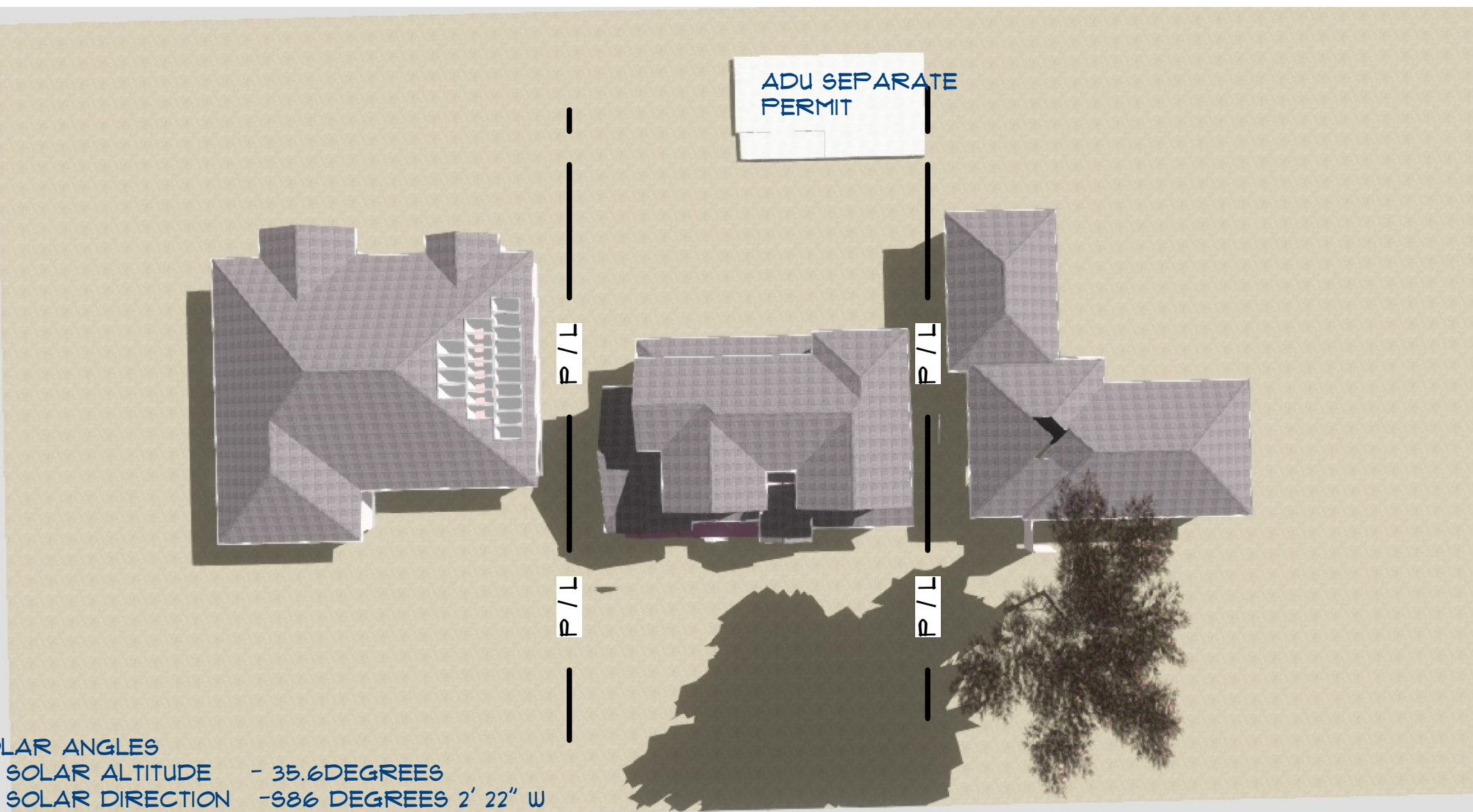
DATE: 7/26/21
SCALE: AS NOTED
DRAWN BY: SMB
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SHEET

A8

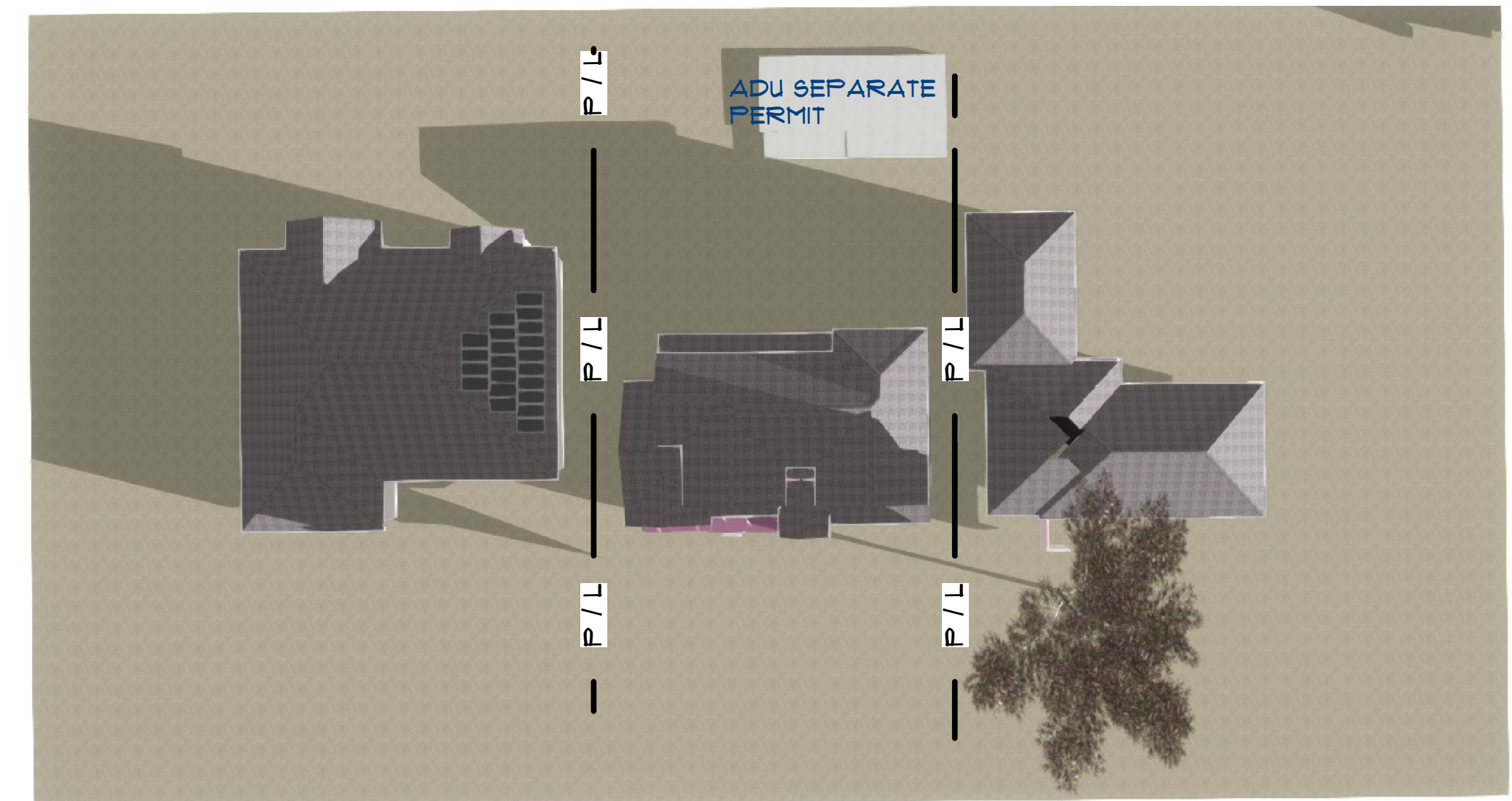
OF 10

SHEET



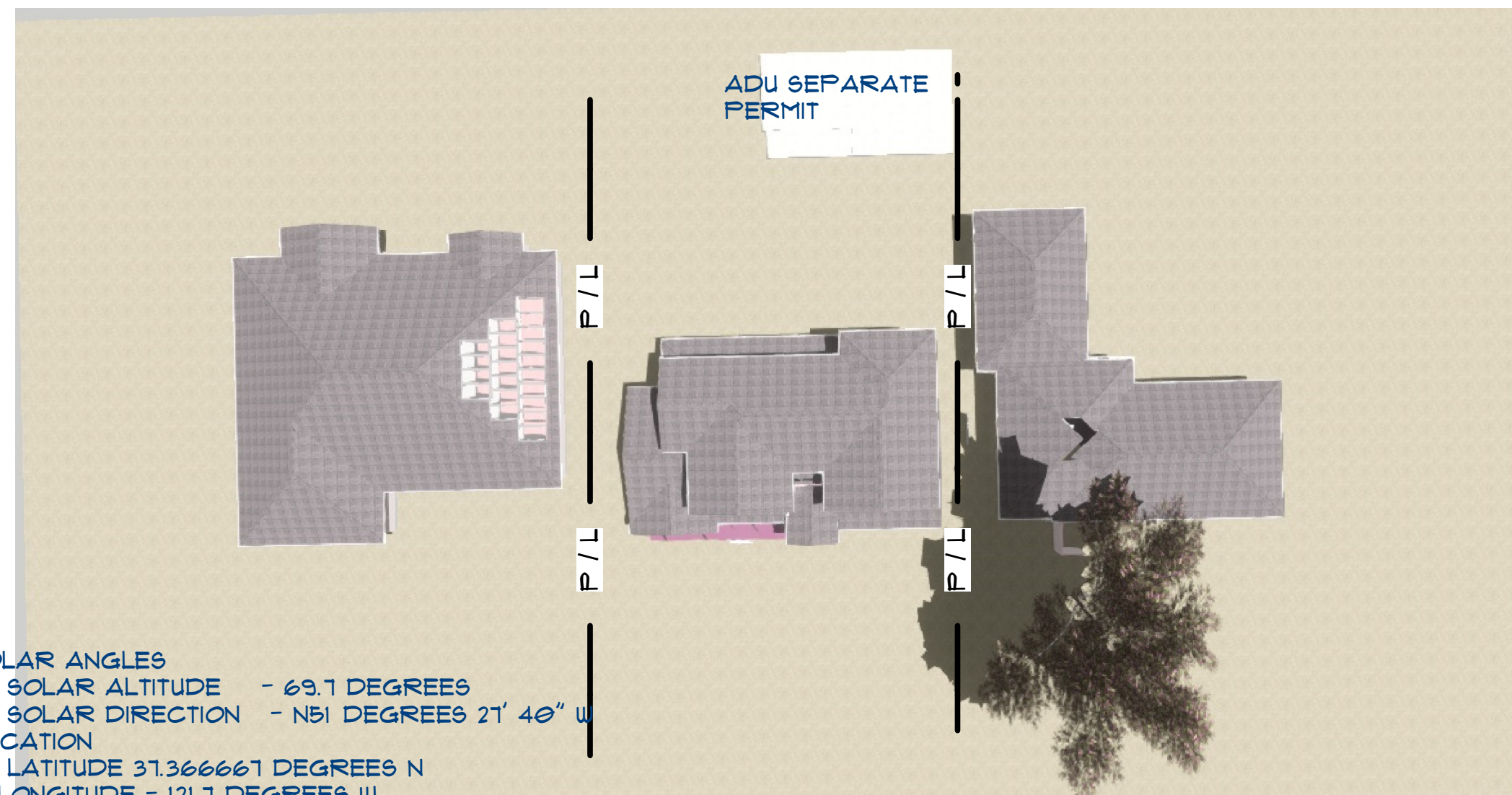
SOLAR ANGLES
 SOLAR ALTITUDE - 35.6 DEGREES
 SOLAR DIRECTION - 88.6 DEGREES 2' 22" W
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - JUNE 21 @ 9AM
 TIME 9AM DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

JUNE 21 @ 9AM



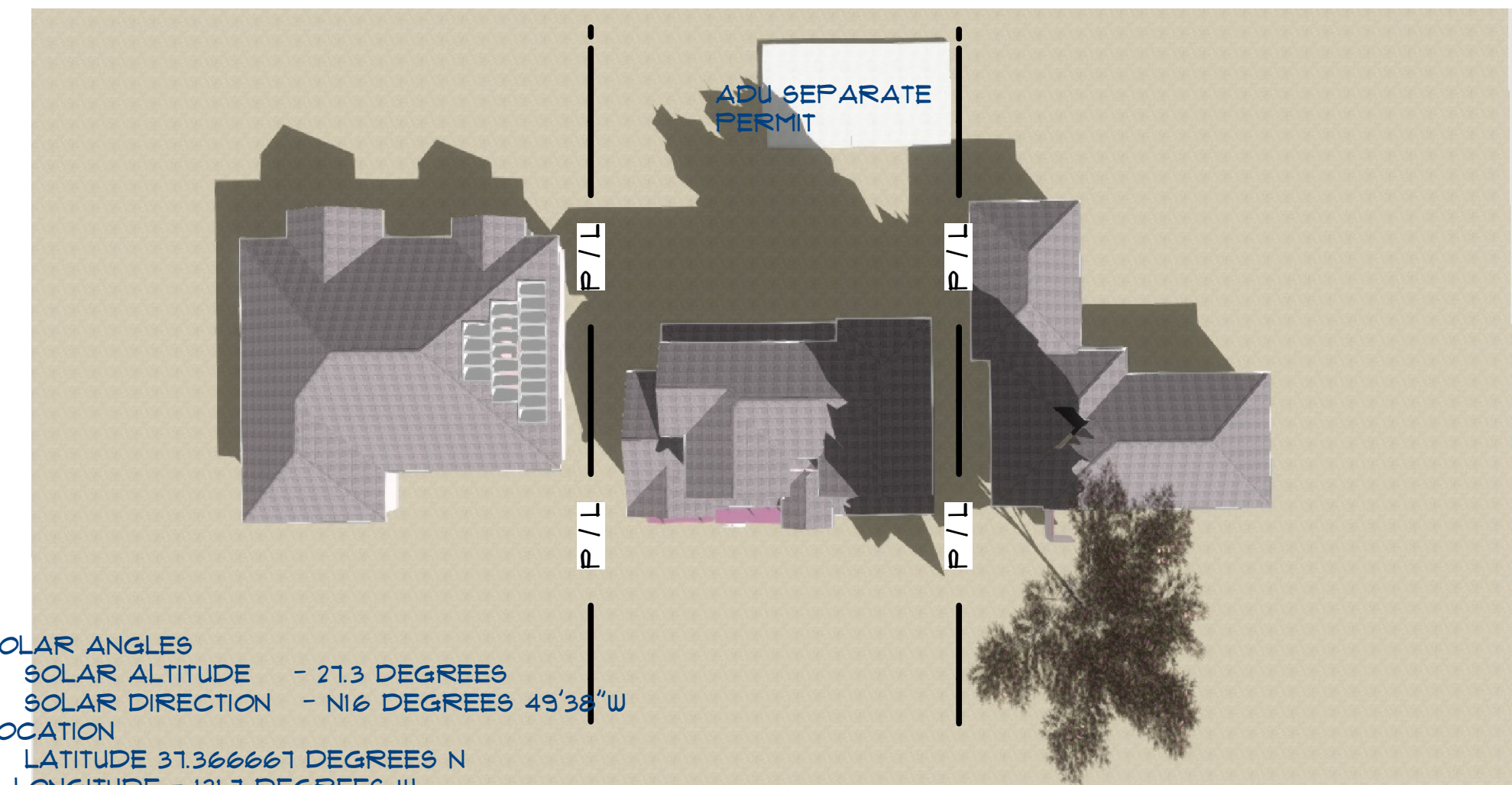
SOLAR ANGLES
 SOLAR ALTITUDE - 6.4 DEGREES
 SOLAR DIRECTION - N54 DEGREES 2' 5" W
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - DEC 21 @ 9AM
 TIME 9AM DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

DEC 21 @ 9AM - 100% COVERAGE ON NEIGHBORS SOLAR PANELS



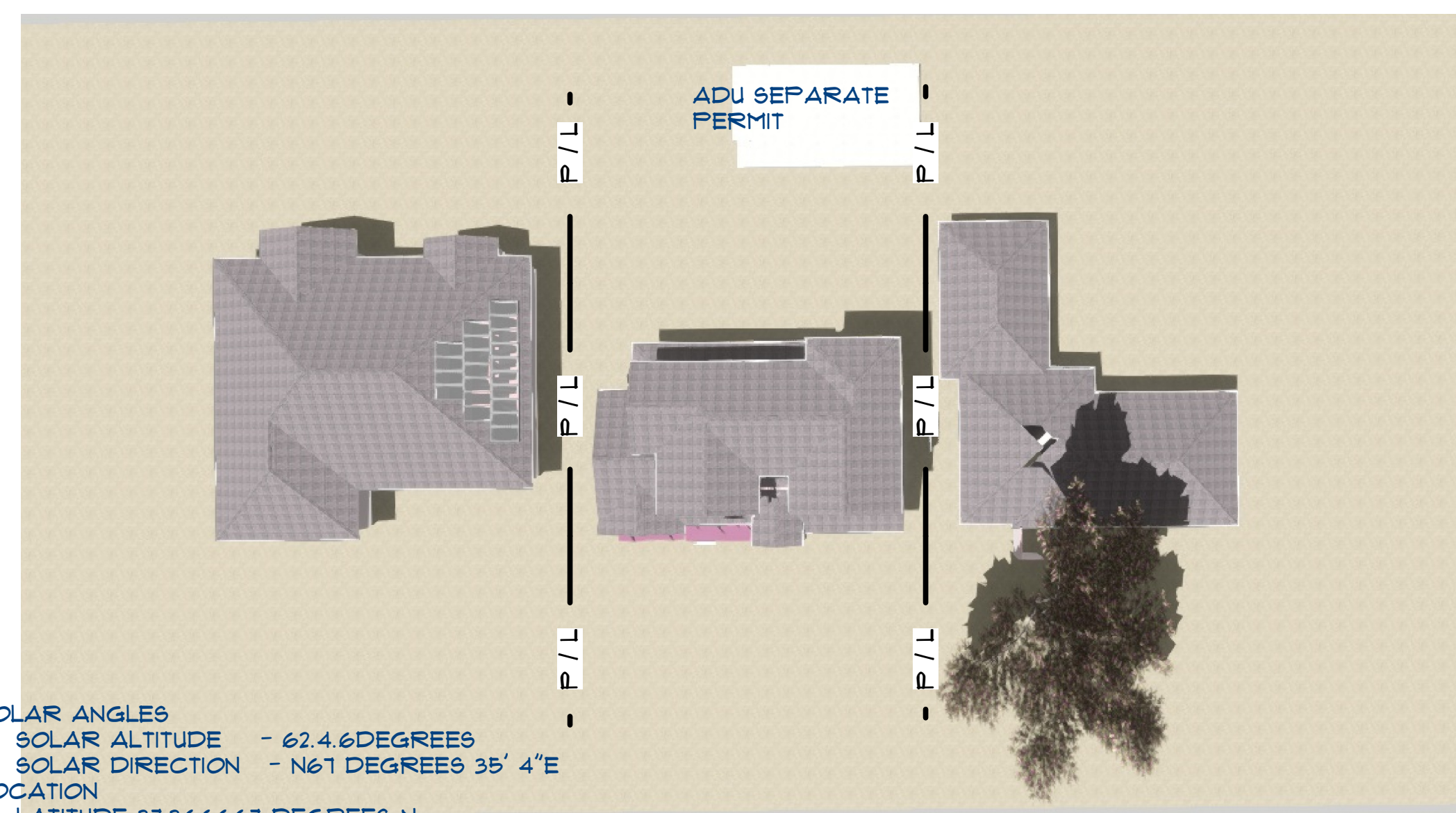
SOLAR ANGLES
 SOLAR ALTITUDE - 69.1 DEGREES
 SOLAR DIRECTION - N51 DEGREES 21' 40" W
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - JUNE 21 @ NOON
 TIME NOON DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

JUNE 21 @ NOON



SOLAR ANGLES
 SOLAR ALTITUDE - 21.3 DEGREES
 SOLAR DIRECTION - N16 DEGREES 49' 38" W
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - DEC 21 @ NOON
 TIME NOON DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

DEC 21 @ NOON



SOLAR ANGLES
 SOLAR ALTITUDE - 62.4 DEGREES
 SOLAR DIRECTION - N61 DEGREES 35' 4" E
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - JUNE 21 @ 3 PM
 TIME 3 PM DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

JUNE 21 @ 3 PM



SOLAR ANGLES
 SOLAR ALTITUDE - 23.5 DEGREES
 SOLAR DIRECTION - N28 DEGREES 42' 31" E
 LOCATION
 LATITUDE 37.366667 DEGREES N
 LONGITUDE - 121.7 DEGREES W
 DATE & TIME
 DATE - DEC 21 @ 3PM
 TIME 3 PM DAYLIGHT SAVINGS
 PACIFIC TIME ZONE

DEC 21 @ 3 PM

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SHADOW STUDY

ADDITION & ALTERATIONS TO RESIDENCE AT:
 16529 MARCHMONT DR.
 LOS GATOS, CA
 FOR:

BRENDON & MARY CASSIDY
 16529 MARCHMONT DR.
 LOS GATOS, CA

DATE: 7/26/21
 SCALE: AS NOTED
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A9

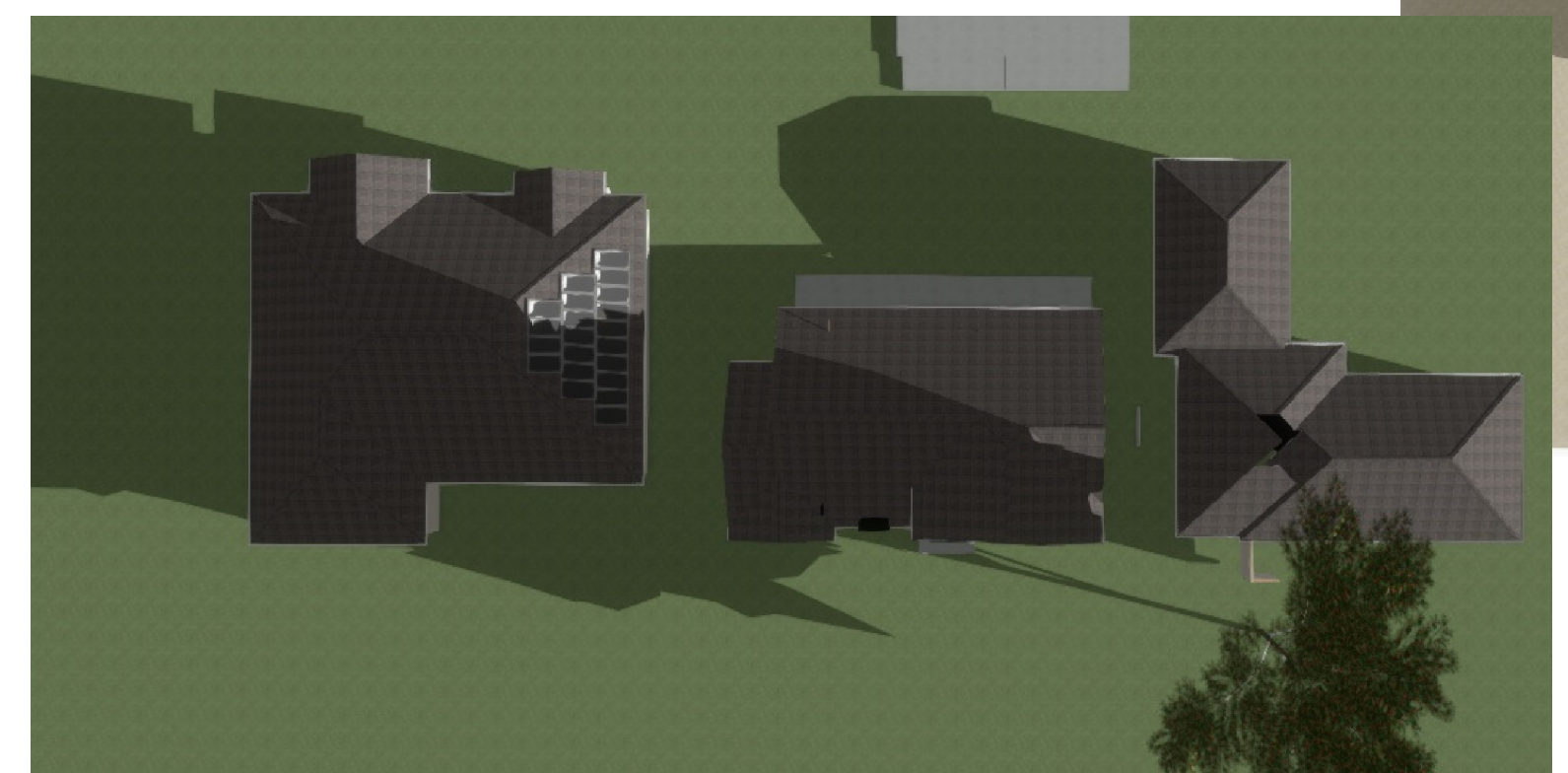


EXISTING SINGLE STORY

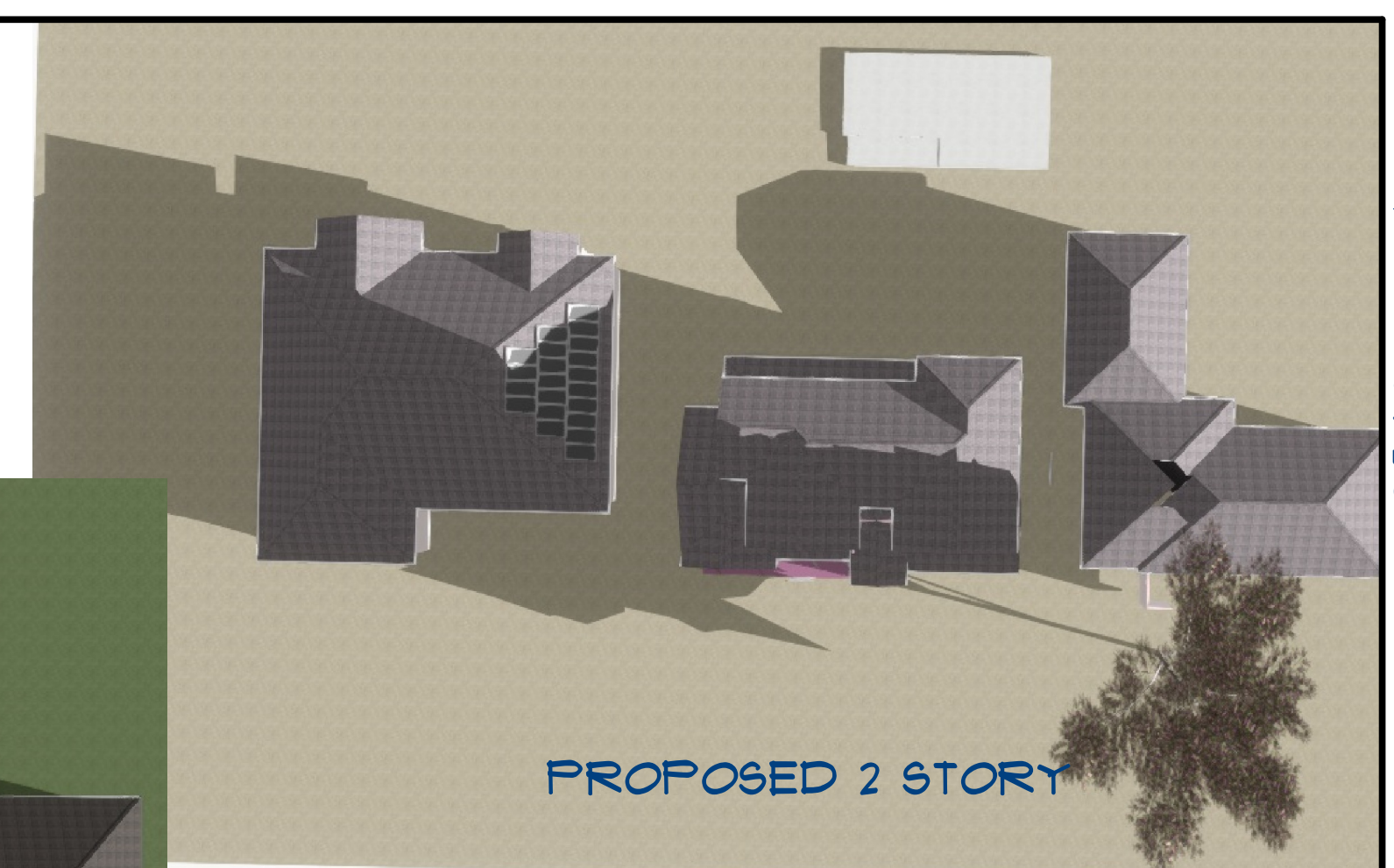


PROPOSED 2 STORY

NOV 21 @ 10:30 AM

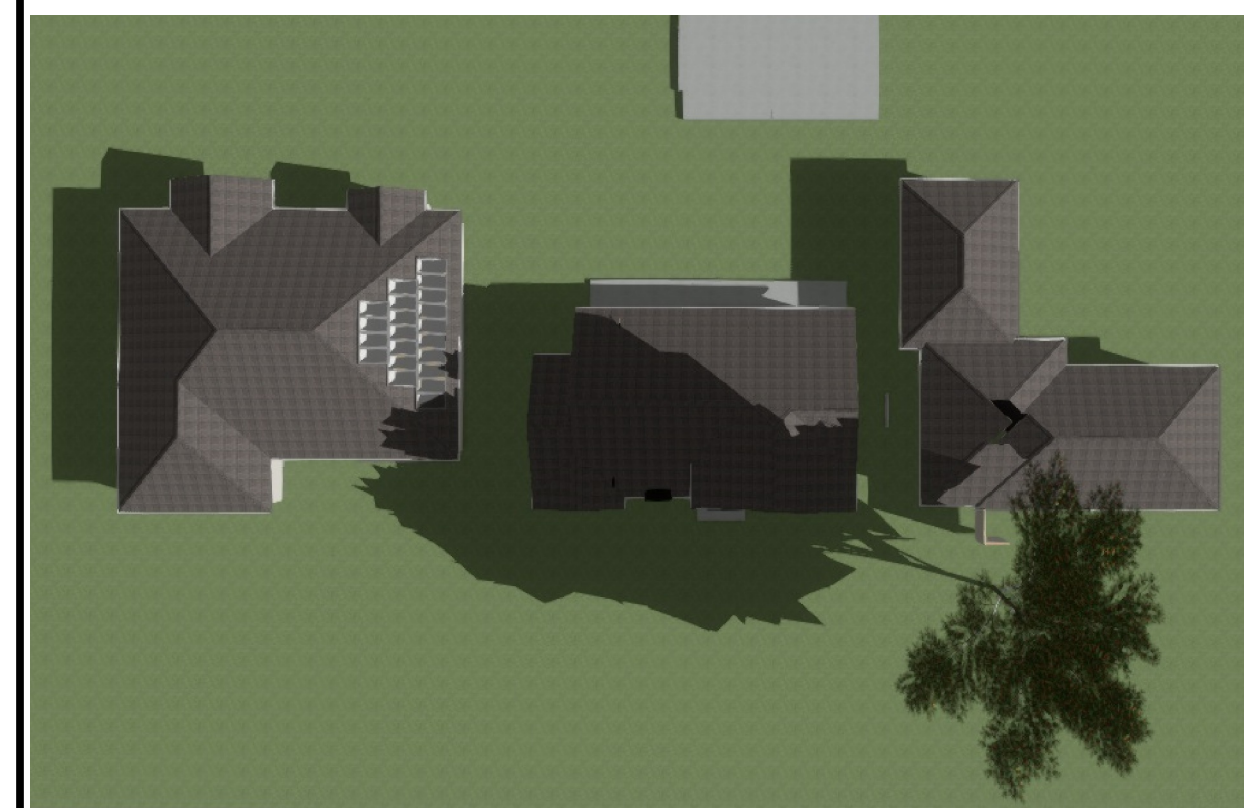


EXISTING SINGLE STORY

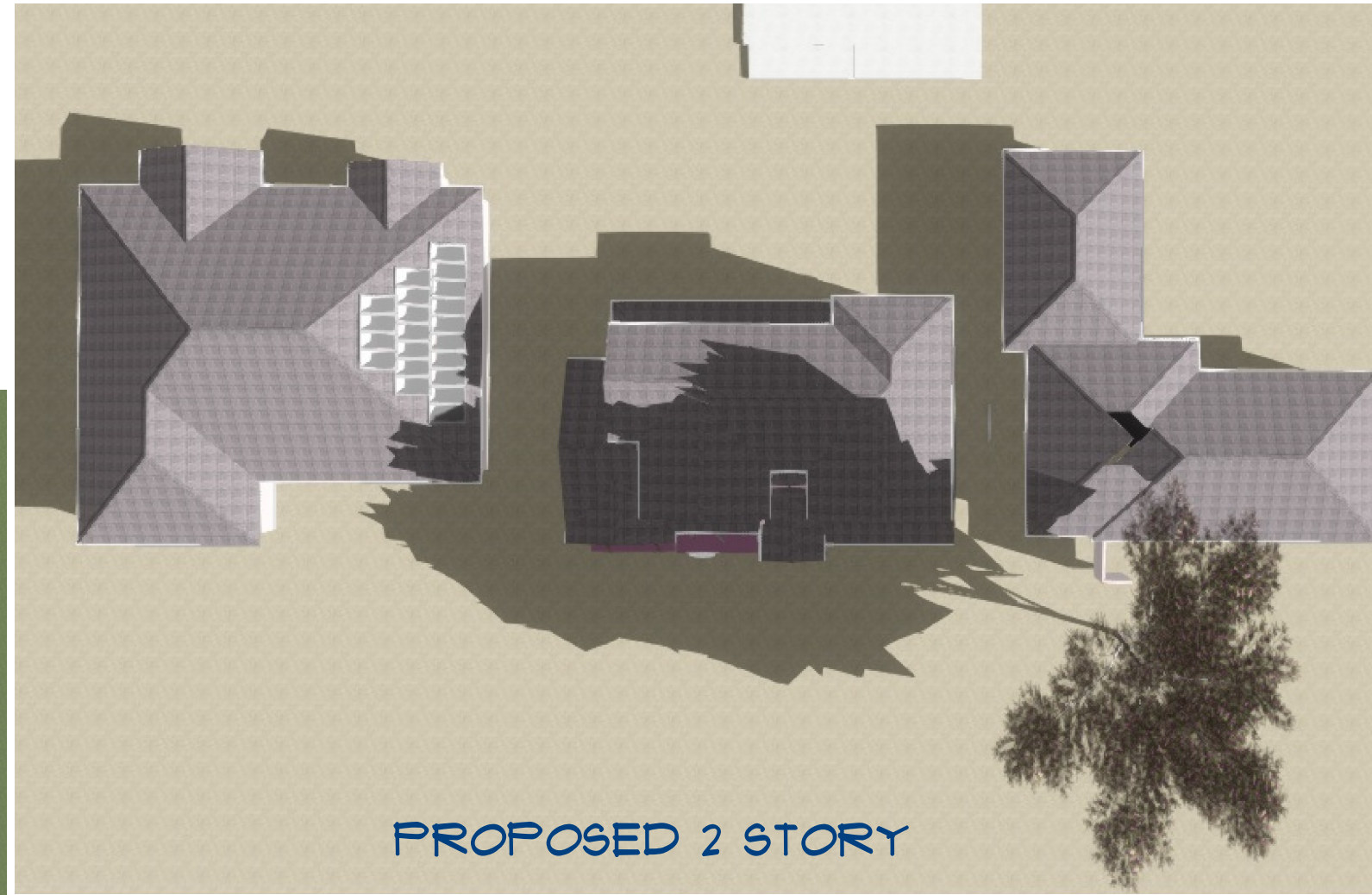


PROPOSED 2 STORY

NOV 21 @ 9AM

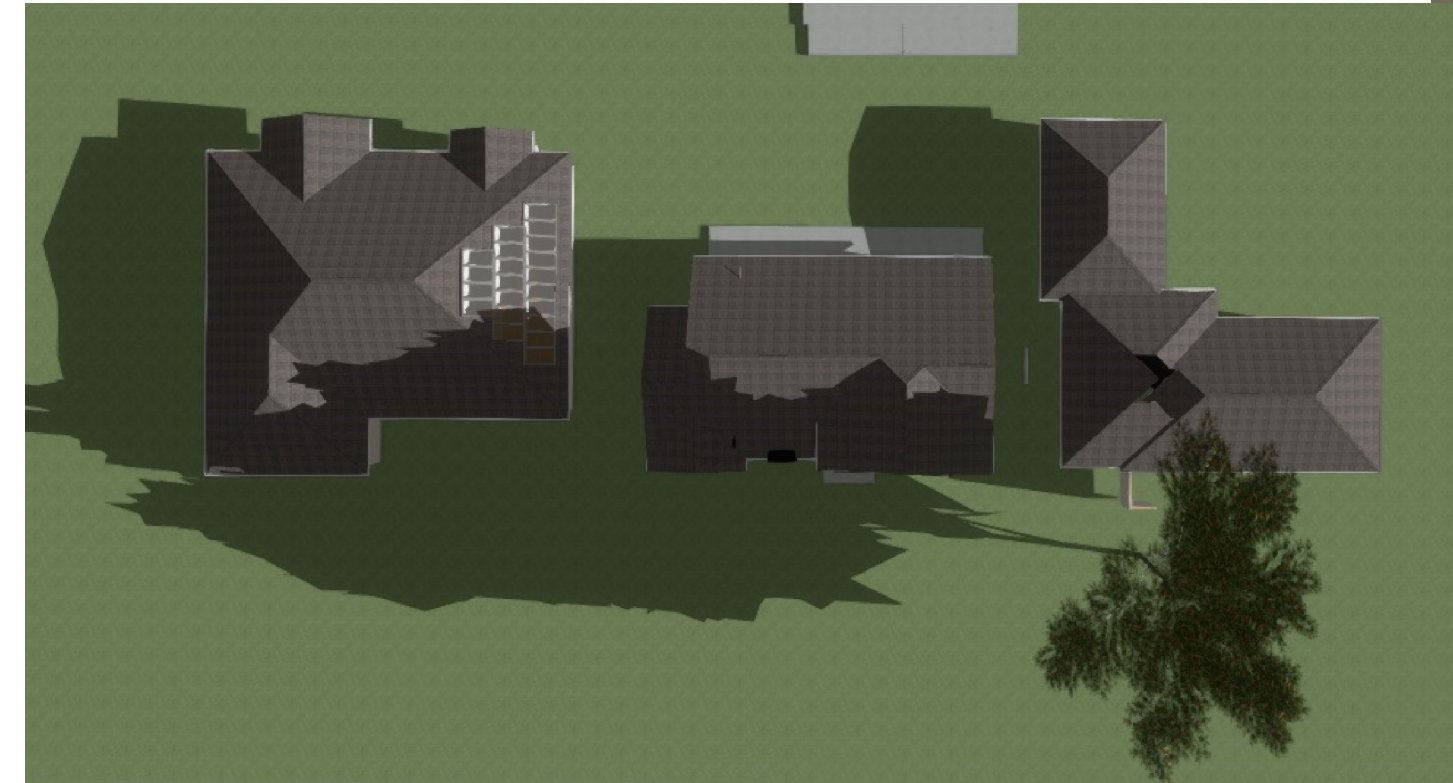


EXISTING SINGLE STORY

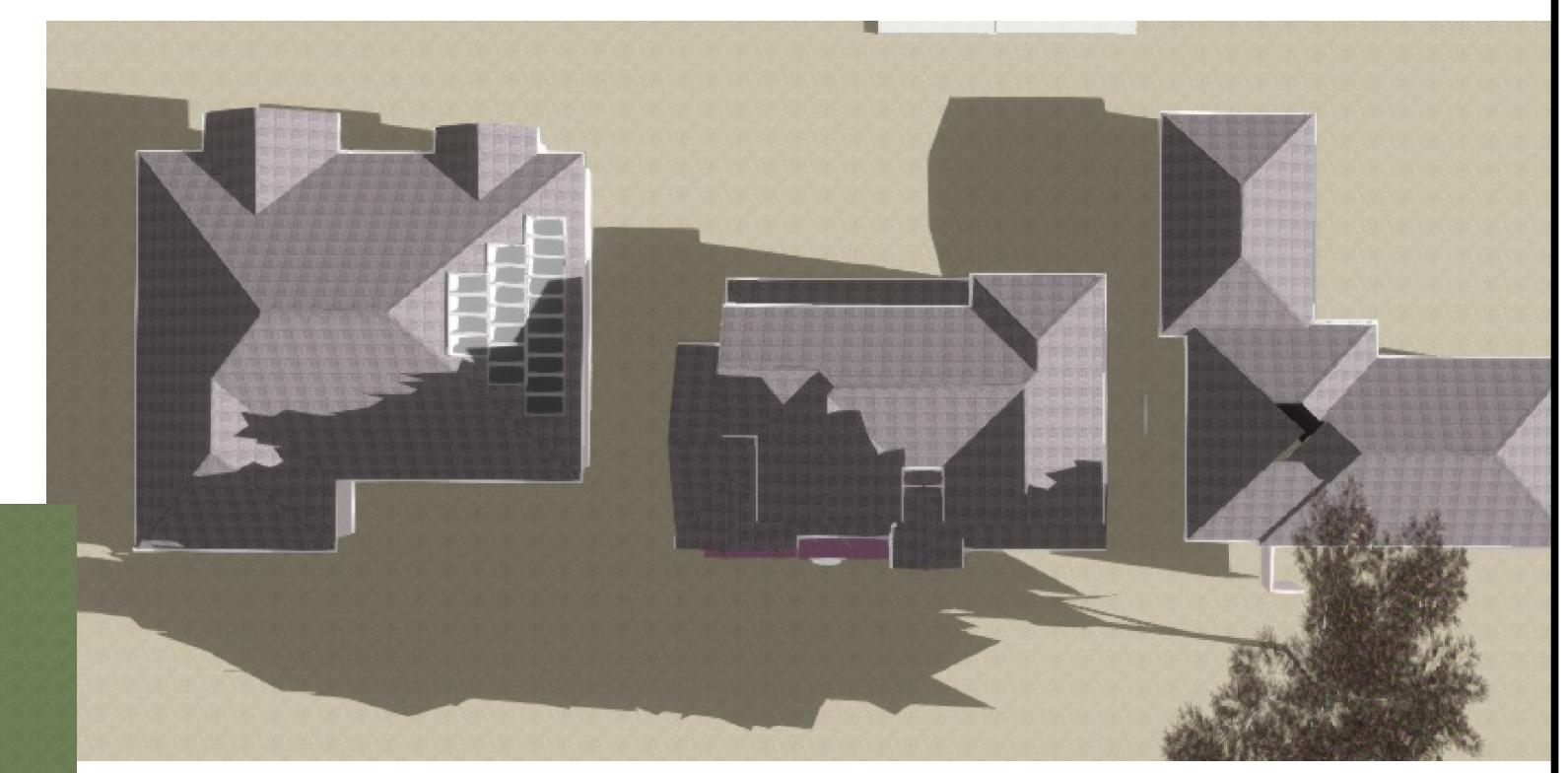


PROPOSED 2 STORY

OCT 21 @ 9:45 AM ONLY MINOR SHADE FROM TREE

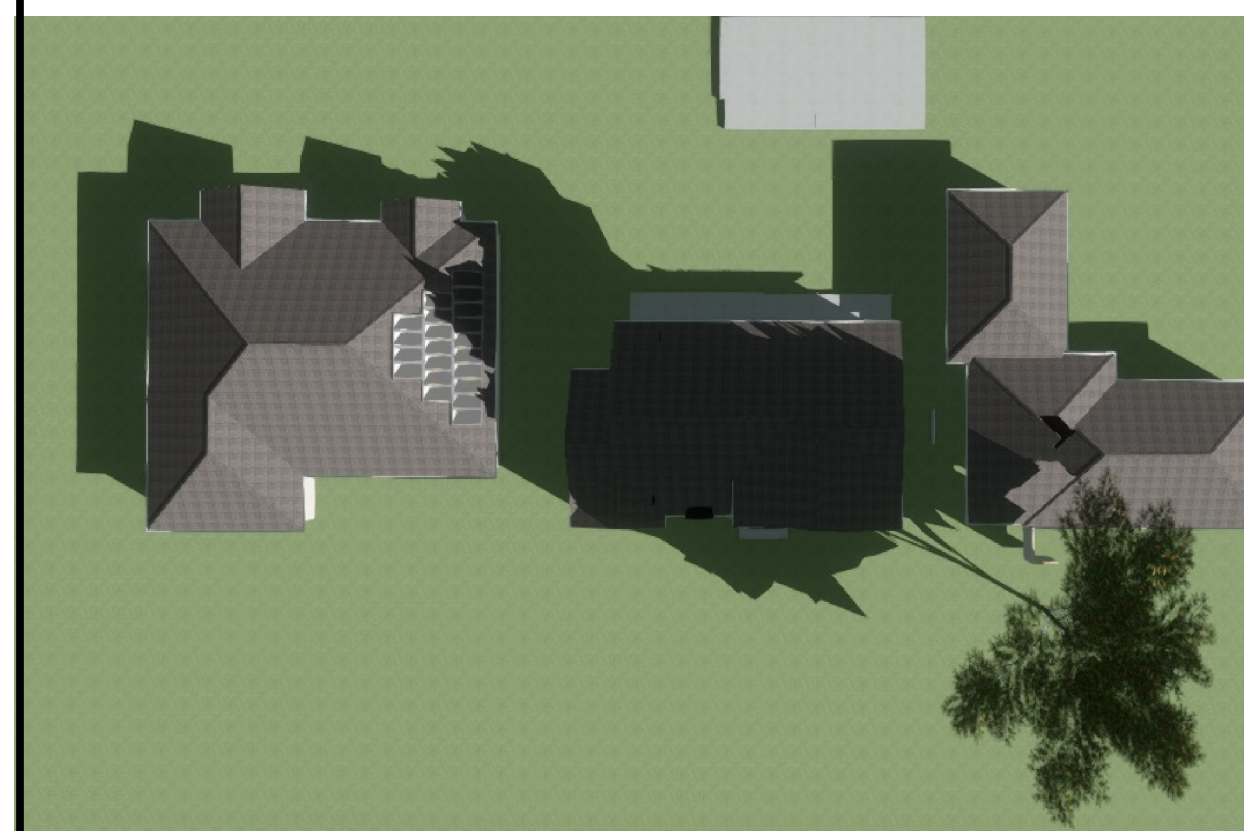


EXISTING SINGLE STORY

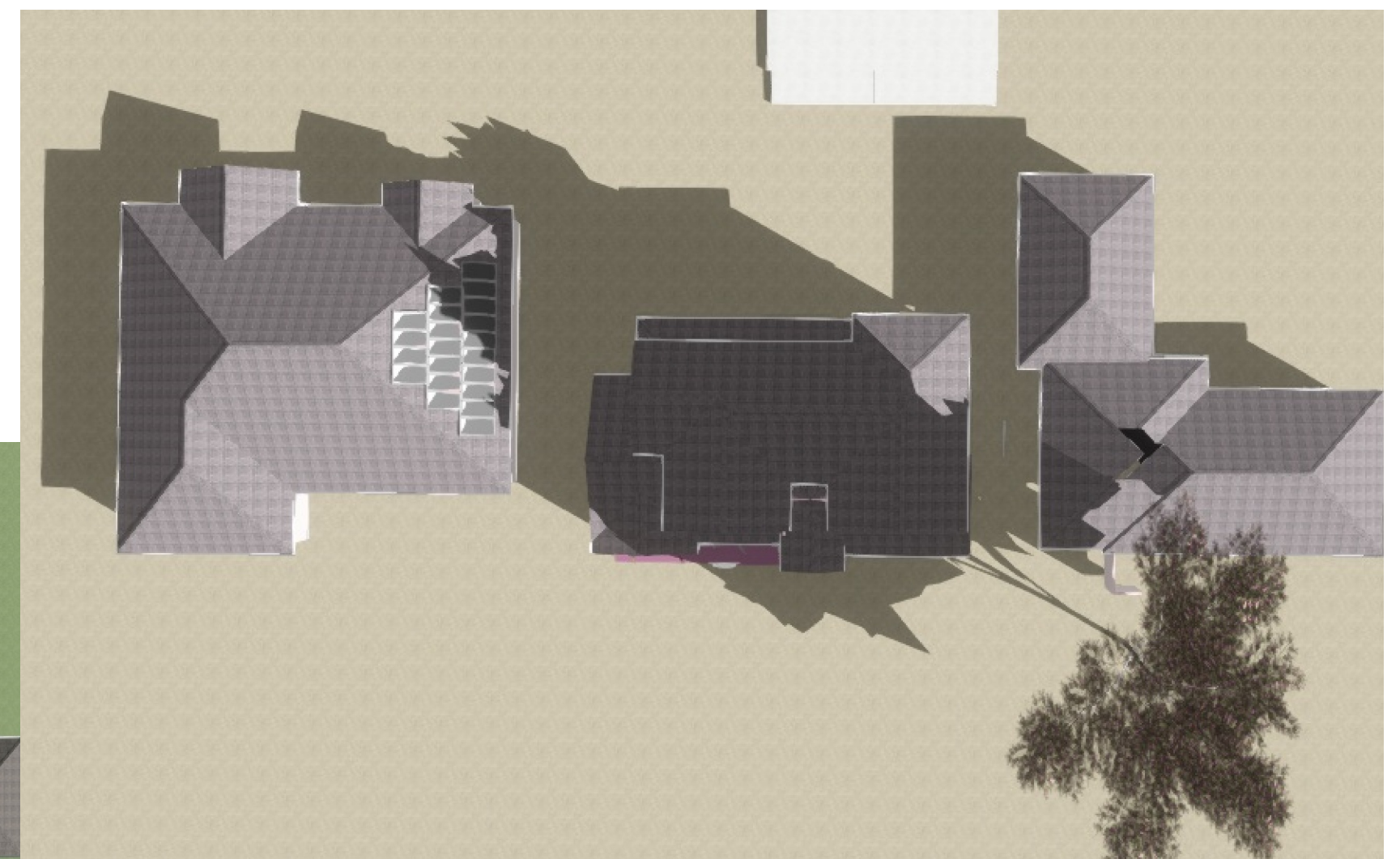


PROPOSED 2 STORY

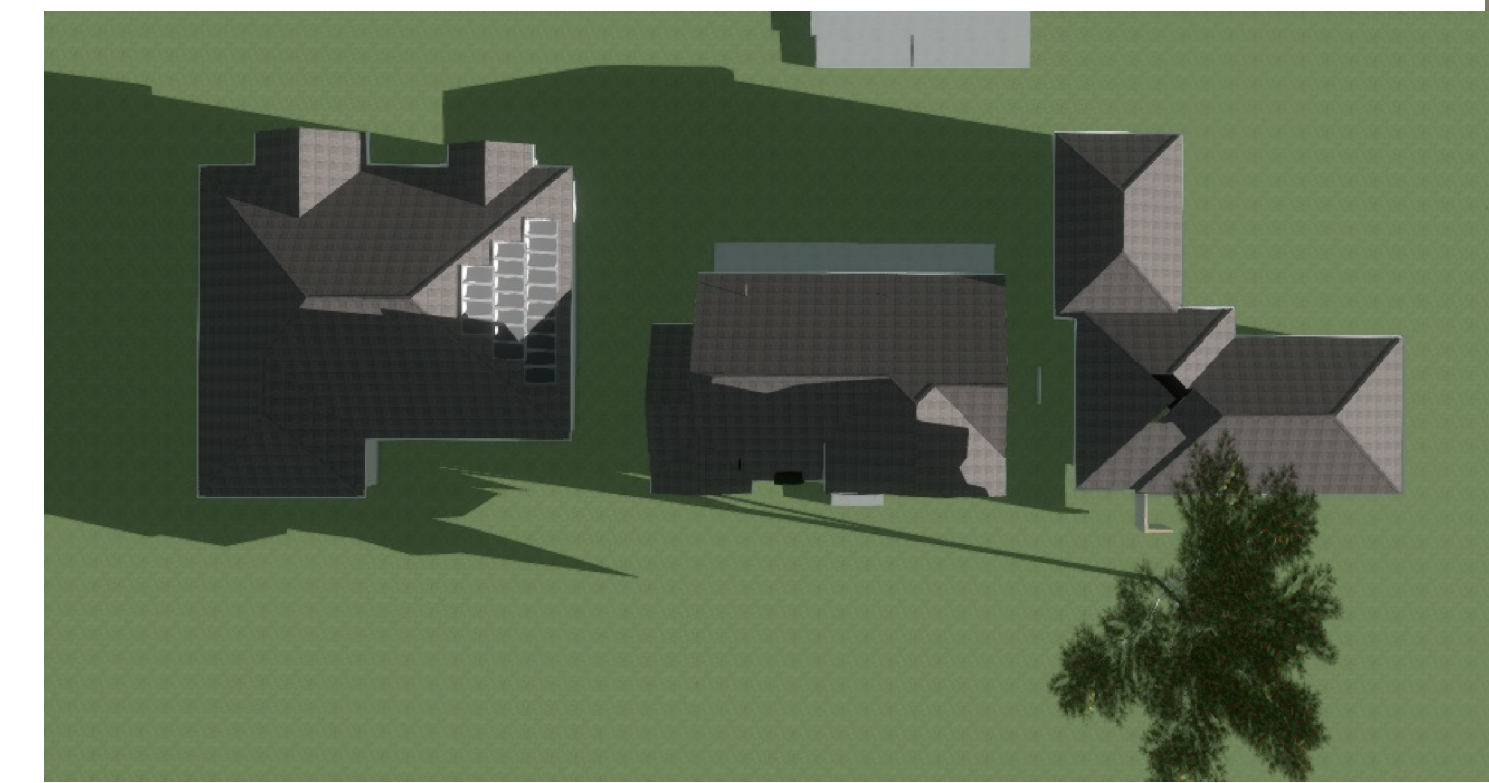
OCT 21 @ 9AM- TREE CAUSING SHADE NOT ADDITION



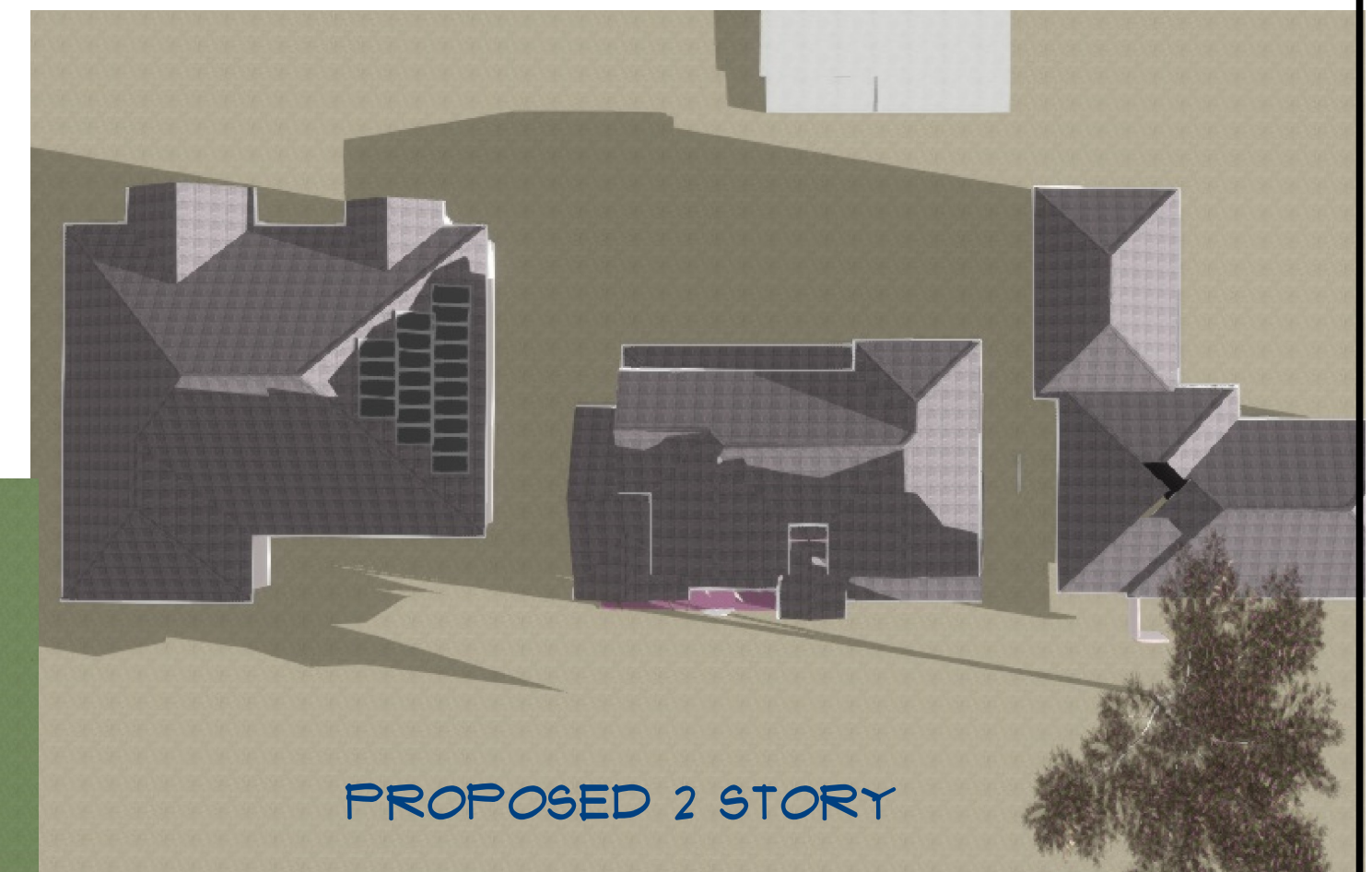
EXISTING SINGLE STORY



JAN 21 @ 10:45 AM TREE PROVIDING THE SHADE NOT ADDITION



EXISTING SINGLE STORY



PROPOSED 2 STORY

JAN 21 @ 9AM

Steve Benzing
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ADDITIONAL SHADE STUDIES FOR NEIGHBORS SOLAR PANELS

ADDITION & ALTERATIONS TO RESIDENCE AT:
16529 MARCHMONT DR.
LOS GATOS, CA
FOR:

BRENDON & MARY CASSIDY
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