



The Brown Residence

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., L. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD
 LOS GATOS, CA

VICINITY MAP	NOTES	PROJECT DIRECTORY	SHEET INDEX																																													
	<p>FIRE DEPARTMENT:</p> <ul style="list-style-type: none"> • AUTOMATIC RESIDENTIAL FIRE SPRINKLERS SHALL BE INSTALLED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, AND COMPLETES PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. NOTE: THE OWNER(S), OCCUPANTS AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. • POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THE PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSTRUCTION WILL NOT BE GRANTED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THE PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). • ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE IN ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MIN. STROKE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OF MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. • CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 99 AND OUR STANDARD DETAILS AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. <p>BUILDING DEPARTMENT:</p> <ul style="list-style-type: none"> • A separate building permit is required for the PV system that is required by the Energy Calculations compliance modeling. The separate PV System permit must be finalized prior to issuance of Certificate of Occupancy. • This residence will comply with the Town's all electric appliance, electric vehicle and energy storage system requirements in accordance with Town Code Section 6.10.020 and 6.120.020. 	<p>PROJECT DIRECTORY</p> <p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>SURVEYOR & CIVIL ENGINEER: HANNA-BRUNETTI 1651 BIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2119</p> <p>LANDSCAPE ARCHITECT: CALIFORNIA HORTICULTURE 1651 CAMDEN AVENUE CAMPBELL, CA 95008 TEL: (408) 864-3190</p> <p>PROJECT DATA</p> <p>PROJECT ADDRESS: 16010 WINTERBROOK ROAD LOS GATOS, CA 95032</p> <p>OWNER: DREA & KARI BROWN 16010 WINTERBROOK ROAD LOS GATOS, CA 95032 (408) 493-0512</p> <p>APN#: 529-26-017</p> <p>ZONING: R-1.5 OCCUPANCY GROUP: R-2/U CONSTRUCTION TYPE: V-B, SPRINKLERED</p> <p>GROSS SITE AREA: 41,394 SF AVERAGE SLOPE: 11.45%</p> <p>NET SITE REDUCTION: 12% REDUCED SITE AREA: 36,421 SF</p> <p>ALLOWABLE FLOOR AREA: 6,000 SF + 400SF (GARAGE ALLOWANCE)</p> <table border="1"> <thead> <tr> <th>FLOOR AREAS:</th> <th>PROPOSED</th> <th>EXISTING (TO BE REMOVED)</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR</td> <td>2,873 SF</td> <td>1,243 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td>2,890 SF</td> <td>1,151 SF</td> </tr> <tr> <td>GARAGE</td> <td>793 SF</td> <td>462 SF</td> </tr> <tr> <td>TOTAL FLOOR AREA</td> <td>6,253 SF</td> <td>2,356 SF</td> </tr> <tr> <td>BASEMENT</td> <td>2,873 SF</td> <td>0 SF</td> </tr> <tr> <td>TOTAL CONDITIONED FLOOR AREA =</td> <td>9,336 SF</td> <td>2,356 SF</td> </tr> <tr> <td>GUEST HOUSE</td> <td>0 SF</td> <td>793 SF</td> </tr> <tr> <td>SHED</td> <td>0 SF</td> <td>207 SF</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>SITE AREAS:</th> <th>RESIDENCE</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>RESIDENCE</td> <td>3,668 SF</td> <td>1,705 SF</td> </tr> <tr> <td>GUEST HOUSE & SHED</td> <td>0 SF</td> <td>1,005 SF</td> </tr> <tr> <td>COVERED PORCHES & PATIOS</td> <td>1,661 SF</td> <td>520 SF</td> </tr> <tr> <td>POOL & SPA</td> <td>915 SF</td> <td>0 SF</td> </tr> <tr> <td>TOTAL BUILDING COVERAGE</td> <td>6,242 SF = 15.1%</td> <td>3,230 SF = 7.8%</td> </tr> </tbody> </table>	FLOOR AREAS:	PROPOSED	EXISTING (TO BE REMOVED)	MAIN FLOOR	2,873 SF	1,243 SF	SECOND FLOOR	2,890 SF	1,151 SF	GARAGE	793 SF	462 SF	TOTAL FLOOR AREA	6,253 SF	2,356 SF	BASEMENT	2,873 SF	0 SF	TOTAL CONDITIONED FLOOR AREA =	9,336 SF	2,356 SF	GUEST HOUSE	0 SF	793 SF	SHED	0 SF	207 SF	SITE AREAS:	RESIDENCE	EXISTING	RESIDENCE	3,668 SF	1,705 SF	GUEST HOUSE & SHED	0 SF	1,005 SF	COVERED PORCHES & PATIOS	1,661 SF	520 SF	POOL & SPA	915 SF	0 SF	TOTAL BUILDING COVERAGE	6,242 SF = 15.1%	3,230 SF = 7.8%	<p>SHEET INDEX</p> <ul style="list-style-type: none"> A-1 COVER SHEET A-2 NEIGHBORHOOD PLAN A-3 SITE PLAN H-1 HYDRANT SPOTTING PLAN 1 CIVIL COVER 2 BLUEPRINT FOR A CLEAN BAY 3 EXISTING TOPOGRAPHY 4 GRADING & DRAINAGE PLAN 5 NOTES, DRIVEWAY PROFILE, & SECTIONS 6 EROSION CONTROL PLAN L1 PRELIMINARY LANDSCAPE PLAN A-4 MAIN FLOOR PLAN A-5 SECOND FLOOR PLAN A-6 LOWER FLOOR PLAN A-7 ROOF PLAN A-8 FRONT & LEFT ELEVATIONS A-9 REAR & RIGHT ELEVATIONS A-10 CROSS SECTIONS A-11 SHADOW STUDIES <p>SCOPE OF WORK</p> <p>A NEW 5,463 SF SINGLE FAMILY RESIDENCE WHICH INCLUDES 6 BEDROOMS, 6 FULL BATHS, 3 HALF BATHS, AN OFFICE, MAN CAVE, CRAFTS ROOM, GYM, GAME ROOM, WRAP AROUND COVERED PORCH, COVERED VERANDA, AND A 3-CAR GARAGE. INCLUDES DEMOLITION OF RESIDENCE AND 9 TREES TO BE REMOVED.</p>
FLOOR AREAS:	PROPOSED	EXISTING (TO BE REMOVED)																																														
MAIN FLOOR	2,873 SF	1,243 SF																																														
SECOND FLOOR	2,890 SF	1,151 SF																																														
GARAGE	793 SF	462 SF																																														
TOTAL FLOOR AREA	6,253 SF	2,356 SF																																														
BASEMENT	2,873 SF	0 SF																																														
TOTAL CONDITIONED FLOOR AREA =	9,336 SF	2,356 SF																																														
GUEST HOUSE	0 SF	793 SF																																														
SHED	0 SF	207 SF																																														
SITE AREAS:	RESIDENCE	EXISTING																																														
RESIDENCE	3,668 SF	1,705 SF																																														
GUEST HOUSE & SHED	0 SF	1,005 SF																																														
COVERED PORCHES & PATIOS	1,661 SF	520 SF																																														
POOL & SPA	915 SF	0 SF																																														
TOTAL BUILDING COVERAGE	6,242 SF = 15.1%	3,230 SF = 7.8%																																														
			<p>COVER SHEET</p> <p>DATE: 05/22/20 SCALE: AS SHOWN SHEET A-1 1 OF -</p>																																													



HOME HEIGHT = APPROX. 14'

16000 WINTERBROOK



End of Culdesac View



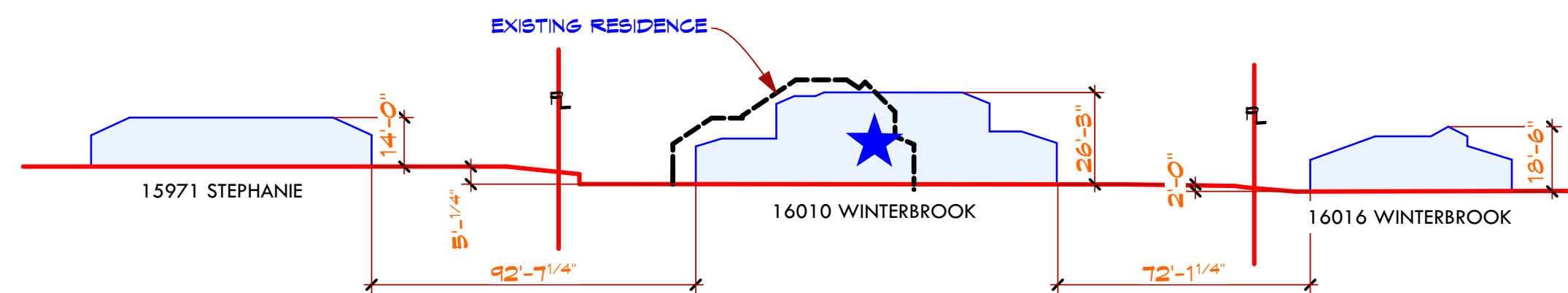
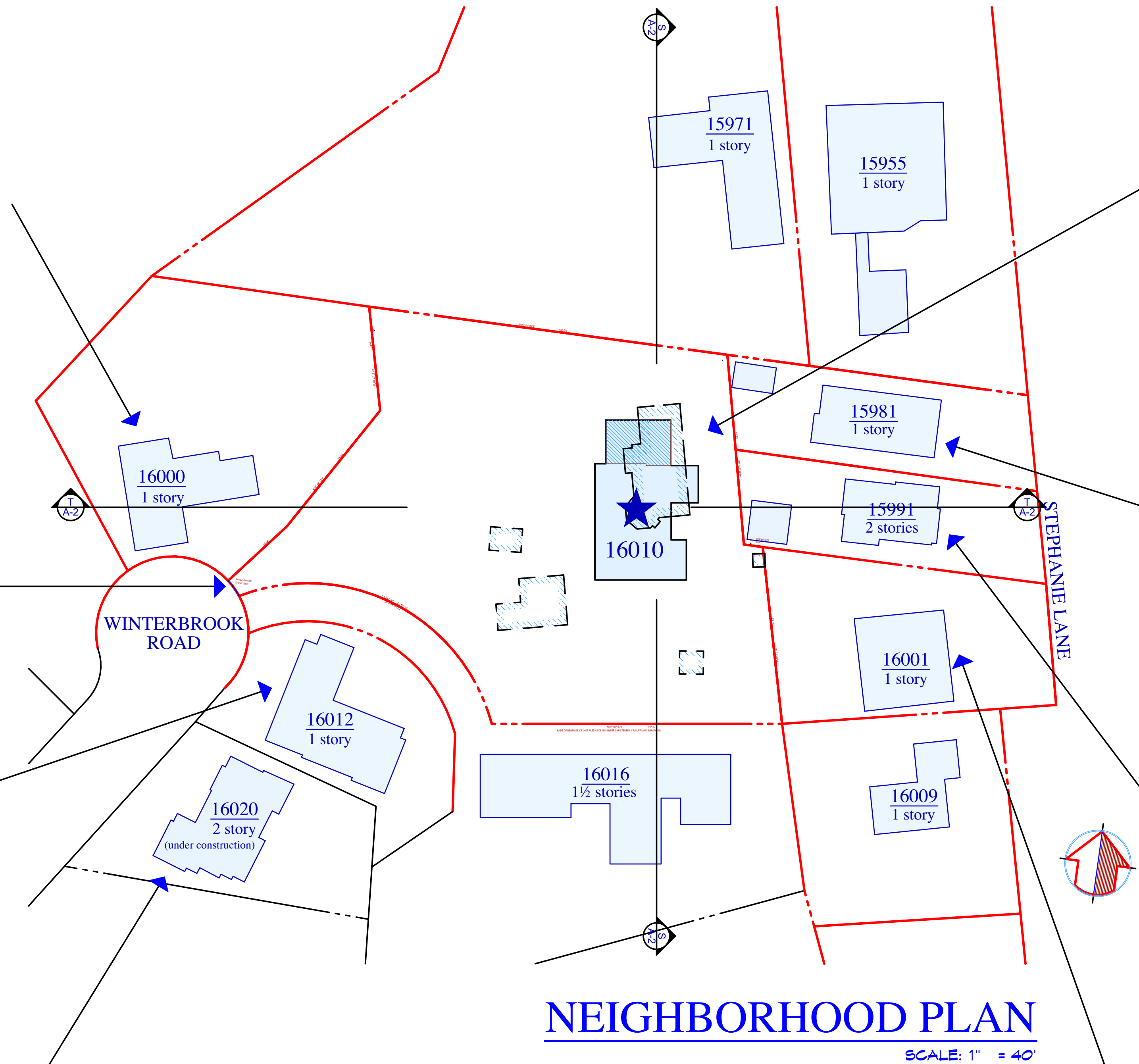
HOME HEIGHT = APPROX. 12'
(FINISHED FLOOR AN ADDITIONAL 12' ABOVE STREET)

16012 WINTERBROOK

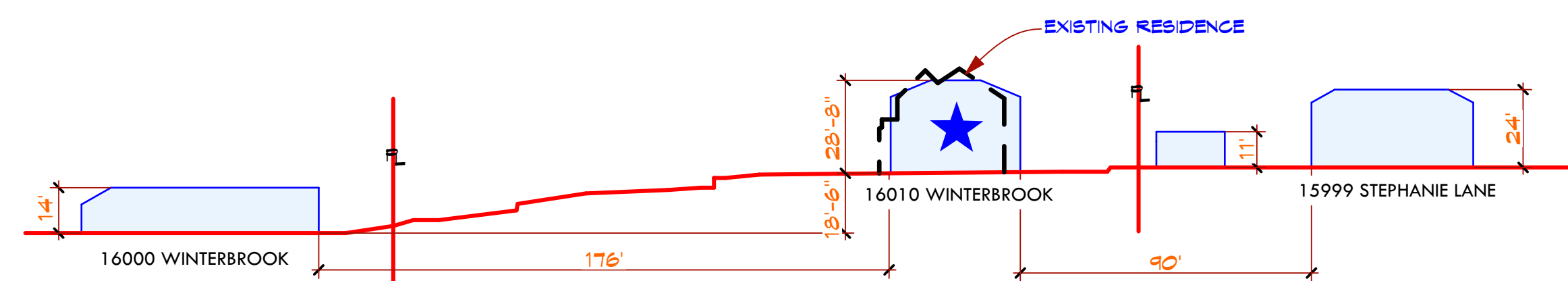


HOME HEIGHT = 21'-6"
(FINISHED FLOOR AN ADDITIONAL 9' ABOVE STREET)

16020 WINTERBROOK



SECTION S-S

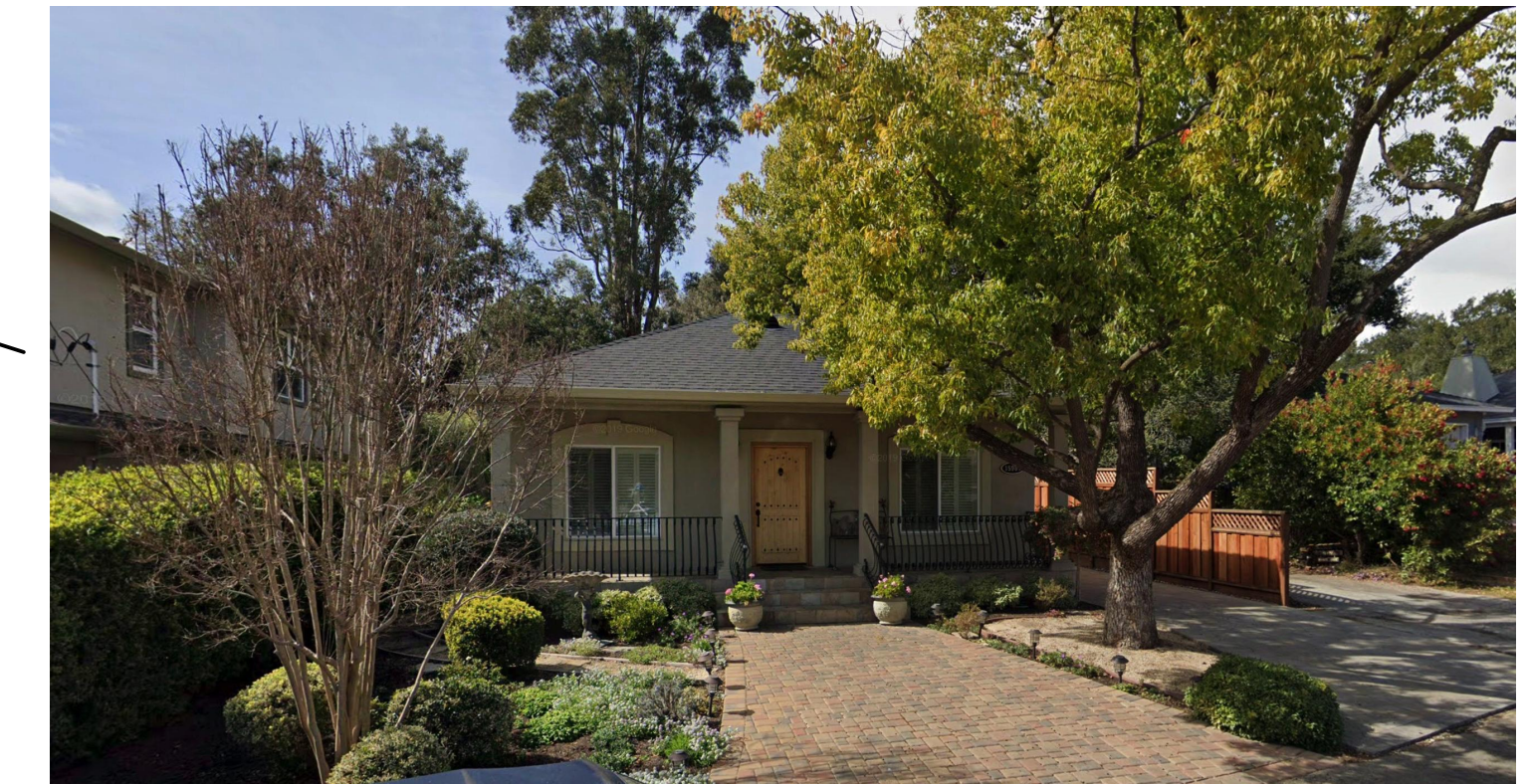


SECTION T-T



PROPOSED HOME HEIGHT = 28'-6"
EXISTING HOME HEIGHT = 29'-6"

PROPOSED HOME



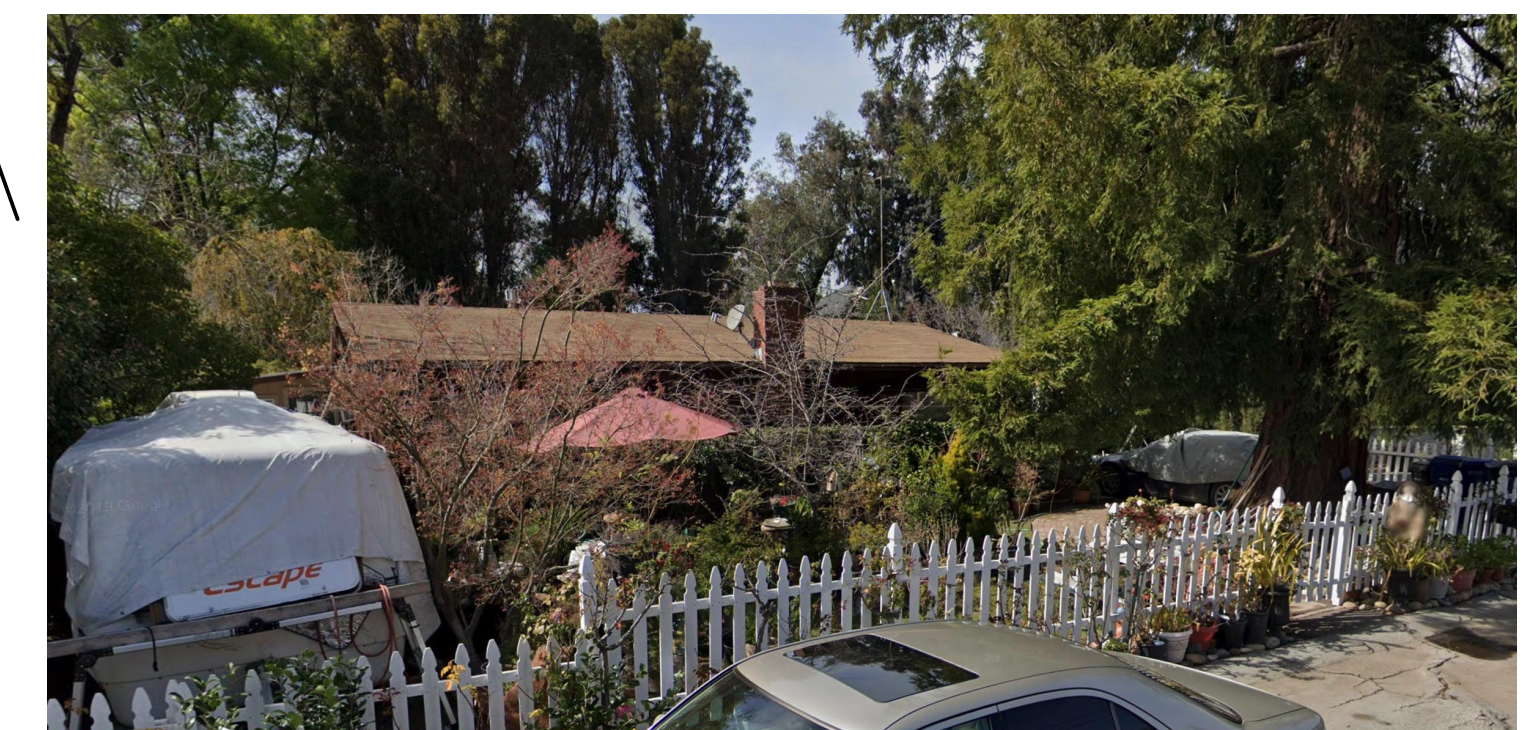
HOME HEIGHT = APPROX. 14'

15981 STEPHANIE



HOME HEIGHT = APPROX. 22'

15991 STEPHANIE



HOME HEIGHT = APPROX. 13'

16001 STEPHANIE

REVISIONS

A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
16010 WINTERBROOK ROAD LOS GATOS, CA

NEIGHBORHOOD PLAN

DATE: 05/22/20

SCALE: AS SHOWN

SHEET

A-2

2 OF -

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

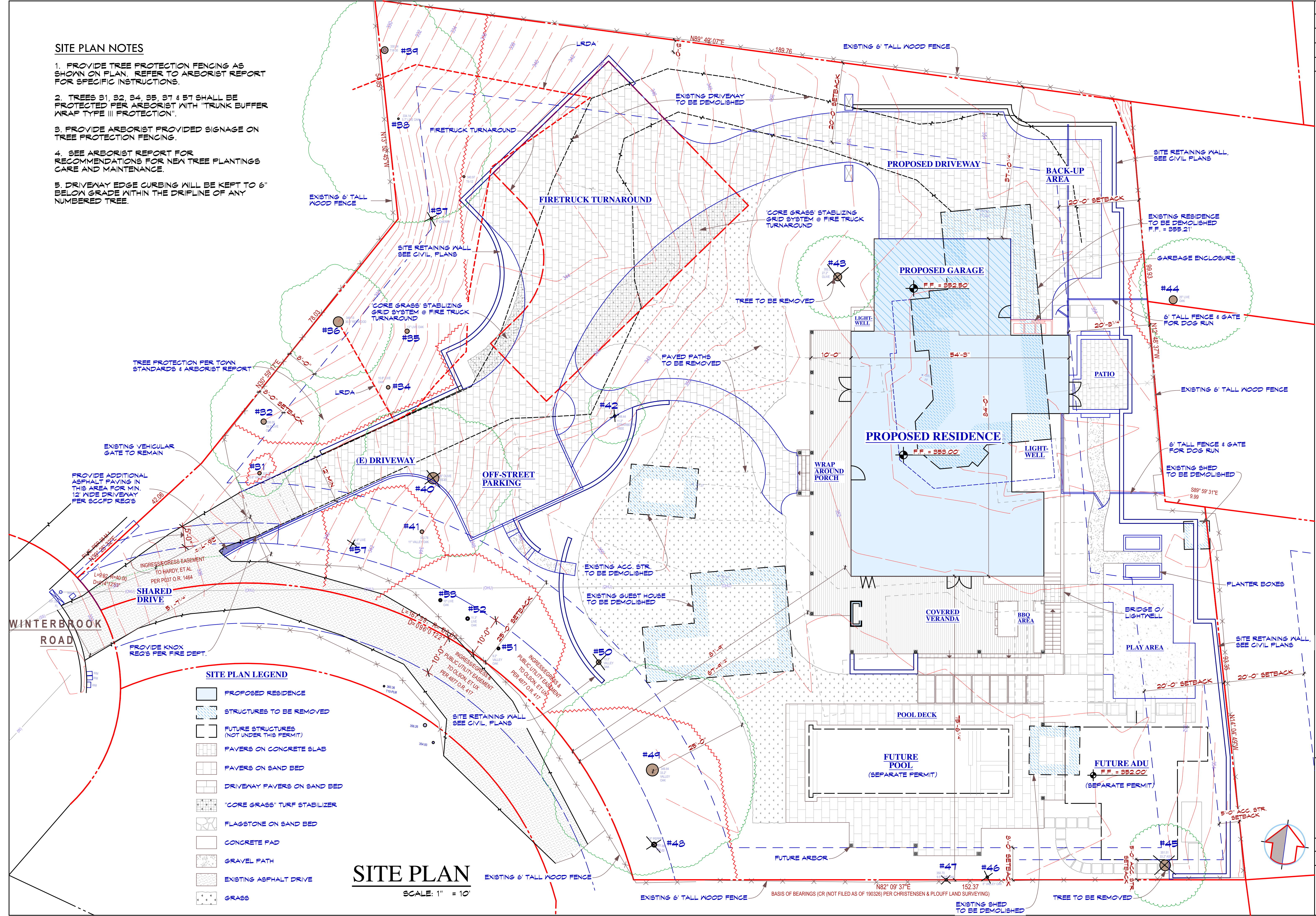
KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD LOS GATOS, CA

SITE PLAN
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-3
 3 OF -

SITE PLAN NOTES

1. PROVIDE TREE PROTECTION FENCING AS SHOWN ON PLAN. REFER TO ARBORIST REPORT FOR SPECIFIC INSTRUCTIONS.
2. TREES 31, 32, 34, 35, 37 & 57 SHALL BE PROTECTED PER ARBORIST WITH "TRUNK BUFFER WRAP TYPE III PROTECTION".
3. PROVIDE ARBORIST PROVIDED SIGNAGE ON TREE PROTECTION FENCING.
4. SEE ARBORIST REPORT FOR RECOMMENDATIONS FOR NEW TREE PLANTINGS CARE AND MAINTENANCE.
5. DRIVEWAY EDGE CURBING WILL BE KEPT TO 6" BELOW GRADE WITHIN THE DRIPLINE OF ANY NUMBERED TREE.



SITE PLAN LEGEND

- PROPOSED RESIDENCE
- STRUCTURES TO BE REMOVED
- FUTURE STRUCTURES (NOT UNDER THIS PERMIT)
- PAVERS ON CONCRETE SLAB
- PAVERS ON SAND BED
- DRIVEWAY PAVERS ON SAND BED
- "CORE GRASS" TURF STABILIZER
- FLAGSTONE ON SAND BED
- CONCRETE PAD
- GRAVEL PATH
- EXISTING ASPHALT DRIVE
- GRASS

SITE PLAN
 SCALE: 1" = 10'

PROJECT DATA

PROJECT ADDRESS: 16010 WINTERBROOK ROAD
LOS GATOS, CA 95032

OWNER: DREW & KARI BROWN
16010 WINTERBROOK ROAD
LOS GATOS, CA 95032
(408) 483-0912

APN#: B23-26-017

ZONING: R-1.5
OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: V-B, SPRINKLERED
REQUIRED FIRE FLOW @ 20 PSI: 1,375

GROSS SITE AREA: 41,994 SF
AVERAGE SLOPE: 19.2%

NET SITE REDUCTION: 16%
REDUCED SITE AREA: 34,711 SF

ALLOWABLE FLOOR AREA: 6,000 SF + 400SF (GARAGE ALLOWANCE)

FLOOR AREAS:	PROPOSED
MAIN FLOOR	2,878 SF
SECOND FLOOR	2,590 SF
GARAGE	715 SF
TOTAL FLOOR AREA	6,283 SF
BASEMENT	2,889 SF
TOTAL CONDITIONED FLOOR AREA =	9,352 SF

SCOPE

A NEW 5,469 SF SINGLE FAMILY RESIDENCE WHICH INCLUDES 6 BEDROOMS, 6 FULL BATHS, 3 HALF BATHS, AN OFFICE, MAN CAVE, CRAFTS ROOM, GYM, GAME ROOM, WRAP AROUND COVERED PORCH, COVERED VERANDA, AND A 3-CAR GARAGE. INCLUDES DEMOLITION OF RESIDENCE AND 9 TREES TO BE REMOVED.



Approved
SANTA CLARA COUNTY
FIRE DEPARTMENT
14700 WINCHESTER BLVD.
LOS GATOS, CA 95032-1818
(408) 378-4010

REVIEWED
DATE: 8-25-21 NAME: K-Top
Adjusted Fireflow Requirement
Min 1375 GPM @ 20 psi.

HYDRANT SPOTTING PLAN

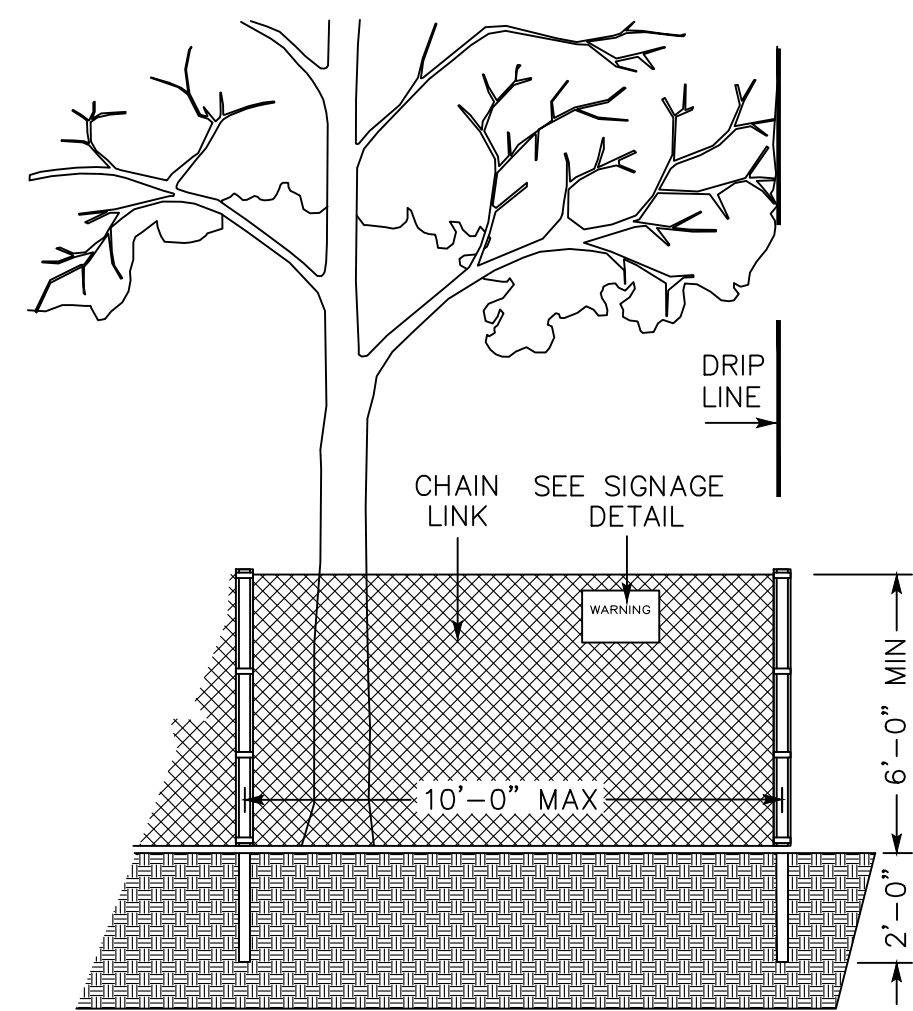
SCALE: 1" = 80'

GRADING AND DRAINAGE PLANS

16010 WINTERBROOK ROAD, LOS GATOS, CA 95032
 GRADING PERMIT APPLICATION NO. GRXX-XXX
 ASSESSORS PARCEL NO. 523-26-017



VICINITY MAP



EXISTING TREE PROTECTION DETAILS

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 6 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS, "WARNING: TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

GENERAL NOTES

- PROPERTY ADDRESS: 16010 WINTERBROOK ROAD, LOS GATOS, CA 95032
- PROPERTY OWNER: DREW AND KARI BROWN
- ASSESSORS PARCEL NUMBER: 523-26-017
- EXISTING USE: LOW DENSITY RESIDENTIAL
- EXISTING ZONING: R-1:8 PREZONE
- PROPOSED USE:
- PROPOSED ZONING:
- SITE AREA: 41,620 SQ. FT. / 0.96 ACRES
- APPLICANT/DEVELOPER: ANDREW AND KARI BROWN - 16010 WINTERBROOK ROAD, LOS GATOS CA 95032 (408) 458-0512
- CONSULTANTS: KOHLSAAT & ASSOCIATES - 51 UNIVERSITY AVENUE "L" LOS GATOS, CA 95030 (408) 395-2555
- WATER SUPPLY: SAN JOSE WATER COMPANY
- SANITARY SEWER DISPOSAL: WEST VALLEY SANITATION DISTRICT
- GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
- TELEPHONE: FRONTIER COMMUNICATIONS
- CABLE: CHARTER CABLE
- STORM DRAIN: TOWN OF LOS GATOS
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- DATUM: TOWN OF LOS GATOS MONUMENTS
- BASIS OF BEARINGS: THE BEARINGS ON THESE PLANS ARE BASED ON THE SOUTHERLY PROPERTY LINE OF THE PROJECT WITH A BEARING OF NORTH 82° 09' 37" EAST; PER CHRISTENSEN & PLOUFF LAND SURVEYING
- BENCHMARK INFORMATION:
 BENCHMARK ID: LG48
 ELEVATION: 342.14 FT
 ORGANIZATION: TOWN OF LOS GATOS
 DESCRIPTION: SET BRASS DISK IN MONUMENT WELL STAMPED "LG48"; AT THE INTERSECTION OF BLOSSOM HILL ROAD AND ATWOOD COURT
- FLOOD ZONE:
 FLOOD ZONE PANEL - 060337-06085C0377H
 PANEL DATE - MAY 18, 2009
 COMMUNITY NAME - SANTA CLARA COUNTY
 PROJECT LOCATED IN ZONE D
 DESCRIPTION- AN AREA OF UNDETERMINED BUY POSSIBLE FLOOD HAZARDS.

- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS; PAINT FLAKES OR STUCCO FRAGMENT; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

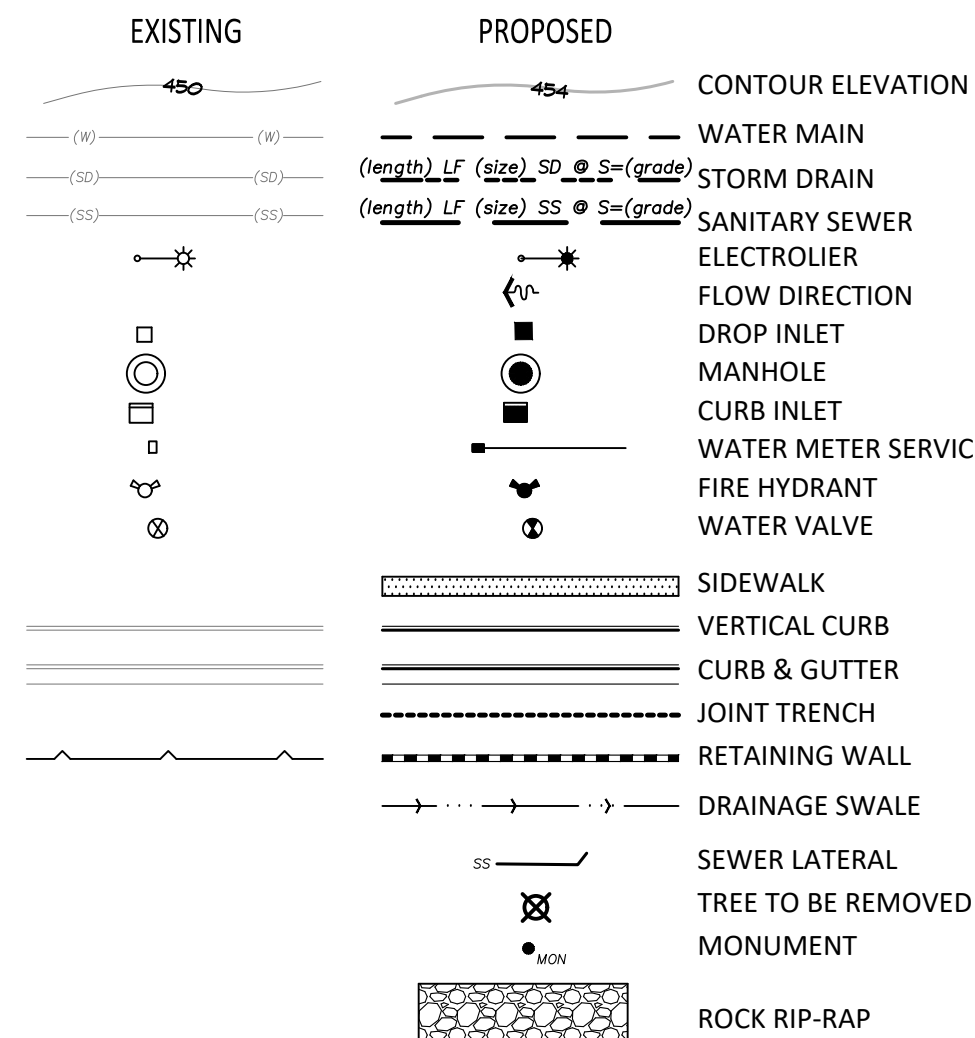
TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA:	TOTAL SITE AREA DISTURBED: 31,000 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)			
41,394 SF	EXISTING AREA (SF)	PROPOSED AREA (SF)	TOTAL AREA POST-PROJECT (SF)	
	REPLACED	NEW		
IMPERVIOUS AREA	8,165	8,165	14,248	22,413
TOTAL NEW & REPLACED IMPERVIOUS AREA		8,165		
PERVIOUS AREA	33,229	-	-	18,981

TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (SF)	FILL (CY)	MAX FILL DEPTH (SF)	IMPORT/EXPORT (CY)
HOUSE FOOTPRINT					
CELLAR	+903	+14.4	-	-	+903 ex
ATTACHED GARAGE	+28	+3	-	-	+28 ex
ACCESSORY BUILDING					
POOL					
DRIVEWAY / ACCESS	+492	+4.0	+12	+1.9	+480 ex
LANDSCAPE / OUTDOOR	+270	+2.9	+236	+1.8	+34 ex
TOTAL	+1693		+248		+1445 ex

SHEET INDEX

- TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY
- GRADING AND DRAINAGE PLAN
- NOTES, DRIVEWAY PROFILE AND SECTIONS
- EROSION CONTROL PLAN

LEGEND



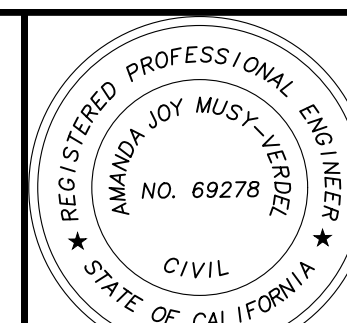
ABBREVIATIONS

AC	ASPHALT CONCRETE	FF	FINISH FLOOR	R	RADIUS
AB	AGGREGATE BASE	FG	FINISH GRADE	RCP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
AGG	AGGREGATE	FL	FLOWLINE	RWL	RAINWATER LEADER
BC	BEGINNING OF CURVE	FOC	FACE OF CURB	S	SLOPE
BLDG	BUILDING	G	GAS LINE	SD	STORM DRAIN PIPE
BOC	BACK OF CURB	GM	GAS METER	SS	SANITARY SEWER PIPE
BO	BLOW OFF	GB	GRADE BREAK	STM	STORM DRAIN MANHOLE
BWF	BARB WIRE FENCE	CUY	GUY WIRE FOR POLE	SS MH	SANITARY SEWER MANHOLE
CATV	CABLE TELEVISION	GV	GATE VALVE	SP	SERVICE POLE
CB	CATCH BASIN	HDPE	HIGH DENSITY POLYETHYLENE	STD	STANDARD
C&G	CURB & GUTTER	HMA	HOT MIX ASPHALT	SQ	SQUARE
CI	CURB INLET	HP	HIGH POINT	SW	SIDEWALK
CL	CENTERLINE	INV	INVERT OF PIPE	T	TELEPHONE LINE
CMP	CORRUGATED METAL PIPE	IP	IRON PIPE	TBM	TEMPORARY BENCHMARK
CMU	CONCRETE MASONRY UNIT	JP	JOINT POLE	TC	TOP OF CURB
CO	CLEAN OUT	JT	JOINT TRENCH	TG	TOP OF GRATE
CONC	CONCRETE	LF	LINEAR FEET	TQB	TOP OF BANK
CONC	CONCRETE	LP	LOW POINT	TOE	TOE OF BANK
CONC	CONSTRUCTION	MAX	MAXIMUM	TW	TOP OF WALL
DDCV	DOUBLE DETECTOR CHECK	MIN	MINIMUM	TYP	TYPICAL
DI	DROP INLET	N.I.C.	NOT IN CONTRACT	W	WATER LINE
DIP	DUCTILE IRON PIPE	(N)	NEW	WM	WATER METER
DWY	DRIVEWAY	OHU	OVERHEAD UTILITY	WV	WATER VALVE
E	ELECTRIC LINE	PB	PULL BOX		
EC	END OF CURVE	PCC	PORTLAND CONCRETE CEMENT		
EG	EXISTING GRADE	PL	PROPERTY LINE		
ELEV	ELEVATION	PRC	POINT REVERSE CURVE		
EP	EDGE OF PAVEMENT	P.S.E.	PUBLIC SERVICE EASEMENT		
ER	END OF RETURN	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT		
ESMT	EASEMENT	P.U.E.	PUBLIC UTILITY EASEMENT		
(E)	EXISTING	PVI	POINT OF VERTICAL INTERSECTION		
EX	EXISTING	PVC	POLYVINYL CHLORIDE PIPE		

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.
 SOILS ENGINEER _____
 REFERENCE REPORT NO. _____, DATED _____, 20____
 LETTER NO. _____, DATED _____, 20____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/ LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: ANDREW AND KARI BROWN PHONE: 408 458-0512
- GENERAL CONTRACTOR: _____ PHONE: _____
- GRADING CONTRACTOR: _____ PHONE: _____
- CUT: _____ CY EXPORT: _____ CY
 FILL: _____ CY IMPORT: _____ CY



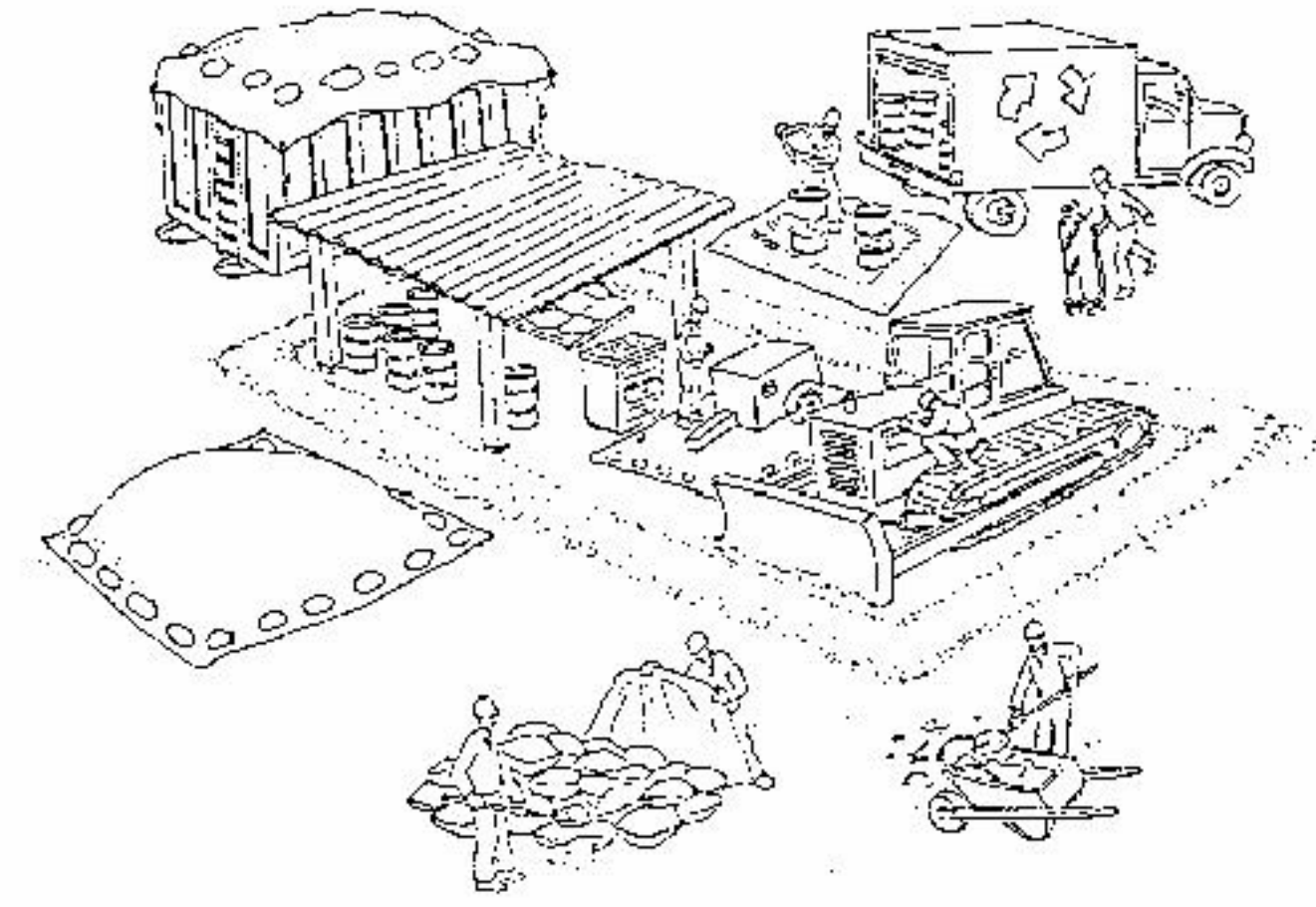
DATE:	SEPTEMBER 15, 2021
SCALE:	NONE
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	XX

GRADING AND DRAINAGE PLANS
BROWN - 16010 WINTERBROOK ROAD
 TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
 GRADING PERMIT APPLICATION NO. GRXX-XXX
 PARKS AND PUBLIC WORKS DEPARTMENT
 TOWN OF LOS GATOS

HANNA BRUNETTI
 CIVIL ENGINEER - LAND SURVEYORS
 CONSTRUCTION MANAGERS
 765 EUGENIE STREET • GILROY • 95020 • CALIFORNIA
 OFFICE (408) 842-2733 • FAX (408) 842-2662
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

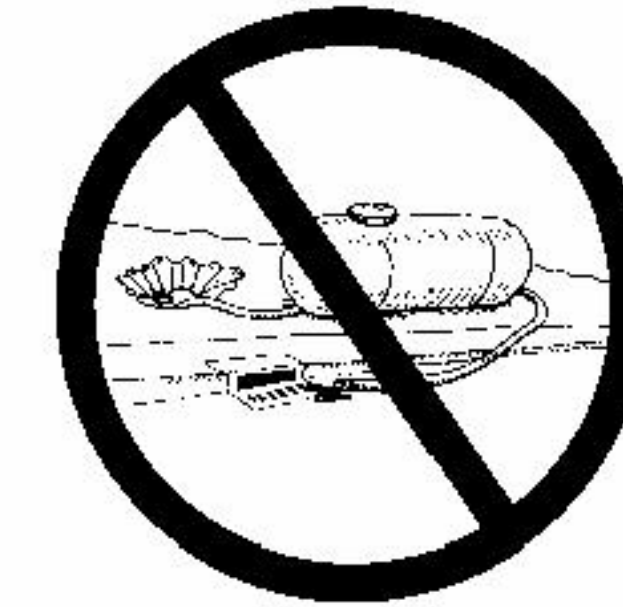
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

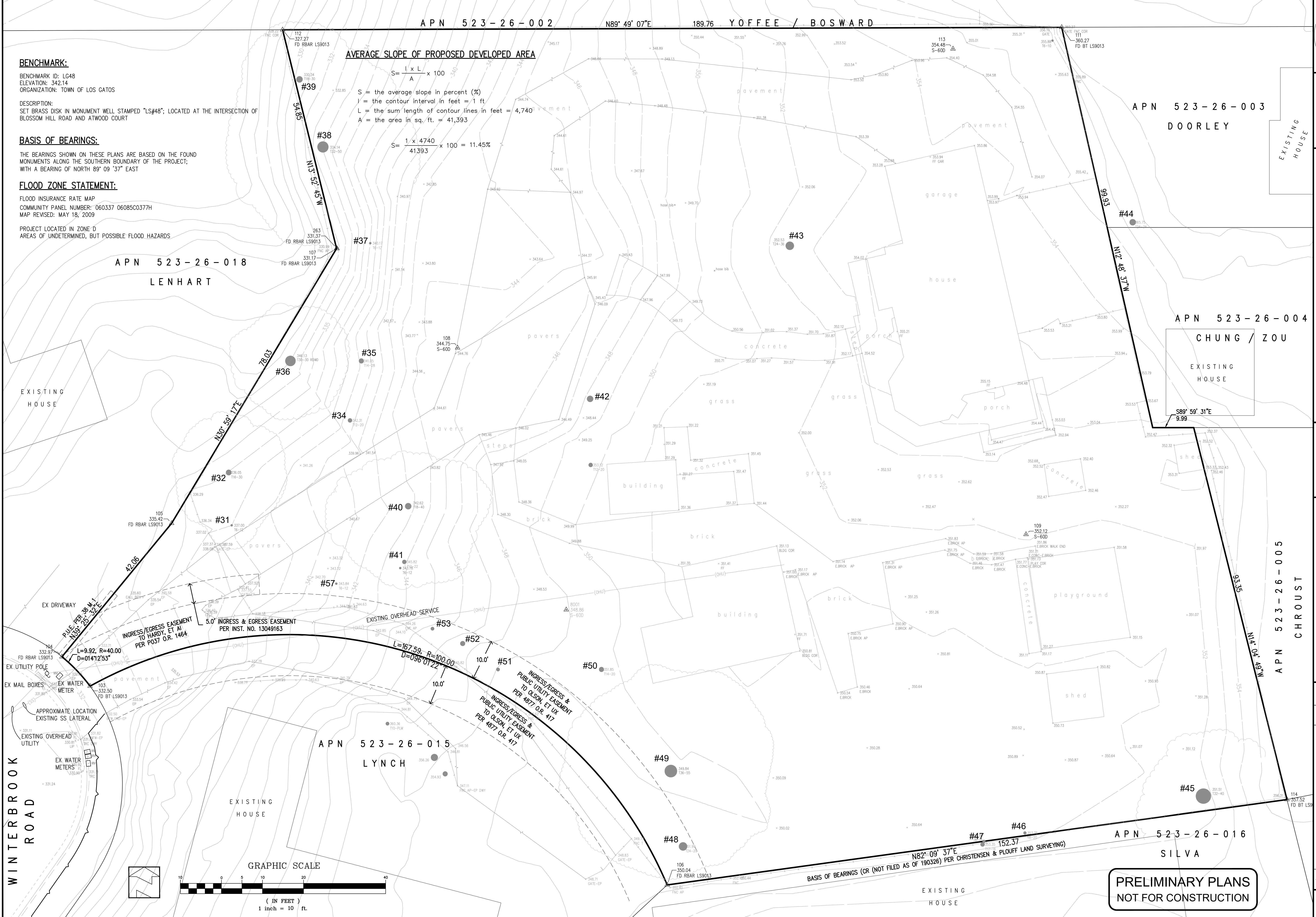


Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FROM THE APPROPRIATE AGENCIES AND AGENCIES.



BENCHMARK:
 BENCHMARK ID: LG48
 ELEVATION: 342.14
 ORGANIZATION: TOWN OF LOS GATOS

DESCRIPTION:
 SET BRASS DISK IN MONUMENT WELL STAMPED "LS#48"; LOCATED AT THE INTERSECTION OF BLOSSOM HILL ROAD AND ATWOOD COURT

BASIS OF BEARINGS:

THE BEARINGS SHOWN ON THESE PLANS ARE BASED ON THE FOUND MONUMENTS ALONG THE SOUTHERN BOUNDARY OF THE PROJECT; WITH A BEARING OF NORTH 89° 09' 37" EAST

FLOOD ZONE STATEMENT:

FLOOD INSURANCE RATE MAP
 COMMUNITY PANEL NUMBER: 060337 06085C0377H
 MAP REVISED: MAY 18, 2009

PROJECT LOCATED IN ZONE D
 AREAS OF UNDETERMINED, BUT POSSIBLE FLOOD HAZARDS

AVERAGE SLOPE OF PROPOSED DEVELOPED AREA

$$S = \frac{I \times L}{A} \times 100$$

S = the average slope in percent (%)
 I = the contour interval in feet = 1 ft
 L = the sum length of contour lines in feet = 4,740'
 A = the area in sq. ft. = 41,393

$$S = \frac{1 \times 4740}{41393} \times 100 = 11.45\%$$

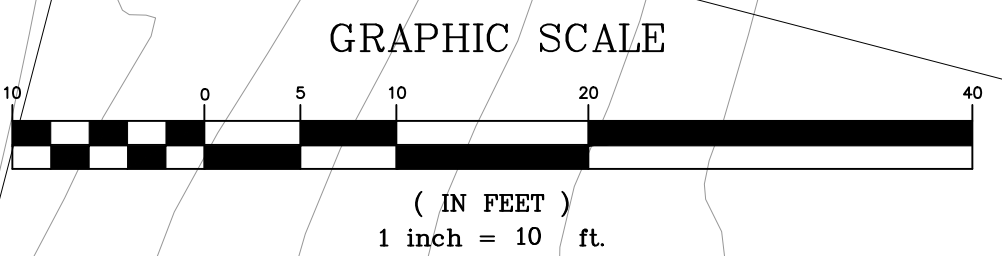
APN 523-26-018
 LENHART

APN 523-26-003
 DOORLEY

APN 523-26-004
 CHUNG / ZOU

APN 523-26-015
 LYNCH

APN 523-26-016
 SILVA



**PRELIMINARY PLANS
 NOT FOR CONSTRUCTION**



DATE:	SEPT 15, 2021
SCALE:	1"=10'
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	XX
PROJECT NO.:	19019

GRADING AND DRAINAGE PLANS
BROWN - 16010 WINTERBROOK ROAD
 EXISTING TOPOGRAPHY
 GRADING PERMIT APPLICATION NO. GRXX-XX
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7651 EGLERBERRY STREET • GILROY • 95020 • CALIFORNIA
 OFFICE (408) 842-2733 • FAX (408) 842-2662
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 811/1-800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

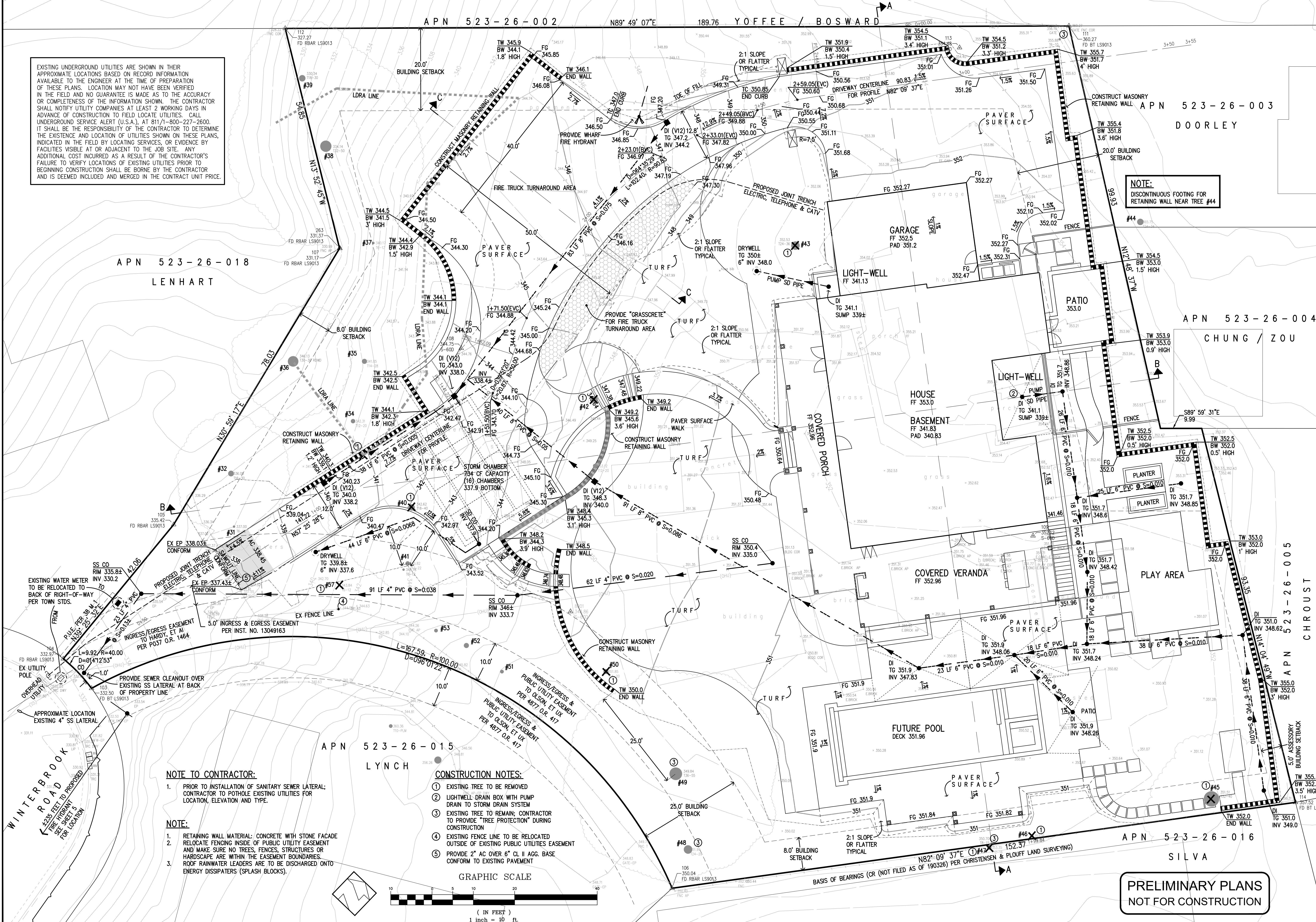


DATE: SEPT 15, 2021
 SCALE: 1"=10'
 DESIGN: AM
 DRAWN: TM
 CHECK: XX
 ENGR: XX
 PROJECT NO.: 19019

GRADING AND DRAINAGE PLANS
BROWN - 16010 WINTERBROOK ROAD
 GRADING & DRAINAGE PLAN
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7691 EUGENIE STREET • GILROY • 95020 • CALIFORNIA
 OFFICE: (408) 842-2723 • FAX: (408) 842-2662
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS



NOTE TO CONTRACTOR:

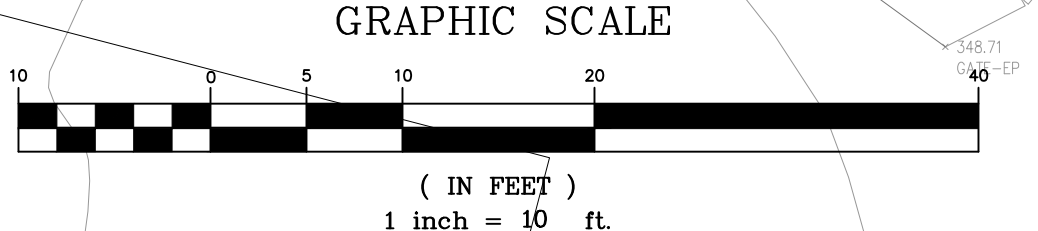
- PRIOR TO INSTALLATION OF SANITARY SEWER LATERAL; CONTRACTOR TO POTHOLE EXISTING UTILITIES FOR LOCATION, ELEVATION AND TYPE.

NOTE:

- RETAINING WALL MATERIAL: CONCRETE WITH STONE FACADE RELOCATE FENCING INSIDE OF PUBLIC UTILITY EASEMENT AND MAKE SURE NO TREES, FENCES, STRUCTURES OR HARDSCAPE ARE WITHIN THE EASEMENT BOUNDARIES. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO ENERGY DISSIPATORS (SPLASH BLOCKS).

CONSTRUCTION NOTES:

- EXISTING TREE TO BE REMOVED
- LIGHTWELL DRAIN BOX WITH PUMP DRAIN TO STORM DRAIN SYSTEM
- EXISTING TREE TO REMAIN; CONTRACTOR TO PROVIDE "TREE PROTECTION" DURING CONSTRUCTION
- EXISTING FENCE LINE TO BE RELOCATED OUTSIDE OF EXISTING PUBLIC UTILITIES EASEMENT
- PROVIDE 2" AC OVER 6" CL II AGG. BASE CONFORM TO EXISTING PAVEMENT



**PRELIMINARY PLANS
 NOT FOR CONSTRUCTION**

PROJECT NOTES:

- THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO CITY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE CITY ENGINEER.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
- IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
- UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFM0-5P6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
- ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND. ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID. EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE CITY A SEPERATED PERMIT SHALL BE REQUIRED.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

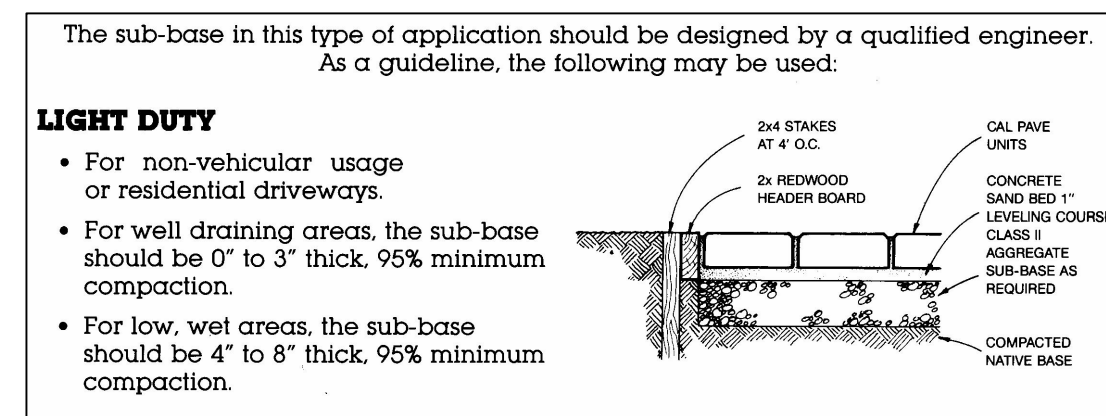
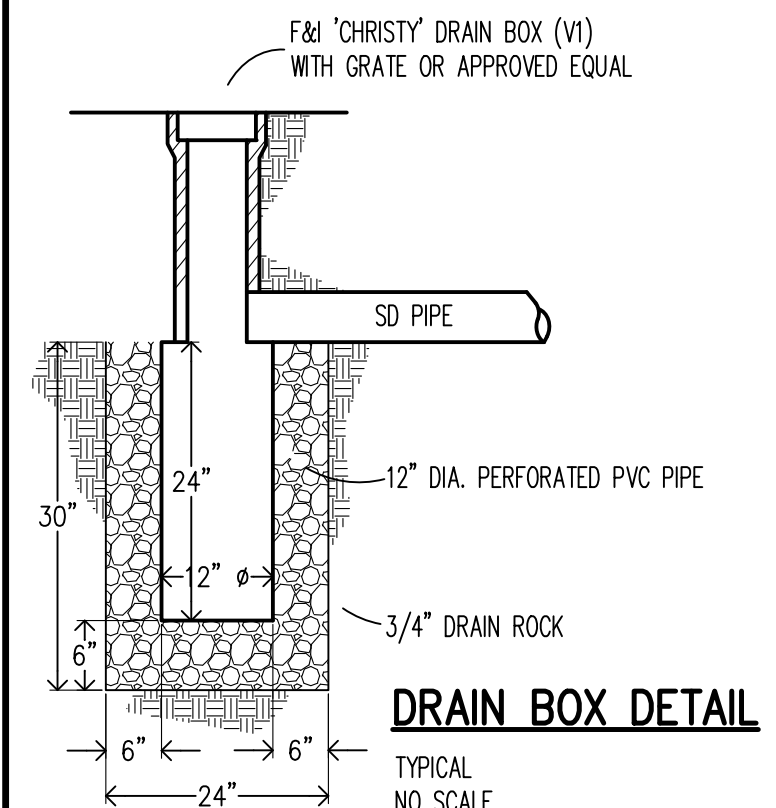
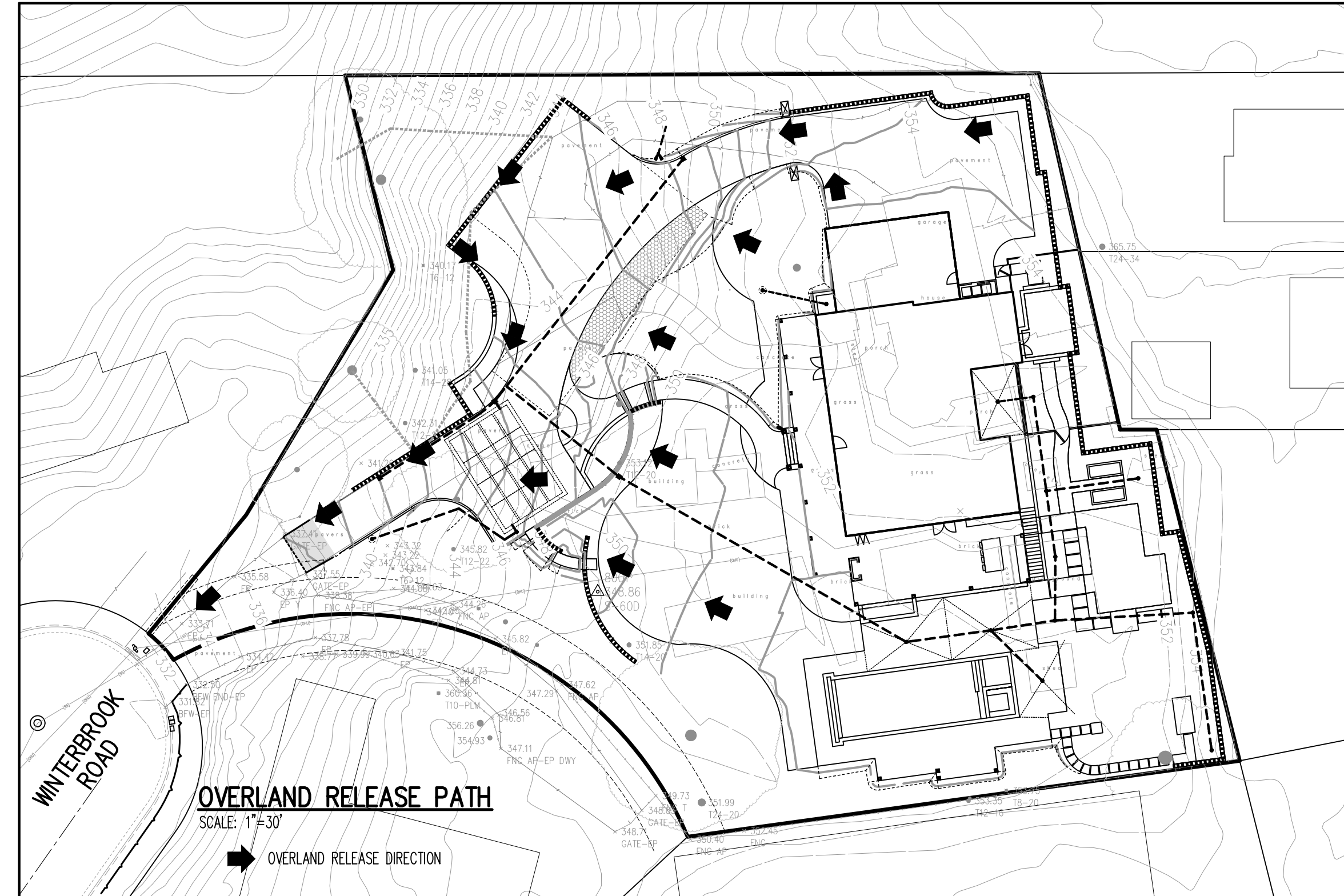
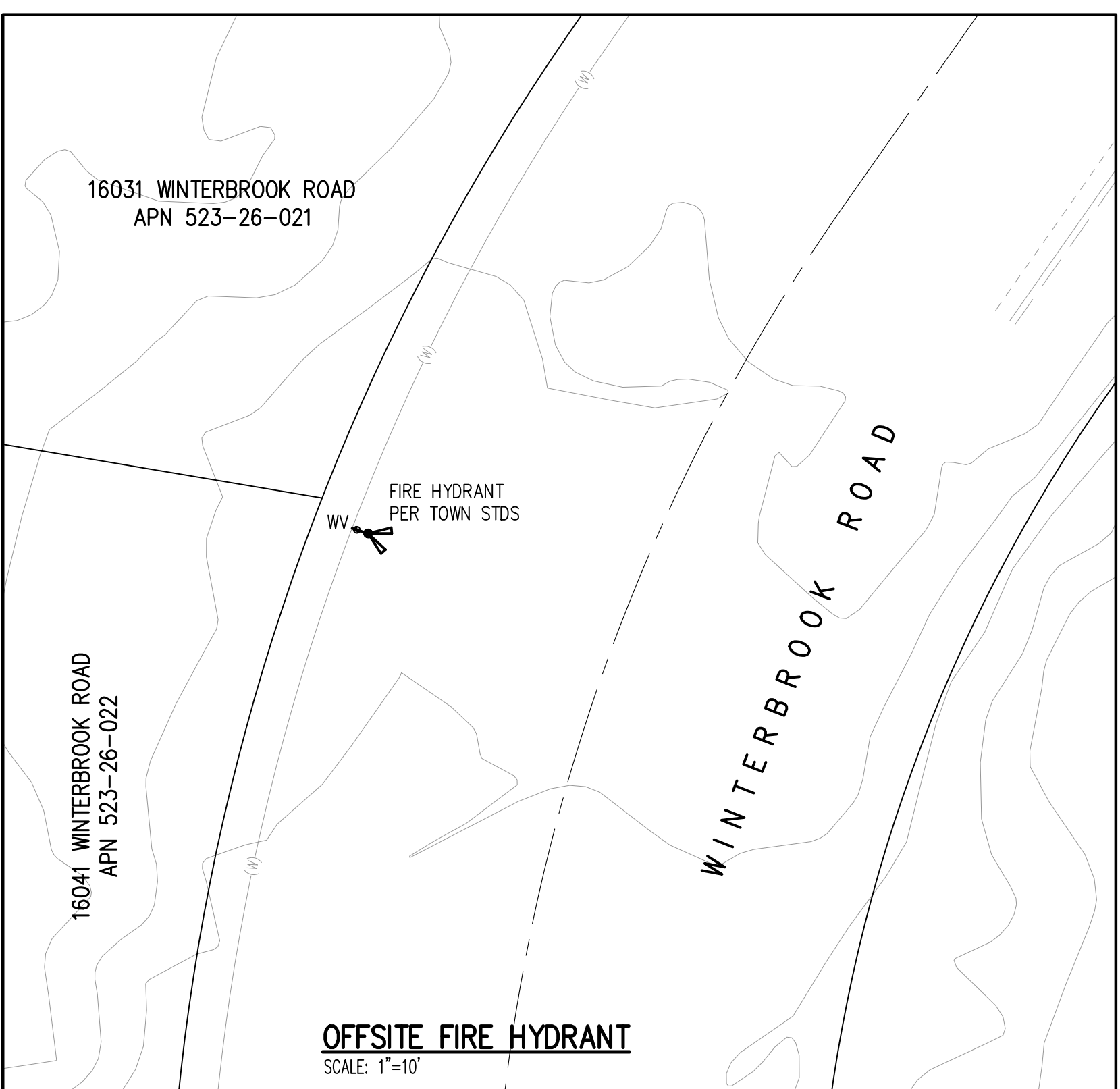
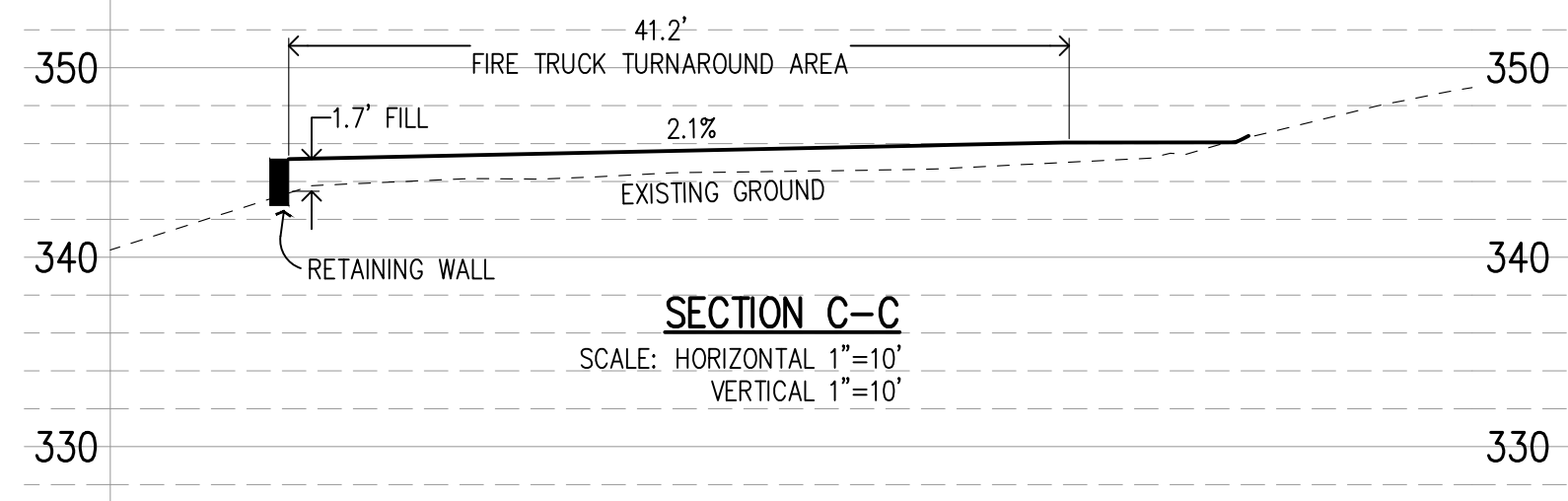
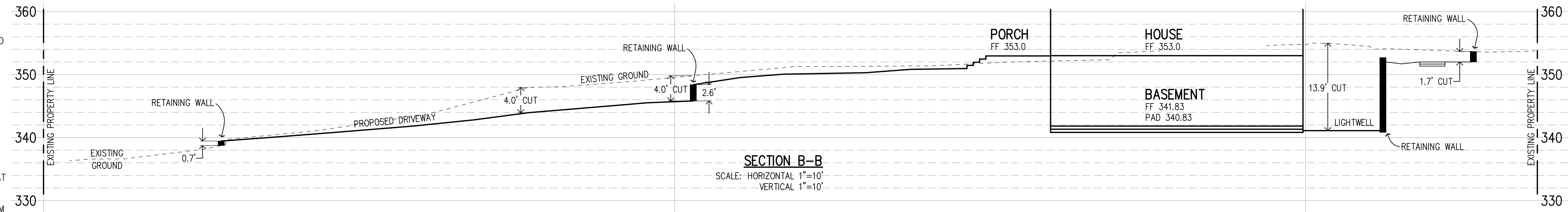
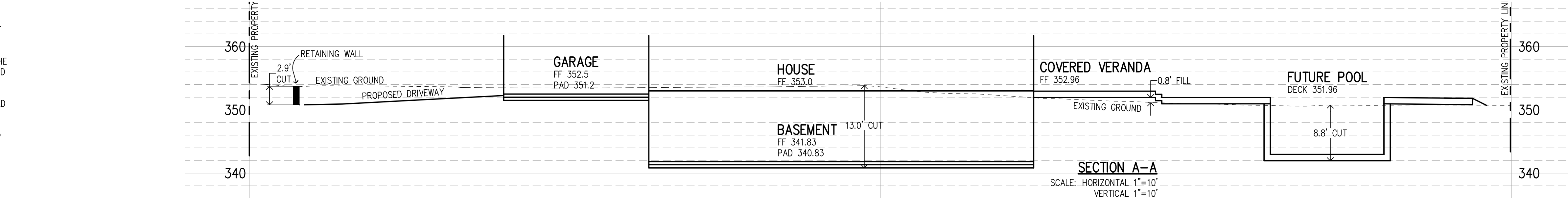
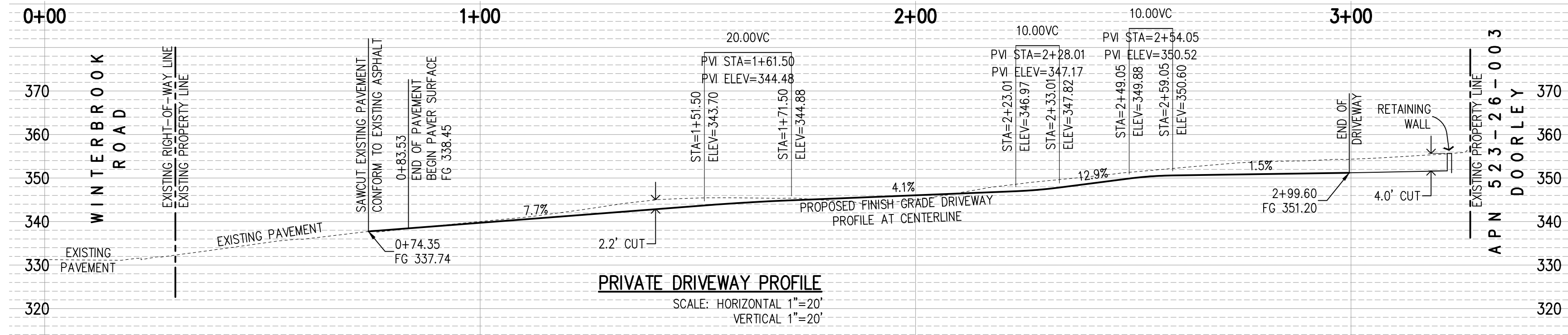
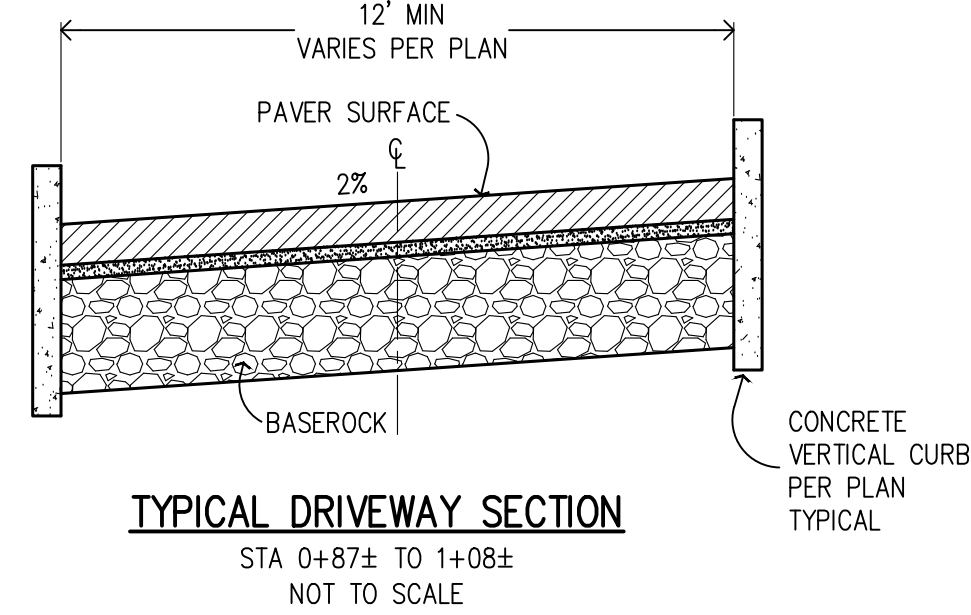
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKER'S DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

WHERE THE FIRM OF HANNA-BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.

SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION OF THE BUILDING FINISH FLOOR AND PAD.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

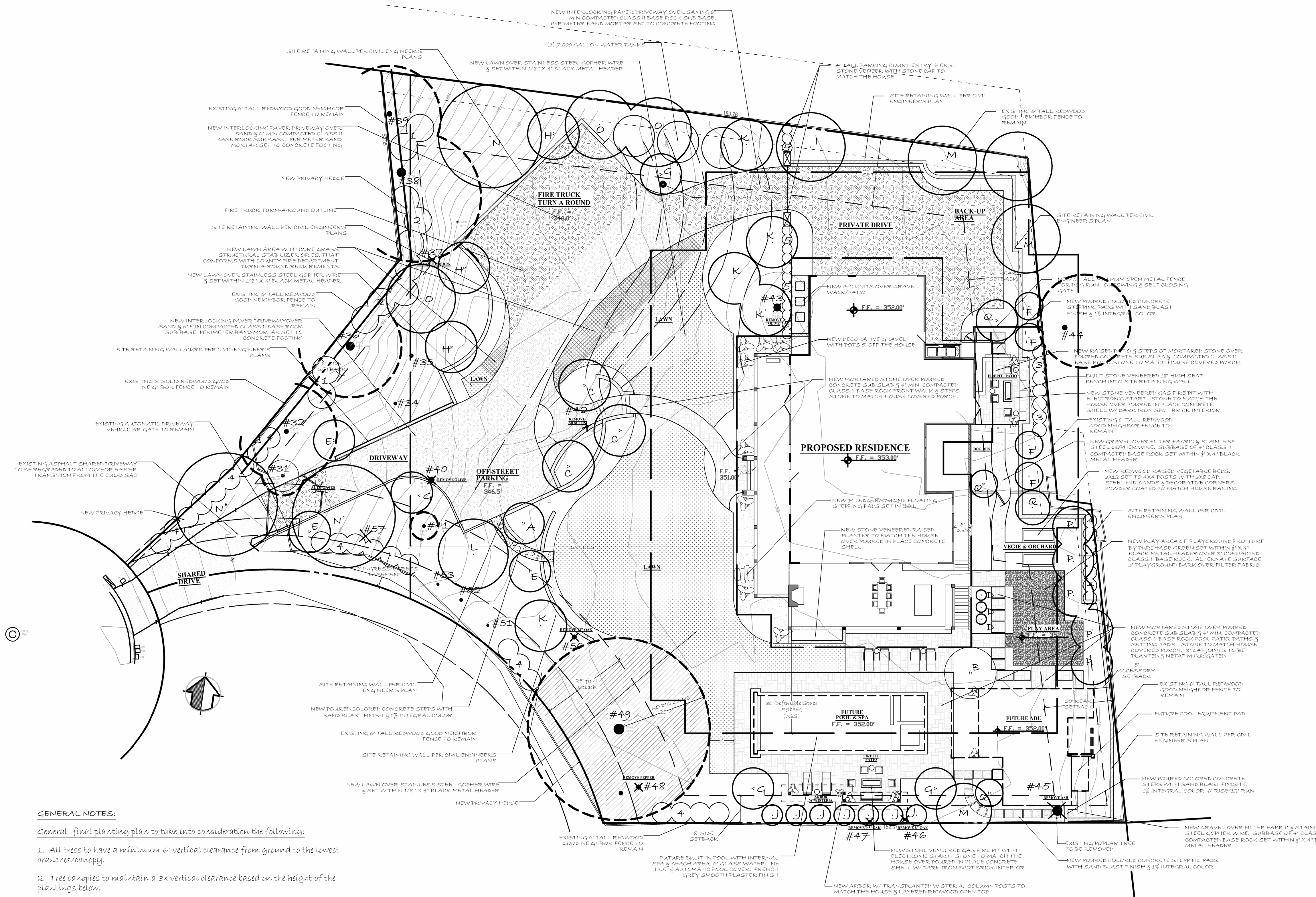


DATE:	SEPT 15, 2021
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	XX
PROJECT NO.:	19019

**BROWN - 16010 WINTERBROOK ROAD
NOTES, DRIVEWAY PROFILE & SECTIONS**

HANNA-BRUNETTI
EST. 1910
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-9862
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	BY	DATE



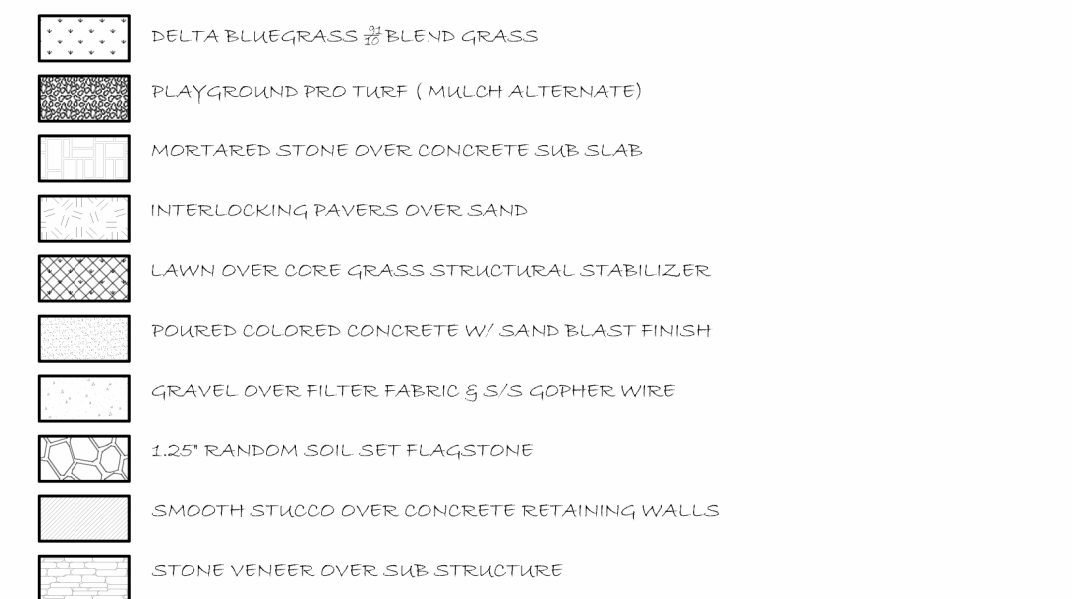
TREE & SCREENING LEGEND

SYM	COMMON NAME	BOTANICAL NAME	GROWTH	SIZE	QTY	REPLACE
A	JAPANESE MAPLE	ACER JAPONICUS	MULTI	10' X 15'	19	Y
B	SALICOR MAGNOLIA	MAGNOLIA SALICIFOLIA	MULTI	20' X 30'	19	Y
C	DOGWOOD	DOGWOOD	MULTI	10' X 15'	19	Y
D	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
E	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
F	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
G	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
H	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
I	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
J	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
K	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
L	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
M	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
N	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
O	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
P	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
Q	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
R	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
S	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
T	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
U	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
V	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
W	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
X	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
Y	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y
Z	DOGWOOD	DOGWOOD	MULTI	20' X 30'	19	Y

TREE REMOVAL LIST

SYM #	COMMON NAME	BOTANICAL NAME	TRUNK DIA.	CANOPY
37	CASAHUA ISLAND CHERRY	PRUNUS LYONI	7 1/2"	18'
40	OLIVE - MULTI TRUNK	OLEA EUROPEA	36"	25'
42	SHAWBERRY TREE	FRAXINUS	11 1/2"	15'
43	OLIVE - MULTI TRUNK	OLEA EUROPEA	27 1/2"	20'
45	SHAWBERRY TREE	FRAXINUS	55 1/2"	55'
46	VALLEY OAK	QUERCUS LORNA	51"	12'
47	CORNFLOWER OAK	QUERCUS AGROBYA	9 1/2"	12'
48	CALIFORNIA PEPPER	SCHNAP WALLE	18"	20'
50	VALLEY OAK	QUERCUS LORNA	15 1/2"	18'
57	CORNFLOWER OAK	QUERCUS AGROBYA	9 1/2"	10'

MATERIAL LEGEND



EXISTING TREE LEGEND

SYM #	COMMON NAME	BOTANICAL NAME	TRUNK DIA.	CANOPY	REMOVE	REPLACEMENT TREE
31	VALLEY OAK	QUERCUS LORNA	10 1/2"	22'		
32	CORNFLOWER OAK	QUERCUS AGROBYA	15 1/2"	40'		
41	CORNFLOWER OAK	QUERCUS AGROBYA	10 1/2"	20'		
55	CORNFLOWER OAK	QUERCUS AGROBYA	15 1/2"	40'		
56	CORNFLOWER OAK	QUERCUS AGROBYA	30 1/2"	50'		
58	CASAHUA ISLAND CHERRY	PRUNUS LYONI	7 1/2"	18'	YES	(5) 24\"/>

- GENERAL NOTES:**
- General- final planting plan to take into consideration the following:
- All trees to have a minimum 6' vertical clearance from ground to the lowest branches/canopy.
 - Tree canopies to maintain a 3x vertical clearance based on the height of the plantings below.
 - Horizontal spacing between shrubs and trees to conform with Defensible Space guideline as they pertain to slope.
- Zone 1: 0-5'**
- Plants and vegetation shall be kept a minimum of 5' off the structure.
 - Remove all flammable materials from exterior walls including mulch, needles and leaf debris.
 - Maintain clean roofs and gutters at all times.
- Zone 2: 0-30'**
- Remove all dead plants and vegetation (grass & weeds)
 - Trim tree canopies to maintain 10' clearance from other tree canopies where acceptable arborist practices apply.
 - Remove branches that overhang the roof and maintain 10' clearance from the chimney
 - Maintain a separation (vertically and horizontally) between all trees & shrub and other combustible items such as patio furniture, etc.
- Zone 3: 0-100'**
- Create both horizontal & vertical spacing between shrubs and trees. Canopies 30'-60' from the home should have 12' separation of canopies. Trees 60'-100' should maintain a 6' separation.
 - Remove all heavy accumulations of ground litter/ debris. Regularly remove all dead plant material.
 - Remove vegetation a minimum of 5' from all storage shed or other outbuildings.

California Horticulture

LANDSCAPE CONSTRUCTION INCORPORATED

753 Camden Avenue
Campbell, CA 95008

Phone 408-364-3190
FAX 408-364-3199

Contractors License
B & C-27 & C-53
641851

Brown Residence
16010 Winterbrook Road, Los Gatos Ca 95032

Scale: 1/16" = 1' - 00"

Sheet: Prelim. Landscape Coversheet

Date: 30 September 2020

Drawn by: JB

Revisions:

Date: 17 November 2020

Date: 3 March 2021

Date: 22 June 2021

SHEET

L1

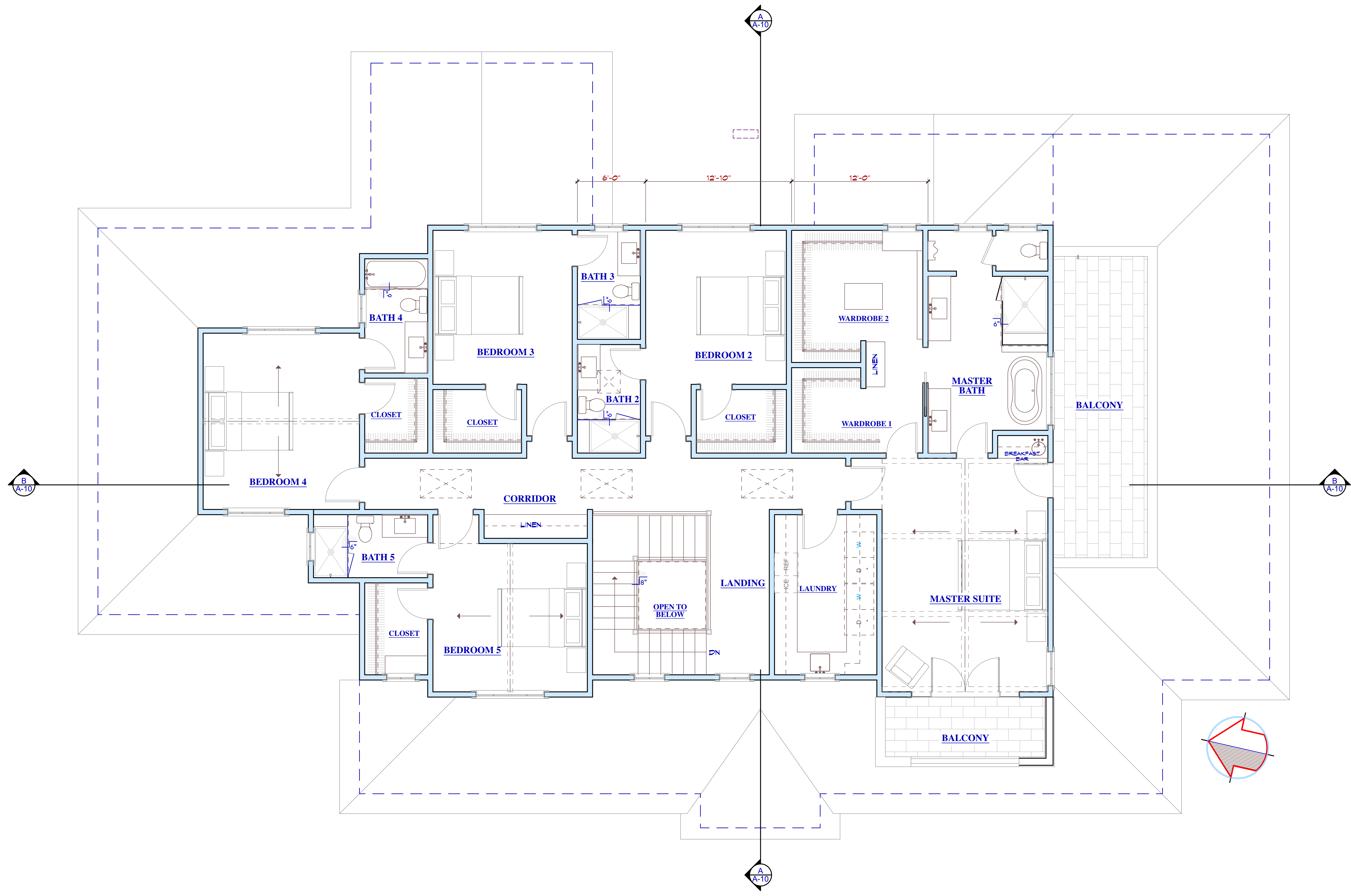
OF 1 SHEETS

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD LOS GATOS, CA

SECOND FLOOR PLAN
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-5
 13 OF -



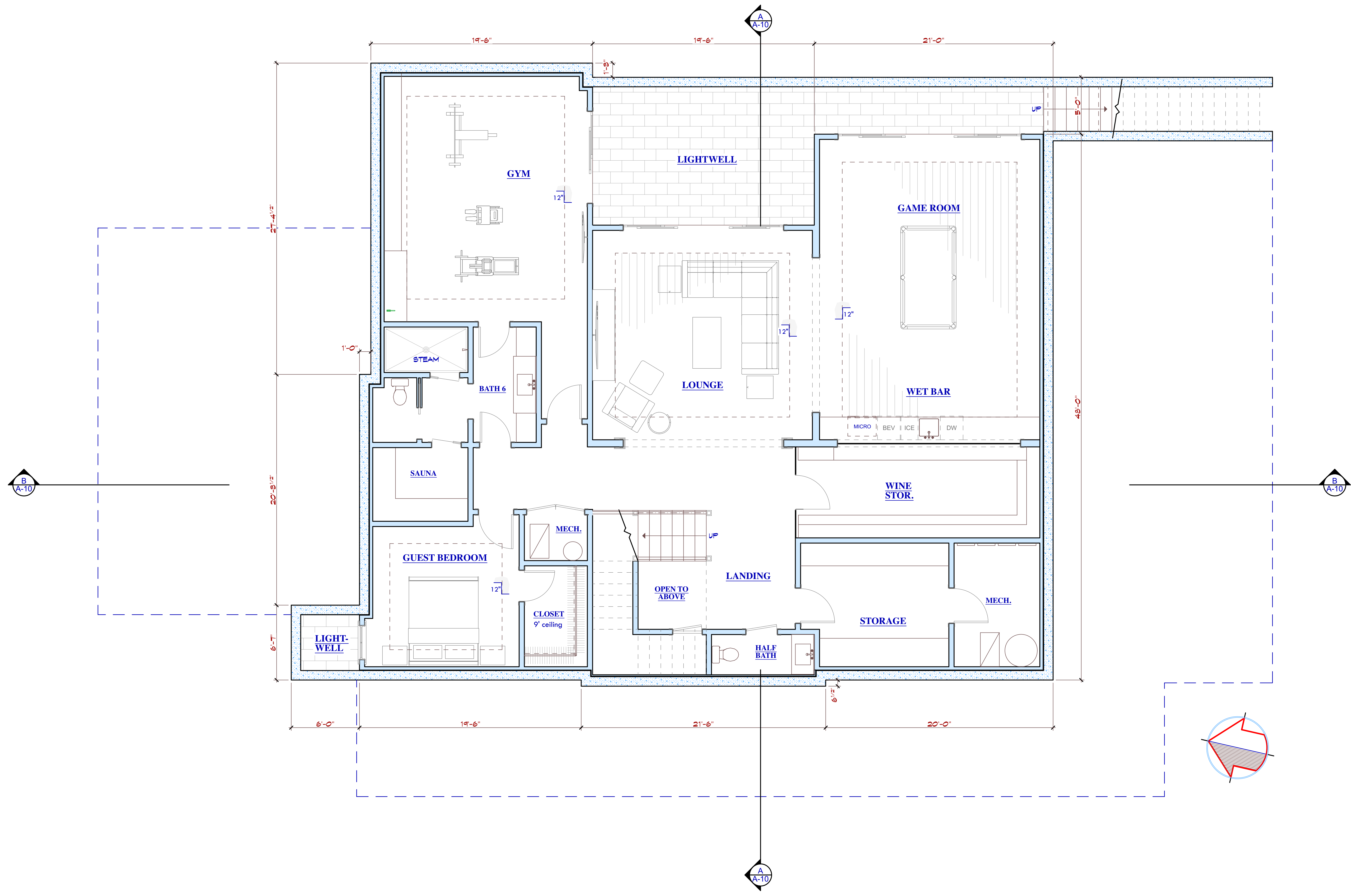
SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD LOS GATOS, CA

LOWER FLOOR PLAN
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-6
 14 OF -

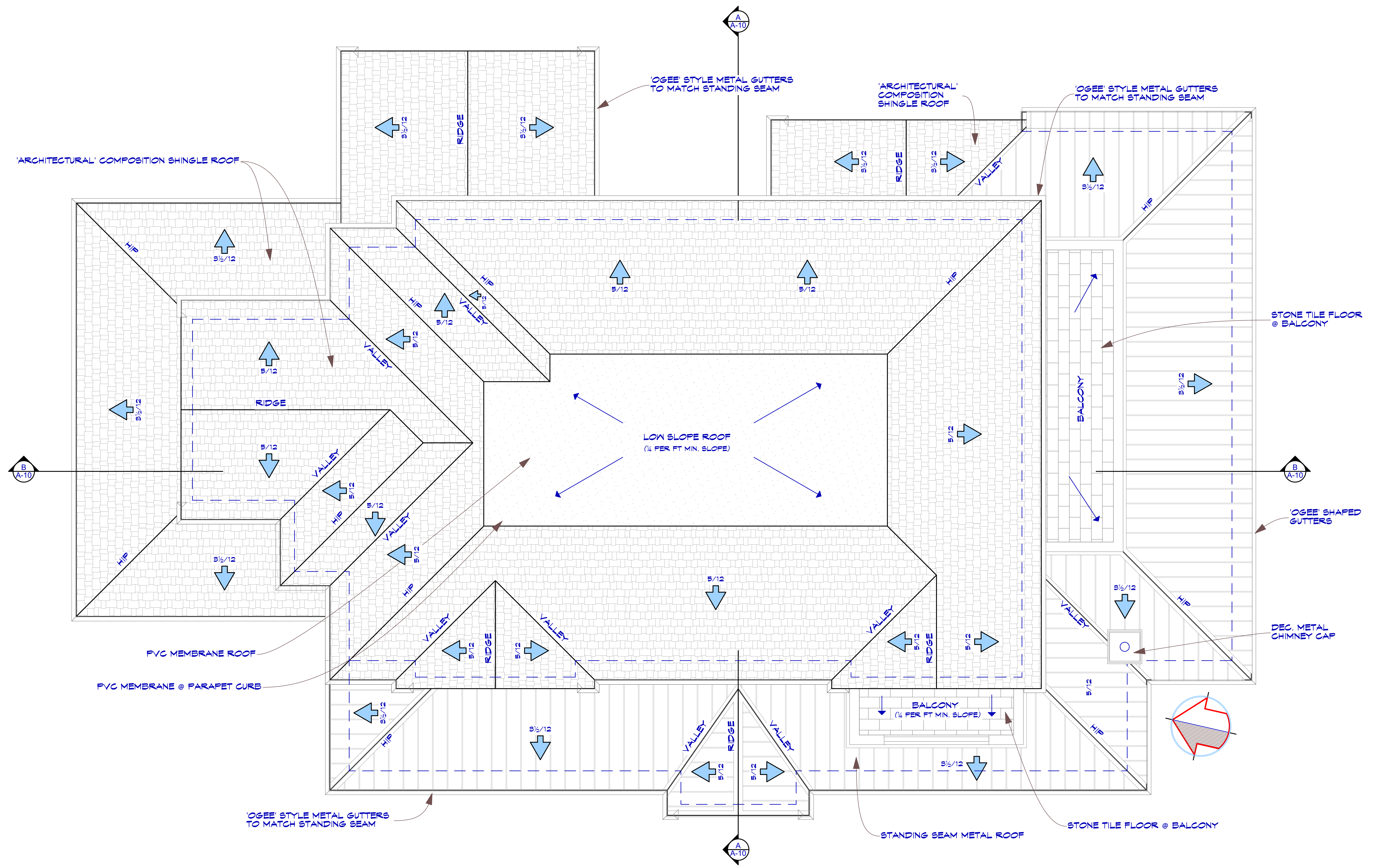


LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD LOS GATOS, CA



ROOF PLAN

DATE: 03/22/20

SCALE: AS SHOWN

SHEET

A-7

15 OF -

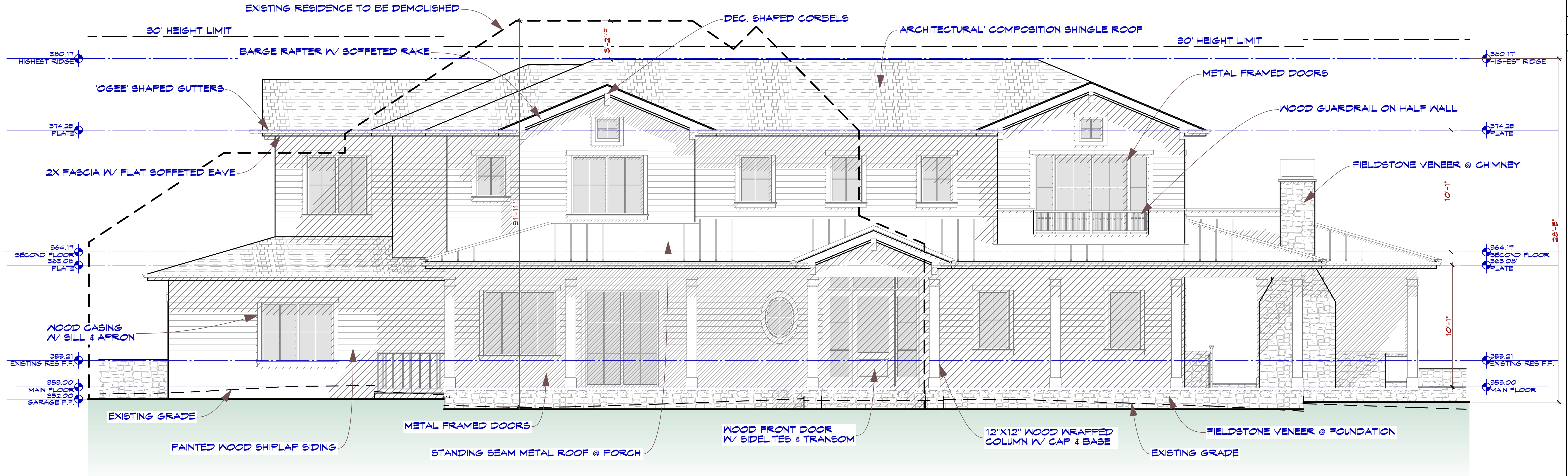
ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

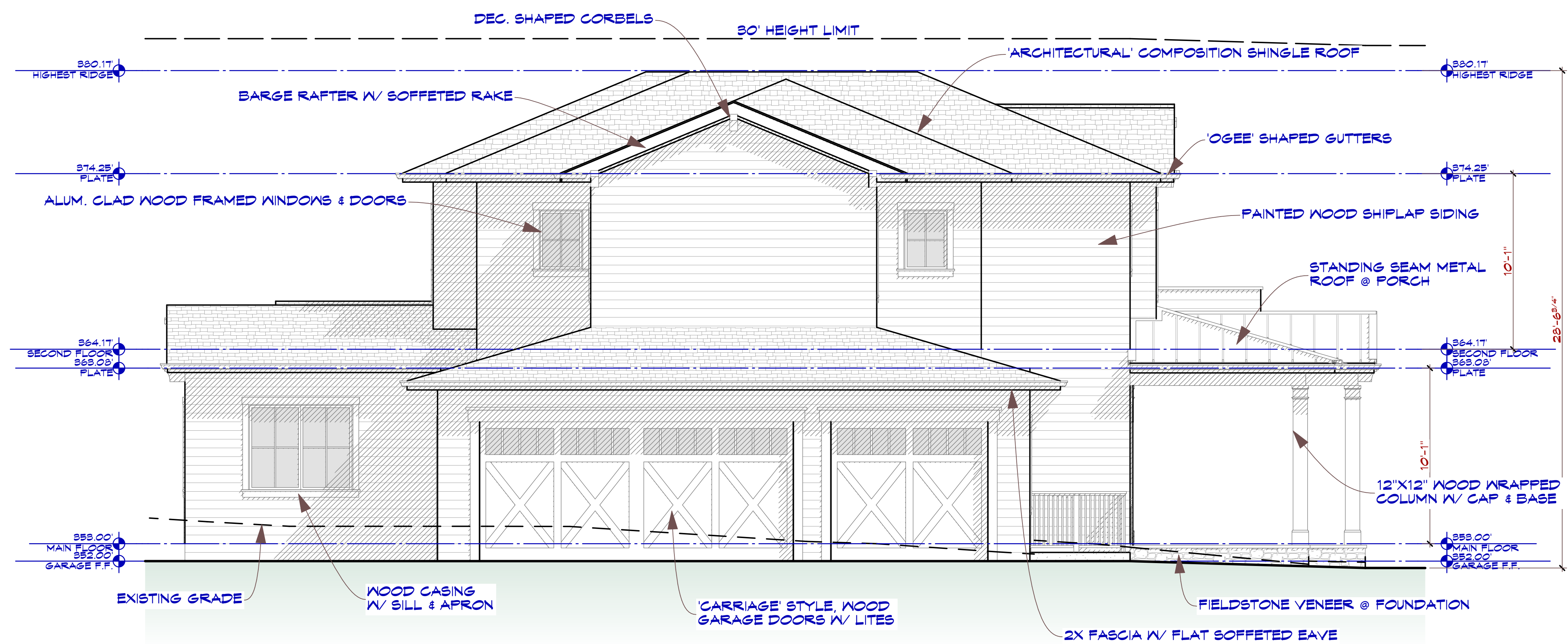
A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD
 LOS GATOS, CA

FRONT & LEFT ELEVATION S
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-8
 16 OF -



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

* ALL EXTERIOR LIGHTING WILL BE SHIELDED AND DOWNWARD-DIRECTED.



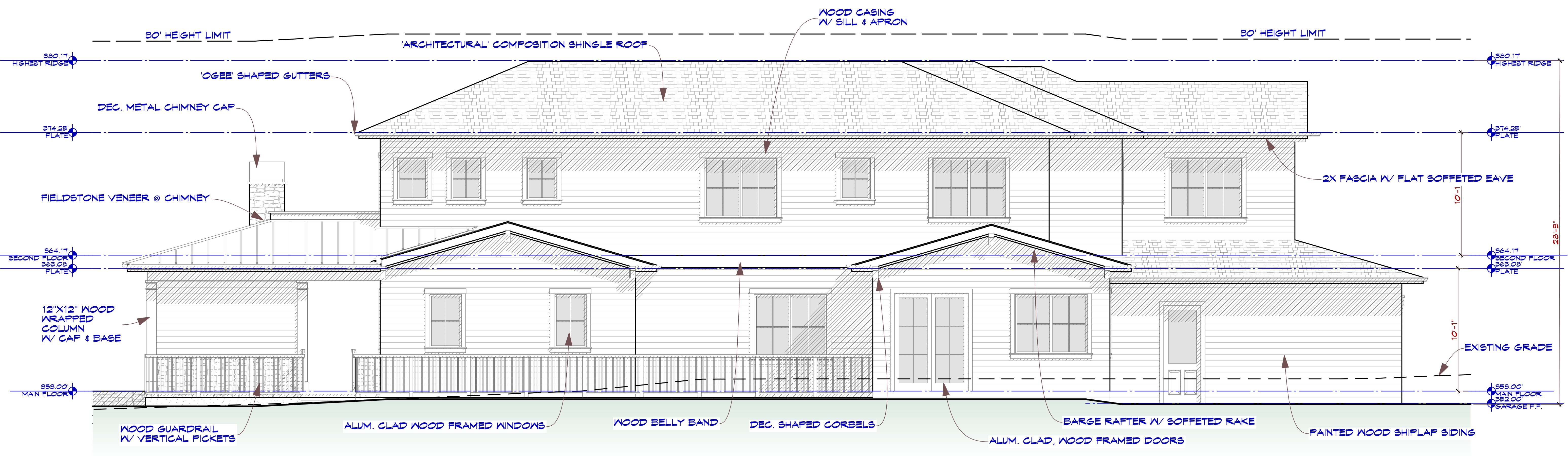
LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD LOS GATOS, CA

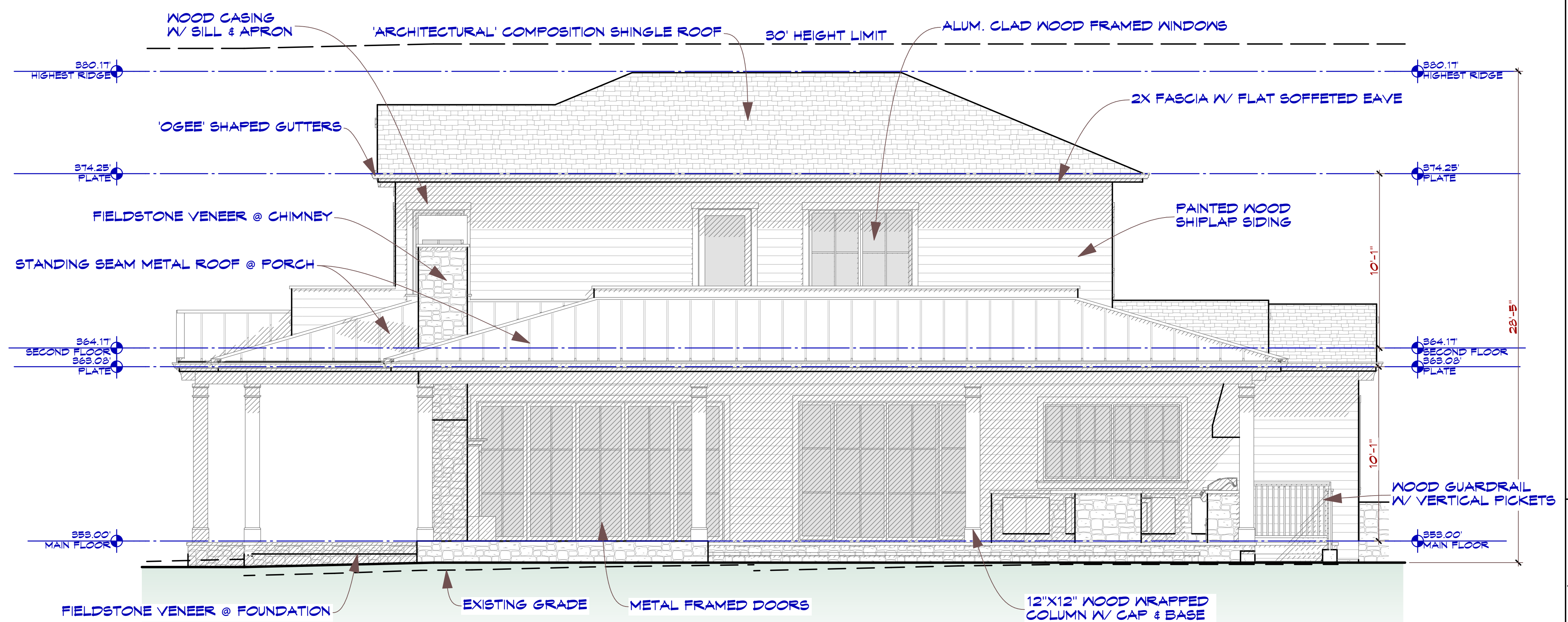
REAR & RIGHT ELEVATION S
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-9
 17 OF -



REAR ELEVATION

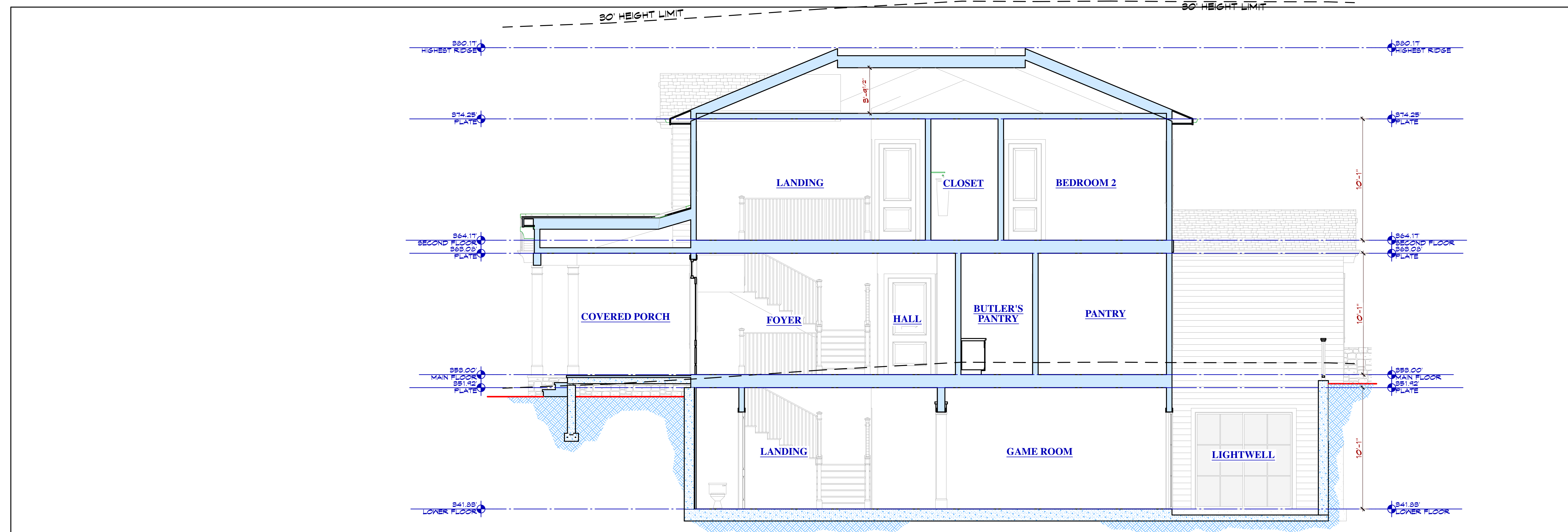
SCALE: 1/4" = 1'-0"

* ALL EXTERIOR LIGHTING WILL BE SHIELDED AND DOWNWARD-DIRECTED.



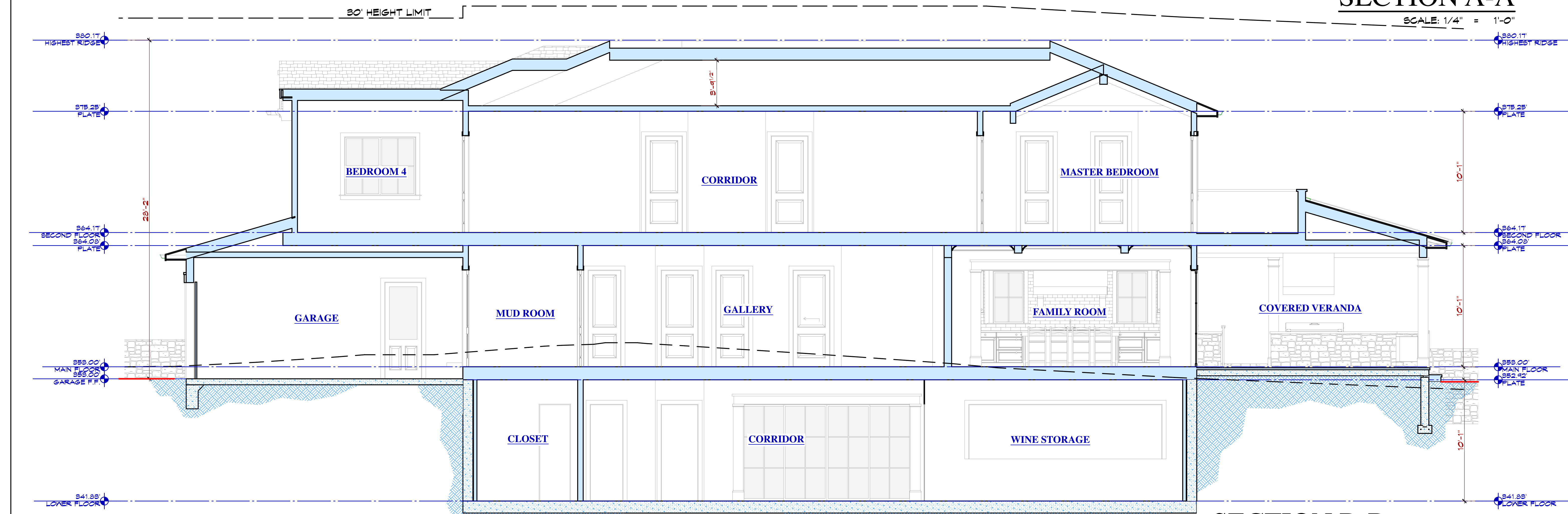
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

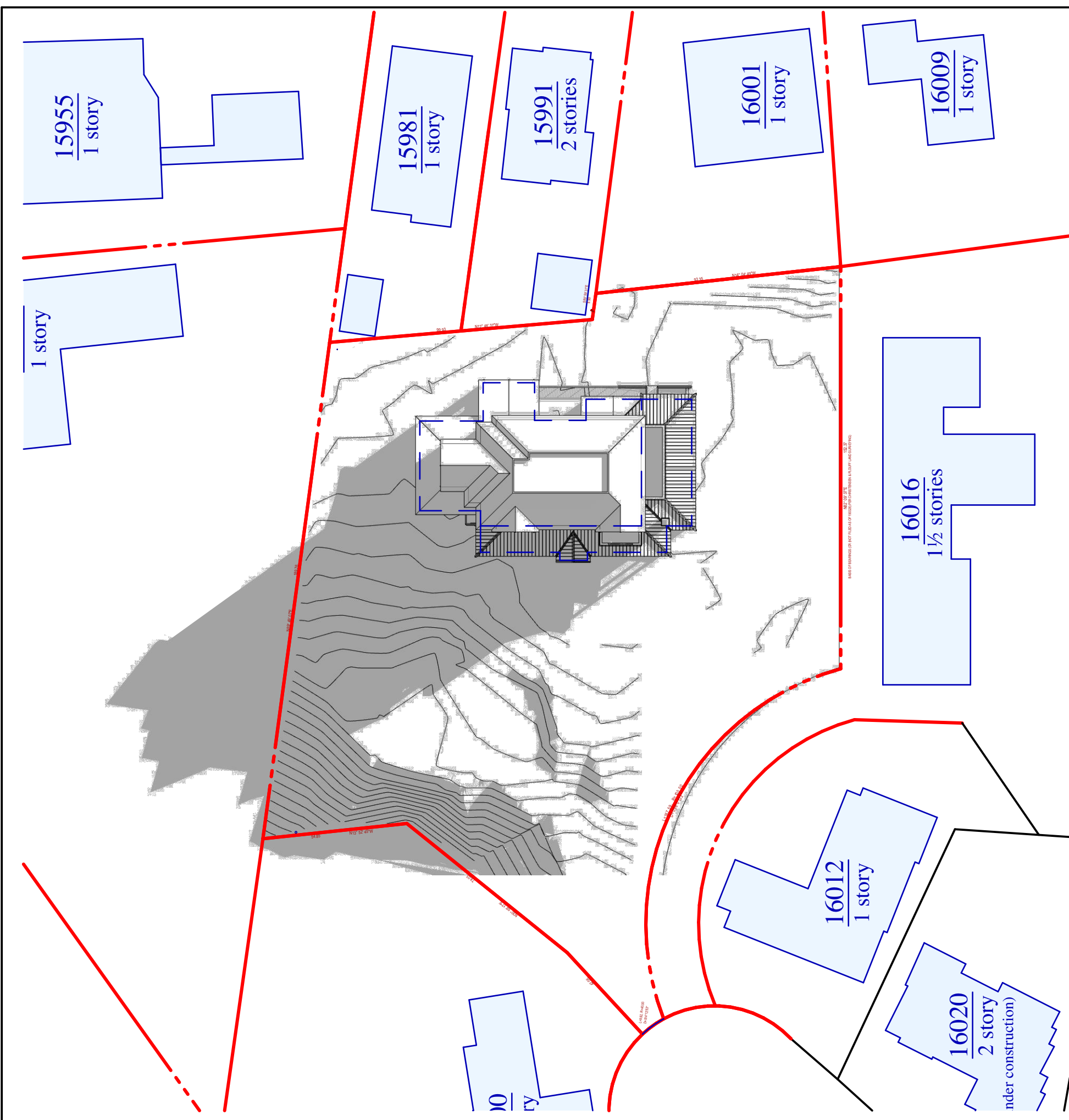
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

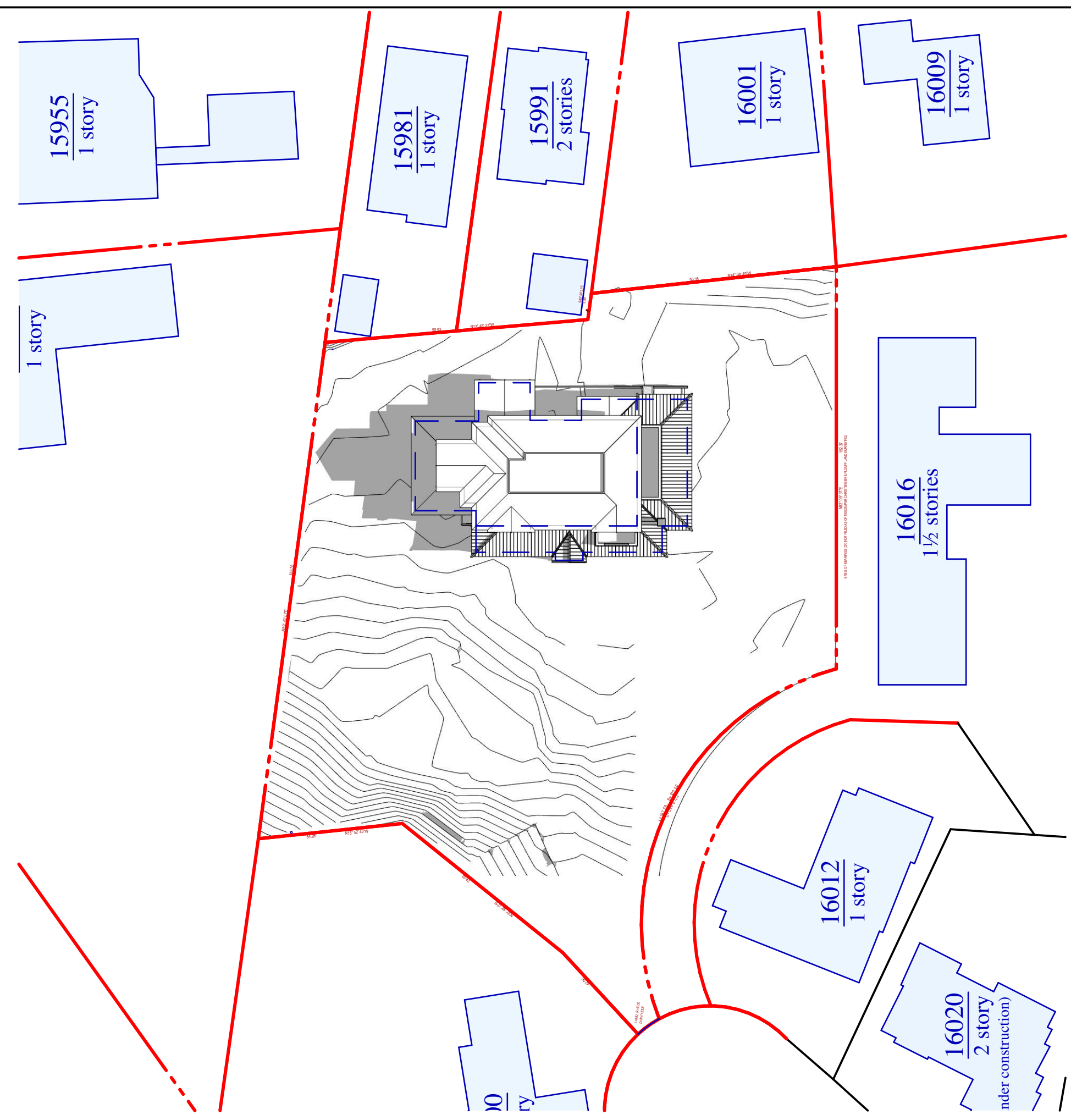
KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD
 LOS GATOS, CA

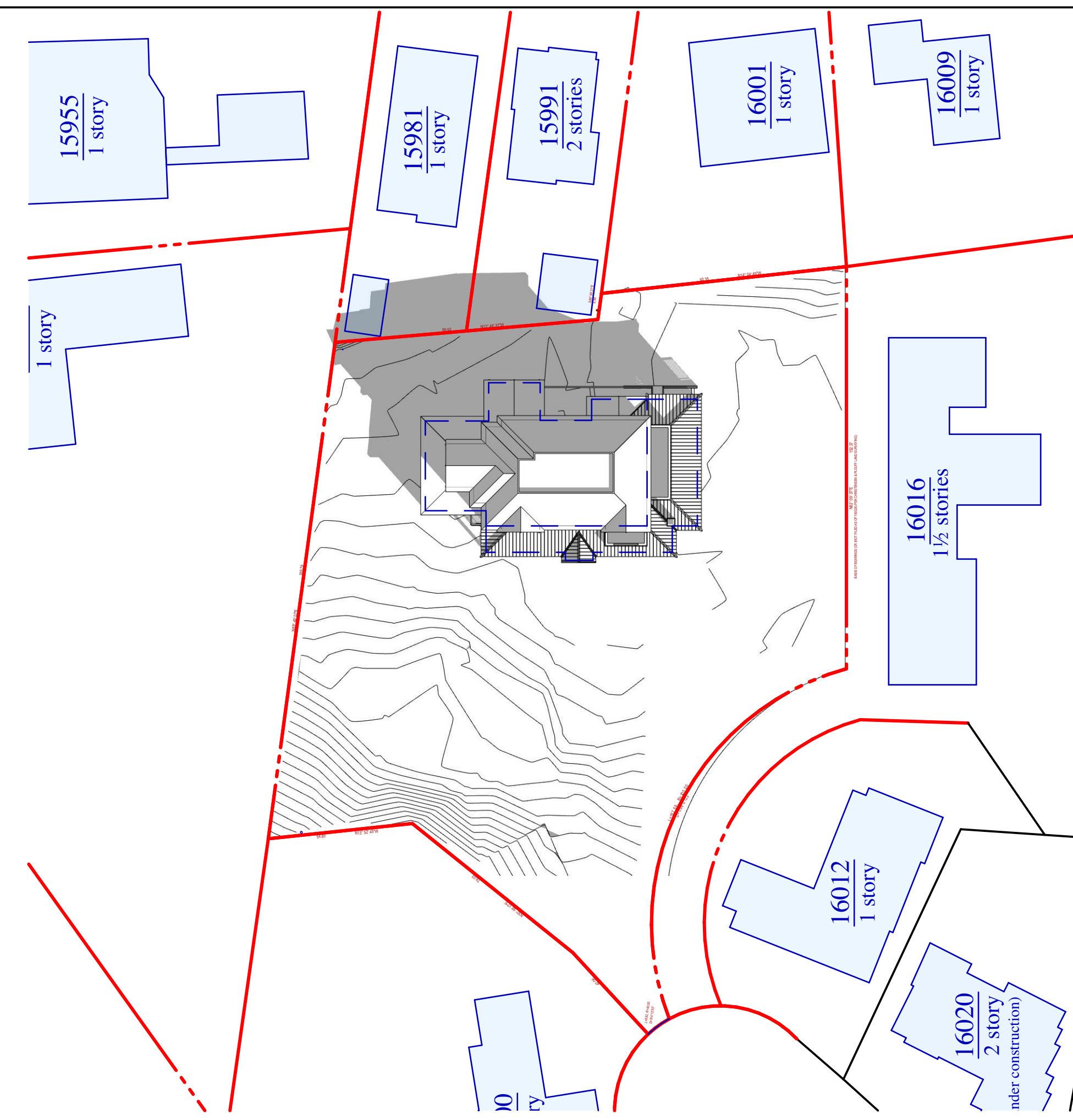
CROSS SECTIONS
 DATE: 05/22/20
 SCALE: AS SHOWN
 SHEET
A-10
 18 OF -



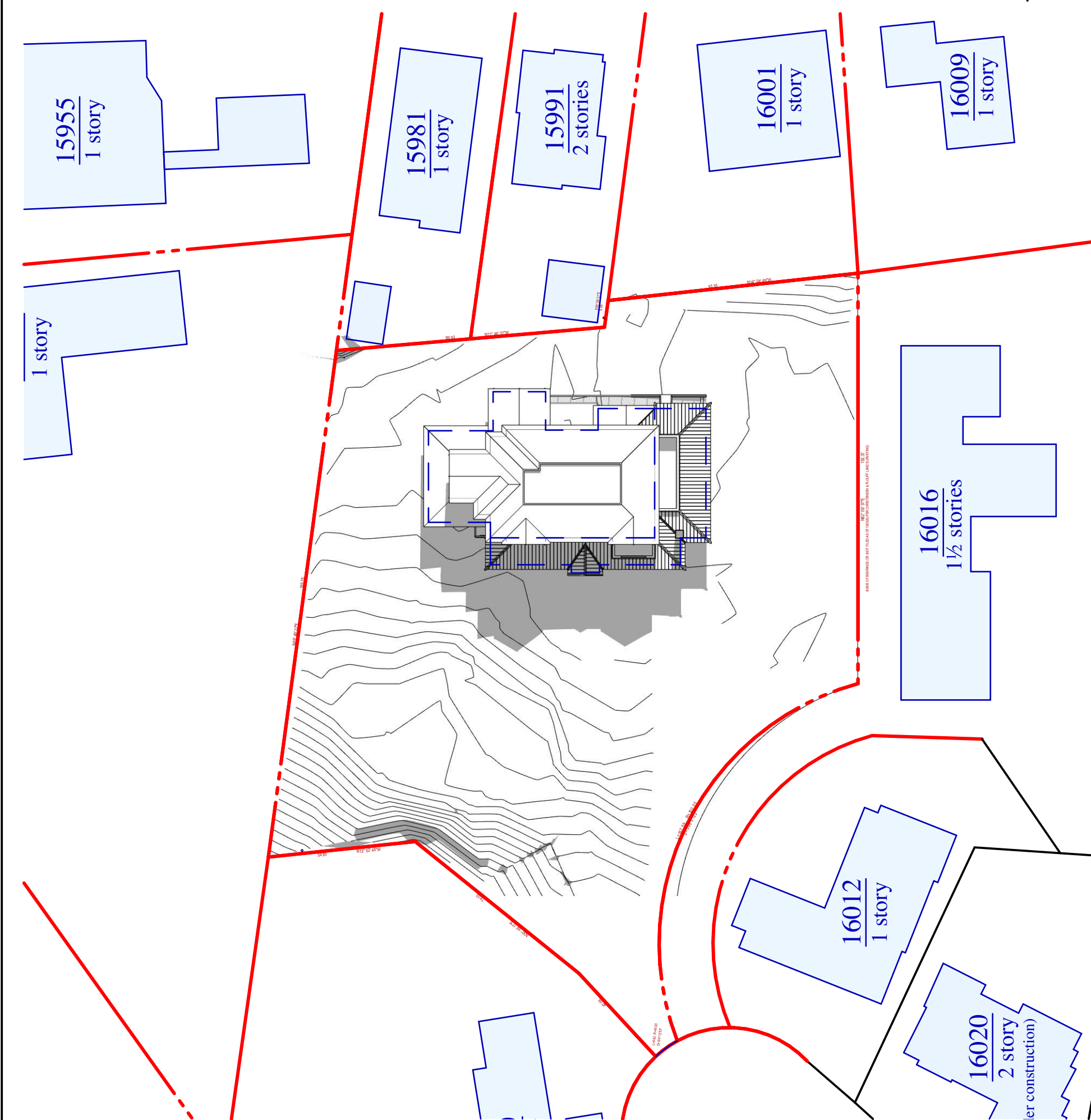
December 21-9am



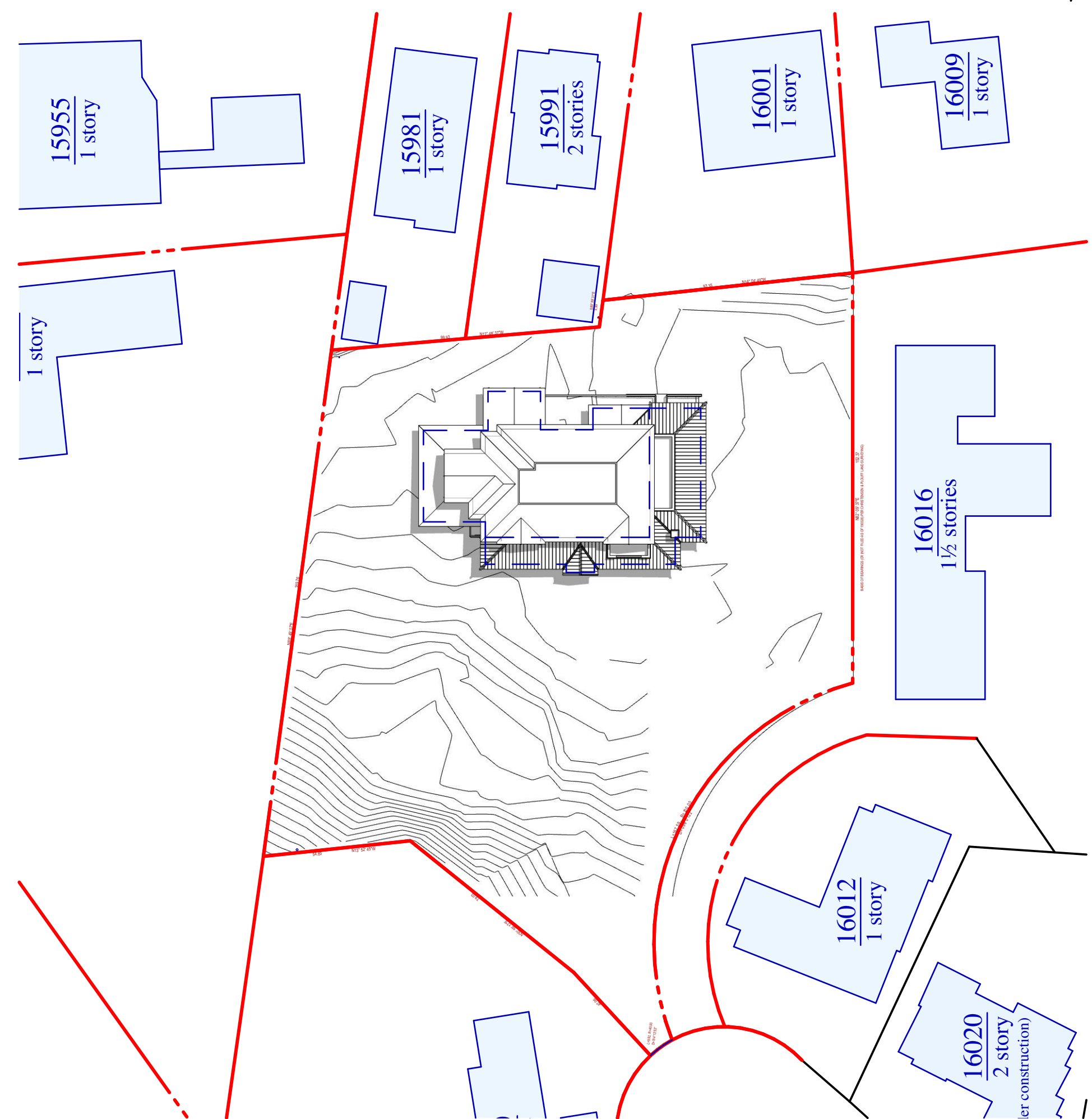
December 21-12pm



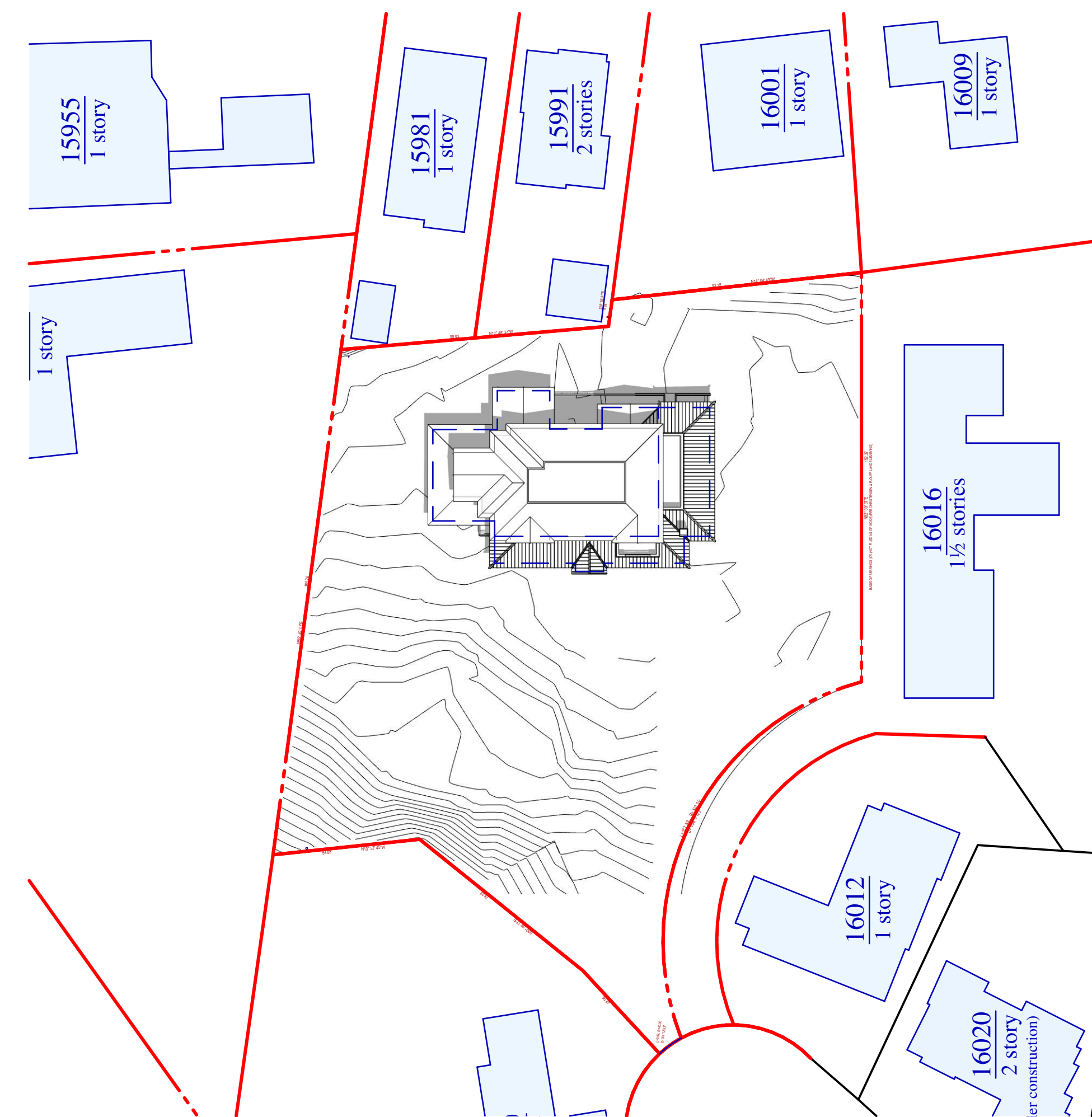
December 21-3pm



June 21-9am



June 21-12pm



June 21-3pm

REVISIONS	
A.	11/17/20
B.	03/05/21
C.	06/23/21
D.	09/20/21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE BROWN RESIDENCE
 16010 WINTERBROOK ROAD
 LOS GATOS, CA

SHADOW STUDIES
 DATE: 05/22/20
 SCALE: 1" = 40'
 SHEET
A-11
 14 OF -

*This Page
Intentionally
Left Blank*